

### FINAL DEVELOPMENT PLAN APPLICATION

PLEASE NOTE: This application is not to be considered complete until all documents are received and approved by the Planning & Zoning Administrator.

Project/Property Address or Location: <b>0 Ridenour Road</b>		Project Name/Business Name (if applicable): <b>National Church Residences</b>	
Parcel ID No.(s): <b>025-013236</b>	Current Zoning: <b>L-SO (L-MFRD Pending)</b>	Total Acreage: <b>+/- 4.19</b>	
Project Description: Three and four story building development to house 92 dwelling units within floors 2 through 4 reserving 1st floor uses as parking and building support spaces and resident accommodations.			
APPLICANT Name (primary contact) -do <u>not</u> use a business name: <b>National Church Residences c/o George Tabit, VP</b>		Applicant Address: <b>2245 North Bank Drive</b>	
Applicant E-mail: <b>gtabit@nationalchurchresidences.org</b>		Applicant Phone No.:	
BUSINESS Name (if applicable): <b>National Church Residences</b>			
ATTORNEY/AGENT Name: <b>David Hodge, Underhill &amp; Hodge, LLC</b>		Attorney/Agent Address: <b>8000 Walton Parkway, Suite 260, New Albany, OH</b>	
Attorney/Agent E-Mail: <b>david @uhlfirm.com</b>		Attorney/Agent Phone No.: <b>614-335-9320</b>	
<b>ADDITIONAL CONTACTS</b> (please list all applicable contacts)			
Name(s):		Contact Information (phone no./email):	
Contractor			
Developer			
Architect <b>George Berardi, Berardi + Partners</b>		<b>614-221-1110 / george@berardipartners.com</b>	
PROPERTY OWNER Name: (if different from Applicant) <b>Christian Meeting Room, Inc.</b>		Property Owner Contact Information (phone no./email):	

**APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED** (see page 2)


I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature:  George Berardi, Architect/Agent for Owner Date: **02/01/2019**

**THIS FORM IS AVAILABLE TO BE SUBMITTED ONLINE: [www.gahanna.gov](http://www.gahanna.gov)**

INTERNAL USE

Zoning File No. **FDP 00262019**  
PC Meeting Date: \_\_\_\_\_  
PC File No. \_\_\_\_\_

RECEIVED:   
DATE: **2-11-19**

PAID: **\$1,000**  
DATE: **2-11-19**  
CHECK#: **204898**



## FINAL DEVELOPMENT PLAN APPLICATION – SUBMISSION REQUIREMENTS

PLEASE NOTE: This application is not to be considered complete until all documents are received and approved by the Planning & Zoning Administrator.

STAFF USE - INTAKE	TO BE COMPLETED/SUBMITTED BY THE APPLICANT:	APPLICANT		STAFF USE	
		YES	N/A	YES	N/A
	1. Review Gahanna Code <a href="#">Section 1108</a> (visit <a href="http://www.municode.com">www.municode.com</a> ) & <a href="#">Chapter 914</a> , Tree Requirements	X			
	2. Review the <a href="#">State of Ohio Fire Code Fire Service Requirements</a>	X			
	3. Pre-application conference with staff	X			
<b>FINAL DEVELOPMENT PLAN</b> shall contain the following:					
	4. Scale: Minimum - one inch equals 100 feet.	X			
	5. The proposed name of the development, approximate total acreage, north arrow, and date	X			
	6. The names of any public and/or private streets adjacent to or within the development	X			
	7. Names and addresses of owners, developers and the surveyor who designed the plan	X			
	8. Vicinity map showing relationship to surrounding development and its location within the community	X			
	9. Natural features currently within proposed development, including drainage channels, tree lines, bodies of water, and other significant features	X			
	10. Current zoning district, building and parking setbacks	X			
	11. Proposed location, size and height of building and/or structures	X			
	12. Proposed driveway dimensions and access points	X			
	13. Proposed parking and number of parking spaces	X			
	14. Distance between buildings		X		
	15. Any other information the Planning Commission may deem to be necessary to evaluate the application. These items can include such things as elevations, traffic studies, floor plans, etc.	X			
<b>THE DEVELOPER SHALL SUBMIT A TABLE OF DEVELOPMENT CALCULATIONS. TABLE SHALL INCLUDE:</b>					
	16. Parking calculations: (square footage of proposed buildings, number of spaces per square foot, number of spaces required, and actual number of spaces proposed)	X			
	17. Lot coverage calculations: (square footage of site, area of permanently impervious surfaces broken down into buildings and parking, area of uncovered land, coverage requirements, proposed lot coverage)	X			
	18. Setback calculations, (if needed)	X			
	19. Landscaping calculations: (square footage of pavement, proposed area of landscaping, square footage of landscaping, number of two-inch caliper trees required, and number of trees proposed)	X			
	20. List of contiguous property owners & their mailing address	X			
	21. Pre-printed mailing labels for all contiguous property owners	X			
	22. Application fee (in accordance with the <a href="#">Building &amp; Zoning Fee Schedule</a> )	X			
	23. Application & all supporting documents submitted in digital format	X			
	24. Application & all supporting documents submitted in hardcopy format	X			
	25. Authorization Consent Form Complete & Notarized (see page 3)	X			

**THIS FORM IS AVAILABLE TO BE SUBMITTED ONLINE: [www.gahanna.gov](http://www.gahanna.gov)**

### APPLICATION ACCEPTANCE

INTERNAL USE

This application has been reviewed and is considered complete and is hereby accepted by the Zoning Division of the City of Gahanna and shall be forwarded to the City of Gahanna Planning Commission for consideration.

Planning & Zoning Administrator Signature: 

Date: 3/28/19



## AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

### AUTHORIZATION FOR OWNER'S APPLICANT OR REPRESENTATIVE(S) If the applicant is not the property owner, this section must be completed & notarized.

I, Brian Kenimer, the owner or authorized owner's representative of the subject property listed on this application, hereby authorize Underhill & Hodge, LLC to act as my applicant or representative(s) in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature: [Signature] Date: 10/5/2018

### AUTHORIZATION TO VISIT THE PROPERTY

I, Brian Kenimer, the owner or authorized owner's representative of the subject property listed on this application, hereby authorize City representatives to visit, photograph and post notice (if applicable) on the property as described in this application.

Property Owner Signature: [Signature] Date: 10/5/2018

NOTARY

Subscribed and sworn to before me on this 5<sup>TH</sup> day of OCTOBER, 2018.

State of Ohio County of Franklin

Notary Public Signature: [Signature]



P. Frederick Kenimer, Notary Public  
 In and For the State of Ohio  
 My Commission Expires January 14, 2022

### AGREEMENT TO COMPLY AS APPROVED

I, National Church Residences, the applicant of the subject property listed on this application, hereby agree that the project will be completed as approved and any proposed changes to the approved plans shall be submitted for review and approval to the Zoning Division staff.

Applicant Signature: [Signature] Date: 10/18/18

NOTARY

Subscribed and sworn to before me on this 5<sup>th</sup> day of October, 2018.

State of Ohio County of Franklin

Notary Public Signature: [Signature]



KIMBERLY R. GRAYSON  
 Notary Public, State of Ohio  
 My Commission Expires  
 January 11, 2021

**APPLICANT:**

National Church Residences Development  
 Corporation  
 2335 North Bank Drive  
 Columbus, Ohio 43220

**PROPERTY OWNER:**

Christian Meeting Room, Inc.  
 396 Sandburr Drive  
 Columbus, Ohio 43230

**ATTORNEY:**

Underhill & Hodge LLC  
 8000 Walton Parkway, Suite 260  
 New Albany, Ohio 43054

**SURROUNDING PROPERTY OWNERS:**

Robert and Georgia Kelley  
 396 Antcliff Court  
 Columbus, Ohio 43230

Michael Wolfe  
 343 Flint Ridge Drive  
 Columbus, Ohio 43230

Ivan Stefanov and Elina Vayntraub  
 380 Antcliff Court  
 Columbus, Ohio 43230

Juan Sanchez and Paloma Pena  
 374 Antcliff Court  
 Columbus, Ohio 43230

Pavilion Midland LLC  
 c/o 10866 Wilshire Boulevard, Suite 1250  
 Los Angeles, California 90024

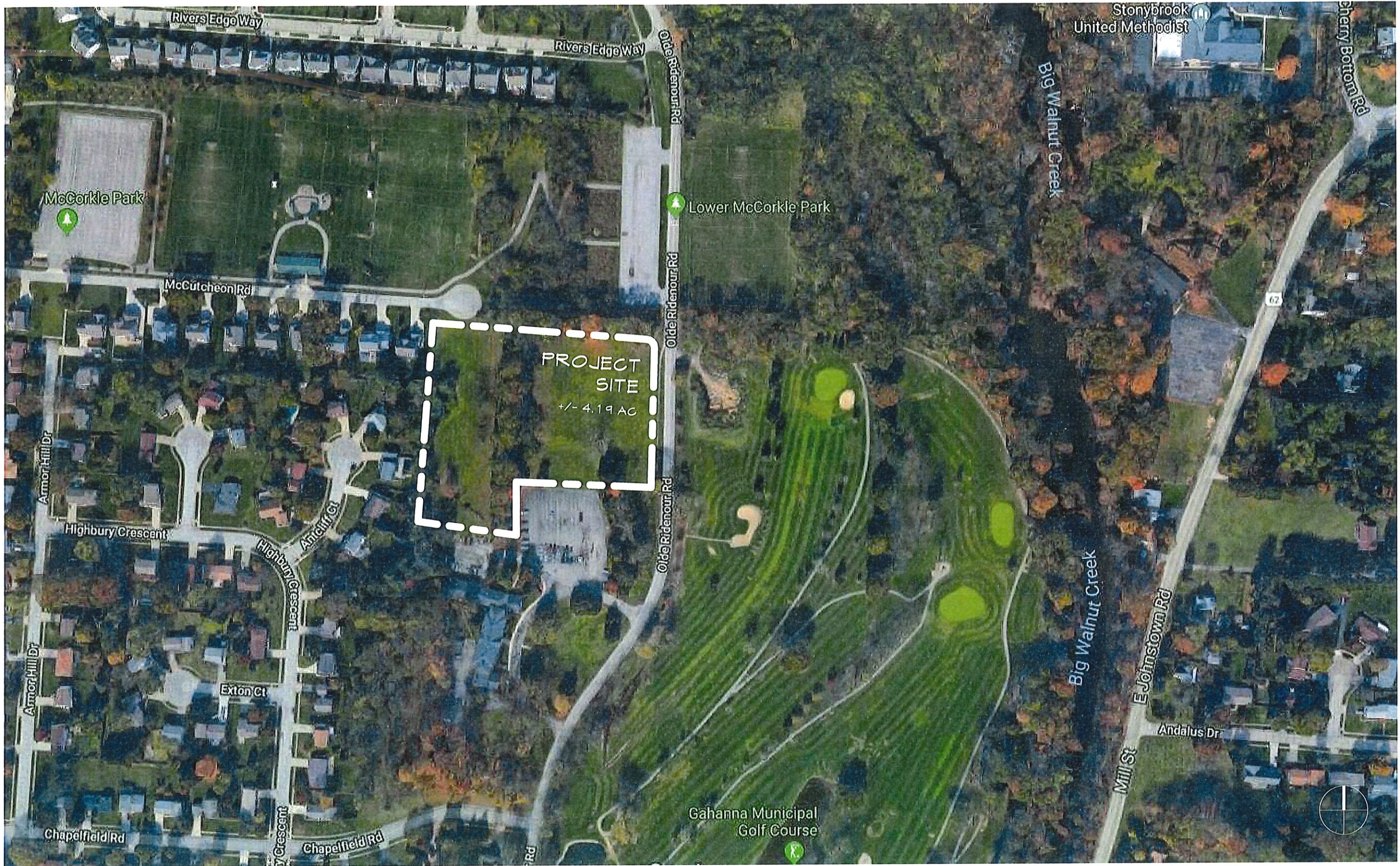
Kyle and Danielle Fabing  
 153 McCutcheon Road  
 Columbus, Ohio 43230

Paul and Angel Lacey  
 161 McCutcheon Road  
 Columbus, Ohio 43230

City of Gahanna  
 200 South Hamilton Road  
 Columbus, Ohio 43230

Village of Gahanna  
 200 South Hamilton Road  
 Columbus, Ohio 43230





NCR  
GAHANNA

GAHANNA, OH

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SCHEMATIC

DATE: 02/01/2019  
PROJECT #: 18161

CONTEXT  
AERIAL

SD-100

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING  
1393 GOODALE BOULEVARD, COLUMBUS, OHIO 43212  
P 614.221.1110 berardipartners.com







# INDEX OF SHEETS

Title Sheet  
Topographic Survey  
Topographic Survey  
Demolition Plan  
Staking Plan  
Staking Details  
Grading Plan  
Utility Plan  
Parking Plan  
Landscape Plan  
Site Details

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C-002  
C-003  
C-004  
C-100  
C-101  
C-200  
C-300  
A-101  
L1.01  
L2.01

# CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

# NATIONAL CHURCH

# RESIDENCES - GAHANNA

## FINAL DEVELOPMENT PLAN

## 2019

General Zoning and Project Information	
Address:	0 Ridenour Road
Parcel No.:	025-013236-00
Existing Zoning Classification/District:	L-MFRD
Zoning Case No.:	ORD-0003-2019
Total Site Area:	188,944 SF/4.34 Ac
Front Parking Setback:	25'
Side Parking Setback:	25'
Front Building Setback:	25'
Side Building Setback:	25'
Rear Building Setback:	50' (Adjacent to Residential District)
Proposed Building Height:	51' Main Building Parapet Height* 58' Stair and Elevator Height*
Building Use:	Independent Senior Living
Building Area (SF):	33,500
Maximum Lot Coverage:	50%
Proposed Building Lot Coverage:	18%
Proposed Total Lot Coverage:	41%
Area of Uncovered Land:	112,228 SF/2.58 Ac
Total Impervious Area (Building):	33,500 SF/0.77 Ac
Total Impervious Area (Parking and Other Pavements):	43,216 SF/0.99 Ac

\* Heights are based off of Building First Floor Elevation. Grade varies at the perimeter of the proposed building.

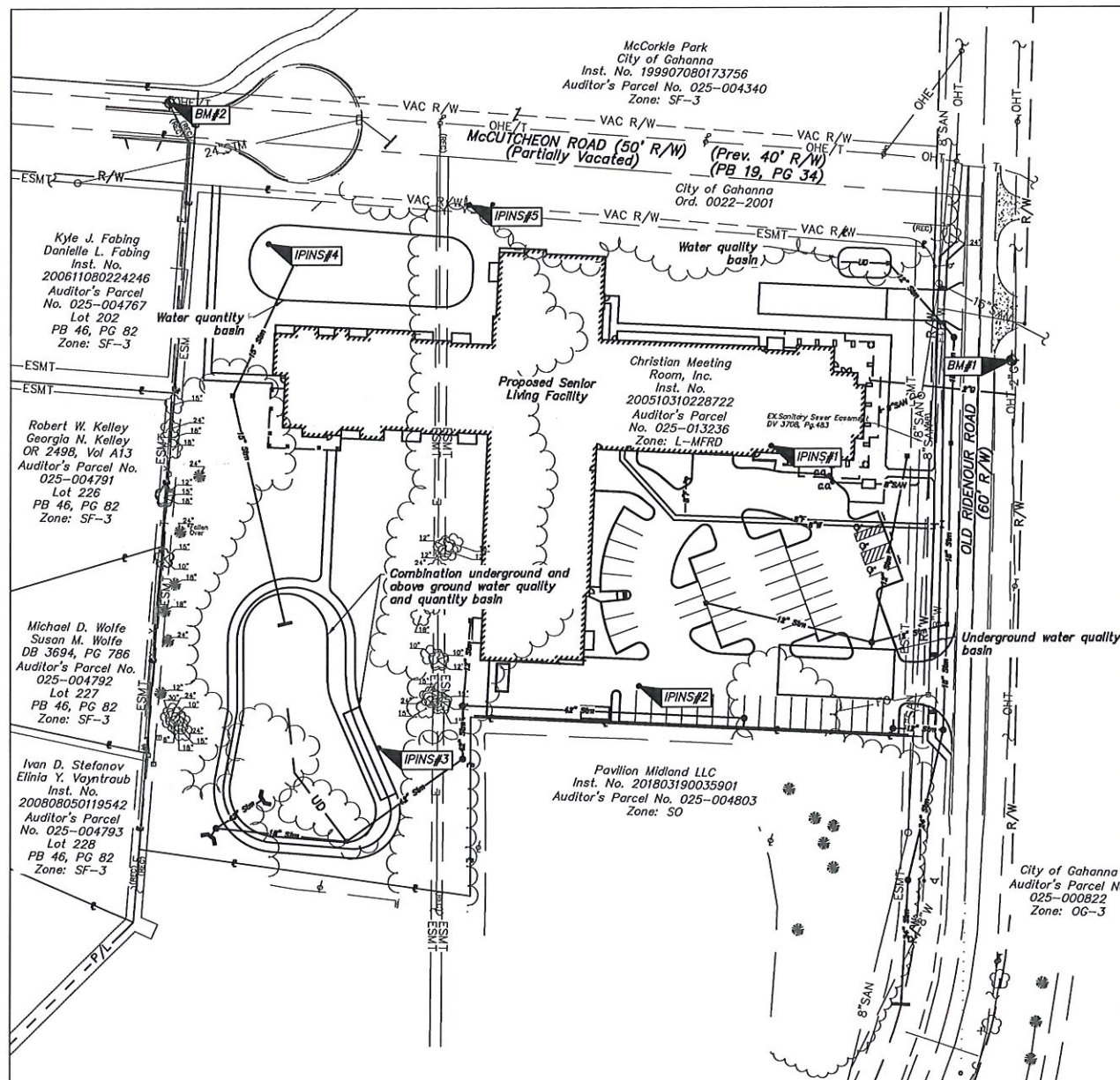
Parking Calculation			
Use	Criteria	Unit	Spaces Required
Independent Senior Living	1 Space/4 Beds	129 Beds	33
	1 Space/Employee (Max Shift)	8 Employees	8
	Required Parking		41
	Proposed Parking		99
	Required ADA Parking (van/total)		1/2
	Proposed ADA Parking (van/total)		1/6

Unit Totals:  
55 One Bedroom Units = 55 Beds  
37 Two Bedroom Units = 74 Beds  
Total Beds = 129 Beds

### VARIANCE SUMMARY

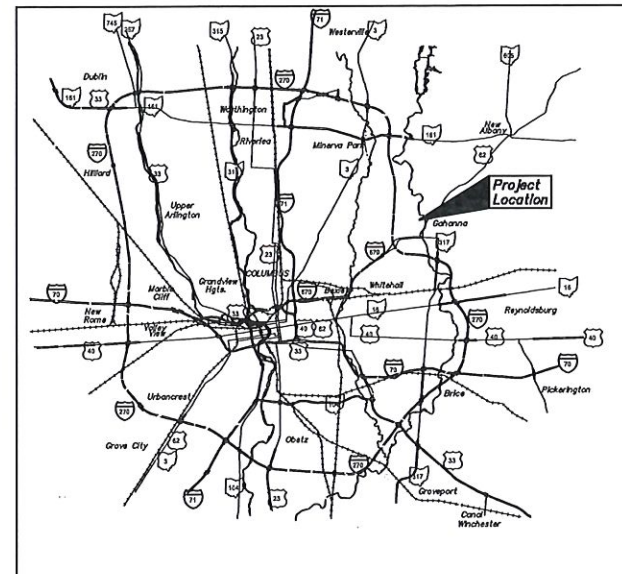
Variance application and information under a separate submission.

- Variances include:
1. Lot Density (1149.03 - Development Standards)
  2. Parking Setback on south property line.



### INDEX MAP

1" = 50'



### LOCATION MAP

NTS

THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT AND THAT ALL OF THE MINIMUM STANDARDS HAVE BEEN MET, INCLUDING THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN MY OPINION, THEY ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. ANY VARIANCES TO THE ABOVE STANDARDS ARE CONSISTENT WITH SOUND ENGINEERING PRACTICES AND ARE NOT DETRIMENTAL TO THE PUBLIC SAFETY AND CONVENIENCE. THESE VARIANCES HAVE BEEN LISTED HEREIN AND HAVE BEEN APPROVED BY THE CITY ENGINEER.

### PREPARED BY:

**KORDA**

Korda/Nemeth Engineering, Inc. - Consulting Engineers  
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010  
TEL 614-487-1650 • WEB www.korda.com

REGISTERED ENGINEER NO. \_\_\_\_\_ DATE \_\_\_\_\_

### APPROVALS, CITY OF GAHANNA

THE CITY OF GAHANNA SIGNATURES ON THIS PLAN SIGNIFIES ONLY CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE PROPOSED IMPROVEMENT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHO PREPARED AND CERTIFIED THESE PLANS.

DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_  
CITY OF GAHANNA, OHIO

WATER RESOURCES ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
CITY OF GAHANNA, OHIO

DIRECTOR OF PUBLIC SERVICE \_\_\_\_\_ DATE \_\_\_\_\_  
CITY OF GAHANNA, OHIO

DIVISION OF FIRE \_\_\_\_\_ DATE \_\_\_\_\_  
CITY OF GAHANNA, OHIO

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GAHANNA, OH

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- NOTE:
1. ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.
  2. THE CONTRACT DOCUMENTS ARE COMPRSED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
  3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.
  4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATIONS INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
  5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD DESIGN MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DETEND, DEFEND, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
  6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR COVERED REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

### DESIGN DEVELOPMENT

DATE: 3/20/2019  
PROJECT #: 18161



### TITLE SHEET

C-000

**OWNER/DEVELOPER**  
National Church Residences  
2245 North Bank Drive  
Columbus, OH 43220  
Phone: 614-582-5394  
Contact: George Tabit  
Email: gtabit@nationalchurchresidences.org

**ARCHITECT**  
Berardi  
1398 Goodale Boulevard  
Columbus, OH 43215  
Phone: 614-221-1110  
Contact: Jonathan Holway  
Email: jholway@berardipartners.com

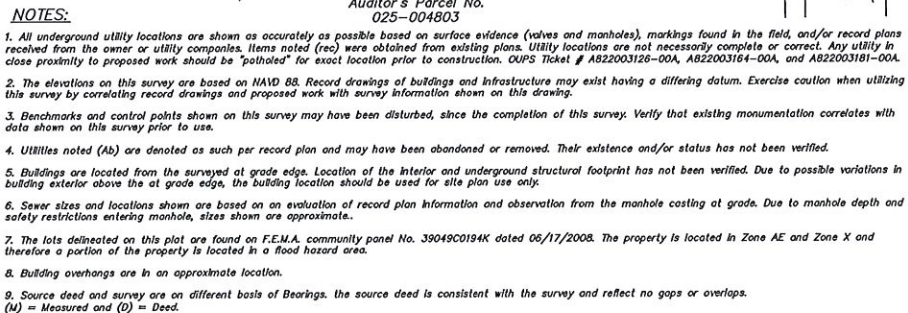
**ENGINEER**  
Korda/Nemeth Engineering  
1650 Watermark Drive  
Columbus, OH 43215  
Phone: 614-487-1650  
Contact: Chris Fleming, P.E.  
Email: chris.fleming@korda.com

**KORDA**  
KORDA/NEMETH ENGINEERING  
1650 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215  
DRAWN BY: CMZ  
DESIGNED BY: CMZ  
CHECKED BY: CMF  
PROJECT NUMBER: 2018-0417

**BERARDI+**  
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING  
1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43215  
P 614.221.1110 berardipartners.com



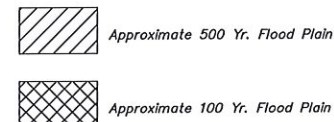
BEING PART OF RESERVE "A" OF IMPERIAL RISE PLAT NO. 3, PB 46, PAGE  
82, SECTION 1, TOWNSHIP 1, RANGE 17, UNITED STATES MILITARY  
LANDS, CITY OF GAHANNA, COUNTY OF FRANKLIN, STATE OF OHIO.



*Daniel L. Quick*  
Daniel L. Quick, P.S. 7803  
Korda-Nemeth Engineering, Inc.

<b><u>LEGEND</u></b>	
<i>(applicable for all survey sheets)</i>	
	Building/Wall
	Curb
	Curb and Gutter
	Pavement/Walk
	Index Contour
	Intermediate Contour
	Water line
	Chilled Water line
	Gas Line
	Combined Sewer
	Sanitary Sewer
	Storm Sewer
	Manhole
	Open Grate Manhole
	Curb Inlet
	Valve
	Underground Electric line
	Electric Manhole
	Underground Telephone
	Telephone Pole
	Telephone Manhole
	Overhead Signal Line
	Underground Traffic Line
	Power Pole
	Light Pole
	Fence
	Right of Way Line
	Vacated Right of Way Line
	Easement Line
	Setback Line
	Property Line
	Original Subdivision Lot Lines
	Further route of utility unknown
	Tree Line/Shrub Line
	5/8"x30" Iron Pin Set topped by yellow cap stamped "PSNO. 7803 KORDA/NEMETH"
	Iron Pipe/Pin Found (see survey for size/type)
	Trees
	Electric Pull Box
	Telephone Pull Box/Pedestal
	Traffic Pull Box
	Unknown Utility Pull Box
	Lighting Pull Box
	Fire Hydrant
	Top of Casting Elevation Information Obtained From Record Plan
	Abandoned Utility
	Spot Elevation
	Top of Curb Elevation
	Bottom of Curb Elevation
	Control Point
	Traffic Bollard
	Handicap Ramp
	Sign
	Concrete Pavement, Walk, Slab

**Not all symbols necessarily used**



*NON-MEMBERS  
MUST BE CALLED DIRECTLY*



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P 614.221.1110 [berardipartners.com](http://berardipartners.com)

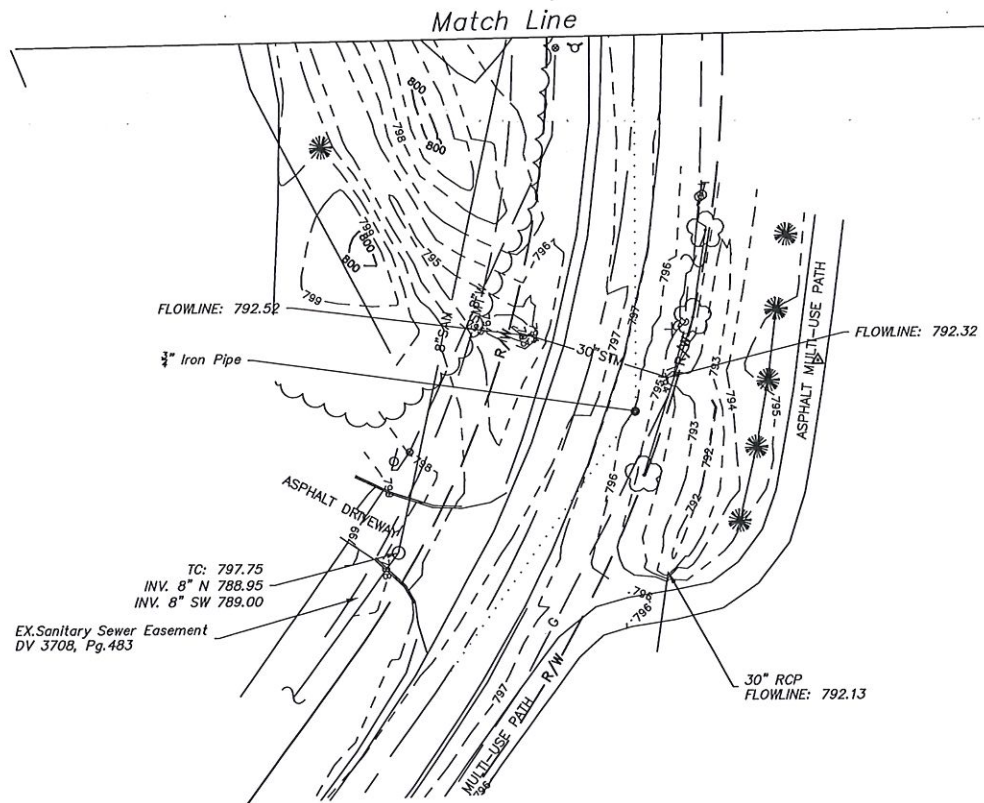


BENCHMARKS		
No.	Elevation	Description
1	799.06	Railroad Spike on West side of AT&T power pole on the East side of Old Ridenour Road, 105' South of McCutcheon Road.
2	821.00	Railroad Spike on Easterly side of Power Light Pole on North side of McCutcheon Road, 528' West of Old Ridenour Road

\*Elevations are based on NAVD 1988.

CONTROL POINTS				
No.	Northing	Easting	Elevation	Description
1	739067.48	1861811.12	799.52	Iron Pin Set
2	738913.08	1861725.92	801.33	Iron Pin Set
3	738873.41	1861558.20	809.71	Iron Pin Set
4	739198.01	1861486.84	816.99	Iron Pin Set
5	739222.97	1861616.07	817.58	Iron Pin Set

\*The Bearing of South 85°33'10" East on the southerly vacated right of way line of McCutcheon Road is referenced to the State Plane Coordinates Ohio South Zone NAD 83 with 2011 NSRS adjustment.



Proposed Insured: National Church Residences  
Title Commitment Number: G1800513  
Title Commitment Date: July 20, 2018 at 6:59 am

Schedule of Survey Items Identified as:

Item No. 10: Easements, setbacks and/or conditions as shown on plat filed for record April 30, 1973, in Plot Book 46, page 82, of the Franklin County, Ohio Records. Shown on survey.

Item No. 11: Easement to Columbus and Southern Ohio Electric Company, filed for record July 10, 1973 in Deed Volume 3352, page 232, of the Franklin County, Ohio Records-Area shown on survey.

Item No. 12: Easement to the City of Gahanna, Ohio, filed for record September 25, 1973, in Deed Volume 3370, page 200, of the Franklin County, Ohio Records-Shown on survey.

Item No. 13: Restrictions, covenants, limitations, easements, and/or conditions, as established in instrument, filed for record November 20, 1991, in Official Record Volume 1368, page 102, of the Franklin County, Ohio Records-Area encompasses entire survey. This was a 30 year document and no evidence of a renewal was discovered during this title search, therefore the document expired in October 2011.

Item No. 14: Easement to Columbus and Southern Ohio Electric Company, filed for record June 2, 1982 in Official Record Volume 1784, page C14, of the Franklin County, Ohio Records-Area shown on survey.

Legal Description: (By Deed)

Real Property in the City of Gahanna of Franklin, State of Ohio, and is described as follows:

Lying in Quarter Township 1, Township 1, Range 17, United States Military Lands and being part of the 11,028 acre tract conveyed as Reserve "A" of "IMPERIAL ROSE PLAT NO. 3", a subdivision of record in Plot Book 46, Page 82, to S.S. Realty, LLC by deed of record in Instrument No. 19990129002434, (all references refer to the records of the Recorder's Office, Franklin County, Ohio) and more particularly bounded and described as follows:

BEGINNING at an iron pin in the southerly right-of-way line of McCutcheon Road at the northwesterly corner of said Reserve "A";

The following two (2) courses and distances along said southerly right-of-way line of McCutcheon Road and northerly line of said Reserve "A";

1. South 85° 34' 11" East, a distance of 462.68 feet to an iron pin found at a point of curvature;

2. Thence the arc of said curve to the right having a central angle of 88° 55' 01", a radius of 20.00 feet and a chord bearing South 42° 06' 40" East, a chord distance of 27.51 feet, to an iron pin found at a point of tangency in the westerly right-of-way line of Ridenour Road and the easterly line of said Reserve "A";

Thence South 01° 20' 50" West, a distance of 300.82 feet, along said westerly right-of-way line of Ridenour Road and easterly line of said Reserve "A", to an iron pin set;

The following three (3) courses and distances across said Reserve "A";

1. Thence North 87° 21' 02" West, a distance of 292.54 feet, to an iron pin set;

2. Thence South 00° 03' 16" West, a distance of 115.30 feet, to an iron pin set;

3. Thence North 81° 54' 34" West, a distance of 215.87 feet, to an iron pin set in the westerly line of said Reserve "A";

Thence North 04° 25' 49" East, a distance of 429.58 feet, to the POINT OF BEGINNING. Containing 4.180 acres more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

Iron pin sets, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with plastic plug placed in the top bearing the initials EMH INC.

The bearings in the above description are based on the same meridian as the centerline of McCutcheon Road as shown on the record plat of Imperial Rise Plat No. 3 as shown in Plot Book 46, Page 82, Recorder's Office, Franklin County Ohio, having a bearing of South 85° 34' 11" East.

Legal Description: (By Survey)

Situated in the State of Ohio, County of Franklin, City of Gahanna, Section 1, Township 1, Range 17, United States Military Lands, being part of Reserve "A" of "IMPERIAL ROSE PLAT NO. 3", Plot Book 46, Page 82, and being the same 4,190 acre tract conveyed to Christian Meeting Room Inc. by deed of record in Instrument No. 200510310228722 as recorded in the Franklin County Recorder's Office, and being more particularly described as follows:

Beginning at an iron pin set in the southerly right of way of McCutcheon Road (50' R/W) and being the northwesterly corner of said Reserve "A" and the northwesterly corner of Lot 202 of said Imperial Rise Subdivision;

Thence along the northerly line of Reserve "A" and the southerly vacated right of way of McCutcheon Road, now being the southerly line of a parcel transferred to the City of Gahanna by Ordinance 0022-2001, as recorded with the City of Gahanna's Engineer's Office, South 85° 34' 11" East for a distance of 462.68 feet to a point, referenced by an iron pin found North 39° 58' 41" East at a distance of 0.20 feet from the actual corner;

Thence continuing along the northerly line of Reserve "A" and the southerly vacated right of way line of McCutcheon Road, along a curve to the right having a central angle of 88° 55' 01", a radius of 20.00 feet and a chord bearing South 42° 06' 40" East for a chord distance of 27.51 feet to an iron pin set in the westerly right of way of Old Ridenour Road (60' R/W) and in the easterly line of said Reserve "A";

Thence South 01° 21' 51" West along the westerly right of way of Old Ridenour Road, for a distance of 300.83 feet to an iron pin set at the northwesterly corner of a 6.844 acre tract conveyed to Pavilion Midland LLC by deed of record instrument Number 201803190035901, as recorded with the Franklin County Recorder's Office;

Thence North 87° 20' 02" West along the northerly line of said 6.844 acre tract for a distance of 292.24 feet to an iron pin set;

Thence continuing along the northerly line of said 6.844 acre tract, South 00° 04' 17" West for a distance of 115.30 feet to an iron pin set;

Thence continuing along the northerly line of said 6.844 acre tract, North 81° 53' 33" West for a distance of 215.87 feet to a 3/4 inch diameter iron pin found in the westerly line of Reserve "A" and in the easterly line of Lot 228 of said Imperial Rise Plat No.3;

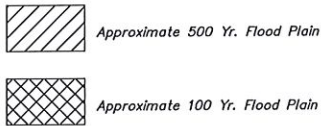
Thence along the westerly line of Reserve "A", and the easterly line of Lots 228, 227, 226 and 202, North 04° 26' 50" East for a distance of 429.58 feet, passing iron pipes at 195.31 feet and 293.93 feet to the Point of Beginning and containing 4.180 acres (182412.10 Sq.Ft.), more or less, and being subject to all other legal easements, covenants, and rights-of-way of record.

All of the above described tract, 4.188 acres, more or less, are located within Auditor's Parcel No. 025-013236.

The bearing of South 85° 33' 10" East on the southerly vacated right of way line of McCutcheon Road is referenced to the state plane Coordinates Ohio South Zone NAD 83 with 2011 NSRS adjustment.

Iron pin set are 3/4"x30" topped by plastic yellow cap stamped "ONE" / PS NO. 7803.

This description was prepared by David L. Quick, Ohio Professional Survey No. 7803 from an actual field survey performed in August, 2018 by Korda/Nemeth Engineering, Inc.



**RIGHT OF WAY WIDTH**  
The current R.O.W. width of Old Ridenour Road is 60 feet.  
The current R.O.W. width of McCutcheon Road is 50 feet.

**ZONING**  
Classification not provided by insurer.

LEGEND (applicable for all survey sheets)	
	Building/Wall
	Curb
	Curb and Gutter
	Pavement/Walk
	Index Contour
	Intermediate Contour
	Water line
	Chilled Water line
	Gas Line
	Combined Sewer
	Sanitary Sewer
	Storm Sewer
	Manhole
	Open Grate Manhole
	Curb Inlet
	Valve
	Underground Electric line
	Electric Manhole
	Underground Telephone
	Telephone Pole
	Telephone Manhole
	Overhead Signal Line
	Underground Traffic Line
	Power Pole
	Light Pole
	Fence
	Right of Way Line
	Vacated Right of Way Line
	Easement Line
	Setback Line
	Property Line
	Original Subdivision Lot Lines
	Further route of utility unknown
	Tree Line/Shrub Line
	5/8"x30" Iron Pin Set topped by yellow cap stamped "PSNO. 7803 KORDA/NEMETH"
	Iron Pipe/Pin Found (see survey for size/type)
	Trees
	Electric Pull Box
	Telephone Pull Box/Pedestal
	Traffic Pull Box
	Unknown Utility Pull Box
	Lighting Pull Box
	Fire Hydrant
	Top of Casting Elevation
	Information Obtained From Record Plan
	Abandoned Utility
	Spot Elevation
	Top of Curb Elevation
	Bottom of Curb Elevation
	Control Point
	Traffic Bollard
	Handicap Ramp
	Sign
	Concrete Pavement, Walk, Slab

Not all symbols necessarily used

UNDERGROUND UTILITIES

Two Working Days  
BEFORE YOU DIG

Call 800-362-2764 (Toll free)  
OHIO UTILITIES PROTECTION SERVICE

NON-MEMBERS  
MUST BE CALLED DIRECTLY

NCR  
GAHANNA

GAHANNA, OH

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3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A" SHEETS.  
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SCHEMATIC

DATE: 3/6/2019  
PROJECT #: 18161



TOPOGRAPHIC  
SURVEY

C-003

KORDA

KORDA NEMETH ENGINEERING

1660 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215

DESIGNED BY: CMZ

DRAWN BY: CMZ

CHECKED BY: CMZ

PROJECT NUMBER: 2018-0417

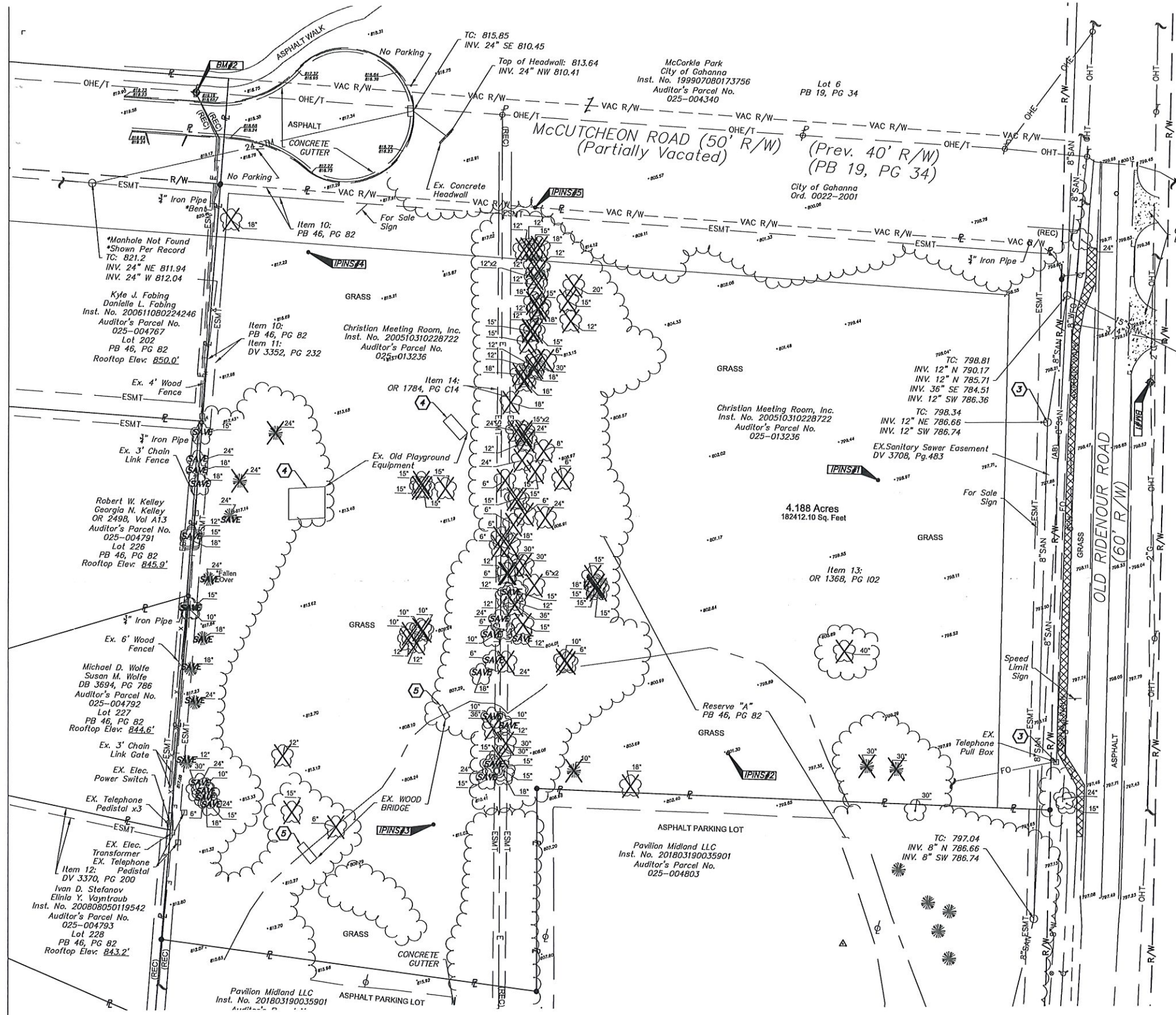
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1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212

P 614.221.1110 berardi@partners.com





**LEGEND**

**EXISTING**

Remove existing asphalt, gravel, and concrete pavement, concrete sidewalk, building foundation, and pavement base materials

Remove existing tree

Protect existing tree to remain

**PROPOSED**

Save

GRAPHIC SCALE  
SCALE IN FEET

0 30 60 90

- General Notes:**
1. Site survey performed by Korda/Nemeth Engineering, dated August 15-23, 2018. Refer to Sheets C-002 and C-003 for all existing site features.
  2. Dispose of construction debris off-site in accordance with local codes.
  3. Remove and dispose of on site features as shown on the plan.
  4. Saw-cut existing pavement at limits of pavement removal to full depth using care to cut neat, straight lines. Cut at existing joints where possible.
  5. Contractor to protect existing site features to remain outside construction limits. Repair any damage to the satisfaction of the owner at no additional cost.
  6. Control dust at the site. Provide street cleaning when necessary, and when requested by owner.
  7. Grade site during construction to provide positive drainage to existing and/or proposed storm water management systems.
  8. Perform work in accordance with local codes and regulations.

- Coded Notes:**
1. Protect existing pavement/sidewalk to remain.
  2. Sawcut existing pavement with neat, straight lines. Match existing pavement grade at this point.
  3. Protect existing utility structure to remain. Adjust to final grade.
  4. Remove existing playground equipment.
  5. Remove existing wood bridge.

NCR  
GAHANNA

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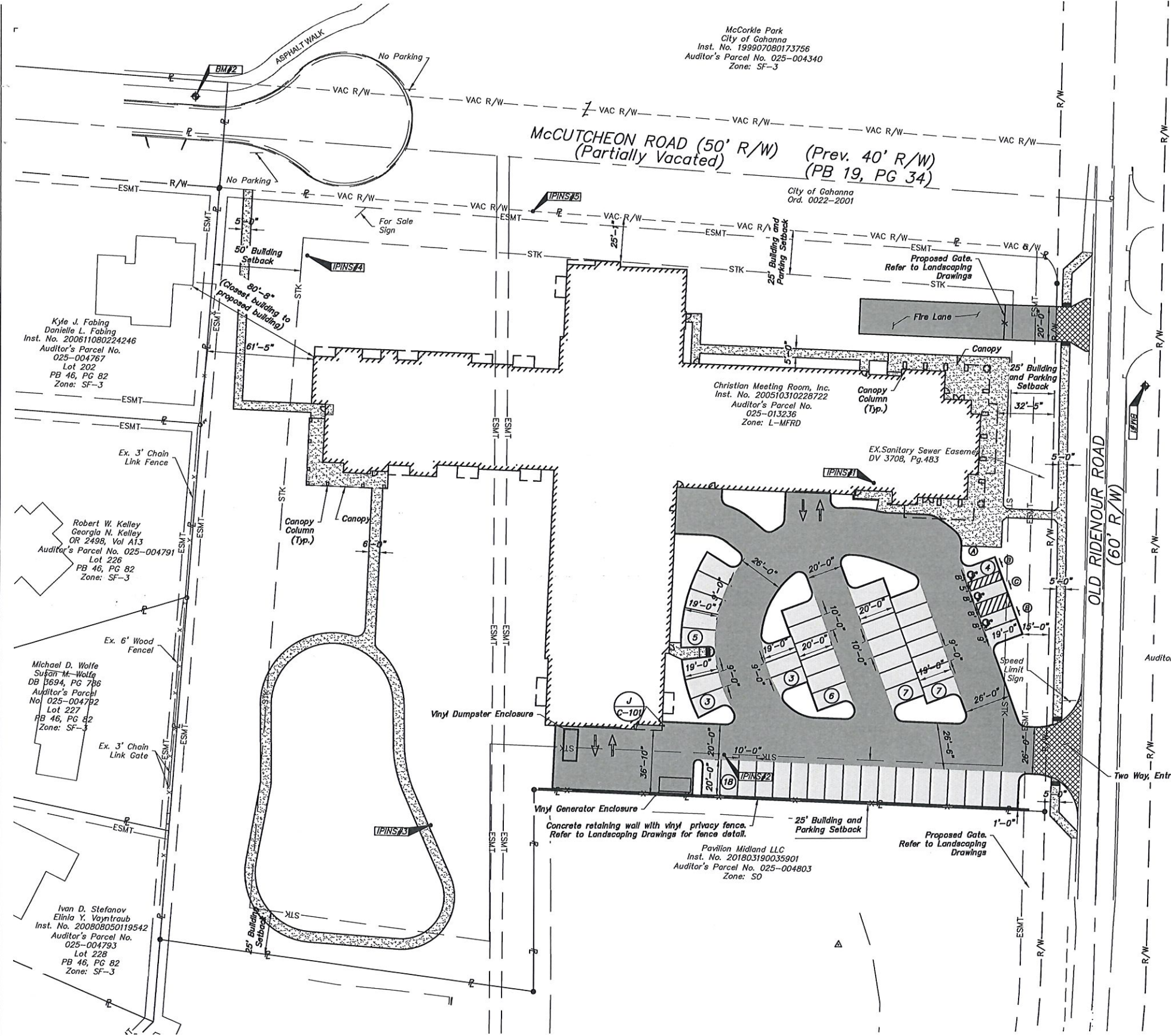
**DESIGN  
DEVELOPMENT**  
DATE: 3/20/2019  
PROJECT #: 18161

**DEMOLITION  
PLAN**  
  
**C-004**

**KORDA**  
KORDA NEMETH ENGINEERING  
1660 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215  
DRAWN BY: CMZ  
DESIGNED BY: CMZ  
CHECKED BY: CMZ  
PROJECT NUMBER: 2018-0417

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1388 GOODDALE BOULEVARD, COLUMBUS, OHIO 43212  
P 614.221.1110 berardi@partners.com





McCorkle Park  
City of Gahanna  
Inst. No. 199907080173756  
Auditor's Parcel No. 025-004340  
Zone: SF-3

McCUTCHEON ROAD (50' R/W) (Prev. 40' R/W) (PB 19, PG 34)  
City of Gahanna  
Ord. 0022-2001

Christian Meeting Room, Inc.  
Inst. No. 200510310228722  
Auditor's Parcel No. 025-013236  
Zone: L-MFRD

City of Gahanna  
Auditor's Parcel No. 025-000822  
Zone: OG-3

Pavilion Midland LLC  
Inst. No. 201803190035901  
Auditor's Parcel No. 025-004803  
Zone: SO

Kyle J. Fabing  
Donielle L. Fabing  
Inst. No. 200611080224246  
Auditor's Parcel No. 025-004767  
Lot 202  
PB 46, PG 82  
Zone: SF-3

Robert W. Kelley  
Georgina N. Kelley  
OR 2498, Vol A13  
Auditor's Parcel No. 025-004791  
Lot 226  
PB 46, PG 82  
Zone: SF-3

Michael D. Wolfe  
Susan M. Wolfe  
DB 1694, PG 786  
Auditor's Parcel No. 025-004782  
Lot 227  
PB 46, PG 82  
Zone: SF-3

Ivan D. Stefanov  
Elina Y. Vayntraub  
Inst. No. 200808050119542  
Auditor's Parcel No. 025-004793  
Lot 228  
PB 46, PG 82  
Zone: SF-3

### LEGEND

#### EXISTING

Refer to ALTA/NSPS Survey, Refer to Sheets C-002 and C-003 (Typical to all plan sheets)

#### PROPOSED

- Building/Wall
- Straight Curb per Detail E or F/C-101
- Pavement per Detail A or B/C-101
- Walk per Detail D/C-101
- Fence
- Construction Limits
- Heavy Duty Asphalt per Detail A/C-101
- Light Duty Asphalt per Detail B/C-101
- Concrete Sidewalk per Detail D/C-101
- Driveway, Non-Residential per City of Columbus Std. Dwg. 2202
- Sign per Detail C/C-101



### General Notes:

- Dimensions and coordinates are given to face of curb and face of building unless otherwise noted.
- Curb and sidewalk radii shall be 5'-0" unless otherwise noted.
- Provide striping and symbols as shown per ODOT Item 640 and 641. Striping point shall be ODOT Item 740.02 Type 4 without glass beads. Typical line width shall be 4 inches, color white.
- Standard parking stall dimensions are 9'-0" in width by 19'-0" in length unless otherwise noted.
- Sawcut full depth sidewalk and pavement where new work abuts existing construction. Take care to provide neat straight lines. Provide pavement sealant per ODOT Item 423 at joint between existing and new asphalt. Remove concrete to nearest joint. Provide 1/2" Preformed Expansion Joint filler between new and existing construction.
- Any property pins damaged as part of construction shall be reset by an Ohio registered surveyor.
- Maintain pedestrian and vehicular access to adjacent buildings at all times during construction.
- Refer to Architectural Drawings for all site signage not shown on this sheet.
- Building coordinates provided for building location only. Refer to architectural plans for building layout.
- Provide control joints per Detail G/C-101. Provide isolation joints where new concrete abuts existing structures per Detail H/C-101 and per Specifications.

## NCR GAHANNA

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## DESIGN DEVELOPMENT

DATE: 3/20/2019  
PROJECT #: 18161



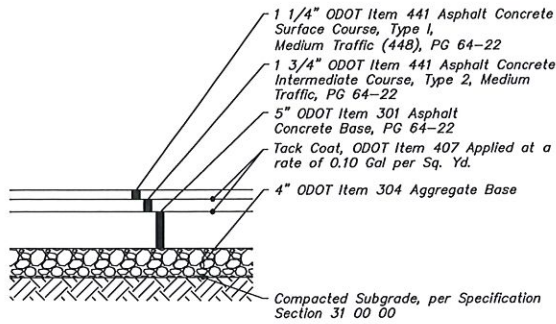
## STAKING PLAN

# C-100

**KORDA**  
KORDA NEMETH ENGINEERING  
1650 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215  
DRAWN BY: CMZ  
DESIGNED BY: CMZ  
CHECKED BY: CMZ  
PROJECT NUMBER: 2018-0417

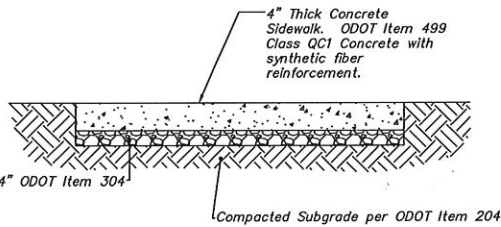
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P 614.221.1110 [berardipartners.com](http://berardipartners.com)





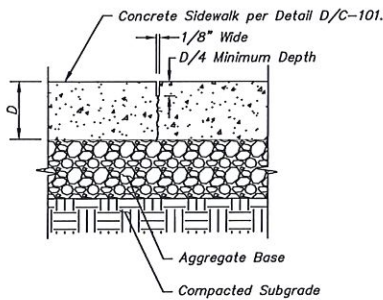
- Notes:**
1. Compose hot mix asphalt mixture with aggregate and asphalt binder meeting ODOT requirements.
  2. Submit an approved Job Mix Formula including mix type proposed for use, aggregate source, type, and gradation, percent of asphalt binder, and unit weight of the mixture.
  3. Obtain Job Mix Formula approval by providing a previously ODOT approved formula. The agency performing the testing must be level III Bituminous Concrete approved by ODOT.
  4. Provide quality assurance testing in accordance with ODOT Item 448 and supplemental specification 1055. The agency performing the testing must have a current level I Bituminous Concrete approval from ODOT.
  5. Provide compaction ranging from 90 to 97.9% of the average Maximum Specific Gravity for Surface Course and 90 to 96.9% for Intermediate Course. Remove and replace material placed outside of said ranges. Provide replacement pavement and quality assurance testing at no additional cost to the Owner.

## A DETAIL HEAVY DUTY ASPHALT PAVEMENT N.T.S.



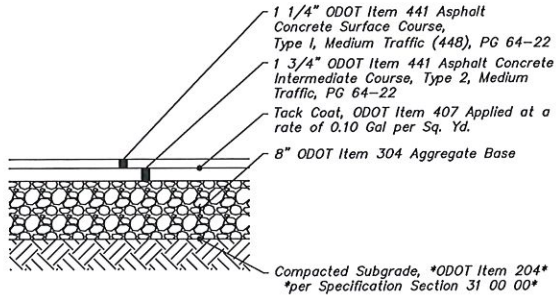
- Notes:**
- Synthetic Fiber Reinforcement:** ASTM C1116-97 and ASTM C1018-97. Acceptable products include, but are not limited to:
    1. Nyon Nylon Fibers
    2. Forta Nylo-Mono Nylon Fibers
    3. Fibermesh Fibermix Stealth Polypropylene Fibers
    4. Grace Polypropylene Fibers
 Synthetic fiber reinforcement shall be used in strict accordance with the manufacturer's recommendations. Dosage rate shall be as recommended by the manufacturer, but not less than 1 pound per cubic yard.
  - Dissipating Curing Compound:** Comply with ASTM C309-98a, Type 1, Class B (clear), except moisture loss not to exceed 0.40 kg/sq m. in 72 hours. Compound shall comply with EPA's VOC requirements. Apply at the manufacturer's written recommended application rate. Completely remove curing compound prior to application of penetrating sealer.
  - Penetrating Sealer:** Acceptable products include, but are not limited to:
    1. L&M Construction Chemicals - Aquapel Plus 40
    2. ProSoCo - Saltguard WB
    3. Huls America Inc. - Chem-Trete BSM 40
    4. Master Builders Inc. - Masterseal SL 40
    5. Lyntal International - Iso-Flex 618-50 WB
    6. BASF - Enviroseal 40 or Hydrazo Silane 40
    7. Tex-Cote - Rainstopper RS140

## D DETAIL LIGHT DUTY CONCRETE SIDEWALK N.T.S.



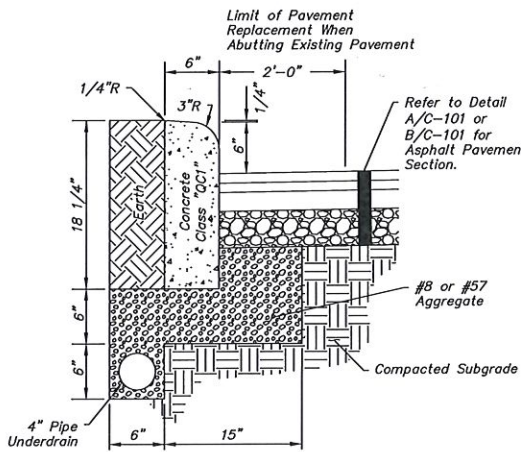
- Notes:**
1. Place control joints within 8 hours of concrete placement and at locations indicated on the Staking Plan. If joints are not shown on Staking Plan, provide at locations indicated below:
    - A. Spacing (in feet) shall be between 2 to 2-1/2 times slab thickness (in inches in both directions (i.e. 4" slab shall have joint spacing of 8-10 feet).
    - B. Grid of control joints shall be approximately square with longest side to be not longer than 1.5 times the shortest side (i.e. 4 foot wide walk shall have joint spacing at 4-6 feet).

## G DETAIL SAW CUT CONCRETE CONTROL JOINT- LONGITUDINAL N.T.S.



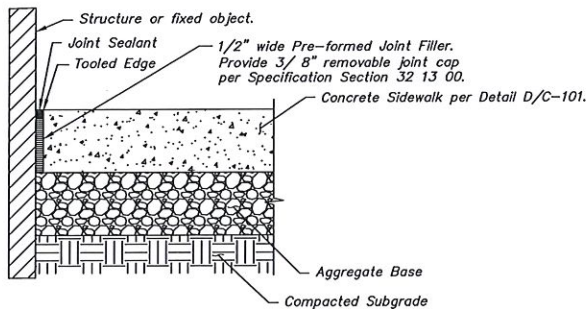
- Notes:**
1. Compose hot mix asphalt mixture with aggregate and asphalt binder meeting ODOT requirements.
  2. Submit an approved Job Mix Formula including mix type proposed for use, aggregate source, type, and gradation, percent of asphalt binder, and unit weight of the mixture.
  3. Obtain Job Mix Formula approval by providing a previously ODOT approved formula. The agency performing the testing must be level III Bituminous Concrete approved by ODOT.
  4. Provide quality assurance testing in accordance with ODOT Item 441 and supplemental specification 1055. The agency performing the testing must have a current level I Bituminous Concrete approval from ODOT.
  5. Provide compaction ranging from 90 to 97.9% of the average Maximum Specific Gravity for Surface Course and 90 to 96.9% for Intermediate Course. Remove and replace material placed outside of said ranges. Provide replacement pavement and quality assurance testing at no additional cost to the Owner.

## B DETAIL LIGHT DUTY ASPHALT PAVEMENT N.T.S.



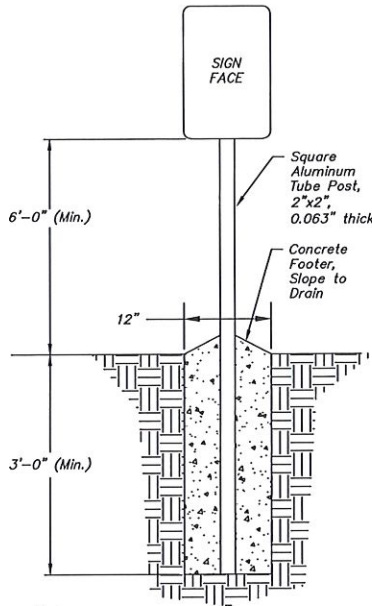
- Notes:**
1. All exposed surfaces of concrete curb to be floated and brush finished, unless placed by a curb machine.
  2. Provide joints per Specification Section 32 13 00.
  3. Extend underdrain to nearest storm structure, slope to drain.

## E DETAIL STRAIGHT 18" CONCRETE CURB WITH UNDERDRAIN N.T.S.



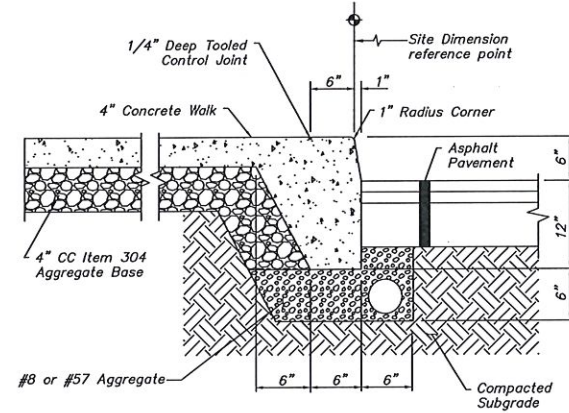
- Notes:**
1. Place isolation joints where new concrete slab abuts structures or fixed objects including: buildings, walls, columns, pole bases, curbs, catch basins, existing concrete, or as noted on the Staking Plan.
  2. Provide at formed edge of previously poured slabs. Seal joint with Joint Sealant, See Specification Section \*02750\* 32 13 00\*.
  3. Submit sample for color approval. Pre-formed Joint Filler - Non-impregnated type, closed cell resilient polyethylene foam, 1/2 inch thick unless otherwise noted, Ceram Flex Foam Expansion Joint by W.R. Meadows or equal meeting the requirements of ASTM D 1752 Sections 5.1 through 5.4. Refer to Specification Section \*02750\* 32 13 00\*.

## H DETAIL CONCRETE ISOLATION JOINT N.T.S.



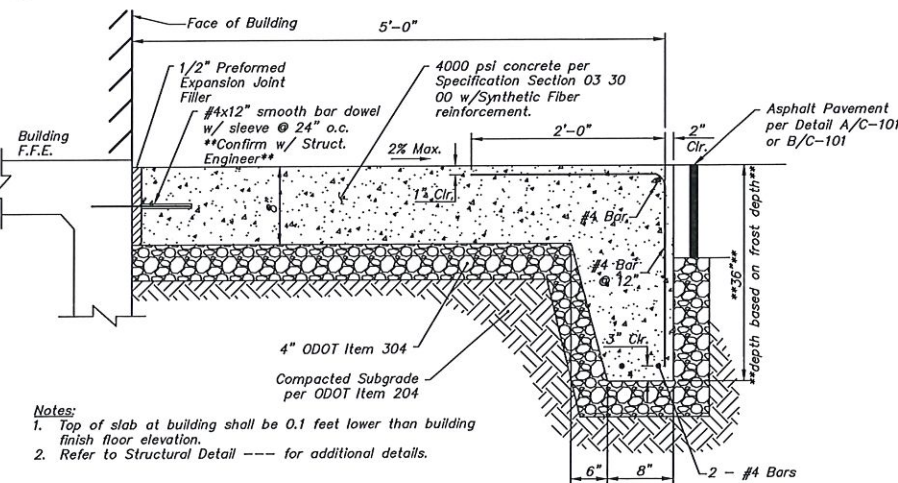
- Notes:**
1. Provide sign in accordance with ODOT Item 630.
  2. Provide 0.063 inch thick, aluminum sign panels.
  3. Provide reflective finish on sign.
  4. Provide permanent weatherproof aluminum cap on post top.
  5. Provide "Do Not Enter" sign per ODOT Std. R5-1 where noted (A) on drawings.
  6. Provide "Van Accessible" sign where noted (C) on drawings.

## C DETAIL SIGNS N.T.S.



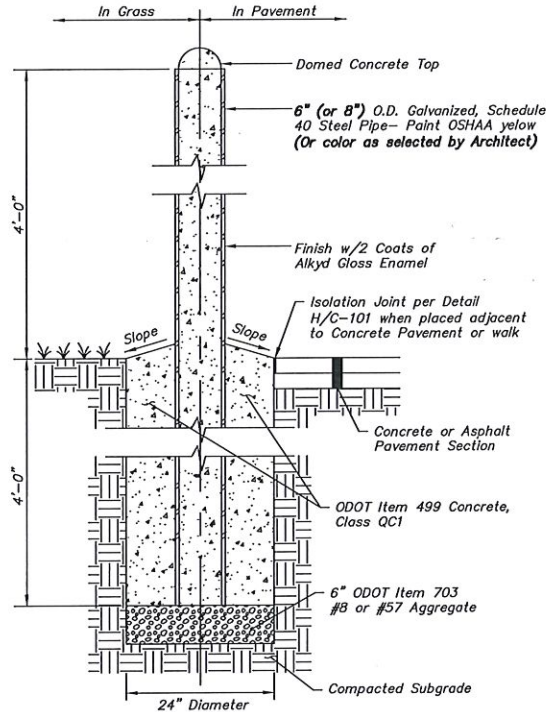
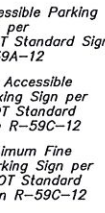
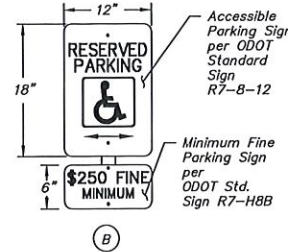
- Notes:**
1. Provide isolation joints per Detail H/C-101.
  2. Provide control joints in curb and walk as indicated in Specification Section 32 13 00 and Detail G/C-101.
  3. Extend underdrain to nearest storm structure, slope to drain.

## F DETAIL INTEGRAL CONCRETE WALK AND CURB N.T.S.



- Notes:**
1. Top of slab at building shall be 0.1 feet lower than building finish floor elevation.
  2. Refer to Structural Detail --- for additional details.

## I DETAIL FROST SLAB N.T.S.



## J DETAIL STEEL PIPE BOLLARD N.T.S.

## NCR GAHANNA

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## DESIGN DEVELOPMENT

DATE: 3/20/2019  
PROJECT #: 18161



## STAKING DETAILS

## C-101

**KORDA**  
KORDA NIMETH ENGINEERING  
1660 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215  
DRAWN BY: CMZ  
DESIGNED BY: CMZ  
CHECKED BY: CMF  
PROJECT NUMBER: 2018-0417

**BERARDI+**  
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LEGEND	
EXISTING	
Refer to ALTA/NSPS Survey, Refer to Sheets C-002 and C-003 (Typical to all plan sheets)	
PROPOSED	
	Index Contour
	Intermediate Contour
	Building/Wall
	Underground Electric Line
	Underground Telephone Line
	Underground Cable Line
	Underground Fiber Optic Line
	Underground Lighting Circuit
	Water Line
	Fire Protection Service Line
	Gas Line
	Storm Sewer
	Underdrain
	Sanitary Sewer
	Gas Line (By Others)
	Catch Basin
	Curb & Gutter Inlet
	Manhole
	Downspout Adapter
	Fire Hydrant
	Gate Valve & Curb Box
	Post Indicating Valve
	Fire Department Connection
	Clean Out
	Structure Number
	Grade Break (Crown) Line
	Grading/Seeding Limits
	Spot Elevation
	Top of Casting
	Top of Curb Elevation
	Gutter Elevation at Face of Curb
	Flow Direction Arrow
	High (Crown) Point
	Emergency Overflow
	Match Existing Elevation

General Notes:

1. Provide 10' underdrains in four directions at catch basins in pavement. Refer to Detail C/C-201.
2. Pavement elevations refer to finished pavement elevation at face of curb unless otherwise noted.
3. Construction work will not be permitted without approved plans and inspection.
4. Perform work in accordance with City of Gahanna Material Specifications and Standard Construction Drawings. In case of a discrepancy between City of Gahanna requirements and project specifications, City of Columbus standards shall govern.
5. Soil erosion and sedimentation BMP measures, per Sheets C-206 and C-207, shall be installed prior to start of any construction and shall be maintained until construction has been completed, including grass being well established and/or permanent erosion and sedimentation BMP measures in place. BMP measures shall be to the satisfaction of the City of Gahanna.
6. Control dust on the site and prevent tracking soil off site. Contractor shall, at the end of each working day, clean dirt and sediment tracked onto streets.
7. Remove sediment from detention areas, outlet structures, and underdrains once final seed has been established.
8. Dimensions and coordinates are to face of curb or face of building unless otherwise noted.
9. Extend utilities to within 5'-0" of face of building unless otherwise noted. Coordinate exact location with Plumbing Contractor. Final connection by plumbing contractor.
10. Maximum finish slopes shall be 4:1 unless otherwise noted.
11. Coordinates and elevations based on survey performed by Korda/Nemeth Engineering dated August 27, 2018. Refer to Sheets C-002 and C-003.
12. Contractor shall strip and stockpile existing topsoil throughout the site prior to excavation. Upon completion of final grading, provide 6 inches of topsoil and seed areas disturbed by construction, including laydown areas and trailer locations if located outside the grading/seeding limits.
13. Existing valves, manholes, and other appurtenances to remain located within the work limits shall be adjusted to finish grade.
14. Outlet curb underdrains to adjacent existing underdrains or storm sewer system.
15. Expose utilities noted thus Expose prior to beginning work on that utility to determine effects on the proposed alignment and profile. Report elevation and location to the Engineer in order that any corrections to the elevation and location can be made.
16. Concrete adjacent to building shall be sloped away from building at 2.0% unless otherwise noted.
17. Roof drains, foundation drains, and other clean water connections to the sanitary sewer are prohibited.

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DESIGN  
DEVELOPMENT

DATE: 3/20/2019  
PROJECT #: 18161

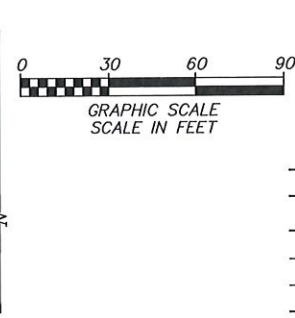
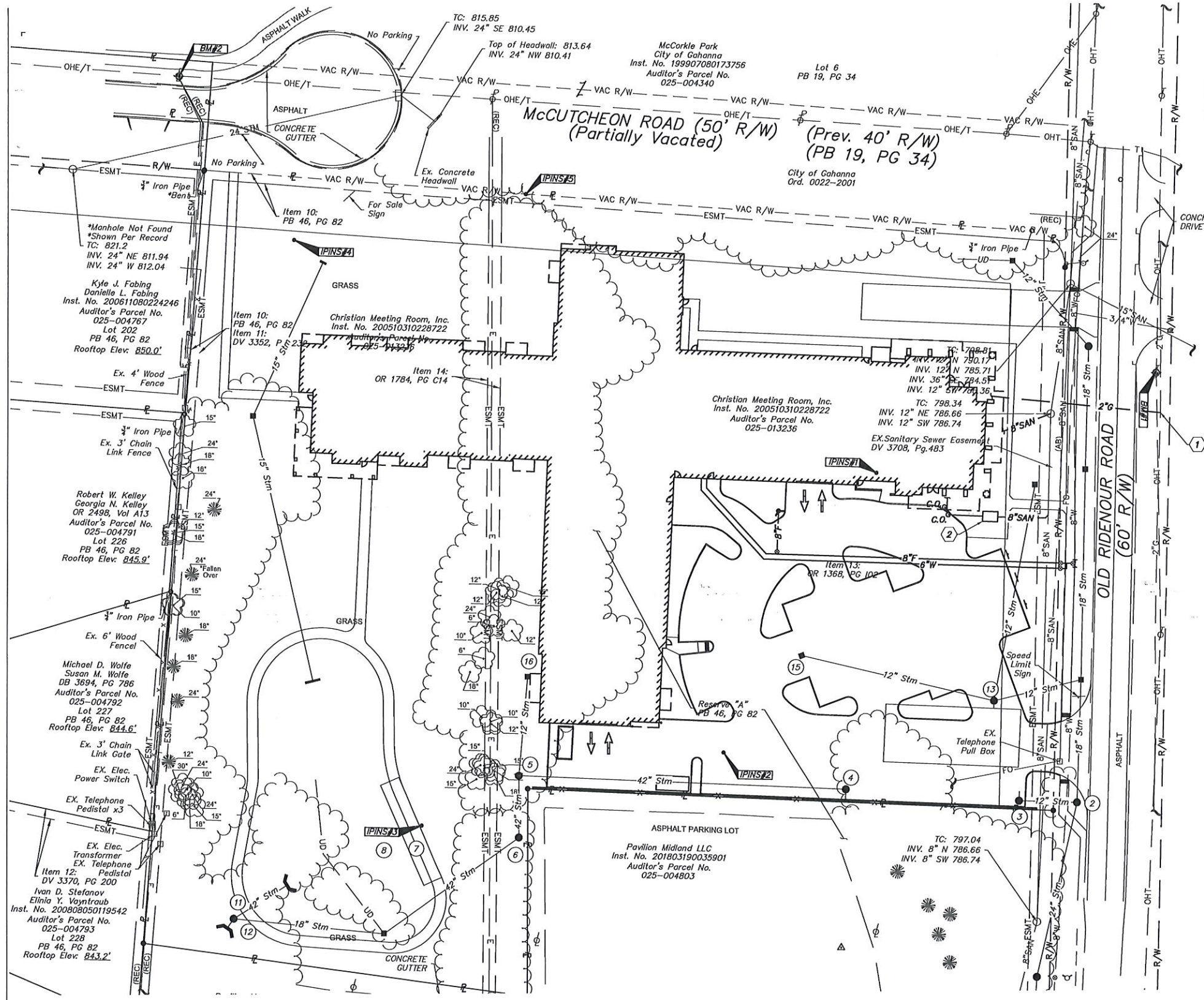
GRADING  
PLAN

C-200

**KORDA**  
KORDA/NEMETH ENGINEERING  
1650 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215  
DRAWN BY: CMZ  
DESIGNED BY: CMZ  
CHECKED BY: CMF  
PROJECT NUMBER: 2018-0417

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LEGEND	
EXISTING	
W	Water Line
F	Fire Protection Service Line
G	Gas Line
STM	Storm Sewer
UD	Underdrain
SAN	Sanitary Sewer
[ ]	Cut and Plug Existing Utility
(Ab)	Abandon Existing Utility
(R)	Remove Existing Utility
PROPOSED	
W	Water Line
F	Fire Hydrant
PIV	Gate Valve & Curb Box
PIV	Post Indicating Valve
C.O.	Fire Department Connection
C.O.	Clean Out
Manhole	Manhole
Remove Ex. Structure	Remove Ex. Structure
(1) (101)	Structure Number
Remove and Replace Pavement In Kind	Remove and Replace Pavement In Kind

# NCR GAHANNA

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## General Notes:

1. Dimensions and Coordinates are from face of curb or exterior face of building, unless otherwise noted.
2. Extend utilities to within 5' of face of building, unless otherwise noted. Coordinate exact location with plumbing contractor. Final connection by plumbing contractor.
3. Refer to Sheets C-200 to C-207 for storm sewer information.
4. Maintain minimum 4'-0" cover over all waterlines. Refer to Sheet C-302 for profile.
5. Maintain minimum 18" vertical clearance from the outside of any waterline pipe to the outside of any storm or sanitary sewer.
6. Provide thrust blocks or restrained mechanical joint pipe at each valve, tee, fitting, or change in direction of waterline.
7. Refer to City of Gahanna Standard Drawings for typical fire hydrant installation details.
8. Roof drains, foundation drains, and other clean water connections to the sanitary sewer are prohibited.
9. Connection to existing water mains shall not be performed until the new lines have been sanitized and all tests have been completed as specified by the City of Gahanna and these contract documents.
10. All coordinates and elevations based on survey performed by Korda Nemeth Engineering dated August 27, 2018. Refer to Sheets C-002 and C-003.
11. Where plans provide for a proposed utility to be connected to, or cross over, or under an existing underground utility, the Contractor shall locate the existing pipes or utilities, both as to line and grade before starting to lay the proposed utility. These locations are noted thus: Expose. If it is determined that the elevation of the exposed utility differs from the plan elevation, results in a change in the plan sewer slope, or will intersect an existing utility as shown on the plan, the Engineer shall be notified before starting construction of any portion of the proposed utility which will be affected by the variance in the existing elevations.
12. Support and protect all utilities exposed during excavation and trenching.
13. Any required waterline shut-downs shall be coordinated with the Owner and/or the City.

## Coded Notes:

1. Gas tap, service line, and meter with setting by Columbia Gas. The General Contractor is responsible for providing all restoration necessary from gas service construction, including but not limited to, asphalt replacement, concrete curb replacement, and seeding and mulching.
2. Grease Trap. Refer to Plumbing Drawings.

## DESIGN DEVELOPMENT

DATE: 3/20/2019  
PROJECT #: 18161

## UTILITY PLAN

## C-300

**KORDA**  
KORDA NEMETH ENGINEERING  
1650 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215  
DRAWN BY: CMZ  
DESIGNED BY: CMZ  
CHECKED BY: CMF  
PROJECT NUMBER: 2018-0417

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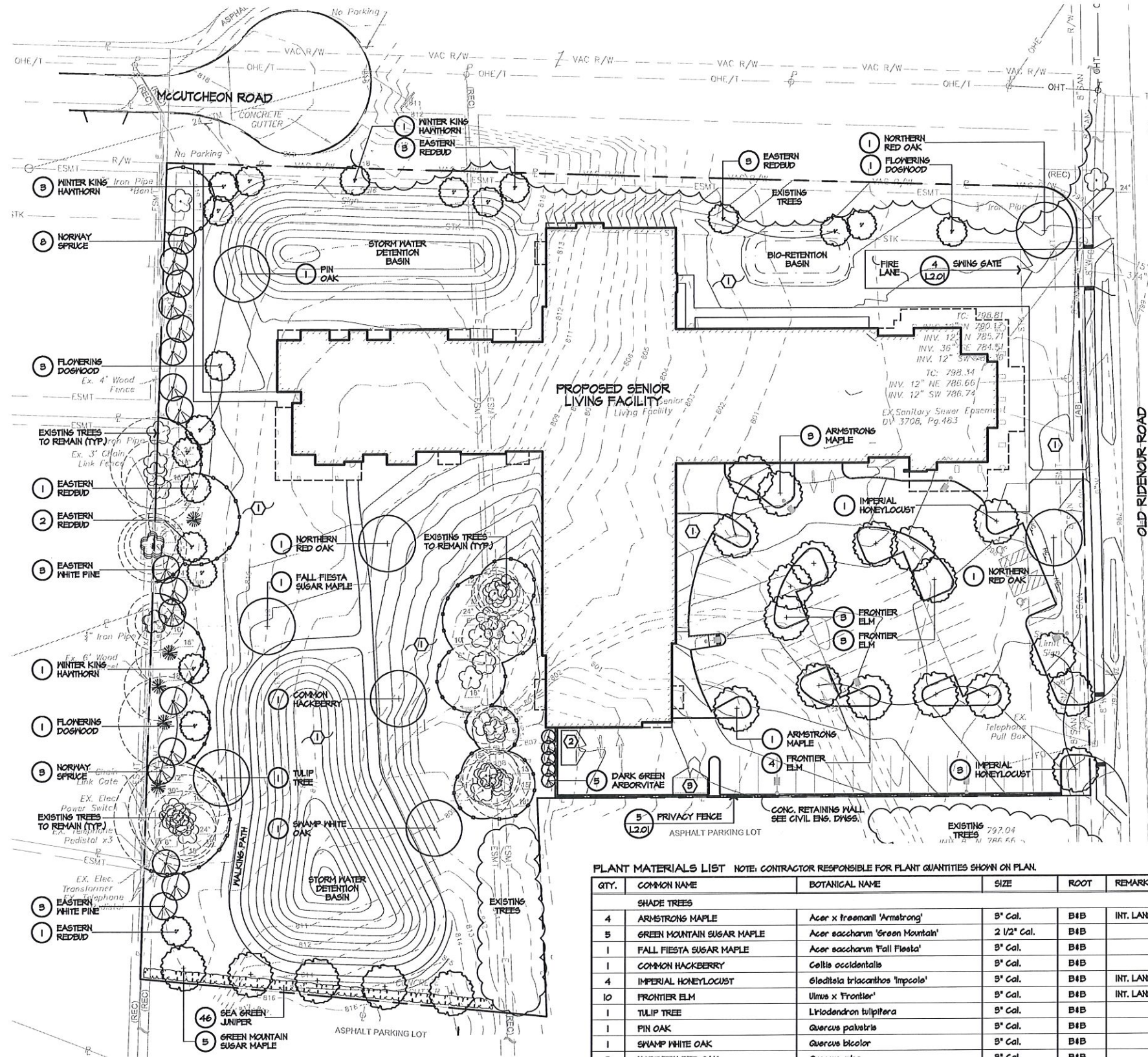
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A-101a

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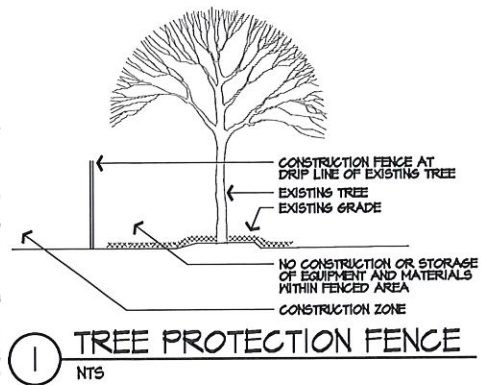






PLANT MATERIALS LIST NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHADE TREES</b>					
4	ARMSTRONG MAPLE	Acer x freemanii 'Armstrong'	8" Cal.	B&B	INT. LANDSCAPE REQUIRED
5	GREEN MOUNTAIN SUGAR MAPLE	Acer saccharum 'Green Mountain'	2 1/2" Cal.	B&B	
1	FALL FIESTA SUGAR MAPLE	Acer saccharum 'Fall Fiesta'	8" Cal.	B&B	
1	COMMON HACKBERRY	Celtis occidentalis	8" Cal.	B&B	
4	IMPERIAL HONEYLOCUST	Gleditsia triacanthos 'Impicola'	8" Cal.	B&B	INT. LANDSCAPE REQUIRED
10	FRONTIER ELM	Ulmus x 'Frontier'	8" Cal.	B&B	INT. LANDSCAPE REQUIRED
1	TULIP TREE	Liriodendron tulipifera	8" Cal.	B&B	
1	PIN OAK	Quercus palustris	8" Cal.	B&B	
1	SWAMP WHITE OAK	Quercus bicolor	8" Cal.	B&B	
5	NORTHERN RED OAK	Quercus rubra	8" Cal.	B&B	
5	DARK GREEN ARBOVITAE	Thuja occidentalis 'Dark Green'	6' Hgt.	B&B	
<b>ORNAMENTAL TREE</b>					
5	FLOWERING DOGWOOD	Cornus florida	6' Hgt.	B&B	WHITE FLOWERING
10	EASTERN REDBUD	Cercis canadensis	6' Hgt.	B&B	SINGLE STEM
5	WINTER KING HAWTHORN	Crataegus viridis 'Winter King'	2" Cal.	B&B	
<b>EVERGREEN TREES</b>					
11	NORWAY SPRUCE	Picea abies	6' Hgt.	B&B	
6	EASTERN WHITE PINE	Pinus strobus	6' Hgt.	B&B	
<b>SHRUBS</b>					
46	SEA GREEN JUNIPER	Juniperus chinensis 'Sea Green'	24" Hgt.	Cont.	



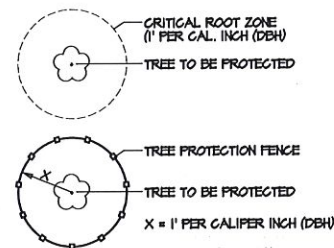
## GENERAL NOTES

- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 12 HOURS PRIOR TO CONSTRUCTION.
- EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
- ALL PLANT MAGNETS TO BE CONTAINED WITHIN 8" DEEP HARDWOOD BARK MULCH BED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION, SEE PLAN.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

## CONSTRUCTION NOTES

- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- DUMPSTER ENCLOSURE - SEE DETAIL #5/ L2.01
- GENERATOR ENCLOSURE - SEE DETAIL #5/ L2.01

## LEGEND



## SITE COMPLIANCE DATA

INTERIOR LANDSCAPING REQUIREMENTS 1169.00 (c)	REQUIRED LANDSCAPE AREA	PROVIDED
INTERIOR LANDSCAPING AREA SHALL BE FIVE PERCENT OF THE TOTAL AREA OF THE PARKING LOT PAVEMENT.	84,908 SF x 0.05 = 1,745.4 1,745 SF	4,192 SF
INTERIOR LANDSCAPING REQUIREMENTS 1169.00 (e)	REQUIRED TREES	PROVIDED
PROVIDE ONE TREE PER 100 SF OF REQUIRED LANDSCAPE AREA	1,745 SF/ 100 = 17.45 18 TREES	18 TREES
20' BUFFER (WEST PROPERTY LINE) 1144.02	REQUIRED TREES	PROVIDED
PROVIDE BUFFER THAT PROVIDES 10% OPACITY AND BE MINIMUM OF 6' HST.		17 (6' HST.) EVERGREEN TREES 22 EXISTING TREES PRESERVED
15' BUFFER (SOUTH PROPERTY LINE) 1161.20	REQUIRED	PROVIDED
PROVIDE 1 TREE FOR EVERY 40' OF LINEAR BOUNDARY AND CONT. 6' HIGH PLANTING, HEDGE, FENCE, WALL OR MOUND.		5 SHADE TREES EVERGREEN HEDGE EX. TREE PRESERVATION
MINIMUM TREE REQUIRED 114.05	REQUIRED TREES	PROVIDED
MINIMUM 1 SHADE TREE CALIPER INCH PER 1,000 SF IMPERVIOUS AREA	68,246 SF/ 1,000 = 68.3 64 INCHES (DBH)	24 INCHES (DBH) SEE CREDIT BELOW

## PROTECTED TREE INVENTORY

CREDITS	PROTECTED TREES 6-14 INCH DBH (1.1 INCH CREDIT)		PROTECTED TREES 20+ INCH DBH (11.5 INCH CREDIT)		NOTE: CREDIT FOR PRESERVED TREES PENDING REVIEW AND APPROVAL OF CONDITION BY CITY ARBORIST. SEE TREE REMOVAL PLAN, SHEET C-008.
	NO.	TOTAL INCHES	NO.	TOTAL INCHES	
	53	444	8	198	
		444		247	
					TOTAL CREDITS: 146 INCHES (DBH)

## NCR GAHANNA

GAHANNA, OH

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## SCHEMATIC

DATE: 3/20/2019  
PROJECT #: 18161



## PRELIMINARY NOT FOR CONSTRUCTION

## LANDSCAPE PLAN

## L1.01



## EDGE

PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN

330 WEST SPRING STREET, SUITE 350  
COLUMBUS, OHIO 43215  
614-486-3343

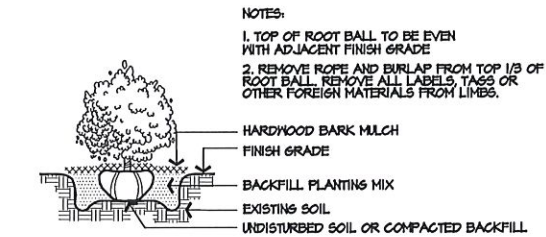
## BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

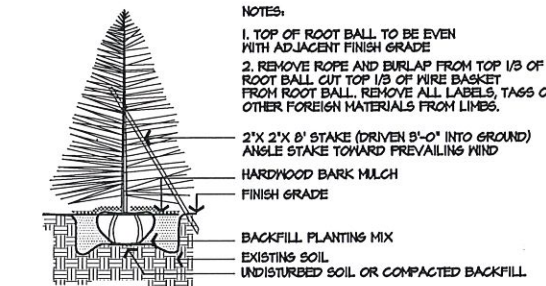
1393 GOODALE BOULEVARD, COLUMBUS, OHIO 43212

P 614.221.1110 berardi+partners.com

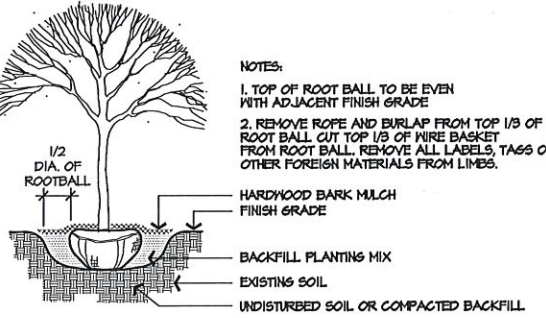




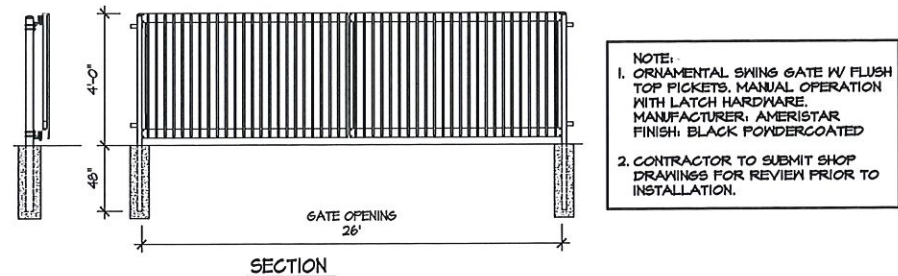
1 SHRUB PLANTING  
NTS



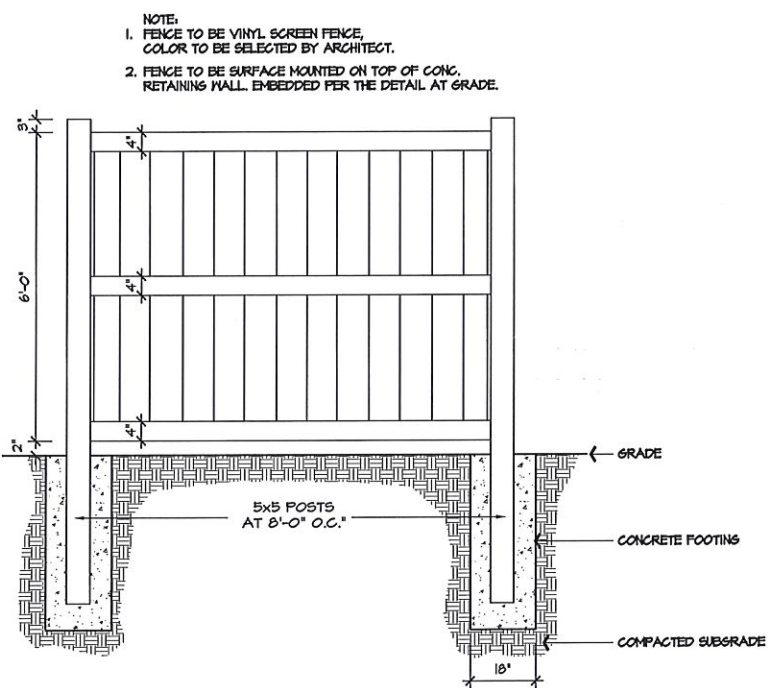
2 EVERGREEN TREE PLANTING  
NTS



3 TREE PLANTING  
NTS



4 SWING GATE (FIRE LANE)  
NTS



5 PRIVACY FENCE  
NTS

# NCR GAHANNA

GAHANNA, OH

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2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.  
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## SCHEMATIC

DATE: 3/20/2019  
PROJECT #: 18161



**PRELIMINARY**  
NOT FOR CONSTRUCTION

SITE  
DETAILS

L2.01

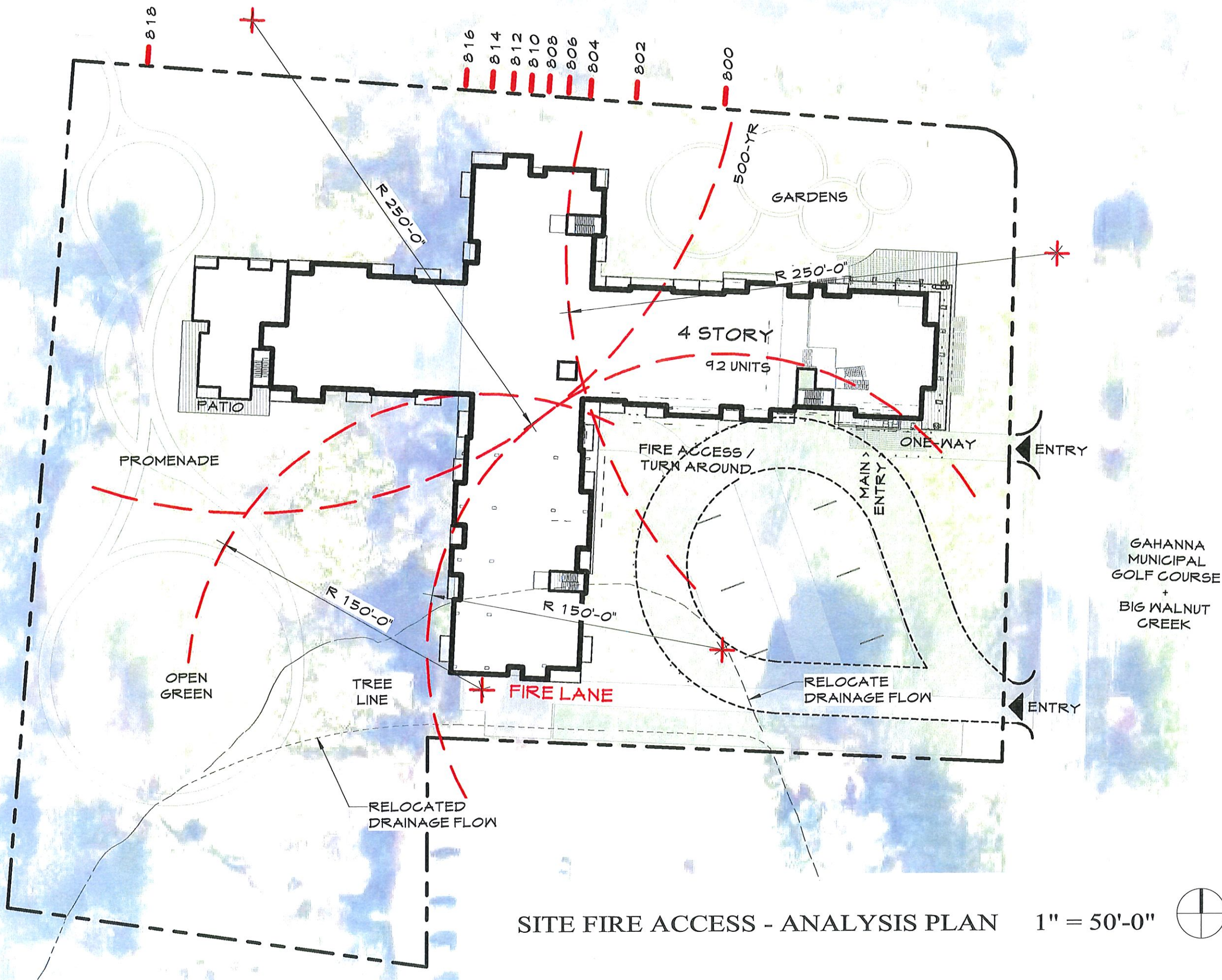
**EDGE**  
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330 WEST SPRING STREET, SUITE 350  
COLUMBUS, OHIO 43215  
614-486-3343

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MCCUTCHEON RD.

FIRE ACCESS



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GAHANNA  
MUNICIPAL  
GOLF COURSE  
+  
BIG WALNUT  
CREEK

SCHEMATIC

DATE: 02/01/2019  
PROJECT #: 18161

PRELIMINARY  
SITE PLAN

SD-100b

SITE FIRE ACCESS - ANALYSIS PLAN 1" = 50'-0"



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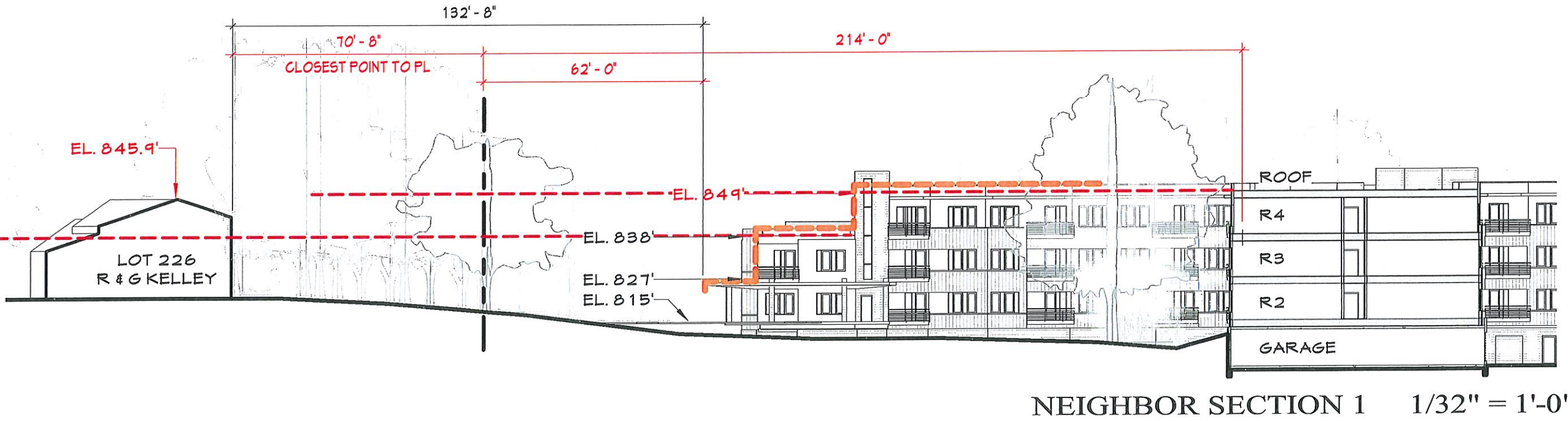
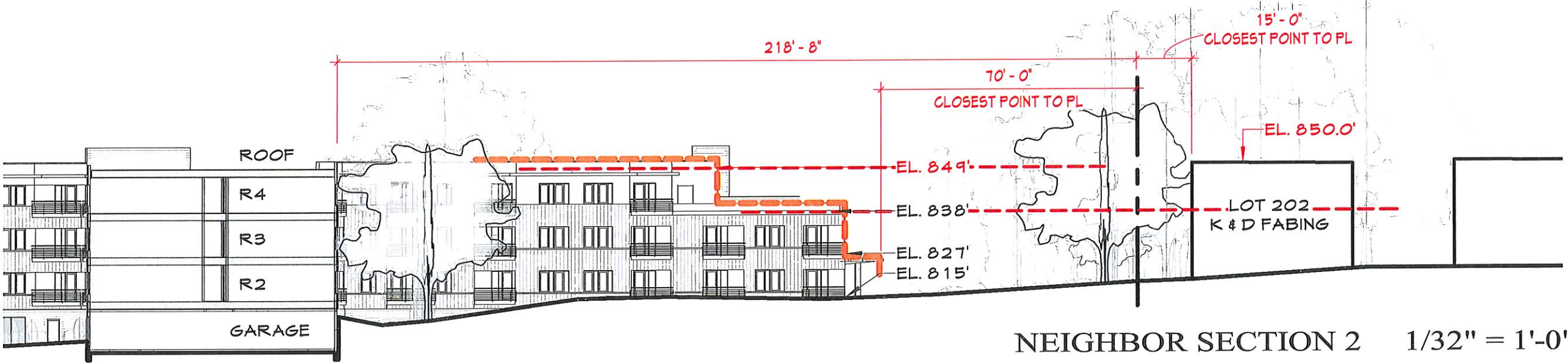
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SECTION 1

SECTION 2

CONTEXT KEY 1" = 160'-0"



SCHEMATIC

DATE: 02/01/2019  
PROJECT #: 18161

NEIGHBORHOOD  
RELATIVE  
HEIGHTS  
SD-100d

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BUILDING MATERIALS:

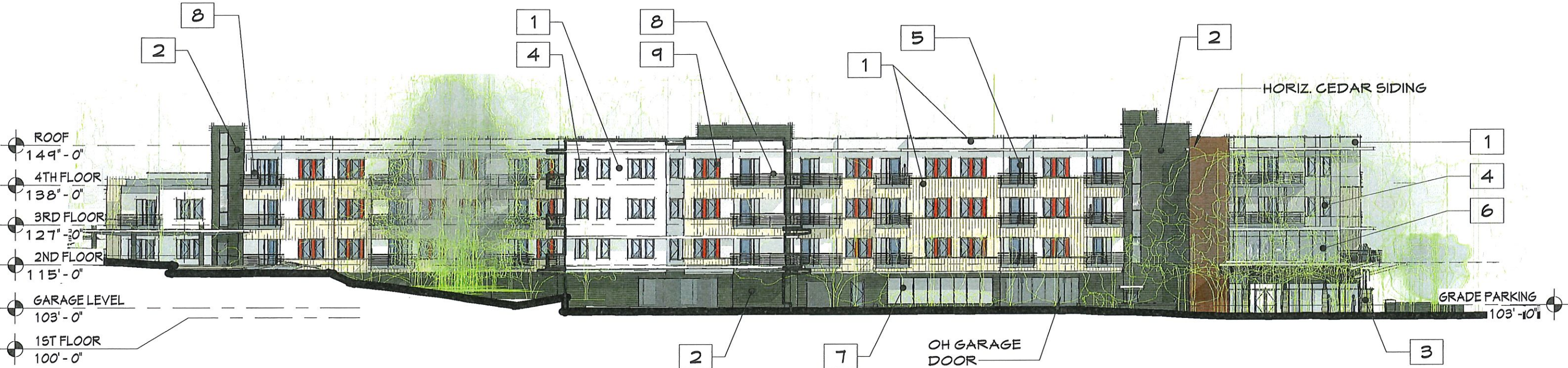
- 1 STUCCO W/ REVEALS: PANELIZED FINISH (WHITE + TAN)
- 2 SPLIT FACE BLOCK - OBERFELDS DESIGN BLOK (GRAPHITE)
- 3 STONE VENEER COLUMN WRAP - DRY STACK W/ LIMESTONE CAP
- 4 WINDOW ASSEMBLY - JELD-WEN PREMIUM VINYL
- 5 SLIDING BALCONY DOOR - VINYL
- 6 STOREFRONT - KAWNEER (POWDER COAT BLACK)
- 7 GARAGE SCREENING - OPEN MESH BLACK
- 8 HORIZONTAL GUARDRAIL: SUPERIOR ALUMINUM
- 9 TRANSLUCENT PANEL or WINDOW FILM

NCR  
GAHANNA

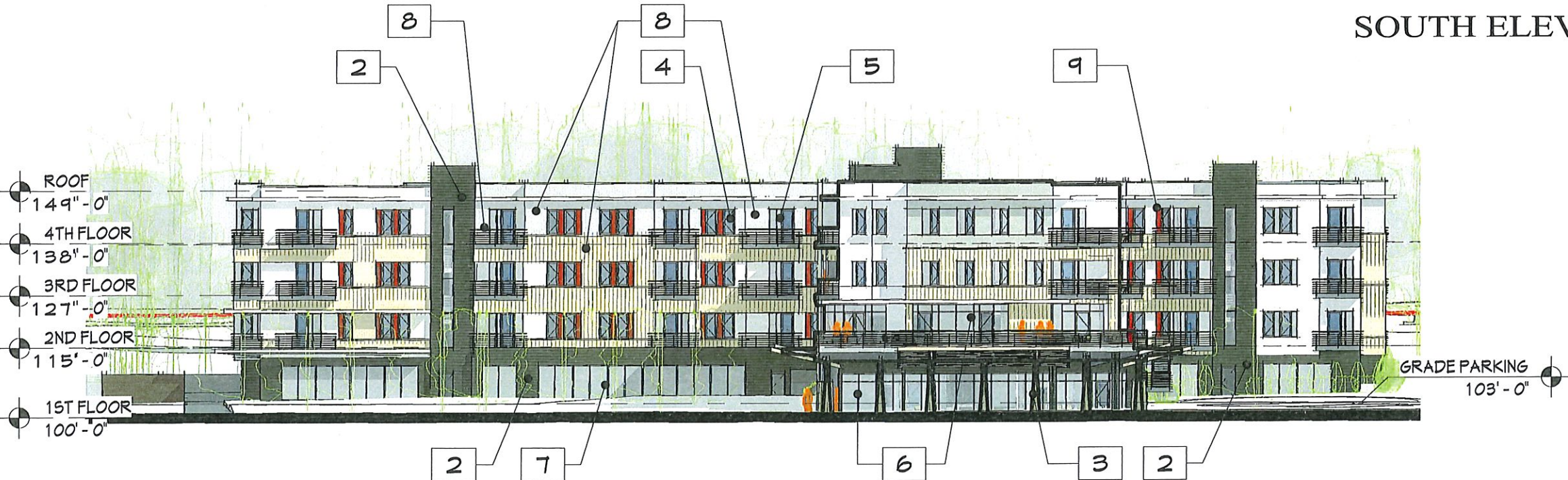
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SOUTH ELEVATION 1" = 30'-0"



EAST ELEVATION 1" = 30'-0"

SCHEMATIC

DATE: 02/01/2019  
PROJECT #: 18161

PRELIMINARY  
ELEVATIONS

SD-201

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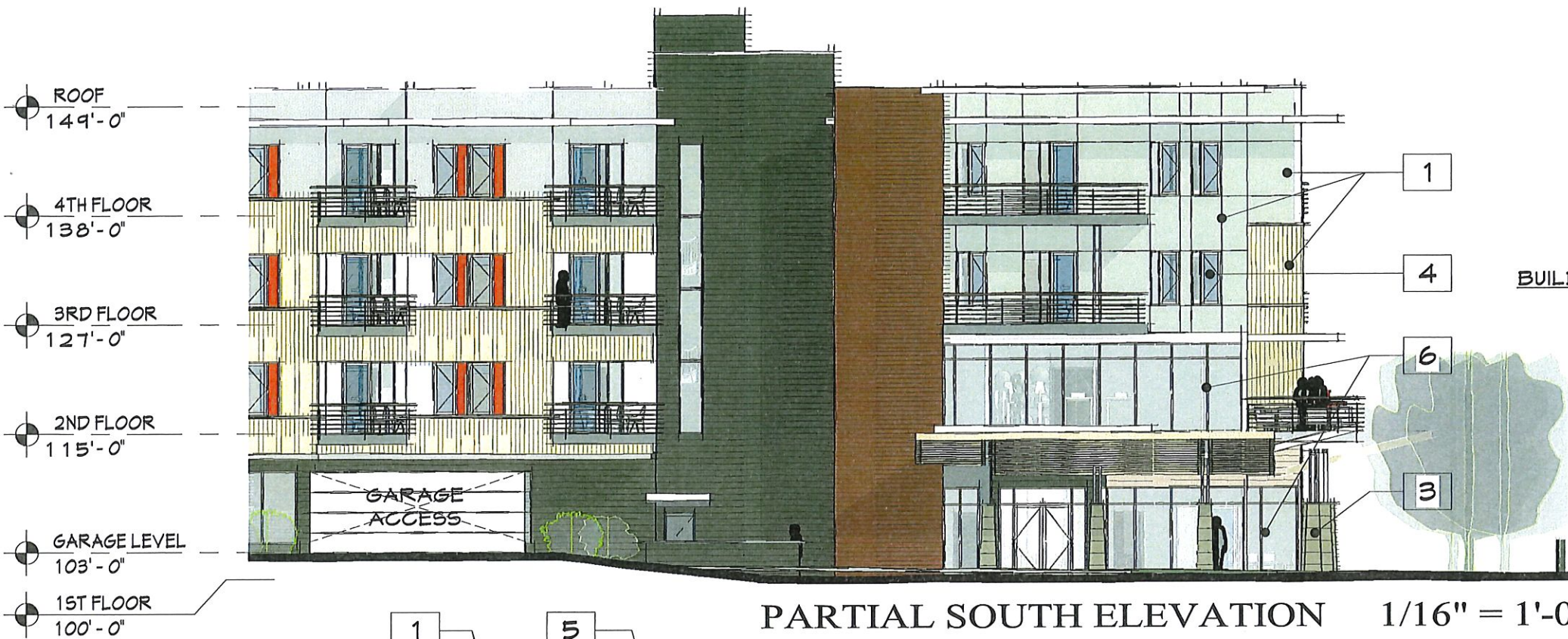


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BUILDING MATERIALS:

- 1 STUCCO W/ REVEALS: PANELIZED FINISH (WHITE + TAN)
- 2 SPLIT FACE BLOCK - OBERFELDS DESIGN BLOK (GRAPHITE)
- 3 STONE VENEER COLUMN WRAP - DRY STACK W/ LIMESTONE CAP
- 4 WINDOW ASSEMBLY - JELD-WEN PREMIUM VINYL
- 5 SLIDING BALCONY DOOR - VINYL
- 6 STOREFRONT - KAWNEER (POWDER COAT BLACK)
- 7 GARAGE SCREENING - OPEN MESH BLACK
- 8 HORIZONTAL GUARDRAIL: SUPERIOR ALUMINUM
- 9 TRANSLUCENT PANEL or WINDOW FILM

PARTIAL SOUTH ELEVATION 1/16" = 1'-0"



NORTH ELEVATION 1" = 30'-0"



WEST ELEVATION 1" = 30'-0"

SCHEMATIC

DATE: 02/01/2019

PROJECT #: 18161

PRELIMINARY  
ELEVATIONS

SD-202

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DATE: 02/01/2019  
PROJECT #: 18161

SD-302

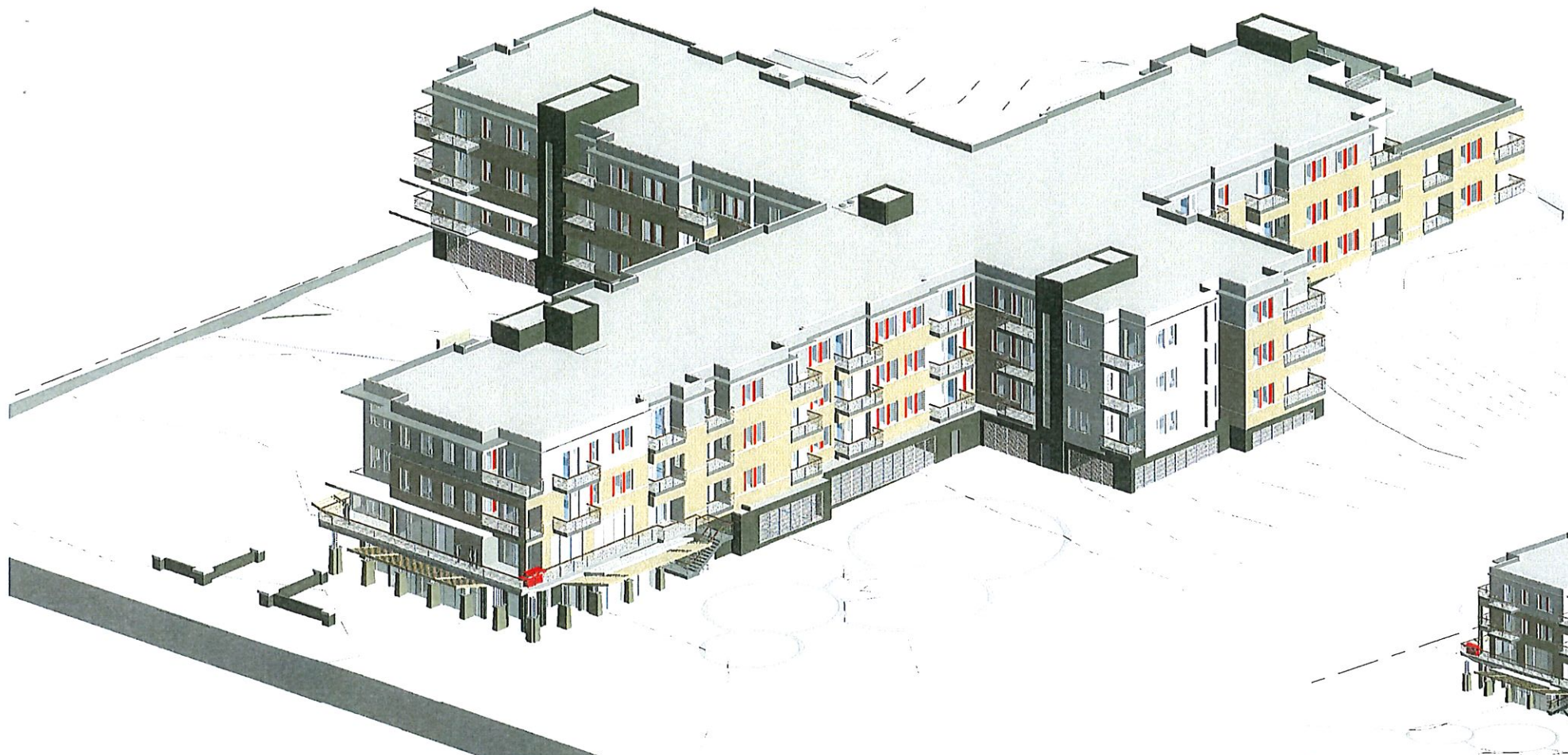
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1395 GOODALE BOULEVARD, COLUMBUS, OHIO 43215  
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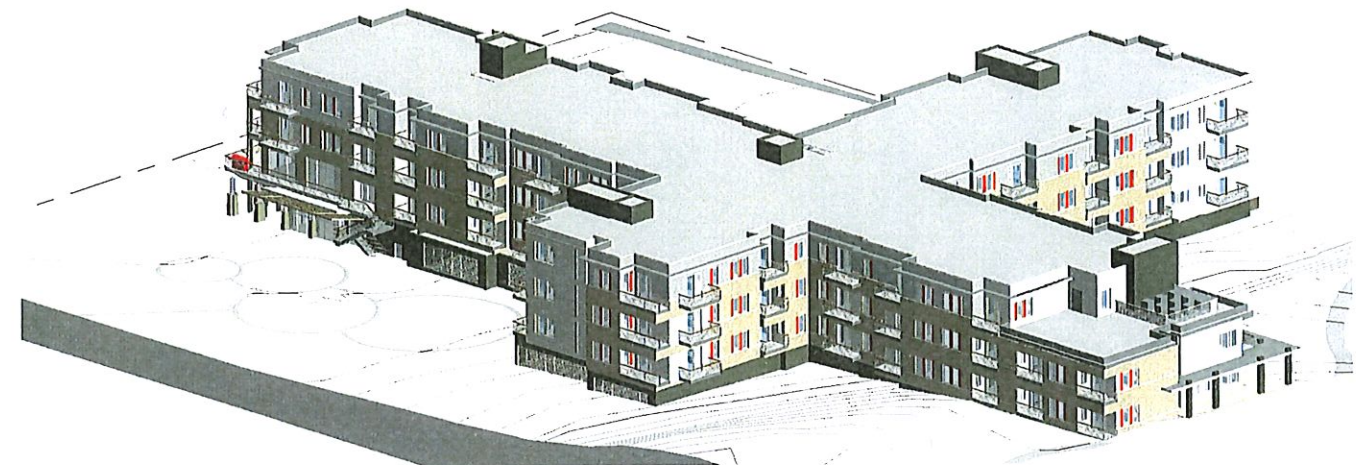
NCR  
GAHANNA

GAHANNA, OH

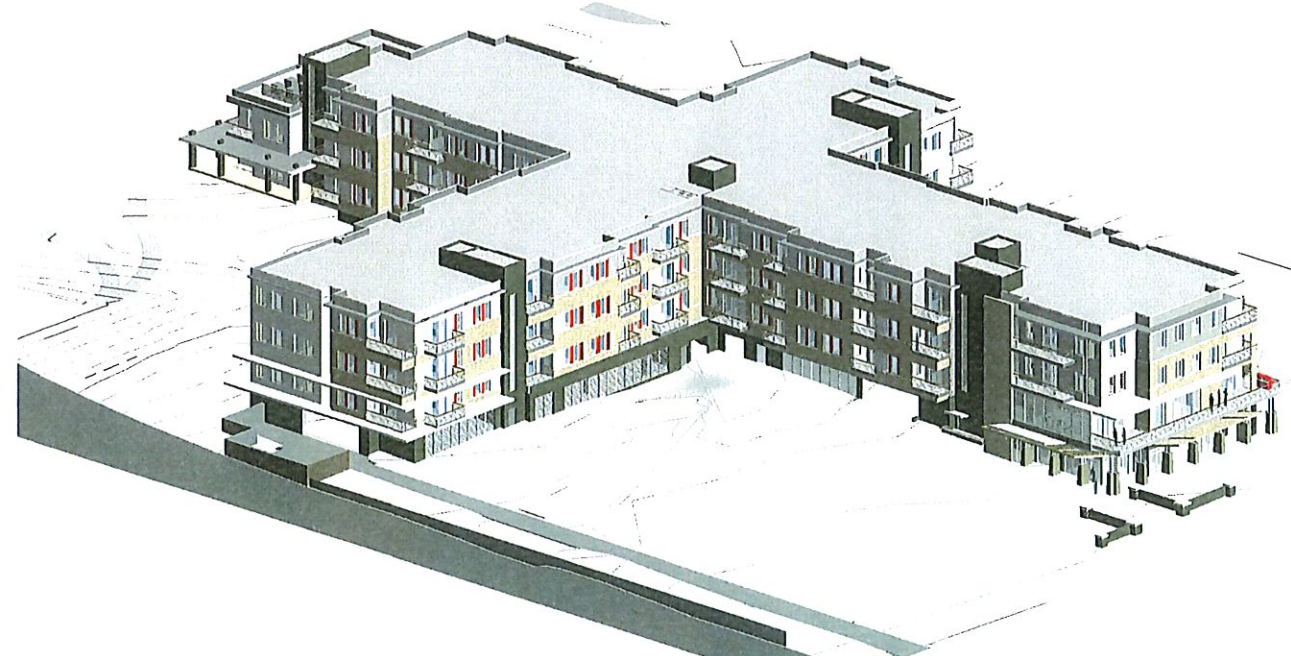
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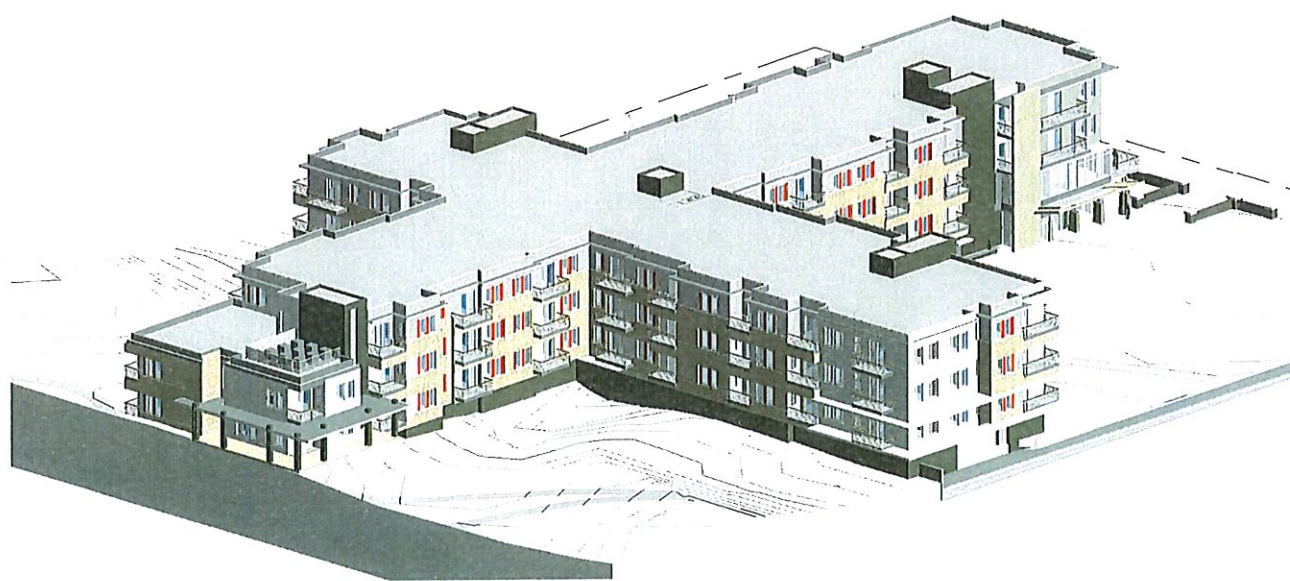
OVERHEAD ISO - NORTH EAST



OVERHEAD ISO - NORTH WEST



OVERHEAD ISO - SOUTH EAST



OVERHEAD ISO - SOUTH WEST

SCHEMATIC  
DATE: 02/01/2019  
PROJECT #: 18161  
PRELIMINARY  
MASSING

SD-500

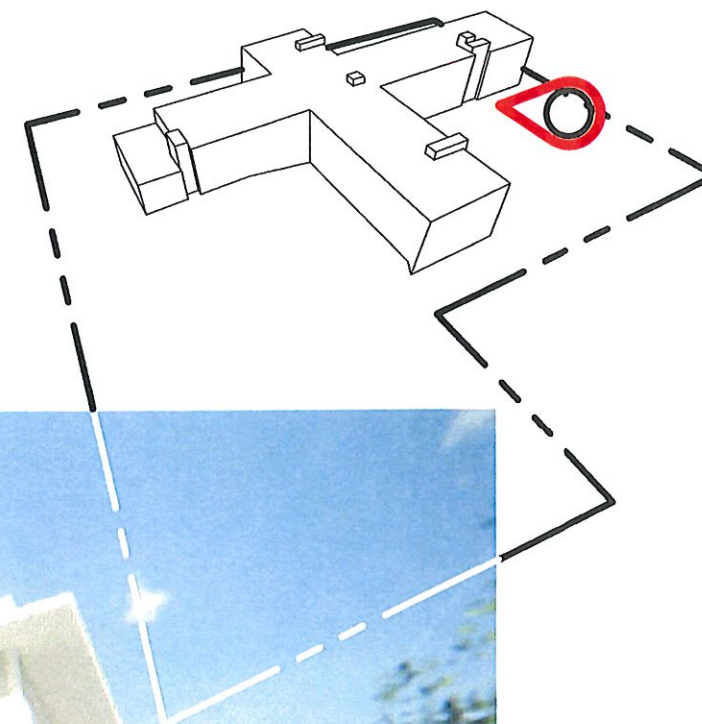


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## SCHEMATIC

DATE: 02/01/2019  
PROJECT #: 18161

## PRELIMINARY PERSPECTIVE

# SD-510

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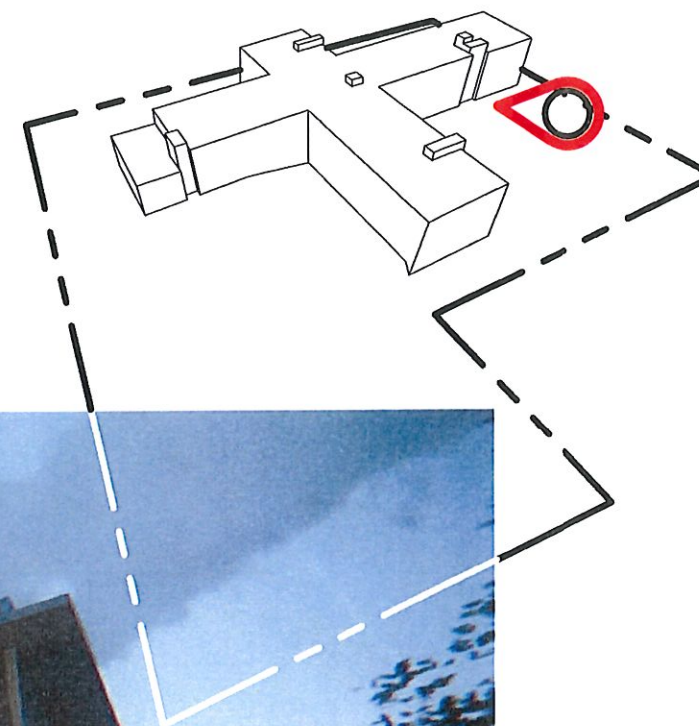


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## SCHEMATIC

DATE: 02/01/2019

PROJECT #: 18161

## PRELIMINARY PERSPECTIVE

# SD-511

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SCHEMATIC

DATE: 02/01/2019  
PROJECT #: 18161

PRELIMINARY  
PERSPECTIVE

SD-512

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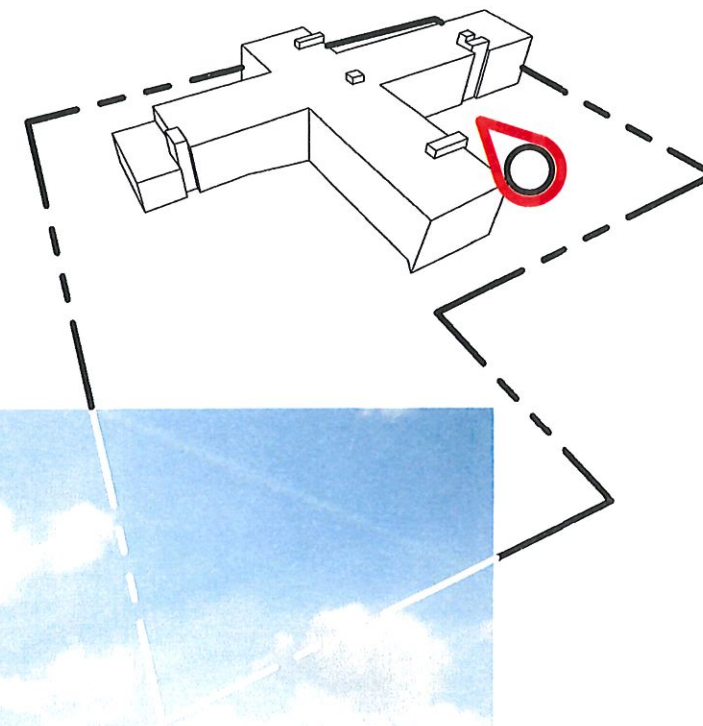


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SCHEMATIC

DATE: 02/01/2019  
PROJECT #: 18161

PRELIMINARY  
PERSPECTIVE

SD-513

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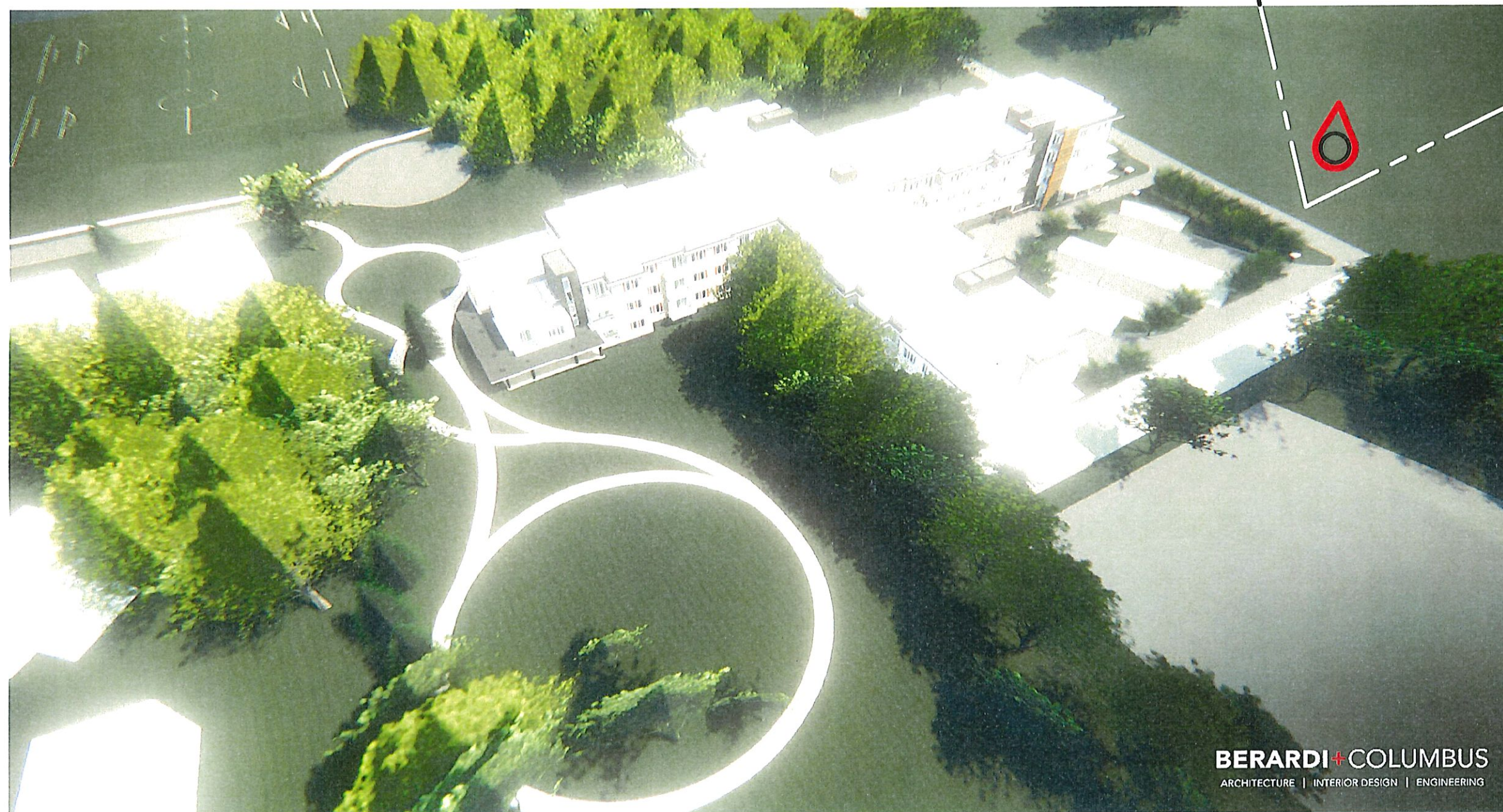


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SCHEMATIC

DATE: 02/01/2019

PROJECT #: 18161

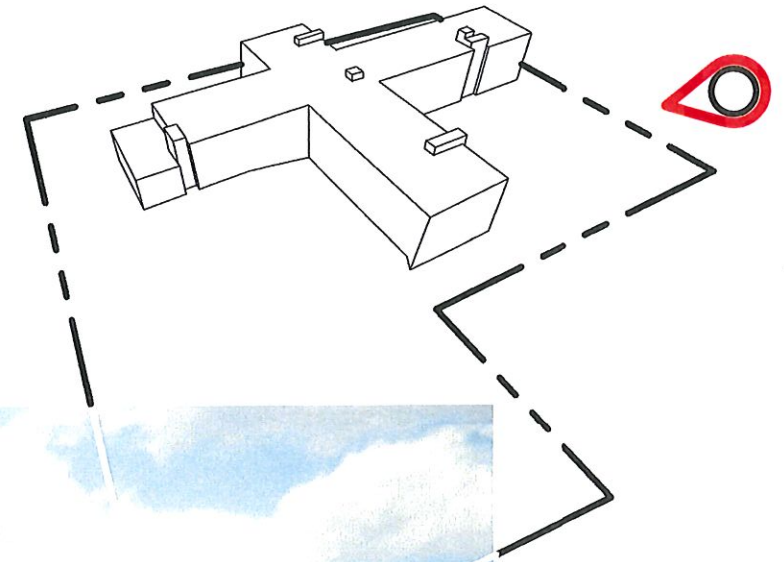
PRELIMINARY  
PERSPECTIVE

SD-514

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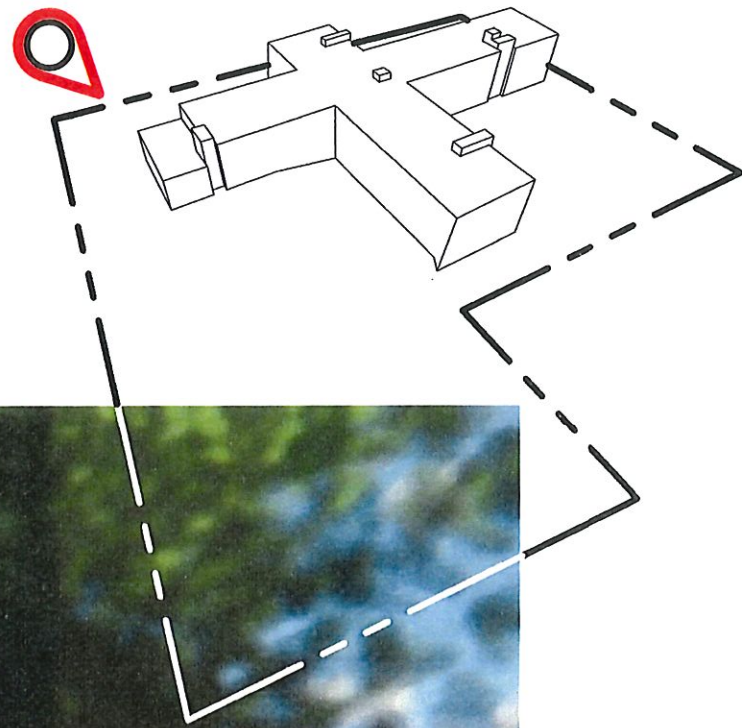
SCHEMATIC  
DATE: 02/01/2019  
PROJECT #: 18161

PRELIMINARY  
PERSPECTIVE

SD-515

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SCHEMATIC

DATE: 02/01/2019  
PROJECT #: 18161

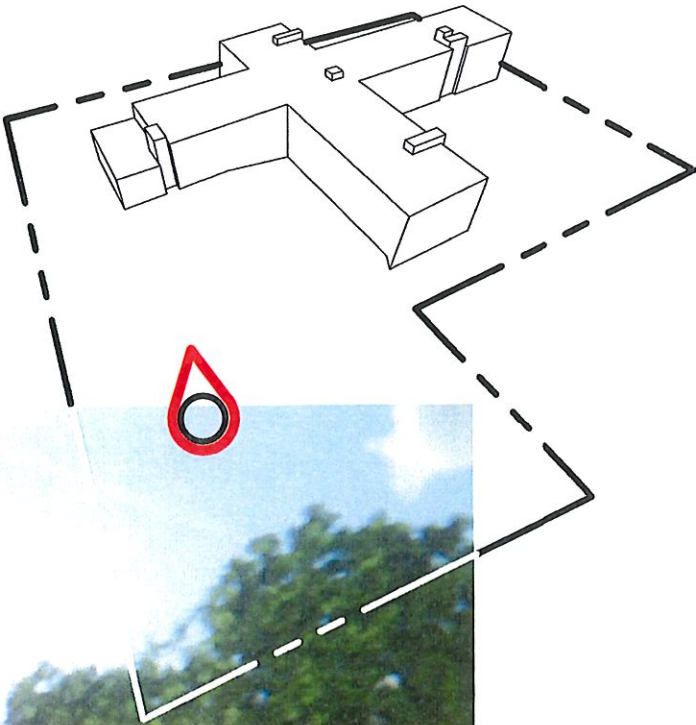
PRELIMINARY  
PERSPECTIVE

SD-516

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SCHEMATIC

DATE: 02/01/2019  
PROJECT #: 18161

PRELIMINARY  
PERSPECTIVE

SD-517

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March 19, 2019

Attention: Michael Blackford  
City of Gahanna  
200 S. Hamilton Rd.  
Gahanna, Ohio 43230

Subject: **Project 0 Ridenour Rd Final Development Plan**  
National Church Residences Gahanna

Dear Michael Blackford:

We are in receipt of your Project 0 Ridenour Rd Final Development Plan comments for the captioned project dated March 14, 2019. Applicant's comments are provided in **bold**.

#### **Parks**

1. I noticed a few weeks ago that many trees in the existing tree line on this property are already marked for removal. I would like remind that no trees should be removed until plans have been approved. In addition, many existing trees are shown as being saved in this proposed plan. I am in favor of trying to save as many trees as possible on this site since there are many mature, healthy trees. However, saved trees must have a protected critical root zone during the construction process. Many of the trees marked to be saved are in close proximity to the new building. In order to protect these trees, the roots must be protected from compaction and disturbance with a physical fence. Roots often extend well beyond the canopy, or drip line, of a mature tree, and disturbance of these roots could impact the structural integrity and stability of these large trees. If anyone has any specific questions, I am willing to meet on site to discuss the trees and their root zones.

**Response:** Meeting occurred on site Wednesday, February 27<sup>th</sup>. Current tree markings do not identify those scheduled for removal. Existing trees are currently being evaluated for removal based on proximity to proposed building perimeter as well as the condition of the existing tree. Trees designated to remain will be protected during construction.

2. As far as the submittal 2 is concerned, I have two comments. My first comment is that the plans call for construction fence at the drip line of existing trees. During our site meeting, we discussed that critical roots often extend far past the drip line. Construction fence should be 1 foot in radius from the base of the tree's trunk for each 1 inch of the tree's diameter at breast height. My second comment is that plans call for the top of the root ball to be 2"-3" above adjacent finish grade. I have a problem with this because trees should be planted where the root flare is even with the finish grade. Sometimes the root flare is buried 2"-3" inches in the root ball, but sometimes, the root flare is not buried that deep. I do not want these trees to be planted too high out of the ground. The trees should be planted according to industry standards ([http://www.treesaregood.com/portals/0/docs/treecare/new\\_treeplanting.pdf](http://www.treesaregood.com/portals/0/docs/treecare/new_treeplanting.pdf)).

Please contact me with any questions or concerns.

**Response:** The construction protection will be installed as requested, at a location equal to 1 foot per 1" caliper. Also, the trees will be planted as requested, with root flare even with finish grade.



**Fire District**

3. 1. The fire department access roadway shall be located within 150 feet of all portions of the building in accordance with Section 503.11 of the 2017 Ohio Fire Code.  
 503.1.1 Buildings and facilities. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction which are not readily accessible from a public and/or private street. The fire apparatus access road shall comply with the requirements of this paragraph and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

**Exceptions:**

1. The fire code official is authorized to increase the dimension of 150 feet (45 720 mm) where any of the following conditions occur:

1.1. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with paragraph (C)(3)(a)(i) (90331.1), (C)(3)(a)(ii)(903.3.1.2) or (C)(3)(a)(iii) (903.313) of rule 1301 :7—7—09 of the Administrative Code.

1.2. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.

1.3. There are not more than two Group R3 or Group U occupancies.

**Response: Per our meeting with Fire Marshall Welsh and the City of Gahanna on March 11th, the requested fire access drive at the north has been provided per the revised plan. Please note the per the discussion, the fire lane is permitted to be 20' minimum in width and must extend to within 100' of the structure.**

2. An aerial access roadway shall be required due to the height of the building.

**Response: Per our meeting with Fire Marshall Welsh and the City of Gahanna on March 11th, the requested fire access drive at the north has been provided per the revised plan. Please note the per the discussion, the fire lane is permitted to be 20' minimum in width and must extend to within 100' of the structure.**

**SECTION D105****AERIAL FIRE APPARATUS ACCESS ROADS**

D1051 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

**Response: Per our meeting with Fire Marshall Welsh and the City of Gahanna on March 11th, the requested fire access drive at the north has been provided per the revised plan. Please note the per the discussion, the fire lane is permitted to be 20' minimum in width and must extend to within 100' of the structure.**

D1052 Width, Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

**Response: Per our meeting with Fire Marshall Welsh and the City of Gahanna on March 11th, the requested fire access drive at the north has been provided per the revised plan. Please note the per the discussion, the fire lane is permitted to be 20' minimum in width and must extend to within 100' of the structure.**

D1053 Proximity to building. One or more of the required access routes meeting this condition shall be located not less than 15 feet (4572 mm) and not greater than 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building. The side of the



building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

**Response:** *Per our meeting with Fire Marshall Welsh and the City of Gahanna on March 11th, the requested fire access drive at the north has been provided per the revised plan. Please note the per the discussion, the fire lane is permitted to be 20' minimum in width and must extend to within 100' of the structure.*

0105.4 Obstructions. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official. Other comments could be made after plans are submitted for review. Comments on fire hydrants and water supply needed will be addressed when the size and type of building has been made. The Fire Inspection Bureau has initially met with the Architect and Engineer in regards to the fire department access roadway. A partial roadway was discussed on the north side of the building to go back part way to allow access to the north side and back to help achieve the 150 foot requirement. The fire division has some latitude to increase the 150 foot requirement if any of the exceptions are met in Section 503.1.1.

**Response:** *Per our meeting with Fire Marshall Welsh and the City of Gahanna on March 11th, the requested fire access drive at the north has been provided per the revised plan. Please note the per the discussion, the fire lane is permitted to be 20' minimum in width and must extend to within 100' of the structure.*

## **Building**

4. The project will be required to comply with the 2017 Ohio Building Code. Building plan review and permitting will be required for the project.

**Response:** *Acknowledged*

## **Public Service & Engineering**

### **5. General Comments**

- A formal final engineering plan review will be required following approval of the Final Development Plan (FDP), or concurrently with the FDP process if requested by the Developer at their risk.

**Response:**

- The developer will be responsible for the vacation of any easements and or right-of-way necessary for the development. The site plan shows an existing easement through the proposed building pad.

**Response:** *Acknowledged - relocation of the existing easement and associated utility is pursued.*

The developer is responsible for ensuring the easement is vacated, or allows for construction of the building within the easement. This information will need to be submitted to our office as part of the final engineering plan review.

**Response:** *Acknowledged*

- A stream may exist on this property. Any impacts to streams will require permits through the Army Corps of Engineers and/or the OEPA. The developer is responsible for obtaining all necessary permits and approvals related to the potential stream impacts.

**Response:** *Acknowledged; it is our understanding that a determination has been made that the existing site condition is not a stream and documentation will be provided.*

## **Site Access**

- Any development that may generate more than 100 vehicle trips in the peak hour, or more than 1,000 total trips in a 24 hour period, will require that a Traffic Impact Study be completed and submitted to our office for review. The developer has completed trip generation for this site and a traffic impact study will not be required.



•Our access management guidelines allow for one curb cut per parcel. It appears that the site plan can be modified to function with one access point to Olde Ridenour Road. Please revise the site plan to allow for only one access point to Olde Ridenour Road. In addition, the proposed drive aisle width for the northern drive does not meet code.

**Response:** *The proposed north entry drive has been removed from consideration; the only public curb cut will be the southern most entry drive. The requested fire access drive has been added to the north end of the property and will be provided with an ingress gate and Knox lock box as requested by the fire department.*

#### **Sanitary Sewer**

•There is an existing 8" sanitary sewer located along Olde Ridenour Road that can be accessed to provide sanitary sewer service for the development.

**Response:** *Acknowledged.*

#### **Water Service**

•There is an existing 8" waterline located along Olde Ridenour Road that can be accessed to provide water service for the development.

**Response:** *Acknowledged.*

#### **Stormwater Management**

• Stormwater detention and water quality requirements shall be addressed on-site. Detention and water quality treatment design to be per City of Gahanna standards, Codified Ordinances Chapter 1193, and 1195.

**Response:** *Acknowledged.*

•The site shall incorporate green infrastructure best management practices (BMP's) for detention and water quality measures.

**Response:** *Acknowledged.*

**Erosion Control design and Post Construction Runoff Control to be per City of Gahanna (Chapter 1195) and Franklin Soil and Water Conservation District requirements.**

**Response:** *Acknowledged.*

6. The roadway along the entire frontage will require any necessary base repairs and resurfacing along the entire frontage of the development.

**Response:** *Response: Acknowledged.*

7. A pedestrian connection from the sidewalk to the facility shall be provided.

**Response:** *The pedestrian walk to the right-of-way has been added to the proposed site plan.*

#### **Public Safety**

8. No Comment Received.

#### **Soil & Water Conservation District**

9. No Comment Received.

#### **Community Development**

10. 3/11/19 - The site plan (sheet C-100) depicts a 15' parking setback. Chapter 1167.15 requires a 25' parking setback. A revision to the plans or a variance will be necessary.


**Response:** *The Applicant submits a revised statement of practical difficulty with this disposition letter. The revised statement of practical difficulty added a variance requesting a reduction of the parking setback from Olde Ridenour Road from a minimum of 25 feet to a minimum of 15 feet.*

End of Report



We trust this correspondence adequately responds to your review comments, however, should you require anything else please do not hesitate to contact us.

Sincerely,

  
Jon Holway, Architect

cc: George Tabit  
David Hodge

National Church Residences  
Underhill & Hodge LLC



Evaluation Manual for Ohio's Primary Headwater Streams version 4.0 and Methods for Assessing Habitat in Flowing Waters: Using the Qualitative Habitat Evaluation Index (QHEI), as appropriate based on results of the literature review and field conditions (Ohio EPA, 2018 & 2006). Criteria in the 2018 Range-wide Indiana Bat Summer Survey Guidelines were used to identify potential habitat for the federally endangered Indiana bat (*Myotis sodalis*) and the federally threatened northern long-eared bat (*Myotis septentrionalis*) [USFWS, 2018]. Please note that the definition for northern long-eared bat habitat is included in this document.

### **3.0 RESULTS**

The USGS topographic maps NWI map, and NHD map do not indicate the presence of any resources within the Site. The NWI and NHD mapping systems are preliminary assessment tools developed using remote imaging techniques, and not definitive locations of wetlands and streams. Resources mapped by these programs have not field-verified. However, these maps provide valuable information about where wetlands are likely to occur.

Within the Site there were no streams, wetlands, or other waters of the US and/or state was identified. These findings from the field investigation are discussed in greater detail in the following sections.

#### **3.1 Floodplains**

The Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRM) indicates that the southeastern corner of the Site is located within the 100 year floodplain (Zone AE) of Big Walnut Creek. The remainder of the Site is within an area of minimal flood hazard (Zone X).

#### **3.2 Wetlands**

The vegetation, soils, and hydrology characteristics were assessed at the lowest topographic point within the Site to determine if this area is a wetland or non-wetland (upland) community (SP-1; Figure 3). No evidence of prolonged hydrology or the establishment of predominantly wetland vegetation was observed. Soils at the sample location lack significant redoximorphic features and do not meet any hydric soil indicators. The sample plot location did not satisfy any of the three required criteria to be classified as a wetland and the entire of the site was determined to be a non-wetland (upland) community.

#### **3.3 Streams**

Within the Site no watercourses that display an ordinary high water mark (OHWM), as defined in USACE RGL-05-05, a defined bed and bank, or substrate sorting were observed. A narrow vegetated drainage channel extends through the Site from west to east. A short segment of the channel within the tree line that runs north to south is eroded where a six inch PVC drain tile discharges water perpendicular to the channel. As the vegetated channel extends east it turns to the south as it drains off-site and through a culvert under Olde Ridenour Road.

#### **3.4 Other Waters**

No other potential Waters of the US and/or Waters of the State (i.e., ditches, ponds) were identified at the Site.





March 28, 2019

National Church Residences  
2335 N Bank Dr  
Columbus, Oh 43220

RE: Project 0 Ridenour Rd

Dear National Church Residences:

The following comments were generated from the review of the submitted plans and documents for the referenced project. For the next submittal, please provide a disposition of comments, revised plans, and/or other information as requested for further review. The disposition of comments needs to include both the original comment and the appropriate response. If desired, these comments can be emailed. Re-submitted plans that do not include the disposition of comments document will not be reviewed and will be returned to you.

### **Parks**

1. Informational Comment - I noticed a few weeks ago that many trees in the existing tree line on this property are already marked for removal. I would like remind that no trees should be removed until plans have been approved. In addition, many existing trees are shown as being saved in this proposed plan. I am in favor of trying to save as many trees as possible on this site since there are many mature, healthy trees. However, saved trees must have a protected critical root zone during the construction process. Many of the trees marked to be saved are in close proximity to the new building. In order to protect these trees, the roots must be protected from compaction and disturbance with a physical fence. Roots often extend well beyond the canopy, or drip line, of a mature tree, and disturbance of these roots could impact the structural integrity and stability of these large trees. If anyone has any specific questions, I am willing to meet on site to discuss the trees and their root zones.
2. Informational Comment - As far as the submittal 2 is concerned, I have two comments. My first comment is that the plans call for construction fence at the drip line of existing trees. During our site meeting, we discussed that critical roots often extend far past the drip line. Construction fence should be 1 foot in radius from the base of the tree's trunk for each 1 inch of the tree's diameter at breast height. My second comment is that plans call for the top of the root ball to be 2"-3" above adjacent finish grade. I have a problem with this because trees should be planted where the root flare is even with the finish grade. Sometimes the root flare is buried 2"-3" inches in the root ball, but sometimes, the root flare is not buried that deep. I do not want these trees to be planted too high out of the ground. The trees should be planted according to industry standards ([http://www.treesaregood.com/portals/0/docs/treecare/new\\_treeplanting.pdf](http://www.treesaregood.com/portals/0/docs/treecare/new_treeplanting.pdf)).

Please contact me with any questions or concerns.

3. I am happy with the proposed landscape plan. There is a nice diversity of native trees with a proposed vegetative barrier for neighbors to the west of the project.

### **Fire District**



4. 1. The fire department access roadway shall be located within 150 feet of all portions of the building in accordance with Section 503.11 of the 2017 Ohio Fire Code.
- 503.1.1 Buildings and facilities. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction which are not readily accessible from a public and/or private street. The fire apparatus access road shall comply with the requirements of this paragraph and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the

building or facility.

Exceptions:

1. The fire code official is authorized to increase the dimension of 150 feet (45 720 mm) where any of the following conditions occur:
- 1.1. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with paragraph (C)(3)(a)(i) (903.3.1.1), (C)(3)(a)(ii) (903.3.1.2) or (C)(3)(a)(iii) (903.3.1.3) of rule 1301 :7—7—09 of the Administrative Code.
12. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.

- 1.3. There are not more than two Group R3 or Group U occupancies.
2. An aerial access roadway shall be required due to the height of the building.

## SECTION D105

### AERIAL FIRE APPARATUS ACCESS ROADS

D1051 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

D1052 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

D1053 Proximity to building. One or more of the required access routes meeting this condition shall be located not less than 15 feet (4572 mm) and not greater than 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

D105.4 Obstructions. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official. Other comments could be made after plans are submitted for review. Comments on fire hydrants and water supply needed will be addressed when the size and type of building



has been made. The Fire Inspection Bureau has initially met with the Architect and Engineer in regards to the fire department access roadway. A partial roadway was discussed on the north side of the building to go back part way to allow access to the north side and back to help achieve the 150 foot requirement. The fire division has some latitude to increase the 150 foot requirement if any of the exceptions are met in

Section 503.1.1.

## **Building**

5. The project will be required to comply with the 2017 Ohio Building Code. Building plan review and permitting will be required for the project.

## **Public Service & Engineering**

6. General Comments
  - A formal final engineering plan review will be required following approval of the Final Development Plan (FDP), or concurrently with the FDP process if requested by the Developer at their risk.
  - The developer will be responsible for the vacation of any easements and or right-of-way necessary for the development. The site plan shows an existing easement through the proposed building pad. The developer is responsible for ensuring the easement is vacated, or allows for construction of the building within the easement. This information will need to be submitted to our office as part of the final engineering plan review.
  - A stream may exist on this property. Any impacts to streams will require permits through the Army Corps of Engineers and/or the OEPA. The developer is responsible for obtaining all necessary permits and approvals related to the potential stream impacts.

### Site Access

- Any development that may generate more than 100 vehicle trips in the peak hour, or more than 1,000 total trips in a 24 hour period, will require that a Traffic Impact Study be completed and submitted to our office for review. The developer has completed trip generation for this site and a traffic impact study will not be required.
- 

### Sanitary Sewer

- There is an existing 8" sanitary sewer located along Olde Ridenour Road that can be accessed to provide sanitary sewer service for the development.

### Water Service

- There is an existing 8" waterline located along Olde Ridenour Road that can be accessed to provide water service for the development.

### Stormwater Management

- Stormwater detention and water quality requirements shall be addressed on-site. Detention and water quality treatment design to be per City of Gahanna standards, Codified Ordinances Chapter 1193, and 1195.
- The site shall incorporate green infrastructure best management practices (BMP's) for detention and water quality measures.
- Erosion Control design and Post Construction Runoff Control to be per City of Gahanna (Chapter 1195) and Franklin Soil and Water Conservation District requirements.



7. Informational Comment - The roadway along the entire frontage will require any necessary base repairs and resurfacing along the entire frontage of the development.

### **Public Safety**

8. No Comment Received.

### **Soil & Water Conservation District**

9. No Comment Received.

If you have any comments or questions, please contact me at [michael.blackford@gahanna.gov](mailto:michael.blackford@gahanna.gov) or (614) 342-4029.

Sincerely,

Michael Blackford  
Deputy Director





## PLANNING AND DEVELOPMENT STAFF REPORT

### Request Summary

This is a request for final development plan (FDP), design review (DR), and variance approval to permit the development of a new nursing and personal care facility. The project recently went through the rezoning and conditional use process to allow for the use. Additionally, the applicants conducted a workshop with Planning Commission in January to discuss details of the development such as building height, access, architecture, and tree preservation. The proposed development is substantially similar to what was previously shown during the workshop, rezoning and conditional use requests.

The application proposes a three and four story building housing 92 units of senior living. The four story portion of the building is located closer to Olde Ridenour Rd while the three story portion is located to the west of the site, closer to single family residential. The location of the building, parking, and topographic conditions has resulted in the need for variances. These variances will be discussed later in the report.

A rezoning to Multifamily Residential (MFRD) was approved on February 4, 2019. The plan of development included in the rezoning application was substantially similar to this proposed plan. Details such as number of units, building location, building height, etc are identical or nearly identical to what was previously depicted. MFRD permits nursing and personal care facilities with a conditional use. The conditional use has specific requirements for setbacks, buffering, lot coverage, and height. Height is limited to 35 feet unless approved by Planning Commission. Planning Commission may approve a building height over 35 feet if they deem it appropriate. The proposal is for a building height of 58 feet.

### Final Development Plan

Planning Commission shall approve an FDP application if the following four conditions are met:

- A. The proposed development meets the applicable development standards of this Zoning Ordinance.
- B. The proposed development is in accord with appropriate plans for the area.
- C. The proposed development would not have undesirable effects on the surrounding area.
- D. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

### Design Review

The property is zoned MFRD with an overlay and therefore subject to the standards of Design Review District 2 (DRD-2). Relevant standards include the following:

### PROJECT DETAILS

FDP, DR, VARIANCE: PERMIT  
4 STORY, 129 BED SENIOR  
LIVING FACILITY

PROPERTY SIZE: 4.2 ACRES

STAFF RECOMMENDATION:  
REQUEST CONSISTENT  
WITH RECENTLY APPROVED  
REZONING AND  
CONDITIONAL USE





- Parking – General layout of the parking area shall integrate a diverse use of vegetation and define patterns of vehicular and pedestrian traffic.
- Lighting – Shall be metal halide.
- Landscaping – Preserving and enhancing sensitive areas within the development will be a major consideration.
- Landscaping – Open space and diverse arrangement of landscaping are issues that should be explored to maintain the rural residential character of the community.
- Building Materials – The visual effect of the development should complement the surrounding structures.
- Building Materials – Quality materials that will enhance the development should be used.

#### Variance

Five variances have been request to the zoning code which include the following:

- Chapter 1149.02(e)(1) – Conditional use setbacks for building and parking.
  - The applicant is requesting a 0 foot setback for parking along the southern boundary adjacent to the rehabilitation facility. The building will meet the setback requirement but not parking. Allowing parking to encroach into this setback will allow for the site to maintain maximum separation from the single family residential area to the west.
- Chapter 1163.06(a) – Lighting Standards
  - The code limits the intensity of lighting to an average intensity of ½ foot candle. This standard has been difficult for projects to achieve. The applicant's photometric plan shows an average intensity of 1 foot candle.
- Chapter 1167.15(b) – Building Lines Established
  - The applicant is requesting a variance to allow for a 15' parking setback along Olde Ridenour Road. The code requires a 25' setback
- Chapter 1167.20(b)(1) – Property Perimeter Requirements
  - The code requires a 15' buffer between residential and office zoned properties. The applicant is requesting a 0' setback adjacent to the Suburban Office zoned property that is occupied by a rehabilitation facility. Parking is proposed in this area in lieu of the buffer. Staff doesn't object to this variance as both uses (rehab and senior living) are substantially similar in scale and intensity. Additionally, by granting the variance, this allows for a greater separation between the development of the site and the single family to the west.
- Chapter 1197.09(b)(1)(A)(4) – Lighting
  - The code requires multifamily projects to provide metal halide lighting. This requirement is unique to multifamily zoned properties. The applicant is proposing LED lighting.

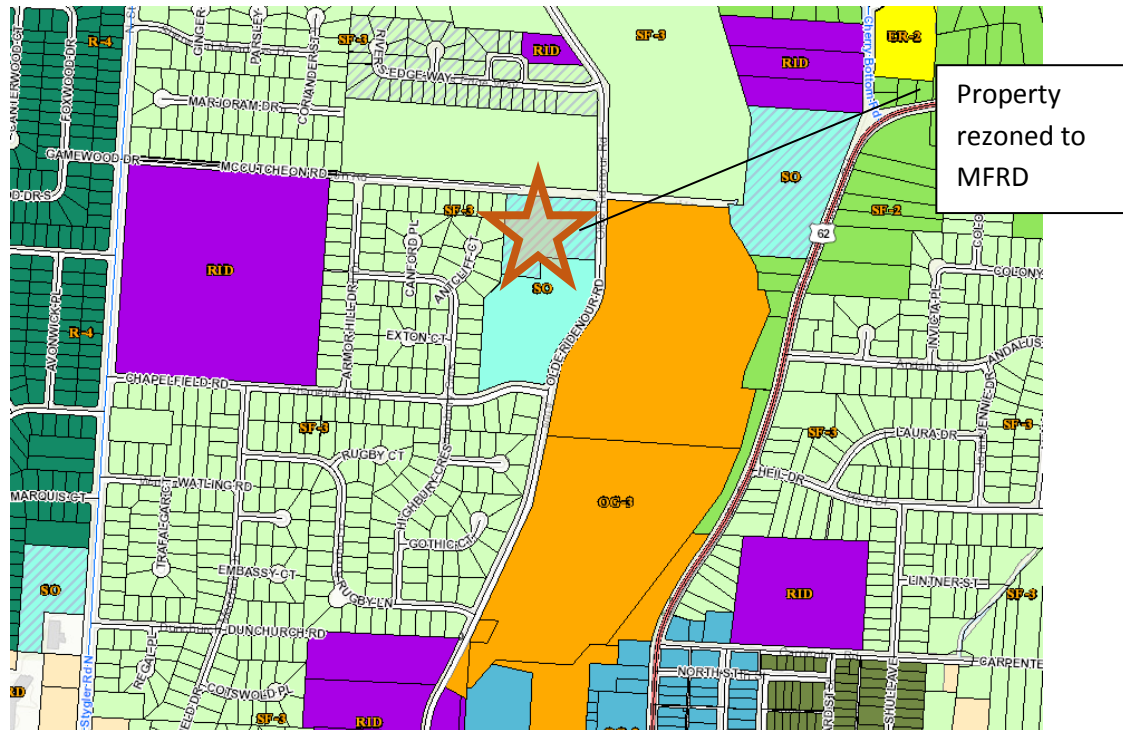
Planning Commission shall not grant a variance unless it finds that all of the following conditions apply:



- a) There are special circumstances or conditions applying to the land, building or use referred to in the application.
- b) The granting of the variance is necessary for the preservation and enjoyment of substantial property rights.
- c) The granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the proposed use and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood.

Staff is of the opinion that the request as proposed is meeting the intent of the zoning code. The requested variances appear to be necessary either because of outdated code language (lighting) or to maximize development on the east portion of the site. Allowing development to be concentrated towards the east of the site will allow for maximum separation of the project from adjacent single family. It will also allow for a substantial amount of tree preservation.

#### Location/Zoning Map



Respectfully Submitted By:  
Michael Blackford, AICP  
Deputy Director