

ZONING DIVISION 200 S. Hamilton Road Gahanna, Ohio 43230 614-342-4025 zoning@gahanna.gov www.gahanna.gov

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS

Project/Property Address or Location: 475/485 Rocky Fork Blvd., Gahar	Project Name/Busine Mifflin Fire, E	and the second s	in Building	
Parcel ID No.(s): 025-003870, 025-006927	Zoning Designation: RID		Total Acreage: 1.76	
Please check all that apply: SITE PLAN LANDSCAPING	G BUILDING		ITION only applicable to Code Chapter 1150, Olde Gahanna	OTHER
Project Description: Relocation of existing parking to serve the adjacent buildings on 475 and 485. Reconstruction of the existing drive to reduce "bottoming out" that has been occurring. Addition of new side door to apparatus bays to reduce opening and closing of garage doors.				
APPLICANT Name -do not use a business nam	10:	Applicant Address:		
Nancy White		155 Olde Ridenour Road, Gahanna, OH 43230		
Applicant E-mail: Whiten@mifflin-oh.gov		Applicant Phone No.: 614-471-4494		
BUSINESS Name (if applicable):				
ADDITIONAL CONTACTS Please List Primar	y Contact for Corresp	ondence(please list a	l applicable contacts)	
Name(s):	· · · ·	Contact Information	(phone no./email):	
Chief Fred Kauser		614-496-6319		
PROPERTY OWNER Name: (if different from Applicant)		Property Owner Co	ntact Information (phone	e no./email):

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED (see page 2 & 3)

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

and Applicant/Primary Contact Signature: Date INTERNAL USE RECEIVE PAID: DATE: Zoning File No.



DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION-SUBMISSION REQUIREMENTS

TO BE COMPLETED/SUBMITTED BY APPLICANT:
1. Review Gahanna Code <u>Section 1197</u> (visit <u>www.municode.com</u>)
2. Materials List (see page 3) – does not apply to demolition applicants
3. Authorization Consent Form Complete & Notarized (see page 4)
4. Application & all supporting documents submitted in digital format
5. Application & all supporting documents submitted in hardcopy format
6. Application tee paid (in accordance with the <u>Building & Zoning Fee Schedule</u>)
7. Color rendering(s) of the project in plan/perspective/or elevation
8. One copy 24"x36" or 11"x17" prints of the plans
Building Construction, Exterior Remodeling, and Additions (Including Parking Lots and Landscaping)
1. <u>SITE PLAN</u> that includes the following: (include: scale, north arrow, & address) if applicable
- All property & street pavement lines
- Property size
- Proposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent streets
- Location of all existing and proposed buildings on the site
- Location of all existing & proposed exterior lighting standards
- Breakdown of parking spaces required & spaces provided (see Gahanna Code <u>Section 1163</u>)
Provide lot coverage breakdown of building & paved surface areas
2. <u>LANDSCAPE PLAN</u> (including plant list)
- Existing landscaping that will be retained & proposed landscaping shall be differentiated & shown on the plan.
The type, size, number, & spacing of all plantings & other landscape features must be illustrated
- Designation of required butter screens (if any)
- Interior landscaping breakdown for paved surface (see Gahanna Code Section 1163)
3. <u>ELEVATIONS</u> from all sides
- renestration, doorways, & all other projecting & receding elements of the building exterior
4. <u>LIGHTING STANDARD DRAWING</u> that includes the following: (exterior only)
- All sizing specifications
- Information on lighting intensity (no. of watts, iso foot candle diagram)
- Materials, colors, & manufacturer's cut sneet
5. OPTIONAL REQUIREMENTS AT THE DISCRETION OF PLANNING COMMISSION:
- Scale model
- Section promes
Demolition or Removal of Existing Structures Requirements
1 ONE OR MORE OF THE FOLLOWING CONDITIONS MUST EXIST.
- That the building contains no features of special architecture or is not a historical building or culturally
significant or is not consistent in design & style with other structures within the district
- That there exists no viable economic use for the building in its current state or as it might be restored or that
there is not a feasible and prudent alternative to demolition and that the approval of the demolition is
necessary for the preservation and enjoyment of substantial property rights
- That the applicant has a definite plan for redevelopment of the site which meets the standards of this Code and
the proposed redevelopment will not materially affect adversely the health or safety of persons residing or
working in the district where the demolition will occur and will not be materially detrimental to the public
welfare or injurious to property or improvements in such neighborhood
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MATERIAL LIST			
Item	Manufacturer Name	Color Name	Color Number
Awnings			
Brick			
Gutters and Downspouts			
Lighting			
Roofing			
Siding			
Stucco			
Trim			
Windows			
Other (please specify)			
Other (please specify)			

Please Note:

The Public Hearing will not occur until the City Of Gahanna Staff reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.



PERTY OWNER

AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

(property owner name printed)	
(property owner signature)	(date)
Subscribed and sworn to before me on this day of, 20	
State of County of	Stamp or Seal
Notary Public Signature:	

AGREEMENT TO COMPLY AS APPROVED As the applicant/representative/owner of the subject property listed on Applicant/Property Owner/Representative this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff. AUTHORIZATION TO VISIT THE PROPERTY I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described. APPLICATION SUBMISSION CERTIFICATION I hereby certify that the information on this application is complete and accurate to the best of my knowledge. applicant/representative/property owner name printed) 21/2020 (applicant/representative/property owner signature) 202 Subscribed and sworn to before me on this $\frac{2}{\sqrt{2}}$ day of $\frac{2}{\sqrt{2}}$ Melanie A. Barnette Franklin State of County of Notary Public, State of Ohio My Commission Expires 01-18-2022 Notary Public Signature:

475 ROCKY FORK BLVD., GAHANNA, OHIO MIFFLIN TWP. FIRE DEPARTMENT - STATION 131 CONCRETE REPAIR SITE CONSTRUCTION PLANS *PV-420*

STANDARD CONSTRUCTION DRAWINGS

STANDARD DRAWINGS REFERENCED WITHIN STANDARD DRAWINGS MAY NOT BE INCLUDED IN THIS LIST. THE STANDARD DRAWINGS LISTED ON THIS PLAN SHALL BE CONSIDERED A PART THEREOF:

<u>CITY OF COLUMBUS – DIVISION OF:</u>
DESIGN AND CONSTRUCTION
1441 (04–22–19)
1500 (09—15—15) (MOD)
1510 (09–15–15) (MOD)
2000 (03–30–18)
2020 (03-30-18)
2202 (12-31-18) (OPT SHT. 5)(MOD)
2300 (04–30–18) (MOD)
2319 (03–30–18)

HORIZONTAL AND VERTICAL CONTROL (BY OHM)

HORIZONTAL AND VERTICAL CONTROL IS BASED ON INFORMATION PROVIDED BY OHM - COLUMBUS, OHIO (SEE EXISTING CONDITIONS PLAN FOR INFORMATION)

OHIO STATE PLANE COORD., SOUTH ZONE, NSRS 2007				
POINT #	NORTHING	EASTING	ELEV	DESCRIPTION
CP 100	733473.797	1866517.620	807.35	30" IRON PIN SET WITH RED CAP STAMPED "OHM"
CP 101	733523.486	1866120.816	805.05	30" IRON PIN SET WITH RED CAP STAMPED "OHM"
CP 102	733270.735	1866161.562	807.37	MAG NAIL SET
CP 103	733269.298	1866508.052	808.24	30" IRON PIN SET WITH RED CAP STAMPED "OHM"
BENCHMARKS (BASED ON NAVD88)				
BM 200	733570.854	1866224.844	806.55	SE FLANGE BOLT OF FIRE HYDRANT 6' E OF BIKE LANE SIGN IN BETWEEN DRIVE ENTRANCES FOR GAHANNA SENIOR CENTER AND GAHANNA POLICE DEPARTMENT
BM 201	733210.247	1866425.329	806.17	CHISELED "X" ON NW CORNER OF CONCRETE PAD 50' SOUTH OF EDGE OF PAVEMENT 30' W OF BUILDING CORNER 85' SE OF ELECTRIC TRANSFORMER
BM 202	733272.028	1866168.236	809.81	TAG BOLT OF FIRE HYDRANT 7' E OF BACK OF CURB 18' SW OF PARKING LOT FOR MIFFLIN TOWNSHIP FIRE DEPARTMENT

UTILITIES

THE FOLLOWING UTILITIES AND OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT AND ARE REGISTERED MEMBERS OF THE UNDERGROUND UTILITY PROTECTION SERVICE:

UT	ILITY	OWNER	TELEPHONE	FAX
WA	NTER FACILITIES	CITY OF GAHANNA WATER DIVISION 200 S. HAMILTON RD GAHANNA, OH 43230	(614) 342–4440	(614) 342–4100
SE	EWER FACILITIES	CITY OF GAHANNA SEWER DIVISION 200 S. HAMILTON RD GAHANNA, OH 43230	(614) 342–4440	(614) 342–4100
EL	ECTRIC FACILITIES	AMERICAN ELECTRIC POWER 850 TECH CENTER DR GAHANNA, OH 43230	(614) 883–6811	(614) 883–6868
GA	IS	COLUMBIA GAS OF OHIO (DISTRIBUTION) ATTN: ROB CALDWELL 3550 JOHNNY APPLESEED CT. COLUMBUS, OH 43231	P:(614) 818–2104 C:(614) 370–1906 E–MAIL: RCALDWELL@NISOURCE.COM	(614) 460–4265
TE	LEPHONE	AT&T 150 E. GAY ST COLUMBUS, OH 43212	(800) 660–1000	(614) 223–6296

SEE GENERAL NOTES FOR CONTRACTOR RESPONSIBILITIES.



RE STATION BUILDI RCEL NO: 025—00 FFLIN TOWNSHIP T R.15432F07 REA: DNED:	NG 03870 RUSTEES 39,593 SF (0.908 Ac) RID
<u>RE–DEVELOPMENT</u> TE IMPERVIOUS: JILDINGS RIVES/WALKS TAL IMPERVIOUS:	10,905 SF (0.250 Ac) 19,881 SF (0.456 Ac) 30,786 SF (0.706 Ac)
TAL LOT COVERAG	E: 77.76% (30,786 SF)
TE PERVIOUS: PASS	8,807 SF (0.202 Ac)
THIN R/W: RVIOUS PERVIOUS	299 SF (0.007 Ac) 1,932 SF (0.044 Ac)

POST-DEVELOPMENT		
SITE	IMPERVIOUS:	

JILDINGS RIVES/WALKS ITAL IMPERVIOUS:	10,905 SF (0.251 15,337 SF (0.351 26,242 SF (0.602	Ac) Ac) Ac)
TAL LOT COVERAG	E: 66.28% (26,242	SF)
TE PERVIOUS: RASS	13,351 SF (0.306	Ac)
THIN R/W: ERVIOUS PERVIOUS	615 SF (0.014 1,616 SF (0.037	Ac) ' Ac)

OFFICE BUILDING PARCEL NO: 025–006 MIFFLIN TOWNSHIP, AN INS. NO. 2004030300 AREA; ZONED:	5927 I OHIO MUNICIPALITY 46654 36,498 SF (0.838 AC) RID
<u>PRE-DEVELOPMENT</u> SITE IMPERVIOUS: BUILDINGS DRIVES/WALKS TOTAL IMPERVIOUS:	5,155 SF (0.118 Ac) 9,720 SF (0.223 Ac) 14,875 SF (0.341 Ac)
TOTAL LOT COVERAGE:	40.76% (14,875 SF)
SITE PERVIOUS: GRASS	21,623 SF (0.497 Ac)
WITHIN R/W: PERVIOUS IMPERVIOUS	N/A N/A

POST-DEVELOPMENT

UILDINGS RIVES/WALKS DTAL IMPERVIOUS:	5,155 SF (0.118 Ac) 14,915 SF (0.343 Ac) 20,070 SF (0.461 Ac)
DTAL LOT COVERAG	E: 55.00% (20,070 SF)
ITE PERVIOUS: RASS	16,428 SF (0.377 Ac)
ITHIN R/W: ERVIOUS IPERVIOUS	N/A N/A

DEVELOPER / OWNER

MIFFLIN TOWNSHIP TOWNSHIP TRUSTEES 155 OLDE RIDENOUR ROAD GAHANNA. OHIO 43230 NANCY WHITE 614.471.4494

ENGINEER

MOODY ENGINEERING 300 SPRUCE STREET, SUITE 200 COLUMBUS, OHIIO 43215 JAMES LEESEBERG, P.E., P.S 0: 614.280.8999 C: 614.832.5591 jleeseberg@moody-eng.com

ARCHITECT

NOT APPLICABLE

LANDSCAPE ARCHITECT

NOT APPLICABLE

UNDERGROUND UTILITIES TWO WORKING DAYS MAR BEFORE YOU DIG CALL 1-800-362-2764 (TOLL FREE) OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS MUST BE CALLED DIRECTLY

STORMWATER MANAGEMENT NOTE

THE PROPOSED IMPROVEMENTS TO T TOTAL IMPERVIOUS AREA. THE PROP THE FLOW GENERATED AND REDUCES EXISTING 8" LINE AS A METERING PIP NOT MEET THE MINIMUM THRESHOLD F

ENGINEER'S CERTIFICATION

THIS IS TO CERTIFY THAT GOOD ENG UTILIZED IS THE DESIGN OF THIS P MINIMUM LOCAL STANDARDS HAVE GREATER THAN MINIMUM WHERE. IN PROTECT THE SAFETY OF THE PUBLIC STANDARDS ARE CONSISTENT WITH AND ARE NOT DETRIMENTAL TO PUBLIC PREPARED BY:

300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215 P: 614 280 9355 MOODY MOODY-ENG.COM ENGINEERING

REGISTERED ENGINEER

PLANNING	COMMISSION APPROVAL
FDP-	<i>—2020 DATE:</i>
DR-	–2020 DATE:
V-	<i>—2020 DATE:</i>
SIGN 173-	-20 DATE:
SIGN 174	-20 DATE:



DATE

DATE

DATE

INDEX OF SHEETS

C001	TITLE SHEET
C002	GENERAL NOTES, MAINTENANCE OF TRAFFIC, AND QUANTITIES
C003	EXISTING CONDITIONS SURVEY – OHM
C004	SWPPP DETAILS AND PLAN
C101	PROJECT DEMOLITION PLAN
C201	PROJECT LAYOUT PLAN
C301	PROJECT GRADING PLAN
C302	STORM PROFILE AND PROJECT DETAILS
C401-C405	STANDARD DRAWING

ALL SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE PURPOSE AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLAN.

APPROVED: CITY OF GAHANNA, OHIO

CITY ENGINEER DATE

WATER RESOURCES ENGINEER

DIRECTOR OF PUBLIC SERVICE AND ENGINEERING

FIRE CHIEF. MIFFLIN TOWNSHIP DIVISION OF FIRE. FRANKLIN COUNTY, OHIO

HE SITE MINIMALLY IMPACT THE OSED STORM SYSTEM CONTAINS THE RUN—OFF BY USING THE E. THE SITE DISTURBANCE DOES OR PERMITTING WITH THE OEPA.	# Date	Change Description	
GINEERING PRACTICES HAVE BEEN ROJECT, AND THAT ALL OF THE BEEN MET, INCLUDING THOSE MY OPINION, ARE NEEDED TO C. ANY VARIANCES TO THE ABOVE SOUND ENGINEERING PRACTICES SAFETY AND CONVENIENCE.	C 1/2011 HAN	Station 131 Concrete Rep 475 Rocky Fork Blvd. Gahanna, Ohio 43230 for Mifflin Townsh	bair lip
JAMES D. *		300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215 P: 614 280 8999 MOODY-ENG.COM	PROGRESS DRAWING NOT FOR CONSTRUCTION
CONTER ON	Dwg. Coord.: JDL	. Tech. Coord.: jan	M-E#: 19028
	TITLES	SHEET	C001
PV-420	BID DOCUM	IENTS	August 14, 2020

CITY OF GAHANNA THE CONTRACTOR SHALL MAKE HIS OWN PROVISIONS TO PROVIDE A SITE STAGING AREA AND THE CONTRACTOR IS TO COORDINATE WITH GAS, ELECTRIC, CABLE AND TELECOMMUNIC STANDARD PROJECT NOTES (Private Projects) JOB TRAILER (IF REQUIRED) FOR THE PROJECT IMPROVEMENTS. COMPANIES TO COORDINATE FINAL CONSTRUCTION DETAILS FOR ON—SITE GAS, ELECTRIC, AND TELEPHONE SERVICES. NO NATURAL DRAINAGE COURSES SHALL BE ALTERED AND NO FILL, BUILDINGS OR STRUCTURES <u>GENERAL NOTES</u> SHALL BE PLACED IN IT UNLESS PROVISIONS ARE MADE FOR THE FLOW OF WATER IN A THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE ARCHITECT ANI THE CURRENT CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMS) MECHANICAL ENGINEER FOR THE FINAL LOCATION OF UTILITY SERVICES INTO THE BUILDING. TOGETHER WITH THE REQUIREMENTS OF THE CITY OF GAHANNA, OHIO, SHALL GOVERN MANNER SATISFACTORY TO THE CITY ENGINEER. AN EASEMENT SHALL BE PROVIDED ON BOTH MATERIALS AND WORKMANSHIP INVOLVED IN IMPROVEMENTS SHOWN ON THESE PLANS. EXCEPT SIDES OF ANY EXISTING IMPORTANT SURFACE DRAINAGE COURSE ADEQUATE FOR THE PURPOSE THOSE SPECIFICATIONS MODIFIED BY THE FOLLOWING SPECIFICATIONS OR CONSTRUCTION DETAILS OF PROTECTING, WIDENING, DEEPENING, ENCLOSING OR OTHERWISE IMPROVING SUCH STREAM PLACEMENT OF UTILITY CONDUIT OR SLEEVES FOR GAS, SITE ELECTRIC TELECOMMUNICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE PLAN DETAILS SET FORTH HEREIN. FOR DRAINAGE PURPOSES. HEREIN AND IN CONFORMANCE TO THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPAI ALL WORK IS TO BE ACCEPTABLE TO CITY OF GAHANNA OFFICIALS. NO WORK IS TO COMMENCE ORANGE CONSTRUCTION FENCING SHALL BE PLACED AROUND THE EXISTING TREES TO BE SAVED AND REMAIN IN PLACE DURING THE DEVELOPMENT CONSTRUCTION. THE LOCATION OF THE UNTIL ARRANGEMENTS HAVE BEEN MADE WITH THE CITY OF GAHANNA ENGINEER FOR <u>STORM SEWER NOTE</u> ANY PLACEMENT OF STORM SEWERS BENEATH EXISTING OR PROPOSED PAVEMENT SHA INSPECTION. FENCING AND ANY CLEARING NECESSARY WILL BE DETERMINED BY THE APPROVED PLANS. BACKFILLED IN ACCORDANCE WITH COLUMBUS CMS ITEM 912, COMPACTED GRANULAR BACK THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION ON THE PROJECT SITE WHERE THE CONTRACTOR SHALL NOTIFY THE CITY OF GAHANNA ENGINEER AT LEAST TWO WORKING ALL PIPES SHALL BE LAID WITH TYPE 1 GRANULAR MATERIAL BEDDING AND BACKFII DAYS PRIOR TO CONSTRUCTION. AND AS DIRECTED BY THE OWNER/DEVELOPER. SHOWN ON STANDARD CONSTRUCTION CITY OF COLUMBUS AA—S151. INSTALLATION ALL PERTINENT STANDARD CONSTRUCTION DRAWINGS ARE AVAILABLE UPON REQUEST AT THE INCONVENIENCE TO THE ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC SHALL CONFORM TO CMS SECTION 900. OFFICE OF THE CITY OF GAHANNA ENGINEERS. BE KEPT TO AN ABSOLUTE MINIMUM. ALL WORK IS TO CONTINUE ON A UNIFORM BASIS AND ON SCHEDULE, PARTICULARLY THE RESTORATION AND CLEAN UP OF DISTURBED AREAS AFTER ALL CONCRETE PIPE AND STORM SEWER STRUCTURES SHALL BE STAMPED OR HAVE THE DEVELOPER IS TO SCHEDULE A PRE-CONSTRUCTION MEETING ONE BUSINESS WEEK PRIOR CONSTRUCTION. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT SOIL TRANSPORT IDENTIFICATION NOTING THAT SAID PIPE AND/OR STORM STRUCTURES HAVE BEEN INSPECT TO CONSTRUCTION. THE MEETING SHALL TAKE PLACE AT LEAST ONE BUSINESS WEEK PRIOR TO DURING CONSTRUCTION ONTO PUBLIC ROADS. THE CONTRACTOR SHALL CLEAN AND SWEEP THE CITY OF COLUMBUS AND MEETS THEIR SPECIFICATIONS. PIPE AND STRUCTURES WI THE FOLLOWING: SITE CLEARING, MATERIAL DELIVERED ON-SITE, EQUIPMENT ON-SITE AND STREETS AS DIRECTED BY THE CITY. COST TO BE INCLUDED IN THE PRICE BID UNDER PROPER IDENTIFICATION WILL NOT BE PERMITTED FOR INSTALLATION. VARIOUS ITEMS. FIELD OFFICE ON-SITE. ALL CURB INLETS AND MANHOLES SHALL BE CHANNELED AS DIRECTED. THE COST FOR THE DEVELOPER SHALL, PRIOR TO ANY CONSTRUCTION OPERATION, DEPOSIT WITH THE CITY THE WORK IS TO BE INCLUDED IN THE PRICE BID FOR VARIOUS STORM SEWER ITEMS. <u>UTILITIES</u> TOTAL ESTIMATED COSTS FOR INSPECTION, ADMINISTRATIVE, WATER AND SANITATION FEES. THE CONTRACTOR SHALL GIVE NOTICE TO THE OHIO UTILITIES PROTECTION SERVICE (PHONE 1-800-362-2764) AND TO THE OWNERS OF THE UTILITY FACILITIES SHOWN ON THE PLAN WHO IN CASE OF CONFLICT IN GRADE BETWEEN WATER LINES AND STORM SEWERS, THE ARE NOT MEMBERS OF A REGISTERED UTILITY PROTECTION SERVICE. THE ABOVE MENTIONED THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE LINES SHALL BE LOWERED DURING CONSTRUCTION. AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF NOTICE SHALL BE GIVEN AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF ALL PLASTIC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION IN CONFORM WITH THE REQUIREMENTS OF COLUMBUS CMS ITEM 901. PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITY AS RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY. REQUIREMENTS. PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. INCLUDING THE <u>MAINTENANCE OF TRAFFI</u> REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146. ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVE THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CO AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE THE PRICE(S) QUOTED SHALL INCLUDE ALL ITEMS OF LABOR, MATERIALS, TOOLS, EQUIPMENT, PLANS OR NOT. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE DEVICES (OMUTCD) FOR CONSTRUCTION AND MAINTENANCE OPERATIONS. ALL DEVICES INSURANCE AND OTHER COSTS NECESSARY TO FULLY COMPLETE THE WORK PURSUANT TO THE VARIOUS RELATED ITEMS. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES MEET FP-85 REFLECTANCE STANDARDS AND IN FULL COMPLIANCE WITH "QUALITY STAN FOR WORK ZONE TRAFFIC CONTROL DEVICES" PUBLISHED BY ATTSSA. ALL TRAFFIC CON PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECTS ON THE CONTRACT DOCUMENTS. IT IS THE INTENTION OF THE CONTRACT DOCUMENTS TO PROVIDE AND REQUIRE A COMPLETED WORK PROJECT READY FOR OPERATION. ANY WORK ITEMS OMITTED PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL GIVE NOTICE TO OUPS AND OTHER UTILITY DEVICES MUST MEET NCHRP 350. FROM SUCH CONTRACT DOCUMENTS WHICH ARE CLEARLY NECESSARY FOR THE COMPLETION OF OWNERS PER THE GENERAL NOTES. SUCH WORK AND ITS APPURTENANCES SHALL BE CONSIDERED A PART OF SUCH WORK STEADY BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUM ALTHOUGH NOT DIRECTLY SPECIFIED OR CALLED FOR IN THE CONTRACT DOCUMENTS. THE IDENTITY AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN THE CONSTRUCTION SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT. ALL SIGNS. NINE SQUARE FEET AREA HAVE BEEN SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS AS ACCURATELY AS 36") AND OVER SHALL HAVE YELLOW TYPE "A" LOW INTENSITY FLASHING WARNING LIGHT THREE FLAGS. CONES ARE NOT APPROVED FOR USE AT NIGHT. ALL FIELD TILE BROKEN DURING EXCAVATION SHALL BE REPLACED WITH PERFORATED PIPE OR PROVIDED BY THE SURVEYOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE CONNECTED TO THE STORM SEWER SYSTEM. ACCURACY OR DEPTHS OF UNDERGROUND FACILITIES SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. IF DAMAGE IS CAUSED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF THE ROADWAY SHALL NOT BE OPENED TO TRAFFIC UNTIL PERMANENT TRAFFIC CONTROL THE CONTRACTOR SHALL REPAIR OR REPLACE ANY OR ALL EXISTING SIGNS, SHRUBS, FENCES, THE SAME AND FOR ANY RESULTING CONTINGENT DAMAGE. IN PLACE OR UNTIL TEMPORARY TRAFFIC CONTROLS APPROVED BY THE INSPECTOR OR OTHER PHYSICAL FEATURES DAMAGED DURING THE EXECUTION OF THIS CONTRACT AT THEIF THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE PREMATURE REMOV INSTALLED. OWN EXPENSE. ALL REPAIRS SHALL BE TO THE SATISFACTION OF THE OWNER AND THE CITY TEMPORARY TRAFFIC CONTROLS. WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER THE EXISTING UTILITY IN ADVANCE OF LAYING PIPE IN ORDER THAT THE OF GAHANNA. ENGINEER MAY DETERMINE THE EXACT ELEVATION AND MAKE ANY NECESSARY ADJUSTMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REINSTALLATION AND/OR REPLACEME. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND GOVERNMENT FEES. ALL PERMANENT TRAFFIC CONTROL DEVICES DAMAGED OR REMOVED DURING THE CONSTRU THE FOLLOWING UTILITIES AND OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THIS PERMANENT TRAFFIC CONTROLS NO LONGER IN CONFLICT WITH TEMPORARY TRAFFIC CON LICENSES, AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF PROJECT AND ARE REGISTERED MEMBERS OF THE UNDERGROUND UTILITY PROTECTION SERVICE: IMPROVEMENTS SHOWN ON THESE PLANS. SHALL BE REPLACED IMMEDIATELY. THE CONTRACTOR SHALL CLEAN ADJACENT STREETS ON A DAILY BASIS IF MUD IS TRACKED ALL PERMANENT TRAFFIC CONTROLS NOT IN CONFLICT WITH THE TEMPORARY TRAFFIC CON SHALL BE MAINTAINED THROUGHOUT THE PROJECT BY THE CONTRACTOR. THE CONTR FROM VEHICLES VISITING THE SITE. OWNER JTILITY SHALL ASSUME ALL LIABILITY FOR MISSING, DAMAGED, AND IMPROPERLY PLACED TO THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF ALL TRENCHES WITHIN THE CONTROL DEVICES. CITY OF GAHANNA WATER RIGHT-OF-WAY, PUBLIC EASEMENTS AND WITHIN THE WORK LIMITS FOR A PERIOD OF (1) YEAR WATER DIVISION FACILITIES ALL TRENCHES WITHIN THE ROAD RIGHT-OF-WAY SHALL BE BACKFILLED OR SECURELY F FROM THE FINAL ACCEPTANCE OF THE WORK, AND SHALL MAKE ANY NECESSARY REPAIRS AT 200 S. HAMILTON NO COST TO THE OWNER OR CITY OF GAHANNA. DURING NON-WORKING HOURS. GAHANNA, OH 432 THE CONTRACTOR SHALL CONFINE ACTIVITIES TO THE PROJECT SITE. EXISTING RIGHT-OF-WAYS ALL LANES SHALL BE FULLY OPEN TO TRAFFIC ON ALL PUBLIC STREETS AND ALLEYS U CITY OF GAHANNA SEWER TEMPORARY EASEMENTS AND PERMANENT EASEMENTS, AND SHALL NOT ENTER UPON OTHER OTHERWISE APPROVED BY THE CITY OF GAHANNA. SEWER DIVISION FACILITIES PROPERTIES WITHOUT WRITTEN PERMISSION OF THE OWNER. SHOULD WATER BE ENCOUNTERED. 200 S. HAMILTON THE CONTRACTOR SHALL FURNISH AND OPERATE SUITABLE PUMPING EQUIPMENT OF SUCH ANY WORK DONE BY THE CITY INCLUDING INSTALLATION, RELOCATION, REMOVAL A CAPACITY ADEQUATE TO DEWATER THE TRENCH. THE TRENCH SHALL BE SUFFICIENTLY GAHANNA, OH 432 REPLACEMENT OF PERMANENT TRAFFIC CONTROL DEVICES AS A RESULT OF WORK DO THE CONTRACTOR OR AS A RESULT OF THE NEGLIGENCE OF THE CONTRACTOR SHALL DEWATERED SO THAT THE PLACEMENT OF BEDDING AND LAYING AND JOINING OF THE PIPE IS MADE IN A TRENCH FREE OF STANDING WATER. THE CONTRACTOR SHALL CONVEY ALL TRENCH ELECTRIC AMERICAN ELECTR THE EXPENSE OF THE CONTRACTOR. WATER TO A NATURAL DRAINAGE CHANNEL OR STORM SEWER WITHOUT CAUSING ANY PROPERTY FACILITIES 850 TECH CENTER THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFE MOVEMEN DAMAGE. GAHANNA, OH 432 PEDESTRIANS THROUGH. AROUND AND AWAY FROM THE CONSTRUCTION SITE AS DESIGNAT FINAL GRADE ADJACENT TO BUILDING SHALL SLOPE AWAY FROM BUILDING. SECTION 60.01 OF THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD). GAS COLUMBIA GAS OF (DISTRIBUTION) DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE ENTIRE SITE. THE SAFETY OF PEDESTRIAN AND BIKE TRAFFIC SHALL BE CONSIDERED AT ALL TIMES ATTN: ROB CALDW PROVISION OF TRAFFIC CONTROL DEVICES REQUIRED BY THESE PLANS AND NOTES. IT 3550 JOHNNY API BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE LIGHTS, SIGNS, BARRICADES AND THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO ENSURE CONSTRUCTION TO PLAN GRADE COLUMBUS, OH 43 THE CONTRACTOR SHALL ENSURE THERE IS A SURVEYOR'S LEVEL AND ROD ON THE PROJECT WARNINGS TO PHYSICALLY SEPARATE THE PEDESTRIAN AND BIKE FROM HAZARDS INCIDENTAL TO THE CONSTRUCTION OPERATIONS SUCH AS OPEN EXCAVATIONS, ETC. FOR USE IN PERFORMING GRADE CHECKS WHENEVER SEWER LINE STRUCTURES OR PIPES ARE ELEPHONE AT&T BEING INSTALLED. THE CONTRACTOR SHALL MAKE THIS EQUIPMENT AVAILABLE FOR USE AND 150 E. GAY ST ASSIST THE CITY INSPECTOR IN PERFORMING GRADE CHECKS WHEN REQUESTED BY THE THE MODIFICATIONS TO THE STANDARD DRAWINGS ARE DUE TO DISTANCE LIMITATIONS BETWEEN COLUMBUS, OH 4. INSPECTOR. THE INSPECTOR WILL MAKE ALL REASONABLE ATTEMPTS TO CONFINE REQUESTS DRIVES AND INTERSECTIONS AND THE BIKE LANE. FOR ASSISTANCE IN PERFORMING GRADE CHECKS TO TIMES CONVENIENT TO THE CONTRACTOR THESE CHECKS WILL BE PERFORMED TO ENSURE THAT CONSTRUCTION MATCHES PLAN GRADE AND TO ENSURE THAT ALL EXISTING INVERTS ALONG WITH THE PROPOSED TOP OF CASTING ELEVATIONS ARE VERIFIED PRIOR TO CONSTRUCTION OF THE SEWER. CENTER CENTER **KEEP** LANE SIDEWALK CLOSED SIDEWALK CLOSE LANE SIDEWALK THE CONTRACTOR SHALL REFERENCE ALL IRON PINS OR MONUMENTS. IF ANY PINS OR CLOSED STOP X AHEAD AHEAD CLOSED CLOSED MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE ACCURATELY AHEAD REPLACED BY A REGISTERED SURVEYOR IN THE STATE OF OHIO AT THE COMPLETION OF THE ONLY ONLY RIGHT CROSS HERE CROSS HERE R9-9-30 PROJECT. W9-H38-36 TYPE I BARRICADE W1-4R-36 W1—H16—36 W1—H16L—36 W9-3--36 ON R9-11R-48 R3-5R-18 R3-5L-18 R4-7b-18 R9—11L—48 R1 - 1 - 30THE COST OF RELOCATING AND/OR SECURING ANY POWER POLES AS NECESSARY TO COMPLETE THE WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS OF THE CONTRACT. (A)(G)(H)(В VERTICAL CONTROL HAS BEEN ESTABLISHED FOR THE PROJECT AS SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SURVEYS TO COMPLETE THE PROJECT GAHANNA POLICE GAHANNA SENIOR INCLUDING REESTABLISHMENT OF CONTROL POINTS, PROJECT LAYOUT AND STAKING OF EASEMENTS. CENTER DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL ADJACENT ROADS AND LANDS. PARK ANY MODIFICATION TO THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY OF GAHANNA. -----ROCKY KUCKY FURN DLVD ANY REQUIRED RELOCATION, SUPPORT, PROTECTION, RESTORATION, OR ANY OTHER ACTIVITY $\overline{\bigcirc}$ CONCERNED WITH THE CITY'S ELECTRICAL OR STREET LIGHTING SYSTEMS IN THE (∇) CONSTRUCTION AREA IS TO BE PERFORMED SOLELY BY THE CITY AT THE EXPENSE OF THE PROJECT. THE CITY SHALL BE NOTIFIED PRIOR TO CONSTRUCTION TO ALLOW FOR ENGINEERING AND RELOCATION OF FACILITIES. IF ANY ELECTRIC FACILITY BELONGING TO THE CITY IS DAMAGED IN ANY MANNER BY THE SPEEDWAY G) CONTRACTOR. ITS AGENTS, SERVANTS, OR EMPLOYEES, THE CITY SHALL MAKE ALL NECESSARY \bigcirc ! REPAIRS, AND THE EXPENSE OF SUCH REPAIRS AND OTHER RELATED COSTS SHALL BE PAID BY JURGENT CARE THE CONTRACTOR TO THE CITY. DRI ----/ ALL CURB RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH - _____ REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, INCLUDING ALL СĽ SUPPLEMENTS IN ACCORDANCE WITH THE CITY OF COLUMBUS STANDARD DRAWING 2319, INCLUDING ALL SUPPLEMENTS AND/OR REPLACEMENTS, CURRENT ON THE DATE OF THE START GAHANNA FIRE OF PROJECT CONSTRUCTION. SIDEWALKS SHALL BE CONSTRUCTED WITH A 3/16" PER FOOT (1.56%) CROSS SLOPE. NO NON-RUBBER TIRED VEHICLES SHALL BE MOVED ON CITY STREETS, EXISTING PRIVATE OFFICE ROADWAYS, OR PARKING LOTS UNLESS WRITTEN APPROVAL IS GRANTED BY THE APPROPRIATE CITY AUTHORITY OR PROPERTY OWNER. ANY DAMAGE MUST BE REPAIRED BY THE CONTRACTOR <u>MAINTENANCE OF TRAFFIC NOTES:</u> 1. THE CONTRACTOR SHALL REFER TO CITY OF COLS. STD. DWG. 1510 FOR BASIC M.O.T. REQUIREMENTS. 60 TO THE SATISFACTION OF THE CITY OF GAHANNA AT NO COST TO THE CITY OR PROPERTY OWNER/DEVELOPER.

	TELEPHONE	FAX
RD 230	(614) 342–4440	(614) 342–4100
RD 230	(614) 342–4440	(614) 342–4100
IC POWER R DR 230	(614) 883–6811	(614) 883–6868
⁻ OHIO 'ELL PLESEED CT. 3231	P:(614) 818–2104 C:(614) 370–1906 E–MAIL: RCALDWELL@NISOURCE.COM	(614) 460–4265
3212	(800) 660–1000	(614) 223–6296



ATION				ESTIMATE OF QUANTITIES
ABLE	ITEM	QUANTITY	UNIT	DESCRIPTION
THE	PRO	JECT A	REA	TEMPORARY EROSION AND SEDIMENT CONTROL
	207	1	EACH	CONCRETE WASHOUT
	207	1	EACH	SEDIMENT/DEWATERING BAG SYSTEM
AND	207	120	L.F.	PERIMETER FILTER FABRIC FENCE (A)
HOWN	207	7	EACH	STORM INLET PROTECTION (B & C)
ES.	207	3	EACH	CURB INLET PROTECTION (D)
				MAINTENANCE OF TRAFFIC
25	614	1	<i>L.S.</i>	MAINTANING TRAFFIC
BE				
_L.		SITE		
40		JIL		DEMOLITION
AS	201	2	EACH	TREE REMOVED
ALL	202	114	<i>L.F.</i>	8" STORM SEWER PIPE TO BE FILLED IN PLACE
	202	816	S.Y.	PAVEMENT REMOVED – CONCRETE, FULL DEPTH
	202	137	S.Y.	PAVEMENT REMOVED – ASPHALT, FULL DEPTH
	202	649	S.Y.	WEARING COURSE REMOVED - ASPHALT, 1" MILL
ום דוור	202	352	S.F.	WALK REMOVED – CONCRETE
501	202	365	L.F.	CURB REMOVED - CONCRETE
	202	66	L.F.	STORM TRENCH DRAIN REMOVED
л ЦС	202	2	FACH	STORM STRUCTURE REMOVED
1115	SPEC	6	FACH	BOLLARD REMOVED
	SPEC	1	FACH	CONCRETE RAMP REMOVED
TER	SPEC	1	FACH	LICHT POLE REMOVED - PER PLAN
	JEL	,		CITE WORK
	204	1033	SY	SUBGRADE COMPACTION
CF	304	231	0.1.	8" AGGREGATE BASE
0L	408	231		DITUMINOUS DRIVE COAT @ 0.40 CAL /SY
	400	270	GAL.	1 1 /2" ASDHALT CONCRETE SUBFACE COARSE TYPE 1 (AAR DOGA-22)
	441	29		$1 \frac{1}{2}$ ASPHALI CUNCRETE SURFACE CUARSE, TIPE 1 (440, PG04-22)
BY	441	29	0.7.	1 1/2 ASPHALI CUNCRETE INTERMEDIATE CUARSE, TTPE 1 (448, PG64-22)
ROI	441	19	<i>C.Y.</i>	1 ASPHALI CUNCRETE SURFACE CUARSE, ITPE I (UVERLAT) (448, PG04-22)
ALL	452	340	S.Y.	10 THICK NON-REINFORCED CONCRETE PAVEMENT, CLASS COC 5
RDS	608	2/	S.F.	8" THICK CONCRETE SIDEWALK (ADA RAMP)
ROL	608	472	S.F.	4" THICK CONCRETE SIDEWALK
	608	13	<i>S.F.</i>	DETECTABLE WARNING TYPE A
	609	484	<i>L.F.</i>	STRAIGHT 18" CURB
AND	630	2	EACH	HANDICAP PARKING SIGN - REMOVE, STORE, AND RE-ERECT
" X	642	1	<i>L.S.</i>	PARKING LOT PAVEMENT MARKINGS
AND	SPEC	2	EACH	PARKING BLOCK – PER PLAN DETAIL
	SPEC	2	EACH	SITE SIGN STRUCTURE – PER PLAN BY OTHERS
	SPEC	6	EACH	6" DIA. BOLLARDS
ARE				STORM SEWER
ARE	604	2	EACH	STD. CATCH BASIN (AA–S133A)
OF	604	1	EACH	STD. CATCH BASIN (AA–S134A)
	901	163	<i>L.F.</i>	12" PIPE W/ TYPE I BEDDING, W/ ITEM 912 COMPACTED GRANULAR BACKFILL
				GRADING, SEEDING AND MULCHING
OF	203	142	C.Y.	EMBANKMENT (FILL)(6 INCH)
ON.	659	95	C.Y.	TOPSOIL (4 INCH)
OLS	659	230	LB.	COMMERCIAL FERTILIZER (2 TIMES)
	659	852	S.Y.	SEEDING AND MULCHING, CLASS 1
	659	4.6	M.G.	WATER (2 TIMES)
ULS			IT ^5	
TUR		IN RIGP	11–Ur	- WAT DEMOLITION
r IC	202	28	S.Y.	PAVEMENT REMOVED – ASPHALT, FULL DEPTH, PER COLS. STD. DWG. 1441
	202	145	S.Y.	PAVEMENT REMOVED - CONCRETE, FULL DEPTH - APRON. INCL. APRON. CURB
	202	6.3	SF	CONCRETE SIDEWALK REMOVED
IEU	202	126		CURB AND CUTTER REMOVED
	202	120	<u> </u>	SITE WORK
227	204	90	SY	SUBGRADE COMPACTION AND PROOF ROLLING / TEST ROLLING
	204		0.1. cv	PAVEMENT REPLACED _ ACDUALT EIIII DEDTU DED COLS CTD DWC 1441
	202	<u>∠0</u> 20		8" ACCRECATE RASE
	150	20		U AUGREUATE DAVE
BV	452	90	5.r.	IV ITIUK NUN-KEINFUKCED CUNCKEIE PAVEMENI, CLASS COC 5 (APRON)
	608	02	5.F.	O ITTUK CUNCKETE SIDEWALK (ADA KAMP)
~1	608	151	S.F.	4 IHICK CUNCRETE SIDEWALK
	608	16	S.F.	DETECTABLE WARNING TYPE A
0E	609	126	L.F.	COMBINATION CURB AND GUTTER, TYPE SPECIAL 8", PER COLS. STD. DWG. 2020
	609	55	<i>L.F</i> .	STRAIGHT 18" CURB, PER COLS. STD. DWG. 2000
IIN			i	GRADING, SEEDING AND MULCHING
	203	10	C.Y.	EMBANKMENT (FILL)(6 INCH)
TUF	659	7	C.Y.	TOPSOIL (4 INCH)
	659	16	LB.	COMMERCIAL FERTILIZER (2 TIMES)
1ALL UEP	659	56	S.Y.	SEEDING AND MULCHING, CLASS 2
	659	0.31	M.G.	WATER (2 TIMES)

ENGINEER'S ESTIMATE OF QUANTITIES: THE ESTIMATED QUANTITIES SHOWN ON THE CONSTRUCTION DRAWINGS AND CONTRACT DOCUMENTS ARE FOR INFORMATION PURPOSES ONLY. AND WHILE THEY ARE BELIEVED TO BE COMPLETE AND CORRECT, THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE THE



General	Survey	Notes	



THERE ARE 40 PAINTED PARKING SPACES, 2 OF WHICH ARE HANDICAP PARKING.

STRUCTURES 7, 11, 18 & 19 HAVE PIPES COMING FROM THE BUILDING

- 40' WIDE DRIVE ENTRANCE INCLUDED WITHIN KROGER PARCEL

INFORMATION AND EXISTING UTILITY PLANS. THE SURVEYOR MAKES NO PROMISES THAT THESE UNDERGROUND UTILITIES SHOWN COMPRISE OF ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE SHOWN IN THEIR EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE WITH THE GIVEN INFORMATION. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

1" = 30' GRAPHIC SCALE (IN FEET)

BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE AND NORTH AMERICAN DATUM OF 1983, (NSRS 20007), AS ESTABLISHED FROM A GPS SURVEY PERFORMED BY OHM-ADVISORS IN JANUARY 2009. OCCUPYING MONUMENTS "FRANK 76" AND "CLARKAZIMUTH".

CONTROL POINTS & BENCHMARKS

OHIO STATE PLANE COORD., SOUTH ZONE, NSRS 2007							
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION			
CP 100	733473.797	1866517.620	807.35	30" IRON PIN SET WITH RED CAP STAMPED "OHM"			
CP 101	733523.486	1866120.816	805.05	30" IRON PIN SET WITH RED CAP STAMPED "OHM"			
CP 102	733270.735	1866161.562	807.37	MAG NAIL SET			
CP 103	733269.298	1866508.052	808.24	30" IRON PIN SET WITH RED CAP STAMPED "OHM"			
		BENCHM	ARKS (BASED ON NAVD88)			
BM 200	733570.854	1866224.844	806.55	SE FLANGE BOLT OF FIRE HYDRANT 6' E OF BIKE LANE SIGN IN BETWEEN DRIVE ENTRANCES FOR GAHANNA SENIOR CENTER AND GAHANNA POLICE DEPARTMENT			
BM 201	733210.247	1866425.329	806.17	CHISELED "X" ON NW CORNER OF CONCRETE PAD 50' SOUTH OF EDGE OF PAVEMENT 30' W OF BUILDING CORNER 85' SE OF ELECTRIC TRANSFORMER			
BM 202	733272.028	1866168.236	809.81	TAG BOLT OF FIRE HYDRANT 7' E OF BACK OF WURB 18' SW OF PARKING LOT FOR MIFFLIN TOWSHIP FIRE DEPARTMENT			

]
LEGEND	

	(M)
STING TELEPHONE LINE	Ś
STING STORM LINE	~
STING SANITARY	ST
STING GAS LINE	∕ ^{ws}
STING WATER LINE	\otimes
STING ELECTRIC	(SH)
STING FENCE	(T)
STING CATCH BASIN	$\widehat{\mathbf{G}}^{M}$
TING FIRE HYDRANT	0
	ø
PHONE PULLBOX/PEDESTAL/RISER	-
	0
CTRIC TRANSFORMER	€P
	G

EXISTING ELECTRIC METER EXISTING SANITARY MANHOLE EXISTING STORM MANHOLE EXISTING WATER SERVICE VALVE SPRINKLER HEAD **TELEPHONE MANHOLE** GAS METER LIGHT POLE EXISTING SIGN POST EXISTING GAS VALVE



C003

EXISTING EVERGREEN TREE

EXISTING BUSH

EXISTING TREE

IRON PIPE FOUND 7/8" IRON PIN SET

MAG NAIL SET

BUILDING

CONCRETE

ASPHALT

THIS PLAT WAS PREPARED FROM AN ACTUAL FIELD SURVEY PERFORMED BY OH ADVISORS ALONG WITH PUBLIC RECORDS ON FILE IN THE FRANKLIN COUNTY RECORDER'S OFFICE NKLIN COUNTY ENGINEER'S OFFICE UNDER MY DIRECT SUPERVISION IN MARCH, 2019,



JOHN J. RAAB, PS 7863 DATE 11/30/2018

43215 OHM-ADVISORS.COM

ARCHITECTS ENGINEERS PLANN

580 N. Fourth St.

Suite 630

Columbus, Ohio

OHM

EXISTING

CONDITIONS

SURVEY - OHM

РІ ۸	N FNGINFER.	MOODY ENGINEFRING
PLA	N ENGINEER:	300 SPRUCE STREET, SUITE 200 COLUMBUS, OHIO 43215 PHONE (614) 280–8999
PRC DEV	PERTY OWNER/ ELOPER:	MIFFLIN TOWNSHIP TOWNSHIP TRUSTEES 155 OLDE RIDENOUR ROAD GAHANNA, OHIO 43230 NANCY WHITE 614.471.4494
SITE	DISTURBED AREA:	0.60 ACRE
COM	POSITE "C" VALUE:	
PRC	JECT DESCRIPTION:	THE PROJECT CONSISTS OF: THE FIRE STATION SITE: REMOVAL OF FRONT PARKING LOT REMOVAL AND REPLACEMENT OF THE FRONT DRIVE. THE OFFICE SITE: REGRADING AND RESURFACING THE EXISTING PARKING LOT
EXIS DRA	STING SITE INAGE CONDITION:	THE EXISTING SITES CONSIST OF A FIRE STATION AND AN OFFICE BUILDING THAT DRAIN TO CITY OF GAHANNA STORM SEWER SYSTEM.
WAT	ERSHED:	BLACKLICK CREEK
ADJ	ACENT AREAS:	THE SITE IS BOUNDED ON THE NORTH BY ROCKY FORK BOULEVARD, TO THE EAST BY RESIDENTIAL HOUSING, TO THE SOUTH AND WEST BY COMMERCIAL PROPERTIES.
CRI	TICAL AREAS:	THE EXISTING PUBLIC ROADWAYS SHALL REMAIN CLEAR OF SEDIMENT AND DEBRIS FROM CONSTRUCTION TRAFFIC AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE TO CLEAR EQUIPMENT OF SEDIMENT AND DEBRIS PRIOR TO TRAVEL ON THE ROADWAYS AND LIMIT SEDIMENT FROM SITE RUNOFF ONTO THE EXISTING ROADWAYS.
ERO CON	SION & SEDIMENT ITROL MEASURES:	PROPOSED CONSTRUCTION WILL REQUIRE SEDIMENT & EROSION RUNOFF PROTECTION WITH THE USE OF ITEMS DETAILED AND NOTED ON THIS SHEET AND AS REQUIRED PER CURRENT REGULATORY STANDARDS.
MAII	NTENANCE:	MAINTENANCE OF THE EROSION & SEDIMENT CONTROL ITEMS SHALL BE IN ACCORDANCE WITH THE NOTES LISTED ON THIS SHEET AND AS REQUIRED PER CURRENT REGULATORY STANDARDS.
<u>SE</u>	DIMENT AN	<u>D EROSION CONTROL</u>
<u>ST</u>	ANDARDS A	ND CRITERIA
IN (THE	ORDER TO CONTROL OWNER OR PERSO	. SEDIMENT POLLUTION OF WATER RESOURCI N RESPONSIBLE FOR THE DEVELOPMENT AR
THE	LEVEL OF CONSERVA	VATION ESTABLISHED BY THE FOLLOWING
1.	TIMING OF SEDIMEN PRACTICES SHALL EARTH-DISTURBING	IT-CONTROL PRACTICES: SEDIMENT CONTRO BE FUNCTIONAL THROUGHOUT ACTIVITY.
	SETTLING FACILITIES PRACTICES INTENDE IMPLEMENTED AS T SEVEN DAYS FROM CONTINUE TO FUNC AREA IS RESTABILI	S, PERIMETER CONTROLS, AND OTHER ED TO TRAP SEDIMENT SHALL BE THE FIRST STEP OF GRADING AND WITHIN THE START OF GRUBBING. THEY SHALL CTION UNTIL THE UPSLOPE DEVELOPMENT ZED.
2.	STABILIZATION OF I HAVE SOIL STABILI ARE TO REMAIN DO DAYS. PERMANEN BE APPLIED TO DE FINAL GRADE IS RE SHALL ALSO BE AF AREAS WHICH MAY DORMANT (UNDISTU DAYS.	DENUDED AREA: DENUDED AREAS SHALL ZATION APPLIED WITHIN SEVEN DAYS IF THE DRMANT FOR MORE THAN FOURTEEN (14) T OR TEMPORARY SOIL STABILIZATION SHALI NUDED AREAS WITHIN SEVEN DAYS AFTER EACHED ON ANY PORTION OF THE SITE, AND PPLIED WITHIN SEVEN DAYS TO DENUDED NOT BE AT FINAL GRADE, BUT WILL REMAI JRBED) FOR LONGER THAN FOURTEEN (14)
3.	SEDIMENT BARRIER: AREAS SHALL BE F FACILITY.	: STREET FLOW RUNOFF FROM DENUDED FILTERED OR DIVERTED TO A SETTLING
4.	STORM SEWER INLE WHICH ACCEPT WA SHALL BE PROTECT NOT ENTER THE ST FILTERED OR OTHEI UNLESS THE STORM FACILITY.	T PROTECTION: ALL STORM SEWER INLETS TER RUNOFF FROM THE DEVELOPMENT AREA TED SO THAT SEDIMENT-LADEN WATER WILL TORM SEWER SYSTEM WITHOUT FIRST BEING RWISE TREATED TO REMOVE SEDIMENT, M SEWER SYSTEM DRAINS TO A SETTLING
5.	CONSTRUCTION ACC TO PREVENT SOIL NOT CHECKED BY ROADS.	CESS ROUTES: MEASURES SHALL BE TAKEI TRANSPORT ONTO SURFACES WHERE RUNOF SEDIMENT CONTROLS, OR ONTO PUBLIC
6.	SLOUGHING AND DU SLIPPING OR LANDS FILLED OR HAVE LO IS DONE IN ACCOR ENGINEER'S RECOM ADEQUATELY ADDR	JMPING: UNSTABLE SOILS PRONE TO SLIDING SHALL NOT BE GRADED, EXCAVATED DADS IMPOSED UPON THEM UNLESS THE WO DANCE WITH A QUALIFIED PROFESSIONAL MENDATIONS TO CORRECT, ELIMINATE, OR ESS THE PROBLEMS.
7.	CUT AND FILL SLOI CONSTRUCTED IN A CONSIDERATION SH STEEPNESS OF THE AREA, GROUNDWAT	PES: CUT AND FILL SLOPES SHALL BE A MANNER WHICH WILL MINIMIZE EROSION. ALL BE GIVEN TO THE LENGTH AND E SLOPE, SOIL TYPE, UPSLOPE DRAINAGE ER CONDITIONS, AND SLOPE STABILIZATION.
8.	STABILIZATION OF CONSTRUCTION OR AND CONSTRUCTED FLOW FROM A POS STORM WITHOUT EF	OUTFALLS AND CHANNELS: OUTFALLS AND MODIFIED CHANNELS SHALL BE DESIGNED TO WITHSTAND THE EXPECTED VELOCITY O T-DEVELOPMENT, TEN-YEAR FREQUENCY RODING.
9.	ESTABLISHMENT OF VEGETATION SHALL GROUND COVER IS APPROVING AGENC	PERMANENT VEGETATION: A PERMANENT NOT BE CONSIDERED ESTABLISHED UNTIL ACHIEVED WHICH, IN THE OPINION OF THE Y IS CONSIDERED SATISFACTORY.
<u>M</u> A		
SILT IMM PRC IMM	FENCES AND FILTI EDIATELY AFTER EA DLONGED RAINFALL. EDIATELY.	ER BARRIERS SHALL BE INSPECTED ACH RAINFALL AND AT LEAST DAILY DURING ANY REQUIRED REPAIRS SHALL BE MADE
SHC OR	OULD THE FABRIC O BECOME INEFFECTIN	N A FENCE OR FILTER BARRIER DECOMPOSE E PRIOR TO THE END OF THE EXPECTED
USA SHA	BLE LIFE AND THE	BARRIER IS STILL NECESSARY THE FABRIC PROMPTLY.

EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE PREPARED AND SEEDED.

SEDIMENTATION AND EROSION CONTROL PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE. FIELD ADJUSTMENTS WITH RESPECT TO LOCATION AND DIMENSIONS MAY BE MADE BY THE ENGINEER AS REQUIRED.

LATH &

FLAGGING ON

BERM-

10 MIL

PLASTIC

1.) SET THE STAKES.

2"x2" PENCIL

LONG POST-

SHARPENED 42"

W

STAKES

FLOW

(OEPA).

I INING-

ALL SIDES —

IT MAY BECOME NECESSARY TO REMOVE PORTIONS OF THE BARRIER DURING CONSTRUCTION TO FACILITATE THE GRADING OPERATIONS IN CERTAIN AREAS. HOWEVER, THE BARRIER SHALL BE IN PLACE IN THE EVENING OR DURING ANY INCLEMENT WEATHER.

	SOIL ER	<u>osion no</u>	TES				
	<u>CONSTRU</u>	JCTION SE	<u>QUENCE</u>				
	1. GRADE AN A. SEDIMI B. TEMPC C. INSTAL ENTRAI D. INSTAL	D STOCKPILE TOI ENT BARRIER AR RARY SEEDING L STABILIZED CO NCES) L CONCRETE WA	PSOIL OUND STOCKPILE DNSTRUCTION ACCESS SHOUT AREA	S ROADS (OR			
	2. VEGETATIVI 21 DAYS (E COVER ALL AR TEMPORARY SEE	EAS TO BE EXPOSED DING).	OLONGER THAN			
	3. INSTALL U INSTALL IN	TILITIES. LET AND CATCH	BASIN FILTERS AS S	SHOWN ON PLANS.			
RE	4. INSTALL P	AVEMENT AND FI	NAL GRADING.				
ĂT	5. PERMANEN STRAW PER	T SEEDING AND R 659.09.	MULCHING. ASPHAL	T EMULSION OVER			
	6. PERFORM	CONTINUING MAIN	ITENANCE.				
	7. REMOVE SEDIMENT FILTER AFTER VEGETATION GROWTH IS ESTABLISHED.						
HE		SPECIFICATIONS	S FOR SEEDING &	MULCHING			
	SEED TYPE	SEEDING DATES	PER 1000 SQ. FT.	PER ACRE			
	TALL FESCUE & ANNUAL RYEGRASS		2 POUND & 1/2 POUND	80 POUND & 20 POUND			
IT F HF	SMALL GRAIN, STRAW	MARCH 1 TO SEPTEMBER 15	100 POUNDS OR 2 OR 3 BALES	2 TONS OR 50 BALES			
RE	FERTILIZER		25 POUNDS OF 12–12–12 OR EQUIVALENT	100 POUNDS OF 12-12-12 OR EQUIVALENT			
		TEMP	ORARY SEEDING				
	RYE OR WHEAT	SEPTEMBER 15 TO OCTOBER 30	3 POUNDS	2 BUSHELS			
		SOI	L PROTECTION				
R	SMALL GRAIN, STRAW MULCH	OCTOBER 30 TO MARCH 1	2 TO 3 BALES	2 TONS			
	-	•					

NON-SEDIMENT POLLUTION CONTROL

CONSTRUCTION PERSONNEL, INCLUDING SUBCONTRACTORS WHO MAY USE OR HANDLE HAZARDOUS OR TOXIC MATERIALS, SHALL BE MADE AWARE OF THE FOLLOWING GUIDELINES:

DISPOSAL AND HANDLING OF HAZARDOUS AND OTHER CONSTRUCTION WASTE

- PREVENT SPILLS
- USE PRODUCTS UP • FOLLOW LABEL DIRECTIONS FOR DISPOSAL
- REMOVE LIDS FROM EMPTY BOTTLES AND CANS WHEN DISPOSING IN TRASH
- RECYCLE WASTES WHENEVER POSSIBLE

- DON'T POUR INTO WATERWAYS, STORM DRAINS OR ONTO THE GROUND
- DON'T POUR DOWN THE SINK, FLOOR DRAIN OR
- SEPTIC TANKS • DON'T BURY CHEMICALS OR CONTAINERS
- DON'T BURN CHEMICALS OR CONTAINERS DON'T MIX CHEMICALS TOGETHER
- CONTAINERS SHALL BE PROVIDED FOR COLLECTION OF ALL WASTE MATERIAL INCLUDING CONSTRUCTION DEBRIS, TRASH PETROLEUM PRODUCTS AND ANY HAZARDOUS MATÉRIALS TO BE USED ON-SITE. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THAT MATERIAL.
- NO WASTE MATERIALS SHALL BE BURIED ON-SITE. SITE PERSONNEL, INCLUDING SUBCONTRACTORS SHALL BE NOTIFIED THAT NO CONSTRUCTION-RELATED MATERIALS ARE TO BE BURIED ON-SITE.
- MIXING, PUMPING, TRANSFERRING OR OTHERWISE HANDLING CONSTRUCTION CHEMICALS SUCH AS FERTILIZER, LIME, ASPHALT, CONCRETE DRYING COMPOUNDS, AND ALL OTHER POTENTIALLY HAZARDOUS MATERIALS SHALL BE PERFORMED IN AN AREA AWAY FROM ANY WATERCOURSE, DITCH OR STORM DRAIN.
- 5. EQUIPMENT FUELING AND MAINTENANCE, OIL CHANGING, ETC. SHALL BE PERFORMED AWAY FROM WATERCOURSES, DITCHES OR STORM DRAINS, IN AN AREA DESIGNATED FOR THAT PURPOSE. THE DESIGNATED AREA SHALL BE EQUIPPED FOR RECYCLING OIL AND CATCHING SPILLS.
- 6. CONCRETE WASH WATER SHALL NOT BE ALLOWED TO FLOW TO STREAMS, DITCHES, STORM DRAINS, OR ANY OTHER WATER CONVEYANCE. A SUMP OR PIT SHALL BE CONSTRUCTED TO CONTAIN CONCRETE WASH WATER.
- 7. IF HAZARDOUS SUBSTANCES SUCH AS OIL, DIESEL FUEL, HYDRAULIC FLUID, ANTIFREEZE, ETC. ARE SPILLED, LEAKED, OR RELEASED ONTO THE SOIL, THE SOIL SHOULD BE DUG UP AND DISPOSED OF WITH THE TRASH AT A LICENSED SANITARY LANDFILL (NOT A CONSTRUCTION / DEMOLITION DEBRIS LANDFILL) SPILLS ON PAVEMENT SHALL BE ABSORBED WITH SAWDUST OR KITTY LITTER AND DISPOSED OF WITH THE TRASH AT A LICENSED SANITARY LANDFILL, HAZARDOUS OR INDUSTRIAL WASTES SUCH AS MOST SOLVENTS, GASOLINE, OIL-BASED PAINTS, AND CEMENT CURING COMPOUNDS REQUIRE SPECIAL HANDLING. CONTACT OHIO EPA (1-800-282-9378).
- SPILLS OF 25 GAL. OR MORE OF PETROLEUM PRODUCTS SHALL BE REPORTED TO OHIO EPA (1-800-282-9378), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MIN. OF THE DISCOVERY OF THE RELEASE.

PREPARATIO RETENTION DEVICE WITH THE SOIL.

WATTLES.

DOWN-SLOPE NEXT TO THE TRENCH.

INSTALLATION:

WATTLE AND INTO THE SOIL.

AREA TERMINATING THE LOG SEGMENT. WATTLE

WATTLE.



NO SCALE

-806' CP100 ~808° 1777*/ PARCEL NO: 025-003870 Mifflin Township Trustees 0.R. 15432F07 0.908 Acres אהההה PARCEL NO: 025-006927 Aifflin Township, an Ohio Municipal INS. NO. 200403030046654 0.838 Acres ` 808' _______C PARCEL NO: 025-001135 The Kroger Co., an Ohio Corporation NO. 200505120091078 8.039 Acres BM201 <u>SWPPP LEGEND</u> FABRIC FILTER BARRIER/STRAW WATTLE DETAIL CATCH BASIN PROTECTION SILT FENCE DROP INLET SEDIMENT BARRIER (OPT) CURB INLET SEDIMENT PROTECTION 80 SCALE: 1"=40' # | Date | Change Description Station 131 Concrete Repair 475 Rocky Fork Blvd. Gahanna, Ohio 43230 Mifflin Township **300 SPRUCE STREET** PROGRESS **SUITE 200** COLUMBUS, OHIO 43215 DRAWING P: 614 280 8999 NOT FOR CONSTRUCTION MOODY MOODY-ENG.COM ENGINEERING Dwg. Coord.: JDL M-E#: 19028 Tech. Coord.: jan SWPPP DETAILS C004 **AND PLAN PV-420** | BID DOCUMENTS August 14, 2020



$\langle A \rangle$	THE CONTRACT PROJECT WORK PARKING AREAS	<u>SITE NOTES</u> GOR SHALL NOTIFY ALL A WILL CLOSE ACCESS TO 5.	PROP D PR	ERTY OW OPERTY I	NERS N DRIVES	VHEN AND		
B	THE CONTRACT TO ENSURE PR THE CONCRETE THE BASE AND TO THE WEST	OR SHALL VERIFY THE D OPER DRAINAGE OF THE APRON BY BEING LOWE THEN WITH PROPER FLO	EPTH 8"/ R TH OW T	OF THE AGGREGAT IAN THE IO THE C	UNDER TE BASE DEPTH URB INL	DRAIN E OF OF - LET		
	IN THE EVENT POSSIBLE AS I ENGINEER AND THE EXISTING O DRAINAGE IS P THE CURB INLE	PROPER DRAINAGE OF T T EXISTS, THE CONTRACT THE CITY FOR WRITTEN CURB AND GUTTER TO A OSSIBLE OR A NEW UND T. DE MADE AT PRICES PU	HE U FOR S APPF POIN DERDR	INDERDRA SHALL NG ROVAL TO NT WHERI RAIN TAP	IN IS N DTIFY TH REMOV PROPI IS MAD	NOT HE O ZE ER ER SCALE:	20 40 1"=20'	
	ITEMS OF THE	CONTRACT.						
	BEFORE REMON PAVEMENTS, W SAWCUT, THE C LINES AS DIRE COST OF THE COST BID FOR NO PAYMENT F	ALSTING PAVEMENTS, WAL VAL. IF DURING CONSTRU ALKWAYS, CURBS, ETC. E CONTRACTOR SHALL THE CTED BY THE ENGINEER ORIGINAL SAWCUT SHALL THE VARIOUS APPROPRI TOR SAWCUTTING NEEDED CODED NOTE	CTION BEYON DAMA AND BE ATE TO	N, THE C ND THE C AGED ARE YOR THE INCLUDEL TEMS. TH FIX DAMA	5, ETC. ONTRAC DRIGINAL TA TO N CITY. T O IN TH DERE WI NGED AF	TOR NEAT HE E LL BE REAS.		
	(1) FULL DEPT	H SAWCUT – PAVEMENT	 / w/	ALK – S	EE NOT	E THIS SHEET		
	2 PAVEMENT	REMOVED – ASPHALT, F	ULL I	DEPTH –	PER C	COLS. STD. DWG. 14	41	
	(3) EXISTING C	URB INLET TO BE REMO	VED					
	$\langle 4 \rangle$ EXISTING C	ATCH BASIN TO BE REM	OVED	'n				
	$\langle 6 \rangle$ EXISTING II	TORM SEWER TO BE ABA	NDOL	v NED PER	CMSC	ITEM 202		
	EXISTING P	OLE TO BE REMOVED -I	ELECI	TRIC TO I	3E REDI	IRECTED TO PROPOS	SED SIGN	
	$\langle 8 \rangle$ EXISTING B	OLLARDS (6) TO BE REN	IOVEL	ס				
	(9) EXISTING C	ONCRETE RAMP TO BE F	REMO	VED				
	(10) EXISTING H	ANDICAP PARKING SIGN	ΤΟ Β	E REMOV	'ED AND) STORED FOR RE-1	ERECTION	
		<u>LEGEND</u>						
		PAVEMENT REPLACE PER COLS. STD. DV	D — VG.	ASPHA 1441	LT, FU	ILL DEPTH		
	PAVEMENT REMOVED – CONCRETE, FULL DEPTH							
		ASPHALT, FULL DEPTH						
		WEARING COURSE REMOVED - ASPHALT, 1" MILL						
		WALK REMOVED – (REMOVE TO NEARES	ST J	OINT				
		CURB REMOVED – REMOVE TO NEARES	CON ST J(CRETE DINT				
	*************	TREE REMOVED	3E F	ILLED I	N PLA	CE PER CMSC II	EM 202	
			#	Date	Chang	e Description		
			•	Fflo HAN		Station 131 Concrete Rep 475 Rocky Fork Blvd. Gahanna, Ohio 43230 for Mifflin Townsh	bair hip	
					300	SPRUCE STREET	-	
					SUIT COLI	E 200 UMBUS, OHIO 43215	PROGRESS	
						P: 614 280 8999	NOT FOR	
			M		G M	OODY-ENG.COM	CONSTRUCTION	
			Dwa	J. Coord.: JD	L	Tech. Coord.: jan	M-E#: 19028	
			PF DF	ROJE Emol	CT _ITIC	ON PLAN	C101	
		PV-420	BIL	D DOCUI	MENTS		August 14, 2020	



SITE NOTES							
A THE CONTRACTOR SHALL NOTIFY ALL PROJECT WORK WILL CLOSE ACCESS TO PARKING AREAS.	ROPERTY OWNERS D PROPERTY DRIVE	WHEN 'S AND					
B THE CONTRACTOR SHALL VERIFY THE DI TO ENSURE PROPER DRAINAGE OF THE THE CONCRETE APRON BY BEING LOWE THE BASE AND THEN WITH PROPER FLO THE WEST. IN THE EVENT PROPER DRA IS NOT POSSIBLE AS IT EXISTS, THE CA THE ENGINEER AND THE CITY FOR WRIT THE ENGINEER AND THE CITY FOR WRIT THE EXISTING CURB AND GUTTER TO A DRAINAGE IS POSSIBLE OR A NEW UND THE CURB INLET. PAYMENT SHALL BE M FOR THE VARIOUS APPROPRIATE ITEMS.	THE CONTRACTOR SHALL VERIFY THE DEPTH OF THE UNDERDRAIN TO ENSURE PROPER DRAINAGE OF THE 8" AGGREGATE BASE OF THE CONCRETE APRON BY BEING LOWER THAN THE DEPTH OF THE BASE AND THEN WITH PROPER FLOW TO THE CURB INLET TO THE WEST. IN THE EVENT PROPER DRAINAGE OF THE UNDERDRAIN IS NOT POSSIBLE AS IT EXISTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY FOR WRITTEN APPROVAL TO REMOVE THE EXISTING CURB AND GUTTER TO A POINT WHERE PROPER DRAINAGE IS POSSIBLE OR A NEW UNDERDRAIN TAP IS MADE TO THE CURB INLET. PAYMENT SHALL BE MADE AT THE COST BID FOR THE VARIOUS APPROPRIATE ITEMS.						
C THE CONTRACTOR SHALL PLACE THE 1 1/2" ASPHALT CONCRETE SURFACE COARSE, TYPE 1 (448, PG64–22) AND THE 1" ASPHALT CONCRETE SURFACE COARSE, TYPE 1 (OVERLAY) (448, PG64–22) AT THE SAME TIME TO PROVIDE FEWER SEAMS AND SMOOTH ELEVATION TRANSITIONS IN THE SURFACE COARSE.							
SEE DETAIL SHEET C401 FOR SITE DEV	SEE DETAIL SHEET C401 FOR SITE DEVELOPMENT DETAILS						
<u>CODED NOTE</u>	<u>-S</u>						
$\langle 1 \rangle$ PAVEMENT REPLACED – ASPHALT, F	FULL DEPTH – PEH YPE SPECIAI 8" E	R COLS. STD. DWG. 14	441 2020				
$\langle 3 \rangle$ STRAIGHT 18" CURB – PER COLS.	STD. DWG. 2000	LN 0023. 310. DWG.	2020				
(4) TAPER CURB HEIGHT FROM 6" TO (O"IN 1'						
5 TAPER CURB/WALK HEIGHT 6" TO C)" IN 6'						
6 MATCH PROP. IMPROVEMENT TO SH	APE OF EX. OVER	LAST 2'					
$\langle 7 \rangle$ PROPOSED PARKING BLOCK – SEE	PLAN DETAIL, SHE - REMOVE EROM (ET C302 STORAGE AND RE-ERE	CT				
- SEE PLAN DETAIL, SHEET C302		STORAGE AND THE ENE					
$\langle 9 \rangle$ PROPOSED SITE SIGN – PROVIDE 2 $\langle 10 \rangle$ 6" DIA, BOLLARDS (6) – SEE PLAN	?" CONDUIT & WIRI I DETAIL, SHEET C.	NG FROM ADJACENT L 302	IGHT POLE				
PAVEMENT REPLACED PER COLS. STD. DW	D — ASPHALT, /G. 1441	FULL DEPTH					
ASPHALT PAVEMENT (SEE DETAIL 1, SHT	SECTION C401)						
1" ASPHALT CONCRE (OVERLAY) (448, PO	ETE SURFACE C G64–22)	OARSE, TYPE 1					
ETTETTT 8" CONCRETE SIDEWALK/WALK							
$\begin{bmatrix} \nabla & \nabla & \nabla & \nabla & \nabla & \nabla \\ \nabla & \nabla & \nabla & \nabla &$							
10" CONCRETE PAVEMENT SECTION (ONSITE DRIVE)							
LANDSCAPING, SEE	DETAIL						
TOPSOIL & GRASS	H Data Cha	nan Deceriation					
NEW CONCRETE	# Date Cha	nge Description					
CURB — SEE ABOVE							
	TEL	Station 131					
	AN SOLAN	Concrete Rep	pair				
	• (sefflet) •	475 Rocky Fork Blvd. Gahanna, Ohio 43230					
	HANN W	Mifflin Townsh	nip				
	30	0 SPRUCE STREET					
	su co	IITE 200 DLUMBUS, OHIO 43215					
		P: 614 280 8999	NOT FOR				
		MOODY-ENG.COM	CONSTRUCTION				
	Dwg. Coord.: JDL	Tech. Coord.: jan	M-E#: 19028				
	PROJECT PI AN	LAYOUT	C201				
PV-420	BID DOCUMENT	<i>rs</i>	August 14, 2020				



<u>SITE NOTES</u>

THE CONTRACTOR SHALL PLACE THE 1 1/2" ASPHALT CONCRETE SURFACE COARSE, TYPE 1 (448, PG64-22) AND THE 1" ASPHALT CONCRETE SURFACE COARSE, TYPE 1 (OVERLAY) (448, PG64–22) AT THE SAME TIME TO PROVIDE FEWER SEAMS AND SMOOTH ELEVATION TRANSITIONS IN THE SURFACE COARSE.

<u>CODED NOTES</u>

 $\langle 1 \rangle$ MATCH EXISTING (2) PAVEMENT REPLACEMENT PER STD. DWG. 1441

PROPOSED CONTOUR

PLANTING LEGEND

- SPR Avatar Blue Spruce,
- AME Tradition Serviceberry,
- DOG White Flowering Dogwood,
- BER Mentor Barberry,
- BOX Boxwood,
- Daylily, LIL
- SPI Spirea,

PICEA pungens 'Avatar' AMELANCHIER candensis 'Tradition' CORNUS florida BERBERIS x mentorensis MICROPHYLLA koreana 'Wintergreen' HERMEROCALLIS 'Stella de Oro' SPIREA x bumalda 'Anthony Waterer'

SCALE: 1"=20'

	# Date	Change Description	
	HIFFL FALL	Station 131 Concrete Rep 475 Rocky Fork Blvd. Gahanna, Ohio 43230 for Mifflin Townsh	air ip
		300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215 P: 614 280 8999	PROGRESS DRAWING NOT FOR
		MOODY-ENG.COM	CONSTRUCTION
	Dwg. Coord.: JDL	. Tech. Coord.: jan	M-E#: 19028
		CT GRADING	C301
PV-420	BID DOCUM	IENTS	August 14, 2020





NOTE: THE CONTRACTOR SHALL CONSTRUCT THE PROPOSED STORM SEWER AND CATCH BASINS PER ALL CURRENT AND PERTINENT CITY OF COLUMBUS CONTRUCTION STANDARDS AND STANDARD DRAWINGS WHETHER LISTED ON THIS PLAN OR NOT.

CITY OF COLUMBUS, STORM SEWER STANDARD DRAWINGS: AA-S133A, AA-S134A, AA-S139, AA-S141, AA-S149, AA-S150, AA-S151

STORM SEWER

PIPE SPECIFICATION FOR THE PLAN IMPROVEMENTS MAY BE IN ACCORDANCE WITH THE FOLLOWING AND COLUMBUS CMSC : (EXCEPT WHERE SPECIFICALLY DESIGNATED WITHIN THE PROFILES.)

REINFORCED CONCRETE PIPE ASTM C-76 (CMSC 706.02). PROVIDE ROUND RUBBER JOINT (O-RING) CONFORMING TO ASTM C361 WHERE WATERTIGHT JOINTS ARE SPECIFIED ON THE PROFILES.

- 12" 24" DIAMETER PIPE CLASS IV 27" - 30" DIAMETER PIPE CLASS III
- THROUGH 15" DIAMETER.
- JOINTS ARE SPECIFIED ON THE PROFILES: 8" THRU 30" DIAMETER PIPE



- CONCRETE CLASSIFICATION SHALL BE IN CONFORMANCE WITH THE FOLLOWING UNLESS OTHERWISE REFERENCED BY THE PROFILES:

- P.V.C. SEWER PIPE ASTM D3034 WITH JOINTS AS PER ASTM D3212. PVC SEWER PIPE PLACEMENT SHALL BE LIMITED TO SEWERS

- SMOOTH-LINED CORRUGATED POLYETHYLENE PIPE (CMSC 720.12). PROVIDE JOINT CONFORMING TO ASTM D3212 WHERE WATERTIGHT

	# Date	Change Description	
	H H A N	Station 131 Concrete Rep 475 Rocky Fork Blvd. Gahanna, Ohio 43230 for Mifflin Townsh	ə air ip
		300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215 P: 614 280 8999 MOODY-ENG.COM	PROGRESS DRAWING NOT FOR CONSTRUCTION
	Dwg. Coord.: JDL	Tech. Coord.: jan	M-E#: 19028
	STORM PROJE	PROFILE AND	C302
PV-420	BID DOCUM	ENTS	August 14, 2020



SCOPE OF WORK (CONTINUED FROM PREVIOUS SHEET)

SPECIAL IMPROVED STREETS

SPECIAL IMPROVED STREETS, AS APPROVED BY THE DIRECTOR OF PUBLIC SERVICE, CITY ENGINEER OR DESIGNEE SHALL HAVE FIVE (5) YEAR MORATORIUM. NO PERMIT SHALL BE GRANTED FOR THE PURPOSE TO MAKE ANY OPENING ON ANY HARD SURFACE AREAS SUCH AS PAVEMENT, SIDEWALK, CURB, ETC., WITHIN THE RIGHT OF WAY OF SPECIAL IMPROVED STREET FOR A PERIOD OF NO LESS THAN FIVE (5) YEARS AFTER COMPLETION OF SUCH HARD SURFACE AREA. EMERGENCY REPAIRS OR PAVEMENT OPENINGS WITHIN THE FIVE (5) MORATORIUM SHALL HAVE ADDITIONAL AND SPECIFIC REQUIREMENTS BEYOND THE MINIMUM REQUIREMENTS OF STD DWG 1441 AND APPROVED ONLY BY THE DIRECTOR OF THE PUBLIC SERVICE AND CITY ENGINEER OR DESIGNEE

CURB RAMP INSTALLATION

ALL CURB RAMPS SHALL BE INSTALLED PER STANDARD DRAWINGS 2300, 2319 AND DPS ADA RULES AND REGULATIONS.

SPECIAL PAVEMENT, BASE, AND STORMWATER BMPS

WHEN PAVEMENT CUTS OR REPAIRS IMPACT NON-CONVENTIONAL PAVEMENT BUILDUPS, THE CITY ENGINEER OR DESIGNEE WILL PROVIDE DIRECTION ON THE REQUIRED RESTORATION. IF THE NON-CONVENTIONAL PAVEMENT IS NOT IDENTIFIED IN THE DESIGN STAGE, IT IS THE PERMIT HOLDER'S RESPONSIBILITY TO BRING THIS TO THE ATTENTION OF THE DEPARTMENT OF PUBLIC SERVICE. SOME EXAMPLES OF NON-CONVENTIONAL PAVEMENT INCLUDE, FABRICS AND GRIDS USED TO STABILIZE SUBGRADE AND PAVEMENT, SPECIALITY BACKFILL AND SOIL SUPPORT STRUCTURES, PERMEABLE PAVEMENT AND STORMWATER BEST MANAGEMENT PRACTICES (BMPS).

TRAFFIC CONTROL

WHEN PAVEMENT CUTS OR REPAIRS REMOVE EXISTING STRIPING OR OTHERWISE RENDER STRIPING UNSERVICEABLE AS DETERMINED BY THE ENGINEER, TEMPORARY PAVEMENT MARKINGS PER CMSC 614 SHALL APPLY. TEMPORARY CLASS II MARKINGS SHALL BE PLACED IMMEDIATELY. CLASS II MARKINGS ARE ONLY FOR LANE LINES, CENTERLINES AND GORE MARKINGS AND PLACED FOR A MAXIMUM OF 14 DAYS. ALL TEMPORARY MARKINGS PLACED FOR A PERIOD LONGER THAN 14 DAYS BUT LESS THAN 30 DAYS SHALL BE ITEM 642 CLASS III MARKINGS. PERMANENT THERMOPLASTIC OR SPRAY THERMOPLASTIC SHALL BE PLACED WITHIN 30 DAYS ON A SURFACE COURSE. WHEN THERMOPLASTIC OR SPRAY THERMOPLASTIC IS TO BE INSTALLED, TEMPORARY MARKINGS SHALL BE CLASS III. ALL OVER WINTER TEMPORARY MARKINGS SHALL BE TYPE 1. ALL TEMPORARY PAVEMENT MARKINGS ON CONCRETE SHALL BE AS PER 740.06, TYPE I. PERMANENT PAVEMENT MARKINGS ON CONCRETE SHALL MATCH THE EXISTING PAVEMENT MARKINGS DIRECTED BY THE ENGINEER.

PAVEMENT & UTILITY CUT REPAIR STANDARDS

CITY OF COLUMBUS, OHIO DEPARTMENT OF PUBLIC SERVICE DIVISION OF DESIGN AND CONSTRUCTION STD DWG 1441 4/22/2019 SHT 4 OF 13

NOTE:

THE STANDARD DRAWING PAGES SHOWN ON THESE PLAN SHEETS MAY NOT INCLUDE ALL THE PAGES OF THE CITY OF COLUMBUS STANDARD DRAWING. IT IS THE INTENT THAT THESE SHOWN PAGES ARE THE NECESSARY PAGES FROM EACH STANDARD DRAWING SET TO COMPLETE THE PROPOSED CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REVIEW EACH **REFERENCED STANDARD DRAWING TO VERIFY THAT NO OTHER PAGES OF** THE STANDARD DRAWING IS NECESSARY AND/OR TO INCLUDED THE NECESSARY PAGES FOR CONSTRUCTION.

PV-420

#	Date	Change Description	
•	TF F L PFALD	Station 131 Concrete Rep 475 Rocky Fork Blvd. Gahanna, Ohio 43230 for Mifflin Townsh	air ip
M	OOD	300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215 P: 614 280 8999 MOODY-ENG.COM	PROGRESS DRAWING NOT FOR CONSTRUCTION
Dwo	n Coord : JD	Coord∵ian	M-F# [.] 19028
S	TAND	ARD DRAWING	C401
Bl	D DOCUI	MENTS	August 14, 2020



ABLE 1: TAPER LENGTHS FOR TEMPORARY TRAFFIC CONTROL ZONES [†]								
D: TAPER RATE (SHOULDER) CLOSURE OMUTCD 0.33L = WS ² /60 0.33L = WS								
WIDTH OF SHOULDER	25 MPH	30 MPH	35 MPH	40 MPH	45 MPH	50 MPH	55 MPH	60 MPH
6'	*	*	*	53'	89'	99'	109'	119'
7'	*	*	47'	62'	104'	116'	127'	139'
8'	*	*	54'	70'	119'	132'	145'	158'
9'	*	45'	61'	79'	134'	149'	163'	178'
10'	*	50'	67'	88'	149'	165'	182'	198'
11'	*	54'	74'	97'	163'	182'	200'	218'
12'	*	59'	81'	106'	178'	198'	218'	238'
E: TAPER RATE (MERGE) CLOSURE OMUTCD L = WS ² /60 L = WS								
WIDTH OF LANE CLOSED	25 MPH	30 MPH	35 MPH	40 MPH	45 MPH	50 MPH	55 MPH	60 MPH
10'	104'	150'	204'	267'	450'	500'	550'	600'
11'	115'	165'	225'	293'	495'	550'	605'	660'
12'	125'	180'	245'	320'	540'	600'	660'	720'
13'	135'	195'	265'	347'	585'	650'	715'	780'
F: TAPER RATE (SHIFT) CL	OSURE ON	UTCD 0.5L	$_{-} = WS^{2}/60$)		L =	WS	
WIDTH OF LANE SHIFT	25 MPH	30 MPH	35 MPH	40 MPH	45 MPH	50 MPH	55 MPH	60 MPH
10'	52'	75'	102'	133'	450'	500'	550'	600'
11'	57'	83'	112'	147'	495'	550'	605'	660'
12'	62'	90'	123'	160'	540'	600'	660'	720'
13'	68'	98'	133'	173'	585'	650'	715'	780'
NOTES:								

	DISTANCE BETWEEN SIGNS **				
ROADTIFE	A B		C		
URBAN (LOW SPEED*) \leq 40 MPH	100 FT	100 FT	100 FT		
URBAN (HIGH SPEED*) \geq 45 MPH	350 FT	350 FT	350 FT		
RURAL	500 FT	500 FT	500 FT		
EXPRESSWAY/FREEWAY	1,000 FT	1,500 FT	2,640 FT		
+					

NOTES AND TABLES

CITY OF COLUMBUS, OHIO DEPARTMENT OF PUBLIC SERVICE	STD DW
DIVISION OF DESIGN AND CONSTRUCTION	1500
11 7.0	0/15/0015
Nassa Lahran	9/15/2015
CITY ENGINEER	SHT 1 OF 3

NOTE:

THE STANDARD DRAWING PAGES SHOWN ON THESE PLAN SHEETS MAY NOT INCLUDE ALL THE PAGES OF THE CITY OF COLUMBUS STANDARD DRAWING. IT IS THE INTENT THAT THESE SHOWN PAGES ARE THE NECESSARY PAGES FROM EACH STANDARD DRAWING SET TO COMPLETE THE PROPOSED CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REVIEW EACH **REFERENCED STANDARD DRAWING TO VERIFY THAT NO OTHER PAGES OF** THE STANDARD DRAWING IS NECESSARY AND/OR TO INCLUDED THE NECESSARY PAGES FOR CONSTRUCTION.

PV-420

#	Date	Date Change Description				
•	AVF F I	Station 131 Concrete Rep 475 Rocky Fork Blvd. Gahanna, Ohio 43230 for Mifflin Townsh	ə air ip			
		300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215 P: 614 280 8999 MOODY-ENG.COM	PROGRESS DRAWING NOT FOR CONSTRUCTION			
Dur		L Took Coard ion	M E#. 10020			
DWQ	Dwg. Coord.: JDL Tech. Coord.: jan M-E#: 19028					
S	TAND	OARD DRAWING	C402			
Bl	D DOCUI	MENTS	August 14, 2020			



NOTE:

THE STANDARD DRAWING PAGES SHOWN ON THESE PLAN SHEETS MAY NOT INCLUDE ALL THE PAGES OF THE CITY OF COLUMBUS STANDARD DRAWING. IT IS THE INTENT THAT THESE SHOWN PAGES ARE THE NECESSARY PAGES FROM EACH STANDARD DRAWING SET TO COMPLETE THE PROPOSED CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REVIEW EACH **REFERENCED STANDARD DRAWING TO VERIFY THAT NO OTHER PAGES OF** THE STANDARD DRAWING IS NECESSARY AND/OR TO INCLUDED THE NECESSARY PAGES FOR CONSTRUCTION.

PV-420

#	Date	Change Description				
•	TF F L	Station 131 Concrete Rep 475 Rocky Fork Blvd. Gahanna, Ohio 43230 for Mifflin Townsh	air ip			
Mend		300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215 P: 614 280 8999 MOODY-ENG.COM	PROGRESS DRAWING NOT FOR CONSTRUCTION			
Dwg	g. Coord.: JD	L Tech. Coord.: jan	M-E#: 19028			
S	STANDARD DRAWING C403					
Bl	D DOCUI	MENTS	August 14, 2020			





AWING: P:\19028 Mifflin Fire E-A Building\CADD\19028 C401 StdDwg:











August 7, 2020

Mifflin Township

RE: Project 475-485 Rocky Fork Blvd

Dear Mifflin Township:

The following comments were generated from the review of the submitted plans and documents for the referenced project. For the next submittal, please provide a disposition of comments, revised plans, and/or other information as requested for further review. The disposition of comments needs to include both the original comment and the appropriate response. If desired, these comments can be emailed. Re-submitted plans that do not include the disposition of comments document will not be reviewed and will be returned to you.

Fire District

1. The current and proposed parking lots has a driving lane the exceeds the 20 foot unobstructed width requirement. This complies with Section 503.2.1 of the 2017 Ohio Fire Code

503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with paragraph (C)(6)(503.6) of this rule, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

2. The fire inspection bureau shall make comments to the building official on the proposed building entrance when construction plans have been submitted for review.

Community Development

- Chapter 1163.08(c) requires landscaping based on the total size of the parking lot. This would only
 affect 485 Rocky Fork since this parking lot is expanding. The code requires landscape islands equal to
 5% of the total parking lot. One tree per 100 square feet of landscaping area is required. Please revise
 the plans accordingly. Landscape islands will be added based on the area of the new parking lot.
- 4. Chapter 1154.03(a)(7) requires parking areas to be setback a minimum of 15'. The new parking at 485 Rocky Fork appears to be located within the required setback. The site needs to be revised accordingly, a variance requested, or the two properties combined. Staff has no objections to a

variance. Per 1123.45 Parking space is defined as "the required for parking one automobile, not including passageways." The parking spaces for this development are on the other side of the drive aisle (passageway) there we meet the required 15' setback.

Engineering

5. No comments at this time. Engineering staff is currently reviewing a full engineering plan submittal. Engineering comments have been addressed and are ready to be returned to the Engineering Dept.

<u>Parks</u>

6. No Comment per Julie Prederi

Page 2 of 2 August 7, 2020 Re: Project 475-485 Rocky Fork Blvd 475-485 Rocky Fork Blvd

Building

7. The parking area will be required to comply with the Ohio Building Code and ICC A117.1 for handicapped accessibility.

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker Administrative Assistant



October 20, 2020

Mifflin Township

RE: Project 475-485 Rocky Fork Blvd Design Review

Dear Mifflin Township:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

Fire District

1. The current and proposed parking lots has a driving lane the exceeds the 20 foot unobstructed width requirement. This complies with Section 503.2.1 of the 2017 Ohio Fire Code

503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with paragraph (C)(6)(503.6) of this rule, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

2. The fire inspection bureau shall make comments to the building official on the proposed building entrance when construction plans have been submitted for review.

Engineering

3. No comments at this time. Engineering staff is currently reviewing a full engineering plan submittal.

Parks

4. No Comment per Julie Prederi

Building

5. The parking area will be required to comply with the Ohio Building Code and ICC A117.1 for handicapped accessibility.

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker Administrative Assistant



PLANNING AND DEVELOPMENT STAFF REPORT

Request Summary

A design review application has been filed in order to make modest changes to the parking and access areas for properties located at 475 and 485 Rocky Fork Blvd. Both properties are zoned Restricted Institutional District (RID) and owned and operated by Mifflin Township.

Chapter 1163.04 requires a design review application and Planning Commission approval to virtually all changes to a parking lot. The requested changes are consistent with code requirements and no variances are necessary.

Design Review

General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect and enhance the physical surroundings of the Design Review District.

Recommendation

Staff recommends approval of this request as it meets all applicable code requirements.



Location/Zoning Map



Respectfully Submitted By: Michael Blackford, AICP City Planner/Zoning Administrator