



ZONING DIVISION  
200 S. Hamilton Road  
Gahanna, Ohio 43230  
614-342-4025  
zoning@gahanna.gov  
www.gahanna.gov

### DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS

Project/Property Address or Location: <b>1365 STONERIDGE DR</b>		Project Name/Business Name <b>KROGER N-871</b>	
Parcel ID No.(s): <b>025-004272-00</b>	Zoning Designation: <b>CC-2</b> <del>125 NEIGHBORHOOD SHOPPING CENTER</del>	Total Acreage: <b>10.45</b>	
Please check all that apply:			
SITE PLAN <input type="checkbox"/>	LANDSCAPING <input type="checkbox"/>	BUILDING DESIGN <input checked="" type="checkbox"/>	DEMOLITION <input type="checkbox"/> <small>only applicable to Code Chapter 1150, Old Gahanna</small>
OTHER <input type="checkbox"/>			
Project Description: Adding a small addition under the existing canopy of the existing Kroger store. New stone/ brick will match the existing.			
APPLICANT Name -do <u>not</u> use a business name: <b>Nathan Fields</b>		Applicant Address: <b>300 Spruce St., Suite 300</b>	
Applicant E-mail: <b>nfields@moodynolan.com</b>		Applicant Phone No.: <b>614-280-9737</b>	
BUSINESS Name (if applicable): <b>Moody Nolan, Inc.</b>			
ADDITIONAL CONTACTS Please List Primary Contact for Correspondence (please list all applicable contacts)			
Name(s): <b>Nathan Fields Todd Dove</b>		Contact Information (phone no./email): <b>nfields@moodynolan.com, 614-280-9737 (primary) tdove@moodynolan.com, 614-461-4664</b>	
PROPERTY OWNER Name: (if different from Applicant) <b>John Heilmann</b>		Property Owner Contact Information (phone no./email): <b>614-227-3482/jheilmann@castoinfo.com</b>	

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED (see page 2 & 3)

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant/Primary Contact Signature:  Date: **8/11/2020**

INTERNAL USE

Zoning File No. **DR-0206 2020**

RECEIVED: **LAU**

DATE: **8-19-2020**

PAID: **100.00**

DATE: **8-19-2020**

## DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION-SUBMISSION REQUIREMENTS

TO BE COMPLETED/SUBMITTED BY APPLICANT:
1. Review Gahanna Code Section 1197 (visit <a href="http://www.municode.com">www.municode.com</a> )
2. Materials List (see page 3) – does not apply to demolition applicants
3. Authorization Consent Form Complete & Notarized (see page 4)
4. Application & all supporting documents submitted in digital format
5. Application & all supporting documents submitted in hardcopy format
6. Application fee paid (in accordance with the Building & Zoning Fee Schedule)
7. Color rendering(s) of the project in plan/perspective/or elevation
8. One copy 24"x36" or 11"x17" prints of the plans
<b>Building Construction, Exterior Remodeling, and Additions (Including Parking Lots and Landscaping)</b>
1. <b>SITE PLAN</b> that includes the following: (include: scale, north arrow, & address) if applicable
- All property & street pavement lines
- Property size
- Proposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent streets
- Location of all existing and proposed buildings on the site
- Location of all existing & proposed exterior lighting standards
- Breakdown of parking spaces required & spaces provided (see Gahanna Code Section 1163)
- Provide lot coverage breakdown of building & paved surface areas
2. <b>LANDSCAPE PLAN</b> (including plant list)
- Existing landscaping that will be retained & proposed landscaping shall be differentiated & shown on the plan. The type, size, number, & spacing of all plantings & other landscape features must be illustrated
- Designation of required buffer screens (if any)
- Interior landscaping breakdown for paved surface (see Gahanna Code Section 1163)
3. <b>ELEVATIONS</b> from all sides
- Fenestration, doorways, & all other projecting & receding elements of the building exterior
4. <b>LIGHTING STANDARD DRAWING</b> that includes the following: (exterior only)
- All sizing specifications
- Information on lighting intensity (no. of watts, iso foot candle diagram)
- Materials, colors, & manufacturer's cut sheet
5. <b>OPTIONAL REQUIREMENTS AT THE DISCRETION OF PLANNING COMMISSION:</b>
- Scale model
- Section profiles
- Perspective drawing
<b>Demolition or Removal of Existing Structures Requirements</b>
1. <b>ONE OR MORE OF THE FOLLOWING CONDITIONS MUST EXIST:</b>
- That the building contains no features of special architecture or is not a historical building or culturally significant or is not consistent in design & style with other structures within the district
- That there exists no viable economic use for the building in its current state or as it might be restored or that there is not a feasible and prudent alternative to demolition and that the approval of the demolition is necessary for the preservation and enjoyment of substantial property rights
- That the applicant has a definite plan for redevelopment of the site which meets the standards of this Code and the proposed redevelopment will not materially affect adversely the health or safety of persons residing or working in the district where the demolition will occur and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood

<b>MATERIAL LIST</b>			
<i>NOT REQUIRED FOR DEMOLITION APPLICANTS</i>			
Item	Manufacturer Name	Color Name	Color Number
Awnings	<b>Columbus Awning Company</b>	<b>Pacific Blue</b>	<b>SKU 4601-0000</b>
Brick	<b>Stone to match Existing</b>		
Gutters and Downspouts	<b>N/A</b>		
Lighting	<b>N/A</b>		
Roofing	<b>N/A</b>		
Siding	<b>N/A</b>		
Stucco	<b>N/A</b>		
Trim	<b>N/A</b>		
Windows	<b>N/A</b>		
Other (please specify)	<b>Stanley Automatic Door</b>	<b>Dark Brown</b>	
Other (please specify)			

**Please Note:**

The Public Hearing will not occur until the City Of Gahanna Staff reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.



## AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

PROPERTY OWNER

### IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

STONERIDGE PLAZA SH OPS, LLC  
 (property owner name printed)  
[Signature]  
 (property owner signature) AGENT FOR OWNER 8.4.20  
 (date)

Subscribed and sworn to before me on this 4<sup>th</sup> day of August, 2020.

State of Ohio County of Franklin

Notary Public Signature: [Signature]



**KARIN J. SIPES**  
 NOTARY PUBLIC  
 FOR THE  
 STATE OF OHIO  
 My Commission Expires  
 March 20, 2021

Applicant/Property Owner/Representative

**AGREEMENT TO COMPLY AS APPROVED** As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

**AUTHORIZATION TO VISIT THE PROPERTY** I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described.

**APPLICATION SUBMISSION CERTIFICATION** I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

Nathan Frehrs  
 (applicant/representative/property owner name printed)  
[Signature]  
 (applicant/representative/property owner signature) 8/15/2020  
 (date)

Subscribed and sworn to before me on this 15<sup>th</sup> day of August, 2020.

State of OHIO County of DELAWARE

Notary Public Signature: [Signature]



**Daniel P. Calvin**  
 Notary Public, State of Ohio  
 My Commission Has No Expiration



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PLOTTED BY: \$0.50/\$0.75

GENERAL NOTES	
INFORMATION CONCERNING EXISTING EQUIPMENT, FINISHES, ECT. WAS OBTAINED FROM VARIOUS PLANS FOR CONSTRUCTION OF THE EXISTING STORE AND FROM ACTUAL FIELD OBSERVATION. EVERY EFFORT HAS BEEN MADE TO ACCURATELY DEPICT EXISTING CONDITIONS, HOWEVER ALL WORK MUST BE VERIFIED IN THE FIELD PRIOR TO BIDDING. ANY CONFLICT BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE KROGER ENGINEER FOR VERIFICATION AND OR CORRECTION.	
DUE TO THE NATURE OF THE WORK, ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.	
PRIOR TO STARTING CONSTRUCTION THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEMS SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL INFORMATION AND REQUIREMENTS RELATING TO PRODUCTS / EQUIPMENT PROVIDED BY THE KROGER COMPANY MUST BE VERIFIED WITH EQUIPMENT MANUFACTURER BEFORE PROCEEDING WITH CONSTRUCTION.	
COORDINATE ALL DIMENSIONS AND CLEARANCES RELATING TO EQUIPMENT WITH EQUIPMENT MANUFACTURER.	
COORDINATE INSTALLATION AND UTILITY REQUIREMENTS OF EQUIPMENT NOT IN CONTRACT WITH KROGER ENGINEER.	
PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING AS REQUIRED FOR MOUNTING MISCELLANEOUS MATERIALS INCLUDING BLOCKING FOR HANDRAILS, MILLWORK, CABINETS AND WINDOW AND DOOR FRAMES. COORDINATE LOADS, LOCATIONS, HEIGHT, ETC. WITH THE APPROPRIATE SUBCONTRACTORS.	
ALL WORK MUST COMPLY WITH CURRENT FEDERAL, STATE, AND LOCAL CODES.	
NO COMBUSTIBLE MATERIAL MAY BE EXPOSED TO ANY RETURN OR SUPPLY PLENUM SPACE, EXCEPT AS SPECIFICALLY ALLOWED BY CODES.	
THESE DOCUMENTS INDICATE CONSTRUCTION AND CONFIGURATIONS INTENDED TO COMPLY WITH ICC/ANSI A117.1 STANDARDS. PROVIDE CONSTRUCTION AND CONFIGURATIONS NOT INDICATED AND SUBJECT TO THE CONTRACTORS DISCRETION IN A MANNER CONSISTENT WITH THE REQUIREMENTS OF ICC/ANSI A117.1 ACCESSIBILITY GUIDELINES AND OTHER ACCESSIBILITY CODES, WHERE APPLICABLE.	
COORDINATE FINAL HUB DRAIN LOCATIONS AND FINAL EQUIPMENT LOCATIONS WITH THE PLUMBING DRAWINGS.	
"BRACE FRAMING TO STRUCTURE AS REQUIRED" PROVIDE ADEQUATE BRACING TO BUILDING STRUCTURE TO STABILIZE FRAMING. UNLESS OTHERWISE INDICATED OR REQUIRED, PROVIDE BRACING AT 6'-0" O.C. AT 45 DEG. TO NEAREST ADEQUATE STRUCTURAL MEMBER. USE METAL FRAMING.	
DO NOT SCALE THESE DRAWINGS.	
CONTRACTOR TO PROVIDE ALL NECESSARY KROGER APPROVED BARRICADES FOR ALL INTERIOR AND EXTERIOR WORK PERFORMED IN ACCORDANCE WITH LOCAL JURISDICTION, LANDLORD AND KROGER STANDARDS.	
STORAGE TRAILERS ARE NOT REQUIRED BY KROGER, BUT CAN BE USED IF FELT NECESSARY BY THE GENERAL CONTRACTOR.	
SECURITY WILL BE PROVIDED BY KROGER DURING THE CONSTRUCTION PROCESS.	
THIS PROJECT IS TO BE COMPETITIVELY BID, BUT AN OPPORTUNITY MUST BE GIVEN TO UNION AND LOCAL CONTRACTORS.	
ALL EGRESS DOORS SHALL BE READILY OPERABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.	
TEMPORARILY BRACE THE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL IT IS COMPLETE AND FUNCTIONING PER THE DESIGN INTENT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.	

SCOPE OF WORK	
KROGER WITHIN THE WALLS REMODEL/INTERIOR ALTERATION. INCLUDED BUT NOT LIMITED TO: NEW DECOR, NEW EQUIPMENT, SALES AREA FIXTURES, BATHROOM UPDATES. DRAWINGS INCLUDE PLUMBING, ELECTRICAL AND MECHANICAL WORK REQUIRED FOR THESE UPDATES.	

INDEX OF DRAWINGS	INDEX OF DRAWINGS
<div>GENERAL</div> <div>G0.1 COVER SHEET / DRAWING INDEX</div> <div>G0.4 COMPLIANCE REPORT SUMMARY</div> <div>G0.5 COMPLIANCE REPORT SUMMARY</div> <div>G1.1 PHASING PLAN</div> <div>G1.2 FIXTURE PLAN LEGEND</div> <div>GENERAL SCOPE OF WORK</div> <div>STRUCTURAL</div> <div>S1.1 PARTIAL PLANS AND GENERAL NOTES</div> <div>S3.1 SECTIONS AND DETAILS</div> <div>S5.1 STANDARD SECTIONS AND SCHEDULES</div> <div>FIXTURING</div> <div>FP1.1 EXISTING FIXTURE PLAN</div> <div>FP1.2 NEW FIXTURE PLAN</div> <div>FP1.3 MERCHANDISING PLAN (FOR REFERENCE)</div>	<div>ARCHITECTURAL</div> <div>A01.1 DEMOLITION FLOOR PLAN</div> <div>A01.2 DEMOLITION CEILING PLAN</div> <div>A01.4 DEMOLITION FLOOR FINISH PLAN</div> <div>A1.1 FLOOR PLAN (NEW CONSTRUCTION)</div> <div>A1.2 CONCRETE PLACEMENT PLAN</div> <div>A1.3 REFLECTED CEILING PLAN</div> <div>A2.1 ELEVATION</div> <div>A2.2 SECTIONS</div> <div>A4.1 CLICKLIST</div> <div>A5.1 DETAILS AND INTERIOR WALL TYPES</div> <div>A5.2 KROGER STANDARD DETAILS</div> <div>A6.1 DOOR SCHEDULE AND ROOM FINISH SCHEDULE</div> <div>DECOR (TBD)</div> <div>REFRIGERATION</div> <div>R1.1 REFRIGERATION PLAN</div> <div>R5.1 REFRIGERATION DETAILS</div> <div>R6.1 REFRIGERATION SCHEDULE</div> <div>FIRE PROTECTION (TBD)</div> <div>PLUMBING</div> <div>P0.1 PLUMBING DETAILS, ABBR. SYMBOLS AND NOTES</div> <div>P01.1 PLUMBING EXISTING DEMOLITION WASTE AND VENT</div> <div>P01.2 PLUMBING EXISTING DEMOLITION WATER AND GAS</div> <div>P1.1 WASTE AND VENT PLAN</div> <div>P1.2 WATER PLAN</div> <div>P1.4 DIMENSION PLAN</div> <div>P6.1 PLUMBING DETAILS AND SCHEDULES</div> <div>P9.1 PLUMBING WASTE RISER</div> <div>P9.2 PLUMBING WATER RISER</div> <div>HVAC</div> <div>M01.1 HVAC EXISTING DEMOLITION PLAN</div> <div>M1.1 HVAC FLOOR PLAN</div> <div>M5.1 HVAC STANDARD DETAILS</div> <div>M6.1.1 HVAC SCHEDULES</div>

ALTERNATES
ADD ALTERNATE #1
G.C. TO PROVIDE COPPER
ADD ALTERNATE #2
G.C. TO PROVIDE WIRE
ADD ALTERNATE #3
G.C. TO PAINT GRID IN VESTIBULE
ADD ALTERNATE #4
G.C. TO INSTALL NEW DOCK DOOR AND SEALS

ALLOWANCES
1. RE-SET (3 PEOPLE FOR 40 HOURS DURING 4 WEEKS) (\$8,500 FOR ELECTRICAL)
2. REPLACE ALL DRYWALL THAT EITHER SHOWS SIGNS OF MOLD OR IS DAMAGED BEHIND CASES BEING REPLACED (\$3,000)
3. TRAVEL AND HALDING ASSOCIATED WITH MOVING SHELVING AND CASES TO RMS (\$2,500)
4. REFRIGERATION AND ELECTRICAL REQUIRED FOR CASE TEMPS (\$10,000)
5. CONEX UNITS AND A FORK LIFT FOR RE-SET ONLY (\$15,000)
6. INSTALL 20 ADDITIONAL OUTLETS AT THE KROGER PMS DIRECTION

LOCATION MAP

VICINITY MAP

# Drawings For:

# KROGER STORE N-871

## "WITHIN THE WALLS" REMODEL

### 1365 STONERIDGE PLAZA

### GAHANNA, OHIO 43230

CODE REVIEW	
<div>JURISDICTION</div> <div>BUILDING REVIEW: CITY OF GAHANNA BUILDING DEPARTMENT (614) 342-4010</div> <div>HEALTH DEPARTMENT: FRANKLIN COUNTY PUBLIC HEALTH (614) 525-3160</div> <div>BUILDING CODE: 2017 OHIO BUILDING CODE</div> <div>ELECTRIC CODE: 2017 NATIONAL ELECTRICAL CODE</div> <div>PLUMBING CODE: 2017 OHIO PLUMBING CODE</div> <div>MECHANICAL CODE: 2017 OHIO MECHANICAL CODE</div> <div>FIRE CODE: 2016 NFPA 13</div> <div>ACCESSIBILITY: ICC A117.1-2009 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES</div> <div>ENERGY: 2012 IECC</div> <div>CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION</div> <div>SECTION 303</div> <div>303.1 MERCANTILE GROUP "M", 304.1 BUSINESS GROUP "B", 311.3 LOW HAZARD STORAGE GROUP "S-1" NON-SEPARATED</div> <div>CHAPTER 5 GENERAL BUILDING HEIGHTS AND AREAS</div> <div>SECTION 503. GENERAL HEIGHT AND AREA LIMITATIONS</div> <div>TYPE IIB CONSTRUCTION</div> <div>TABLE 504.3</div> <div>TOTAL EXISTING GROSS BUILDING SIZE: 85,922 S.F. - EXISTING KROGER</div> <div>TOTAL GROSS BUILDING SIZE WITH EXPANSION: 85,922 S.F.</div> <div>TOTAL RENOVATED AREA REQUIRING A BUILDING PERMIT: 2,500 S.F.</div> <div>EXISTING BUILDING HEIGHT: 34'-3" AT HIGHEST POINT OF BUILDING</div> <div>SECTION 505. MEZZANINES</div> <div>505.2 AREA LIMITATION</div> <div>MEZZANINES SHALL NOT EXCEED ONE THIRD OF THE AREA THAT IT IS OPEN ONTO</div> <div>MEZZANINE SIZE: 6,102 S.F.</div> <div>OFFICE AREA: 4,322 S.F. OCCUPANT LOAD: 1,100 S.F. = 44 PERSONS</div> <div>STORAGE AREA: 1,780 S.F. OCCUPANT LOAD: 1,300 S.F. = 6 PERSONS</div> <div>TOTAL OCCUPANT LOAD: 60</div> <div>SECTION 508 MIXED USE BUILDING</div> <div>508.3 GENERAL</div> <div>EACH PORTION OF A BUILDING SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1</div> <div>WHERE A BUILDING CONTAINS MORE THAN ONE OCCUPANCY GROUP, THE BUILDING OR PORTION THEREOF SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF SECTION 508.2, 508.3 OR 508.4, OR A COMBINATION OF THESE SECTIONS.</div> <div>CHAPTER 6 TYPES OF CONSTRUCTION</div> <div>SECTION 602 CONSTRUCTION CLASSIFICATION</div> <div>602.2 TYPE IIB CONSTRUCTION WITH AUTOMATIC SPRINKLER SYSTEM</div> <div>SECTION 603 COMBUSTIBLE MATERIAL IN TYPE I AND TYPE II CONSTRUCTION</div> <div>603.1 ALLOWABLE MATERIALS</div> <div>1. FIRE RETARDANT WOOD IS PERMITTED IN: 1.1 NON BEARING PARTITIONS OF LESS THAN 2 HR. RATING 1.2 NON BEARING EXTERIOR WALLS WHERE NO RATING IS REQUIRED 1.3 ROOF CONSTRUCTION AS PERMITTED IN TABLE 601, NOTE C, ITEM 3</div> <div>EXCEPTIONS:</div> <div>3. FOAM PLASTICS IN ACCORDANCE WITH CHAPTER 26.</div> <div>4. ROOF COVERINGS THAT HAVE AN A, B OR C CLASSIFICATION.</div> <div>9. WHERE NOT INSTALLED GREATER THAN 15 FEET (4572 MM) ABOVE GRADE, SHOW WINDOWS, NAILING OR FURRING STRIPS AND WOODEN BULKHEADS BELOW SHOW WINDOWS, INCLUDING THEIR FRAMES, APRONS AND SHOW CASES.</div> <div>14. BLOCKING SUCH AS FOR HANDRAILS, MILLWORK, CABINETS AND WINDOW AND DOOR FRAMES.</div> <div>24. MATERIALS ALLOWED IN THE CONCEALED SPACES OF BUILDINGS OF TYPES I AND II CONSTRUCTION IN ACCORDANCE WITH SECTION 718.5.</div> <div>TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS</div> <div>TYPE IIB CONSTRUCTION</div> <div>RATING IN HOURS</div> <div>STRUCTURAL FRAME 0</div> <div>BEARING WALLS</div> <div>EXTERIOR 0</div> <div>INTERIOR 0</div> <div>NON BEARING WALLS AND PARTITIONS</div> <div>EXTERIOR 0</div> <div>INTERIOR 0</div> <div>FLOOR CONSTRUCTION</div> <div>INCLUDING SUPPORTING BEAMS AND JOISTS 0</div> <div>ROOF CONSTRUCTION</div> <div>INCLUDING SUPPORTING BEAMS AND JOISTS 0</div> <div>CHAPTER 7 FIRE RESISTANT MATERIALS AND CONSTRUCTION</div> <div>SECTION 705 EXTERIOR WALLS</div> <div>705.3 BUILDINGS ON THE SAME LOT</div> <div>705.6 ALLOWABLE AREA OF OPENINGS</div> <div>TABLE 705.6 MAXIMUM AREA OF OPENINGS WITH A FIRE SEPARATION DISTANCE GREATER THAN 30' NO LIMIT</div> <div>705.11 PARAPETS</div> <div>EXCEPTIONS:</div> <div>PARAPETS ARE NOT REQUIRED ON WALLS NOT REQUIRED TO BE FIRE RATED</div> <div>705.11.1 PARAPET CONSTRUCTION</div> <div>WHEN REQUIRED PARAPETS TO BE OF SAME CONSTRUCTION AS WALL BELOW, HAVE NON COMBUSTIBLE FACES FOR THE UPPERMOST 18" INCLUDING COUNTER-FLASHING AND COPING MATERIALS AND EXTEND A MINIMUM OF 30" ABOVE ROOF INTERSECTION.</div> <div>SECTION 718 CONCEALED SPACES</div> <div>718.2 FIREBLOCKING MATERIALS</div> <div>APPROVED MATERIALS ARE LUMBER, GYPSUM BOARD, CEMENT FIBER BOARD, BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER IN THE THICKNESS SPECIFIED.</div> <div>718.2.2 CONCEALED WALL SPACES</div> <div>FIREBLOCKING IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED WALLS, IS REQUIRED VERTICALLY AT CEILING OR FLOOR LEVELS AND HORIZONTALLY AT 10' INTERVALS.</div> <div>718.2.3 CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES</div> <div>FIREBLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS AT FLOOR JOISTS OR TRUSSES AND BETWEEN AREAS CREATED BY SOFFITS, DROP CEILINGS COVE CEILINGS AND SIMILAR SPACES.</div> <div>CHAPTER 8 INTERIOR FINISHES</div> <div>SECTION 803 WALLS AND CEILING FINISHES</div> <div>803.1 GENERAL</div> <div>CLASS C: FLAME SPREAD 75-200; SMOKE DEVELOPED 0-450.</div> <div>808.1.1 SUSPENDED ACOUSTICAL CEILINGS</div> <div>INSTALLED IN ACCORDANCE WITH ASTM C 635 AND ASTM C 636</div> <div>SECTION 804 INTERIOR FLOOR FINISH</div> <div>804.1 GENERAL</div> <div>RESILIENT FLOOR COVERINGS ARE EXEMPT FROM FIRE CLASSIFICATION</div> <div>TABLE 803.11 INTERIOR WALL AND CEILING FINISH REQUIREMENTS</div> <div>SPRINKLERED</div> <div>CLASS RATING</div> <div>VERTICAL EXITS AND PASSAGEWAYS C</div> <div>EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS C</div> <div>ROOMS AND ENCLOSED SPACES C</div> <div>804.4.2 MINIMUM CRITICAL RADIANT FLUX</div> <div>INTERIOR FLOOR FINISHES IN VERTICAL EXITS, EXIT ACCESS PASSAGEWAYS AND EXIT CORRIDORS SHALL NOT BE LESS THAN CLASS II. IN ALL OTHER AREAS THE FLOOR FINISH SHALL COMPLY WITH DCC FF-1 "T11L TEST" (CPSC 16 CFR).</div> <div>CHAPTER 9 FIRE PROTECTION SYSTEMS</div> <div>SECTION 903 AUTOMATIC SPRINKLER SYSTEMS</div> <div>902.7 AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13.</div> <div>907.1 FIRE ALARM SYSTEMS ARE EXISTING AND ARE TO BE MODIFIED AS REQUIRED (NFPA 72)</div> <div>907.1.2 FIRE ALARM SHOP DRAWINGS ARE TO BE SUBMITTED BY CONTRACTOR</div> <div>CHAPTER 10 - MEANS OF EGRESS</div> <div>SECTION 1004 - OCCUPANT LOAD</div> <div>TABLE 1004.1.2 USED TO DETERMINE OCCUPANT LOAD</div> <div>SALES AREA: 56,802 S.F. / 60 NET S.F. PER PERSON = 947</div> <div>EMPLOYEE AREAS: 18,468 S.F. / 100 GROSS S.F. PER PERSON = 185</div> <div>STORAGE / DOCK: 2,275 S.F. / 300 GROSS S.F. PER PERSON = 8</div> <div>TOTAL OCCUPANT LOAD: 1,140</div> <div>SECTION 1005 - EGRESS WIDTH</div> <div>SECTION 1005.1 - EGRESS WIDTH PER OCCUPANT SERVED</div> <div>SPRINKLERED BUILDINGS</div> <div>STAIRWAYS: 0.30" PER OCCUPANT</div> <div>OTHER EGRESS COMPONENTS: 0.20" PER OCCUPANT</div> <div>USE GROUP M (SPRINKLERED) - DOORS/CORRIDORS = 0.20 in. PER PERSON</div> <div>0.20 in. PER PERSON x 1,140 PERSONS = 228 in. TOTAL WIDTH REQUIRED</div> <div>TOTAL WIDTH PROVIDED: 381 in.</div> <div>TOTAL SALES FLOOR WIDTH PROVIDED: 623 in.</div> <div>SECTION 1006 - NUMBER OF EXITS AND ACCESS DOORWAYS</div> <div>TABLE 1006.2.1 - COMMON PATH OF EGRESS TRAVEL</div> <div>THE COMMON PATH OF TRAVEL SHALL NOT EXCEED 75'.</div> <div>1006.2.1.1 THREE OR MORE EXIT ACCESS DOORWAYS</div> <div>EXCEPTION: THE SEPARATION DISTANCE OF AT LEAST TWO EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE THIRD THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSIONS OF THE AREA SERVED.</div> <div>1006.2.2.3 REFRIGERATED ROOMS OR SPACES</div> <div>ROOMS OR SPACES HAVING A FLOOR AREA LARGER THAN 1,000 S.F., CONTAINING A REFRIGERANT EVAPORATOR AND MAINTAINED AT A TEMPERATURE BELOW 55 DEGREES F SHALL HAVE ACCESS TO AT LEAST TWO EXITS OR EXIT ACCESS DOORS. THE TRAVEL DISTANCE SHALL BE IN ACCORDANCE WITH SECTION 1015.1.</div> <div>TABLE 1006.3.1 - MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD</div> <div>MORE THAN 1,000 PERSONS SHALL BE HAVE MINIMUM 4 EXITS.</div> <div>NUMBER OF EXITS PROVIDED: 7 (3 OFF SALES FLOOR)</div> <div>SECTION 1008 - MEANS OF EGRESS ILLUMINATION</div> <div>1008.1 ILLUMINATION REQUIRED</div> <div>THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE FLOOR LEVEL.</div> <div>SECTION 1010 - DOORS, GATES, AND TURNSTILES</div> <div>1010.1 SIZE OF DOORS</div> <div>THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" AS MEASURED AT 90 DEGREES BETWEEN THE DOOR STOP AND THE FACE OF THE DOOR. THE MAXIMUM DOOR LEAF SHALL BE 48".</div> <div>1010.1.9.7 DELAYED EGRESS LOOKS</div> <div>WHERE DELAYED EGRESS LOOKS ARE INSTALLED ON MEANS OF EGRESS DOORS, EITHER AN AUTOMATIC HEAT OR SMOKE DETECTION SYSTEM.</div> <div>1010.1.9.8 SENSOR RELEASE OF ELECTRICALLY LOCKED EGRESS DOORS</div> <div>THESE DOORS ARE TO BE INSTALLED WITH THE PROVISIONS OF THIS SECTION.</div> <div>SECTION 1016 - EXIT ACCESS</div> <div>1016.2 EGRESS THROUGH INTERVENING SPACES</div> <div>EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SPACES USED FOR SIMILAR PURPOSES.</div> <div>SECTION 1017 - EXIT ACCESS TRAVEL DISTANCE</div> <div>1017.2 TRAVEL DISTANCE LIMITATIONS</div> <div>TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE</div> <div>OCCUPANCY: M</div> <div>MAXIMUM LENGTH OF ALLOWED TRAVEL WITH SPRINKLER SYSTEM: 250'</div> <div>MAXIMUM DISTANCE PROVIDED: 250'</div> <div>SECTION 1020 - CORRIDORS</div> <div>1020.4 DEAD ENDS</div> <div>MAXIMUM LENGTH OF DEAD END CORRIDOR SHALL NOT EXCEED 50'.</div> <div>CHAPTER 11 - ACCESSIBILITY</div> <div>BUILDING IS DESIGNED IN COMPLIANCE WITH 2009 ICC/ANSI A117.1.</div> <div>ANY AND ALL CONTROLS, OPERATING MECHANISMS AND HARDWARE INTENDED TO BE ACCESSED BY THE PUBLIC AND EMPLOYEES ON A REGULAR BASIS SHALL BE INSTALLED NO LESS THAN 15" A.F.F. AND SHALL NOT EXCEED 48" A.F.F.</div> <div>TACTILE EXIT SIGNS STATING "EXIT" SHALL BE PROVIDED AT 5'-0" A.F.F. ON THE ADJACENT WALL ON THE LATCH SIDE OF ANY DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.</div> <div>CHAPTER 20 - PLUMBING SYSTEMS</div> <div>TABLE 2002.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES</div> <div>OCCUPANT LOAD:</div> <div>570 MALES 570 FEMALES</div> <div>WC (R) LAV DF</div> <div>1/500 1/750 1/1,000</div> <div>TOTAL REQUIRED: 3 2 2</div> <div>PROVIDED - MEN: 3 (2) 3</div> <div>PROVIDED - WOMEN: 5 3</div> <div>TOTAL PROVIDED: 8 (2) 6 2</div> <div>SECTION 3401 - EXISTING BUILDING AND STRUCTURES</div> <div>ALL CONSTRUCTION TO BE IN COMPLIANCE WITH THIS SECTION</div>	<div>ITEMS STILL NEEDED:</div> <div>-DECOR DRAWINGS</div> <div>-REFRIGERATION DRAWINGS</div> <div>-LOW VOLTAGE</div> <div>- PHASING PLAN</div> <div>- MERCHANDISING PLAN</div> <div>QUESTIONS:</div> <div>-FLORAL MILLWORK CHANGES</div>

Prepared For:

**THE KROGER CO.**

**COLUMBUS DIVISION**

**FACILITY ENGINEERING**

**4111 EXECUTIVE PARKWAY**


**WESTERVILLE, OHIO 43081**

**p:614-898-3338 Contact:**

**Yvonne Degraffinreed Email:**

**yvonne.degraffinreed@kroger.com**

Prepared By:

 **MOODY•NOLAN**

**300 SPRUCE STREET, SUITE 300**

**COLUMBUS, OHIO 43215**

**p:614-461-4664**

**Contact: Nathan Fields**

**Email: nfields@moodynolan.com**

**KLH ENGINEERING**

**MEP/FP/Engineering**

**444 S. Front St.**

**Columbus, OH 43215**

**p:614-603-2715**

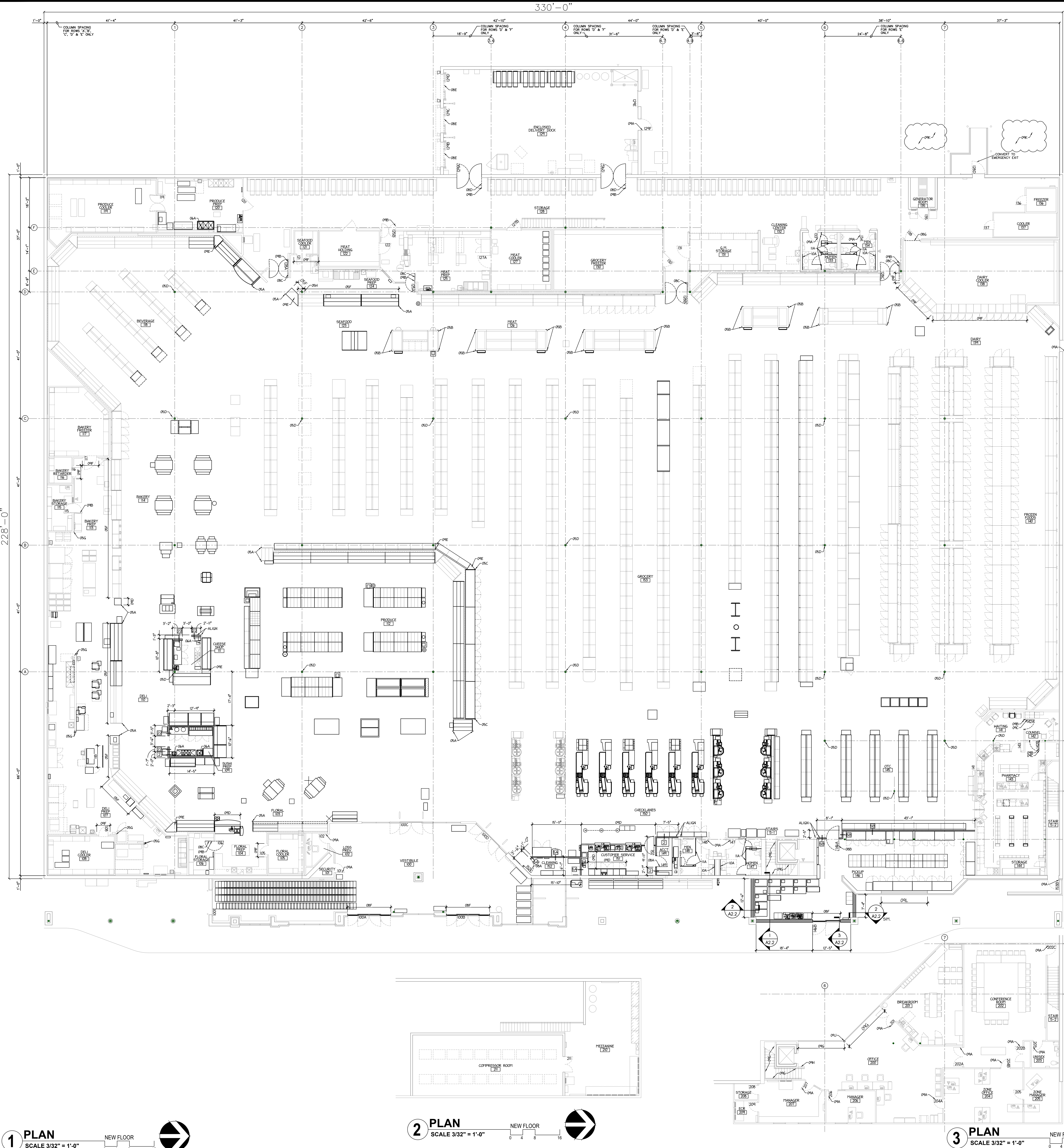
**Contact: Katie Lemler**

**Email: klemler@klhengrs.com**

**95% OWNER REVIEW SET**

**8.14.2020**





### General Notes

- DO NOT SCALE THE DRAWINGS. REFER TO DIMENSIONS INDICATED ONLY IF FURTHER DIMENSIONAL INFORMATION IS REQUESTED, CONTACT THE ARCHITECT OR KROGER ENGINEER FOR CLARIFICATIONS.
- PROVIDE WOOD BLOCKING IN STUD WALLS AS REQUIRED TO SUPPORT WALL MOUNTED EQUIPMENT AND SHELVING.
- ALL ANGLED WALLS AND SOFFITS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
- PROVIDE WOOD BLOCKING FOR SIGNAGE, COORDINATE LOCATION WITH KROGER ENGINEER.
- THIS BUILDING CONTAINS A COMPLETE FIRE PROTECTION SYSTEM. NO EXPOSED PIPING SHALL BE ALLOWED IN THE FINISHED AREAS. SPRINKLER SYSTEM SHALL BE REVISED AS NECESSARY BY SPRINKLER CONTRACTOR'S CERTIFIED ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR THIS WORK.
- DIMENSIONS ARE TO FACE OF MASONRY WALL AT UNFINISHED MASONRY WALLS WITH FURRING AND GYPSUM BOARD WALLS. AT METAL STUD WALLS, DIMENSIONS ARE TO FINISHED FACE OF GYPSUM BOARD.
- REFER TO FINISH PLAN AND SPECIFICATIONS FOR FINISHES. SUBMIT ALL FINISH SAMPLES TO KROGER ENGINEER FOR APPROVAL.
- THE KROGER COMPANY WILL SUPPLY AND ERECT ALL EXTERIOR BUILDING SIGNAGE (IF APPLICABLE).
- ADA ACCESSIBLE TOILET STALL DOORS TO BE A MINIMUM OF 2'-0" WIDE.
- ALL WORK TO BE COORDINATED WITH KROGER ENGINEER AND RESPECTIVE TRADES.
- ALL FRAMING LUMBER AND SHEATHING USED TO BE F.T.T. (FIRE RETARDANT TREATED).
- USE CADMIUM PLATED OR STAINLESS STEEL SCREWS AND FASTENERS FOR F.T. WOOD, BACKER BOARDS, GREEN (MOISTURE RESISTANT) GYPSUM BOARD, EXTERIOR GYPSUM BOARD AND SHEATHING.
- GYPSUM BOARD CONTROL JOINTS REQUIRED IN NEW SOFFITS AT 20'-0" O.C. LOCATE CONTROL JOINTS IN PAINTED SOFFITS ONLY. DO NOT LOCATE CONTROL JOINTS AT SIGNAGE AREAS.
- ALL WALLS TO BE INSTALLED TO BE 3-5/8" METAL STUD UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL DURROCK OR WONDER BOARD. BACK-UP TO 48" ABOVE FLOOR IN MEAT, SEAFOOD, PRODUCE PREP AREAS AND RESTROOMS AT ALL WALLS WITH CERAMIC TILES (EXCEPT ACCENT BAND). ALL OTHER AREAS IN RESTROOMS AND PREP ROOMS TO BE WATER RESISTANT GYPSUM BOARD.
- DO NOT ATTACH METAL STUDS TO ROOF DECK. ATTACH METAL STUDS TO STRUCTURE AND EXTEND GYPSUM BOARD TO DECK.
- ALL COLUMN DIMENSIONS ARE FROM EXISTING DRAWINGS. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS BEFORE START OF WORK.
- FILL GAPS BETWEEN COOLERS, FREEZERS, AND ALL WALLS WITH MATERIALS TO MATCH ADJACENT SURFACES.
- ALL COLUMN TO BE PAINTED. IF CONTAINS A COLUMN COVER, THEN PAINT FROM TOP OF COLUMN COVER TO FINISHED CEILING. IF NO COLUMN COVER, THEN PAINT FROM FINISHED FLOOR TO FINISHED CEILING.
- ALL COLUMN COVERS TO BE REPLACED BY G.C. PER DECOR PACKAGE STANDARDS. SEE ASD-63.
- IF COLUMN BECOMES EXPOSED DUE TO THE NEW SHELVING LAYOUT THEN G.C. IS RESPONSIBLE FOR INSTALLING A NEW COLUMN COVER.
- REMOVE EXISTING AND INSTALL NEW STRIP DOORS AT FREEZER/ COOLER LOCATIONS PER F.I.
- CONTRACTOR IS RESPONSIBLE FOR REPLACING ALL DRYWALL THAT IS DAMAGED BEHIND REPLACED CASES THAT HAS EITHER DETERIORATED OR SHOWS SIGNS OF MOLD.
- 300 BASCARTS ARE TO BE ADDED. (G.C. IS RESPONSIBLE FOR UNLOADING.)
- 75 BASKET CARTS ARE TO BE ADDED. (G.C. IS RESPONSIBLE FOR UNLOADING.)
- 6 ELECTRICAL CARTS ARE TO BE ADDED. (G.C. IS RESPONSIBLE FOR UNLOADING.)
- NEW KPHR, KBAR AND CENTER STORE IS TO BE INSTALLED. SEE PROJECT MANUAL FOR INSTALLATION GUIDELINES.
- ALL EQUIPMENT ATTACHED TO WALLS RECEIVING NEW FINISHES NEED TO BE RELOCATED AND OPERATIONAL DURING THE INSTALLATION OF NEW WALL FINISHES.
- G.C. TO PROVIDE AND INSTALL RECTANGULAR COLUMN COVERS. KROGER TO PROVIDE ROUND COLUMN COVERS AND G.C. TO INSTALL.

### Coded Notes

- 05A NEW REMOVABLE CHROME PROTECTIVE POST. COORDINATE LOCATIONS WITH FIXTURING CONTRACTOR AND KROGER ENGINEER. REFER TO ASD-19.
- 05B NEW ISLAND 24" CASE GUARDS. SEE ASD-165. COORDINATE LOCATIONS WITH FIXTURING CONTRACTOR & KROGER ENGINEER.
- 05C NEW GLASS DOOR 12" CASE GUARDS. SEE ASD-160A. COORDINATE LOCATIONS WITH FIXTURING CONTRACTOR & KROGER ENGINEER.
- 05D NEW SALES AREA COLUMN COVERS. (KROGER TO PROVIDE) REFER TO ASD-167.
- 05F STAINLESS STEEL WATER CUTOFF FLASHING AT PREP AREAS. REFER TO GSD-14.
- 05G NEW STAINLESS STEEL CORNER GUARDS TO BE INSTALLED. REFER TO ASD-64A.
- 05H WRAP COLUMN WITH NEW FRP. KROGER PM TO SELECT MATERIAL.
- 06A PROVIDE BLOCKING IN WALL AS REQUIRED FOR SINKS.
- 06B NEW HOLLOW METAL DOOR AND FRAME. PAINT PER DOOR SCHEDULE.
- 06B NEW DOUBLE ACTING DOOR AND STEEL FRAME PER ASD-56.
- 06C NEW DOUBLE ACTING DOOR IN EXISTING STEEL FRAME (RIGID DOOR).
- 06D NEW DOUBLE ACTING DOOR IN EXISTING STEEL FRAME (FLEXIBLE DOOR).
- 06E NEW OVERHEAD DOOR AND SEALS PER ASD-148 (ALTERNATE).
- 06F NEW EXTERIOR ALUMINUM ENTRANCE DOORS (BY KROGER).
- 06G NEW STRIP CURTAIN TO BE INSTALLED.
- 06A PAINT ENTIRE DOOR AND FRAME. SEE DOOR SCHEDULE FOR COLOR.
- 06B PAINT ENTIRE DOOR FRAME. SEE ROOM FINISH SCHEDULE FOR COLOR.
- 06C INSTALL NEW DOOR IN EXISTING FRAME. SEE DOOR SCHEDULE FOR COLOR.
- 06D INSTALL NEW KROGER PROVIDED MILLWORK.
- 06E PROVIDE INSTALL NEW FILLER.
- 06F ELECTROSTATIC PAINT EXISTING COOLER. COLOR AS SELECTED BY KROGER ENGINEER.
- 06G PAINT EXISTING HANDRAILS. KROGER PM TO SELECT COLOR.
- 06H INSTALL NEW SOLID SURFACE CAP FOR PARTIAL HEIGHT WALL.
- 06I PAINT EXISTING COLUMN.
- 06K BLACK OUT ALL CLICKLIST PARKING STRIPING AND REMOVE SIGNAGE.
- 06L BLACK OUT WINDOW TINT EXISTING WINDOWS.
- 10A INSTALL NEW MIRROR.
- 11A NEW TOILET PARTITION. REINSTALL SALVAGED ACCESSORIES.
- 11B NEW DIGITAL MENU BOARDS. REFER TO ASD-72.
- INSTALLED 3' FROM THE BACK OF THE COUNTER (ASSOCIATE SIDE) OR ABOUT 8' FROM THE CUSTOMER SIDE OF THE COUNTER. REFER TO FINAL FIXTURE PLAN.
- TVS MUST BE INSTALLED WITH NO GAPS BETWEEN THE TVS. LEVEL AND FLUSH WITH ONE ANOTHER ADHESIVE STRIPS MAY BE USED ON THE BACK OF THE PANELS FOR PROPER ALIGNMENT.
- THE BOTTOM OF THE TV TO BE NO LESS THAN 80" FROM THE GROUND.
- SECURE POWER CORD TIGHT TO THE MOUNTING BRACKET.

### Legend

- WALL TYPE MARK - SEE SHEET A5.1
- WALL STUD SIZE. ALL STUDS TO BE 3-5/8" UNLESS NOTED OTHERWISE
- PARTIAL WALL HEIGHT NOTED ON PLAN. REFER TO WALL TYPE ON A5.1 FOR DETAILS

#	Date	Change Description

**KROGER N871  
STONERIDGE PLAZA**  
1365 STONERIDGE DRIVE  
GAHANNA, OH 43230

for  
**THE KROGER COMPANY**

**MOODY•NOLAN**  
300 Spruce Street  
Suite 300  
Columbus, Ohio 43215

Phone: (614) 461-4664  
Fax: (614) 290-8851  
www.moodynolan.com

Des. Coord.: NLF  
Tech. Coord.:  
Proj. #: 20249

**PLAN  
NEW CONSTRUCTION**

PRELIMINARY REVIEW

**A1.1**

7/01/2020





**2 FRONT ELEVATION** NEW WORK  
SCALE 3/32" = 1'-0"



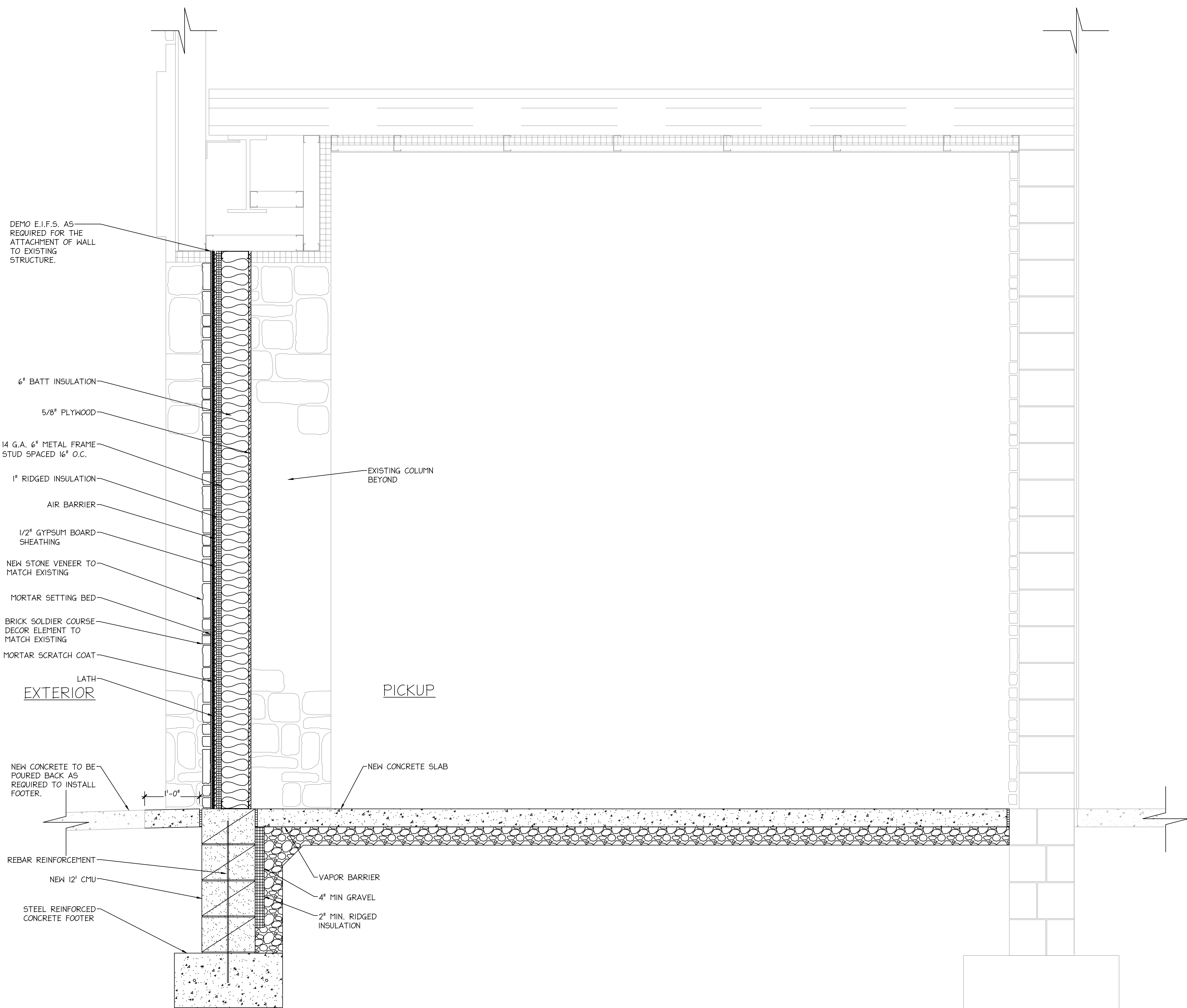
**1 FRONT ELEVATION** EXISTING  
SCALE 3/32" = 1'-0"

#	Date	Change Description

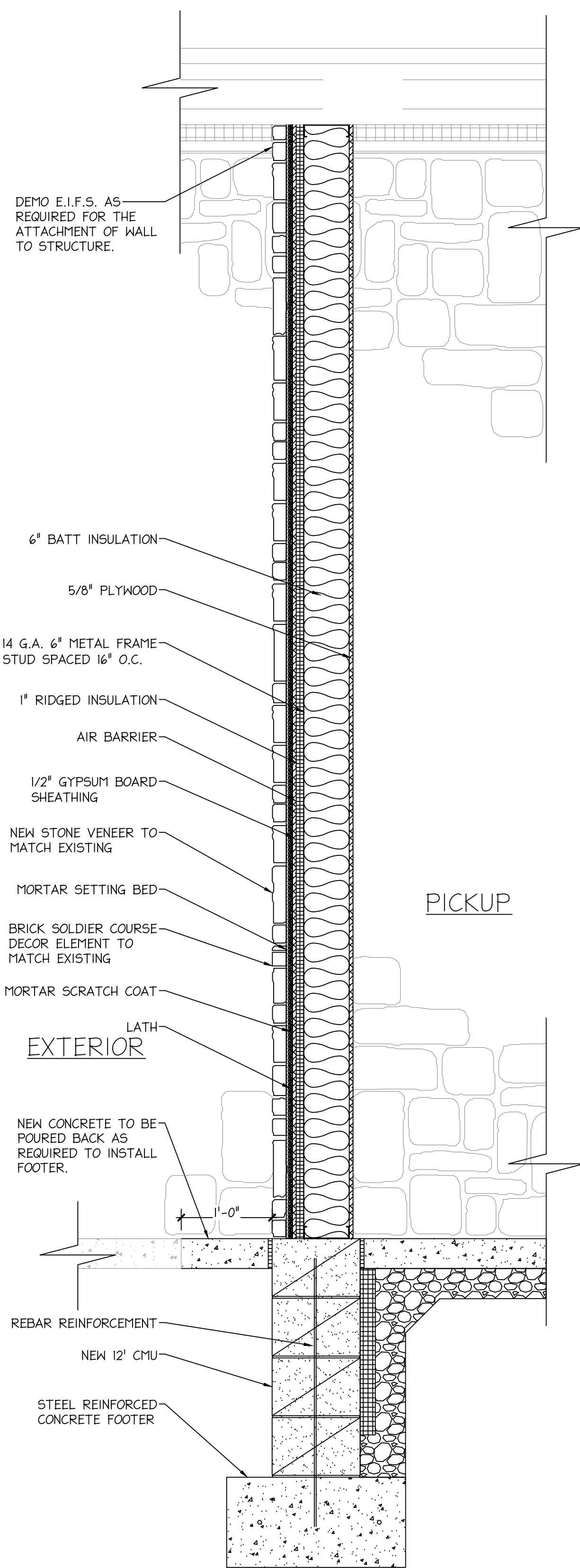
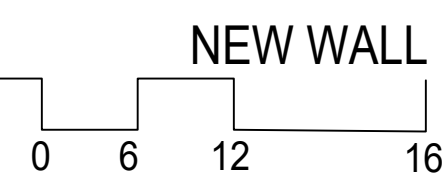
**KROGER N871**  
**STONERIDGE PLAZA**  
1385 STONERIDGE DRIVE  
GAHANNA, OH 43230  
for  
**THE KROGER COMPANY**

**MOODY•NOLAN**  
300 Spruce Street  
Suite 300  
Columbus, Ohio 43215  
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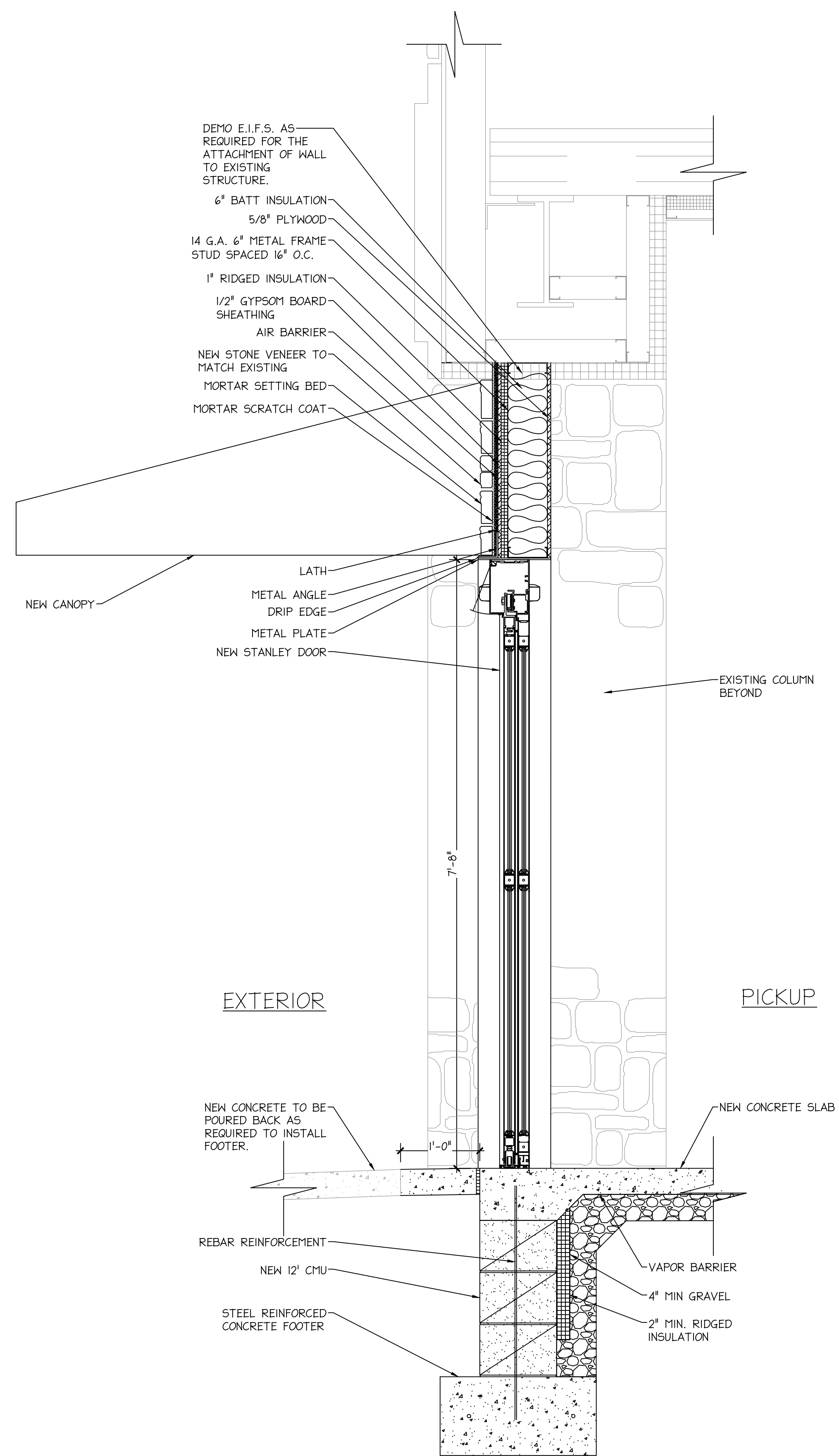
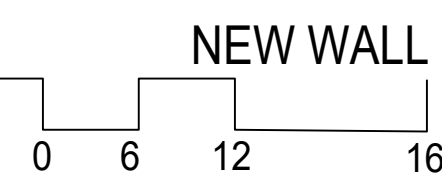
Dwg. Coord.: NLF	Tech. Coord.:	Proj #: 20249
<b>ELEVATION EXTERIOR</b>		<b>A2.1</b>
PRELIMINARY REVIEW		7/01/2020



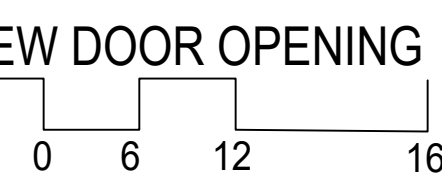
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**2 SECTION**  
SCALE 1" = 1'-0"

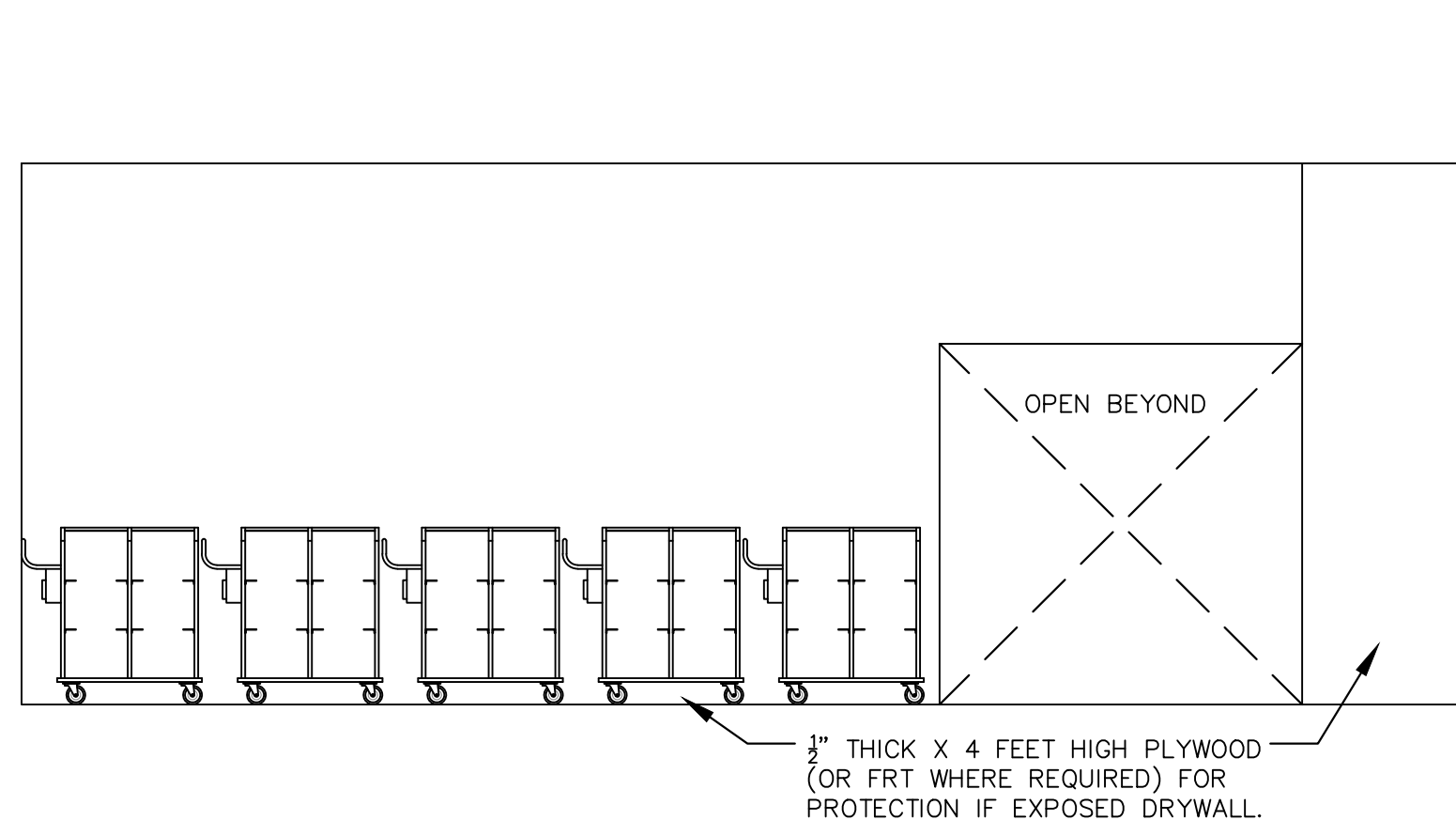


**3 SECTION**  
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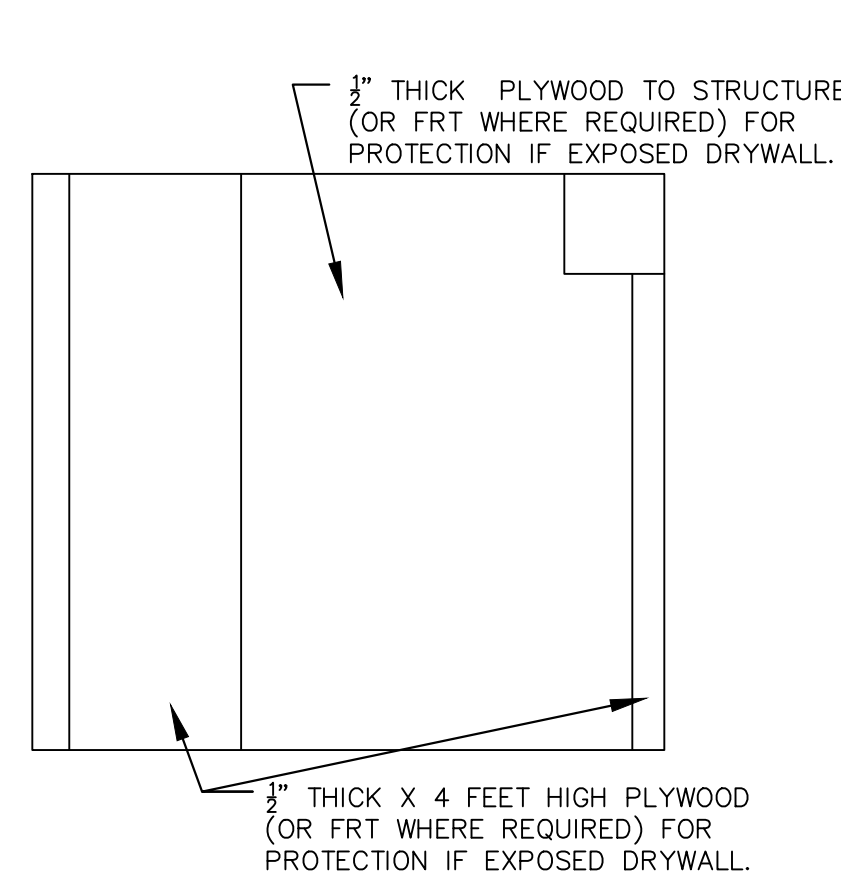


#	Date	Change Description
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<div><div></div><div>MOODY•NOLAN 300 Spruce Street Suite 300 Columbus, Ohio 43215 Phone: (614) 461-4664 Fax: (614) 290-8851 www.moodynolan.com</div></div>		
Des. Coord.: NLF	Tech. Coord.:	Proj #: 20249
SECTIONS BUILDING		A2.2
PRELIMINARY REVIEW		7/01/2020

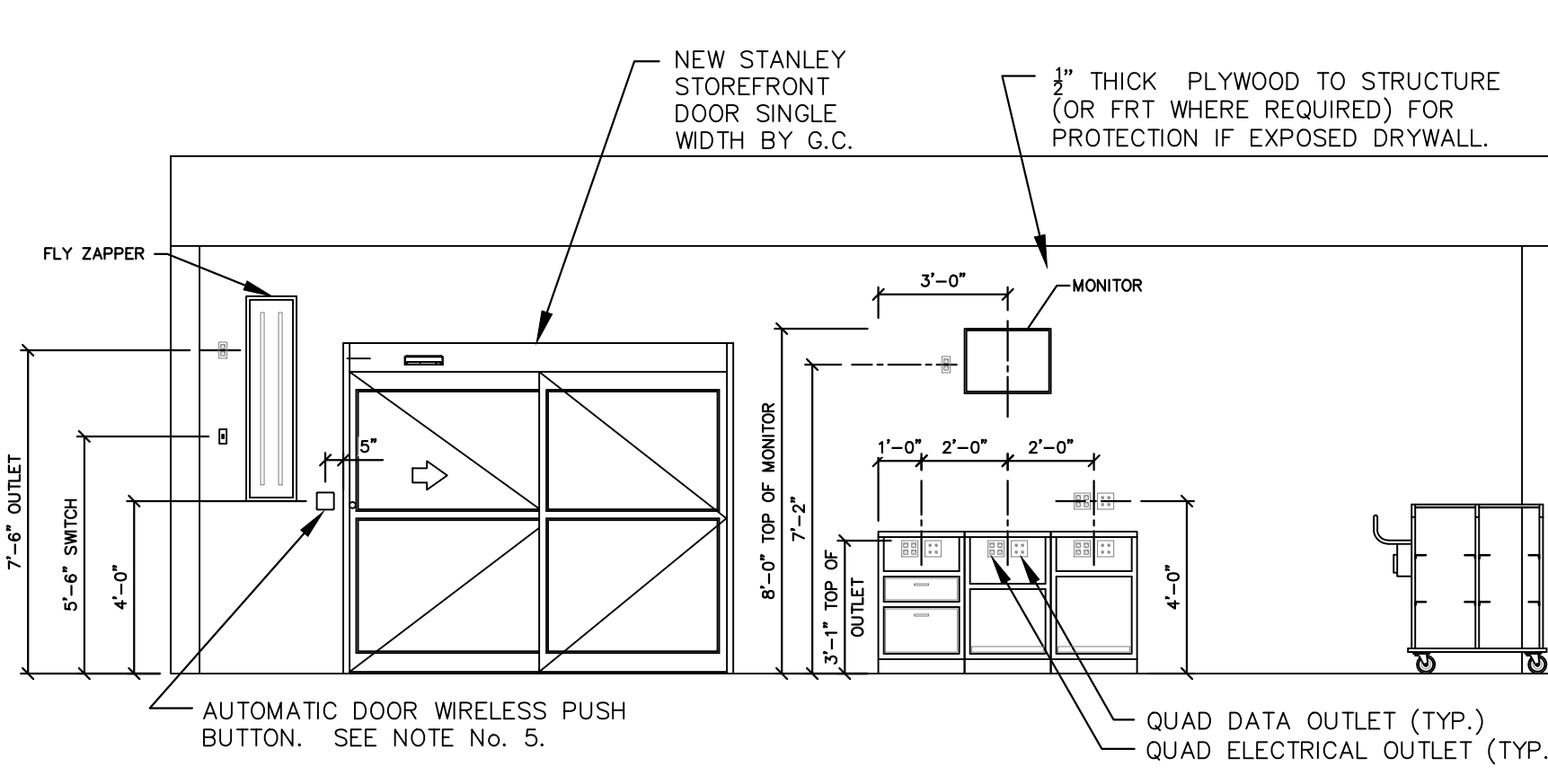




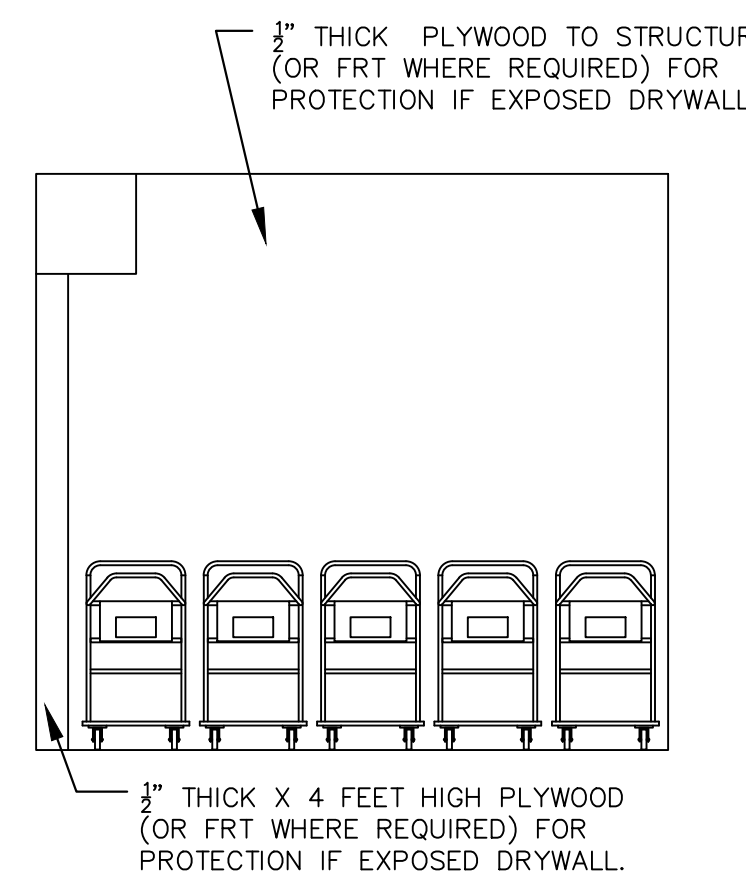
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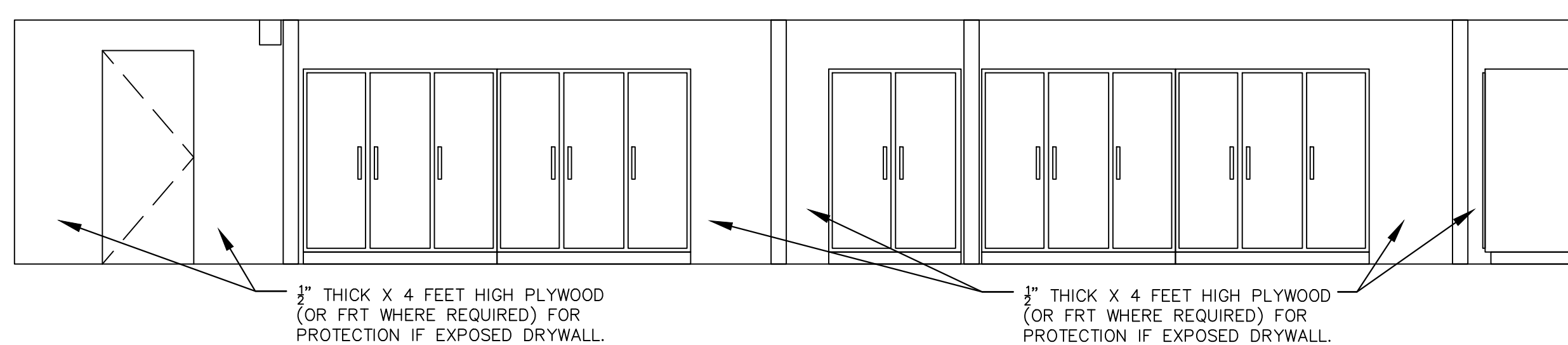
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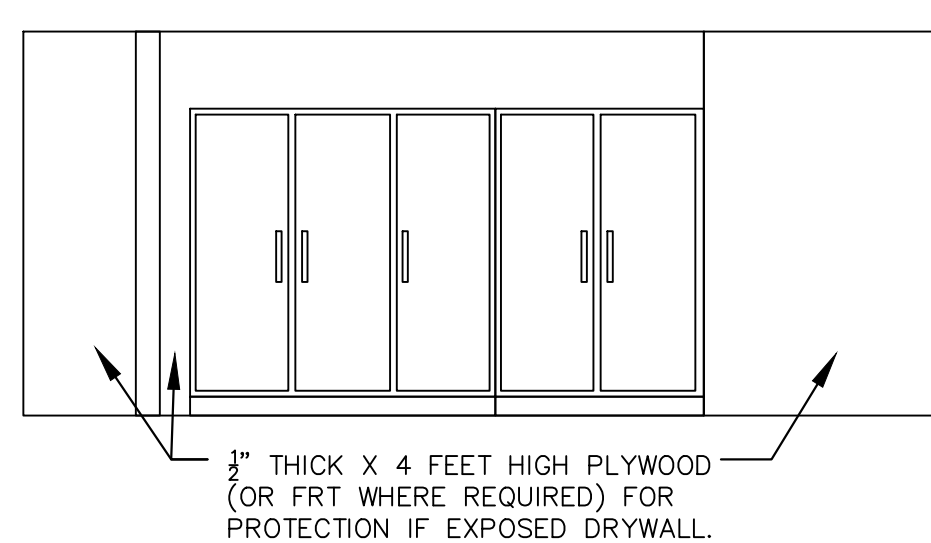
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SCALE 1/4" = 1'-0"



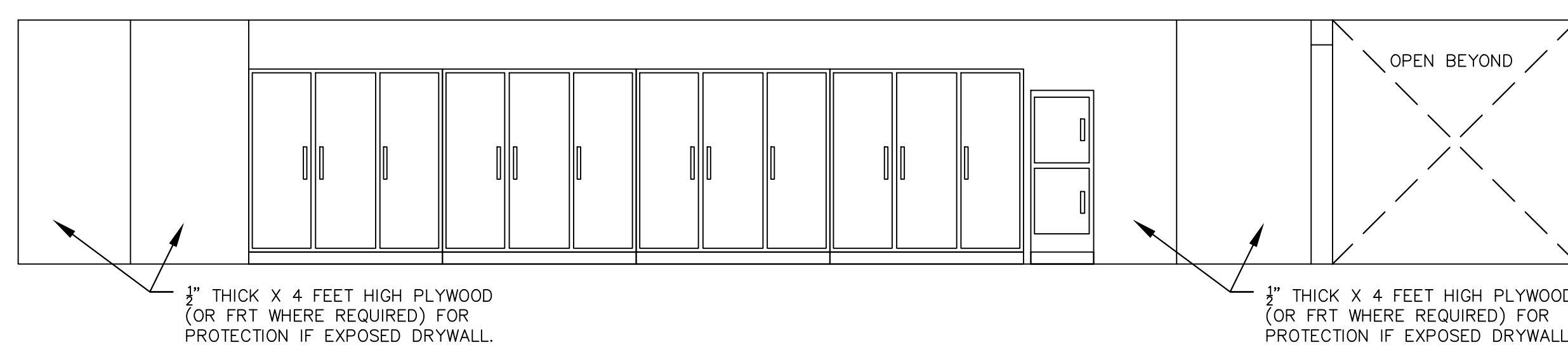
**9 ELEVATION**  
SCALE 1/4" = 1'-0"



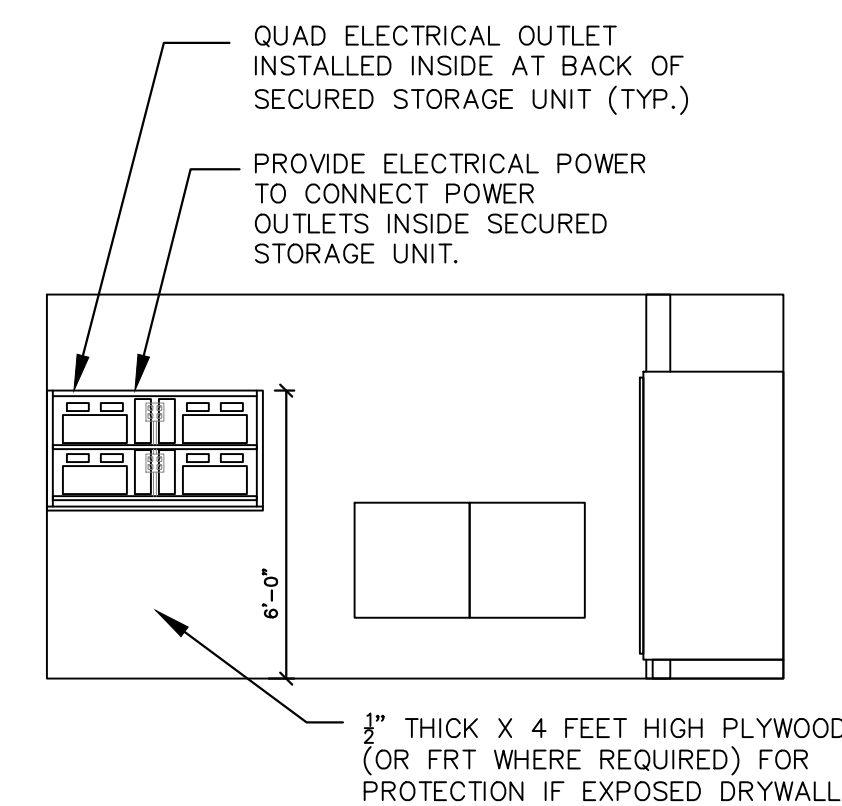
**2 ELEVATION**  
SCALE 1/4" = 1'-0"



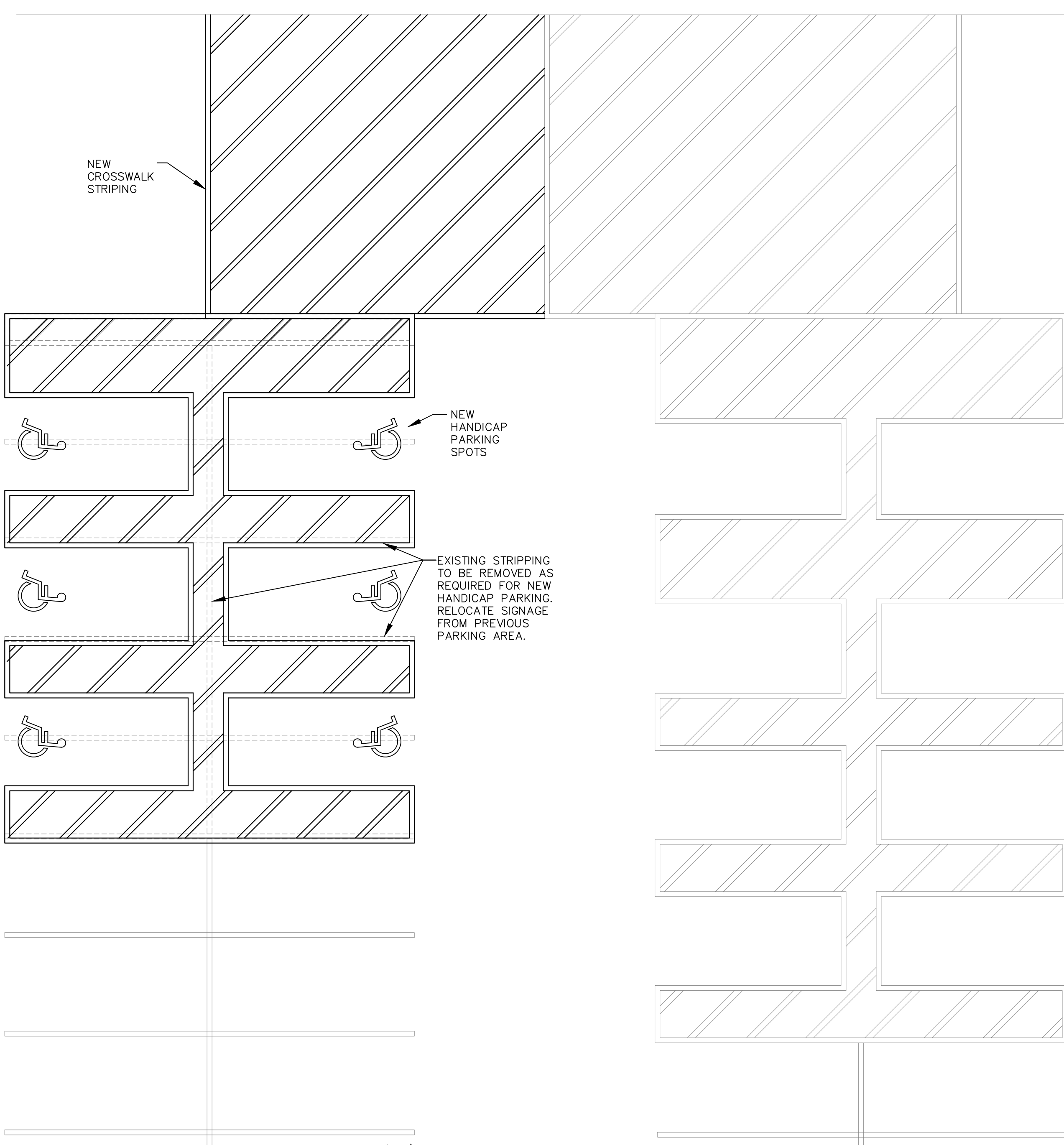
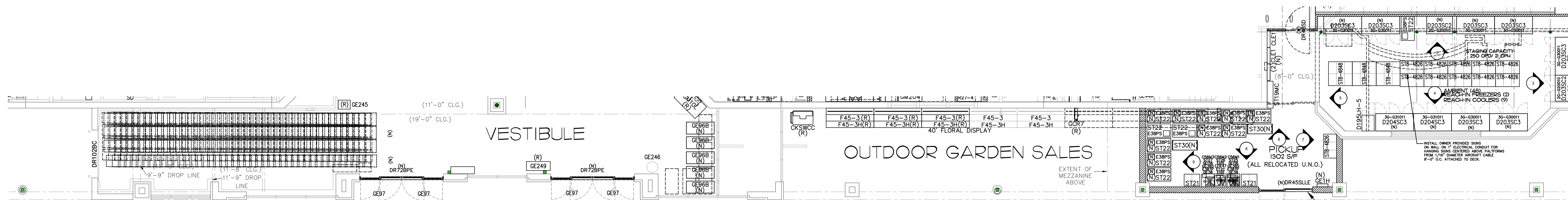
**3 ELEVATION**  
SCALE 1/4" = 1'-0"



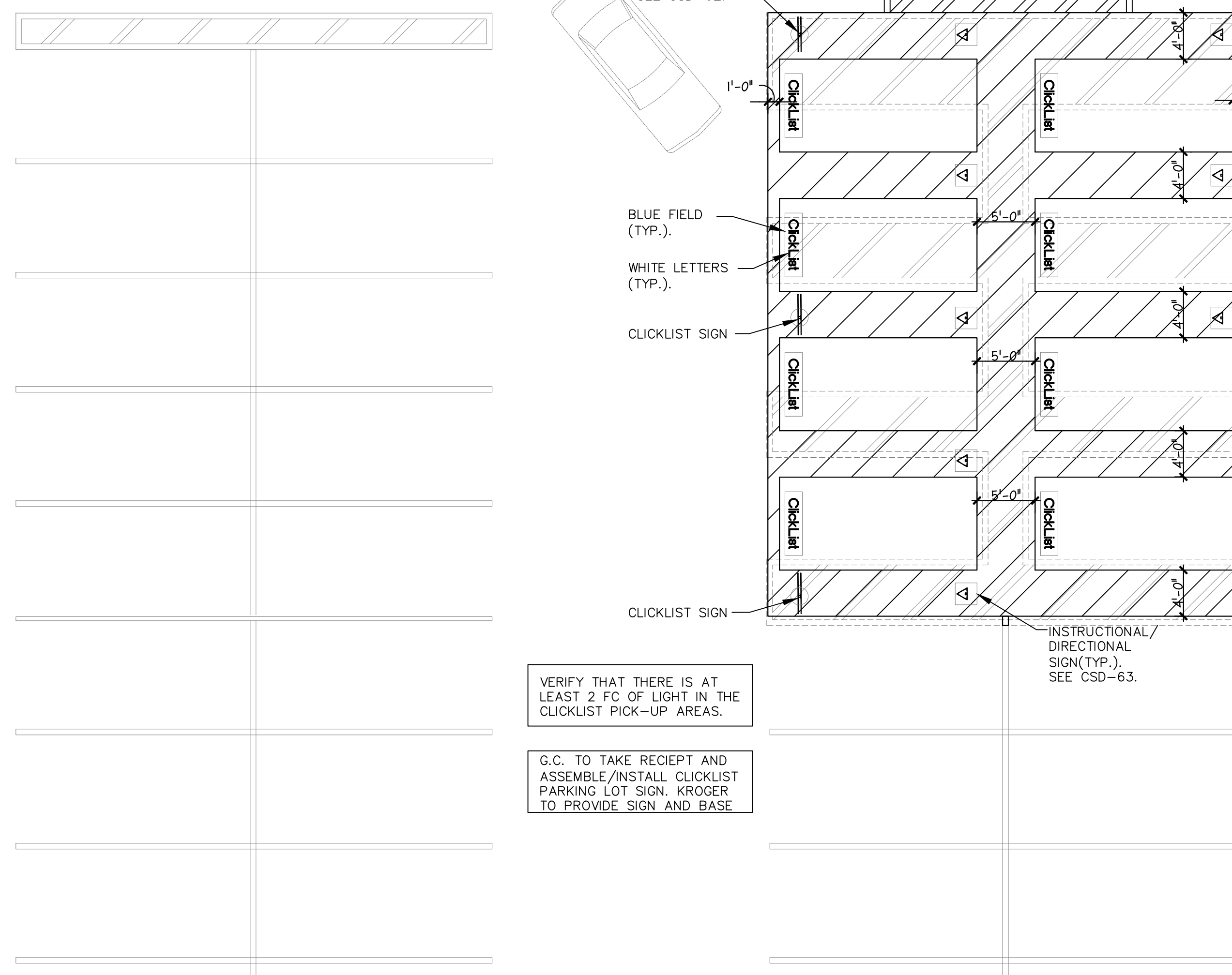
**4 ELEVATION**  
SCALE 1/4" = 1'-0"



**5 ELEVATION**  
SCALE 1/4" = 1'-0"



**1 SITE PLAN**  
SCALE 1/4" = 1'-0"



VERIFY THAT THERE IS AT LEAST 2 FC OF LIGHT IN THE CLICKLIST PICK-UP AREAS.

G.C. TO TAKE RECEIPT AND ASSEMBLE/INSTALL CLICKLIST PARKING LOT SIGN, KROGER TO PROVIDE SIGN AND BASE.

#	Date	Change Description

**KROGER N871 STONERIDGE PLAZA**  
1385 STONERIDGE DRIVE  
GAHANNA, OH 43230  
for  
**THE KROGER COMPANY**

**MOODY•NOLAN**  
300 Spruce Street Suite 300 Columbus, Ohio 43215  
Phone: (614) 461-4664 Fax: (614) 280-8861  
www.moodynolan.com

Dwg. Coord.: NLF	Tech. Coord.:	Proj #: 20249
<b>CLICKLIST</b>		<b>A4.1</b>
PRELIMINARY REVIEW		7/01/2020





PHARMACY





**PHARMACY**





December 18, 2020

Moody Nolan  
300 Spruce Street  
Columbus, OH 43215

RE: Project 1365 Stoneridge Design Review Comment Letter

Dear Moody Nolan:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

**Fire District**

1. The fire division has no objection to the Clicklist addition to the front of the Kroger Stoneridge. The fire lane and driveway in front of the store are existing and the plans show no modification of the existing drive. There is no issue with the Clicklist parking where it is situated.
2. Any modifications to the building or fire protection systems will be addressed when building and fire protection system plans are submitted for construction review.

**Engineering**

3. No comments at this time.

**Parks**

4. No Comment Per Julie Prederi

**Community Development**

5. Informational Comment - Request appears to meet applicable standards of the zoning code.

If you have any comments or questions, please contact me at [kelly.wicker@gahanna.gov](mailto:kelly.wicker@gahanna.gov) or (614) 342-4025.

Sincerely,

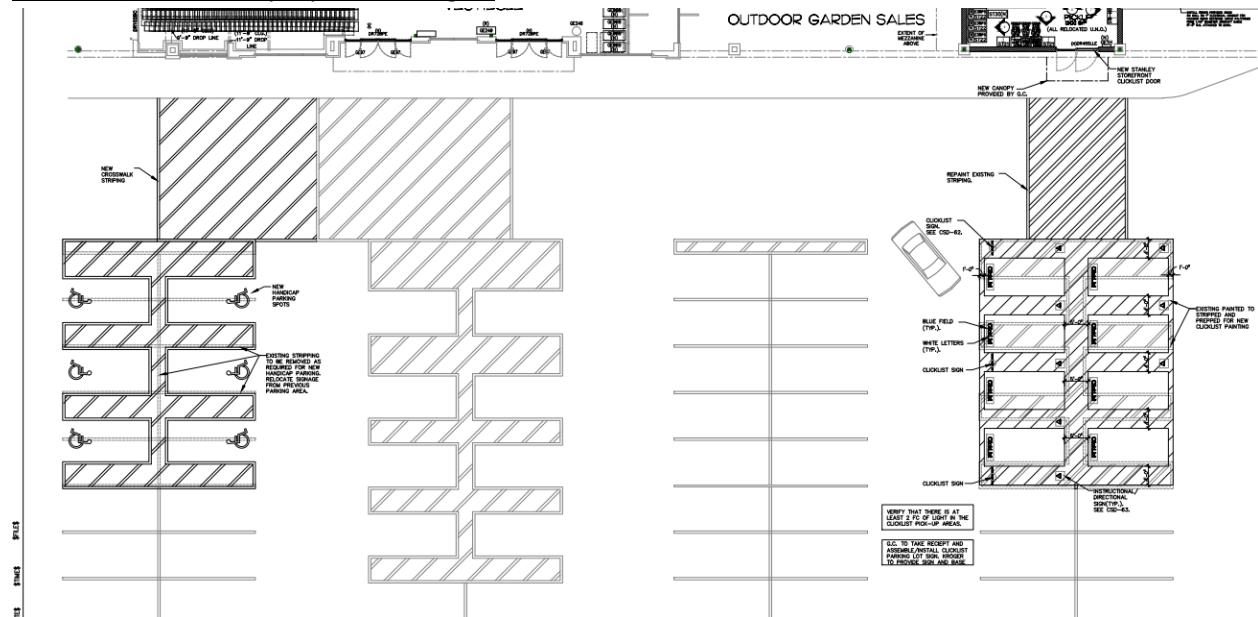
Kelly Wicker  
Administrative Assistant





Applicant requests permission for minor revisions to the parking lot and revisions to the front façade for the Kroger located at Stoneridge Plaza. The changes are very similar to those changes recently approved for the Kroger Market Plaza at Hunters Ridge. Changes include new parking area for click list shoppers, new door and new awning.

Site Plan (focused on proposed changes)



General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect and enhance the physical surroundings of the Design Review District.

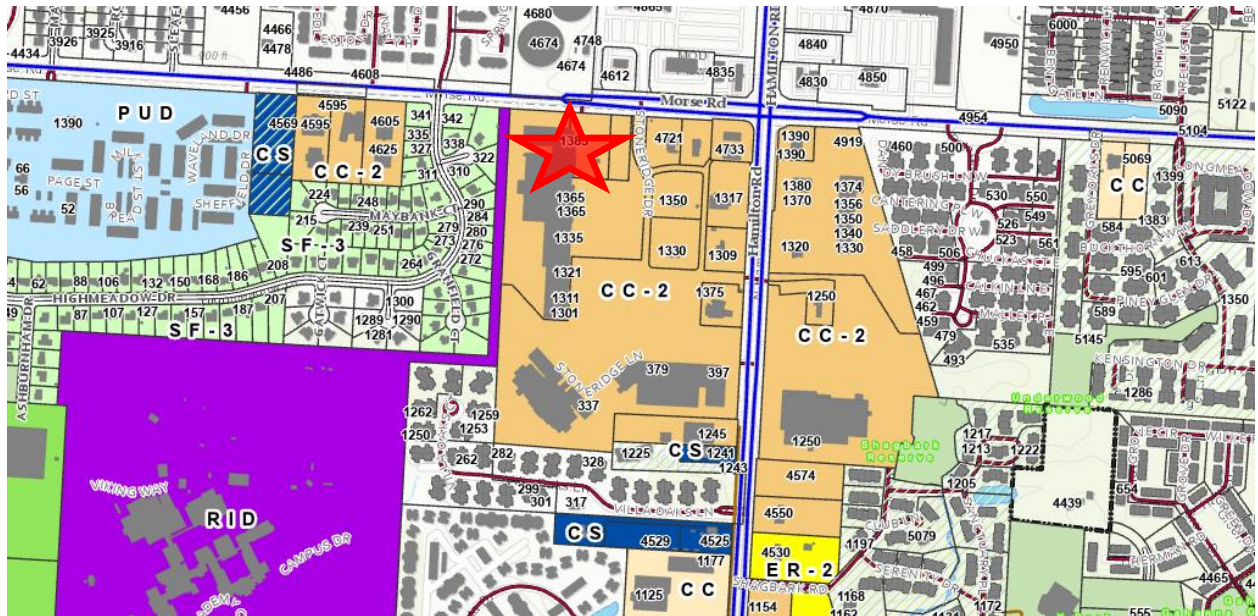
## Recommendation





Staff recommends approval of this request. The revisions meet code standards for parking space size and number. The façade changes are minor in nature and the design and materials will match that of the existing building.

Location/Zoning Map



Respectfully Submitted By:  
Michael Blackford, AICP