

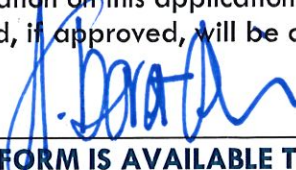
DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION

PLEASE NOTE: This application is not to be considered complete until all documents are received and approved by the Planning & Zoning Administrator.

Project/Property Address or Location: 0 Ridenour Road		Project Name/Business Name (if applicable): National Church Residences	
Parcel ID No.(s): 025-013236	Current Zoning: L-SO (L-MFRD Pending)	Total Acreage: +/- 4.19	
Please check all that apply:			
SITE PLAN <input checked="" type="checkbox"/>	LANDSCAPING <input type="checkbox"/>	BUILDING DESIGN <input checked="" type="checkbox"/>	DEMOLITION <input type="checkbox"/> <small>only applicable to Code Chapter 1150, Olde Gahanna</small>
SIGNAGE - please use the Permanent Sign Permit Application			
Additional Information (if applicable):			
APPLICANT Name (primary contact) -do <u>not</u> use a business name: National Church Residences c/o George Tabit, VP		Applicant Address: 2245 North Bank Drive	
Applicant E-mail: gtabit@nationalchurchresidences.org		Applicant Phone No.:	
BUSINESS Name (if applicable): National Church Residences			
ATTORNEY/AGENT Name: David Hodge, Underhill & Hodge, LLC		Attorney/Agent Address: 8000 Walton Parkway, Suite 260, New Albany, OH	
Attorney/Agent E-Mail: david@uhlfirm.com		Attorney/Agent Phone No.: 614-335-9320	
ADDITIONAL CONTACTS (please list all applicable contacts)			
Name(s):		Contact Information (phone no./email):	
Contractor			
Developer			
Architect George Berardi, Berardi + Partners		614-221-1110 / george@berardipartners.com	
PROPERTY OWNER Name: (if different from Applicant) Christian Meeting Room, Inc.		Property Owner Contact Information (phone no./email):	

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED (see page 2 & 3)

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature:  George Berardi, Architect/Agent for Owner Date: 02/01/2019

THIS FORM IS AVAILABLE TO BE SUBMITTED ONLINE: www.gahanna.gov

INTERNAL USE

Zoning File No. <u>DR-0027-2019</u>
PC Meeting Date: _____
PC File No. _____

RECEIVED: <u>2-11-19</u>
DATE: <u>KAW</u>

PAID: <u>\$100.00</u>
DATE: <u>2-11-19</u>
CHECK#: <u>204898</u>

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION-SUBMISSION REQUIREMENTS

PLEASE NOTE: This application is not to be considered complete until all documents are received and approved by the Planning & Zoning Administrator.

STAFF USE - INTAKE	TO BE COMPLETED/SUBMITTED BY THE APPLICANT:	APPLICANT		STAFF USE	
		YES	N/A	YES	N/A
	1. Review Gahanna Code Section 1197 (visit www.municode.com)	X			
	2. Pre-application conference with staff	X			
	3. Materials List (see page 3) – does not apply to demolition applicants	X			
	4. Authorization Consent Form Complete & Notarized (see page 4)	X			
	5. Application & all supporting documents submitted in digital format	X			
	6. Application & all supporting documents submitted in hardcopy format	X			
	7. Application fee paid (in accordance with the Building & Zoning Fee Schedule)	X			
PLEASE CONTINUE TO THE APPROPRIATE SECTION OF REQUIREMENTS FOR YOUR PROJECT					
NOTE: All Plans must be submitted in 8.5x11", 11x17", or 24x36" (folded, not rolled, to 8.5x11")					
SITE PLAN / LANDSCAPING / BUILDING DESIGN REQUIREMENTS					
GENERAL REQUIREMENTS					
	1. One 24"x36" & One 11"x17" prints of the plans	X			
	2. Color photographs illustrating the site, buildings, & other existing features as well as adjacent properties (identify photograph location)	X			
	3. A list of all samples to include color names & PMS #'s (required for all exterior materials) – please bring samples to meeting(s)	X			
	4. Color rendering(s) of the project in plan/perspective/or elevation	X			
BUILDING CONSTRUCTION, EXTERIOR REMODELING, & ADDITIONS (INCLUDING PARKING LOTS & LANDSCAPING)					
	1. SITE PLAN that includes the following: (include: scale, north arrow, & address)	X			
	- All property & street pavement lines	X			
	- Gross area of tract stated in square feet	X			
	- Proposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent streets. Delineate traffic flow with directional arrows & indicate location of direction signs or other motorist's aids (if any)	X			
	- Location of all existing and proposed buildings on the site	X			
	- Location of all existing (to remain) & proposed lighting standards	X			
	- Breakdown of parking spaces required & spaces provided (see Gahanna Code Section 1163)	X			
	- Provide lot coverage breakdown of building & paved surface areas	X			
	2. LANDSCAPE PLAN (including plant list)	X			
	- Existing landscaping that will be retained & proposed landscaping shall be differentiated & shown on the plan. The type, size, number, & spacing of all plantings & other landscape features must be illustrated	X			
	- Location of all isolated existing trees having a diameter of six"+; (tree masses may be shown with a diagrammatic outline & a written inventory of individual trees exceeding 6" in caliper)	X			
	- Designation of required buffer screens (if any) between parking area & adjacent property	X			
	- Interior landscaping breakdown for paved surface (see Gahanna Code Section 1163)	X			
	3. ELEVATIONS from all sides & related elevations of any existing structures that includes the following: (include: scale, north arrow, & address)	X			
	- Exterior materials identified	X			
	- Fenestration, doorways, & all other projecting & receding elements of the building exterior	X			
	4. LIGHTING STANDARD DRAWING that includes the following: (scaled drawing)	X			
	- All sizing specifications	X			
	- Information on lighting intensity (no. of watts, isofootcandle diagram, at least 1/2 ft. candles req.)	X			
	- Materials, colors, & manufacturer's cut sheet	X			
	- Ground or wall anchorage details	X			

CONTINUE TO PAGE 3



CITY OF GAHANNA

DEPARTMENT OF PUBLIC SERVICE AND ENGINEERING

ZONING DIVISION
200 S. Hamilton Road
Gahanna, Ohio 43230
614-342-4025
zoning@gahanna.gov
www.gahanna.gov

5. OPTIONAL REQUIREMENTS AT THE DISCRETION OF PLANNING COMMISSION:		X		
<ul style="list-style-type: none"> - Scale model - Section profiles - Perspective drawing 				
DEMOLITION OR REMOVAL OF EXISTING STRUCTURES REQUIREMENTS				
1. ONE OR MORE OF THE FOLLOWING CONDITIONS MUST EXIST:				
- That the building contains no features of special architecture or is not a historical building or culturally significant or is not consistent in design & style with other structures within the district	X			
- That there exists no viable economic use for the building in its current state or as it might be restored or that there is not a feasible and prudent alternative to demolition and that the approval of the demolition is necessary for the preservation and enjoyment of substantial property rights	X			
- That the applicant has a definite plan for redevelopment of the site which meets the standards of this Code and the proposed redevelopment will not materially affect adversely the health or safety of persons residing or working in the district where the demolition will occur and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood	X			

MATERIAL LIST *

NOT REQUIRED FOR DEMOLITION APPLICANTS

Item	Manufacturer Name	Color Name	Color Number
Awnings			
Brick	GARAGE & STAIR SPUT FACE MASONRY	GRAPHITE OBERFELD'S DESIGN BLOCK	
Gutters and Downspouts			
Lighting	LED (ENERGY STAR RATED)		
Roofing	FIRESTONE EPDM	TRADITIONAL BLACK	
Siding			
Signs			
Stucco	PALEX ARMORSTON	SMOOTH WHITE + TEXTURED TAN w/ REVERSIS	
Trim			
Windows	KAWNEER ALUM. STOREFRONT JELD-WEN PREMIUM VINYL	POWDER COAT BLACK TRADITIONAL WHITE	

THIS FORM IS AVAILABLE TO BE SUBMITTED ONLINE: www.gahanna.gov

* ELEVATIONS INCLUDED FOR MATERIAL LOCATIONS

APPLICATION ACCEPTANCE

INTERNAL USE

This application has been reviewed and is considered complete and is hereby accepted by the Zoning Division of the City of Gahanna and shall be:

- ☒ Forwarded to the City of Gahanna Planning Commission for consideration.
☐ Forwarded to Administration for consideration.

Planning & Zoning Administrator Signature:  Date: 3/27/19

APPROVAL BY THE PLANNING & ZONING ADMINISTRATOR

In accordance with the Codified Ordinances of the City of Gahanna, Ohio, I hereby certify that this project, as stated above, was approved by the Planning & Zoning Administrator on _____. The applicant shall comply with any conditions approved by the Planning & Zoning Administrator and shall comply with all building, zoning and landscaping regulations of the City of Gahanna.

INTERNAL USE

Planning & Zoning Administrator Signature: _____ Date: _____

Chief Building Official Signature: _____ Date: _____

Director of Public Service Signature: _____ Date: _____

City Engineer Signature: _____ Date: _____

This application will be forwarded to Planning Commission read by title at the first regular meeting of Planning Commission following approval by the Planning & Zoning Administrator.

AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

AUTHORIZATION FOR OWNER'S APPLICANT OR REPRESENTATIVE(S) If the applicant is not the property owner, this section must be completed & notarized.

I, Brian Kenimer, the owner or authorized owner's representative of the subject property listed on this application, hereby authorize Underhill & Hodge, LLC to act as my applicant or representative(s) in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature: [Signature] Date: 10/5/2018

AUTHORIZATION TO VISIT THE PROPERTY

I, Brian Kenimer, the owner or authorized owner's representative of the subject property listed on this application, hereby authorize City representatives to visit, photograph and post notice (if applicable) on the property as described in this application.

Property Owner Signature: [Signature] Date: 10/5/2018

NOTARY
 Subscribed and sworn to before me on this 5TH day of OCTOBER, 2018.
 State of Ohio County of Franklin
 Notary Public Signature: [Signature]



P. Frederick Kenimer, Notary Public
 In and For the State of Ohio
 My Commission Expires January 14, 2022

AGREEMENT TO COMPLY AS APPROVED

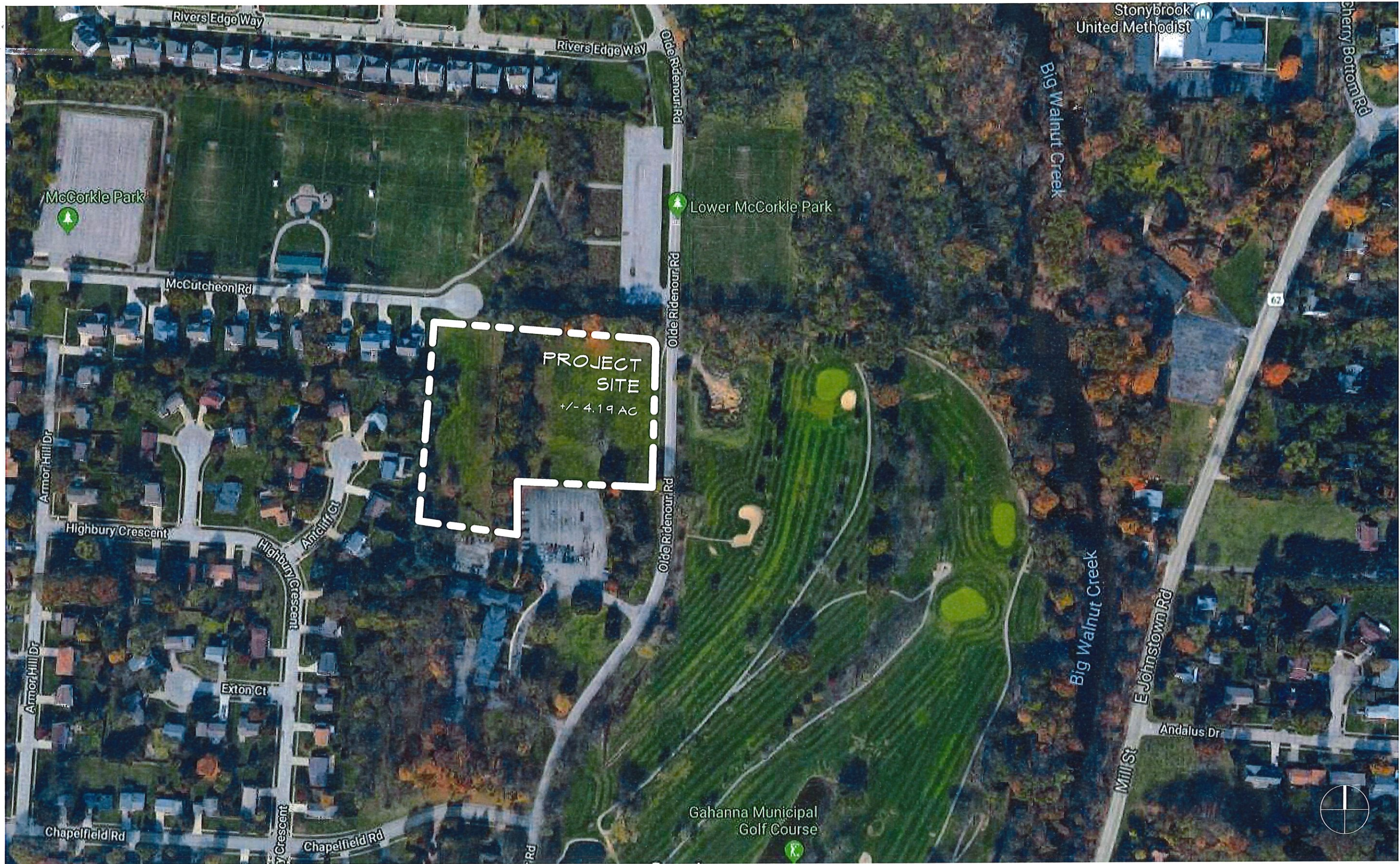
I, National Church Residences, the applicant of the subject property listed on this application, hereby agree that the project will be completed as approved and any proposed changes to the approved plans shall be submitted for review and approval to the Zoning Division staff.

Applicant Signature: [Signature] Date: 10/18/18

NOTARY
 Subscribed and sworn to before me on this 5th day of October, 2018.
 State of Ohio County of Franklin
 Notary Public Signature: [Signature]



KIMBERLY R. GRAYSON
 Notary Public, State of Ohio
 My Commission Expires
 January 11, 2021



NCR
GAHANNA

GAHANNA, OH

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ARCHITECTS AND
ENGINEERS
ALL RIGHTS RESERVED

THE ARRANGEMENTS DEPICTED HEREIN ARE THE SOLE
PROPERTY OF BERARDI + PARTNERS, INC.
ARCHITECTS AND ENGINEERS AND MAY NOT BE
REPRODUCED WITHOUT ITS WRITTEN PERMISSION.

SCHEMATIC

DATE: 02/01/2019
PROJECT #: 18161

CONTEXT
AERIAL

SD-100

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING
1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212
P 614.221.1110 berardipartners.com

File: H:\Projects\2018\2018 Surveying\2018-7073 NCR - Gahanna Senior Living Facility Survey\Survey Base.dwg [2018-7073] 751.dwg Saved Date: 29-Aug-2018 9:05 AM Plot Date: 12:03 PM Saved By: DQUICK

RIGHT OF WAY WIDTH

The current R.O.W. width of Old Ridenour Road is 60 feet.
The current R.O.W. width of McCutcheon Road is 50 feet.

ZONING

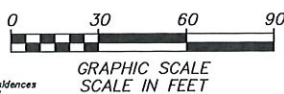
Classification not provided by insurer.

ALTANSPLAND TITLE SURVEY

BEING PART OF RESERVE "A" OF IMPERIAL RISE PLAT NO. 3, PG 46, PAGE 82, SECTION 1, TOWNSHIP 1, RANGE 17, UNITED STATES MILITARY LANDS, CITY OF GAHANNA, COUNTY OF FRANKLIN, STATE OF OHIO.

McCorkle Park
City of Gahanna
Inst. No. 199907080173756
Auditor's Parcel No.
025-004340

McCUTCHEON ROAD (50' R/W)
(Partially Vacated)
(Prev. 40' R/W)
(PB 19, PG 34)



LEGEND

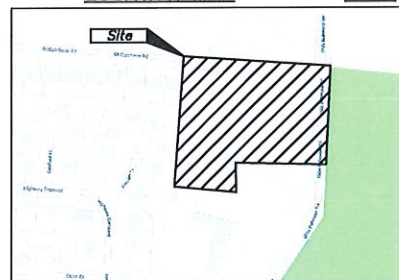
(applicable for all survey sheets)

- Building/Wall
- Curb
- Curb and Gutter
- Pavement/Walk
- Index Contour
- Intermediate Contour
- Water Line
- Chilled Water Line
- Gas Line
- Combined Sewer
- Sanitary Sewer
- Storm Sewer
- Manhole
- Open Grate Manhole
- Curb Inlet
- Valve
- Underground Electric Line
- Electric Manhole
- Underground Telephone
- Telephone Pole
- Telephone Manhole
- Overhead Signal Line
- Underground Traffic Line
- Power Pole
- Light Pole
- Fence
- Right of Way Line
- Vacated Right of Way Line
- Easement Line
- Setback Line
- Property Line
- Original Subdivision Lot Lines
- Further route of utility unknown
- Tree Line/Shrub Line
- 5/8"x30" Iron Pin Set topped by yellow cap stamped "PSNO. 7803 KORDA/NEMETH"
- Iron Pipe/Pin Found (see survey for size/type)
- Trees
- Electric Pull Box
- Telephone Pull Box/Pedestal
- Traffic Pull Box
- Unknown Utility Pull Box
- Lighting Pull Box
- Fire Hydrant
- Top of Casting Elevation
- Information Obtained From Record Plan
- Abandoned Utility
- Spot Elevation
- Top of Curb Elevation
- Bottom of Curb Elevation
- Control Point
- Traffic Bollard
- Handicap Ramp
- Sign
- Concrete Pavement, Walk, Slab

Not all symbols necessarily used

LOCATION MAP

N.T.S.



Processed In: National Church Residences
Title Commitment Number: CLM000001
Title Commitment Date: July 20, 2018 at 6:59 am

Schedule B1 Survey Items Identified as:

Item No. 10: Easements, setbacks and/or conditions as shown on plat filed for record April 30, 1973, in Plot Book 46, page 82, of the Franklin County, Ohio Records. Shown on survey.

Item No. 11: Easement to Columbus and Southern Ohio Electric Company, filed for record July 10, 1973 in Deed Volume 3352, page 232, of the Franklin County, Ohio Records-Area shown on survey.

Item No. 12: Easement to the City of Gahanna, Ohio, filed for record September 25, 1973, in Deed Volume 3370, page 200, of the Franklin County, Ohio Records-Shown on survey.

Item No. 13: Restrictions, covenants, limitations, easements, and/or conditions, as established in instrument, filed for record November 20, 1981, in Official Record Volume 1368, page 102, of the Franklin County, Ohio Records-Area encompasses entire survey. This was a 30 year document and no evidence of a renewal was discovered during this title search, therefore the document expired in October 2011.

Item No. 14: Easement to Columbus and Southern Ohio Electric Company, filed for record June 2, 1992 in Official Record Volume 1784, page C14, of the Franklin County, Ohio Records-Area shown on survey.

Legal Description (By Deed)

Real Property in the City of Gahanna of Franklin, State of Ohio, and is described as follows:

Lying in Quarter Township 1, Township 1, Range 17, United States Military Lands and being part of the 11,028 acre tract conveyed as Reserve "A" of IMPERIAL RISE PLAT No. 3, a subdivision of record in Plot Book 46, page 82, to S.S. Realty, LLC by deed of record in Instrument No. 19990129024434, (all references refer to the records of the Recorder's Office, Franklin County, Ohio) and more particularly bounded and described as follows:

BEGINNING at an iron pin in the southerly right-of-way line of McCutcheon Road at the northwesterly corner of said Reserve "A";

The following two (2) courses and distances along said southerly right-of-way line of McCutcheon Road and northerly line of said Reserve "A";

1. South 85° 34' 11" East, a distance of 462.88 feet to an iron pin found at a point of curvature;
2. Thence the arc of said curve to the right having a central angle of 68° 55' 01", a radius of 20.00 feet and a chord bearing South 42° 06' 40" East, a chord distance of 27.51 feet, to an iron pin found at a point of tangency in the westerly right-of-way line of Ridenour Road and the easterly line of said Reserve "A";

Thence South 01° 20' 50" West, a distance of 300.82 feet, along said westerly right-of-way line of Ridenour Road and easterly line of said Reserve "A", to an iron pin set;

The following three (3) courses and distances across said Reserve "A";

1. Thence North 87° 21' 02" West, a distance of 292.54 feet, to an iron pin set;
 2. Thence South 00° 03' 16" West, a distance of 115.30 feet, to an iron pin set;
 3. Thence North 81° 54' 34" West, a distance of 215.87 feet, to an iron pin set in the westerly line of said Reserve "A";
- Thence North 04° 25' 49" East, a distance of 429.58 feet, to the POINT OF BEGINNING. Containing 4.188 acres more or less.
- Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

Iron pins sets, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with plastic plug placed in the top bearing the initials DQUICK.

The bearings in the above description are based on the same meridian as the centerline of McCutcheon Road as shown on the record plat of Imperial Rise Plat No. 3 as shown in Plot Book 46, Page 82, Recorder's Office, Franklin County Ohio, having a bearing of South 85° 34' 11" East.

Legal Description (By Survey)

Situated in the State of Ohio, County of Franklin, City of Gahanna, Section 1, Township 1, Range 17, United States Military Lands, being part of Reserve "A" of IMPERIAL RISE PLAT No. 3, Plot Book 46, Page 82, and being the same 4,190 acre tract conveyed to Christian Meeting Room Inc. by deed of record in Instrument No. 200510310228722 as recorded in the Franklin County Recorder's Office, and being more particularly described as follows:

Beginning at an iron pin set in the southerly right of way of McCutcheon Road (50' R/W) and being the northwesterly corner of said Reserve "A" and the northwesterly corner of Lot 202 of said Imperial Rise Subdivision;

Thence along the northerly line of Reserve "A" and the southerly vacated right of way of McCutcheon Road, now being the southerly line of a parcel transferred to the City of Gahanna by Ordinance 0022-2001, as recorded with the City of Gahanna's Engineer's Office, South 85° 34' 11" East for a distance of 462.88 feet to a point, referenced by an iron pin found North 38° 58' 41" East at a distance of 6.20 feet from the actual corner;

Thence continuing along the northerly line of Reserve "A" and the southerly vacated right of way line of McCutcheon Road, along a curve to the right having a central angle of 68° 55' 01", a radius of 20.00 feet and a chord bearing South 42° 06' 40" East for a chord distance of 27.51 feet to an iron pin set in the westerly right of way of Old Ridenour Road (60' R/W) and in the easterly line of said Reserve "A";

Thence South 01° 21' 51" West along the westerly right of way of Old Ridenour Road, for a distance of 300.83 feet to an iron pin set at the northwesterly corner of a 6.844 acre tract conveyed to Pavilion Midland LLC by deed of record in Instrument Number 201803190035901, as recorded with the Franklin County Recorder's Office;

Thence North 87° 20' 02" West along the northerly line of said 6.844 acre tract for a distance of 292.24 feet to an iron pin set;

Thence continuing along the northerly line of said 6.844 acre tract, South 00° 04' 17" West for a distance of 115.30 feet to an iron pin set;

Thence continuing along the northerly line of said 6.844 acre tract, North 81° 53' 33" West for a distance of 215.87 feet to a 3/4 inch diameter iron pin set found in the westerly line of Reserve "A" and in the easterly line of Lot 228 of said Imperial Rise Plat No.3;

Thence along the westerly line of Reserve "A", and the easterly line of Lots 228, 227, 226 and 202, North 04° 26' 50" East for a distance of 429.58 feet, passing iron pins at 195.31 feet and 293.93 feet to the Point of Beginning and containing 4.188 acres (1624.210 Sq.Ft.), more or less, and being subject to all other legal easements, agreements, and rights-of-way of record.

All of the above described tract, 4.188 acres, more or less, are located within Auditor's Parcel No. 025-013235.

The bearing of South 85° 33' 10" East on the southerly vacated right of way line of McCutcheon Road is referenced to the state plane Coordinates Ohio South Zone NAD 83 with 2011 NSRS adjustment.

Iron pin set are 3/4"x30" topped by plastic yellow cap stamped "KNE / PS NO. 7803".

This description was prepared by Daniel L. Quick, Ohio Professional Survey No. 7803 from an actual field survey performed in August, 2018 by Korda/Nemeth Engineering, Inc.

UNDERGROUND UTILITIES

Two Working Days

BEFORE YOU DIG

Call 800-362-2764 (Toll free)

OHIO UTILITIES PROTECTION SERVICE

NON-MEMBERS

MUST BE CALLED DIRECTLY



Approximate 500 Yr. Flood Plain



Approximate 100 Yr. Flood Plain

BENCHMARKS

No.	Elevation	Description
1	799.06	Railroad Spike on West side of AT&T power pole on the East side of Old Ridenour Road, 105' South of McCutcheon Road.
2	821.00	Railroad Spike on Easterly side of Power Light Pole on North side of McCutcheon Road, 528' West of Old Ridenour Road

*Elevations are based on NAVD 1988.

CONTROL POINTS

No.	Northing	Easting	Elevation	Description
1	739067.48	1861811.12	799.52	Iron Pin Set
2	738913.08	1861725.92	801.33	Iron Pin Set
3	738873.41	1861558.20	809.71	Iron Pin Set
4	739198.01	1861486.84	816.99	Iron Pin Set
5	739222.97	1861616.07	817.58	Iron Pin Set

*The Bearing of South 85°33'10" East on the southerly vacated right of way line of McCutcheon Road is referenced to the State Plane Coordinates Ohio South Zone NAD 83 with 2011 NSRS adjustment.

NOTES:

1. All underground utility locations are shown as accurately as possible based on surface evidence (valves and manholes), markings found in the field, and/or record plans received from the owner or utility companies. Items noted (rec) were obtained from existing plans. Utility locations are not necessarily complete or correct. Any utility in close proximity to proposed work should be "pushed" for exact location prior to construction. OUPS Ticket # A822003126-00A, A822003164-00A, and A822003181-00A.
2. The elevations on this survey are based on NAVD 88. Record drawings of buildings and infrastructure may exist having a differing datum. Exercise caution when utilizing this survey by correlating survey and proposed work with survey information shown on this drawing.
3. Benchmarks and control points shown on this survey may have been disturbed, since the completion of this survey. Verify that existing monumentation correlates with data shown on this survey prior to use.
4. Utilities noted (Ab) are denoted as such per record plan and may have been abandoned or removed. Their existence and/or status has not been verified.
5. Buildings are located from the surveyed at grade edge. Location of the interior and underground structural footprint has not been verified. Due to possible variations in building exterior above the at grade edge, the building location should be used for site plan use only.
6. Sewer sizes and locations shown are based on an evaluation of record plan information and observation from the manhole casting at grade. Due to manhole depth and safety restrictions entering manholes, sizes shown are approximate.
7. The lots delineated on this plat are found on F.E.M.A. community plan No. 39049C0194K dated 06/17/2008. The property is located in Zone AE and Zone X and therefore a portion of the property is located in a flood hazard area.
8. Building overhangs are in an approximate location.
9. Source deed and survey are on different basis of Bearings, the source deed is consistent with the survey and reflect no gaps or overlaps.
(M) = Measured and (D) = Deed.

KORDA Korda/Nemeth Engineering, Inc. - Consulting Engineers
1650 Williams Drive, Suite 200 - Columbus, Ohio 43215-7916
TEL: 614-487-1850 FAX: 614-487-8881 WEB: www.korda.com

ALTA / NSPS SURVEY
National Church Residences
Gahanna Senior Living Facility
Gahanna, OH

FIELD	DRAWN	CHECKED	JOB NO.	DATE	SCALE	SHEET NUMBER
NJD	NJD		2018-7073	8/28/18	1"=30'	TS1



Date of Plat or Map: August 27, 2018

Daniel L. Quick, P.S. 7803
Korda-Nemeth Engineering, Inc.

INDEX OF SHEETS

Title Sheet
Topographic Survey
Topographic Survey
Demolition Plan
Staking Plan
Staking Details
Grading Plan
Utility Plan
Parking Plan
Landscape Plan
Site Details

C-000
C-002
C-003
C-004
C-100
C-101
C-200
C-300
A-101
L1.01
L2.01

CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

NATIONAL CHURCH

RESIDENCES - GAHANNA

FINAL DEVELOPMENT PLAN

2019

NCR
GAHANNA

GAHANNA, OH

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ARCHITECTS AND ENGINEERS
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THE ARRANGEMENTS DEPICTED HEREIN ARE THE
SOLE PROPERTY OF BERARDI + PARTNERS, INC.,
ARCHITECTS AND ENGINEERS, AND MAY NOT BE
REPRODUCED WITHOUT ITS WRITTEN PERMISSION

NOTE:
1. ALL BIDDERS SHALL VISIT THE SITE AND
BECOME FAMILIAR WITH THE EXISTING CONDITIONS
AND REQUIREMENTS OF THE PROJECT AND
SHALL NOTIFY THE ARCHITECT OF ANY ERRORS
AND OMISSIONS SUBSEQUENTLY DISCOVERED IN
THE CONTRACT DOCUMENTS.

2. THE CONTRACT DOCUMENTS ARE COMPOSED
OF THE DRAWINGS AND THE PROJECT MANUAL IN
THEIR ENTIRETY. THE INFORMATION IN THESE
DOCUMENTS IS DEPENDENT UPON AND
COMPLEMENTARY OF EACH OTHER.

3. SEPARATION OF THE CONTRACT DOCUMENTS
SHALL NOT BE PERMITTED. IF THE CONTRACTOR
CHOICES TO SEPARATE THE DOCUMENTS, THEY
DO SO AT THEIR OWN RISK AND EXPENSE.

4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS
(ARCHITECT) DRAWINGS AND SPECIFICATIONS
INCLUDING ALL DOCUMENTS ON ELECTRONIC
MEDIA AS INSTRUMENTS OF THE CONSULTANTS
(ARCHITECT) PROFESSIONAL SERVICE. THE
CLIENT SHALL NOT REUSE OR MAKE OR PERMIT
TO BE MADE ANY MODIFICATION TO THE
DRAWINGS AND SPECIFICATIONS WITHOUT THE
PRIOR WRITTEN AUTHORIZATION OF THE
CONSULTANT (ARCHITECT). THE CLIENT AGREES
TO WAIVE ANY CLAIM AGAINST THE CONSULTANT
(ARCHITECT) ARISING FROM ANY UNAUTHORIZED
TRANSFER, REUSE OR MODIFICATION OF THE
DRAWINGS AND SPECIFICATIONS.

5. ARCHITECT CANNOT WARRANT THE ACCURACY
OF DATA CONTAINED HEREIN. ANY USE OR REUSE
OF ORIGINAL OR ALTERED CAD DESIGN
MATERIALS BY THE USER OR OTHER PARTIES
WITHOUT THE REVIEW AND WRITTEN APPROVAL
OF THE ARCHITECT SHALL BE AT THE SOLE RISK
OF THE USER. FURTHERMORE, USER AGREES TO
DEFEND, INDEMNIFY, AND HOLD ARCHITECT
HARMLESS FROM ALL CLAIMS, DAMAGES,
LOSSES, EXPENSES, AND ATTORNEY
FEES ARISING OUT OF THE MODIFICATION OR
REUSE OF THESE MATERIALS.

6. THESE DRAWINGS AS PART OF THE CONTRACT
DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT
INTENDED TO DEFINE EXACT QUANTITIES.
LOCATIONS OR COVERED REQUIREMENTS. THE
DRAWINGS SHALL NOT BE SCALED. EXACT
STATE AND LOCAL CODE REQUIREMENTS AND
OTHER APPLICABLE CODE REQUIREMENTS
SHALL BE VERIFIED BY AND ARE THE SOLE
RESPONSIBILITY OF THIS CONTRACTOR. ANY
INFORMATION WHICH DIRECTLY CONFLICTS WITH
ANY OF THESE CODES OR ANY DISCREPANCIES
FOUND IN THE CONTRACT DOCUMENTS SHALL BE
BROUGHT TO THE ATTENTION OF THE PROJECT
ARCHITECT.

THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS
PROJECT AND THAT ALL OF THE MINIMUM STANDARDS HAVE BEEN MET, INCLUDING THOSE STANDARDS
GREATER THAN MINIMUM WHERE, IN MY OPINION, THEY ARE NEEDED TO PROTECT THE SAFETY OF THE
PUBLIC. ANY VARIANCES TO THE ABOVE STANDARDS ARE CONSISTENT WITH SOUND ENGINEERING
PRACTICES AND ARE NOT DETRIMENTAL TO THE PUBLIC SAFETY AND CONVENIENCE. THESE VARIANCES
HAVE BEEN LISTED HEREIN AND HAVE BEEN APPROVED BY THE CITY ENGINEER.

LOCATION MAP

NTS

PREPARED BY:

KORDA

Korda/Nemeth Engineering, Inc. - Consulting Engineers
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010
TEL 614-487-1650 • WEB www.korda.com

REGISTERED ENGINEER NO. _____ DATE _____

APPROVALS, CITY OF GAHANNA

THE CITY OF GAHANNA SIGNATURES ON THIS PLAN SIGNIFIES ONLY
CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE
PROPOSED IMPROVEMENT. ALL TECHNICAL DETAILS REMAIN THE
RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHO PREPARED AND
CERTIFIED THESE PLANS.

DIRECTOR OF ENGINEERING _____ DATE _____
CITY OF GAHANNA, OHIO

WATER RESOURCES ENGINEER _____ DATE _____
CITY OF GAHANNA, OHIO

DIRECTOR OF PUBLIC SERVICE _____ DATE _____
CITY OF GAHANNA, OHIO

DIVISION OF FIRE _____ DATE _____
CITY OF GAHANNA, OHIO

DESIGN DEVELOPMENT

DATE: 3/20/2019
PROJECT #: 18161



TITLE SHEET

C-000

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING
1378 GOODALE BOULEVARD, COLUMBUS, OHIO 43212
P 614.221.1110 berardi@partners.com

KORDA
KORDA/NEMETH ENGINEERING
1650 WATERMARK DRIVE
SUITE 200
COLUMBUS, OHIO 43215
DRAWN BY: CMZ
DESIGNED BY: CMZ
CHECKED BY: CMZ
PROJECT NUMBER: 2018-0417

General Zoning and Project Information	
Address:	0 Ridenour Road
Parcel No.:	025-013236-00
Existing Zoning Classification/District:	L-MFRD
Zoning Case No.:	ORD-0003-2019
Total Site Area:	188,944 SF/4.34 Ac
Front Parking Setback:	25'
Side Parking Setback:	25'
Front Building Setback:	25'
Side Building Setback:	25'
Rear Building Setback:	50' (Adjacent to Residential District)
Proposed Building Height:	51' Main Building Parapet Height* 58' Stair and Elevator Height*
Building Use:	Independent Senior Living
Building Area (SF):	33,500
Maximum Lot Coverage:	50%
Proposed Building Lot Coverage:	18%
Proposed Total Lot Coverage:	41%
Area of Uncovered Land:	112,228 SF/2.58 Ac
Total Impervious Area (Building):	33,500 SF/0.77 Ac
Total Impervious Area (Parking and Other Pavements):	43,216 SF/0.99 Ac

* Heights are based off of Building First Floor Elevation. Grade varies at the perimeter of the proposed building.

Parking Calculation			
Use	Criteria	Unit	Spaces Required
Independent Senior Living	1 Space/4 Beds	129 Beds	33
	1 Space/Employee (Max Shift)	8 Employees	8
	Required Parking		41
	Proposed Parking		99
	Required ADA Parking (van/total)		1/2
	Proposed ADA Parking (van/total)		1/6

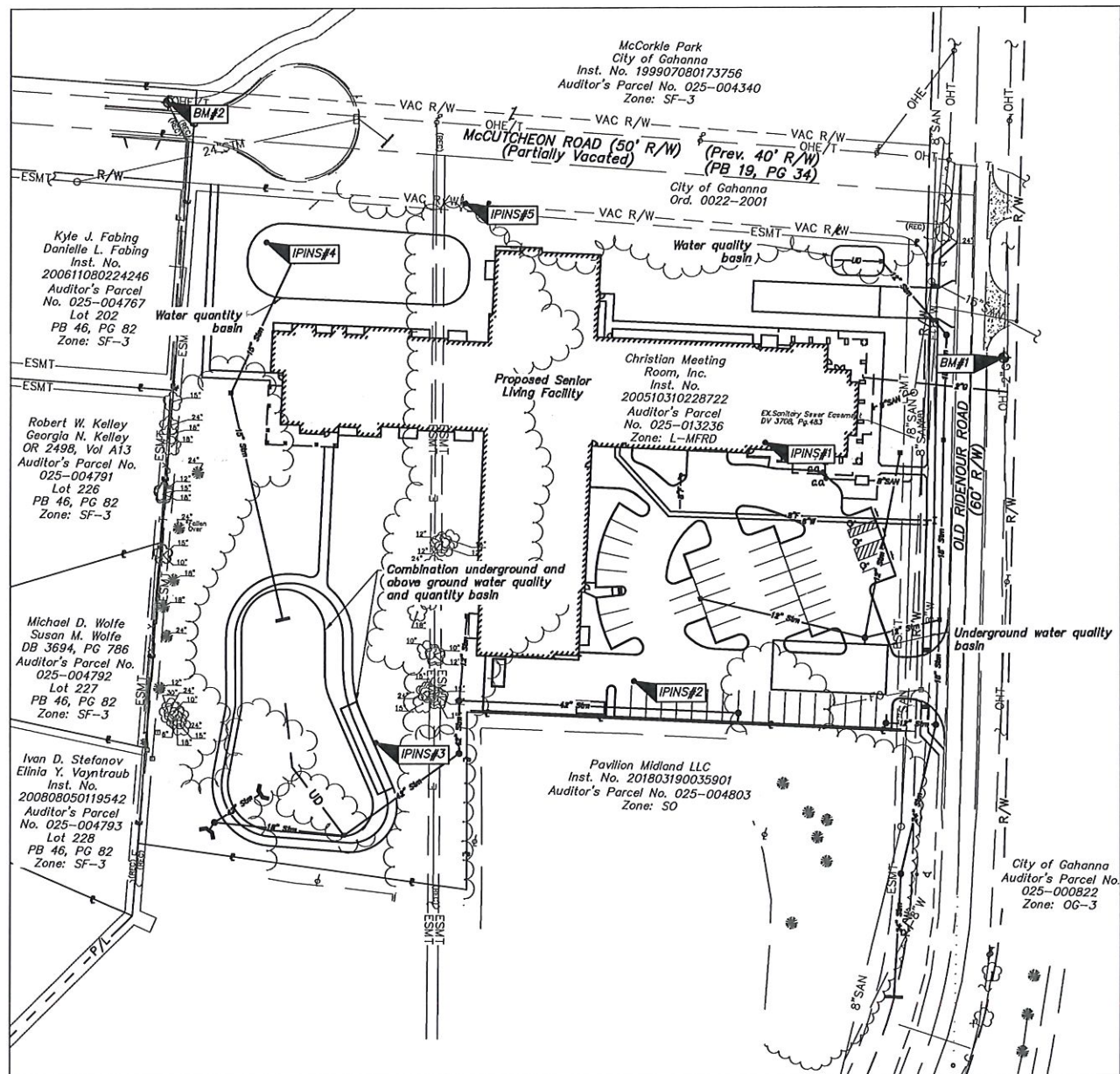
Unit Totals:
55 One Bedroom Units = 55 Beds
37 Two Bedroom Units = 74 Beds
Total Beds = 129 Beds

VARIANCE SUMMARY

Variance application and information under a separate submission.

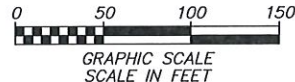
Variances include:

1. Lot Density (1149.03 - Development Standards)
2. Parking Setback on south property line.



INDEX MAP

1" = 50'



OWNER/DEVELOPER

National Church Residences
2245 North Bank Drive
Columbus, OH 43220
Phone: 614-582-5394
Contact: George Tabit

Email: gtabit@nationalchurchresidences.org

ARCHITECT

Berardi
1398 Goodale Boulevard
Columbus, OH 43215
Phone: 614-221-1110
Contact: Jonathan Holway

Email: jholway@berardipartners.com

ENGINEER

Korda/Nemeth Engineering
1650 Watermark Drive
Columbus, OH 43215
Phone: 614-487-1650
Contact: Chris Fleming, P.E.

Email: chris.fleming@korda.com

ALTA/NSPS LAND TITLE SURVEY

BEING PART OF RESERVE "A" OF IMPERIAL RISE PLAT NO. 3, PB 46, PAGE 82, SECTION 1, TOWNSHIP 1, RANGE 17, UNITED STATES MILITARY LANDS, CITY OF GAHANNA, COUNTY OF FRANKLIN, STATE OF OHIO.

McCorkle Park
City of Gahanna
Inst. No. 199907080173756
Auditor's Parcel No.
025-004340

Lot 6
PB 19, PG 34

McCUTCHEON ROAD (50' R/W)
(Partially Vacated)
(Prev. 40' R/W)
(PB 19, PG 34)

City of Gahanna
Ord. 0022-2001

City of Gahanna
Ord. 0022-2001

City of Gahanna
Ord. 0022-2001

City of Gahanna
Ord. 0022-2001

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City of Gahanna
Ord. 0022-2001

LEGEND

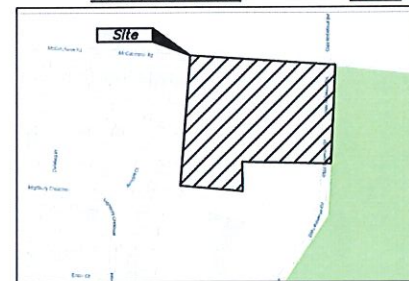
(applicable for all survey sheets)

	Building/Wall
	Curb
	Curb and Gutter
	Pavement/Walk
	Index Contour
	Intermediate Contour
	Water line
	Chilled Water line
	Gas Line
	Combined Sewer
	Sanitary Sewer
	Storm Sewer
	Manhole
	Open Grate Manhole
	Curb Inlet
	Valve
	Underground Electric line
	Electric Manhole
	Underground Telephone
	Telephone Pole
	Telephone Manhole
	Overhead Signal Line
	Underground Traffic Line
	Power Pole
	Light Pole
	Fence
	Right of Way Line
	Vacated Right of Way Line
	Easement Line
	Setback Line
	Property Line
	Original Subdivision Lot Lines
	Further route of utility unknown
	Tree Line/Shrub Line
	5/8"x30" Iron Pin Set topped by yellow cap stamped "PSNO. 7803 KORDA/NEMETH"
	Iron Pipe/Pin Found (see survey for size/type)
	Trees
	Electric Pull Box
	Telephone Pull Box/Pedestal
	Traffic Pull Box
	Unknown Utility Pull Box
	Lighting Pull Box
	Fire Hydrant
	Top of Casting Elevation
	Information Obtained From Record Plan
	Abandoned Utility
	Spot Elevation
	Top of Curb Elevation
	Bottom of Curb Elevation
	Control Point
	Traffic Bollard
	Handicap Ramp
	Sign
	Concrete Pavement, Walk, Slab

Not all symbols necessarily used

LOCATION MAP

N.T.S.



NCR GAHANNA

GAHANNA, OH

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3. ADDITIONALLY, SEE GENERAL INFORMATION ON "10" SHEETS.
4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATIONS, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE, OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.

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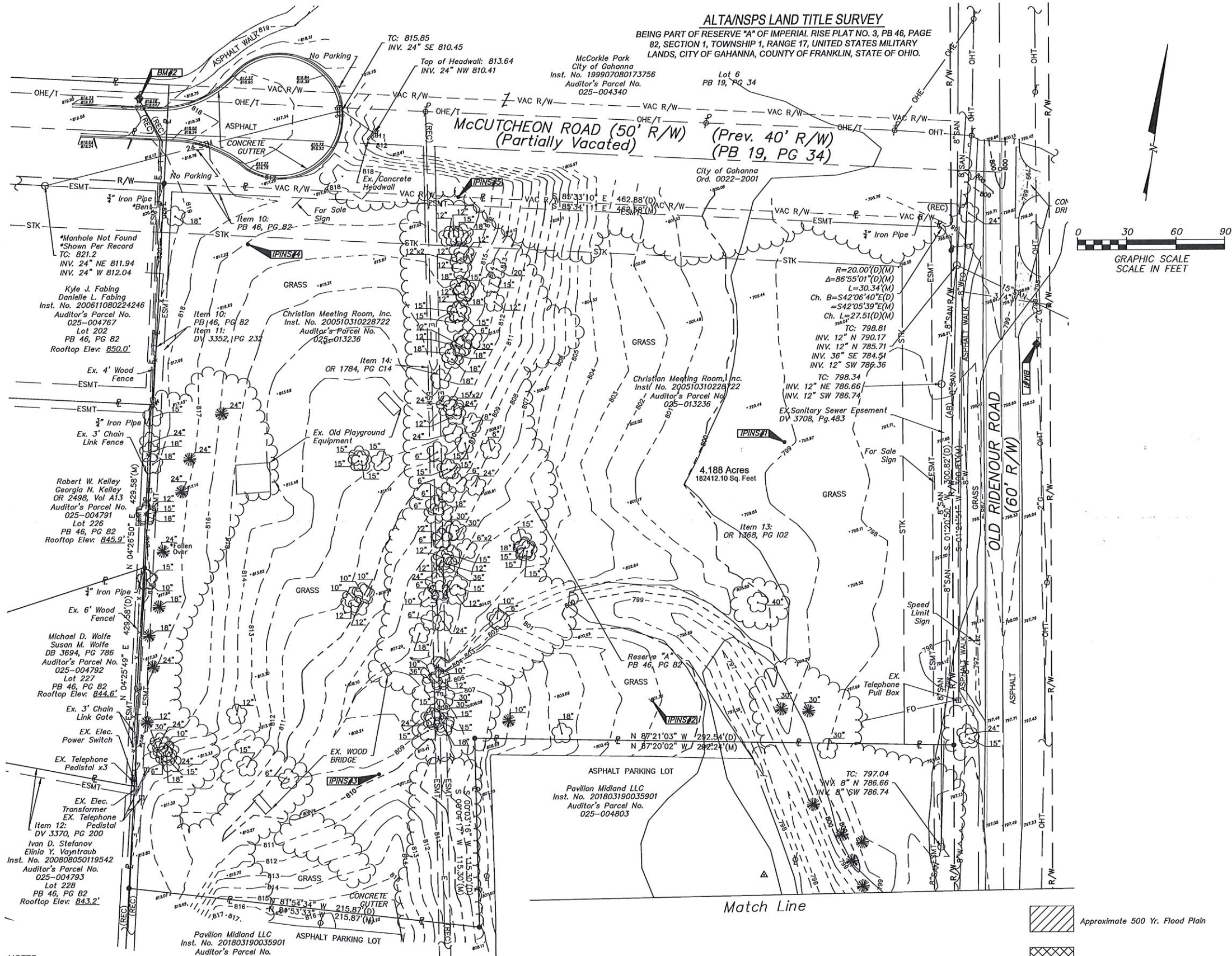
SCHEMATIC

DATE: 3/6/2019
PROJECT #: 18161



TOPOGRAPHIC SURVEY

C-002



NOTES:

- All underground utility locations are shown as accurately as possible based on surface evidence (valves and manholes), markings found in the field, and/or record plans received from the owner or utility companies. Items noted (rec) were obtained from existing plans. Utility locations are not necessarily complete or correct. Any utility in close proximity to proposed work should be "potholed" for exact location prior to construction. OUPS Ticket # A822003126-00A, A822003164-00A, and A822003181-00A.
- The elevations on this survey are based on NAVD 88. Record drawings of buildings and infrastructure may exist having a differing datum. Exercise caution when utilizing this survey by correlating record drawings and proposed work with survey information shown on this drawing.
- Benchmarks and control points shown on this survey may have been disturbed, since the completion of this survey. Verify that existing monumentation correlates with data shown on this survey prior to use.
- Utilities noted (Ab) are denoted as such per record plan and may have been abandoned or removed. Their existence and/or status has not been verified.
- Buildings are located from the surveyed at grade edge. Location of the interior and underground structural footprint has not been verified. Due to possible variations in building exterior above the at grade edge, the building location should be used for site plan use only.
- Sewer sizes and locations shown are based on an evaluation of record plan information and observation from the manhole casting at grade. Due to manhole depth and safety restrictions entering manholes, sizes shown are approximate.
- The lots delineated on this plot are found on F.E.M.A. community panel No. 39049C0194K dated 06/17/2008. The property is located in Zone AE and Zone X and therefore a portion of the property is located in a flood hazard area.
- Building overhangs are in an approximate location.
- Source deed and survey are on different basis of Bearings. The source deed is consistent with the survey and reflect no gaps or overlaps.
(M) = Measured and (D) = Deed.

To American Land Title Association & (TBD). This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-5, 8, 11, 13-14, and 16-17 if applicable.

The field work was completed August 15-23, 2018.

Date of Plot or Map: August 27, 2018

Daniel L. Quick, P.S. 7803
Korda-Nemeth Engineering, Inc.



UNDERGROUND UTILITIES

Two Working Days
BEFORE YOU DIG

Call 800-362-2764 (Toll free)
OHIO UTILITIES PROTECTION SERVICE

NON-MEMBERS
MUST BE CALLED DIRECTLY

KORDA
KORDA NEMETH ENGINEERING
1650 WATERMARK DRIVE
SUITE 200
COLUMBUS, OHIO 43215

DESIGNED BY: CNE
CHECKED BY: CNE
PROJECT MARK: 2018-0417

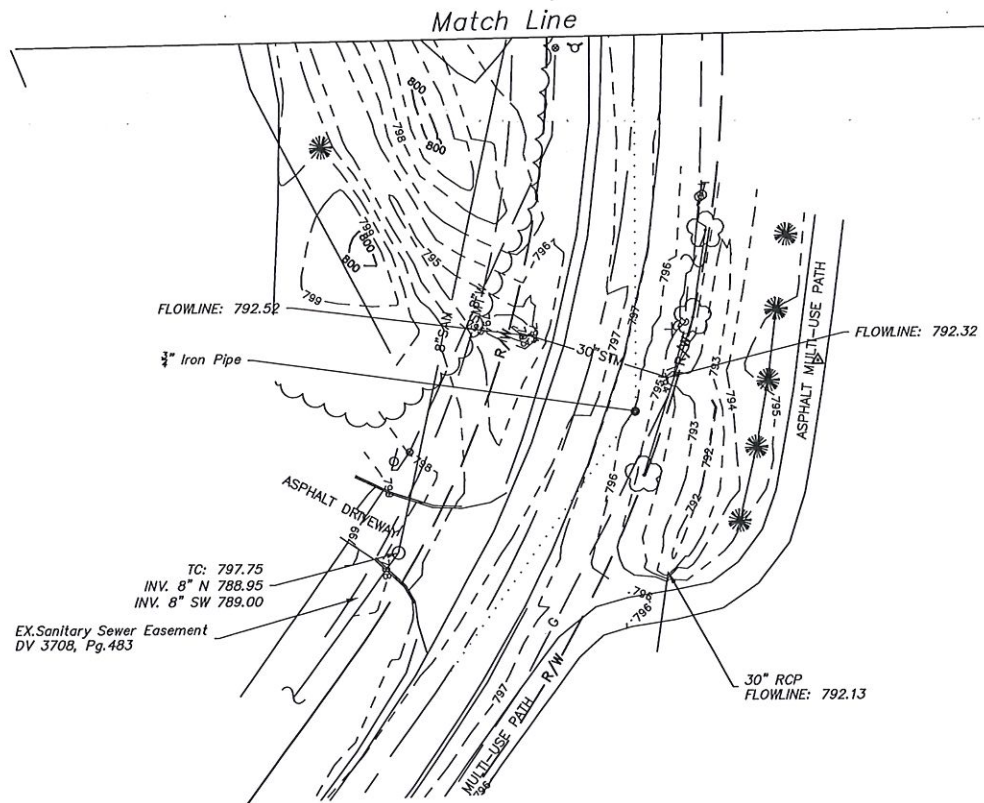
BERARDI+
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING
1319 GOODALE BOULEVARD, COLUMBUS, OHIO 43212
P: 614.221.1110 berardi@partners.com

BENCHMARKS		
No.	Elevation	Description
1	799.06	Railroad Spike on West side of AT&T power pole on the East side of Old Ridenour Road, 105' South of McCutcheon Road.
2	821.00	Railroad Spike on Easterly side of Power Light Pole on North side of McCutcheon Road, 528' West of Old Ridenour Road

*Elevations are based on NAVD 1988.

CONTROL POINTS				
No.	Northing	Easting	Elevation	Description
1	739067.48	1861811.12	799.52	Iron Pin Set
2	738913.08	1861725.92	801.33	Iron Pin Set
3	738873.41	1861558.20	809.71	Iron Pin Set
4	739198.01	1861486.84	816.99	Iron Pin Set
5	739222.97	1861616.07	817.58	Iron Pin Set

*The Bearing of South 85°33'10" East on the southerly vacated right of way line of McCutcheon Road is referenced to the State Plane Coordinates Ohio South Zone NAD 83 with 2011 NSRS adjustment.



Proposed Insured: National Church Residences
Title Commitment Number: G1800513
Title Commitment Date: July 20, 2018 at 6:59 am

Schedule of Survey Items Identified as:

Item No. 10: Easements, setbacks and/or conditions as shown on plat filed for record April 30, 1973, in Plot Book 46, page 82, of the Franklin County, Ohio Records. Shown on survey.

Item No. 11: Easement to Columbus and Southern Ohio Electric Company, filed for record July 10, 1973 in Deed Volume 3352, page 232, of the Franklin County, Ohio Records-Area shown on survey.

Item No. 12: Easement to the City of Gahanna, Ohio, filed for record September 25, 1973, in Deed Volume 3370, page 200, of the Franklin County, Ohio Records-Shown on survey.

Item No. 13: Restrictions, covenants, limitations, easements, and/or conditions, as established in instrument, filed for record November 20, 1991, in Official Record Volume 1368, page 102, of the Franklin County, Ohio Records-Area encompasses entire survey. This was a 30 year document and no evidence of a renewal was discovered during this title search, therefore the document expired in October 2011.

Item No. 14: Easement to Columbus and Southern Ohio Electric Company, filed for record June 2, 1982 in Official Record Volume 1784, page C14, of the Franklin County, Ohio Records-Area shown on survey.

Legal Description: (By Deed)

Real Property in the City of Gahanna of Franklin, State of Ohio, and is described as follows:

Lying in Quarter Township 1, Township 1, Range 17, United States Military Lands and being part of the 11,028 acre tract conveyed as Reserve "A" of "IMPERIAL ROSE PLAT No. 3", a subdivision of record in Plot Book 46, Page 82, to S.S. Realty, LLC by deed of record in Instrument No. 19990129002434, (all references refer to the records of the Recorder's Office, Franklin County, Ohio) and more particularly bounded and described as follows:

BEGINNING at an iron pin in the southerly right-of-way line of McCutcheon Road at the northwesterly corner of said Reserve "A";

The following two (2) courses and distances along said southerly right-of-way line of McCutcheon Road and northerly line of said Reserve "A";

1. South 85° 34' 11" East, a distance of 462.68 feet to an iron pin found at a point of curvature;
2. Thence the arc of said curve to the right having a central angle of 88° 55' 01", a radius of 20.00 feet and a chord bearing South 42° 06' 40" East, a chord distance of 27.51 feet, to an iron pin found at a point of tangency in the westerly right-of-way line of Ridenour Road and the easterly line of said Reserve "A";

Thence South 01° 20' 50" West, a distance of 300.82 feet, along said westerly right-of-way line of Ridenour Road and easterly line of said Reserve "A", to an iron pin set;

The following three (3) courses and distances across said Reserve "A";

1. Thence North 87° 21' 02" West, a distance of 292.54 feet, to an iron pin set;
2. Thence South 00° 03' 16" West, a distance of 115.30 feet, to an iron pin set;
3. Thence North 81° 54' 34" West, a distance of 215.87 feet, to an iron pin set in the westerly line of said Reserve "A";

Thence North 04° 25' 49" East, a distance of 429.58 feet, to the POINT OF BEGINNING. Containing 4.180 acres more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

Iron pins sets, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with plastic plug placed in the top bearing the initials EMH INC.

The bearings in the above description are based on the same meridian as the centerline of McCutcheon Road as shown on the record plat of Imperial Rise Plat No. 3 as shown in Plot Book 46, Page 82, Recorder's Office, Franklin County Ohio, having a bearing of South 85° 34' 11" East.

Legal Description: (By Survey)

Situated in the State of Ohio, County of Franklin, City of Gahanna, Section 1, Township 1, Range 17, United States Military Lands, being part of Reserve "A" of "IMPERIAL ROSE PLAT NO. 3", Plot Book 46, Page 82, and being the same 4.190 acre tract conveyed to Christian Meeting Room Inc. by deed of record in Instrument No. 200510310228722 as recorded in the Franklin County Recorder's Office, and being more particularly described as follows:

Beginning at an iron pin set in the southerly right of way of McCutcheon Road (50' R/W) and being the northwesterly corner of said Reserve "A" and the northwesterly corner of Lot 202 of said Imperial Rise Subdivision;

Thence along the northerly line of Reserve "A" and the southerly vacated right of way of McCutcheon Road, now being the southerly line of a parcel transferred to the City of Gahanna by Ordinance 0022-2001, as recorded with the City of Gahanna's Engineer's Office, South 85° 34' 11" East for a distance of 462.68 feet to a point, referenced by an iron pin found North 39° 58' 41" East at a distance of 0.20 feet from the actual corner;

Thence continuing along the northerly line of Reserve "A" and the southerly vacated right of way line of McCutcheon Road, along a curve to the right having a central angle of 88° 55' 01", a radius of 20.00 feet and a chord bearing South 42° 06' 40" East for a chord distance of 27.51 feet to an iron pin set in the westerly right of way of Old Ridenour Road (60' R/W) and in the easterly line of said Reserve "A";

Thence South 01° 21' 51" West along the westerly right of way of Old Ridenour Road, for a distance of 300.83 feet to an iron pin set at the northwesterly corner of a 6.844 acre tract conveyed to Pavilion Midland LLC by deed of record instrument Number 201803190035901, as recorded with the Franklin County Recorder's Office;

Thence North 87° 20' 02" West along the northerly line of said 6.844 acre tract for a distance of 292.24 feet to an iron pin set;

Thence continuing along the northerly line of said 6.844 acre tract, South 00° 04' 17" West for a distance of 115.30 feet to an iron pin set;

Thence continuing along the northerly line of said 6.844 acre tract, North 81° 53' 33" West for a distance of 215.87 feet to a 3/4 inch diameter iron pipe found in the westerly line of Reserve "A" and in the easterly line of Lot 228 of said Imperial Rise Plat No.3;

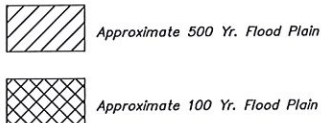
Thence along the westerly line of Reserve "A", and the easterly line of Lots 228, 227, 226 and 202, North 04° 26' 50" East for a distance of 429.58 feet, passing iron pipes at 195.31 feet and 293.93 feet to the Point of Beginning and containing 4.180 acres (182412.10 Sq.Ft.), more or less, and being subject to all other legal easements, covenants, and rights-of-way of record.

All of the above described tract, 4.188 acres, more or less, are located within Auditor's Parcel No. 025-013236.

The bearing of South 85° 33' 10" East on the southerly vacated right of way line of McCutcheon Road is referenced to the state plane Coordinates Ohio South Zone NAD 83 with 2011 NSRS adjustment.

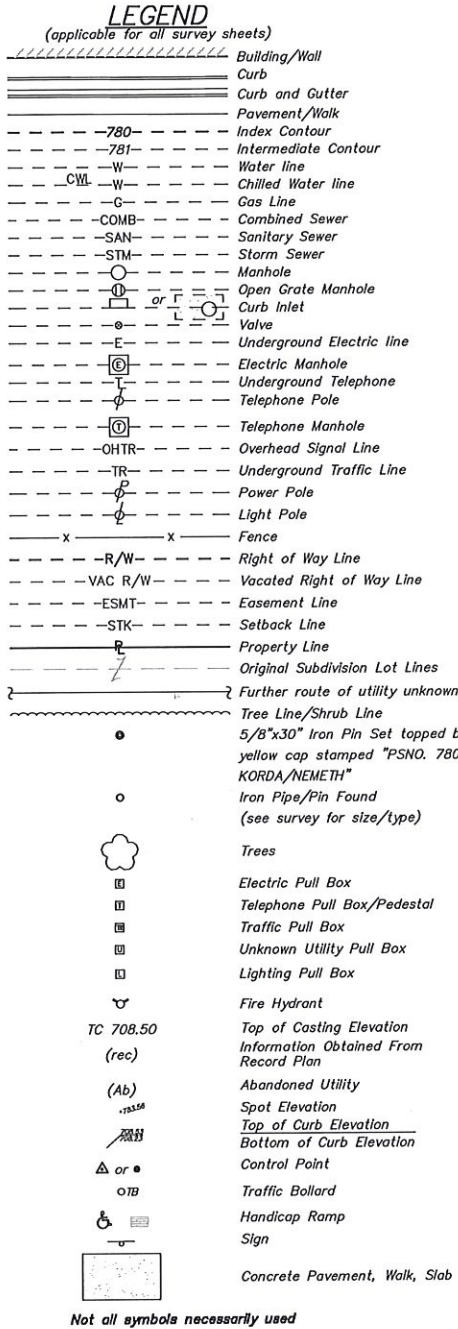
Iron pin set are 3/4"x30" topped by plastic yellow cap stamped "ONE" / PS NO. 7803.

This description was prepared by David L. Quick, Ohio Professional Survey No. 7803 from an actual field survey performed in August, 2018 by Korda/Nemeth Engineering, Inc.



RIGHT OF WAY WIDTH
The current R.O.W. width of Old Ridenour Road is 60 feet.
The current R.O.W. width of McCutcheon Road is 50 feet.

ZONING
Classification not provided by insurer.



UNDERGROUND UTILITIES

Two Working Days
BEFORE YOU DIG
Call 800-362-2764 (Toll free)
OHIO UTILITIES PROTECTION SERVICE

NON-MEMBERS
MUST BE CALLED DIRECTLY

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GAHANNA

GAHANNA, OH

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SCHEMATIC

DATE: 3/6/2019
PROJECT #: 18161



TOPOGRAPHIC
SURVEY

C-003

KORDA

KORDA NEMETH ENGINEERING

1660 WATERMARK DRIVE
SUITE 200
COLUMBUS, OHIO 43215

DESIGNED BY: CMZ

DRAWN BY: CMZ

CHECKED BY: CMZ

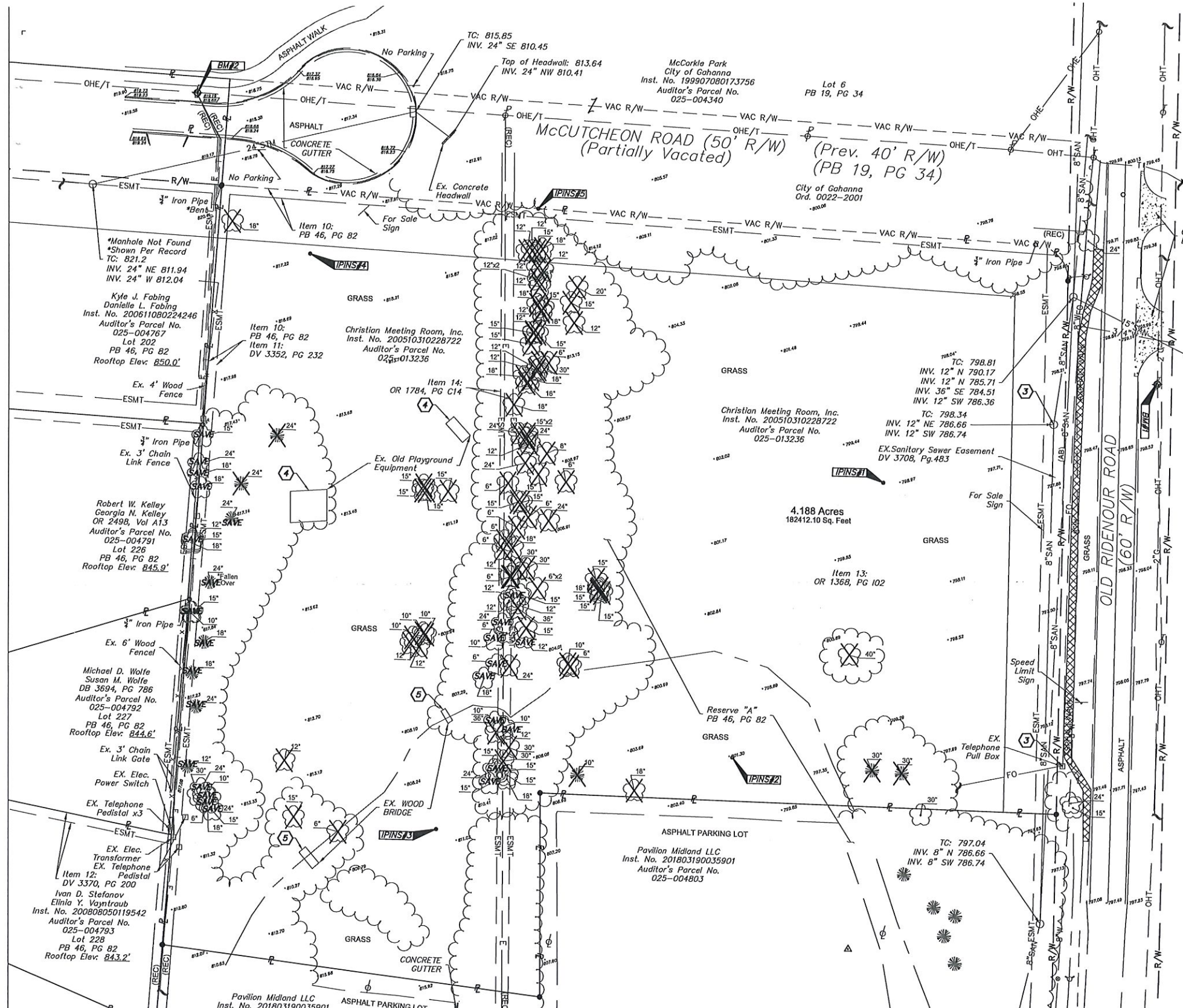
PROJECT NUMBER: 2018-0417

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ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212

P 614.221.1110 berardi@partners.com



LEGEND

EXISTING

Remove existing asphalt, gravel, and concrete pavement, concrete sidewalk, building foundation, and pavement base materials

Remove existing tree

Protect existing tree to remain

PROPOSED

Save

GRAPHIC SCALE
SCALE IN FEET

0 30 60 90

- General Notes:**
1. Site survey performed by Korda/Nemeth Engineering, dated August 15-23, 2018. Refer to Sheets C-002 and C-003 for all existing site features.
 2. Dispose of construction debris off-site in accordance with local codes.
 3. Remove and dispose of on site features as shown on the plan.
 4. Saw-cut existing pavement at limits of pavement removal to full depth using care to cut neat, straight lines. Cut at existing joints where possible.
 5. Contractor to protect existing site features to remain outside construction limits. Repair any damage to the satisfaction of the owner at no additional cost.
 6. Control dust at the site. Provide street cleaning when necessary, and when requested by owner.
 7. Grade site during construction to provide positive drainage to existing and/or proposed storm water management systems.
 8. Perform work in accordance with local codes and regulations.

- Coded Notes:**
1. Protect existing pavement/sidewalk to remain.
 2. Sawcut existing pavement with neat, straight lines. Match existing pavement grade at this point.
 3. Protect existing utility structure to remain. Adjust to final grade.
 4. Remove existing playground equipment.
 5. Remove existing wood bridge.

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GAHANNA

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NOTE:

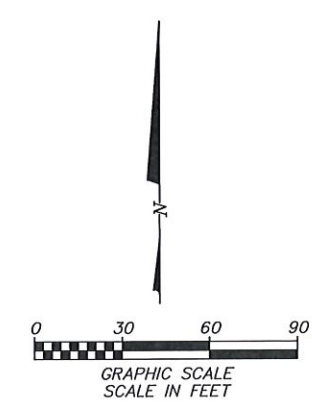
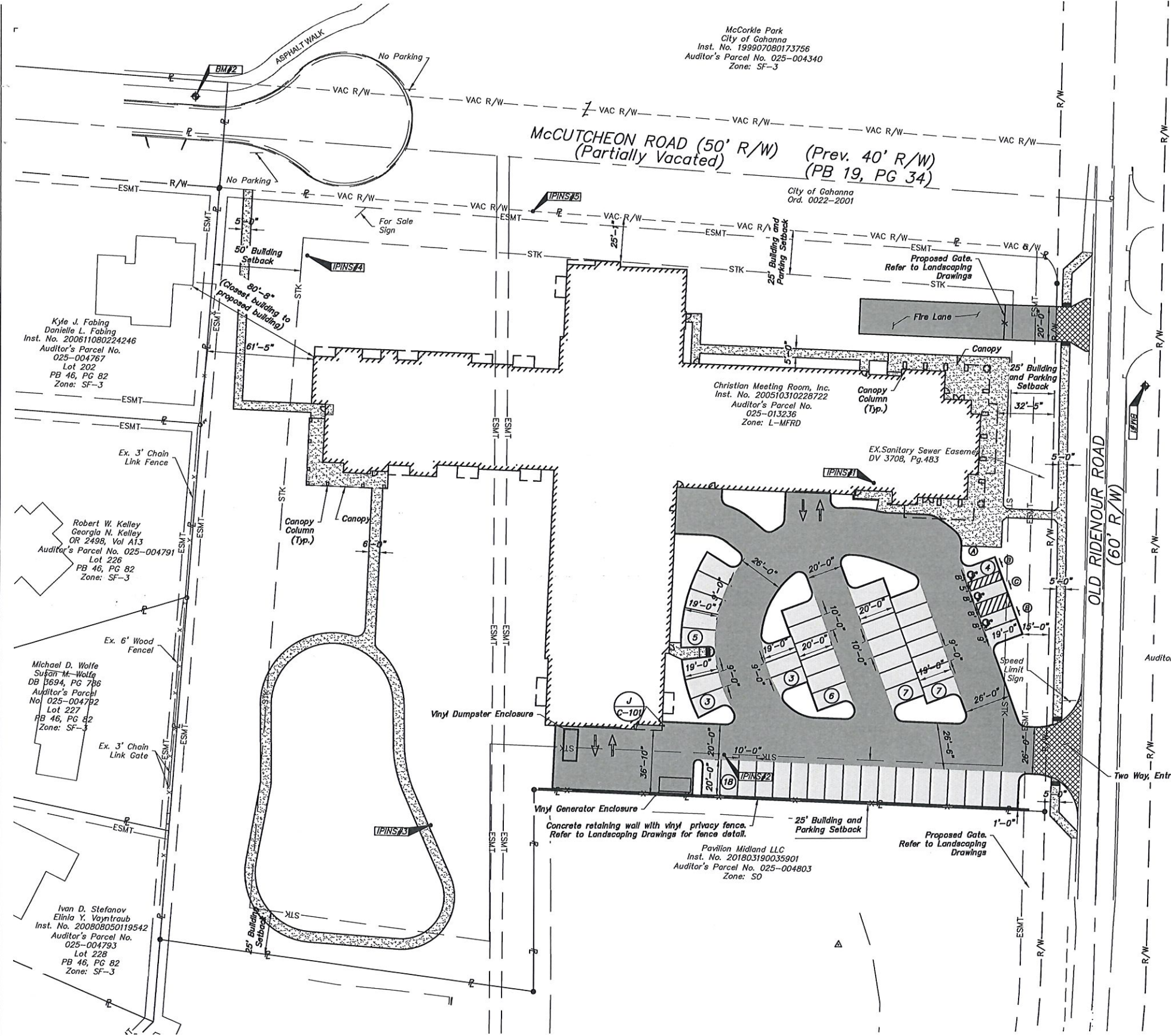
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DESIGN
DEVELOPMENT
DATE: 3/20/2019
PROJECT #: 18161

DEMOLITION
PLAN
C-004

KORDA
KORDA NEMETH ENGINEERING
1660 WATERMARK DRIVE
SUITE 200
COLUMBUS, OHIO 43215
DRAWN BY: CMZ
DESIGNED BY: CMZ
CHECKED BY: CMZ
PROJECT NUMBER: 2018-0417

BERARDI+
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING
1398 GOODDALE BOULEVARD, COLUMBUS, OHIO 43212
P 614.221.1110 berardi@partners.com



LEGEND	
EXISTING	
	Building/Wall
	Straight Curb per Detail E or F/C-101
	Pavement per Detail A or B/C-101
	Walk per Detail D/C-101
	Fence
PROPOSED	
	Construction Limits
	Heavy Duty Asphalt per Detail A/C-101
	Light Duty Asphalt per Detail B/C-101
	Concrete Sidewalk per Detail D/C-101
	Driveway, Non-Residential per City of Columbus Std. Dwg. 2202
	Sign per Detail C/C-101

- General Notes:**
1. Dimensions and coordinates are given to face of curb and face of building unless otherwise noted.
 2. Curb and sidewalk radii shall be 5'-0" unless otherwise noted.
 3. Provide striping and symbols as shown per ODOT Item 640 and 641. Striping point shall be ODOT Item 740.02 Type 4 without glass beads. Typical line width shall be 4 inches, color white.
 4. Standard parking stall dimensions are 9'-0" in width by 19'-0" in length unless otherwise noted.
 5. Sawcut full depth sidewalk and pavement where new work abuts existing construction. Take care to provide neat straight lines. Provide pavement sealant per ODOT Item 423 at joint between existing and new asphalt. Remove concrete to nearest joint. Provide 1/2" Preformed Expansion Joint filler between new and existing construction.
 6. Any property pins damaged as part of construction shall be reset by an Ohio registered surveyor.
 7. Maintain pedestrian and vehicular access to adjacent buildings at all times during construction.
 8. Refer to Architectural Drawings for all site signage not shown on this sheet.
 9. Building coordinates provided for building location only. Refer to architectural plans for building layout.
 10. Provide control joints per Detail G/C-101. Provide isolation joints where new concrete abuts existing structures per Detail H/C-101 and per Specifications.

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DESIGN DEVELOPMENT

DATE: 3/20/2019
PROJECT #: 18161

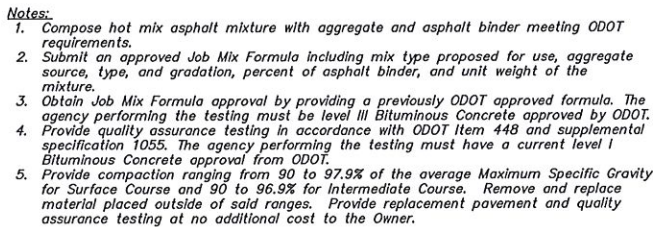


STAKING PLAN

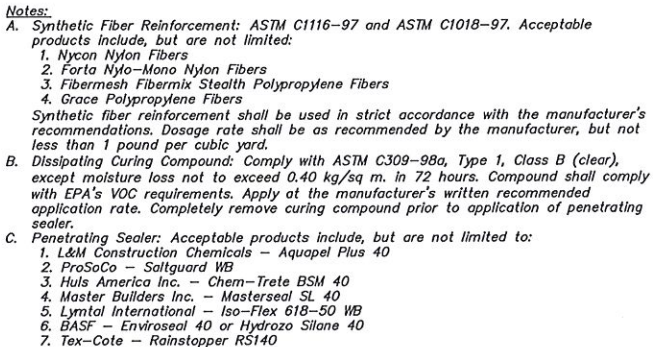
C-100

KORDA
KORDA NEMETH ENGINEERING
1650 WATERMARK DRIVE
SUITE 200
COLUMBUS, OHIO 43215
DRAWN BY: CMZ
DESIGNED BY: CMZ
CHECKED BY: CMZ
PROJECT NUMBER: 2018-0417

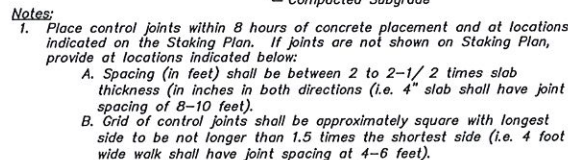
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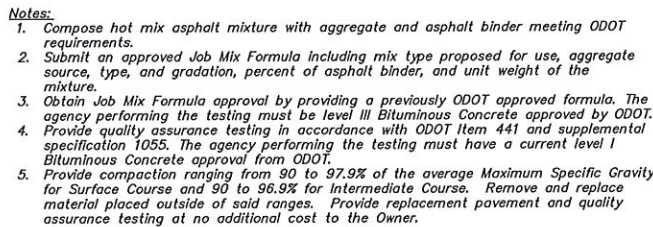
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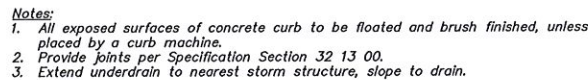
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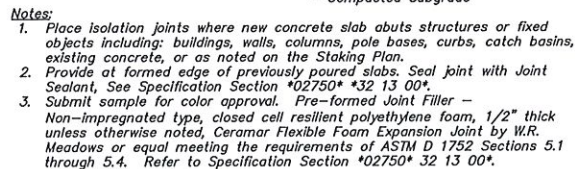
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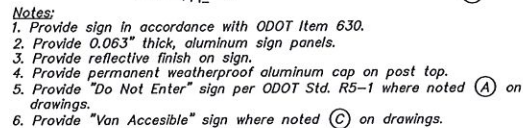
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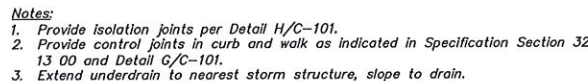
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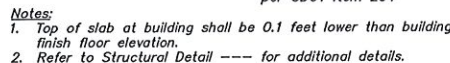
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N.T.S.

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LEGEND

EXISTING
Refer to ALTA/NSPS Survey, Refer to Sheets C-002 and C-003 (Typical to all plan sheets)

PROPOSED

Index Contour	800
Intermediate Contour	799
Building/Wall	---
Underground Electric Line	E
Underground Telephone Line	T
Underground Cable Line	C
Underground Fiber Optic Line	FO
Underground Lighting Circuit	L
Water Line	W
Fire Protection Service Line	F
Gas Line	G
Storm Sewer	STM
Underdrain	UD
Sanitary Sewer	SAN
Gas Line (By Others)	G
Catch Basin	CB
Curb & Gutter Inlet	CGI
Manhole	DS
Downspout Adapter	W
Fire Hydrant	PIV
Gate Valve & Curb Box	PIV
Post Indicating Valve	PIV
Fire Department Connection	FC
Clean Out	C.O.
Structure Number	(1) (101)
Grade Break (Crown) Line	---
Grading/Seeding Limits	---
Spot Elevation	x708.53
Top of Casting	TC
Top of Curb Elevation	700.00
Gutter Elevation at Face of Curb	699.50
Flow Direction Arrow	→
High (Crown) Point	→
Emergency Overflow	→
Match Existing Elevation	M.E.

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**DESIGN
DEVELOPMENT**

DATE: 3/20/2019
PROJECT #: 18161



**GRADING
PLAN**

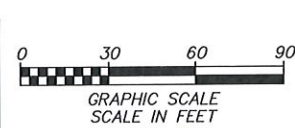
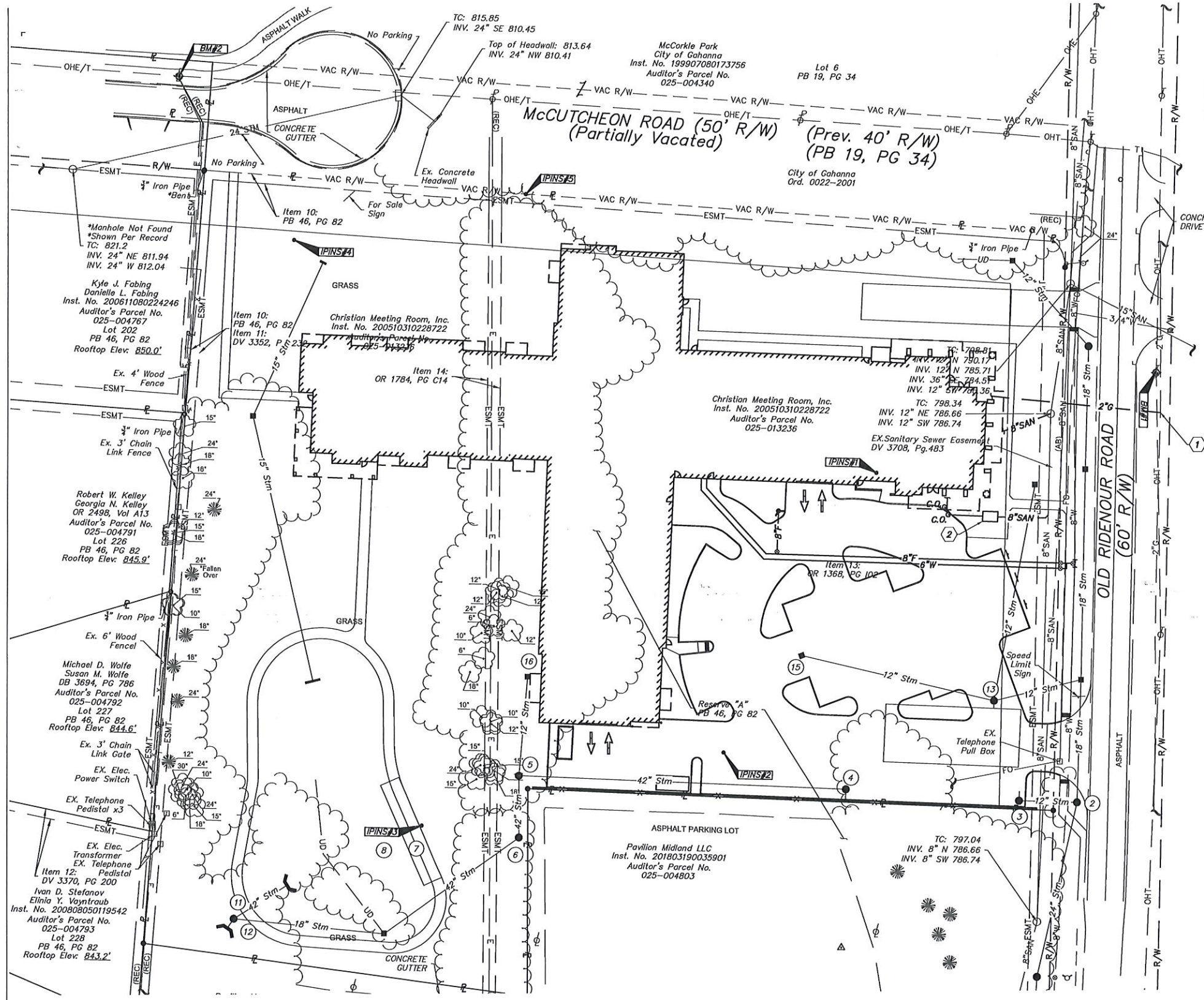
C-200

General Notes:

1. Provide 10' underdrains in four directions at catch basins in pavement. Refer to Detail C/C-201.
2. Pavement elevations refer to finished pavement elevation at face of curb unless otherwise noted.
3. Construction work will not be permitted without approved plans and inspection.
4. Perform work in accordance with City of Gahanna Material Specifications and Standard Construction Drawings. In case of a discrepancy between City of Gahanna requirements and project specifications, City of Columbus standards shall govern.
5. Soil erosion and sedimentation BMP measures, per Sheets C-206 and C-207, shall be installed prior to start of any construction and shall be maintained until construction has been completed, including grass being well established and/or permanent erosion and sedimentation BMP measures in place. BMP measures shall be to the satisfaction of the City of Gahanna.
6. Control dust on the site and prevent tracking soil off site. Contractor shall, at the end of each working day, clean dirt and sediment tracked onto streets.
7. Remove sediment from detention areas, outlet structures, and underdrains once final seed has been established.
8. Dimensions and coordinates are to face of curb or face of building unless otherwise noted.
9. Extend utilities to within 5'-0" of face of building unless otherwise noted. Coordinate exact location with Plumbing Contractor. Final connection by plumbing contractor.
10. Maximum finish slopes shall be 4:1 unless otherwise noted.
11. Coordinates and elevations based on survey performed by Korda/Nemeth Engineering dated August 27, 2018. Refer to Sheets C-002 and C-003.
12. Contractor shall strip and stockpile existing topsoil throughout the site prior to excavation. Upon completion of final grading, provide 6 inches of topsoil and seed areas disturbed by construction, including laydown areas and trailer locations if located outside the grading/seeding limits.
13. Existing valves, manholes, and other appurtenances to remain located within the work limits shall be adjusted to finish grade.
14. Outlet curb underdrains to adjacent existing underdrains or storm sewer system.
15. Expose utilities noted thus Expose prior to beginning work on that utility to determine effects on the proposed alignment and profile. Report elevation and location to the Engineer in order that any corrections to the elevation and location can be made.
16. Concrete adjacent to building shall be sloped away from building at 2.0% unless otherwise noted.
17. Roof drains, foundation drains, and other clean water connections to the sanitary sewer are prohibited.

KORDA
KORDA/NEMETH ENGINEERING
1650 WATERMARK DRIVE
SUITE 200
COLUMBUS, OHIO 43215
DRAWN BY: CMZ
DESIGNED BY: CMZ
CHECKED BY: CMZ
PROJECT NUMBER: 2018-0417

BERARDI+
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1318 GOODALE BOULEVARD, COLUMBUS, OHIO 43212
P 614.221.1110 berardi@partners.com



LEGEND	
EXISTING	
W	Water Line
F	Fire Protection Service Line
G	Gas Line
STM	Storm Sewer
UD	Underdrain
SAN	Sanitary Sewer
-	Cut and Plug Existing Utility
(Ab)	Abandon Existing Utility
(R)	Remove Existing Utility
PROPOSED	
W	Water Line
F	Fire Hydrant
PIV	Gate Valve & Curb Box
PIV	Post Indicating Valve
C.O.	Fire Department Connection
C.O.	Clean Out
M	Manhole
X	Remove Ex. Structure
(1) (101)	Structure Number
	Remove and Replace Pavement In Kind

- General Notes:**
- Dimensions and Coordinates are from face of curb or exterior face of building, unless otherwise noted.
 - Extend utilities to within 5' of face of building, unless otherwise noted. Coordinate exact location with plumbing contractor. Final connection by plumbing contractor.
 - Refer to Sheets C-200 to C-207 for storm sewer information.
 - Maintain minimum 4'-0" cover over all waterlines. Refer to Sheet C-302 for profile.
 - Maintain minimum 18" vertical clearance from the outside of any waterline pipe to the outside of any storm or sanitary sewer.
 - Provide thrust blocks or restrained mechanical joint pipe at each valve, tee, fitting, or change in direction of waterline.
 - Refer to City of Gahanna Standard Drawings for typical fire hydrant installation details.
 - Roof drains, foundation drains, and other clean water connections to the sanitary sewer are prohibited.
 - Connection to existing water mains shall not be performed until the new lines have been sanitized and all tests have been completed as specified by the City of Gahanna and these contract documents.
 - All coordinates and elevations based on survey performed by Korda Nemeth Engineering dated August 27, 2018. Refer to Sheets C-002 and C-003.
 - Where plans provide for a proposed utility to be connected to, or cross over, or under an existing underground utility, the Contractor shall locate the existing pipes or utilities, both as to line and grade before starting to lay the proposed utility. These locations are noted thus: Expose. If it is determined that the elevation of the exposed utility differs from the plan elevation, results in a change in the plan sewer slope, or will intersect an existing utility as shown on the plan, the Engineer shall be notified before starting construction of any portion of the proposed utility which will be affected by the variance in the existing elevations.
 - Support and protect all utilities exposed during excavation and trenching.
 - Any required waterline shut-downs shall be coordinated with the Owner and/or the City.

- Coded Notes:**
- Gas tap, service line, and meter with setting by Columbia Gas. The General Contractor is responsible for providing all restoration necessary from gas service construction, including but not limited to, asphalt replacement, concrete curb replacement, and seeding and mulching.
 - Grease Trap. Refer to Plumbing Drawings.

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DESIGN
DEVELOPMENT

DATE: 3/20/2019
PROJECT #: 18161



UTILITY
PLAN

C-300

KORDA
KORDA NEMETH ENGINEERING
1650 WATERMARK DRIVE
SUITE 200
COLUMBUS, OHIO 43215
DRAWN BY: CMZ
DESIGNED BY: CMZ
CHECKED BY: CMF
PROJECT NUMBER: 2018-0417

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5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD/DWG DESIGN MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.

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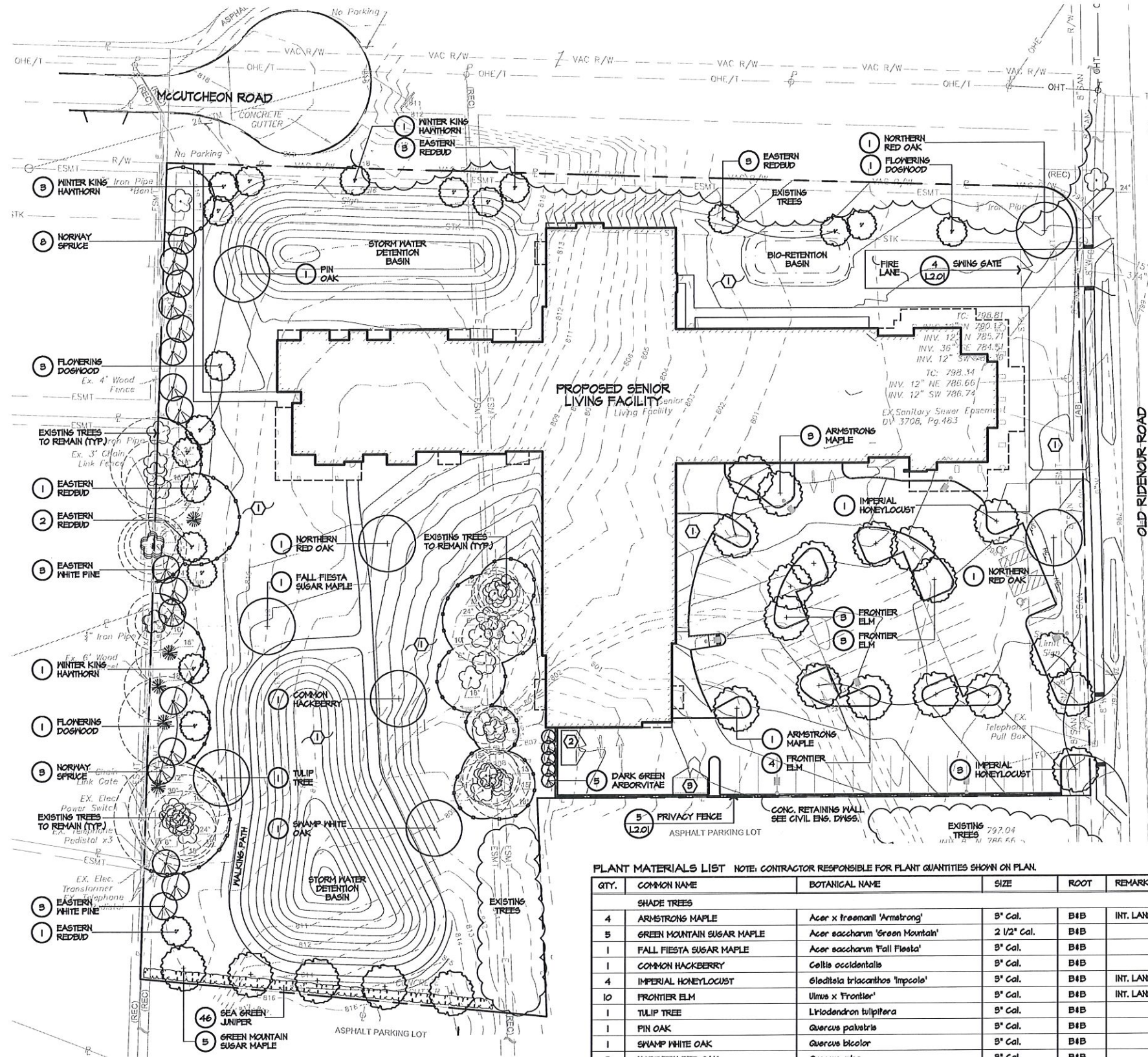
DATE: 2019/03/06
PROJECT #: 18161

	Description	Date
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A-101a

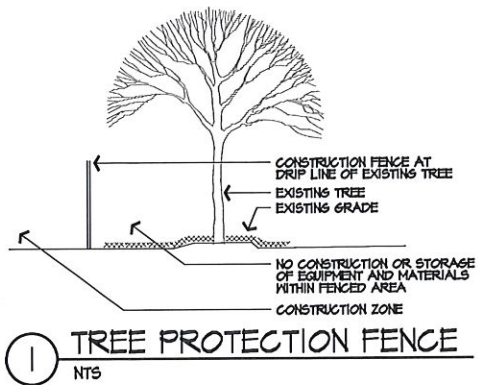
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PLANT MATERIALS LIST NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SHADE TREES					
4	ARMSTRONG MAPLE	Acer x freemanii 'Armstrong'	8" Cal.	B&B	INT. LANDSCAPE REQUIRED
5	GREEN MOUNTAIN SUGAR MAPLE	Acer saccharum 'Green Mountain'	2 1/2" Cal.	B&B	
1	FALL FIESTA SUGAR MAPLE	Acer saccharum 'Fall Fiesta'	8" Cal.	B&B	
1	COMMON HACKBERRY	Celtis occidentalis	8" Cal.	B&B	
4	IMPERIAL HONEYLOCUST	Gleditsia triacanthos 'Imperial'	8" Cal.	B&B	INT. LANDSCAPE REQUIRED
10	FRONTIER ELM	Ulmus x 'Frontier'	8" Cal.	B&B	INT. LANDSCAPE REQUIRED
1	TULIP TREE	Liriodendron tulipifera	8" Cal.	B&B	
1	PIN OAK	Quercus palustris	8" Cal.	B&B	
1	SWAMP WHITE OAK	Quercus bicolor	8" Cal.	B&B	
5	NORTHERN RED OAK	Quercus rubra	8" Cal.	B&B	
5	DARK GREEN ARBOVITAE	Thuja occidentalis 'Dark Green'	6' Hgt.	B&B	
ORNAMENTAL TREE					
5	FLOWERING DOGWOOD	Cornus florida	6' Hgt.	B&B	WHITE FLOWERING
10	EASTERN REDBUD	Cercis canadensis	6' Hgt.	B&B	SINGLE STEM
5	WINTER KING HAWTHORN	Crataegus viridis 'Winter King'	2" Cal.	B&B	
EVERGREEN TREES					
11	NORWAY SPRUCE	Picea abies	6' Hgt.	B&B	
6	EASTERN WHITE PINE	Pinus strobus	6' Hgt.	B&B	
SHRUBS					
46	SEA GREEN JUNIPER	Juniperus chinensis 'Sea Green'	24" Hgt.	Cont.	



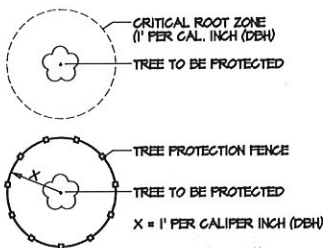
GENERAL NOTES

- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 12 HOURS PRIOR TO CONSTRUCTION.
- EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
- ALL PLANT MAGNETS TO BE CONTAINED WITHIN 8" DEEP HARDWOOD BARK MULCH BED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION, SEE PLAN.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

CONSTRUCTION NOTES

- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- DUMPSTER ENCLOSURE - SEE DETAIL #5/ L2.01
- GENERATOR ENCLOSURE - SEE DETAIL #5/ L2.01

LEGEND



SITE COMPLIANCE DATA

INTERIOR LANDSCAPING REQUIREMENTS 1169.00 (c)	REQUIRED LANDSCAPE AREA	PROVIDED
INTERIOR LANDSCAPING AREA SHALL BE FIVE PERCENT OF THE TOTAL AREA OF THE PARKING LOT PAVEMENT.	84,908 SF x 0.05 = 1,745.4 1,745 SF	4,192 SF
INTERIOR LANDSCAPING REQUIREMENTS 1169.00 (e)	REQUIRED TREES	PROVIDED
PROVIDE ONE TREE PER 100 SF OF REQUIRED LANDSCAPE AREA	1,745 SF / 100 = 17.45 18 TREES	18 TREES
20' BUFFER (WEST PROPERTY LINE) 1144.02	REQUIRED TREES	PROVIDED
PROVIDE BUFFER THAT PROVIDES 10% OPACITY AND BE MINIMUM OF 6' HST.		17 (6' HST.) EVERGREEN TREES 22 EXISTING TREES PRESERVED
15' BUFFER (SOUTH PROPERTY LINE) 1161.20	REQUIRED	PROVIDED
PROVIDE 1 TREE FOR EVERY 40' OF LINEAR BOUNDARY AND CONT. 6' HIGH PLANTING, HEDGE, FENCE, WALL OR MOUND.		5 SHADE TREES EVERGREEN HEDGE EX. TREE PRESERVATION
MINIMUM TREE REQUIRED 114.05	REQUIRED TREES	PROVIDED
MINIMUM 1 SHADE TREE CALIPER INCH PER 1,000 SF IMPERVIOUS AREA	68,246 SF / 1,000 = 68.3 64 INCHES (DBH)	24 INCHES (DBH) SEE CREDIT BELOW

PROTECTED TREE INVENTORY

CREDITS	PROTECTED TREES 6-14 INCH DBH (1.1 INCH CREDIT)		PROTECTED TREES 20+ INCH DBH (11.5 INCH CREDIT)		NOTE: CREDIT FOR PRESERVED TREES PENDING REVIEW AND APPROVAL OF CONDITION BY CITY ARBORIST. SEE TREE REMOVAL PLAN, SHEET C-008.
	NO.	TOTAL INCHES	NO.	TOTAL INCHES	
	53	444	8	198	
		444		247	
					TOTAL CREDITS: 146 INCHES (DBH)

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NOTE:

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SCHEMATIC

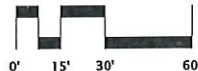
DATE: 3/20/2019
PROJECT #: 18161



PRELIMINARY NOT FOR CONSTRUCTION

LANDSCAPE PLAN

L1.01



EDGE

PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN

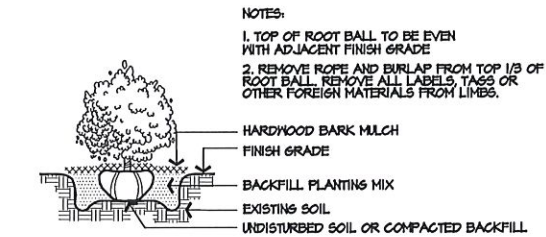
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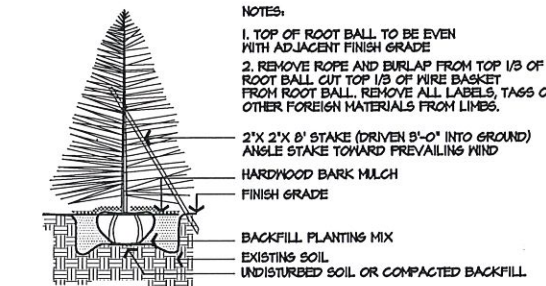
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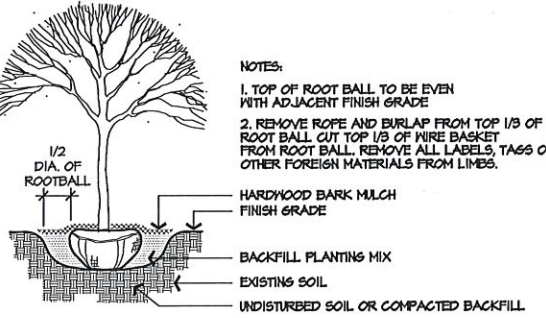
P 614.221.1110 berardi@partners.com



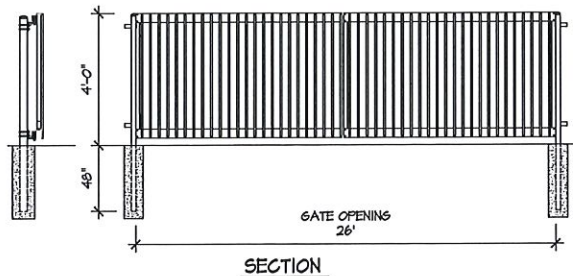
1 SHRUB PLANTING
NTS



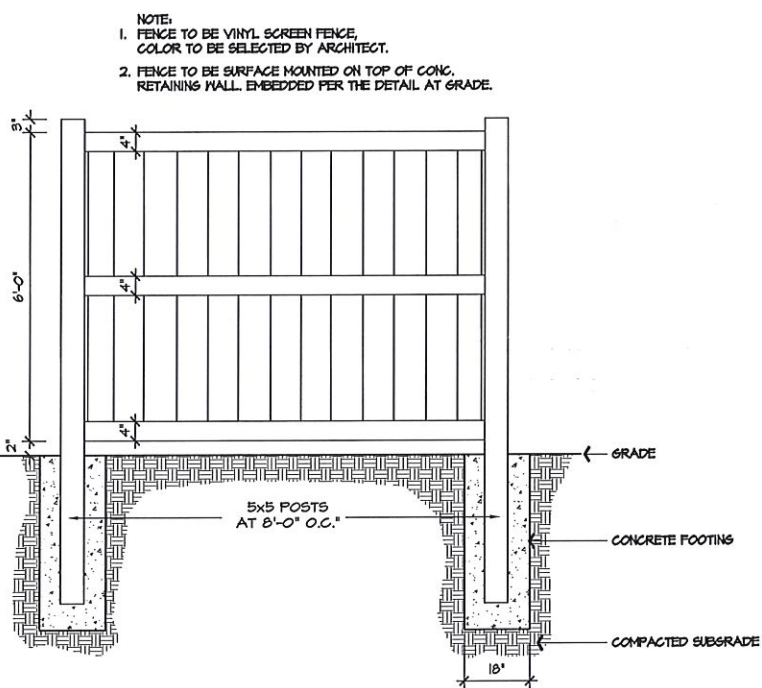
2 EVERGREEN TREE PLANTING
NTS



3 TREE PLANTING
NTS



4 SWING GATE (FIRE LANE)
NTS



5 PRIVACY FENCE
NTS

NCR
GAHANNA

GAHANNA, OH

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SCHEMATIC

DATE: 3/20/2019
PROJECT #: 18161



PRELIMINARY
NOT FOR CONSTRUCTION

SITE
DETAILS

L2.01

EDGE
PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN
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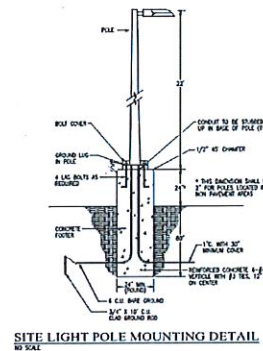
NOTE:
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND STANDARDS, AND THE PROJECT MANUAL, IN THE EVENT OF A CONFLICT, THE PROJECT MANUAL SHALL PREVAIL.
2. THE CONTRACT DOCUMENTS ARE COMPOSED OF THE PROJECT MANUAL, SPECIFICATIONS, AND ADDENDUMS. THE INFORMATION IN THESE DOCUMENTS IS SUPPLEMENTARY TO THE PROJECT MANUAL AND SHALL NOT BE USED TO CONTRADICT OR AMEND THE PROJECT MANUAL. THE CONTRACT DOCUMENTS SHALL BE FOR INFORMATION ONLY AND SHALL NOT BE USED FOR CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LOGISTICS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TRANSPORTATION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY COMMUNICATIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SECURITY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ENVIRONMENTAL PROTECTION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HISTORIC PRESERVATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ARCHITECTURAL RECORDING.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MONITORING AND EVALUATION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RESEARCH AND ANALYSIS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DESIGN AND CONSTRUCTION.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MAINTENANCE AND REPAIR.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DEMOLITION AND DISPOSAL.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION AND DEMOLITION.

DESIGN DEVELOPMENT

DATE: 2019/03/18
PROJECT #: 18161

Site Photometrics

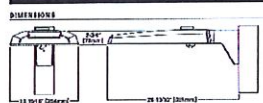
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SITE LIGHT POLE MOUNTING DETAIL

DESCRIPTION
The Pole-LED system also functions as a light fixture, providing energy efficiency and long-term reliability in an outdoor, pendant lighting application. The Pole-LED system is designed to provide a uniform, high-quality light output, with a long life expectancy and low maintenance requirements. The Pole-LED system is designed to provide a uniform, high-quality light output, with a long life expectancy and low maintenance requirements.

PERFORMANCE FEATURES
The Pole-LED system is designed to provide a uniform, high-quality light output, with a long life expectancy and low maintenance requirements. The Pole-LED system is designed to provide a uniform, high-quality light output, with a long life expectancy and low maintenance requirements. The Pole-LED system is designed to provide a uniform, high-quality light output, with a long life expectancy and low maintenance requirements.



ENERGY DATA
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Lumark

Model	PRV-A15-D-UNV-T4-BZ-HSS	Type
Brand	Eaton - Lumark (Former Cooper Lighting)	
Category	LED	
Properties		



PRV PREVAL

AREA / MTE ROOMS
LUMINAIRE

DESCRIPTION
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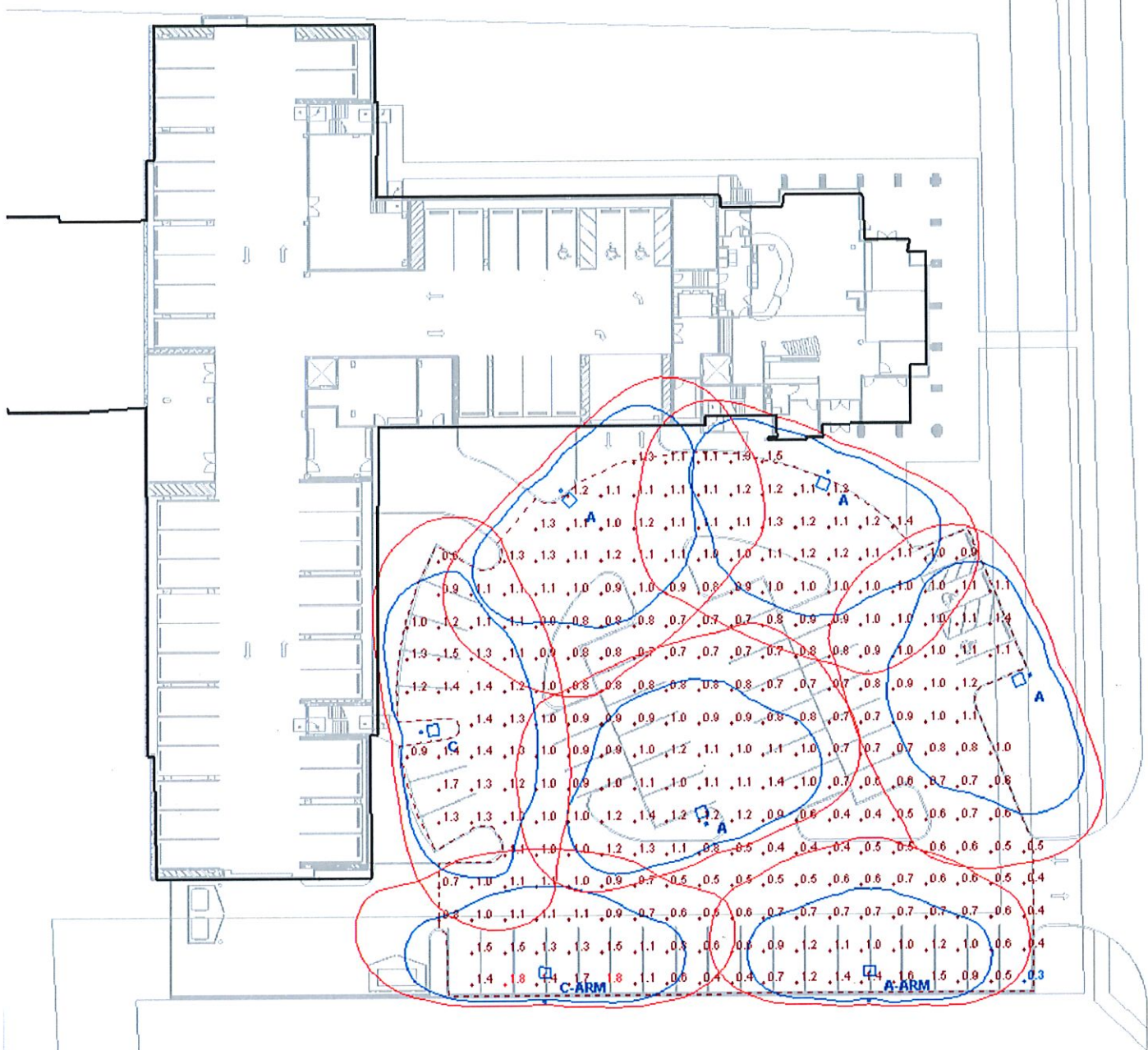


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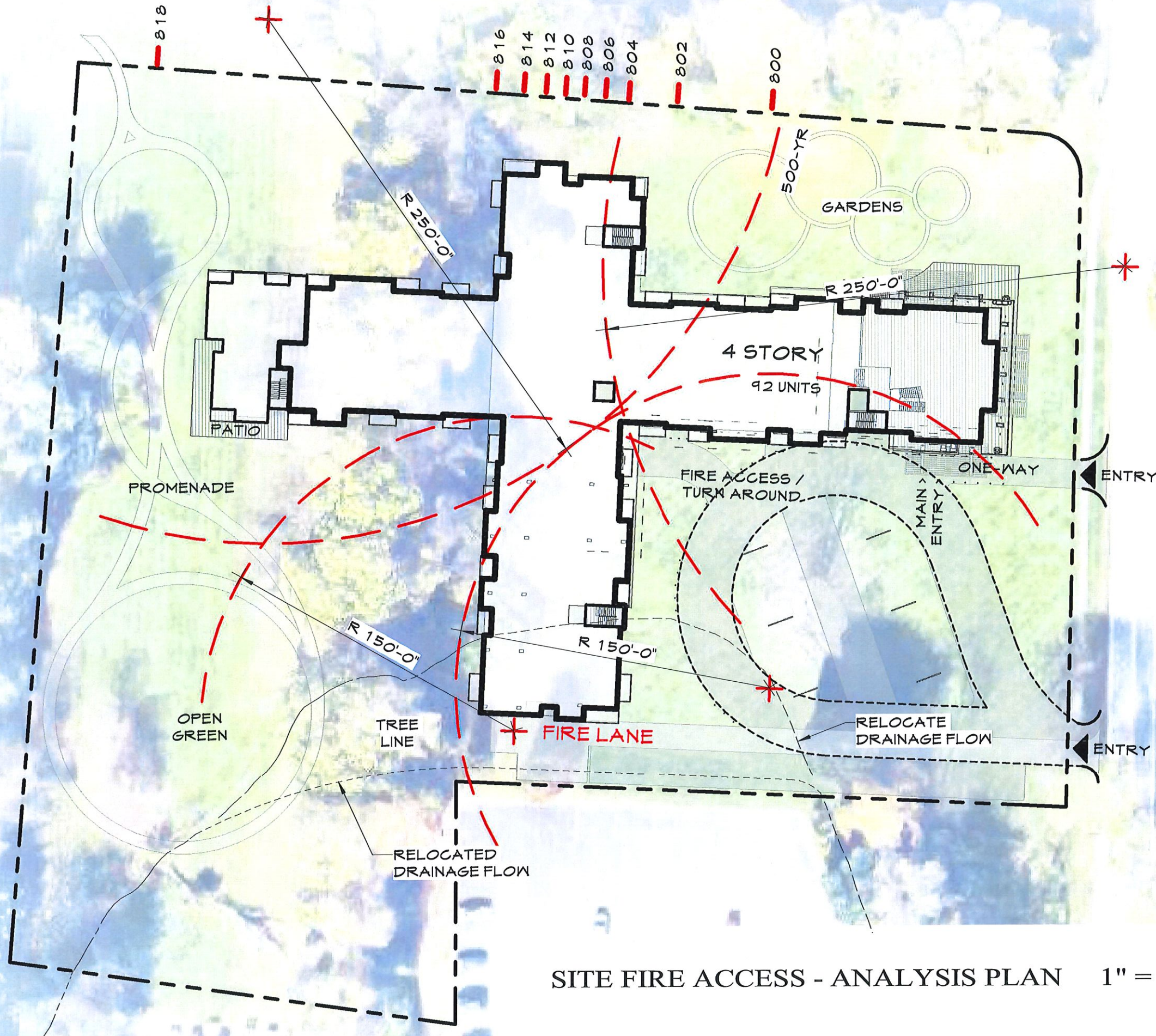
Current View

Symbol	Label	Manufacturer	Catalog Number	Description	Number of Lamps	File Name	Lumens Per Lamp	Light Loss Factor	Wattage
A	20' POLE, 3' BASE	Eaton - Lumark (Former Cooper Lighting)	PRV-A15-D-UNV-T4-BZ-HSS	PREVAL AREA AND ROADWAY LUMINAIRE (1) 70 CW, 4000K LED AT 40% STANDARD LUMENS AND TYPE IV OPTICS WITH HOUSE SIDE SHIELD, BRONZE PAINTED FINISH ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	1	PRV-A15-D-UNV-T4-BZ-HSS-145	5627	0.92	57
C	20' POLE, 3' BASE	Eaton - Lumark (Former Cooper Lighting)	PRV-A15-D-UNV-T3-BZ-HSS	PREVAL AREA AND ROADWAY LUMINAIRE (1) 70 CW, 4000K LED AT 40% STANDARD LUMENS AND TYPE III OPTICS WITH HOUSE SIDE SHIELD, BRONZE PAINTED FINISH ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	1	PRV-A15-D-UNV-T3-BZ-HSS-145	5639	0.92	57
C-ARM	15' POLE, 3' ARM	Eaton - Lumark (Former Cooper Lighting)	PRV-A15-D-UNV-T3-BZ-HSS	PREVAL AREA AND ROADWAY LUMINAIRE (1) 70 CW, 4000K LED AT 40% STANDARD LUMENS AND TYPE III OPTICS WITH HOUSE SIDE SHIELD, BRONZE PAINTED FINISH ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	1	PRV-A15-D-UNV-T3-BZ-HSS-145	5639	0.92	57
A-ARM	15' POLE, 3' ARM	Eaton - Lumark (Former Cooper Lighting)	PRV-A15-D-UNV-T4-BZ-HSS	PREVAL AREA AND ROADWAY LUMINAIRE (1) 70 CW, 4000K LED AT 40% STANDARD LUMENS AND TYPE IV OPTICS WITH HOUSE SIDE SHIELD, BRONZE PAINTED FINISH ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	1	PRV-A15-D-UNV-T4-BZ-HSS-145	5627	0.92	57

Statistics	Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Footcandle	Footcandle	+	1.0 fc	1.8 fc	0.3 fc	6.0:1	3.3:1

MCCUTCHEON RD.

FIRE ACCESS



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GAHANNA, OH

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GAHANNA
MUNICIPAL
GOLF COURSE
+
BIG WALNUT
CREEK

SCHEMATIC

DATE: 02/01/2019
PROJECT #: 18161

PRELIMINARY
SITE PLAN

SD-100b

SITE FIRE ACCESS - ANALYSIS PLAN 1" = 50'-0"



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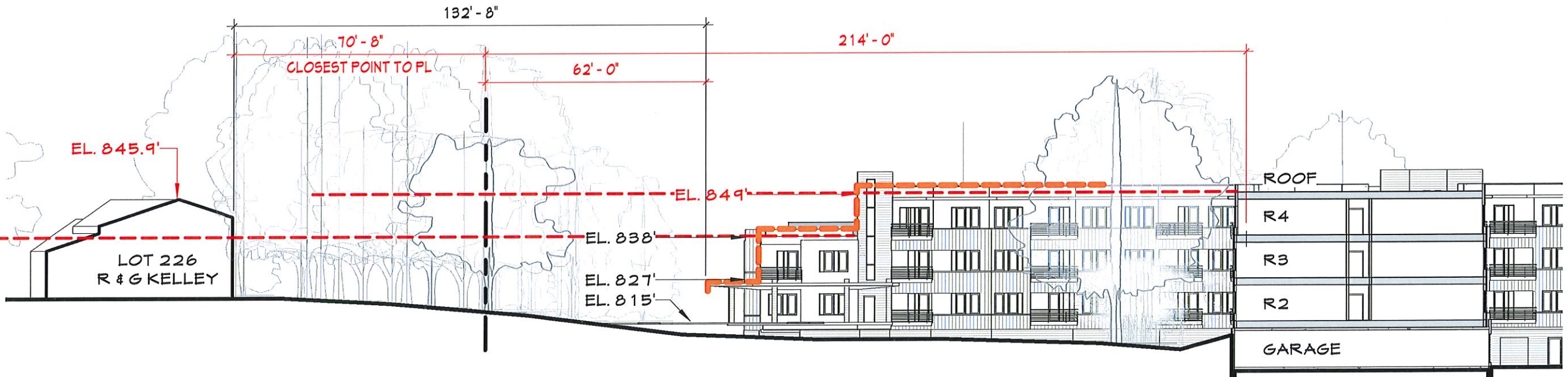
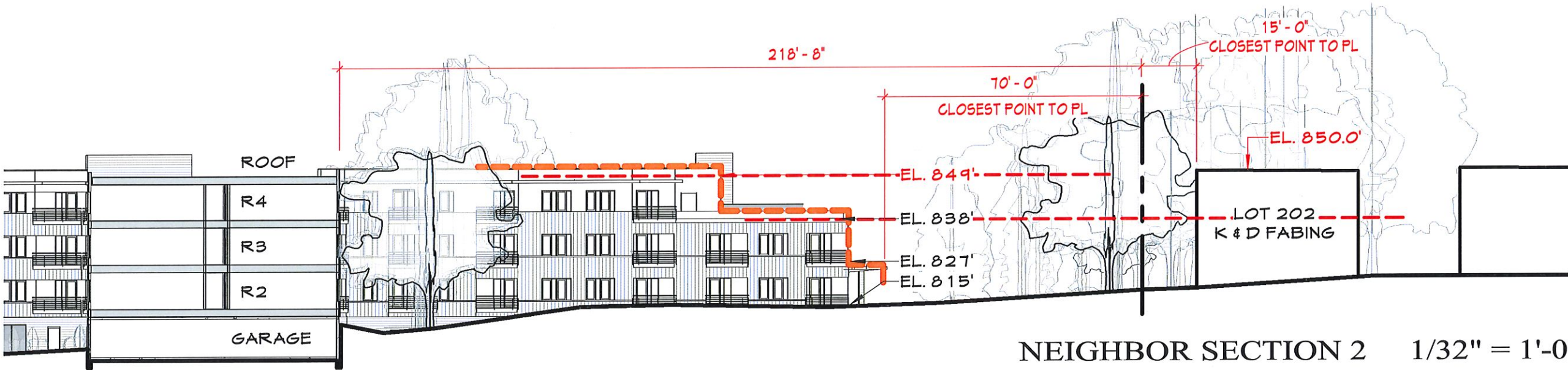
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SECTION 1

SECTION 2

CONTEXT KEY 1" = 160'-0"



SCHEMATIC

DATE: 02/01/2019
PROJECT #: 18161

NEIGHBORHOOD
RELATIVE
HEIGHTS
SD-100d

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BUILDING MATERIALS:

- 1 STUCCO W/ REVEALS: PANELIZED FINISH (WHITE + TAN)
- 2 SPLIT FACE BLOCK - OBERFELDS DESIGN BLOK (GRAPHITE)
- 3 STONE VENEER COLUMN WRAP - DRY STACK W/ LIMESTONE CAP
- 4 WINDOW ASSEMBLY - JELD-WEN PREMIUM VINYL
- 5 SLIDING BALCONY DOOR - VINYL
- 6 STOREFRONT - KAWNEER (POWDER COAT BLACK)
- 7 GARAGE SCREENING - OPEN MESH BLACK
- 8 HORIZONTAL GUARDRAIL: SUPERIOR ALUMINUM
- 9 TRANSLUCENT PANEL or WINDOW FILM

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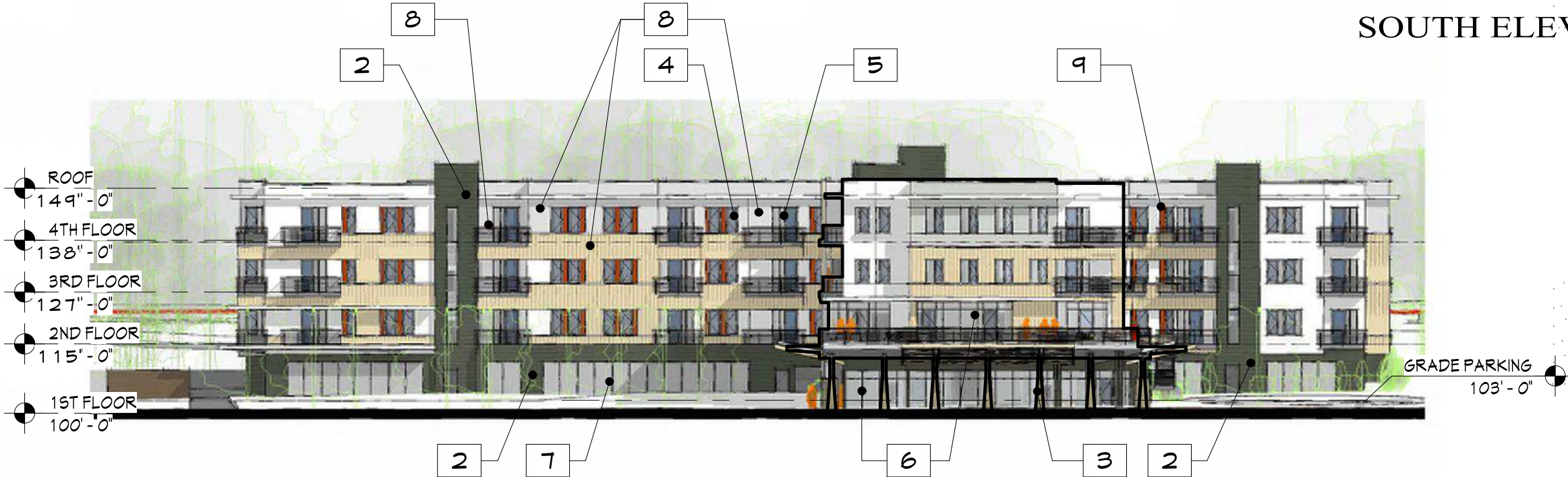
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SOUTH ELEVATION 1" = 30'-0"



EAST ELEVATION 1" = 30'-0"

SCHEMATIC

DATE: 02/01/2019

PROJECT #: 18161

**PRELIMINARY
ELEVATIONS**

SD-201

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BUILDING MATERIALS:

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- 2 SPLIT FACE BLOCK - OBERFELDS DESIGN BLOK (GRAPHITE)
- 3 STONE VENEER COLUMN WRAP - DRY STACK W/ LIMESTONE CAP
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- 7 GARAGE SCREENING - OPEN MESH BLACK
- 8 HORIZONTAL GUARDRAIL: SUPERIOR ALUMINUM
- 9 TRANSLUCENT PANEL or WINDOW FILM



SCHEMATIC

DATE: 02/01/2019
PROJECT #: 18161

PRELIMINARY
ELEVATIONS

SD-202

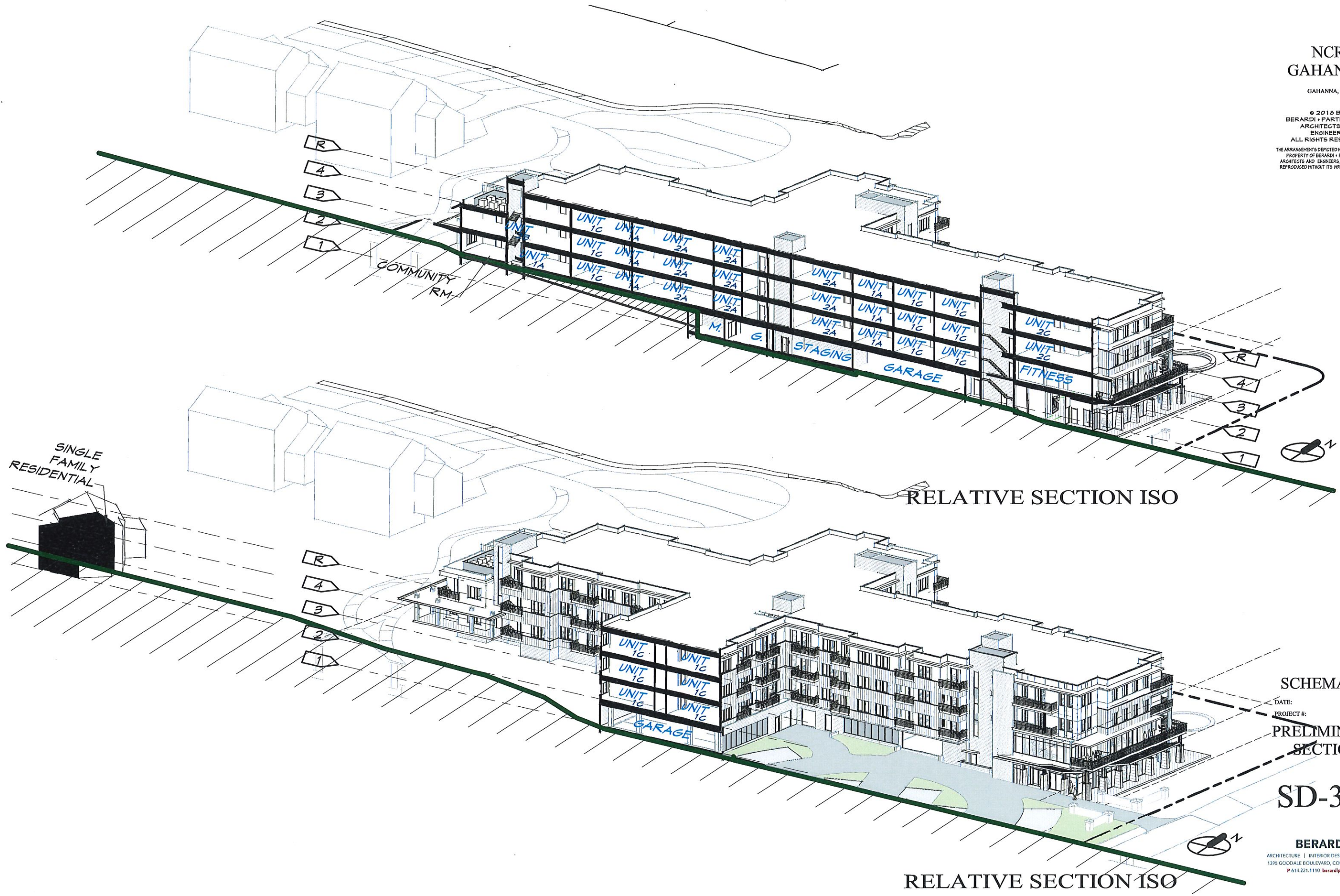
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RELATIVE SECTION ISO

RELATIVE SECTION ISO

SCHEMATIC

DATE: 02/01/2019
PROJECT #: 18161

PRELIMINARY
SECTION

SD-302

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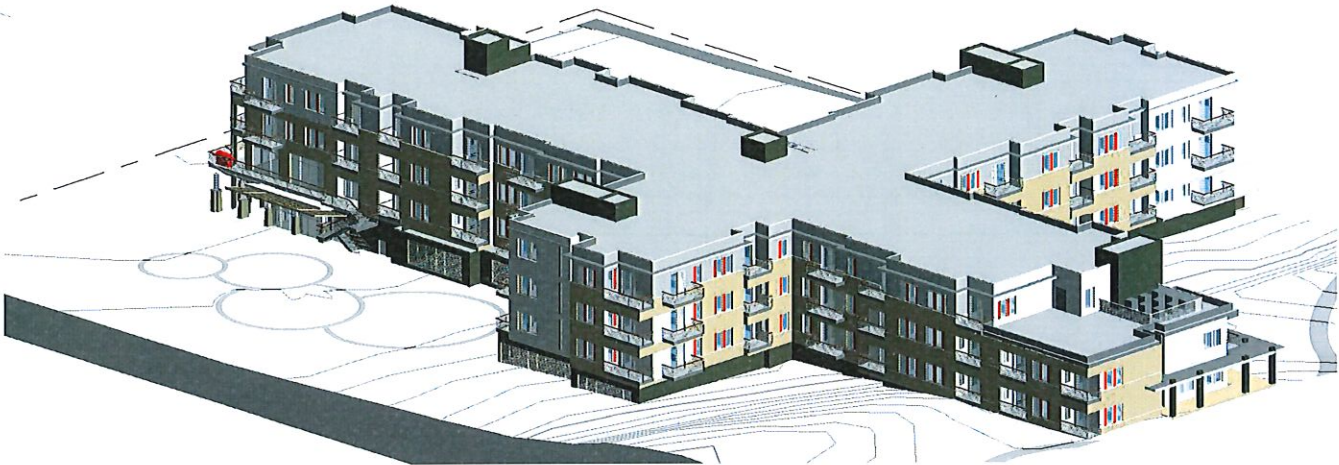
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OVERHEAD ISO - NORTH EAST



OVERHEAD ISO - NORTH WEST



OVERHEAD ISO - SOUTH EAST



OVERHEAD ISO - SOUTH WEST

SCHEMATIC

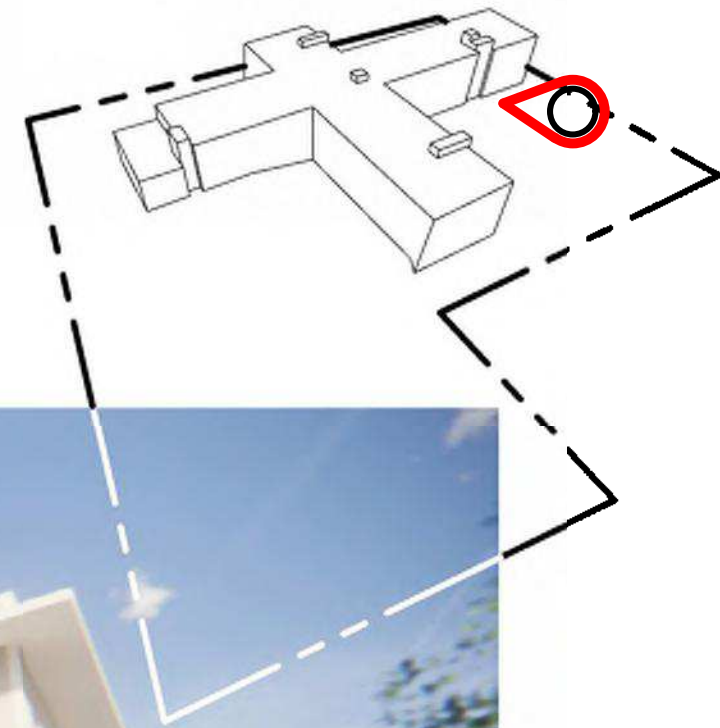
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PRELIMINARY
MASSING

SD-500

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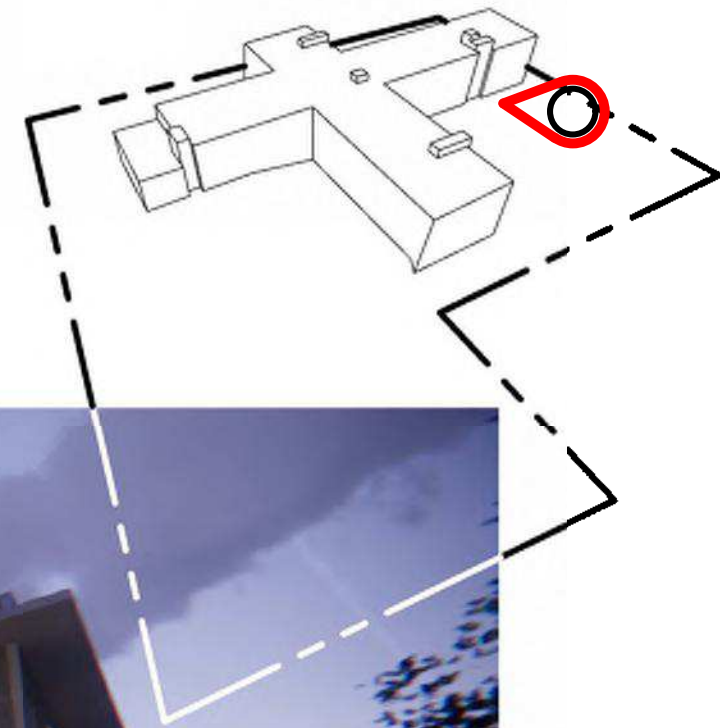
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PRELIMINARY
PERSPECTIVE

SD-510

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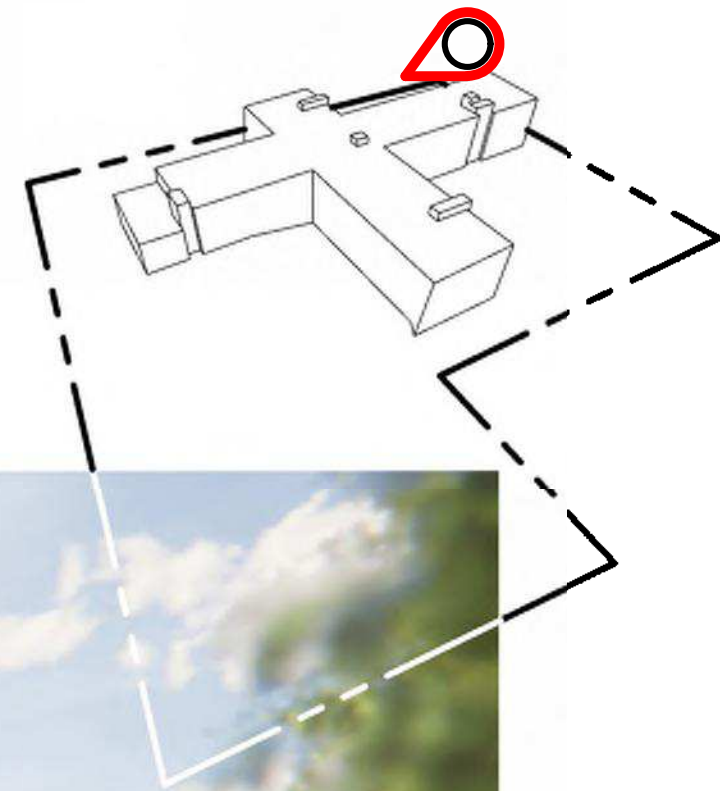
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PRELIMINARY
PERSPECTIVE

SD-511

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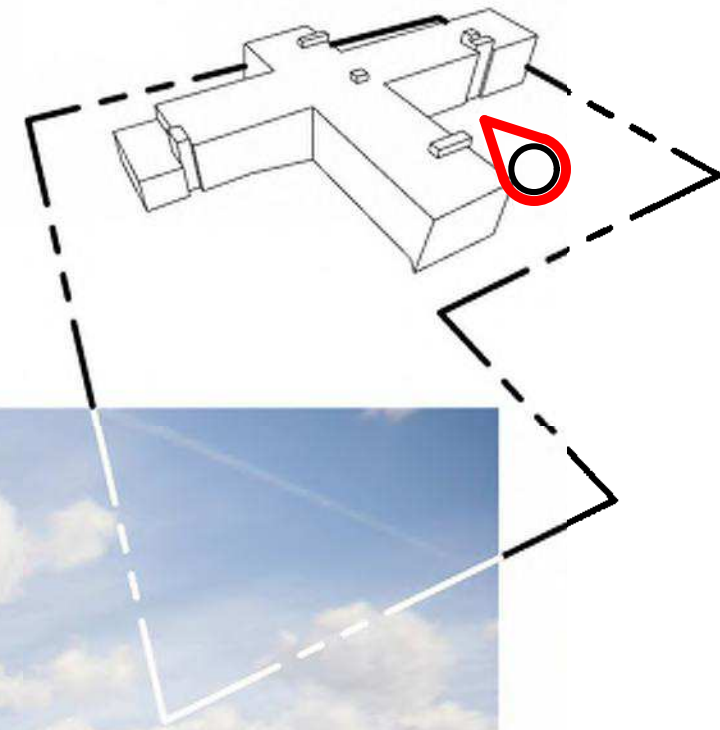
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SD-512

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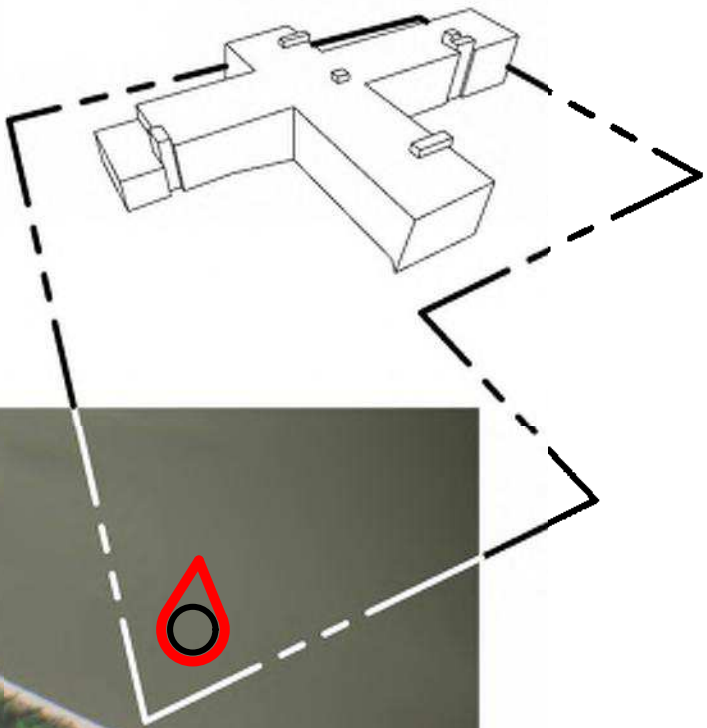
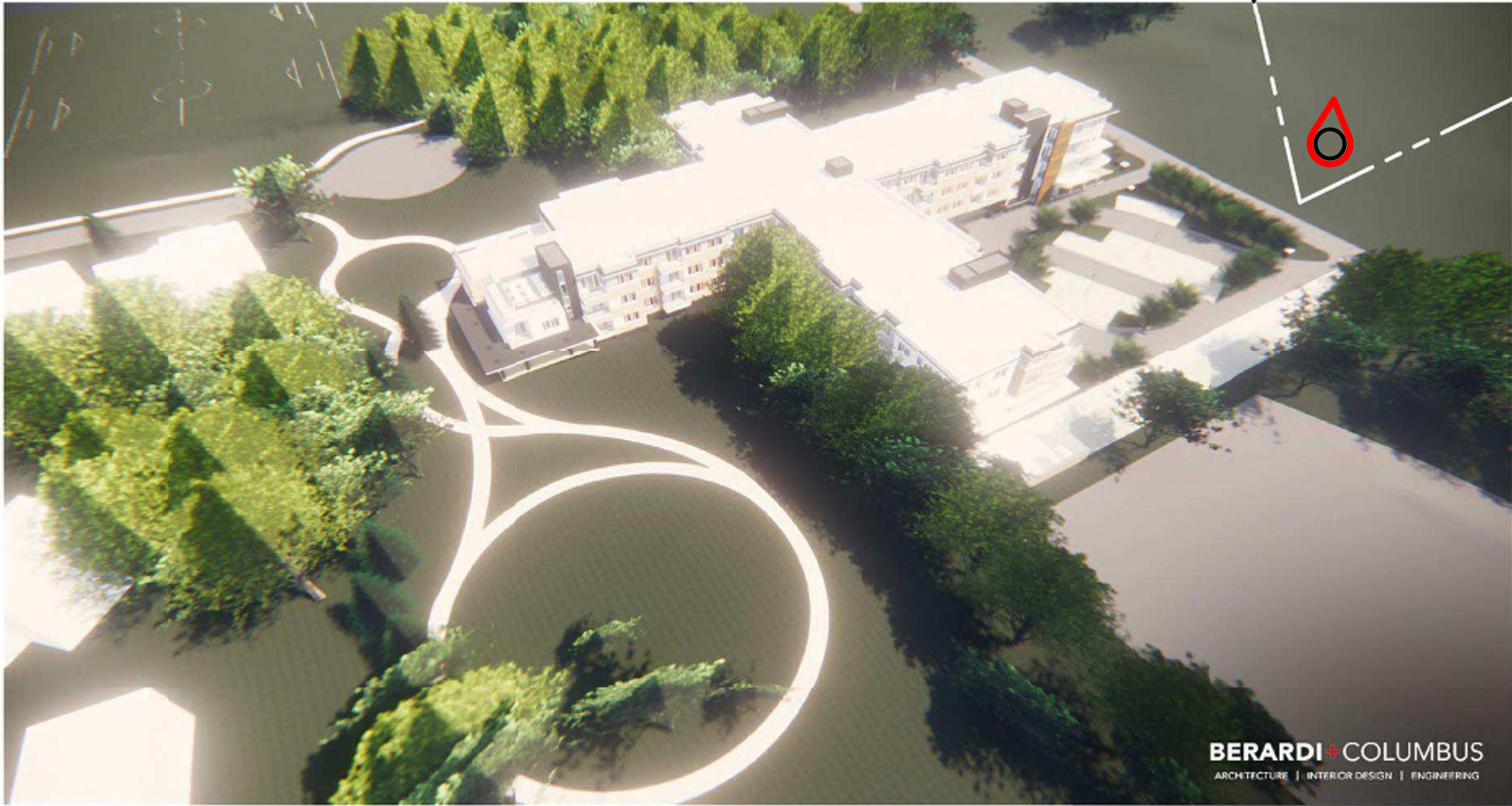
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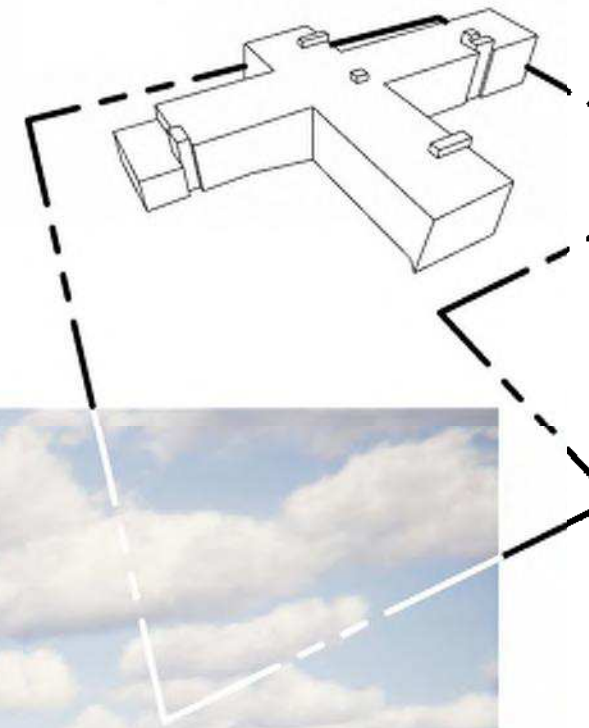
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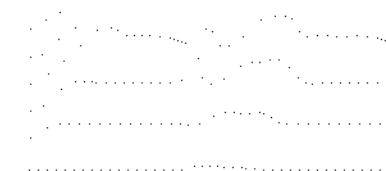
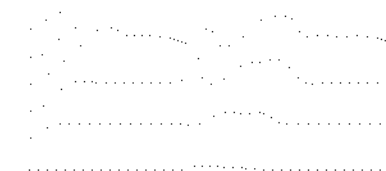


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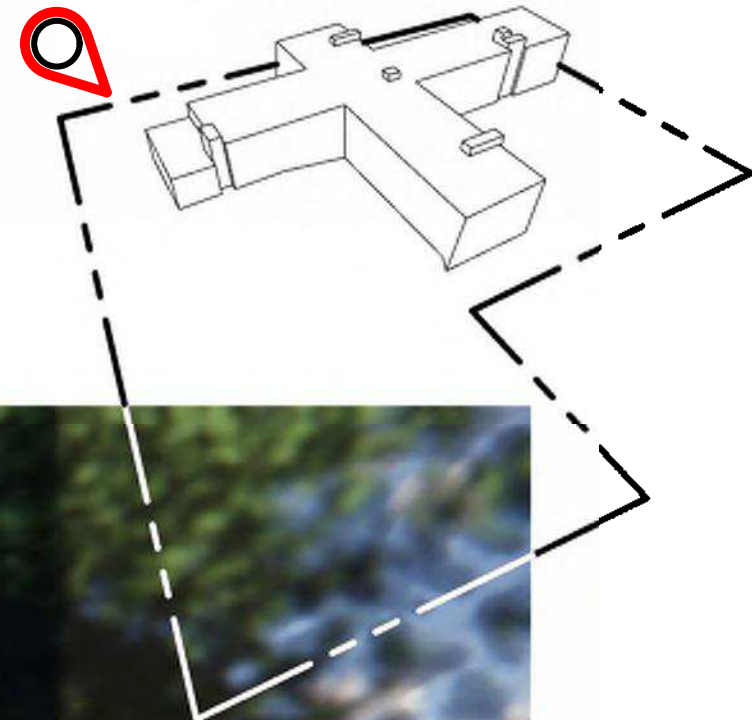
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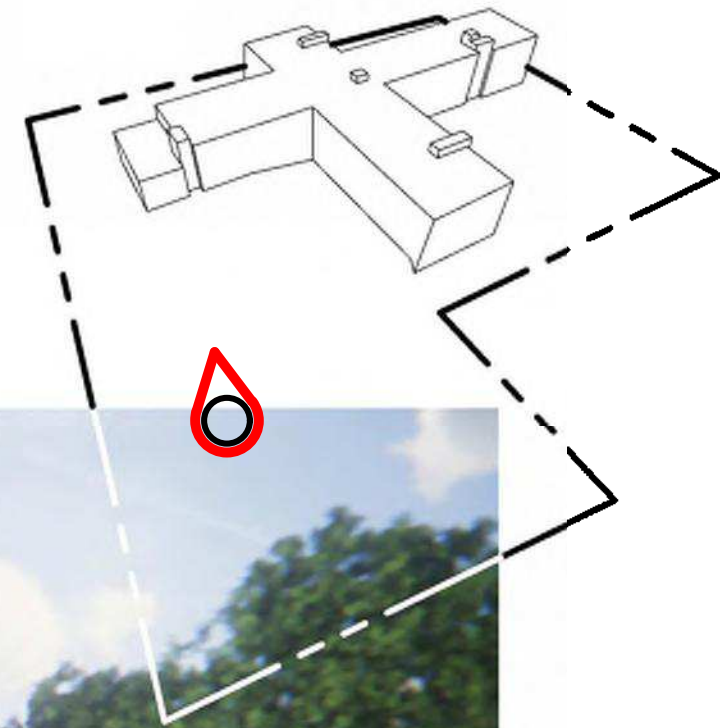
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PERSPECTIVE

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DATE: 02/01/2019

PROJECT #: 18161

PRELIMINARY
PERSPECTIVE

SD-517

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March 19, 2019

Attention: Michael Blackford
City of Gahanna
200 S. Hamilton Rd.
Gahanna, Ohio 43230

Subject: **Project 0 Ridenour Rd Design Review**
National Church Residences Gahanna

Dear Michael Blackford:

We are in receipt of your Project 0 Ridenour Rd Design Review comments for the captioned project dated March 14, 2019. Applicant's comments are provided in **bold**.

Parks

1. I noticed a few weeks ago that many trees in the existing tree line on this property are already marked for removal. I would like to remind that no trees should be removed until plans have been approved. In addition, many existing trees are shown as being saved in this proposed plan. I am in favor of trying to save as many trees as possible on this site since there are many mature, healthy trees. However, saved trees must have a protected critical root zone during the construction process. Many of the trees marked to be saved are in close proximity to the new building. In order to protect these trees, the roots must be protected from compaction and disturbance with a physical fence. Roots often extend well beyond the canopy, or drip line, of a mature tree, and disturbance of these roots could impact the structural integrity and stability of these large trees. If anyone has any specific questions, I am willing to meet on site to discuss the trees and their root zones.

Response: Meeting occurred on site Wednesday, February 27th. Current tree markings do not identify those scheduled for removal. Existing trees are currently being evaluated for removal based on proximity to proposed building perimeter as well as the condition of the existing tree. Trees designated to remain will be protected during construction.

2. As far as the submittal 2 is concerned, I have two comments. My first comment is that the plans call for construction fence at the drip line of existing trees. During our site meeting, we discussed that critical roots often extend far past the drip line. Construction fence should be 1 foot in radius from the base of the tree's trunk for each 1 inch of the tree's diameter at breast height. My second comment is that plans call for the top of the root ball to be 2"-3" above adjacent finish grade. I have a problem with this because trees should be planted where the root flare is even with the finish grade. Sometimes the root flare is buried 2"-3" inches in the root ball, but sometimes, the root flare is not buried that deep. I do not want these trees to be planted too high out of the ground.

Please contact me with any questions or concerns. The trees should be planted according to industry standards (http://www.treesaregood.com/portals/0/docs/treecare/new_treeplanting.df). Please contact me with any questions.

Response: The construction protection will be installed as requested, at a location equal to 1 foot per 1" caliper. Also, the trees will be planted as requested, with root flare even with finish grade.

Fire District

3. The fire department access roadway shall be located within 150 feet of all portions of the building in accordance with Section 503.11 of the 2017 Ohio Fire Code.

503.1.1 Buildings and facilities. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction which are not readily accessible from a public and/or private street. The fire apparatus access road shall comply with the requirements of this paragraph and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

Exceptions:

1. The fire code official is authorized to increase the dimension of 150 feet (45 720 mm) where any of the following conditions occur:

1.1. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with paragraph (C)(3)(a)(i) (90331.1), (C)(3)(a)(ii)(903.3.1.2) or (C)(3)(a)(iii) (903.313) of rule 1301 :7—7—09 of the Administrative Code.

12. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.

1.3. There are not more than two Group R3 or Group U occupancies.

Response: Per our meeting with Fire Marshall Welsh and the City of Gahanna, the requested fire access drive at the north has been provided per the revised plan. Please note the per the discussion, the fire lane is permitted to be 20' minimum in width and must extend to within 100' of the structure.

2. An aerial access roadway shall be required due to the height of the building.

Response: Per our meeting with Fire Marshall Welsh and the City of Gahanna, the requested fire access drive at the north has been provided per the revised plan. Please note the per the discussion, the fire lane is permitted to be 20' minimum in width and must extend to within 100' of the structure.

SECTION D105

AERIAL FIRE APPARATUS ACCESS ROADS

D1051 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

D1052 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

Response: Per our meeting with Fire Marshall Welsh and the City of Gahanna on March 11th, the requested fire access drive at the north has been provided per the revised plan. Please note the per the discussion, the fire lane is permitted to be 20' minimum in width and must extend to within 100' of the structure.

D1053 Proximity to building. One or more of the required access routes meeting this condition shall be located not less than 15 feet (4572 mm) and not greater than 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

Response: Per our meeting with Fire Marshall Welsh and the City of Gahanna on March 11th, the requested fire access drive at the north has been provided per the revised plan. Please note the per the discussion, the fire lane is permitted to be 20' minimum in width and must extend to within 100' of the structure.

0105.4 Obstructions. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official.

Other comments could be made after plans are submitted for review. Comments on fire hydrants and water supply needed will be addressed when the size and type of building has been made. The Fire Inspection Bureau has initially met with the Architect and Engineer in regards to the fire department access roadway. A partial roadway was discussed on the north side of the building to go back part way to allow access to the north side and back to help achieve the 150 foot requirement. The fire division has some latitude to increase the 150 foot requirement if any of the exceptions are met in Section 503.1.1.

Response: *Per our meeting with Fire Marshall Welsh and the City of Gahanna on March 11th, the requested fire access drive at the north has been provided per the revised plan. Please note the per the discussion, the fire lane is permitted to be 20' minimum in width and must extend to within 100' of the structure.*

Building

4. The project will be required to comply with the 2017 Ohio Building Code. Building plan review and permitting will be required for the project.

Response: *Acknowledged*

Community Development

5. A photometric plan needs to be provided. See application for submittal/information requirements.

3/12/19 - Chapter 1163.06(a) limits the average light intensity to 1/2 footcandles. The statistics table indicates an average of 1.4 footcandles. A revision to the plan or a variance will be required. Staff has some concerns with the level of lighting along the southern property line since this is along a property boundary and not internal to the site.

Response: *The requested photometric plan has been prepared and submitted as part of this response along with a revised statement of practical difficulty requesting variances for lighting levels at the south property line. Please note that the adjacent property use at the south property line is also a parking surface. The designed fixture coverage has been reduced to 1.8 FC by using a lower wattage LED fixture, additionally a 3-foot extension arm has been added to the fixture poles at the south property line, moving the fixture to the north slightly.*

6. 3/12/19 - The variance statement indicates that there will be a privacy fence along the southern property line in the area of the parking lot. The fence needs to be shown on the site plan. Fencing details such as height, style, and materials needs to be indicated. Please include additional details regarding the proposed privacy fence.

Response: *Proposed privacy fence details have been added to the submission; vinyl fence, 6' in height.*

7. 3/12/19 - Chapter 1197.09(b)(1)(4) requires parking lot lighting to be metal halide. The photometrics plan indicates led lighting. A variance or a revision will be necessary.

Response: *The requested photometric plan has been prepared and submitted as part of this response along with a revised statement of practical difficulty requesting variances for the type of fixture.*

8. 3/12/19 - Chapter 1167.18(c) requires the details of the dumpster screen (style, material, height) to be shown in order for Planning Commission to determine its appropriateness. Additionally, landscaping, preferable pines and evergreens are required. Please revise the landscape plan to depict landscaping of the dumpster enclosure. Please revise the drawings to indicate dumpster details.

Response: *Proposed dumpster screen fence details have been added to the submission; vinyl fence, 6' in height.*

Public Service & Engineering

9. No Comment.

Public Safety

10. No Comment Received.

Soil & Water Conservation District
11. No Comment Received.

End of Report

We trust this correspondence adequately responds to your review comments, however, should you require anything else please do not hesitate to contact us.

Sincerely,


Jon Holway,
Architect / Principal

cc: George Tabit
David Hodge

National Church Residences
Underhill & Hodge LLC



March 27, 2019

National Church Residences
2335 N Bank Dr
Columbus, Oh 43220

RE: Project 0 Ridenour Rd

Dear National Church Residences:

The following comments were generated from the review of the submitted plans and documents for the referenced project. For the next submittal, please provide a disposition of comments, revised plans, and/or other information as requested for further review. The disposition of comments needs to include both the original comment and the appropriate response. If desired, these comments can be emailed. Re-submitted plans that do not include the disposition of comments document will not be reviewed and will be returned to you.

Parks

1. Informational Comment - I noticed a few weeks ago that many trees in the existing tree line on this property are already marked for removal. I would like remind that no trees should be removed until plans have been approved. In addition, many existing trees are shown as being saved in this proposed plan. I am in favor of trying to save as many trees as possible on this site since there are many mature, healthy trees. However, saved trees must have a protected critical root zone during the construction process. Many of the trees marked to be saved are in close proximity to the new building. In order to protect these trees, the roots must be protected from compaction and disturbance with a physical fence. Roots often extend well beyond the canopy, or drip line, of a mature tree, and disturbance of these roots could impact the structural integrity and stability of these large trees. If anyone has any specific questions, I am willing to meet on site to discuss the trees and their root zones.
2. Informational Comment - As far as the submittal 2 is concerned, I have two comments. My first comment is that the plans call for construction fence at the drip line of existing trees. During our site meeting, we discussed that critical roots often extend far past the drip line. Construction fence should be 1 foot in radius from the base of the tree's trunk for each 1 inch of the tree's diameter at breast height. My second comment is that plans call for the top of the root ball to be 2"-3" above adjacent finish grade. I have a problem with this because trees should be planted where the root flare is even with the finish grade. Sometimes the root flare is buried 2"-3" inches in the root ball, but sometimes, the root flare is not buried that deep. I do not want these trees to be planted too high out of the ground. The trees should be planted according to industry standards (http://www.treesaregood.com/portals/0/docs/treecare/new_treeplanting.pdf).

Please contact me with any questions or concerns.

3. I am happy with the proposed landscape plan. There is a nice diversity of native trees with a proposed vegetative barrier for neighbors to the west of the project.

Fire District

200 S. Hamilton Rd. Gahanna, Ohio 43230
614.342.4010 (Phone) 614.342.4100 (Fax)

4. 1. The fire department access roadway shall be located within 150 feet of all portions of the building in accordance with Section 503.11 of the 2017 Ohio Fire Code.
- 503.1.1 Buildings and facilities. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction which are not readily accessible from a public and/or private street. The fire apparatus access road shall comply with the requirements of this paragraph and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the

building or facility.

Exceptions:

1. The fire code official is authorized to increase the dimension of 150 feet (45 720 mm) where any of the following conditions occur:
- 1.1. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with paragraph (C)(3)(a)(i) (903.3.1.1), (C)(3)(a)(ii) (903.3.1.2) or (C)(3)(a)(iii) (903.3.1.3) of rule 1301 :7—7—09 of the Administrative Code.
12. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.

- 1.3. There are not more than two Group R3 or Group U occupancies.
2. An aerial access roadway shall be required due to the height of the building.

SECTION D105

AERIAL FIRE APPARATUS ACCESS ROADS

D1051 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

D1052 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

D1053 Proximity to building. One or more of the required access routes meeting this condition shall be located not less than 15 feet (4572 mm) and not greater than 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

D105.4 Obstructions. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official. Other comments could be made after plans are submitted for review. Comments on fire hydrants and water supply needed will be addressed when the size and type of building

has been made. The Fire Inspection Bureau has initially met with the Architect and Engineer in regards to the fire department access roadway. A partial roadway was discussed on the north side of the building to go back part way to allow access to the north side and back to help achieve the 150 foot requirement. The fire division has some latitude to increase the 150 foot requirement if any of the exceptions are met in

Section 503.1.1.

Building

5. The project will be required to comply with the 2017 Ohio Building Code. Building plan review and permitting will be required for the project.

Public Service & Engineering

6. No Comment.

Public Safety

7. No Comment Received.

Soil & Water Conservation District

8. No Comment Received.

If you have any comments or questions, please contact me at michael.blackford@gahanna.gov or (614) 342-4029.

Sincerely,

Michael Blackford
Deputy Director



PLANNING AND DEVELOPMENT STAFF REPORT

Request Summary

This is a request for final development plan (FDP), design review (DR), and variance approval to permit the development of a new nursing and personal care facility. The project recently went through the rezoning and conditional use process to allow for the use. Additionally, the applicants conducted a workshop with Planning Commission in January to discuss details of the development such as building height, access, architecture, and tree preservation. The proposed development is substantially similar to what was previously shown during the workshop, rezoning and conditional use requests.

The application proposes a three and four story building housing 92 units of senior living. The four story portion of the building is located closer to Olde Ridenour Rd while the three story portion is located to the west of the site, closer to single family residential. The location of the building, parking, and topographic conditions has resulted in the need for variances. These variances will be discussed later in the report.

A rezoning to Multifamily Residential (MFRD) was approved on February 4, 2019. The plan of development included in the rezoning application was substantially similar to this proposed plan. Details such as number of units, building location, building height, etc are identical or nearly identical to what was previously depicted. MFRD permits nursing and personal care facilities with a conditional use. The conditional use has specific requirements for setbacks, buffering, lot coverage, and height. Height is limited to 35 feet unless approved by Planning Commission. Planning Commission may approve a building height over 35 feet if they deem it appropriate. The proposal is for a building height of 58 feet.

Final Development Plan

Planning Commission shall approve an FDP application if the following four conditions are met:

- A. The proposed development meets the applicable development standards of this Zoning Ordinance.
- B. The proposed development is in accord with appropriate plans for the area.
- C. The proposed development would not have undesirable effects on the surrounding area.
- D. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

Design Review

The property is zoned MFRD with an overlay and therefore subject to the standards of Design Review District 2 (DRD-2). Relevant standards include the following:

PROJECT DETAILS

FDP, DR, VARIANCE: PERMIT
4 STORY, 129 BED SENIOR
LIVING FACILITY

PROPERTY SIZE: 4.2 ACRES

STAFF RECOMMENDATION:
REQUEST CONSISTENT
WITH RECENTLY APPROVED
REZONING AND
CONDITIONAL USE



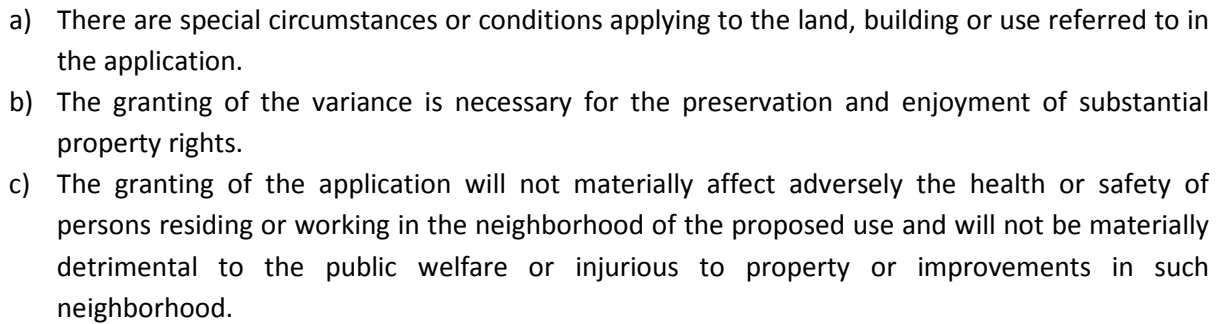
- Parking – General layout of the parking area shall integrate a diverse use of vegetation and define patterns of vehicular and pedestrian traffic.
- Lighting – Shall be metal halide.
- Landscaping – Preserving and enhancing sensitive areas within the development will be a major consideration.
- Landscaping – Open space and diverse arrangement of landscaping are issues that should be explored to maintain the rural residential character of the community.
- Building Materials – The visual effect of the development should complement the surrounding structures.
- Building Materials – Quality materials that will enhance the development should be used.

Variance

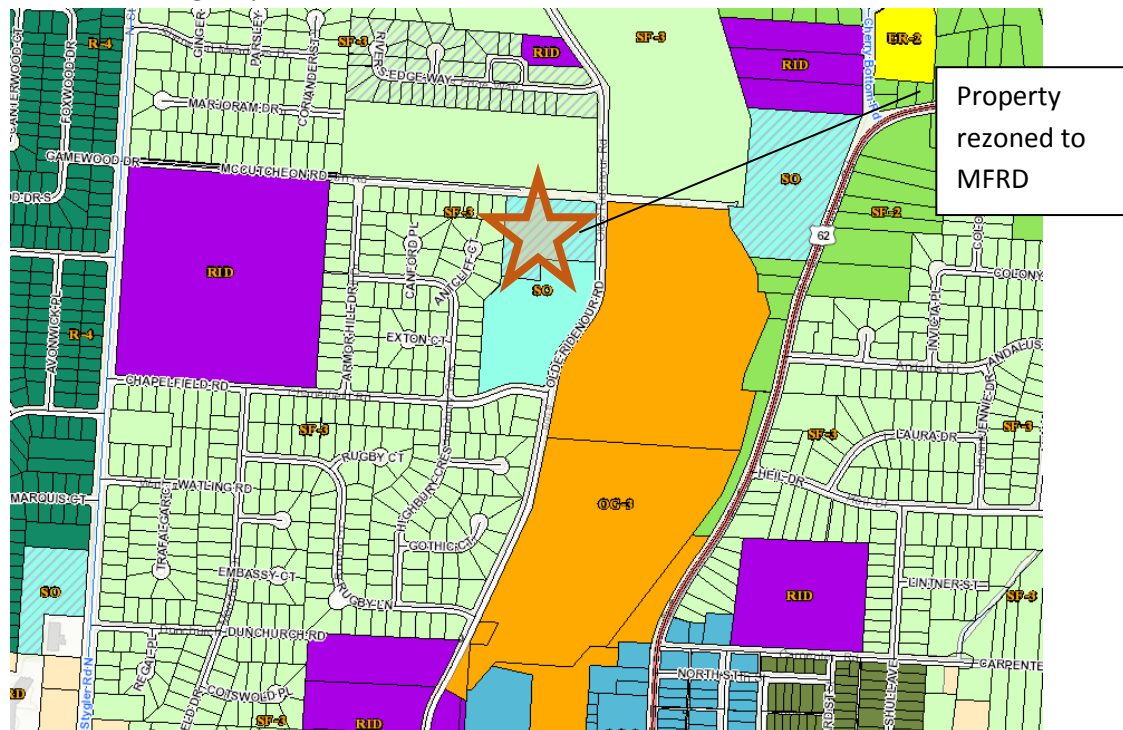
Five variances have been request to the zoning code which include the following:

- Chapter 1149.02(e)(1) – Conditional use setbacks for building and parking.
 - The applicant is requesting a 0 foot setback for parking along the southern boundary adjacent to the rehabilitation facility. The building will meet the setback requirement but not parking. Allowing parking to encroach into this setback will allow for the site to maintain maximum separation from the single family residential area to the west.
- Chapter 1163.06(a) – Lighting Standards
 - The code limits the intensity of lighting to an average intensity of ½ foot candle. This standard has been difficult for projects to achieve. The applicant's photometric plan shows an average intensity of 1 foot candle.
- Chapter 1167.15(b) – Building Lines Established
 - The applicant is requesting a variance to allow for a 15' parking setback along Olde Ridenour Road. The code requires a 25' setback
- Chapter 1167.20(b)(1) – Property Perimeter Requirements
 - The code requires a 15' buffer between residential and office zoned properties. The applicant is requesting a 0' setback adjacent to the Suburban Office zoned property that is occupied by a rehabilitation facility. Parking is proposed in this area in lieu of the buffer. Staff doesn't object to this variance as both uses (rehab and senior living) are substantially similar in scale and intensity. Additionally, by granting the variance, this allows for a greater separation between the development of the site and the single family to the west.
- Chapter 1197.09(b)(1)(A)(4) – Lighting
 - The code requires multifamily projects to provide metal halide lighting. This requirement is unique to multifamily zoned properties. The applicant is proposing LED lighting.

Planning Commission shall not grant a variance unless it finds that all of the following conditions apply:



Location/Zoning Map



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