

## VARIANCE APPLICATION

PLEASE NOTE: This application is not to be considered complete until all documents are received and approved by the Planning & Zoning Administrator.

Project/Property Address or Location:		Project Name/Business Name (if applicable): National Church Residences	
Parcel ID No(s): 025-013236	Current Zoning: L-MFRD	Total Acreage: +/- 4.19	
Description of Variance Requested: Applicant requests variances from Sections 1149.02(e)(1) and 1167.20(b)(1) to reduce side yard and buffer requirements along the south property line. See attached Statement of Practical Difficulty.			
STAFF USE ONLY – Code Section(s) & Description of Variance: 1149.02(e)(1) Conditional Use Setbacks 1163.06(a) Lighting Standards 1167.15(b) Building Lines Established 1167.20(b)(1) Property Perimeter Requirements 1197.09(b)(1)(A)(4) Lighting			
APPLICANT Name (primary contact) -do not use a business name: National Church Residences c/o George Tabit, VP		Applicant Address: 2245 North Bank Drive	
Applicant E-mail: gtabit@nationalchurchresidences.org		Applicant Phone No.:	
BUSINESS Name (if applicable): National Church Residences			
ATTORNEY/AGENT Name: David Hodge, Underhill & Hodge, LLC		Attorney/Agent Address: 8000 Walton Parkway, Suite 260, New Albany, Ohio	
Attorney/Agent E-Mail: david@uhlfirm.com		Attorney/Agent Phone No.: 614-335-9320	
ADDITIONAL CONTACTS (please list all applicable contacts)			
Name(s):		Contact Information (phone no./email):	
Contractor			
Developer			
Architect Jonathan Leonard - Berardi Partners		614-221-1110 / jleonard@berardipartners.com	
PROPERTY OWNER Name: (if different from Applicant) Christian Meeting Room, Inc.		Property Owner Contact Information (phone no./email):	

**APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED** (see page 2)

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature: David Hodge - Attorney Date: 3/6/19  
THIS FORM IS AVAILABLE TO BE SUBMITTED ONLINE: [www.gahanna.gov](http://www.gahanna.gov)

INTERNAL USE

Zoning File No. V-00402019  
PC Meeting Date: \_\_\_\_\_  
PC File No. \_\_\_\_\_

RECEIVED: KAW  
DATE: 3-7-19

PAID: \$500.00  
DATE: 3-7-19  
CHECK#: 2543



**ZONING DIVISION**  
 200 S. Hamilton Road  
 Gahanna, Ohio 43230  
 614-342-4025  
 zoning@gahanna.gov  
 www.gahanna.gov

## VARIANCE APPLICATION – SUBMISSION REQUIREMENTS

PLEASE NOTE: This application is not to be considered complete until all documents are received and approved by the Planning & Zoning Administrator.

STAFF USE - INTAKE	TO BE COMPLETED/SUBMITTED BY THE APPLICANT:	APPLICANT		STAFF USE	
		YES	N/A	YES	N/A
	1. Review Gahanna Code <u>Section 1131</u> (visit <a href="http://www.municode.com">www.municode.com</a> ) (Sign Variances, refer to Section <u>1165.12</u> ; Fence Variances, <u>1171.05</u> ; Flood Plain Variances, <u>1191.18</u> )				
	2. Pre-application conference with staff				
	3. Survey of property certified by a registered surveyor (11"x17" copy)				
	4. List of contiguous property owners & their mailing address				
	5. Pre-printed mailing labels for all contiguous property owners				
	6. A statement of the reason(s) for the variance request that address the following three conditions: (not applicable for Sign, Fence, or Flood Plain Variances) - Special circumstances or conditions - Necessary for preservation - Will not materially affect adversely the health or safety				
	7. Application fee paid (in accordance with the <u>Building &amp; Zoning Fee Schedule</u> )				
	8. Application & all supporting documents submitted in digital format				
	9. Application & all supporting documents submitted in hardcopy format				
	10. Authorization Consent Form Complete & Notarized (see page 3)				

## APPLICATION ACCEPTANCE

INTERNAL USE

This application has been reviewed and is considered complete and is hereby accepted by the Zoning Division of the City of Gahanna and shall be forwarded to the City of Gahanna Planning Commission for consideration.

☐ Planning Commission must recommend to City Council for final approval

Planning & Zoning Administrator Signature: \_\_\_\_\_

Date: \_\_\_\_\_

3/27/19



### AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

#### AUTHORIZATION FOR OWNER'S APPLICANT OR REPRESENTATIVE(S) If the applicant is not the property owner, this section must be completed & notarized.

I, Brian Kenimer, the owner or authorized owner's representative of the subject property listed on this application, hereby authorize Underhill & Hodge, LLC to act as my applicant or representative(s) in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature:  Date: 10/5/2018

#### AUTHORIZATION TO VISIT THE PROPERTY

I, Brian Kenimer, the owner or authorized owner's representative of the subject property listed on this application, hereby authorize City representatives to visit, photograph and post notice (if applicable) on the property as described in this application.

Property Owner Signature:  Date: 10/5/2018

Subscribed and sworn to before me on this 5<sup>TH</sup> day of OCTOBER, 2018

State of Ohio County of FRANKLIN

Notary Public Signature: 



P. Frederick Kenimer, Notary Public  
In and For the State of Ohio  
My Commission Expires January 14, 2022

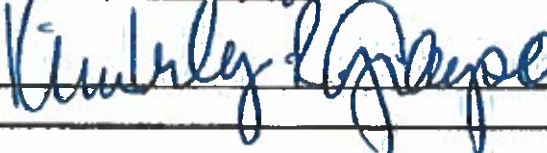
#### AGREEMENT TO COMPLY AS APPROVED

I, National Church Residences, the applicant of the subject property listed on this application, hereby agree that the project will be completed as approved and any proposed changes to the approved plans shall be submitted for review and approval to the Zoning Division staff.

Applicant Signature:  Date: 10/18/18

Subscribed and sworn to before me on this 8<sup>th</sup> day of October, 2018

State of Ohio County of Franklin

Notary Public Signature: 



KIMBERLY R. GRAYSON  
Notary Public, State of Ohio  
My Commission Expires  
January 11, 2021

## **STATEMENT OF PRACTICAL DIFFICULTY**

**PARCEL:** 025-013236  
**SIZE:** +/- 4.19 acres  
**ZONING:** L-MFRD  
**OWNER:** Christian Meeting Room, Inc.  
**APPLICANT:** National Church Residences, c/o George Tabit  
**ATTORNEY:** David Hodge, Underhill & Hodge, LLC  
**DATE:** March 19, 2019

The Site is located at the southwest corner of Old Ridenour Road and unimproved McCutcheon Road. The Site is bordered by McCorkle Park to the north, the Gahanna Municipal Golf Course to the east, property zoned SO, Suburban Office and used as a substance abuse treatment center to the south, and property zoned SF3, Single Family Residential, to the west.

The Site was rezoned in 2005 from SO, Suburban Office, to RID, Restricted Institutional District and then again in 2015 to the L-SO, Limited Suburban Office District. The Site was recently rezoned from L-SO to L-MFRD, Limited Multi-Family Residential District. Concurrent with the rezoning, the Applicant applied for a conditional use pursuant to Gahanna Code of Ordinances Section 1149.02(a) and (e) to permit the development of a nursing and personal care facility with 93 suites.

The Applicant subsequently applied for Design Review and Development Plan. The following variances are necessary to develop the Site:

1. 1149.02(e)(1) – Conditional Uses – 805 Uses. Under this section, minimum building setbacks shall be 25 feet for the front, side, and rear yard unless adjacent to properties zoned single-family. The minimum setback when adjacent to single-family shall be a minimum of 50 feet. Applicant requests a variance to reduce the side yard setback from the south property line to zero feet for pavement, consistent with the manner in which this provision has been administered historically attributing the building setback requirements to pavement setbacks.
2. 1167.20(b)(1) – Property Perimeter Requirements. Under this section, any residential zone adjoining any office zone is required to provide a 15-foot buffer zone and shall include one tree for each 40 feet of linear boundary, or fraction thereof, and a continuous six-foot-high planting, hedge, fence, wall or earth mound. Applicant requests a variance to eliminate the required property buffer along a portion of the south property line. The applicant proposes meeting the spirit of the requirement by providing a six-foot privacy fence with a minimum opacity of 70 percent above a retaining wall along the southern boundary at surface parking areas.
3. 1167.15(b) – Building Lines Established. Under this section, along every street right-of-way, a building line shall be established from the right-of-way a distance of 25 feet in



MFRD (AR-1) Districts. Applicant requests a variance to reduce the parking setback from 25 feet to 15 feet from Old Ridenour Road.

4. 1163.06(a) – Lighting. Under this section, any nonresidential parking area with ten or more off-street parking spaces and any residential parking area with 20 or more off-street parking spaces shall be illuminated during poor visibility to provide an average intensity of one-half foot candles of light as measured at the parking surface area. Applicant requests a variance to increase the illumination of the off-street parking area to an average intensity of one-foot candles of light as measured at the parking surface area.
5. 1197.09(b)(1)(A)(4) – Design Review District Standards, Lighting. Under this section, parking lighting in multi-family developments shall be metal halide. Applicant requests a variance to allow the development to provide L.E.D. lighting rather than metal halide lighting.

The approval of the requested variances will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the proposed use and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood. The Site is adjacent to parkland on the north and east, as well as a drug rehabilitation facility. Therefore, the posed development will be in keeping with the existing land use character and physical development potential of the area. These variances promote the sensitive development of the property, with development being situation in a manner to preserve as many trees as feasible, making use of the existing site topography, and preserving and enhancing the residential buffer to the west. The necessary variances are minimal, and focused in one are on the property, adjacent to the office zoned, substance abuse treatment facility along the southern perimeter of the property.

The applicant respectfully requests approval of the requested appropriate variances in conjunction with its Development Plan and Design Review Applications.

Respectfully submitted,



---

David Hodge

4.190 Acres

Situate in the State of Ohio, County of Franklin, City of Gahanna, lying in Quarter Township 1, Township 1, Range 17, United States Military Lands and being part of the 11.026 acre tract conveyed as Reserve "A" of "IMPERIAL RISE PLAT No. 3", a subdivision of record in Plat Book 46, Page 82, to S.S. Realty, LLC by deed of record in Instrument No. 199901290024434, (all references refer to the records of the Recorder's Office, Franklin County, Ohio) and more particularly bounded and described as follows:

BEGINNING at an iron pin found in the southerly right-of-way line of McCutcheon Road at the northwesterly corner of said Reserve "A";

The following two (2) courses and distances along said southerly right-of-way line of McCutcheon Road and northerly line of said Reserve "A":

1. Thence South  $85^{\circ} 34' 11''$  East, a distance of 462.88 feet, to an iron pin found at a point of curvature;
2. Thence along the arc of said curve to the right having a central angle of  $86^{\circ} 55' 01''$ , a radius of 20.00 feet and a chord bearing South  $42^{\circ} 06' 40''$  East, a chord distance of 27.51 feet, to an iron pin found at a point of tangency in the westerly right-of-way line of Ridenour Road and easterly line of said Reserve "A";

Thence South  $01^{\circ} 20' 50''$  West, a distance of 300.82 feet, along said westerly right-of-way line of Ridenour Road and easterly line of said Reserve "A", to an iron pin set;

The following three (3) courses and distances across said Reserve "A":

1. Thence North  $87^{\circ} 21' 03''$  West, a distance of 292.54 feet, to an iron pin set;
2. Thence South  $00^{\circ} 03' 16''$  West, a distance of 115.30 feet, to an iron pin set;
3. Thence North  $81^{\circ} 54' 34''$  West, a distance of 215.87 feet, to an iron pin set in the westerly line of said Reserve "A";

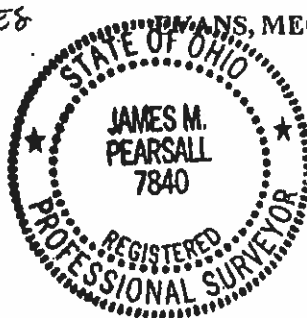
Thence North  $04^{\circ} 25' 49''$  East, a distance of 429.58 feet, to the POINT OF BEGINNING.  
Containing 4.190 acres, more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

The bearings in the above description are based on the same meridian as the centerline of McCutcheon Road as shown on the recorded plat of Imperial Rise Plat No. 3 as shown in Plat Book 46, Page 82, Recorder's Office, Franklin County, Ohio, having a bearing of South  $85^{\circ} 34' 11''$  East.

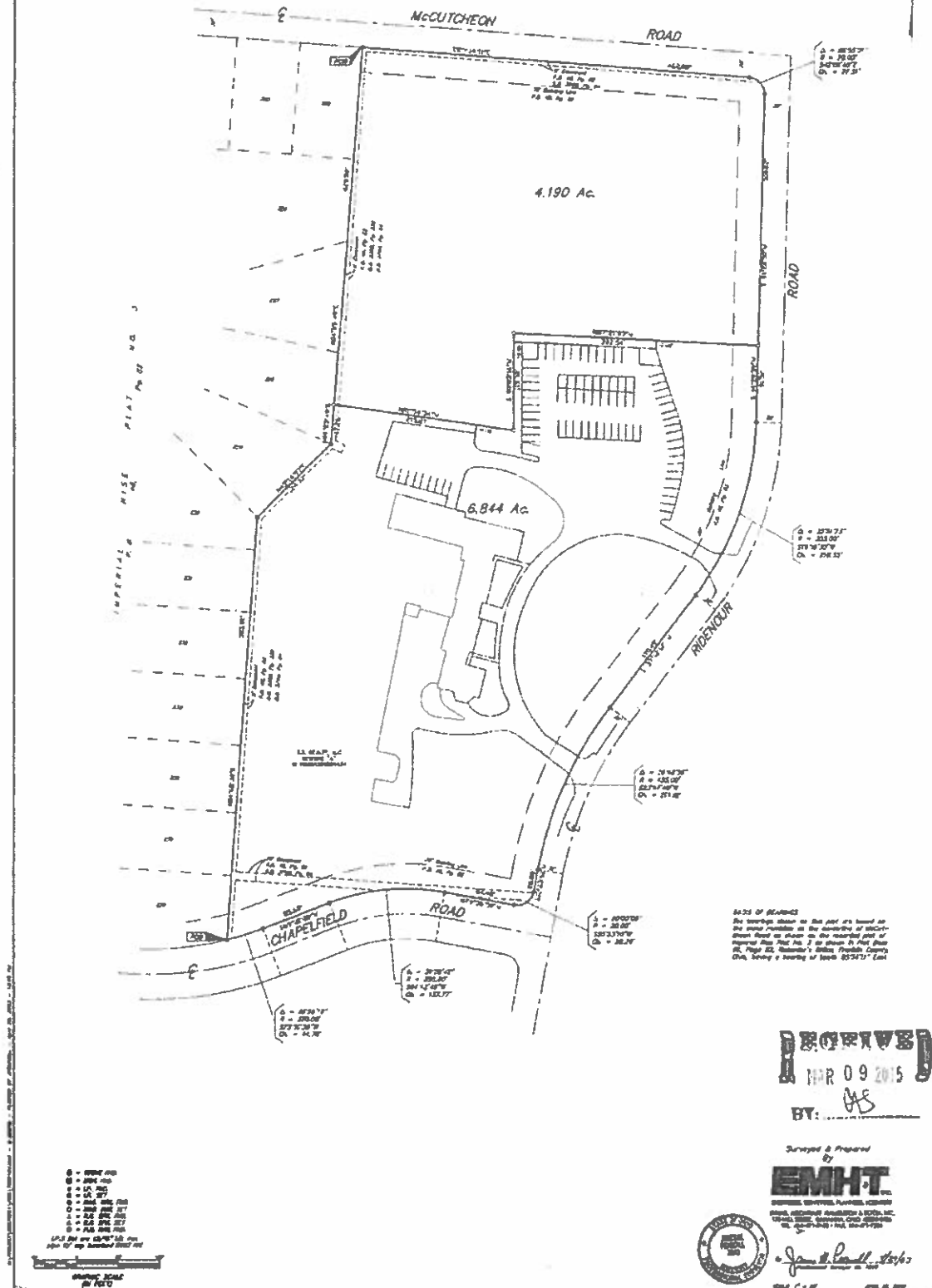
N-160-EF  
ALL OF 4.190 ACRES  
ON SPLIT FROM  
(025) 4803



EVANS, MECHWART, HAMBLETON & TILTON, INC.  
*James M. Pearsall* 4/29/03  
James M. Pearsall Date  
Registered Surveyor No. 7840

**ORD-0073-2015**

SURVEY OF  
Reserve "A"  
"IMPERIAL RISE PLAT NO. 3"  
Quarter Township 1, Township 1, Range 17  
United States Military Lands  
City Of Gahanna, Franklin County, Ohio





**APPLICANT:**

National Church Residences Development  
Corporation  
2335 North Bank Drive  
Columbus, Ohio 43220

**PROPERTY OWNER:**

Christian Meeting Room, Inc.  
396 Sandburr Drive  
Columbus, Ohio 43230

**ATTORNEY:**

Underhill & Hodge LLC  
8000 Walton Parkway, Suite 260  
New Albany, Ohio 43054

**SURROUNDING PROPERTY OWNERS:**

Robert and Georgia Kelley  
396 Antcliff Court  
Columbus, Ohio 43230

Michael Wolfe  
343 Flint Ridge Drive  
Columbus, Ohio 43230

Ivan Stefanov and Elina Vayntraub  
380 Antcliff Court  
Columbus, Ohio 43230

Juan Sanchez and Paloma Pena  
374 Antcliff Court  
Columbus, Ohio 43230

Pavilion Midland LLC  
c/o 10866 Wilshire Boulevard, Suite 1250  
Los Angeles, California 90024

Kyle and Danielle Fabing  
153 McCutcheon Road  
Columbus, Ohio 43230

Paul and Angel Lacey  
161 McCutcheon Road  
Columbus, Ohio 43230

City of Gahanna  
200 South Hamilton Road  
Columbus, Ohio 43230

Village of Gahanna  
200 South Hamilton Road  
Columbus, Ohio 43230

# INDEX OF SHEETS

Title Sheet  
Topographic Survey  
Topographic Survey  
Demolition Plan  
Staking Plan  
Staking Details  
Grading Plan  
Utility Plan  
Parking Plan  
Landscape Plan  
Site Details

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C-002  
C-003  
C-004  
C-100  
C-101  
C-200  
C-300  
A-101  
L1.01  
L2.01

# CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

# NATIONAL CHURCH

# RESIDENCES - GAHANNA

## FINAL DEVELOPMENT PLAN

## 2019

NCR  
GAHANNA

GAHANNA, OH

©2018 BY:  
BERARDI + PARTNERS, INC.  
ARCHITECTS AND ENGINEERS  
ALL RIGHTS RESERVED

THE ARRANGEMENTS DEPICTED HEREIN ARE THE  
SOLE PROPERTY OF BERARDI + PARTNERS, INC.,  
ARCHITECTS AND ENGINEERS, AND MAY NOT BE  
REPRODUCED WITHOUT ITS WRITTEN PERMISSION

NOTE:  
1. ALL BIDDERS SHALL VISIT THE SITE AND  
BECOME FAMILIAR WITH THE EXISTING CONDITIONS  
AND REQUIREMENTS OF THE PROJECT AND  
SHALL NOTIFY THE ARCHITECT OF ANY ERRORS  
AND OMISSIONS SUBSEQUENTLY DISCOVERED IN  
THE CONTRACT DOCUMENTS.

2. THE CONTRACT DOCUMENTS ARE COMPOSED  
OF THE DRAWINGS AND THE PROJECT MANUAL IN  
THEIR ENTIRETY. THE INFORMATION IN THESE  
DOCUMENTS IS DEPENDENT UPON AND  
COMPLEMENTARY OF EACH OTHER.

3. SEPARATION OF THE CONTRACT DOCUMENTS  
SHALL NOT BE PERMITTED. IF THE CONTRACTOR  
CHOICES TO SEPARATE THE DOCUMENTS, THEY  
DO SO AT THEIR OWN RISK AND EXPENSE.

4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS  
(ARCHITECT) DRAWINGS AND SPECIFICATIONS  
INCLUDING ALL DOCUMENTS ON ELECTRONIC  
MEDIA AS INSTRUMENTS OF THE CONSULTANTS  
(ARCHITECT) PROFESSIONAL SERVICE. THE  
CLIENT SHALL NOT REUSE OR MAKE OR PERMIT  
TO BE MADE ANY MODIFICATION TO THE  
DRAWINGS AND SPECIFICATIONS WITHOUT THE  
PRIOR WRITTEN AUTHORIZATION OF THE  
CONSULTANT (ARCHITECT). THE CLIENT AGREES  
TO WAIVE ANY CLAIM AGAINST THE CONSULTANT  
(ARCHITECT) ARISING FROM ANY UNAUTHORIZED  
TRANSFER, REUSE OR MODIFICATION OF THE  
DRAWINGS AND SPECIFICATIONS.

5. ARCHITECT CANNOT WARRANT THE ACCURACY  
OF DATA CONTAINED HEREIN. ANY USE OR REUSE  
OF ORIGINAL OR ALTERED CAD DESIGN  
MATERIALS BY THE USER OR OTHER PARTIES  
WITHOUT THE REVIEW AND WRITTEN APPROVAL  
OF THE ARCHITECT SHALL BE AT THE SOLE RISK  
OF THE USER. FURTHERMORE, USER AGREES TO  
DEFEND, INDEMNIFY, AND HOLD ARCHITECT  
HARMLESS FROM ALL CLAIMS, DAMAGES,  
LOSSES, EXPENSES, AND ATTORNEY  
FEES ARISING OUT OF THE MODIFICATION OR  
REUSE OF THESE MATERIALS.

6. THESE DRAWINGS AS PART OF THE CONTRACT  
DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT  
INTENDED TO DEFINE EXACT QUANTITIES.  
LOCATIONS OR COVERED REQUIREMENTS. THE  
DRAWINGS SHALL NOT BE SCALED. EXACT  
STATE AND LOCAL CODE REQUIREMENTS AND  
OTHER APPLICABLE CODE REQUIREMENTS  
SHALL BE VERIFIED BY AND ARE THE SOLE  
RESPONSIBILITY OF THIS CONTRACTOR. ANY  
INFORMATION WHICH DIRECTLY CONFLICTS WITH  
ANY OF THESE CODES OR ANY DISCREPANCIES  
FOUND IN THE CONTRACT DOCUMENTS SHALL BE  
BROUGHT TO THE ATTENTION OF THE PROJECT  
ARCHITECT.

7. THE CITY OF GAHANNA SIGNATURES ON THIS PLAN SIGNIFIES ONLY  
CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE  
PROPOSED IMPROVEMENT. ALL TECHNICAL DETAILS REMAIN THE  
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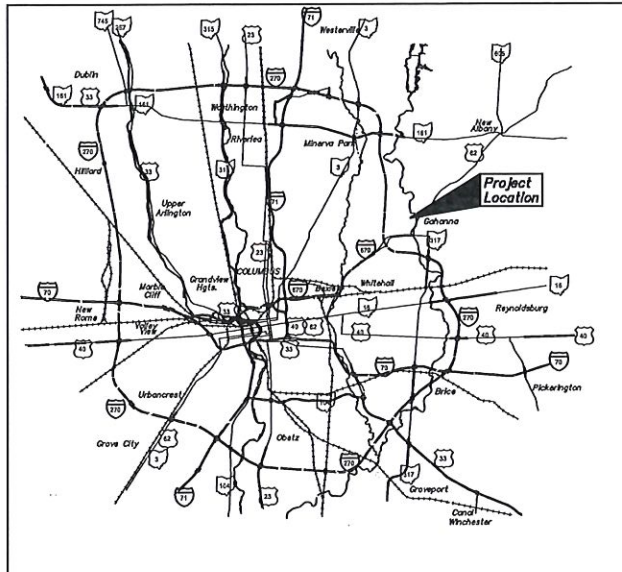
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LOCATION MAP

NTS

THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT AND THAT ALL OF THE MINIMUM STANDARDS HAVE BEEN MET, INCLUDING THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN MY OPINION, THEY ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. ANY VARIANCES TO THE ABOVE STANDARDS ARE CONSISTENT WITH SOUND ENGINEERING PRACTICES AND ARE NOT DETRIMENTAL TO THE PUBLIC SAFETY AND CONVENIENCE. THESE VARIANCES HAVE BEEN LISTED HEREIN AND HAVE BEEN APPROVED BY THE CITY ENGINEER.

PREPARED BY:  
**KORDA**

Korda/Nemeth Engineering, Inc. - Consulting Engineers  
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010  
TEL 614-487-1650 • WEB www.korda.com

REGISTERED ENGINEER NO. \_\_\_\_\_ DATE \_\_\_\_\_

APPROVALS, CITY OF GAHANNA

THE CITY OF GAHANNA SIGNATURES ON THIS PLAN SIGNIFIES ONLY  
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DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_  
CITY OF GAHANNA, OHIO

WATER RESOURCES ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
CITY OF GAHANNA, OHIO

DIRECTOR OF PUBLIC SERVICE \_\_\_\_\_ DATE \_\_\_\_\_  
CITY OF GAHANNA, OHIO

DIVISION OF FIRE \_\_\_\_\_ DATE \_\_\_\_\_  
CITY OF GAHANNA, OHIO

## DESIGN DEVELOPMENT

DATE: 3/20/2019  
PROJECT #: 18161



## TITLE SHEET

C-000

**KORDA**  
KORDA/NEMETH ENGINEERING  
1650 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215  
DRAWN BY: CMZ  
DESIGNED BY: CMZ  
CHECKED BY: CMZ  
PROJECT NUMBER: 2018-0417

**BERARDI+**  
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING  
1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212  
P 614.221.1110 berardi@partners.com

General Zoning and Project Information	
Address:	0 Ridenour Road
Parcel No.:	025-013236-00
Existing Zoning Classification/District:	L-MFRD
Zoning Case No.:	ORD-0003-2019
Total Site Area:	188,944 SF/4.34 Ac
Front Parking Setback:	25'
Side Parking Setback:	25'
Front Building Setback:	25'
Side Building Setback:	25'
Rear Building Setback:	50' (Adjacent to Residential District)
Proposed Building Height:	51' Main Building Parapet Height* 58' Stair and Elevator Height*
Building Use:	Independent Senior Living
Building Area (SF):	33,500
Maximum Lot Coverage:	50%
Proposed Building Lot Coverage:	18%
Proposed Total Lot Coverage:	41%
Area of Uncovered Land:	112,228 SF/2.58 Ac
Total Impervious Area (Building):	33,500 SF/0.77 Ac
Total Impervious Area (Parking and Other Pavements):	43,216 SF/0.99 Ac

\* Heights are based off of Building First Floor Elevation. Grade varies at the perimeter of the proposed building.

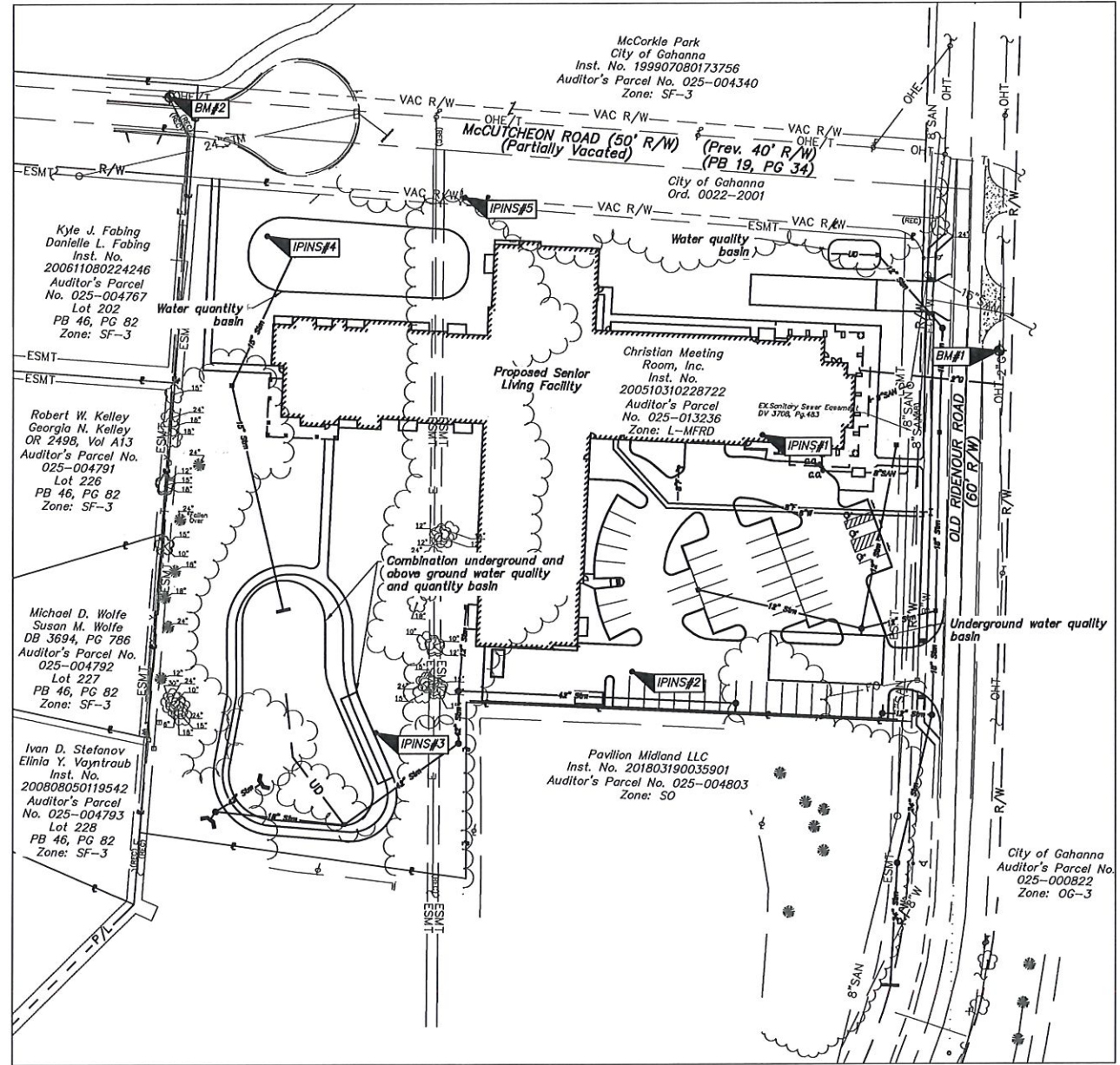
Parking Calculation			
Use	Criteria	Unit	Spaces Required
Independent Senior Living	1 Space/4 Beds	129 Beds	33
	1 Space/Employee (Max Shift)	8 Employees	8
	Required Parking		41
	Proposed Parking		99
	Required ADA Parking (van/total)		1/2
	Proposed ADA Parking (van/total)		1/6

Unit Totals:  
55 One Bedroom Units = 55 Beds  
37 Two Bedroom Units = 74 Beds  
Total Beds = 129 Beds

## VARIANCE SUMMARY

Variance application and information under a separate submission.  
Variances include:

1. Lot Density (1149.03 - Development Standards)
2. Parking Setback on south property line.



INDEX MAP

1" = 50'



**OWNER/DEVELOPER**  
National Church Residences  
2245 North Bank Drive  
Columbus, OH 43220  
Phone: 614-582-5394  
Contact: George Tabit  
Email: gtabit@nationalchurchresidences.org

**ARCHITECT**  
Berardi  
1398 Goodale Boulevard  
Columbus, OH 43215  
Phone: 614-221-1110  
Contact: Jonathan Holway  
Email: jholway@berardipartners.com

**ENGINEER**  
Korda/Nemeth Engineering  
1650 Watermark Drive  
Columbus, OH 43215  
Phone: 614-487-1650  
Contact: Chris Fleming, P.E.  
Email: chris.fleming@korda.com



# ALTA/NSPS LAND TITLE SURVEY

BEING PART OF RESERVE "A" OF IMPERIAL RISE PLAT NO. 3, PB 46, PAGE 82, SECTION 1, TOWNSHIP 1, RANGE 17, UNITED STATES MILITARY LANDS, CITY OF GAHANNA, COUNTY OF FRANKLIN, STATE OF OHIO.

McCorkle Park  
City of Gahanna  
Inst. No. 199907080173756  
Auditor's Parcel No.  
025-004340

Lot 6  
PB 19, PG 34

McCUTCHEON ROAD (50' R/W)  
(Partially Vacated)  
(Prev. 40' R/W)  
(PB 19, PG 34)

City of Gahanna  
Ord. 0022-2001

Christian Meeting Room, Inc.  
Inst. No. 200510310228722  
Auditor's Parcel No.  
025-013236

Christian Meeting Room, Inc.  
Inst. No. 200510310228722  
Auditor's Parcel No.  
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Inst. No. 200510310228722  
Auditor's Parcel No.  
025-013236

## LEGEND

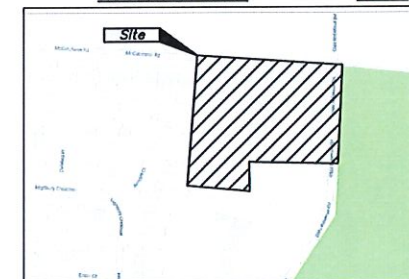
(applicable for all survey sheets)

	Building/Wall
	Curb
	Curb and Gutter
	Pavement/Walk
	Index Contour
	Intermediate Contour
	Water line
	Chilled Water line
	Gas Line
	Combined Sewer
	Sanitary Sewer
	Storm Sewer
	Manhole
	Open Grate Manhole
	Curb Inlet
	Valve
	Underground Electric line
	Electric Manhole
	Underground Telephone
	Telephone Pole
	Telephone Manhole
	Overhead Signal Line
	Underground Traffic Line
	Power Pole
	Light Pole
	Fence
	Right of Way Line
	Vacated Right of Way Line
	Easement Line
	Setback Line
	Property Line
	Original Subdivision Lot Lines
	Further route of utility unknown
	Tree Line/Shrub Line
	5/8"x30" Iron Pin Set topped by yellow cap stamped "PSNO. 7803 KORDA/NEMETH"
	Iron Pipe/Pin Found (see survey for size/type)
	Trees
	Electric Pull Box
	Telephone Pull Box/Pedestal
	Traffic Pull Box
	Unknown Utility Pull Box
	Lighting Pull Box
	Fire Hydrant
	Top of Casting Elevation
	Information Obtained From Record Plan
	Abandoned Utility
	Spot Elevation
	Top of Curb Elevation
	Bottom of Curb Elevation
	Control Point
	Traffic Bollard
	Handicap Ramp
	Sign
	Concrete Pavement, Walk, Slab

Not all symbols necessarily used

## LOCATION MAP

N.T.S.



## NCR GAHANNA

GAHANNA, OH

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2. THE CONTRACT DOCUMENTS ARE COMPOSED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY TO EACH OTHER.

3. ADDITIONALLY, SEE GENERAL INFORMATION ON "10" SHEETS.  
4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATIONS, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE, OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.

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## SCHEMATIC

DATE: 3/6/2019  
PROJECT #: 18161



## TOPOGRAPHIC SURVEY

C-002

## BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING  
1319 GOODALE BOULEVARD, COLUMBUS, OHIO 43212  
P: 614.221.1110 berardi@partners.com

## KORDA

KORDA NEMETH ENGINEERING  
1650 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215

DRAWN BY: CUE  
DESIGNED BY: CUE  
CHECKED BY: CUE  
PROJECT MARK: 2018-0417

## UNDERGROUND UTILITIES

Two Working Days  
BEFORE YOU DIG  
Call 800-362-2764 (Toll free)  
OHIO UTILITIES PROTECTION SERVICE  
NON-MEMBERS  
MUST BE CALLED DIRECTLY



To American Land Title Association & (TBD). This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-5, 8, 11, 13-14, and 16-17 if applicable.

The field work was completed August 15-23, 2018.

Date of Plot or Map: August 27, 2018

Daniel L. Quick, P.S. 7803  
Korda-Nemeth Engineering, Inc.

## NOTES:

- All underground utility locations are shown as accurately as possible based on surface evidence (valves and manholes), markings found in the field, and/or record plans received from the owner or utility companies. Items noted (rec) were obtained from existing plans. Utility locations are not necessarily complete or correct. Any utility in close proximity to proposed work should be "potholed" for exact location prior to construction. OUPS Ticket # A822003126-00A, A822003164-00A, and A822003181-00A.
- The elevations on this survey are based on NAVD 88. Record drawings of buildings and infrastructure may exist having a differing datum. Exercise caution when utilizing this survey by correlating record drawings and proposed work with survey information shown on this drawing.
- Benchmarks and control points shown on this survey may have been disturbed, since the completion of this survey. Verify that existing monumentation correlates with data shown on this survey prior to use.
- Utilities noted (Ab) are denoted as such per record plan and may have been abandoned or removed. Their existence and/or status has not been verified.
- Buildings are located from the surveyed at grade edge. Location of the interior and underground structural footprint has not been verified. Due to possible variations in building exterior above the at grade edge, the building location should be used for site plan use only.
- Sewer sizes and locations shown are based on an evaluation of record plan information and observation from the manhole casting at grade. Due to manhole depth and safety restrictions entering manholes, sizes shown are approximate.
- The lots delineated on this plot are found on F.E.M.A. community panel No. 39049C0194K dated 06/17/2008. The property is located in Zone AE and Zone X and therefore a portion of the property is located in a flood hazard area.
- Building overhangs are in an approximate location.
- Source deed and survey are on different basis of Bearings. The source deed is consistent with the survey and reflect no gaps or overlaps.  
(M) = Measured and (D) = Deed.

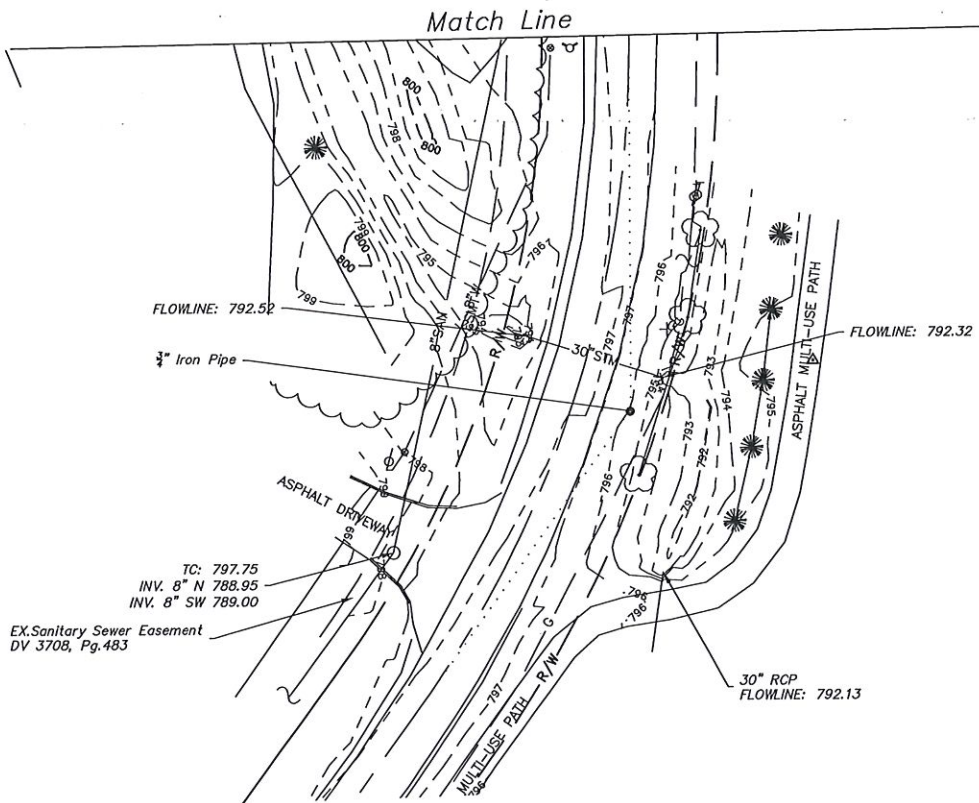


BENCHMARKS		
No.	Elevation	Description
1	799.06	Railroad Spike on West side of AT&T power pole on the East side of Old Ridenour Road, 105' South of McCutcheon Road.
2	821.00	Railroad Spike on Easterly side of Power Light Pole on North side of McCutcheon Road, 528' West of Old Ridenour Road

\*Elevations are based on NAVD 1988.

CONTROL POINTS				
No.	Northing	Easting	Elevation	Description
1	739067.48	1861811.12	799.52	Iron Pin Set
2	738913.08	1861725.92	801.33	Iron Pin Set
3	738873.41	1861558.20	809.71	Iron Pin Set
4	739198.01	1861486.84	816.99	Iron Pin Set
5	739222.97	1861616.07	817.58	Iron Pin Set

\*The Bearing of South 85°33'10" East on the southerly vacated right of way line of McCutcheon Road is referenced to the State Plane Coordinates Ohio South Zone NAD 83 with 2011 NSRS adjustment.



Proposed Insured: National Church Residences  
Title Commitment Number: G18600513  
Title Commitment Date: July 20, 2018 at 6:59 am

Schedule of Survey Items Identified as:

Item No. 10: Easements, setbacks and/or conditions as shown on plat filed for record April 30, 1973, in Plot Book 46, page 82, of the Franklin County, Ohio Records. Shown on survey.

Item No. 11: Easement to Columbus and Southern Ohio Electric Company, filed for record July 10, 1973 in Deed Volume 3352, page 232, of the Franklin County, Ohio Records-Area shown on survey.

Item No. 12: Easement to the City of Gahanna, Ohio, filed for record September 25, 1973, in Deed Volume 3370, page 200, of the Franklin County, Ohio Records-Shown on survey.

Item No. 13: Restrictions, covenants, limitations, easements, and/or conditions, as established in instrument, filed for record November 20, 1991, in Official Record Volume 1368, page 102, of the Franklin County, Ohio Records-Area encompasses entire survey. This was a 30 year document and no evidence of a renewal was discovered during this title search, therefore the document expired in October 2011.

Item No. 14: Easement to Columbus and Southern Ohio Electric Company, filed for record June 2, 1982 in Official Record Volume 1784, page C14, of the Franklin County, Ohio Records-Area shown on survey.

Legal Description: (By Deed)

Real Property in the City of Gahanna of Franklin, State of Ohio, and is described as follows:

Lying in Quarter Township 1, Township 1, Range 17, United States Military Lands and being part of the 11.028 acre tract conveyed as Reserve "A" of "IMPERIAL ROSE PLAT NO. 3", a subdivision of record in Plot Book 46, Page 82, to S.S. Realty, LLC by deed of record in Instrument No. 19990129002434, (all references refer to the records of the Recorder's Office, Franklin County, Ohio) and more particularly bounded and described as follows:

BEGINNING at an iron pin in the southerly right-of-way line of McCutcheon Road at the northwesterly corner of said Reserve "A";

The following two (2) courses and distances along said southerly right-of-way line of McCutcheon Road and northerly line of said Reserve "A";

1. South 85° 34' 11" East, a distance of 462.68 feet to an iron pin found at a point of curvature;

2. Thence the arc of said curve to the right having a central angle of 88° 55' 01", a radius of 20.00 feet and a chord bearing South 42° 06' 40" East, a chord distance of 27.51 feet, to an iron pin found at a point of tangency in the westerly right-of-way line of Ridenour Road and the easterly line of said Reserve "A";

Thence South 01° 20' 50" West, a distance of 300.82 feet, along said westerly right-of-way line of Ridenour Road and easterly line of said Reserve "A", to an iron pin set;

The following three (3) courses and distances across said Reserve "A";

1. Thence North 87° 21' 02" West, a distance of 292.54 feet, to an iron pin set;

2. Thence South 00° 03' 16" West, a distance of 115.30 feet, to an iron pin set;

3. Thence North 81° 54' 34" West, a distance of 215.87 feet, to an iron pin set in the westerly line of said Reserve "A";

Thence North 04° 25' 49" East, a distance of 429.58 feet, to the POINT OF BEGINNING. Containing 4.180 acres more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

Iron pin sets, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with plastic plug placed in the top bearing the initials EMH INC.

The bearings in the above description are based on the same meridian as the centerline of McCutcheon Road as shown on the record plat of Imperial Rose Plat No. 3 as shown in Plot Book 46, Page 82, Recorder's Office, Franklin County Ohio, having a bearing of South 85° 34' 11" East.

Legal Description: (By Survey)

Situated in the State of Ohio, County of Franklin, City of Gahanna, Section 1, Township 1, Range 17, United States Military Lands, being part of Reserve "A" of "IMPERIAL ROSE PLAT NO. 3", Plot Book 46, Page 82, and being the same 4.190 acre tract conveyed to Christian Meeting Room Inc. by deed of record in Instrument No. 200510310228722 as recorded in the Franklin County Recorder's Office, and being more particularly described as follows:

Beginning at an iron pin set in the southerly right of way of McCutcheon Road (50' R/W) and being the northwesterly corner of said Reserve "A" and the northwesterly corner of Lot 202 of said Imperial Rose Subdivision;

Thence along the northerly line of Reserve "A" and the southerly vacated right of way of McCutcheon Road, now being the southerly line of a parcel transferred to the City of Gahanna by Ordinance 0022-2001, as recorded with the City of Gahanna's Engineer's Office, South 85° 34' 11" East for a distance of 462.68 feet to a point, referenced by an iron pin found North 39° 58' 41" East at a distance of 0.20 feet from the actual corner;

Thence continuing along the northerly line of Reserve "A" and the southerly vacated right of way line of McCutcheon Road, along a curve to the right having a central angle of 88° 55' 01", a radius of 20.00 feet and a chord bearing South 42° 06' 40" East for a chord distance of 27.51 feet to an iron pin set in the westerly right of way of Old Ridenour Road (60' R/W) and in the easterly line of said Reserve "A";

Thence South 01° 21' 51" West along the westerly right of way of Old Ridenour Road, for a distance of 300.83 feet to an iron pin set at the northwesterly corner of a 6.844 acre tract conveyed to Pavilion Midland LLC by deed of record Instrument Number 201803190035901, as recorded with the Franklin County Recorder's Office;

Thence North 87° 20' 02" West along the northerly line of said 6.844 acre tract for a distance of 292.24 feet to an iron pin set;

Thence continuing along the northerly line of said 6.844 acre tract, South 00° 04' 17" West for a distance of 115.30 feet to an iron pin set;

Thence continuing along the northerly line of said 6.844 acre tract, North 81° 53' 33" West for a distance of 215.87 feet to a 3/4 inch diameter iron pin found in the westerly line of Reserve "A" and in the easterly line of Lot 228 of said Imperial Rose Plat No.3;

Thence along the westerly line of Reserve "A", and the easterly line of Lots 228, 227, 226 and 202, North 04° 26' 50" East for a distance of 429.58 feet, passing iron pipes at 195.31 feet and 293.93 feet to the Point of Beginning and containing 4.180 acres (182412.10 Sq.Ft.), more or less, and being subject to all other legal easements, covenants, and rights-of-way of record.

All of the above described tract, 4.188 acres, more or less, are located within Auditor's Parcel No. 025-013236.

The bearing of South 85° 33' 10" East on the southerly vacated right of way line of McCutcheon Road is referenced to the state plane Coordinates Ohio South Zone NAD 83 with 2011 NSRS adjustment.

Iron pin set are 3/4"x30" topped by plastic yellow cap stamped "ONE" / PS NO. 7803.

This description was prepared by David L. Quick, Ohio Professional Survey No. 7803 from an actual field survey performed in August, 2018 by Korda/Nemeth Engineering, Inc.

Approximate 500 Yr. Flood Plain

Approximate 100 Yr. Flood Plain

RIGHT OF WAY WIDTH

The current R.O.W. width of Old Ridenour Road is 60 feet.  
The current R.O.W. width of McCutcheon Road is 50 feet.

ZONING

Classification not provided by insurer.

## LEGEND

(applicable for all survey sheets)

	Building/Wall
	Curb
	Curb and Gutter
	Pavement/Walk
	Index Contour
	Intermediate Contour
	Water line
	Chilled Water line
	Gas Line
	Combined Sewer
	Sanitary Sewer
	Storm Sewer
	Manhole
	Open Grate Manhole
	Curb Inlet
	Valve
	Underground Electric line
	Electric Manhole
	Underground Telephone
	Telephone Pole
	Telephone Manhole
	Overhead Signal Line
	Underground Traffic Line
	Power Pole
	Light Pole
	Fence
	Right of Way Line
	Vacated Right of Way Line
	Easement Line
	Setback Line
	Property Line
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	Further route of utility unknown
	Tree Line/Shrub Line
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	Trees
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	Traffic Pull Box
	Unknown Utility Pull Box
	Lighting Pull Box
	Fire Hydrant
	Top of Casting Elevation
	Information Obtained From Record Plan
	Abandoned Utility
	Spot Elevation
	Top of Curb Elevation
	Bottom of Curb Elevation
	Control Point
	Traffic Bollard
	Handicap Ramp
	Sign
	Concrete Pavement, Walk, Slab

Not all symbols necessarily used

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OHIO UTILITIES PROTECTION SERVICE

NON-MEMBERS  
MUST BE CALLED DIRECTLY

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GAHANNA, OH

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3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A" SHEETS.

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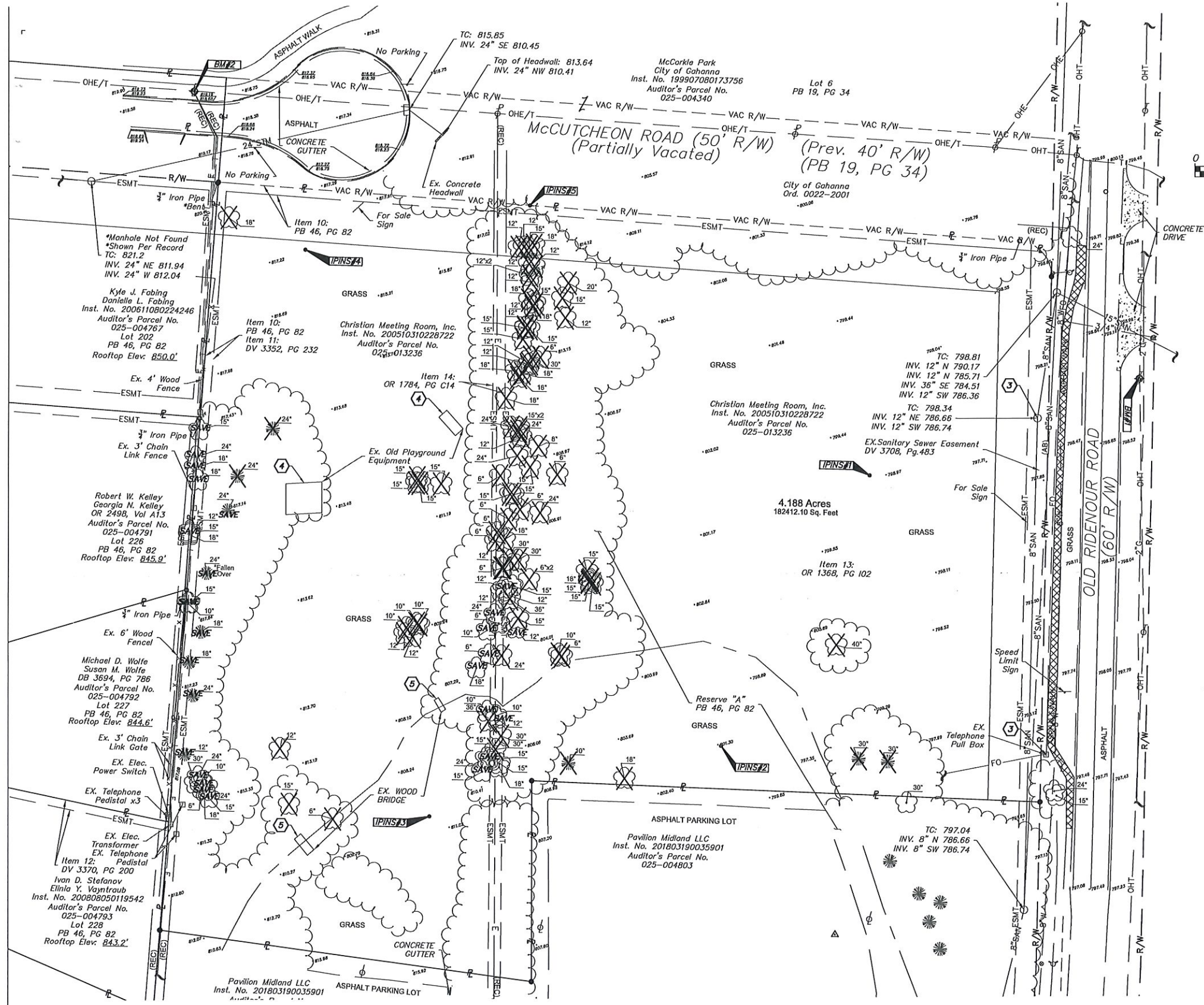
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**LEGEND**

**EXISTING**

Remove existing asphalt, gravel, and concrete pavement, concrete sidewalk, building foundation, and pavement base materials

Remove existing tree

Protect existing tree to remain

**PROPOSED**

Save

GRAPHIC SCALE  
SCALE IN FEET

- General Notes:**
1. Site survey performed by Korda/Nemeth Engineering, dated August 15-23, 2018. Refer to Sheets C-002 and C-003 for all existing site features.
  2. Dispose of construction debris off-site in accordance with local codes.
  3. Remove and dispose of on site features as shown on the plan.
  4. Saw-cut existing pavement at limits of pavement removal to full depth using care to cut neat, straight lines. Cut at existing joints where possible.
  5. Contractor to protect existing site features to remain outside construction limits. Repair any damage to the satisfaction of the owner at no additional cost.
  6. Control dust at the site. Provide street cleaning when necessary, and when requested by owner.
  7. Grade site during construction to provide positive drainage to existing and/or proposed storm water management systems.
  8. Perform work in accordance with local codes and regulations.

- Coded Notes:**
1. Protect existing pavement/sidewalk to remain.
  2. Sawcut existing pavement with neat, straight lines. Match existing pavement grade at this point.
  3. Protect existing utility structure to remain. Adjust to final grade.
  4. Remove existing playground equipment.
  5. Remove existing wood bridge.

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GAHANNA

GAHANNA, OH  
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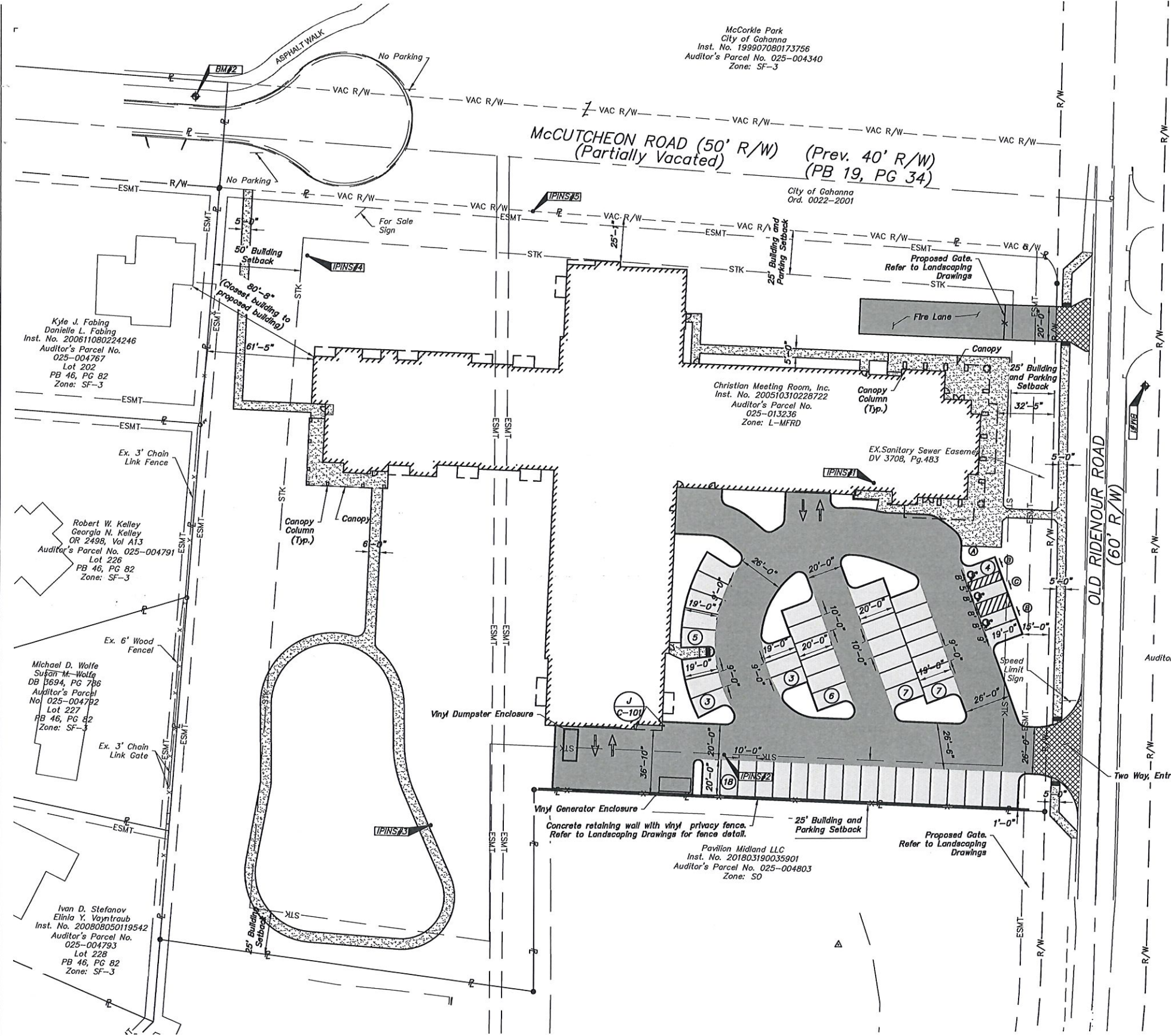
**DESIGN  
DEVELOPMENT**  
DATE: 3/20/2019  
PROJECT #: 18161

**DEMOLITION  
PLAN**  
  
**C-004**

**KORDA**  
KORDA NEMETH ENGINEERING  
1660 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215  
DRAWN BY: CMZ  
DESIGNED BY: CMZ  
CHECKED BY: CMZ  
PROJECT NUMBER: 2018-0417

**BERARDI+**  
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING  
1398 GOODDALE BOULEVARD, COLUMBUS, OHIO 43212  
P 614.221.1110 berardiplus.com





McCorkle Park  
City of Gahanna  
Inst. No. 199907080173756  
Auditor's Parcel No. 025-004340  
Zone: SF-3

McCUTCHEON ROAD (50' R/W) (Prev. 40' R/W) (PB 19, PG 34)  
City of Gahanna  
Ord. 0022-2001

Christian Meeting Room, Inc.  
Inst. No. 200510310228722  
Auditor's Parcel No. 025-013236  
Zone: L-MFRD

City of Gahanna  
Auditor's Parcel No. 025-000822  
Zone: OG-3

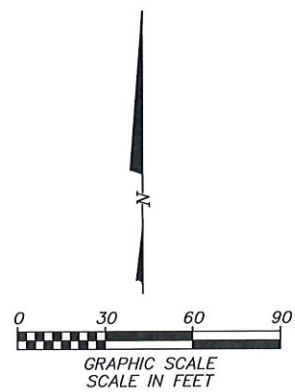
Pavilion Midland LLC  
Inst. No. 201803190035901  
Auditor's Parcel No. 025-004803  
Zone: SO

Kyle J. Fabing  
Donielle L. Fabing  
Inst. No. 200611080224246  
Auditor's Parcel No. 025-004767  
Lot 202  
PB 46, PG 82  
Zone: SF-3

Robert W. Kelley  
Georgina N. Kelley  
OR 2498, Vol A13  
Auditor's Parcel No. 025-004791  
Lot 226  
PB 46, PG 82  
Zone: SF-3

Michael D. Wolfe  
Susan M. Wolfe  
DB 1694, PG 786  
Auditor's Parcel No. 025-004782  
Lot 227  
PB 46, PG 82  
Zone: SF-3

Ivan D. Stefanov  
Elina Y. Vayntraub  
Inst. No. 200808050119542  
Auditor's Parcel No. 025-004793  
Lot 228  
PB 46, PG 82  
Zone: SF-3



**LEGEND**

**EXISTING**

Refer to ALTA/NSPS Survey, Refer to Sheets C-002 and C-003 (Typical to all plan sheets)

**PROPOSED**

- Building/Wall
- Straight Curb per Detail E or F/C-101
- Pavement per Detail A or B/C-101
- Walk per Detail D/C-101
- Fence
- Construction Limits
- Heavy Duty Asphalt per Detail A/C-101
- Light Duty Asphalt per Detail B/C-101
- Concrete Sidewalk per Detail D/C-101
- Driveway, Non-Residential per City of Columbus Std. Dwg. 2202
- Sign per Detail C/C-101

- General Notes:**
1. Dimensions and coordinates are given to face of curb and face of building unless otherwise noted.
  2. Curb and sidewalk radii shall be 5'-0" unless otherwise noted.
  3. Provide striping and symbols as shown per ODOT Item 640 and 641. Striping point shall be ODOT Item 740.02 Type 4 without glass beads. Typical line width shall be 4 inches, color white.
  4. Standard parking stall dimensions are 9'-0" in width by 19'-0" in length unless otherwise noted.
  5. Sawcut full depth sidewalk and pavement where new work abuts existing construction. Take care to provide neat straight lines. Provide pavement sealant per ODOT Item 423 at joint between existing and new asphalt. Remove concrete to nearest joint. Provide 1/2" Preformed Expansion Joint filler between new and existing construction.
  6. Any property pins damaged as part of construction shall be reset by an Ohio registered surveyor.
  7. Maintain pedestrian and vehicular access to adjacent buildings at all times during construction.
  8. Refer to Architectural Drawings for all site signage not shown on this sheet.
  9. Building coordinates provided for building location only. Refer to architectural plans for building layout.
  10. Provide control joints per Detail G/C-101. Provide isolation joints where new concrete abuts existing structures per Detail H/C-101 and per Specifications.

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## DESIGN DEVELOPMENT

DATE: 3/20/2019  
PROJECT #: 18161



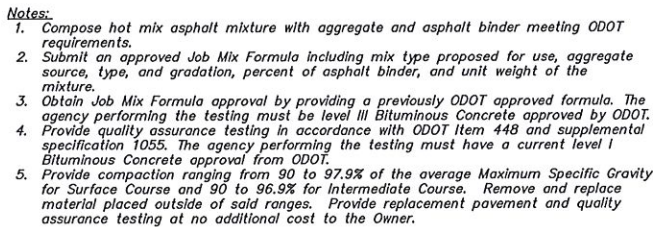
## STAKING PLAN

# C-100

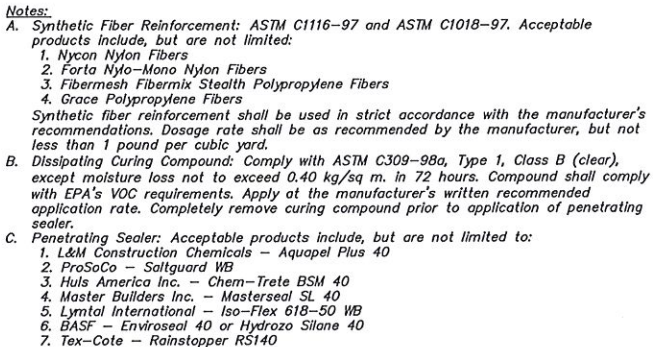
**KORDA**  
KORDA NEMETH ENGINEERING  
1650 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215  
DRAWN BY: CMZ  
DESIGNED BY: CMZ  
CHECKED BY: CMZ  
PROJECT NUMBER: 2018-0417

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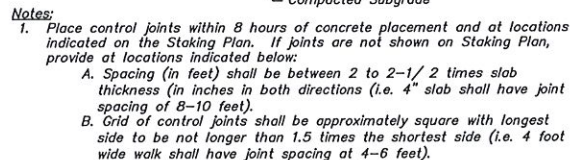




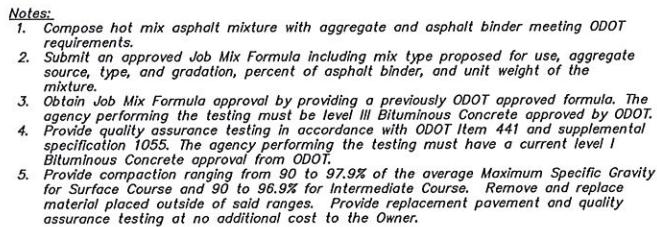
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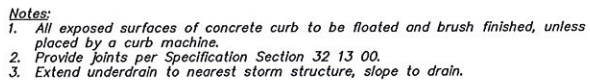
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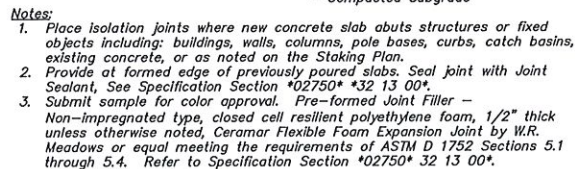
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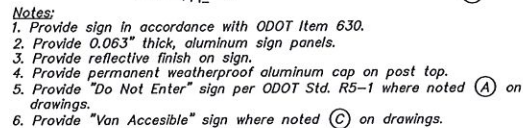
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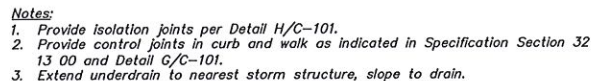
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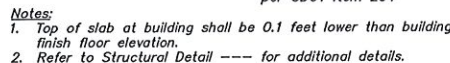
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**LEGEND**

**EXISTING**  
Refer to ALTA/NSPS Survey, Refer to Sheets C-002 and C-003 (Typical to all plan sheets)

**PROPOSED**

8001	Index Contour
7991	Intermediate Contour
Building/Wall	Building/Wall
Underground Electric Line	Underground Electric Line
Underground Telephone Line	Underground Telephone Line
Underground Cable Line	Underground Cable Line
Underground Fiber Optic Line	Underground Fiber Optic Line
Underground Lighting Circuit	Underground Lighting Circuit
Water Line	Water Line
Fire Protection Service Line	Fire Protection Service Line
Gas Line	Gas Line
Storm Sewer	Storm Sewer
Underdrain	Underdrain
Sanitary Sewer	Sanitary Sewer
Gas Line (By Others)	Gas Line (By Others)
Catch Basin	Catch Basin
Curb & Gutter Inlet	Curb & Gutter Inlet
Manhole	Manhole
Downspout Adapter	Downspout Adapter
Fire Hydrant	Fire Hydrant
Gate Valve & Curb Box	Gate Valve & Curb Box
Post Indicating Valve	Post Indicating Valve
Fire Department Connection	Fire Department Connection
Clean Out	Clean Out
Structure Number	Structure Number
Grade Break (Crown) Line	Grade Break (Crown) Line
Grading/Seeding Limits	Grading/Seeding Limits
Spot Elevation	Spot Elevation
Top of Casting	Top of Casting
Top of Curb Elevation	Top of Curb Elevation
Gutter Elevation at Face of Curb	Gutter Elevation at Face of Curb
Flow Direction Arrow	Flow Direction Arrow
High (Crown) Point	High (Crown) Point
Emergency Overflow	Emergency Overflow
Match Existing Elevation	Match Existing Elevation

- General Notes:**
- Provide 10' underdrains in four directions at catch basins in pavement. Refer to Detail C/C-201.
  - Pavement elevations refer to finished pavement elevation at face of curb unless otherwise noted.
  - Construction work will not be permitted without approved plans and inspection.
  - Perform work in accordance with City of Gahanna Material Specifications and Standard Construction Drawings. In case of a discrepancy between City of Gahanna requirements and project specifications, City of Columbus standards shall govern.
  - Soil erosion and sedimentation BMP measures, per Sheets C-206 and C-207, shall be installed prior to start of any construction and shall be maintained until construction has been completed, including grass being well established and/or permanent erosion and sedimentation BMP measures in place. BMP measures shall be to the satisfaction of the City of Gahanna.
  - Control dust on the site and prevent tracking soil off site. Contractor shall, at the end of each working day, clean dirt and sediment tracked onto streets.
  - Remove sediment from detention areas, outlet structures, and underdrains once final seed has been established.
  - Dimensions and coordinates are to face of curb or face of building unless otherwise noted.
  - Extend utilities to within 5'-0" of face of building unless otherwise noted. Coordinate exact location with Plumbing Contractor. Final connection by plumbing contractor.
  - Maximum finish slopes shall be 4:1 unless otherwise noted.
  - Coordinates and elevations based on survey performed by Korda/Nemeth Engineering dated August 27, 2018. Refer to Sheets C-002 and C-003.
  - Contractor shall strip and stockpile existing topsoil throughout the site prior to excavation. Upon completion of final grading, provide 6 inches of topsoil and seed areas disturbed by construction, including laydown areas and trailer locations if located outside the grading/seeding limits.
  - Existing valves, manholes, and other appurtenances to remain located within the work limits shall be adjusted to finish grade.
  - Outlet curb underdrains to adjacent existing underdrains or storm sewer system.
  - Expose utilities noted thus Expose prior to beginning work on that utility to determine effects on the proposed alignment and profile. Report elevation and location to the Engineer in order that any corrections to the elevation and location can be made.
  - Concrete adjacent to building shall be sloped away from building at 2.0% unless otherwise noted.
  - Roof drains, foundation drains, and other clean water connections to the sanitary sewer are prohibited.

**NCR  
GAHANNA**

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NOTE:  
1. ALL BIDDERS MUST VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS DISCOVERED IN THE CONTRACT DOCUMENTS.  
2. THE CONTRACT DOCUMENTS ARE COMPOSED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER.  
3. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.  
4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATIONS, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.  
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**DESIGN  
DEVELOPMENT**

DATE: 3/20/2019  
PROJECT #: 18161

**GRADING  
PLAN**

**C-200**

**KORDA**  
KORDA/NEMETH ENGINEERING  
1650 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215  
DRAWN BY: CMZ  
DESIGNED BY: CMZ  
CHECKED BY: CMF  
PROJECT NUMBER: 2018-0417

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David Hodge  
8000 Walton Parkway, Suite 260  
New Albany, Ohio 43054

P: 614.335.9320  
F: 614.335.9329  
david@uhlawfirm.com

March 19, 2019

**VIA E-MAIL TO:**  
**Michael.blackford@gahanna.gov**

Mr. Michael Blackford  
Deputy Director  
Department of Public Service & Engineering  
City of Gahanna  
200 S. Hamilton Rd.  
Gahanna, Ohio 43230

**Re: Applicant National Church Residences  
0 Olde Ridenour Road Variance Application  
Disposition of Comments**

Mr. Blackford,

Below is the disposition of zoning comments for the National Church Residences Olde Ridenour Road Variance Application. Applicant's comments are provided in **bold**. Every comment not applicable to the Variance Application is excluded from this response

Building:

The project will be required to comply with the 2017 Ohio Building Code. Building plan review and permitting will be required for the project.

**Response: Acknowledged**

Public Service & Engineering:

No Comment

Community Development (Comments from FDP and DR):

- 3/11/19 - The site plan (sheet C-100) depicts a 15' parking setback. Chapter 1167.15 requires a 25' parking setback. A revision to the plans or a variance will be necessary.

**Response: The Applicant submits a revised statement of practical difficulty with this disposition letter. The revised statement of practical difficulty added a variance requesting**

**a reduction of the parking setback from Olde Ridenour Road from a minimum of 25 feet to a minimum of 15 feet.**

- 3/12/19 - Chapter 1163.06(a) limits the average light intensity to 1/2 foot-candles. The statistics table indicates an average of 1.4 foot-candles. A revision to the plan or a variance will be required. Staff has some concerns with the level of lighting along the southern property line since this is along a property boundary and not internal to the site.

**Response: The requested photometric plan has been prepared and submitted as part of this response along with a revised statement of practical difficulty requesting variances for lighting levels at the south property line.**

- 3/12/19 - The variance statement indicates that there will be a privacy fence along the southern property line in the area of the parking lot. The fence needs to be shown on the site plan. Fencing details such as height, style, and materials needs to be indicated. Please include additional details regarding the proposed privacy fence.

**Response: Proposed privacy fence details have been added to the submission; vinyl fence, 6' in height.**

- 3/12/19 - Chapter 1197.09(b)(1)(4) requires parking lot lighting to be metal halide. The photometrics plan indicates led lighting. A variance or a revision will be necessary.

**Response: The requested photometric plan has been prepared and submitted as part of this response along with a revised statement of practical difficulty requesting variances for the type of fixture.**

- 3/12/19 - Chapter 1167.18(c) requires the details of the dumpster screen (style, material, height) to be shown in order for Planning Commission to determine its appropriateness. Additionally, landscaping, preferable pines and evergreens are required. Please revise the landscape plan to depict landscaping of the dumpster enclosure. Please revise the drawings to indicate dumpster details.

**Response: Proposed dumpster screen fence details have been added to the submission; vinyl fence, 6' in height.**

### Parks

As far as the submittal 2 is concerned, I have two comments. My first comment is that the plans call for construction fence at the drip line of existing trees. During our site meeting, we discussed that critical roots often extend far past the drip line. Construction fence should be 1 foot in radius from the base of the tree's trunk for each 1 inch of the tree's diameter at breast height. My second comment is that plans call for the top of the root ball to be 2"-3" above adjacent finish grade. I have a problem with this because trees should be planted where the root flare is even with the finish grade. Sometimes the root flare is buried 2"-3" inches in the root ball, but

sometimes, the root flare is not buried that deep. I do not want these trees to be planted too high out of the ground. The trees should be planted according to industry standards ([http://www.treesaregood.com/portals/0/docs/treecare/new\\_treeplanting.pdf](http://www.treesaregood.com/portals/0/docs/treecare/new_treeplanting.pdf)). Please contact me with any questions or concerns.

**Response: The construction protection will be installed as requested, at a location equal to 1 foot per 1" caliper. Also, the trees will be planted as requested, with root flare even with finish grade.**

Public Safety

No Comment

Soil & Water Conservation

No Comment

Fire District

No Comment

Please let me know if any additional information is required, we will see that you get it as soon as possible.

Very truly yours,



David Hodge



March 27, 2019

National Church Residences  
2335 N Bank Dr  
Columbus, Oh 43220

RE: Project 0 Ridenour Rd

Dear National Church Residences:

The following comments were generated from the review of the submitted plans and documents for the referenced project. For the next submittal, please provide a disposition of comments, revised plans, and/or other information as requested for further review. The disposition of comments needs to include both the original comment and the appropriate response. If desired, these comments can be emailed. Re-submitted plans that do not include the disposition of comments document will not be reviewed and will be returned to you.

### **Building**

1. The project will be required to comply with the 2017 Ohio Building Code. Building plan review and permitting will be required for the project.

### **Public Service & Engineering**

2. No Comment.

### **Community Development**

3. After a preliminary review of the project, the requested variances seem appropriate. Please see forthcoming staff report for additional comments regarding the variances.

### **Public Safety**

4. N Comment Received.

### **Soil & Water Conservation District**

5. No Comment Received.

### **Fire District**



**Page 2 of 2**  
**March 27, 2019**  
**Re: Project 0 Ridenour Rd**  
**0 Ridenour Rd**

6. No Comment on the Variance Request

If you have any comments or questions, please contact me at [michael.blackford@gahanna.gov](mailto:michael.blackford@gahanna.gov) or (614) 342-4029.

Sincerely,

Michael Blackford  
Deputy Director



## PLANNING AND DEVELOPMENT STAFF REPORT

### Request Summary

This is a request for final development plan (FDP), design review (DR), and variance approval to permit the development of a new nursing and personal care facility. The project recently went through the rezoning and conditional use process to allow for the use. Additionally, the applicants conducted a workshop with Planning Commission in January to discuss details of the development such as building height, access, architecture, and tree preservation. The proposed development is substantially similar to what was previously shown during the workshop, rezoning and conditional use requests.

The application proposes a three and four story building housing 92 units of senior living. The four story portion of the building is located closer to Olde Ridenour Rd while the three story portion is located to the west of the site, closer to single family residential. The location of the building, parking, and topographic conditions has resulted in the need for variances. These variances will be discussed later in the report.

A rezoning to Multifamily Residential (MFRD) was approved on February 4, 2019. The plan of development included in the rezoning application was substantially similar to this proposed plan. Details such as number of units, building location, building height, etc are identical or nearly identical to what was previously depicted. MFRD permits nursing and personal care facilities with a conditional use. The conditional use has specific requirements for setbacks, buffering, lot coverage, and height. Height is limited to 35 feet unless approved by Planning Commission. Planning Commission may approve a building height over 35 feet if they deem it appropriate. The proposal is for a building height of 58 feet.

### Final Development Plan

Planning Commission shall approve an FDP application if the following four conditions are met:

- A. The proposed development meets the applicable development standards of this Zoning Ordinance.
- B. The proposed development is in accord with appropriate plans for the area.
- C. The proposed development would not have undesirable effects on the surrounding area.
- D. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

### Design Review

The property is zoned MFRD with an overlay and therefore subject to the standards of Design Review District 2 (DRD-2). Relevant standards include the following:

### PROJECT DETAILS

FDP, DR, VARIANCE: PERMIT  
4 STORY, 129 BED SENIOR  
LIVING FACILITY

PROPERTY SIZE: 4.2 ACRES

STAFF RECOMMENDATION:  
REQUEST CONSISTENT  
WITH RECENTLY APPROVED  
REZONING AND  
CONDITIONAL USE





- Parking – General layout of the parking area shall integrate a diverse use of vegetation and define patterns of vehicular and pedestrian traffic.
- Lighting – Shall be metal halide.
- Landscaping – Preserving and enhancing sensitive areas within the development will be a major consideration.
- Landscaping – Open space and diverse arrangement of landscaping are issues that should be explored to maintain the rural residential character of the community.
- Building Materials – The visual effect of the development should complement the surrounding structures.
- Building Materials – Quality materials that will enhance the development should be used.

#### Variance

Five variances have been request to the zoning code which include the following:

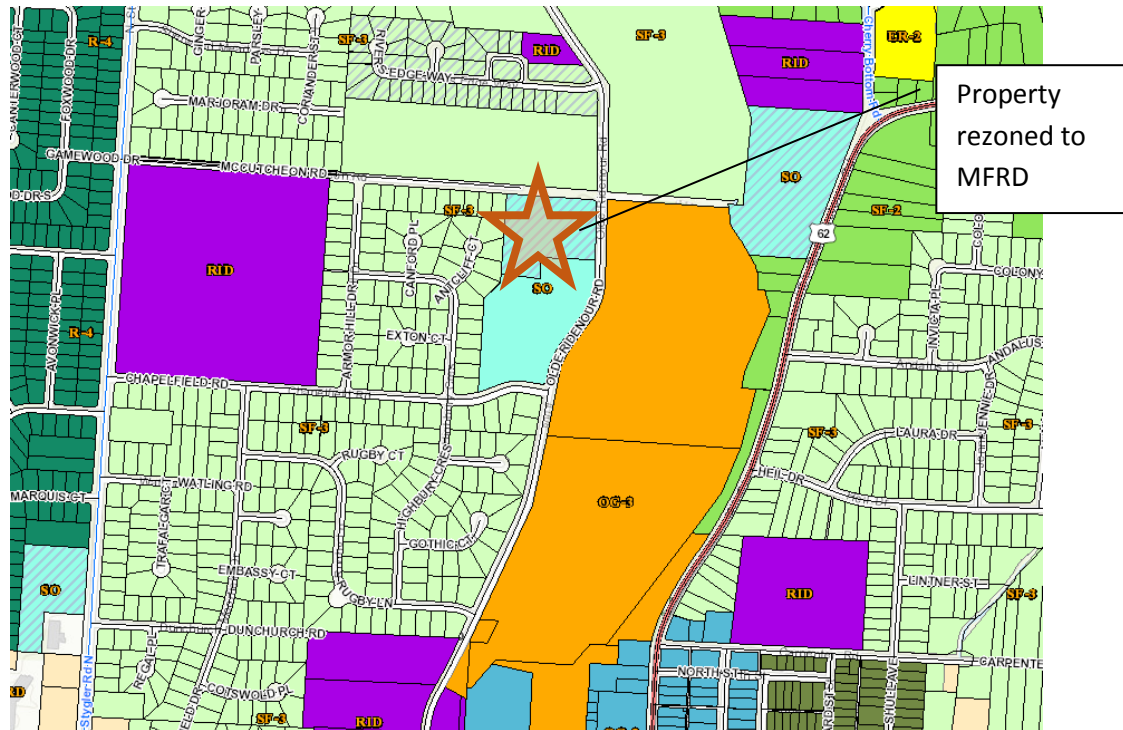
- Chapter 1149.02(e)(1) – Conditional use setbacks for building and parking.
  - The applicant is requesting a 0 foot setback for parking along the southern boundary adjacent to the rehabilitation facility. The building will meet the setback requirement but not parking. Allowing parking to encroach into this setback will allow for the site to maintain maximum separation from the single family residential area to the west.
- Chapter 1163.06(a) – Lighting Standards
  - The code limits the intensity of lighting to an average intensity of ½ foot candle. This standard has been difficult for projects to achieve. The applicant's photometric plan shows an average intensity of 1 foot candle.
- Chapter 1167.15(b) – Building Lines Established
  - The applicant is requesting a variance to allow for a 15' parking setback along Olde Ridenour Road. The code requires a 25' setback
- Chapter 1167.20(b)(1) – Property Perimeter Requirements
  - The code requires a 15' buffer between residential and office zoned properties. The applicant is requesting a 0' setback adjacent to the Suburban Office zoned property that is occupied by a rehabilitation facility. Parking is proposed in this area in lieu of the buffer. Staff doesn't object to this variance as both uses (rehab and senior living) are substantially similar in scale and intensity. Additionally, by granting the variance, this allows for a greater separation between the development of the site and the single family to the west.
- Chapter 1197.09(b)(1)(A)(4) – Lighting
  - The code requires multifamily projects to provide metal halide lighting. This requirement is unique to multifamily zoned properties. The applicant is proposing LED lighting.

Planning Commission shall not grant a variance unless it finds that all of the following conditions apply:

- a) There are special circumstances or conditions applying to the land, building or use referred to in the application.
- b) The granting of the variance is necessary for the preservation and enjoyment of substantial property rights.
- c) The granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the proposed use and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood.

Staff is of the opinion that the request as proposed is meeting the intent of the zoning code. The requested variances appear to be necessary either because of outdated code language (lighting) or to maximize development on the east portion of the site. Allowing development to be concentrated towards the east of the site will allow for maximum separation of the project from adjacent single family. It will also allow for a substantial amount of tree preservation.

#### Location/Zoning Map



Respectfully Submitted By:

Michael Blackford, AICP

Deputy Director