

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION

PLEASE NOTE: This application is not to be considered complete until all documents are received and approved by the Planning & Zoning Administrator.

Project/Property Address or Location:	Project Name/Business Name (if applicable):								
140 Imperial Drive	Stygler Village Apartments								
Parcel ID No.(s) Curr	rent Zoning:			Total A	creage:				
025003867 cor	mmercial zor	ning - perm	issive	3.41	7 acre	es			
Please check all that apply:				0.01.11.0		55	(CUTION		
SITE PLAN LANDSCAPING	BUILDING	DESIGN		SIGNAC	žE	DE/	MOLITION		
✓	•	and the same of th		annes de la companya del companya de la companya del companya de la companya de l			✓		
Additional Information (if applicable):									
see cover sheet									
A DDI I CA NIT INICODM A TION (with some southerst)									
APPLICANT INFORMATION (primary contact)		Address:		-					
Name (please do not use a business name):				la Div	رط دين	+~ OOO			
Berardi Partners +, Inc.		1398 G	ooda	ie Biv	/a., Sui	te 200	I I		
E-Mail:	tnore com	Phone No.	11/	221	1110				
nbruckelmeyer@berardipar	mers.com	C) 14.2	221.	1110				
ATTORNEY/AGENT INFORMATION				9					
Name:	. +	Address:							
Jon Holway - Architec	ગ	1398 Goodale Blvd., Suite 200							
E-Mail:	oro oom	Phone No. 614.221.1110							
jholway@berardipartn	ers.com	C) 14.4	221.	1110				
ADDITIONAL CONTACT INFORMATION (please I	list all applicable						,		
Names:		Contact Info		phone n	o./email):				
-Contractor: Ruscilli Construction Co.		614.876.9484							
-Developer: National Church Residences		(800) 388-2151							
-Architect: Jon Holway		614.221.1110							
Property Owner Name: (if different from Applicant)		Contact Information (phone no./email):							
National Church Residences		(800) 388-2151							
APPLICANT SIGNATURE BELOW CONFIRMS	THE SUBMISSION	ON REQUIRI	EMENTS	HAVE	BEEN CO	MPLETED	(see page 2 & 3)		
I certify that the information on this applica	tion is comple	te and acc	ırate to	the be	est of mv	knowled	ae, and that		
the project as described, if approved, will	be completed	in accorda	nce wit	h the co	onditions	and tern	ns of that		
approval.	en sec la constitue france en en								
The HO	1				Date:	11.15.	2016		
Applicant Signature:					Dale:				
Zoning File No.	RECEI	VED: Min	la		PAID: _5	0,00)		
PC Meeting Date:		11 10 1/				- 1/.			
	DATE	E: 11-18-16 DATE: 11-18-16				10			
PC File No					CHECK#:	5708	DEBIT		
1 of 6	SIDESIGN REVIEW A	PPLICATION REV	.10.12.16						



DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION-SUBMISSION REQUIREMENTS

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FF		APPLI	CANT	STAF	F USE
KE TO BE	COMPLETED/SUBMITTED BY THE APPLICANT:	YES	N/A	YES	N/A
1. Rev	view Gahanna Code <u>Section 1197</u> and/or <u>1165</u> -signage (visit <u>www.municode.com</u>)	1			
2. Pre	-application conference with staff	1			
3. Mc	sterials List (see page 4) – does not apply to demolition applicants will provide materials board at review meeting		1		
4. Ap	plication & all supporting documents submitted in digital format	1			
5. Ap	plication & all supporting documents submitted in hardcopy format	1			
6. Au	thorization Consent Form Complete & Notarized (see page 6)				
PLEASE	CONTINUE TO THE APPROPRIATE SECTION OF REQUIREMENTS				2
NOTE:	All Plans must be submitted in 8.5x11", 11x17", or 24x36" (folded, not rolled, to 8.5x11")	1			
	SITE PLAN / LANDSCAPING / BUILDING DESIGN REQUIREMENTS				
GENER	AL REQUIREMENTS				
1. On	e 24x36 & One 11x17 prints of the plans	1			
9/23	or photographs illustrating the site, buildings, & other existing features as well as adjacent				
pro	perties (identify photograph location)				
100-20-00 P	st of all samples to include color names & PMS numbers (required for all exterior will provide metarials) — please bring samples to meeting(s)		ard		
4. Ap	terials) – please bring samples to meeting(s) plication fee (New - \$50 + \$.01 per sq. foot; Amended - \$25 + .01 per sq. foot) fees paid aft				
	or rendering(s) of the project in plan/perspective/or elevation	1			
	NG CONSTRUCTION, EXTERIOR REMODELING, & ADDITIONS (INCLUDING PARKING LO		NDSCAI	DINIC)	
			NDSCAI	iivo)	
	E PLAN that includes the following: (include: scale, north arrow, & address)	/			
	Il property & street pavement lines	1			
	ross area of tract stated in square feet	✓			
	roposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent reets. Delineate traffic flow with directional arrows & indicate location of direction signs or	1			
858341	ther motorist's aids (if any)				
	ocation of all existing and proposed buildings on the site	1			
- Lo	ocation of all existing (to remain) & proposed lighting standards	1			
- Bi	reakdown of parking spaces required & spaces provided (see Gahanna Code Section 1163)		1		
- Pi	rovide lot coverage breakdown of building & paved surface areas	1			
2. <u>LAI</u>	NDSCAPE PLAN (including plant list)	1			
22.11	xisting landscaping that will be retained & proposed landscaping shall be differentiated &				
SUPPLEMENT	nown on the plan. The type, size, number, & spacing of all plantings & other landscape	1			
	eatures must be illustrated				
	ocation of all isolated existing trees having a diameter of six"+; (tree masses may be shown ith a diagrammatic outline & a written inventory of individual trees exceeding 6" in caliper)		1		
	esignation of required buffer screens (if any) between parking area & adjacent property	1	1		
Telephone .	sterior landscaping breakdown for paved surface (see Gahanna Code Section 1163)	1	-	4	
	EVATIONS from all sides & related elevations of any existing structures that includes the	-			
STATE OF THE PARTY	lowing: (include: scale, north arrow, & address)	1			
	cterior materials identified will provide materials board at review meeting	V			
- Fe	enestration, doorways, & all other projecting & receding elements of the building exterior	1			
4. <u>LIC</u>	GHTING STANDARD DRAWING that includes the following: (scaled drawing)	1			
200	Il sizing specifications	1			
2000	formation on lighting intensity (no. of watts, isofootcandle diagram, at least ½ ft. candles req.)	1			100



- Materi	als, colors, & manufacturer's cut sheet		
	d or wall anchorage details		
5. OPTIO	NAL REQUIREMENTS AT THE DISCRETION OF PLANNING COMMISSION: e model ion profiles pective drawing		
Secretary and an annual secretary description and an annual secretary secret	SIGNAGE REQUIREMENTS		
	REQUIREMENTS		
materia			
	tion fee (One-Tenant - \$35; Multi-Tenant - \$50)		
FREE-STAN	IDING GROUND SIGN REQUIREMENTS		
1. SITE PL	AN that includes the following: (include: scale, north arrow, & address)		
- All pro	perty and pavement lines		
streets.	sed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent . Delineate traffic flow with directional arrows & indicate location of direction signs or motorist's aids (if any)		
	on of existing and proposed landscaping (refer to Gahanna <u>Section 1165.08</u>)		
	on & height of all existing (to remain) & proposed signs on the site. Show required ks for sign from property lines.		
WALL SIGN	I REQUIREMENTS		
1. SIGN D	<u>PRAWING</u> that includes the following: (include scaled drawing of each face)		
- All size	e specifications, including the size of letters & graphics		
- Descrip	otion of sign and frame materials & colors		
- Wall o	anchorage details (anchorage must be interior to the sign or camouflaged)		
	IONS (to scale, of the entire wall of the building to which the sign is to be fixed, ly locating the sign)		
并有过来的 对于	DEMOLITION OR REMOVAL OF EXISTING STRUCTURES REQUIREMEN	NTS	
	R MORE OF THE FOLLOWING CONDITIONS MUST EXIST:		
	ne building contains no features of special architecture or is not a historical building or ally significant or is not consistent in design & style with other structures within the		
restore appro	nere exists no viable economic use for the building in its current state or as it might be ed or that there is not a feasible and prudent alternative to demolition and that the wal of the demolition is necessary for the preservation and enjoyment of substantial rty rights		
- That the of this or safe not be such no	ne applicant has a definite plan for redevelopment of the site which meets the standards Code and the proposed redevelopment will not materially affect adversely the health ety of persons residing or working in the district where the demolition will occur and will materially detrimental to the public welfare or injurious to property or improvements in eighborhood		
8. Applica	ation fee (New - \$50 + \$.01 per sq. foot; Amended - \$25 + .01 per sq. foot)		



MATERIAL LIST

NOT REQUIRED FOR DEMOLITION APPLICANTS										
Item	Manufacturer Name	Color Name	Color Number							
Awnings	will provide materials board at review meeting									
Brick										
Gutters and Downspout										
Lighting										
Roofing										
Siding										
Signs										
Stucco										
Trim										
Windows										



APPLICATION ACCEPTANCE

\succeq	All Election Agen (Alter	
INTERNAL USE ONLY	This application has been reviewed and is considered complete and is hereby accepted by the City of Gahanna and shall be: Forwarded to the City of Gahanna Planning Commission for consideration. Forwarded to Administration for consideration (one-tenant signage applications). Planning & Zoning Administrator Signature:	
	APPROVAL BY THE PLANNING & ZONING ADMINISTRATO	OR .
abov comp	cordance with the Codified Ordinances of the City of Gahanna, Ohio, I hereby certify that this re, was approved by the Planning & Zoning Administrator on By with any conditions approved by the Planning & Zoning Administrator and shall comply with and scaping regulations of the City of Gahanna.	The applicant shall
Plann	ning & Zoning Administrator Signature:	Date:
Chief	Building Official Signature:	Date:
Direc	etor of Public Service Signature:	Date:
City I	Engineer Signature:	Date:
		S

This application will be forwarded to Planning Commission read by title at the first regular meeting of Planning Commission following approval by the Planning & Zoning Administrator.



AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

AUTHORIZATION FOR OWNER'S APPLICANT OR REPRESENTATIVE(S) If the applicant is not the property owner, this section must be completed and notarized.
I, National Church Residences of Gahanna, the owner of the subject property listed on this application, hereby authorize
BERARDI + PARTNERS to act as my applicant or representative(s) in all matters pertaining to the
processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made
by the designated representative.
Property Owner Signature: Date: 11-18-16
AUTHORIZATION TO VISIT THE PROPERTY
I, National Church Residences of Gahanna, the owner of the subject property listed on this application, hereby authorize City
representatives to visit, photograph and post notice (if applicable) on the property as described in this application.
Property Owner Signature: Date: 11-18-16
Subscribed and sworn to before me on this 18th day of November 2016. State of Ohio County of Franklin Notary Public Signature: Our Atlant November 2016 Notary Public Signature: Our Atlant November 2016 Notary Public Signature: Sec. 147.03 R.C.
AGREEMENT TO COMPLY AS APPROVED National Church Residences of Gavanna I, the contractor/applicant of the subject property listed on this application, hereby agree that the project will be completed as approved and any proposed changes to the approved plans shall be submitted for review and approval to the Zoning Division staff. Contractor/Applicant Signature:
Subscribed and sworn to before me on this <u>18th</u> day of <u>November</u> , 20 <u>10</u> .
State of OMD County of Franklin CARRIE A. HIATT nka Carny D. Notary Public Signature: Notary Public Signature: Notary Public Signature: Sec. 147.03 R.C.

SAVE APPLICATION

PROJECT SUMMARY:

STYGLER VILLAGE IS AN EXISTING 150 UNIT 4-STORY AFFORDABLE SENIOR INDEPENDENT LIVING APARTMENT BUILDING LOCATED IN GAHANNA, OHIO, CONSTRUCTED IN 1978. THE PROPOSED RENOVATION OF STYGLER VILLAGE INCLUDES SITE, EXTERIOR AND INTERIOR COMMON AREA AND DWELLING UNIT IMPROVEMENTS. THE PROPOSED RENOVATION WILL BE COMPLETED IN PHASES. THE PROPOSED SITE, EXTERIOR FACADE AND THE COMMON AREA RENOVATION WORK TO BE COMPLETED CONCURRENTLY. THE FOLLOWING DESCRIBES THE PROPOSED SCOPE OF WORK.

ONE FOUR-STORY, SENIOR INDEPENDENT LIVING APARTMENT BUILDING SET ON 3.417 ACRES. ONE HUNDRED AND FIFTY (150) TOTAL UNITS WITH ONE HUNDRED AND FORTY SIX (146) ONE-BEDROOM STANDARD RENTAL UNITS (FOURTEEN (14)

ONE-BEDROOM UNITS DESIGNATED FOR MOBILITY-IMPAIRED ACCESSIBILITY), AND FOUR (4) TWO BEDROOM DWELLING UNITS 81 EXISTING PARKING SPACES WHICH INCLUDE (5) SPACES DESIGNATED FOR HANDICAP ACCESSIBILITY. THE BUILDING WAS BUILT IN 1978, AND IS SLAB ON GRADE CONSTRUCTION WITH CONCRETE BLOCK AND LIGHT GAGE METAL FRAMED EXTERIOR WALLS

FRAMED INTERIOR WALLS, 8" PRECAST CONCRETE SLAB FLOOR, AND PRECAST CONCRETE ROOF DECK WITH MEMBRANE ROOF...

ONE HUNDRED AND FIFTY (150) TOTAL UNITS WITH ONE HUNDRED AND FORTY SIX (146) ONE-BEDROOM STANDARD RENTAL UNITS, TWELVE (12) OF WHICH ARE DESIGNATED FOR MOBILITY-IMPAIRED ACCESSIBILITY, AND FOUR (4) TWO BEDROOM DWELLING UNITS, THREE (3) OF WHICH ARE DESIGNED

MITH MASONRY BRICK VENEER AND VINYL SIDING FACADE MATERIALS; INTERIOR CONCRETE BLOCK, MASONRY VENEER AND LIGHT-GAUGE METAL

THE TWELVE (12) ONE-BEDROOM STANDARD RENTAL UNITS AND THE THREE (3) TWO BEDROOM DWELLING UNITS WILL BE RESTRUCTURED TO PROVIDE CODE REQUIRED ACCESS TO THE GREATEST EXTENT POSSIBLE. THEY WILL RECEIVE ALL NEW FINISHES, FIXTURES AND FITTINGS INCLUDING NEW ANSI TYPE' A' ROLL-IN SHOWERS AT MOBILITY IMPAIRED UNITS, APPLIANCES, MECHANICAL EQUIPMENT, LIGHTING AS WELL AS DOORS AND HARDWARE AND ENLARGEMENT OF INTERIOR DOORS AS REQUIRED. THE REMAINING ONE HUNDRED AND FORTY SIX (146) UNITS WILL RECEIVE ALL NEW FINISHES AND LIGHTING AS WELL AS NEW DOORS AND HARDWARE

TWO PERCENT OF THE DWELLING UNITS WILL BE DESIGNATED FOR SENSORY IMPAIRMENT. NEW FRONT ENTRY CANOPY AND ENTRY LOBBY WILL BE PROVIDED. INTERIOR COMMON AREA INCLUDING THE RELOCATION OF THE COMMUNITY ROOM TO THE FIRST FLOOR. OTHER PROGRAM SPACES WILL BE MODIFIED TO ENHANCE EXISTING BUILDING SERVICES.

80 PARKING SPACES WHICH INCLUDE (5) SPACES DESIGNATED FOR HANDICAP ACCESSIBILITY UNITS: TOTAL OF 150

EXISTING 'A' ONE BDRM 569 G.S.F. (TOTAL OF 132) EXISTING 'B' ONE BDRM 652 G.S.F. (TOTAL OF 14) EXISTING 'C' TWO BDRM 858 G.S.F. (TOTAL OF 4)

UNLESS OTHERWISE INDICATED DUE TO INFEASIBILITY OF EXISTING CONDITIONS, ALL NEW CONSTRUCTION SHALL BE CONGRUENT WITH CURRENT ACCESSIBILITY STANDARDS AND OHFA UNIVERSAL DESIGN FEATURES. ALL NEW APPLIANCES, MECHANICAL SYSTEMS AND LIGHTING TO BE ENERGY STAR RATING COMPLIANT

10% OF THE LIVING UNITS SHALL BE IN CONFORMANCE WITH THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) TO THE GREATEST EXTENT POSSIBLE. 2% OF THE LIVING UNITS SHALL BE DESIGNED UNDER THE UFAS CODE FOR SENSORY IMPAIRMENT.

ALL NEW CONSTRUCTION WITHIN PUBLIC SPACES INCLUDING THE LOBBIES, CORRIDORS & PUBLIC RESTROOMS SHALL COMPLY WITH THE OCB 2011 & ICC A 117.

THIS BUILDING SHALL COMPLY WITH THE FOLLOWING CODES OBC 2011 (OHIO BUILDING CODE) OMC 2011 (OHIO MECHANICAL CODE) OPC 2011 (OHIO PLUMBING CODE)

NATIONAL ELECTRIC CODE (NFPA-70)

ADAAG 2010 (AMERICANS WITH DISABILITIES ACT UFAS (UNIFORM FEDERAL ACCESSIBILITY STANDARDS) TO THE GREATEST EXTENT POSSIBLE

OFC 2011 (OHIO FIRE CODE)

WITH PRIOR APPROVAL OF THE BUILDING OFFICIAL HAVING JURISDICTION, PORTIONS OF THE DESIGN THAT QUALIFY FOR DEFERRED SUBMITTAL AND ARE NO SUBMITTED AT THE TIME OF APPLICATION ARE TO BE SUBMITTED WITHIN A SPECIFIED TIME PERIOD. ALL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD FOR APPROVAL BEFORE BEING FORMARDED TO THE BUILDING OFFICIAL HAVING JURISDICTION WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN

REVIEWED AND HAVE BEEN DETERMINED TO BE IN GENERAL COMPLIANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED. THE FOLLOWING CONSTRUCTION DOCUMENTS MAY BE SUBMITTED AS A DEFERRED SUBMITTAL:

THE SUBMISSION OF FIRE ALARM SYSTEM CONSTRUCTION DOCUMENTS (SHOP DRAWINGS) SHALL BE REQUIRED FOR REVIEW AND EVALUATION AS PER THE SUBMISSION OF AUTOMATIC FIRE SUPPRESSION (SPRINKLER) SYSTEM (SHOP DRAWINGS) CONSTRUCTION DOCUMENTS SHALL BE REQUIRED FOR

REVIEW AND EVALUATION AS PER OBC 2011 106.1.1.1 THE SUBMISSION OF CERTIFIED ROOF TRUSS DETAILS SHALL BE REQUIRED FOR REVIEW AND EVALUATION AS PER OBC 2011 SECTION 2303.4

FIRE PROTECTION/SUPPRESSION SYSTEMS

EXISTING WET FIRE SPRINKLER SYSTEM TO BE RECONFIGURED AS REQUIRED FOR ALL REDEVELOPED INTERIOR SPACES. IN THESE LOCATIONS, THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH NFPA 13. SPRINKLER DRAWINGS CONTAINED HEREIN ARE DIAGRAMMATIC & ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR CODIFIED REQUIREMENTS. FINAL FIRE PROTECTION SYSTEM DRAWINGS SHALL BE PREPARED BY AN APPROPRIATELY CERTIFIED FIRE PROTECTION SYSTEM DESIGNER & SUBMITTED FOR APPROVAL TO THE NECESSARY AGENCIES HAVING JURISDICTION.

GENERAL: EXISTING ELEVATORS TO REMAIN WITH MINOR WORK ASSOCIATED WITH THIS RENOVATION

SIGNAGE PACKAGE:

ALL SIGNS REQUIRED INCLUDING BUT NOT LIMITED TO ADA, FIRE SPRINKLER, EXITS AND ENTRIES. SEE SPECIFICATION SECTION 10 1400.

SINGLE AND MULTIPLE-STATION SMOKE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH NFIPA 72

SMOKE DETECTORS SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) & ONE IN EACH BEDROOM. LIVING UNIT SMOKE DETECTORS SHALL BE WIRED TOGETHER SO THAT THE ACTUATION OF ONE ALARM WILL ACTUATE ALL THE ALARMS IN THAT UNIT.

SMOKE DETECTORS IN UNITS SHALL BE PERMANENTLY CONNECTED TO A NORMAL POWER SUPPLY & SHALL COMPLY WITH UL 217 AND UL 268. UNIT SMOKE DETECTORS SHALL PROVIDE AN AUDIBLE ALARM. UNIT SMOKE DETECTORS IN HANDICAP AND SENSORY IMPAIRED UNITS SHALL PROVIDE BOTH AN AUDIBLE

AUTOMATIC FIRE DETECTION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NFIPA 72 & SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHAL FOR

FIRE ALARM STATIONS SHALL BE PLACED AT EACH EXIT ACCOMPANIED BY SIMULTANEOUS AUDIO \$ VISUAL SIGNALS AND COORDINATED FLASHING EXIT SIGNS TO ALERT THE HANDICAPPED AND SENSORY IMPAIRED

ALARM SYSTEM SHALL BE CONNECTED TO AN APPROVED REMOTELY LOCATED RECEIVING FACILITY IN ACCORDANCE WITH NFPA 12. COORDINATE RECEIVING

FACILITY REQUIREMENTS WITH THE OWNER. FIRE RESISTIVE CONSTRUCTION ASSEMBLIES:

STAIR ENCLOSURES EXTERIOR WALLS TENANT COMMON WALLS CORRIDOR WALLS FLOOR/CEILING IS TYPICAL

EXISTING 2 HOUR RATED TO REMAIN EXISTING TO REMAIN EXISTING TO REMAIN NEW WALLS - UL #U465 / EXISTING TO REMAIN EXISTING 2HR RATED TO REMAIN EXISTING 2 HR TO REMAIN EXISTING 2 HR TO REMAIN

ENVIRONMENTAL CONSULTANT NOTE:

FLOOR CEILING AT COMMON SPACES

THE PROJECT OWNER HAS RETAINED THE SERVICES OF AN ENVIRONMENTAL CONSULTANT UNDER SEPARATE AGREEMENT FROM THE OWNER/ARCHITECT AGREEMENT. THE ENVIRONMENTAL CONSULTANT'S PROJECT DOCUMENTS ARE INCLUDED IN THE PROJECT MANUAL AND PROJECT DRAWINGS AS A REQUIREMENT OF THE OWNER FOR PERMIT AND BIDDING PURPOSES, AND ARE PROVIDED ONLY FOR REFERENCE PURPOSES FOR CONSTRUCTION OF THE PROJECT AND FOR CONVENIENCE OF THE BIDDERS AND CONTRACTORS. THE ARCHITECT TAKES NO RESPONSIBILITY WHATSOEVER FOR THE SERVICES PERFORMED BY THE ENVIRONMENTAL CONSULTANT, FOR ANY BREACH OF CONTRACT OF THE ENVIRONMENTAL CONSULTANT, NOR FOR THE CONTENT, ACCURACY, NEGLIGENCE, ERRORS OR OMISSIONS OF THE ENVIRONMENTAL CONSULTANT'S PROJECT DOCUMENTS. FURTHERMORE, THE ARCHITECT IS NOT IN CHARGE OF THE ENVIRONMENTAL CONSULTANT, AND HAS NO RESPONSIBILITY FOR COORDINATING THE SERVICES OR PROJECT DOCUMENTS OF THE ENVIRONMENTAL CONSULTANT.

UTILITIES: MATER: SANITARY SEMER: ELECTRICITY:

NATURAL GAS:

WELLNESS SUITE: 750 SF

ELEVATOR SHAFT

CITY OF GAHANNA CITY OF GAHANNA BY OWNER TENANT / OWNER COLUMBIA GAS BY OWNER

MAXIMUM OCCUPANCY LOAD:

1004.1.1 DESIGN OCCUPANT LOAD BASED ON OWNER PROJECTED TENANT, STAFF & VISITOR NUMBERS - ACTUAL NUMBER: 484 OCCUPANTS

1004.1.2 DESIGN OCCUPANT LOAD BASED ON OBC TABLE 1004.1.1: PER OBC TABLE 1004.1.1 - RESIDENTIAL: TOTAL GROSS SQUARE FEET 112,918 SF 112,918 / 200 GROSS SQUARE FEET PER OCCUPANT = 565 OCCUPANTS

PER OBC TABLE 1004.1.1 - RESIDENTIAL

ONE BR: 146 DWELLING UNITS @ 566.8AVG SF/ 200 GSF = 2 OCCUPANTS EA TWO BR:4 DWELLING UNITS @ 888.5 AVG SF/200 GSF = 4 OCCUPANTS EA

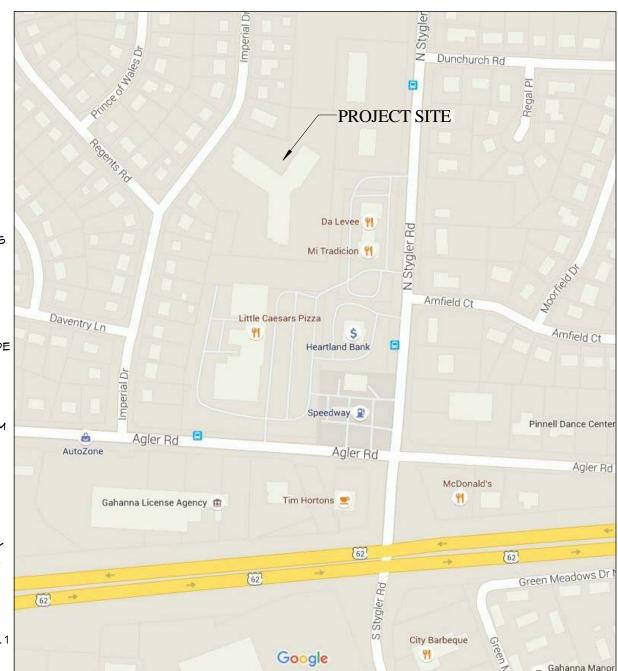
750/100 = 7 OCCUPANTS

TOTAL (146 DWELLING UNITS × 2 OCC) + (4 DWELLING UNITS * 4 OCCUPANTS) = 308 OCCUPANTS PER OBC TABLE 1004.1.1 ASSEMBLY: (CONCENTRATED @ 7 NSF/OCCUPANT & UNCONCENTRATED @ 15 NSF/OCCUPANT)

15T FLOOR: COMMUNITY ROOM: 405 SF 405/15 = 27 OCCUPANTS 167/15 = 11 OCCUPANTS LOUNGE: 167 SF 175/15 = 11 OCCUPANTS COMMUNITY KITCHEN: 175 SF GAME ROOM:313 SF 313/15 = 20 OCCUPANTS 410/15 = 27 OCCUPANTS ADMINISTRATIVE OFFICES: 182 SF 182/ 100 = 1 OCCUPANTS MANAGEMENT OFFICES: 172 SF 172/100 = 1 OCCUPANTS MAINTENANCE: 646 SF 646/300= 2 OCCUPANTS 2ND FLOOR: MULTIPURPOSE: 1008 SF 1008/15=67 OCCUPANTS 3RD FLOOR:

SERVICE COORDINATOR: 2025F 202/100 = 2 OCCUPANTS DMELLING UNITS ONLY TOTAL ASSEMBLY SPACE OCCUPANTS = 176 OCCUPANTS TOTAL BUILDING OCCUPANTS (308+176) = 484 OCCUPANTS

location map



STYGLER VILLAGE APARTMENTS RENOVATION

140 IMPERIAL DRIVE, GAHANNA, OHIO 43230

CURRENT ZONING: GENERAL COMMERCIAL DISTRICT USE GROUP: PERMISSIVE SITE AREA: 3.417 ACRES/148,845 SF

BUILDING FOOTPRINT EXISTING= 29,021 SF

PROPOSED TOTAL AREA = 29,076 SF

BUILDING HEIGHT EXISTING = 4 STORY / 37'-0"

PROPOSED = 4 STORY / 37'-0" (NO MODIFICATION)

NUMBER OF DWELLING UNITS: EXISTING = 150 PROPOSED = 150 (NO ADDITIONAL UNITS)

NUMBER OF PARKING SPACES: EXISTING = 81 CARS (5 HC)

PROPOSED = 80 CARS (5 HC)

DENSITY = 150 / 3.417 = 43.9 UNITS/ACRE

CONSTRUCTION TYPES: EXISTING = 2A

LIVING UNITS

VERTICAL PENETRATION 601 SF

SUPPORT

4TH FLOOR

PROPOSED = 5A BUILDING AREA MODIFICATIONS PER OBC SECTION 506 ALLOMABLE AREA = 12,000 + (12,000 X 0) + (12,000*2) = 36,000 PER FLOOF

PER SECTION 504.2: 4- STORIES MAXIMUM (50'-0" IN HEIGHT MAX.)

BUILDING UNIT SUMMARY						
UNIT TYPE	NET RENTABLE AREA (NRA)	GROSS AREA	BEDS	TOTAL #		ANSI TYPE
UNIT 'A 1'	504 SF	553 SF	1	110		
UNIT 'A 1' - END WALL CONDITION	502 SF	570 SF	1	10		
UNIT 'A2'	504 SF	553 SF	1	12	A١	ISI TYPE 'A'
UNIT 'B 1'	518 SF	570 SF	1	12		
UNIT 'B 1' - END WALL CONDITION	515 SF	588 SF	1	2		
UNIT 'C 1'	791 SF	890 SF	2	1		
UNIT 'C2'	791 SF	887 SF	2	3	A١	ISI TYPE 'A'
TOTAL NUMBER OF INITE ALSO						

UNIT 02		1-11-31 00 1 31	-	2 7 714	21111	$\overline{}$	
TOTAL NUMBER OF UNITS:	150						
BUILDING ARE	A BY USE	BUILDING ARE	A PERCENT	「AGE B	Y USE		
BOMA AREA TYPE	AREA	BOMA AREA TYPE	AREA	- 1	MMON A		
1ST FLOOR				Pi	ERCENT		
COMMON AREA	3732 SF	COMMON AREA	6707			6	
COMMON CIRCULATION	3126 SF	COMMON CIRCULATION	11066	SF		10	
VING UNITS	20563 SF	DEDICATED PROGRAM	938	SF		1	
JPPORT	1044 SF	SPACE	40510	CE		- 0.0	
ERTICAL PENETRATION	610 SF	LIVING UNITS	90512			80	
ST FLOOR	29076 SF	SUPPORT	1242			19	
ND FLOOR		VERTICAL PENETRATION				2	
OMMON AREA	2530 SF		112918	5F		100	
DMMON CIRCULATION	2661 SF						
VING UNITS	214715F						
PPORT	87 SF	PROPOSED GROSS CONSTRUCTION A					
RTICAL PENETRATION	623 SF	PROPOSED GROSS C	ONSTRUCT	ION AF	KEA		
ND FLOOR	27373 SF	1ST FLOOR		290	76 SF		
RD FLOOR	T	2ND FLOOR			373 SF		
MMON AREA	444 SF	3RD FLOOR			124 SF		
DMMON CIRCULATION	2625 SF	4TH FLOOR			45 SF		
EDICATED PROGRAM PACE	938 SF	TOTAL GROSS SQUARE	FOOTAGE:		118 SF		
ING UNITS	24245 SF						
PPORT	54 SF						
ERTICAL PENETRATION	618 SF	EXISTING	GROSS ARE	ΙΔ			
RD FLOOR	28924 SF	LAISTING	SKOSS AKL	<i>u</i> 1			
H FLOOR		1ST FLOOR		290	21 SF		
COMMON CIRCULATION	2654 SF	2ND FLOOR		277	187 SF		

MOBILITY IMPAIRED UNITS (10% REQUIRED = 15): U116, U138, U140, U216, U221, U238, U240, U3 16, U3 2 1, U3 38, U3 40, U4 16, U4 2 1, U4 38, U4 40 SENSORY IMPAIRED UNITS (2% REQUIRED = 3): U121, U211, U335

3RD FLOOR

4TH FLOOR

TOTAL GROSS SQUARE FOOTAGE:

24233 SF

27545 SF

2ND FLOOR DEMOLITION PLAN 07/15/16 FIRE PROTECTION 3RD FLOOR DEMOLITION PLAN 06/03/16 D103 NOTES, SYMBOLS AND ABBREVIATIONS D104 4TH FLOOR DEMOLITION PLAN 06/03/16 ROOF DEMOLITION PLAN D105 05/20/16 F101b FIRST FLOOR PARTIAL PLAN F101c FIRST FLOOR PARTIAL PLAN D201 DEMOLITION ELEVATIONS 06/03/16 FIRST FLOOR PARTIAL PLAN F 102a SECOND FLOOR PARTIAL PLAN ARCHITECTURA F102b SECOND FLOOR PARTIAL PLAN FIRST FLOOR PLAN 08/05/16 SECOND FLOOR PARTIAL PLAN F102c 08/05/16 08/05/16 F103b THIRD FLOOR PARTIAL PLAN A103 THIRD FLOOR PLAN FOURTH FLOOR PLAN 08/05/16 F104b FOURTH FLOOR PARTIAL PLAN A104 A 105 ROOF PLAN 07/22/16 PLUMBING ROOF DETAILS 6 07/15/16 POOO NOTES, SYMBOLS AND ABBREVIATIONS 9 09/15/16 PD101a DEMOLITION FIRST FLOOR PARTIAL PLAN EXTERIOR ELEVATIONS 09/15/16 PD 101b DEMOLITION FIRST FLOOR PARTIAL PLAN EXTERIOR ELEVATIONS PD 1016 DEMOLITION FIRST FLOOR PARTIAL PLAN EXTERIOR ELEVATIONS PD 10 1d DEMOLITION FIRST FLOOR PARTIAL PLAN DEMOLITION SECOND FLOOR PARTIAL A301 FIRST FLOOR CORE PLAN PD 102b DEMOLITION SECOND FLOOR PARTIAL PLAN

STYGLER VILLAGE SENIOR HOUSING LIMITED PARTNERSHIP Columbus, Ohio H.U.D. Project Number:

owner:		
	ature	
architect/systems eng	ineers:	
Berardi + Part	ners, Inc	C.
Columbus, Ohio	,	

signature structural engineer: Jezerinac Geers & Associates Dublin, Ohio

civil engineer: IBI Group, Inc.

Westerville, Ohio

architect/engineer

signature contractor: Ruscilli Construction Co., Inc.

signature

signature

signature

Columbus, Ohio contractor: lender:

TBD State bonding agent: **TBD**

29605 SF

27545 SF

bonding agent:

PERMIT SET: **SEPTEMBER 27, 2016**

PD 102c DEMOLITION SECOND FLOOR PARTIAL PLAN

P101a FIRST FLOOR PARTIAL PLAN

P101b FIRST FLOOR PARTIAL PLAN

P1016 FIRST FLOOR PARTIAL PLAN

P101d FIRST FLOOR PARTIAL PLAN

P102a SECOND FLOOR PARTIAL PLAN

P102b SECOND FLOOR PARTIAL PLAN

P102d SECOND FLOOR PARTIAL PLAN

P104b FOURTH FLOOR PARTIAL PLAN

PLUMBING ROOF PLAN

DMELLING UNIT PLANS

SCHEDULES AND DETAILS

NOTES, SYMBOLS AND ABBREVIATIONS

DEMOLITION SECOND FLOOR PARTIAL

DEMOLITION SECOND FLOOR PARTIAL

DEMOLITION SECOND FLOOR PARTIAL

DEMOLITION SECOND FLOOR PARTIAL

DEMOLITION FOURTH FLOOR PARTIAL

PEMOLITION FOURTH FLOOR PARTIAL

DEMOLITION FOURTH FLOOR PARTIAL

FIRST FLOOR PARTIAL PLAN

M101b FIRST FLOOR PARTIAL PLAN

M1016 FIRST FLOOR PARTIAL PLAN

M101d FIRST FLOOR PARTIAL PLAN

M102a SECOND FLOOR PARTIAL PLAN

M 102b SECOND FLOOR PARTIAL PLAN

M102C SECOND FLOOR PARTIAL PLAN

M102d SECOND FLOOR PARTIAL PLAN

M 103b THIRD FLOOR PARTIAL PLAN

M 103d THIRD FLOOR PARTIAL PLAN

M104b FOURTH FLOOR PARTIAL PLAN

DWELLING UNIT PLANS

DWELLING UNIT PLANS

THIRD FLOOR PARTIAL PLAN

THIRD FLOOR PARTIAL PLAN

FOURTH FLOOR PARTIAL PLAN

FOURTH FLOOR PARTIAL PLAN

FOURTH FLOOR PARTIAL PLAN

NOTES, SYMBOLS AND ABBREVIATIONS

DEMOLITION SECOND FLOOR PARTIAL

DEMOLITION SECOND FLOOR PARTIAL

DEMOLITION FOURTH FLOOR PARTIAL

DEMOLITION FOURTH FLOOR PARTIAL

ED 10 1a DEMOLITION FIRST FLOOR PARTIAL PLAN

ED 10 1b DEMOLITION FIRST FLOOR PARTIAL PLAN

ED 1010 DEMOLITION FIRST FLOOR PARTIAL PLAN

ED 101d DEMOLITION FIRST FLOOR PARTIAL PLAN

ED 103a DEMOLITION THIRD FLOOR PARTIAL PLAN

ED 103b DEMOLITION THIRD FLOOR PARTIAL PLAN

ED 1036 DEMOLITION THIRD FLOOR PARTIAL PLAN

ED 103d DEMOLITION THIRD FLOOR PARTIAL PLAN

ED 104d PLAN DEMOLITION FOURTH FLOOR PARTIAL

E101a FIRST FLOOR PARTIAL PLAN

E 101b FIRST FLOOR PARTIAL PLAN

E101c FIRST FLOOR PARTIAL PLAN

E101d FIRST FLOOR PARTIAL PLAN

E102a SECOND FLOOR PARTIAL PLAN

E 102b SECOND FLOOR PARTIAL PLAN

E 102d SECOND FLOOR PARTIAL PLAN

E 103b THIRD FLOOR PARTIAL PLAN

E 104b FOURTH FLOOR PARTIAL PLAN

DWELLING UNIT PLANS

PANEL SCHEDULES

DMELLING UNIT PLANS

ONE LINE RISER DIAGRAM

MOUNTING HEIGHT DETAILS

SCHEDULES AND DETAILS

SPECIAL SYSTEM DETAILS

FIRE ALARM DETAILS

E103a

E103d

E1046

E104d

E202

E302

E401

E402

SECOND FLOOR PARTIAL PLAN

THIRD FLOOR PARTIAL PLAN

THIRD FLOOR PARTIAL PLAN

THIRD FLOOR PARTIAL PLAN

FOURTH FLOOR PARTIAL PLAN

THIRD FLOOR PARTIAL PLAN

FOURTH FLOOR PARTIAL PLAN

MD 10 1a DEMOLITION FIRST FLOOR PARTIAL PLAN

MD 10 1b DEMOLITION FIRST FLOOR PARTIAL PLAN

MD 1016 DEMOLITION FIRST FLOOR PARTIAL PLAN

MD 10 1d DEMOLITION FIRST FLOOR PARTIAL PLAN

MD 103a DEMOLITION THIRD FLOOR PARTIAL PLAN

MD 103b DEMOLITION THIRD FLOOR PARTIAL PLAN

MD 1036 DEMOLITION THIRD FLOOR PARTIAL PLAN

MD 103d DEMOLITION THIRD FLOOR PARTIAL PLAN

SECOND FLOOR PARTIAL PLAN

THIRD FLOOR PARTIAL PLAN

PD 103b DEMOLITION THIRD FLOOR PARTIAL PLAN

DEMOLITION SECOND FLOOR PARTIAL

DEMOLITION FOURTH FLOOR PARTIAL

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07/22/16

P1026

P103b

P202

P401

P402

P403

M000

MECHANICAL

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date

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M103a

05/20/16

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7 07/22/16

9 09/15/1

07/15/16

SECOND FLOOR CORE PLAN

THIRD FLOOR CORE PLAN

FOURTH FLOOR CORE PLAN

ENLARGED FLOOR PLANS

UNIT 'A 1' PLAN & DETAILS

UNIT 'A2' PLAN & DETAILS

UNIT 'B 1' PLAN & DETAILS

UNIT 'C 1' PLAN & DETAILS

UNIT 'C2' PLAN & DETAILS

INTERIOR ELEVATIONS

DMELLING UNIT ELEVATIONS

DWELLING UNIT ELEVATIONS

BUILDING CROSS SECTIONS

STAIR PLANS AND DETAILS

EXTERIOR WALL SECTIONS

EXTERIOR DETAILS

EXTERIOR WALL SECTIONS

DOOR & WINDOW DETAILS

2ND FLOOR CORE RCF

4TH FLOOR CORE RCP

INTERIOR DETAIL ELEVATIONS

INTERIOR ELEVATIONS & TRIM PROFILES

INTERIOR ELEVATIONS AND DETAILS

EXISTING BUILDING CROSS SECTIONS

DOOR SCHEDULE, LEGEND & DETAILS

STOREFRONT & CURTAIN WALL LEGEND

1ST FLOOR REFLECTED CEILING PLAN

2ND FLOOR REFLECTED CEILING PLAN

3RD FLOOR REFLECTED CEILING PLAN

4TH FLOOR REFLECTED CEILING PLAN

INTERIOR FINISH SCHEDULE & DTLS

1ST & 2ND FLOOR FINISH PLANS

3RD & 4TH FLOOR FINISH PLANS

COMMON AREA CERAMIC TILE

A304

A306

A310

A406

A501

A602

A604

A804

A806

A808

A902

A903

ISSUE DATE

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08/19/16

09/15/16

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A007

EXISTING

B102

B103

B104

B105

B202

D100

D101

DEMOLITION

GENERAL

STRUCTURAL

COVER SHEET

ALTA SURVEY

SITE PLAN

GENERAL NOTES

GRADING PLAN

DEMOLITION PLAN

SOOO GENERAL STRUCTURAL NOTES

FOUNDATION PLAN

SCOPE OF WORK

ARCHITECTURAL SITE PLAN

ARCHITECTURAL SITE DETAILS

ARCHITECTURAL SITE DETAILS

PROPOSED LANDSCAPE PLAN

SECOND FLOOR FRAMING PLAN

ABBREVIATIONS SYMBOLS & NOTES

CONSTRUCTION TYPE DETAILS

CONSTRUCTION TYPE DETAILS

UNIT ACCESSIBILITY GUIDELINES

GENERAL ACCESSIBILITY

BUILDING AREA TOTALS

EXISTING 2ND FLOOR PLAN

EXISTING 4TH FLOOR PLAN

EXISTING ROOF PLAN

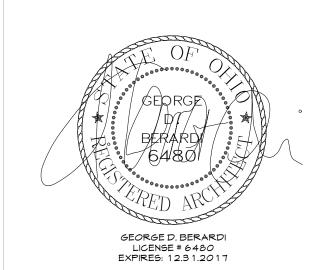
EXISTING ELEVATIONS

EXISTING ELEVATIONS

EXISTING 3RD FLOOR PLAN

1ST FLOOR DEMOLITION PLAN

THIRD FLOOR FRAMING PLAN



National Church Residences

STYGLER GAHANNA, OHIO

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DRAWINGS AND SPECIFICATION, INCLUDING ALL DOCUMENTS OF

ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION T THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR NRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). TH CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTAN (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.

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ALTERED CAD DESIGN MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, OSSES EXPENSES AND ATTORNEY'S FEES ARISING OUT OF THE THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS AF DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR CODIFIED REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCA REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR, ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

PROJECT DATE: 05/06/2016 15145 PROJECT #: /#\ Description Addendum 1 05/20/2016 05/27/2016 Addendum 2 06/03/2016 Addendum 3 Addendum 4 06/07/2016 06/17/2016 Addendum 5 Addendum A 07/15/2016 7 Owner Review 07/22/2016 08/05/2016 8 Plumbing 11 PERMIT 09.27.2016 13 GRADING 10.11.2016

COVER SHEET



10/11/2016 7:05:02 PM

1ST FLOOR PLAN

1/16" = 1'-0"

$\langle \times \rangle$ CODED NOTES - FLOOR PLANS

NEW LOBBY FACADE/ADDITION, SEE ELEVATIONS & STRUCTURAL. 2 NEW COVERED ENTRY CANOPY - SEE ENLARGED PLAN AND DETAILS ON SHEET A305.

3 NEW ENTRY VESTIBULE.

4 NEW MAIL STATION.

5 NEW HANDRAIL - SEE DETAIL ON SHEET A402. 6 NEW CHAIR RAIL OPPOSITE OF CORRIDOR HANDRAIL PER DETAIL ON SHEET A402. NEW SCONCE LIGHT, UNIT IDENTIFICATION PLAQUE - COORDINATE WITH ELECTRICAL PLANS/SCHEDULES. SEE DETAIL ON SHEET A401. WALL SCONCE SHALL NOT PROTRUDE

8 PROVIDE HANDRAIL/CHAIR RAIL IN COMMON AREA - SEE DETAIL ON SHEET A402. 9 NEW REAR ADDITION - SEE ELEVATIONS AND STRUCTURAL. 10 NEW COVERED PATIO ACCESS - SEE ENLARGED PLAN AND DETAILS ON SHEET A305.

1 NEW HEAVY TIMBER PERGOLA WITH BRICK VENEER PIERS. SEE SHEET A305 FOR

12 PAINT STAIRWELL WALLS, CEILINGS, EXPOSED PIPING, STAIR COMPONENTS INCLUDING VINYL TREADS AND RISERS, VCT FLOORING, VINYL BASE.

13 NEW ACCESSIBLE RESTROOM. 14 NEW FINISHES THROUGHOUT COMMON AREA, REFER TO FINISH SCHEDULE ON SHEET

15 NEW SEASONS ROOM AT REAR ADDITION.

16 NEW COMMUNITY KITCHEN.

17 NEW COMMUNITY ROOM. 18 NEW LOUNGE.

19 SOIL GAS PIPING; 4" DIA. PVC PIPE. COORDINATE EXACT ROUTING AND LOCATION WITH STRUCTURE ABOVE. SEE DETAIL SHEET A403. 20 REMOVE AND REPLACE ALL DOOR HARDWARE (LOCKSETS & TRIM) WITH ADA COMPLIANT LEVER HARDWARE WITH SATIN CHROME FINISH. PAINT ALL EXISTING DOOR

21 EXISTING 2 1/2" SLAB DEPRESSION WHERE SHOWER WAS REMOVED TO BE INFILLED.

22 REPLACE ALL STAIRWELL RAILING WITH CODE COMPLIANT RAILINGS.

23 NOT USED.

25 PACKAGE SHELF, TYPICAL ALL UNITS.. SEE DETAIL SHEET A401. 26 REPLACE EXISTING VERTICAL SIDING WITH NEW CEMENTITIOUS SIDING CLADDING. INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03052012 METHOD #2, REFER TO SCOPE OF WORK.

27 NEM PREFINISHED ALUMINUM DECORATIVE RAILINGS 42" A.F.F. WITH UNION JACK DESIGN. FINISH IS TO MATCH THE METAL TRIM AND ROOFING.

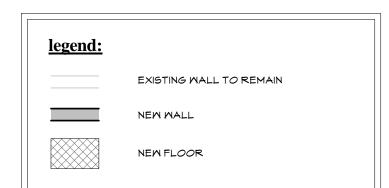
28 PREP EXISTING DMELLING UNIT BALCONY FLOOR SLAB TO RECEIVE NEW MATERIAL -PROVIDE A WATERPROOF ROLL-ON EPOXY FINISH. 29 WIRE BRUSH CLEAN AND REFINISH EXISTING STEEL LADDER.

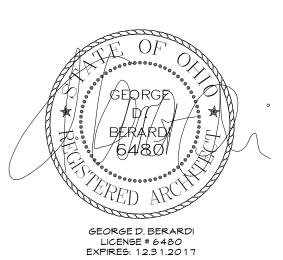
30 REMOVE AND REPLACE EXISTING STEEL HANDRAIL/GUARDRAIL AT ALL FLOORS, TY[ICAL

GENERAL NOTES - FLOOR PLANS

1. REFER TO SHEET A 100 FOR GENERAL FLOOR PLAN NOTES. 2. SEE ENLARGED CORE PLANS ON SHEETS A301 THRU A304 FOR MORE INFORMATION.

3. STAIR HANDRAILS/RAILINGS: EXISTING TO BE REMOVED AND REPLACED WITH NEW CODE COMPLIANT RAILINGS; TO INCLUDE NEW CODE REQUIRED COMPLIANT EXTENSIONS AND RETURNS, AND VERTICAL SPACING MAXIMUM OF 4" O.C.





National Church Residences

STYGLER

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NOTE:

1. ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR W/
THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT
AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND
OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT

OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.

2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER, SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.

3. ADDITIONALLY, SEE GENERAL INFORMATION ON "AO" SHEETS.

4. THE CLIENT ACKNOWLEDIGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS
(ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT
REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO
THE DRAMINGS AND SPECIFICATIONS NITHOUT THE PRIOR
WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE

CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.

5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD DESIGN WATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE

ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.

6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR CODIFIED REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE

PERMIT SET

REQUIREMENTS SHALL BE VEHICLED AT AND ARE THE STOLD WHICH RESPONSIBILITY OF THIS CONTRACTOR, ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

15145 PROJECT #: 07/15/2016 07/22/2016

FIRST FLOOR PLAN

A101



1ST FLOOR GSF 29076 SF

11/15/2016 3:58:13 PM

2ND FLOOR PLAN

1/16" = 1'-0"

$\langle \times \rangle$ CODED NOTES - FLOOR PLANS

- NEW LOBBY FACADE/ADDITION, SEE ELEVATIONS & STRUCTURAL. NEW COVERED ENTRY CANOPY - SEE ENLARGED PLAN AND DETAILS ON SHEET A305.
- NEW ENTRY VESTIBULE. 4 NEW MAIL STATION.
- NEW HANDRAIL SEE DETAIL ON SHEET A402. NEW CHAIR RAIL OPPOSITE OF CORRIDOR HANDRAIL PER DETAIL ON SHEET A402.
- NEW SCONCE LIGHT, UNIT IDENTIFICATION PLAQUE COORDINATE WITH ELECTRICAL PLANS/SCHEDULES. SEE DETAIL ON SHEET A401. WALL SCONCE SHALL NOT PROTRUDE MORE THAN 4" FROM WALL MAX.
- PROVIDE HANDRAIL/CHAIR RAIL IN COMMON AREA SEE DETAIL ON SHEET A402. NEW REAR ADDITION - SEE ELEVATIONS AND STRUCTURAL. 10 NEW COVERED PATIO ACCESS - SEE ENLARGED PLAN AND DETAILS ON SHEET A305. NEW HEAVY TIMBER PERGOLA WITH BRICK VENEER PIERS. SEE SHEET A305 FOR
- 12 PAINT STAIRWELL WALLS, CEILINGS, EXPOSED PIPING, STAIR COMPONENTS INCLUDING VINYL TREADS AND RISERS, VCT FLOORING, VINYL BASE. 13 NEW ACCESSIBLE RESTROOM.
- 14 NEW FINISHES THROUGHOUT COMMON AREA, REFER TO FINISH SCHEDULE ON SHEET
- 15 NEW SEASONS ROOM AT REAR ADDITION. 16 NEW COMMUNITY KITCHEN.

ENLARGED PLAN AND DETAILS.

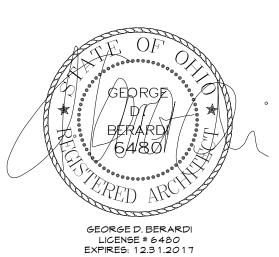
- 17 NEW COMMUNITY ROOM.
- 18 NEW LOUNGE.
- 19 SOIL GAS PIPING; 4" DIA. PVC PIPE. COORDINATE EXACT ROUTING AND LOCATION WITH STRUCTURE ABOVE. SEE DETAIL SHEET A403.
- 20 REMOVE AND REPLACE ALL DOOR HARDWARE (LOCKSETS & TRIM) WITH ADA COMPLIANT LEVER HARDWARE WITH SATIN CHROME FINISH. PAINT ALL EXISTING DOOR 21 EXISTING 2 1/2" SLAB DEPRESSION WHERE SHOWER WAS REMOVED TO BE INFILLED.
- 22 REPLACE ALL STAIRMELL RAILING WITH CODE COMPLIANT RAILINGS. 24 NOT USED.
- 25 PACKAGE SHELF, TYPICAL ALL UNITS. SEE DETAIL SHEET A401.
- 26 REPLACE EXISTING VERTICAL SIDING WITH NEW CEMENTITIOUS SIDING CLADDING. INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03052012 METHOD #2, REFER TO SCOPE OF WORK.
- NEW PREFINISHED ALUMINUM DECORATIVE RAILINGS 42" A.F.F. WITH UNION JACK DESIGN. FINISH IS TO MATCH THE METAL TRIM AND ROOFING. 28 PREP EXISTING DWELLING UNIT BALCONY FLOOR SLAB TO RECEIVE NEW MATERIAL -
- PROVIDE A WATERPROOF ROLL-ON EPOXY FINISH. 29 WIRE BRUSH CLEAN AND REFINISH EXISTING STEEL LADDER.
- 30 REMOVE AND REPLACE EXISTING STEEL HANDRAIL/GUARDRAIL AT ALL FLOORS,

GENERAL NOTES - FLOOR PLANS

1. REFER TO SHEET A 100 FOR GENERAL FLOOR PLAN NOTES. 2. SEE ENLARGED CORE PLANS ON SHEETS A301 THRU A304 FOR MORE INFORMATION.

3. STAIR HANDRAILS/RAILINGS: EXISTING TO BE REMOVED AND REPLACED WITH NEW CODE COMPLIANT RAILINGS; TO INCLUDE NEW CODE REQUIRED COMPLIANT EXTENSIONS AND RETURNS, AND VERTICAL SPACING MAXIMUM OF 4" O.C.





National Church Residences

STYGLER GAHANNA, OHIO

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AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND
OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT

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- CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.

 3. ADDITIONALL, SEE GENERAL INFORMATION ON "AO" SHEETS.

 4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS
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PERMIT SET

PROJECT #: 15145

SECOND FLOOR PLAN

A102



2ND FLOOR GSF 27373 SF

11/15/2016 3:58:38 PM

1/16'' = 1'-0''

3RD FLOOR PLAN

× CODED NOTES - FLOOR PLANS

- NEW LOBBY FACADE/ADDITION, SEE ELEVATIONS & STRUCTURAL.

 NEW COVERED ENTRY CANOPY SEE ENLARGED PLAN AND DETAILS ON SHEET A305.
- 3 NEW ENTRY VESTIBULE.4 NEW MAIL STATION.
- 4 NEW MAIL STATION.
 5 NEW HANDRAIL SEE DETAIL ON SHEET A402.
- 6 NEW CHAIR RAIL OPPOSITE OF CORRIDOR HANDRAIL PER DETAIL ON SHEET A402.
 7 NEW SCONCE LIGHT, UNIT IDENTIFICATION PLAQUE COORDINATE WITH ELECTRICAL PLANS/SCHEDULES. SEE DETAIL ON SHEET A401. WALL SCONCE SHALL NOT PROTRUDE MORE THAN 4" FROM WALL MAX.
- 8 PROVIDE HANDRAIL/CHAIR RAIL IN COMMON AREA SEE DETAIL ON SHEET A402. 9 NEW REAR ADDITION - SEE ELEVATIONS AND STRUCTURAL.
- 10 NEW COVERED PATIO ACCESS SEE ENLARGED PLAN AND DETAILS ON SHEET A305.
 11 NEW HEAVY TIMBER PERGOLA WITH BRICK VENEER PIERS. SEE SHEET A305 FOR ENLARGED PLAN AND DETAILS.
- 12 PAINT STAIRMELL WALLS, CEILINGS, EXPOSED PIPING, STAIR COMPONENTS INCLUDING VINYL TREADS AND RISERS, VCT FLOORING, VINYL BASE.
- 13 NEW ACCESSIBLE RESTROOM.

 14 NEW FINISHES THROUGHOUT COMMON AREA, REFER TO FINISH SCHEDULE ON SHEET
- 4 NEW FINISHES THROUGHOUT COMMON AREA, REFER TO FINISH SCHEDL A 900.
- A900. 15 NEW SEASONS ROOM AT REAR ADDITION.
- 16 NEW COMMUNITY KITCHEN.
- 17 NEW COMMUNITY ROOM.18 NEW LOUNGE.
- 19 SOIL GAS PIPING; 4" DIA. PVC PIPE. COORDINATE EXACT ROUTING AND LOCATION WITH STRUCTURE ABOVE. SEE DETAIL SHEET A403.
 20 REMOVE AND REPLACE ALL DOOR HARDWARE (LOCKSETS & TRIM) WITH ADA
- COMPLIANT LEVER HARDWARE WITH SATIN CHROME FINISH. PAINT ALL EXISTING DOOR FRAMES.

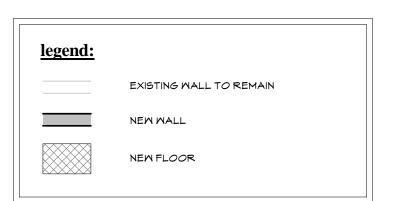
 2.1 EXISTING 2 1/2" SLAB DEPRESSION WHERE SHOWER WAS REMOVED TO BE INFILLED.

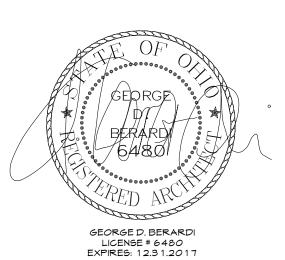
 2.2 REPLACE ALL STAIRWELL RAILING WITH CODE COMPLIANT RAILINGS.
- NOT USED. NOT USED.
- PACKAGE SHELF, TYPICAL ALL UNITS. SEE DETAIL SHEET A401.
 REPLACE EXISTING VERTICAL SIDING WITH NEW CEMENTITIOUS SIDING CLADDING.
 INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03052012
- METHOD #2, REFER TO SCOPE OF WORK.

 27 NEW PREFINISHED ALUMINUM DECORATIVE RAILINGS 42" A.F.F. WITH UNION JACK DESIGN.
 FINISH IS TO MATCH THE METAL TRIM AND ROOFING.
- 28 PREP EXISTING DWELLING UNIT BALCONY FLOOR SLAB TO RECEIVE NEW MATERIAL PROVIDE A WATERPROOF ROLL-ON EPOXY FINISH.
 29 WIRF BRUSH CLEAN AND REFINISH EXISTING STEEL LADDER
- 29 WIRE BRUSH CLEAN AND REFINISH EXISTING STEEL LADDER.
 30 REMOVE AND REPLACE EXISTING STEEL HANDRAIL/GUARDRAIL AT ALL FLOORS,

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National Church Residences

STYGLER VILLAGE GAHANNA, OHIO

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SET

PERMIT

	OJECT DATE: OJECT #:	05/06/2016 15145				
<u>/#</u>	∑ Description	Date				
1	Addendum 1	05/20/2016				
3	Addendum 3	06/03/2016				
6	Addendum A	07/15/2016				
7	Owner Review	07/22/2016				
8	Plumbing	08/05/2016				

THIRD FLOOR PLAN

A103



3RD FLOOR GSF

11/15/2016 3:59:02 PM

1/16'' = 1'-0''

4TH FLOOR PLAN



1 NEW LOBBY FACADE/ADDITION, SEE ELEVATIONS & STRUCTURAL. NEW COVERED ENTRY CANOPY - SEE ENLARGED PLAN AND DETAILS ON SHEET A305. 3 NEW ENTRY VESTIBULE. 4 NEW MAIL STATION.

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14 NEW FINISHES THROUGHOUT COMMON AREA, REFER TO FINISH SCHEDULE ON SHEET

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24 NOT USED.

17 NEW COMMUNITY ROOM. 18 NEW LOUNGE. 19 SOIL GAS PIPING; 4" DIA. PVC PIPE. COORDINATE EXACT ROUTING AND LOCATION WITH STRUCTURE ABOVE. SEE DETAIL SHEET A403.

20 REMOVE AND REPLACE ALL DOOR HARDWARE (LOCKSETS & TRIM) WITH ADA COMPLIANT LEVER HARDWARE WITH SATIN CHROME FINISH. PAINT ALL EXISTING DOOR 21 EXISTING 2 1/2" SLAB DEPRESSION WHERE SHOWER WAS REMOVED TO BE INFILLED.

22 REPLACE ALL STAIRWELL RAILING WITH CODE COMPLIANT RAILINGS. 23 NOT USED.

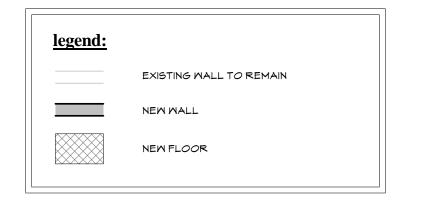
25 PACKAGE SHELF, TYPICAL ALL UNITS.. SEE DETAIL SHEET A401. 26 REPLACE EXISTING VERTICAL SIDING WITH NEW CEMENTITIOUS SIDING CLADDING.
INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03052012
METHOD #2, REFER TO SCOPE OF WORK.

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PERMIT SET

15145 PROJECT #: 07/15/2016 07/22/2016

FOURTH FLOOR PLAN

A104



GENERAL NOTES: ELEVATIONS $\langle \times \rangle$ CODED NOTES - ELEVATIONS **DURABILITY NOTES** 1. ARCHITECTURAL ELEVATION REFERENCES BASED ON FIRST FLOOR = 100'-0", SEE CIVIL FOR U.S.G.S. ELEVATIONS. 2. ALL DOWNSPOUTS SHALL BE AS LOCATED ON FLOOR PLANS. PROVIDE SPECIFIED BOOTS AND RUNS FROM BUILDING AS AWAY FROM BUILDING. 1. CONTRACTOR TO USE ENTERPRISE GREEN COMMUNITIES DURABILITY CHECKLIST DURING 1 PREFINISHED ALUMINUM GUTTER. 3. ALL EXTERIOR FINISH MATERIALS TO BE INSTALLED AS PER THE MANUFACTURER'S DIRECTIVES. CONSTRUCTION DURABILITY ITEMS ARE LISTED BELOW ARE NOT LIMITED TO THESE ITEMS. 2 PREFINISHED ALUMINUM DOWNSPOUT 4. ALL EXPOSED CONCRETE MASONRY UNITS OR EXPOSED CONCRETE TO BE PARGED FINISH. 2. WATER RESISTANT FLOORING AT KITCHENS / BATHROOMS /LAUNDRIES AND ENTRY WAYS. 3 NEW STANDING SEAM METAL ROOFING SYSTEM. 5. SEE ROOF PLANS FOR FLASHING AND PENETRATION REQUIREMENTS. 3. INSTALL DRAIN & DRAIN PAN AT WATER HEATER. 4 ROOFTOP UNIT, REFER TO MECHANICAL. 6. ALL FINISH COLORS AND TEXTURES NOT SPECIFIED TO BE SELECTED BY THE ARCHITECT. 4. MASHER BOX TO HAVE SINGLE THROW VALVE. 7. INSTALL NEW CEMENTITIOUS SIDING CLADDING AS FOLLOWS. INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03052012 METHOD #2. 5 EPDM ROOFING SYSTEM. 5. CLOTHES DRYER TO BE EXHAUSTED TO EXTERIOR a. INSTALL 1X2 MOOD FURRING FASTENED INTO EXISTING LIGHT GAUGE METAL STUD FRAMING. 6. SEAL ALL EXTERNAL CRACK JOINTS, ETC. WITH SEALANT OR PEST=PROOF SCREEN. 6 SCUPPER. 7. ALL FLOORING IN BATHROOMS AND KITCHENS TO BE RUN WALL-TO-WALL (UNDER ALL b. INSTALL NEW 3/4" TYPE II EPS RIGID INSULATION BETWEEN FURRING, ADHERED TO SHEATHING WITH ADHESIVE. 7 RIDGE VENT, REFER TO DETAIL SHEET A 105. C. INSTALL 7/16" OSB APA RATED EXTERIOR SHEATHING TO BE FASTENED TO EXISTING LIGHT GAUGE METAL STUD FRAMING. REMOVABLE CABINETS AND APPLIANCES). 8 BRICK VENEER, REFER TO SHEET A003 FOR WALL TYPES. d. INSTALL COMMERCIAL WEATHER RESISTIVE BARRIER DRAINAGE PLANE. 8. ALL GYPSUM BOARD TO BE SEALED. 9 STOREFRONT OR CURTAIN WALL SYSTEM, REFER TO SHEET A 702. e. INSTALL FIBER-CEMENT LAP SIDING FASTENED TO FURRING STRIPS PER MANUFACTURES WRITTEN INSTRUCTIONS. 9. USE NON-PAPER FACED BACKER BOARD AT ALL BATHROOM WALLS, TUB/SHOWER ENCLOSURES AND LAUNDRY AREAS INCLUDING CEILINGS. 10. SEAL ALL RECESSED CAN LIPS, UTILITY BOXES AND DOOR JAMBS. 11. TUBS/SHOWERS, STAIRS AND FIREPLACE ENCLOSURES REQUIRE EXTERIOR WALLS TO BE $f.\ \ INSTALL\ 3\ 1/2" \ SMOOTH\ TRIM\ AROUND\ PATIO\ DOORS\ AND\ WINDOWS\ /\ WINDOWS\ TO\ RECEIVE\ EXTENDED\ SILL\ AND\ TRIM\ RETURN\ AT\ FRAME.\ FLASHING\ AS\ REQUIRED.$ 10 CONTINUOUS METAL COPING CAP, REFER TO WALL SECTIONS AND DETAILS. 8. REPLACE ALL STEEL PIPE GUARDRAILS AT BALCONIES AND WALL MOUNTED RAILINGS WITH NEW PREFINISHED ALUMINUM DECORATIVE RAILINGS 42" AFF. FINISH IS TO 11 CONTINUOUS SEALANT AT MATERIAL TRANSITION. MATCH THE METAL TRIM AND ROOFING. 12 CONTINUOUS SEALANT AT OPENING PERIMETER. PRE-INSULATED AND BOARDED PRIOR TO BEING BUILT AGAINST. 9. REPLACE EXISTING SLIDING GLASS DOORS AND THRESHOLDS WITH A NEW SINGLE 3'-0" FULL-LITE DOOR WITH SIDELIGHT - PROVIDE ADA COMPLIANT LOW-PROFILE THRESHOLD(S). TYPICAL 13 1" EXPANSION JOINT BETWEEN ADDITION AND EXISTING BUILDING. ALL THIRD AND FOURTH FLOOR UNITS. 12. ALL INTERIOR DOORS TO BE FILLED CORE. 10. REPLACE EXISTING DWELLING UNIT BALCONY FLOOR MATERIAL. PREP EXISTING FLOOR SLAB TO RECEIVE NEW MATERIAL - PROVIDE A WATERPROOF ROLL-ON EPOXY FINISH. 13. KEEP ALL STORED MATERIALS DRY ON SITE. 1 1. CLEAN AND PREPARE, PRIME AND PAINT EXISTING EXTERIOR CEILINGS. 14. PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS. 15 ADD SOIL AT PERIMETER OF BUILDING TO CREATE 5% SLOPE AWAY FROM BUILDING. 12. REPLACE EXISTING VINYL SOFFITS; INCLUDING AT RECESSED UNIT BAYS. 15. RAISE PAPER COVERED GYPSUM BOARD 1/2" ABOVE CONCRETE SLAB. 16 REPLACE EXISTING VERTICAL SIDING WITH NEW CEMENTITIOUS SIDING CLADDING. 16. PRIME AND PAINT ALL EXTERIOR WOOD TRIM ON ALL SIDES. 13. REPLACE ALL EXTERIOR BUILDING LIGHTING. REPLACE EXISTING FLOOD LIGHTS MOUNTED TO THE BUILDING PARAPET PERIMETER THAT ARE ORIGINAL. INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03052012 METHOD 17. CEMENTITIOUS SIDING TO BE SEALED AND INSTALLED PER MANUFACTURERS INSTRUCTIONS. 14. REPLACE ALL EXTERIOR FLAT PANEL STEEL DOORS. #2, REFER TO SCOPE OF WORK. 15. REFINISH ALL UNIT EXTERIOR BATH/KITCHEN VENT COVERS; SCRAPE, DE-RUST, CLEAN, PRIME AND PAINT. 17 NEW PRE-FINISHED ALUMINUM DECORATIVE RAILINGS 42" A.F.F. WITH UNION JACK DESIGN. FINISH 16. REPLACE EXISTING MAIN ENTRY VESTIBULE STOREFRONT SYSTEM AND DOORS WITH NEW ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS. IS TO MATCH THE METAL TRIM AND ROOFING. 17. BRICK REPAIR WORK INCLUDING STEP CRACKING / TUCK-POINTING; 32,000 SF GENERAL NOTE - AIR LEAKAGES 18 NEW SINGLE 3'-0" FULL-LITE DOOR WITH SIDELIGHT - PROVIDE ADA COMPLIANT LOW-PROFILE 18. CLEAN, SCRAPE, DE-RUST AND PAINT EXISTING STEEL LINTELS. 19. EXTERIOR STORAGE SHED AT NORTH WING: ADD TWO WALL LOUVERS AT OPPOSITE LOCATIONS TO PROVIDE CROSS VENTILATION. RE-DIRECT THE DOWNSPOUT AWAY FROM THE IN ACCORDANCE WITH ASHRAE 90.1-04(5.4.3.1) BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE THRESHOLD. FOUNDATION AND PROVIDE SPLASHBLOCK. 19 EXISTING EXTERIOR CEILINGS, CLEAN AND PREPARE, PRIME AND PAINT. 20. EXISTING MEMBRANE ROOF: SEALED, CAULKED, GASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE. 20 REMOVE AND REPLACE ALL EXTERIOR BUILDING LIGHTING. SEE ELECTRICAL. a. REPLACE ALL APPURTENANCES, INCLUDING BUT NOT LIMITED TO, MEMBRANE, ALL FLASHING AND COPING, ROOF DRAINS AND VENTS FOR SOUNDNESS AND WATERTIGHT INTEGRITY. 21 REPLACE EXISTING VINYL SOFFITS. b. PROVIDE NEW .60 MIL BALLASTED EPDM ROOF; NO BALLAST AT MECHANICAL UNIT ROOF AREA. 1. JOINTS AROUND FENESTRATION AND DOOR FRAMES. 2 1. EXISTING SLOPED METAL ROOFING: 22 REFINISH ALL EXTERIOR BATH/KITCHEN VENT COVERS, SCRAPE, DERUST, CLEAN, PRIME AND 2. JUNCTION BETWEEN MALLS AND FOUNDATIONS, BETWEEN MALLS AT BUILDING CORNERS, a. REPLACE STANDING SEAM METAL ROOF AND ALL APPURTENANCES, INCLUDING METAL ROOF COPING. b. REMOVE AND REPLACE ALL ALUMINUM FASCIA AND TRIM BOARD; PROVIDE ALLOWANCE FOR 25% REPLACEMENT OF 2X FASCIA BOARD. BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR 23 NEW ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS. MALL PANELS. C. REMOVE AND REPLACE GUTTERS AND DOWNSPOUTS AT SLOPED ROOFS. 3. OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS. 4. SITE-BUILT FENESTRATION AND DOORS. 24 NEW ALUMINUM FASCIA AND TRIM BOARD. 22. CONSTRUCT ADDITION AND NEWLY RECONFIGURED LOBBY/ENTRY SPACE. 25 NEW COVERED ENTRY CANOPY - SEE ENLARGED PLAN AND DETAILS ON SHEET A305. 23. CONSTRUCT NEW COVERED ENTRANCE CANOPY. 5. BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS. 26 NEW COVERED PATIO ACCESS. 24. CONSTRUCT NEW STEEL FRAMED WALK CANOPY LEADING TO NEW HEAVY TIMBER PERGOLA AT REAR OF BUILDING. 6. JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS. 25. INSTALL NEW INSULATED ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS AT RENOVATED ENTRY. $27\,$ NEW HEAVY TIMBER PERGOLA WITH DRY STACK STONE PIERS. SEE SHEET A305 FOR 7. ALL OTHER OPENINGS IN THE BUILDING ENVELOPE. 26. CONSTRUCT TWO STORY MASONRY ADDITION TO HOUSE SEASONS ROOM AND EXPANDED COMMUNITY SPACE. 27. INSTALL CUSTOM FIBERGLASS FOLDING WALL SYSTEM AT EAST ADDITION EXTERIOR WALL SIMILAR TO JELD-WEN AURORA FOLDING PATIO DOOR SYSTEM. ENLARGED PLAN AND DETAILS. 28 CUSTOM FIBERGLASS FOLDING WALL SYSTEM SIMILAR TO JELD-WEN AURORA FOLDING PATIO 28. INSTALL NEW STOREFRONT DOOR WITH SIDELIGHT AT EAST ADDITION FOR ACCESS TO REAR YARD. GENERAL NOTES: ENVELOPE DOOR SYSTEM. 29. EXERCISE ROOM - FINISH NEWLY EXPANDED ADDITION. 29 NEW DOWNSPOUT NOZZLE 30. DWELLING UNITS WITH BALCONIES: 1. ALL OPENINGS SUCH AS DOORS AND MINDOMS (INCLUDING ALL SILL PANNING AS REQUIRED) TO BE 30 PROVIDE SADDLE FLASHING, INTEGRATE WITH WATHER BARRIER PER MANUFACTURER'S a. REPLACE EXISTING SLIDING DOOR UNIT WITH SINGLE 3'-0" DOOR WITH SIDELIGHT - PROVIDE AN ADA COMPLIANT LOW PROFILE THRESHOLD. WRITTEN INSTALLATION INSTRUCTIONS b. REMOVE EXISTING EXTERIOR CARPET. CLEAN DECK AND APPLY NEW WATERPROOF EPOXY FINISH. 2. ALL GRADING TO BE SLOPED AWAY FROM BUILDING/FOUNDATION (GRADE - SLOPE AWAY 3 1. REMOVE AND REPLACE ALL EXTERIOR BUILDING LIGHTING, INCLUDING EXISTING FLOOD LIGHTS MOUNTED TO THE BUILDING PARAPET PERIMETER THAT ARE ORIGINAL. GUARANTEED FOR ONE (1) YEAR). 3. FOOTER TILE (BELOW TOP OF FOOTER TO DAYLIGHT OR TO INTERIOR TILE/SUMP). 32. PROVIDE KEYLESS ENTRY FOB SYSTEM AT BUILDING MAIN ENTRY INTERIOR VESTIBULE/LOBBY DOORS, NEW REAR PATIO DOOR, NORTHWEST CENTER CORRIDOR EXTERIOR DOOR AND 4. ALL FOUNDATION INSULATION TO EXTEND TO TOP OF FOOTER. 33. REMOVE AND REPLACE HC PUSH PADS AND AUTO OPENERS AT EXTERIOR AND INTERIOR MAIN ENTRY VESTIBULE/LOBBY STOREFRONT DOORS AND NORTHWEST CENTER CORRIDOR 5. INSTALL ALL WALL AND CEILING INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE ALL DOOR. INSTALL NEW HC PUSH PADS AT REAR PATIO DOOR WITH AUTO OPENERS. 34. INSTALL "PROP-OPEN" DOOR ALARM SYSTEM AT ALL 1ST FLOOR EXTERIOR STAIR AND CORRIDOR DOORS ADDRESSABLE TO MANAGER'S OFFICE AND RECEPTION. 6. ENCLOSE ALL WALL INSULATION ON ALL SIDES - PROTECT FROM AIR WASH. 7. ALL CEILING INSULATION TO BE EVEN DEPTH AND TO BE MINIMUM R-38. 8. SOFFIT CHUTES ARE TO BE FULL CAVITY WITH TABS TO PROTECT EDGE OF PERIMETER INSULATION. 9. PROVIDE SADDLE FLASHING AT ALL LOM-HIGH EXTERIOR WALL INTERFACES, INTEGRATE FLASHING MITH WEATHER BARRIER PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. T.O. PARAPET 137' - 4" **SOUTH ELEVATION** 3RD FLOOR 118' - 0" 2ND FLOOR 109' - 4" 15 TYP

NORTHEAST ELEVATION

EAST ELEVATION

3/32'' = 1'-0''

3/32'' = 1'-0''

EXTERIOR ELEVATIONS

648Ø

GEORGE D. BERARDI

LICENSE # 6480

EXPIRES: 12.31.2017

National Church Residences

STYGLER

GAHANNA, OHIO

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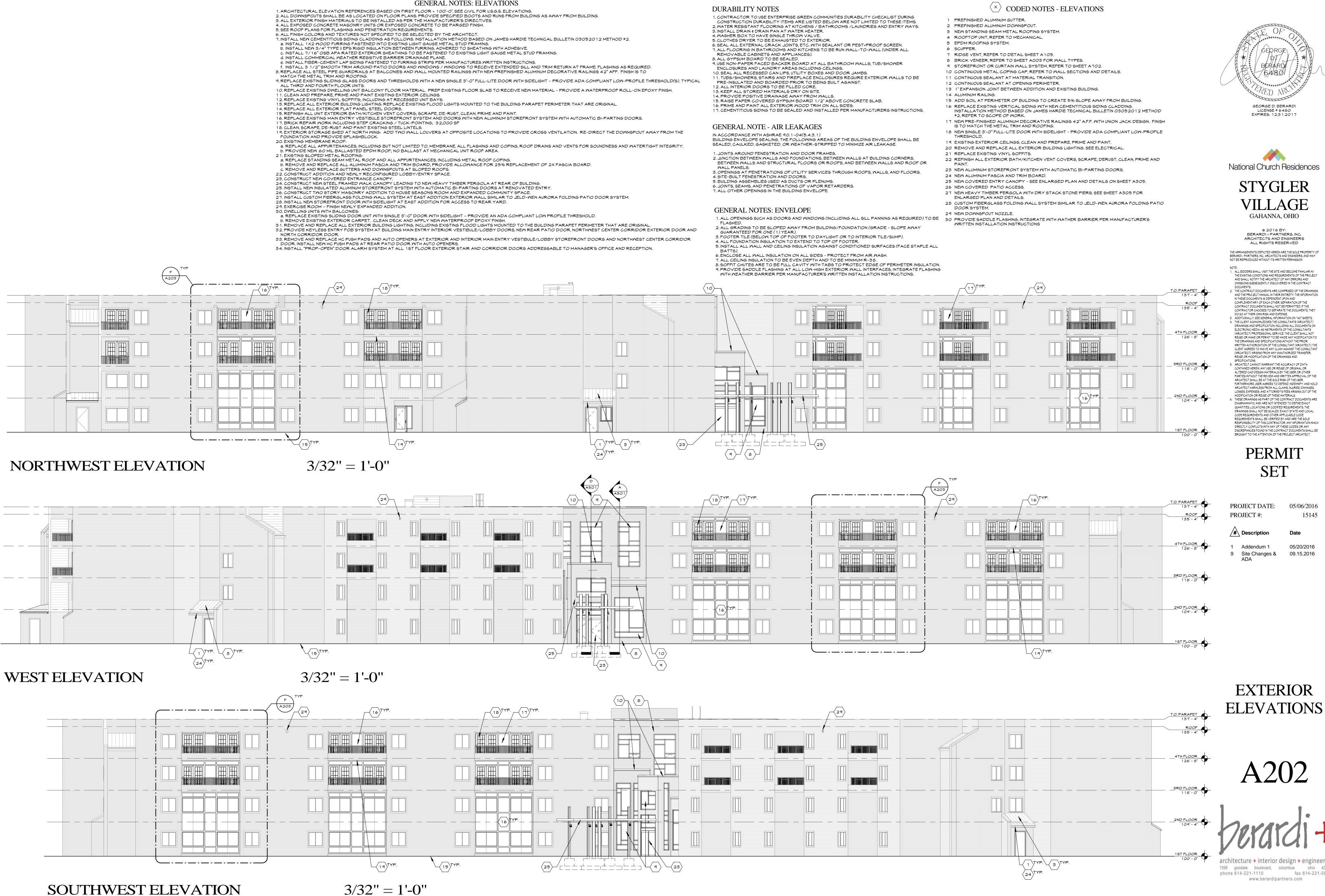
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GEORGE D. BERARDI



STYGLER GAHANNA, OHIO

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typical bay elevation

1/4" = 1'-0"

GENERAL NOTES: ELEVATIONS

1. ARCHITECTURAL ELEVATION REFERENCES BASED ON FIRST FLOOR = 100'-0", SEE CIVIL FOR U.S.G.S. ELEVATIONS. 2. ALL DOWNSPOUTS SHALL BE AS LOCATED ON FLOOR PLANS. PROVIDE SPECIFIED BOOTS AND RUNS FROM BUILDING AS AWAY FROM BUILDING.

3. ALL EXTERIOR FINISH MATERIALS TO BE INSTALLED AS PER THE MANUFACTURER'S DIRECTIVES. 4. ALL EXPOSED CONCRETE MASONRY UNITS OR EXPOSED CONCRETE TO BE PARGED FINISH.

5. SEE ROOF PLANS FOR FLASHING AND PENETRATION REQUIREMENTS.
6. ALL FINISH COLORS AND TEXTURES NOT SPECIFIED TO BE SELECTED BY THE ARCHITECT.

7. INSTALL NEW CEMENTITIOUS SIDING CLADDING AS FOLLOWS. INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03052012 METHOD #2.

b. INSTALL NEW 3/4" TYPE II EPS RIGID INSULATION BETWEEN FURRING, ADHERED TO SHEATHING WITH ADHESIVE.

A. INSTALL 1X2 WOOD FURRING FASTENED INTO EXISTING LIGHT GAUGE METAL STUD FRAMING.

C. INSTALL 7/16" OSB APA RATED EXTERIOR SHEATHING TO BE FASTENED TO EXISTING LIGHT GAUGE METAL STUD FRAMING. d. INSTALL COMMERCIAL MEATHER RESISTIVE BARRIER DRAINAGE PLANE. © INSTALL FIBER-CEMENT LAP SIDING FASTENED TO FURRING STRIPS PER MANUFACTURES WRITTEN INSTRUCTIONS.

f. INSTALL 3 1/2" SMOOTH TRIM AROUND PATIO DOORS AND WINDOWS / WINDOWS TO RECEIVE EXTENDED SILL AND TRIM RETURN AT FRAME. FLASHING AS REQUIRED. 8. REPLACE ALL STEEL PIPE GUARDRAILS AT BALCONIES AND WALL MOUNTED RAILINGS WITH NEW PREFINISHED ALUMINUM DECORATIVE RAILINGS 42" AFF. FINISH IS TO MATCH THE METAL TRIM AND ROOFING.

9. REPLACE EXISTING SLIDING GLASS DOORS AND THRESHOLDS WITH A NEW SINGLE 3'-0" FULL-LITE DOOR WITH SIDELIGHT - PROVIDE ADA COMPLIANT LOW-PROFILE THRESHOLD(S). TYPICAL ALL THIRD AND FOURTH FLOOR UNITS. 10. REPLACE EXISTING DWELLING UNIT BALCONY FLOOR MATERIAL. PREP EXISTING FLOOR SLAB TO RECEIVE NEW MATERIAL - PROVIDE A WATERPROOF ROLL-ON EPOXY FINISH.

11. CLEAN AND PREPARE, PRIME AND PAINT EXISTING EXTERIOR CEILINGS.

12. REPLACE EXISTING VINYL SOFFITS; INCLUDING AT RECESSED UNIT BAYS.

13. REPLACE ALL EXTERIOR BUILDING LIGHTING, REPLACE EXISTING FLOOD LIGHTS MOUNTED TO THE BUILDING PARAPET PERIMETER THAT ARE ORIGINAL. 14. REPLACE ALL EXTERIOR FLAT PANEL STEEL DOORS.

15. REFINISH ALL UNIT EXTERIOR BATH/KITCHEN VENT COVERS; SCRAPE, DE-RUST, CLEAN, PRIME AND PAINT. 16. REPLACE EXISTING MAIN ENTRY VESTIBULE STOREFRONT SYSTEM AND DOORS MITH NEW ALUMINUM STOREFRONT SYSTEM MITH AUTOMATIC BI-PARTING DOORS.

17. BRICK REPAIR WORK INCLUDING STEP CRACKING / TUCK-POINTING; 32,000 SF 18. CLEAN, SCRAPE, DE-RUST AND PAINT EXISTING STEEL LINTELS.

19. EXTERIOR STORAGE SHED AT NORTH WING: ADD TWO WALL LOUVERS AT OPPOSITE LOCATIONS TO PROVIDE CROSS VENTILATION. RE-DIRECT THE DOWNSPOUT AWAY FROM THE FOUNDATION AND PROVIDE SPLASHBLOCK. 20. EXISTING MEMBRANE ROOF:

a. REPLACE ALL APPURTENANCES, INCLUDING BUT NOT LIMITED TO, MEMBRANE, ALL FLASHING AND COPING, ROOF DRAINS AND VENTS FOR SOUNDNESS AND WATERTIGHT INTEGRITY. b. PROVIDE NEW .60 MIL BALLASTED EPDM ROOF; NO BALLAST AT MECHANICAL UNIT ROOF AREA. 21. EXISTING SLOPED METAL ROOFING:

a. REPLACE STANDING SEAM METAL ROOF AND ALL APPURTENANCES, INCLUDING METAL ROOF COPING.
b. REMOVE AND REPLACE ALL ALUMINUM FASCIA AND TRIM BOARD; PROVIDE ALLOWANCE FOR 25% REPLACEMENT OF 2X FASCIA BOARD.

C. REMOVE AND REPLACE GUTTERS AND DOWNSPOUTS AT SLOPED ROOFS. 22. CONSTRUCT ADDITION AND NEWLY RECONFIGURED LOBBY/ENTRY SPACE.

23. CONSTRUCT NEW COVERED ENTRANCE CANOPY. 24. CONSTRUCT NEW STEEL FRAMED WALK CANOPY LEADING TO NEW HEAVY TIMBER PERGOLA AT REAR OF BUILDING. 25. INSTALL NEW INSULATED ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS AT RENOVATED ENTRY.

26. CONSTRUCT TWO STORY MASONRY ADDITION TO HOUSE SEASONS ROOM AND EXPANDED COMMUNITY SPACE. 27. INSTALL CUSTOM FIBERGLASS FOLDING WALL SYSTEM AT EAST ADDITION EXTERIOR WALL SIMILAR TO JELD-WEN AURORA FOLDING PATIO DOOR SYSTEM.

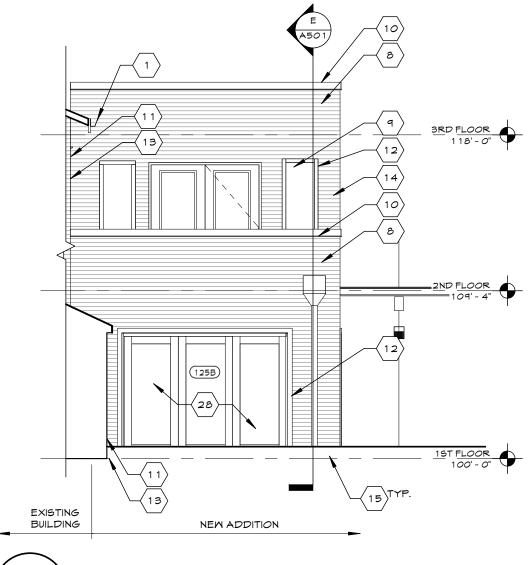
28. INSTALL NEW STOREFRONT DOOR WITH SIDELIGHT AT EAST ADDITION FOR ACCESS TO REAR YARD. 29. EXERCISE ROOM - FINISH NEWLY EXPANDED ADDITION.

30. DWELLING UNITS WITH BALCONIES: A. REPLACE EXISTING SLIDING DOOR UNIT WITH SINGLE 3'-0" DOOR WITH SIDELIGHT - PROVIDE AN ADA COMPLIANT LOW PROFILE THRESHOLD.

b. REMOVE EXISTING EXTERIOR CARPET. CLEAN DECK AND APPLY NEW MATERPROOF EPOXY FINISH.

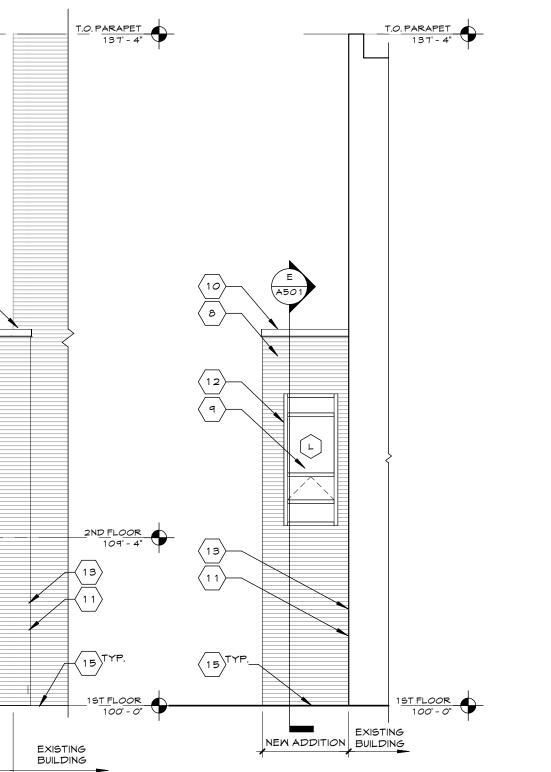
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33. REMOVE AND REPLACE HC PUSH PADS AND AUTO OPENERS AT EXTERIOR AND INTERIOR MAIN ENTRY VESTIBULE/LOBBY STOREFRONT DOORS AND NORTHWEST CENTER CORRIDOR DOOR. INSTALL NEW HC PUSH PADS AT REAR PATIO DOOR WITH AUTO OPENERS. 34. INSTALL "PROP-OPEN" DOOR ALARM SYSTEM AT ALL 1ST FLOOR EXTERIOR STAIR AND CORRIDOR DOORS ADDRESSABLE TO MANAGER'S OFFICE AND RECEPTION.



southwest facade elevation

3/16" = 1'-0"



5/4 TRIM, TYP.

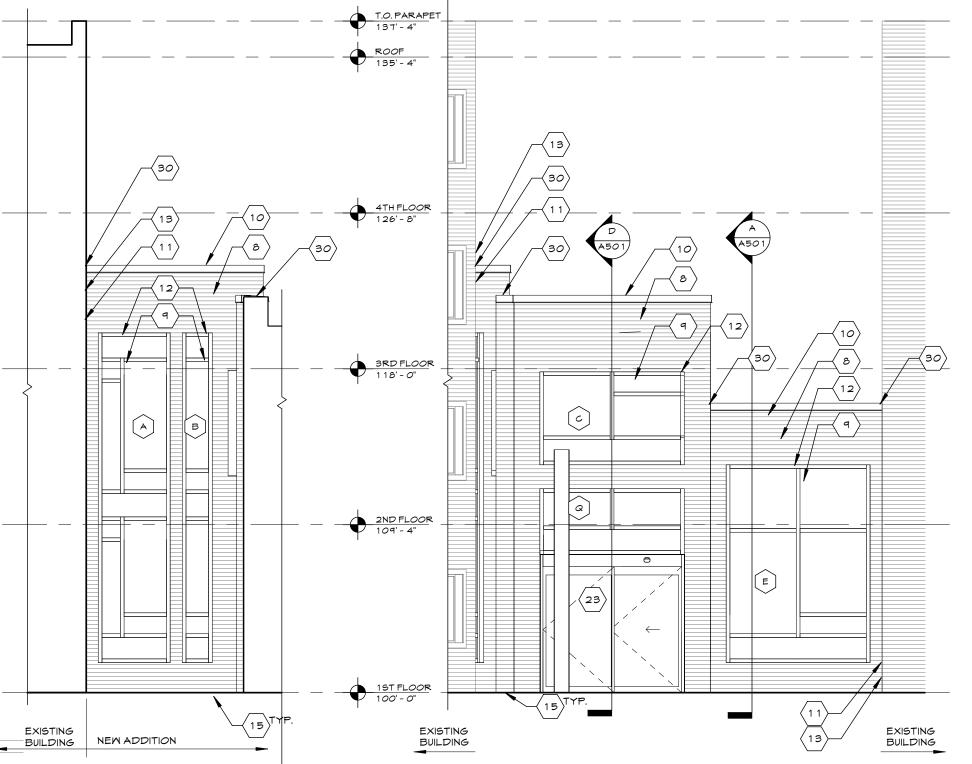
EXTEND EXISTING

FLASHING FOR EXISTING HEAD, JAMB AND SILL AT

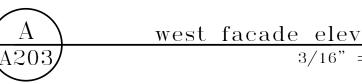
NEW TRIM CONDITION

CONTINUOUS SEALANT

AND PROVIDE NEW



EXISTING BUILDING southwest facade elevation 3/16" = 1'-0"



GENERAL NOTES: ENVELOPE

1. ALL OPENINGS SUCH AS DOORS AND WINDOMS (INCLUDING ALL SILL PANNING AS REQUIRED) TO BE

2. ALL GRADING TO BE SLOPED AWAY FROM BUILDING/FOUNDATION (GRADE - SLOPE AWAY

GUARANTEED FOR ONE (1) YEAR). 3. FOOTER TILE (BELOW TOP OF FOOTER TO DAYLIGHT OR TO INTERIOR TILE/SUMP). 4. ALL FOUNDATION INSULATION TO EXTEND TO TOP OF FOOTER. 5. INSTALL ALL WALL AND CEILING INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE ALL

6. ENCLOSE ALL WALL INSULATION ON ALL SIDES - PROTECT FROM AIR WASH. 7. ALL CEILING INSULATION TO BE EVEN DEPTH AND TO BE MINIMUM R-38. 8. SOFFIT CHUTES ARE TO BE FULL CAVITY WITH TABS TO PROTECT EDGE OF PERIMETER INSULATION. 9. PROVIDE SADDLE FLASHING AT ALL LOW-HIGH EXTERIOR WALL INTERFACES, INTEGRATE FLASHING

DURABILITY NOTES

8. ALL GYPSUM BOARD TO BE SEALED.

CONTRACTOR TO USE ENTERPRISE GREEN COMMUNITIES DURABILITY CHECKLIST DURING CONSTRUCTION DURABILITY ITEMS ARE LISTED BELOW ARE NOT LIMITED TO THESE ITEMS.
 WATER RESISTANT FLOORING AT KITCHENS / BATHROOMS /LAUNDRIES AND ENTRY WAYS.

WITH WEATHER BARRIER PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

3. INSTALL DRAIN & DRAIN PAN AT WATER HEATER. 4. WASHER BOX TO HAVE SINGLE THROW VALVE. 5. CLOTHES DRYER TO BE EXHAUSTED TO EXTERIOR.

6. SEAL ALL EXTERNAL CRACK JOINTS, ETC. WITH SEALANT OR PEST=PROOF SCREEN. 7. ALL FLOORING IN BATHROOMS AND KITCHENS TO BE RUN WALL-TO-WALL (UNDER ALL REMOVABLE CABINETS AND APPLIANCES).

9. USE NON-PAPER FACED BACKER BOARD AT ALL BATHROOM WALLS, TUB/SHOWER ENCLOSURES AND LAUNDRY AREAS INCLUDING CEILINGS. O. SEAL ALL RECESSED CAN LIPS, UTILITY BOXES AND DOOR JAMBS.

1 1. TUBS/SHOWERS, STAIRS AND FIREPLACE ENCLOSURES REQUIRE EXTERIOR WALLS TO BE PRE-INSULATED AND BOARDED PRIOR TO BEING BUILT AGAINST.

1 2. ALL INTERIOR DOORS TO BE FILLED CORE.

13. KEEP ALL STORED MATERIALS DRY ON SITE. 14. PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS

15. RAISE PAPER COVERED GYPSUM BOARD 1/2" ABOVE CONCRETE SLAB.

16. PRIME AND PAINT ALL EXTERIOR WOOD TRIM ON ALL SIDES. 17. CEMENTITIOUS SIDING TO BE SEALED AND INSTALLED PER MANUFACTURERS INSTRUCTIONS.

GENERAL NOTE - AIR LEAKAGES

IN ACCORDANCE WITH ASHRAE 90.1-04(5.4.3.1) BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE.

1. JOINTS AROUND FENESTRATION AND DOOR FRAMES. 2. JUNCTION BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AT BUILDING CORNERS, BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR MALL PANELS. 3. OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS.

4. SITE-BUILT FENESTRATION AND DOORS. 5. BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS 6. JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS. 7. ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.

$\langle \times \rangle$ CODED NOTES - ELEVATIONS

1 PREFINISHED ALUMINUM GUTTER.

2 PREFINISHED ALUMINUM DOWNSPOUT 3 NEW STANDING SEAM METAL ROOFING SYSTEM.

4 ROOFTOP UNIT, REFER TO MECHANICAL. 5 EPDM ROOFING SYSTEM.

6 SCUPPER.

7 RIDGE VENT, REFER TO DETAIL SHEET A 105.

8 BRICK VENEER, REFER TO SHEET A003 FOR WALL TYPES.

9 STOREFRONT OR CURTAIN WALL SYSTEM, REFER TO SHEET A 702. 10 CONTINUOUS METAL COPING CAP, REFER TO WALL SECTIONS AND DETAILS.

11 CONTINUOUS SEALANT AT MATERIAL TRANSITION.

12 CONTINUOUS SEALANT AT OPENING PERIMETER.

13 1" EXPANSION JOINT BETWEEN ADDITION AND EXISTING BUILDING. 14 ALUMINUM RAILING.

15 ADD SOIL AT PERIMETER OF BUILDING TO CREATE 5% SLOPE AWAY FROM BUILDING. 16 REPLACE EXISTING VERTICAL SIDING WITH NEW CEMENTITIOUS SIDING CLADDING.

INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03052012 METHOD #2, REFER TO SCOPE OF WORK.

17 NEM PRE-FINISHED ALUMINUM DECORATIVE RAILINGS 42" A.F.F. WITH UNION JACK DESIGN. FINISH IS TO MATCH THE METAL TRIM AND ROOFING. 18 NEW SINGLE 3'-0" FULL-LITE DOOR WITH SIDELIGHT - PROVIDE ADA COMPLIANT LOW-PROFILE

19 EXISTING EXTERIOR CEILINGS, CLEAN AND PREPARE, PRIME AND PAINT.

20 REMOVE AND REPLACE ALL EXTERIOR BUILDING LIGHTING. SEE ELECTRICAL. 21 REPLACE EXISTING VINYL SOFFITS.

22 REFINISH ALL EXTERIOR BATH/KITCHEN VENT COVERS, SCRAPE, DERUST, CLEAN, PRIME AND

23 NEW ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS. 24 NEW ALUMINUM FASCIA AND TRIM BOARD.

25 NEW COVERED ENTRY CANOPY - SEE ENLARGED PLAN AND DETAILS ON SHEET A305

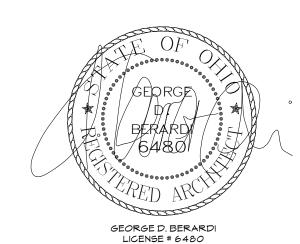
26 NEW COVERED PATIO ACCESS.

27 NEW HEAVY TIMBER PERGOLA WITH DRY STACK STONE PIERS. SEE SHEET A305 FOR ENLARGED PLAN AND DETAILS.

28 CUSTOM FIBERGLASS FOLDING WALL SYSTEM SIMILAR TO JELD-WEN AURORA FOLDING PATIO

DOOR SYSTEM. 29 NEW DOWNSPOUT NOZZLE.

30 PROVIDE SADDLE FLASHING, INTEGRATE WITH WATHER BARRIER PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS



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SET

DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE

BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

PROJECT DATE: 05/06/2016 15145

PROJECT #: #\ Description

Site Changes &

ADA

Addendum 3 06/03/2016 07/15/2016 Addendum A

09.15.2016

EXTERIOR ELEVATIONS

A203



architecture + interior design + engineering 1398 goodale boulevard, columbus ohio 43212 phone 614-221-1110 fax 614-221-0831 www.berardipartners.com

southeast facade elevation

NEW ADDITION

3/16" = 1'-0"

(30)—

\A203

nor theast facade elevation 3/16" = 1'-0"

west facade elevation 3/16" = 1'-0"

south facade elevation 3/16" = 1'-0"

11/15/2016 4:00:23 PM

National Church Residences

STYGLER GAHANNA, OHIO

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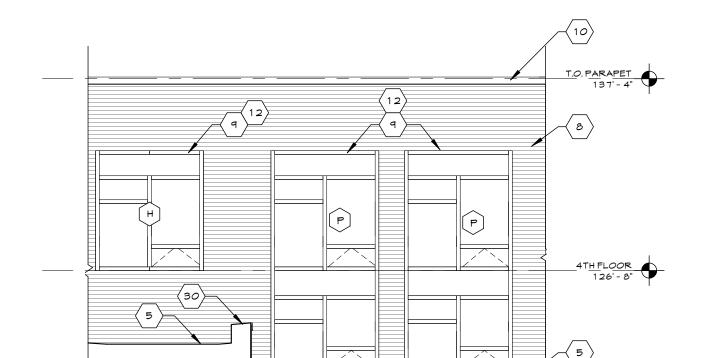
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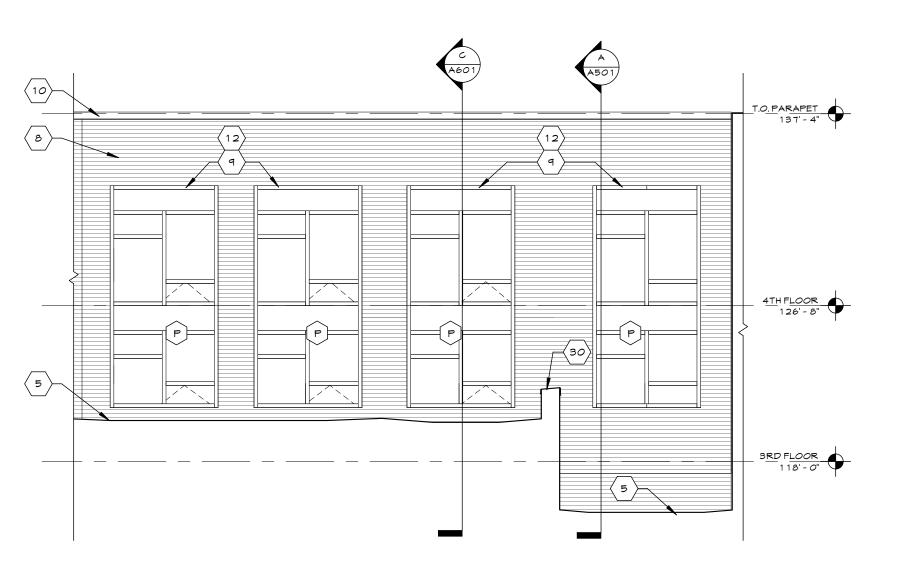
PROJECT DATE: 05/06/2016 PROJECT #: 15145

#\ Description

05/20/2016 1 Addendum 1 3 Addendum 3 06/03/2016 6 Addendum A 07/15/2016



southwest facade above roof elevation A204/ 3/16" = 1'-0"



west facade above roof

(A204)

elevation

3/16" = 1'-0"

× CODED NOTES - ELEVATIONS

15 ADD SOIL AT PERIMETER OF BUILDING TO CREATE 5% SLOPE AWAY FROM BUILDING.

INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03052012 METHOD

17 NEW PRE-FINISHED ALUMINUM DECORATIVE RAILINGS 42" A.F.F. WITH UNION JACK DESIGN. FINISH IS TO MATCH THE METAL TRIM AND ROOFING.

18 NEW SINGLE 3'-0" FULL-LITE DOOR WITH SIDELIGHT - PROVIDE ADA COMPLIANT LOW-PROFILE

22 REFINISH ALL EXTERIOR BATH/KITCHEN VENT COVERS, SCRAPE, DERUST, CLEAN, PRIME AND

28 CUSTOM FIBERGLASS FOLDING WALL SYSTEM SIMILAR TO JELD-WEN AURORA FOLDING PATIO

25 NEW COVERED ENTRY CANOPY - SEE ENLARGED PLAN AND DETAILS ON SHEET A305.

27 NEW HEAVY TIMBER PERGOLA WITH DRY STACK STONE PIERS. SEE SHEET A305 FOR ENLARGED PLAN AND DETAILS.

29 NEW DOWNSPOUT NOZZLE.

30 PROVIDE SADDLE FLASHING, INTEGRATE WITH WATHER BARRIER PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS

16 REPLACE EXISTING VERTICAL SIDING WITH NEW CEMENTITIOUS SIDING CLADDING.

1 PREFINISHED ALUMINUM GUTTER. 2 PREFINISHED ALUMINUM DOWNSPOUT.

#2, REFER TO SCOPE OF WORK.

21 REPLACE EXISTING VINYL SOFFITS.

26 NEW COVERED PATIO ACCESS.

24 NEW ALUMINUM FASCIA AND TRIM BOARD.

5 EPDM ROOFING SYSTEM.

14 ALUMINUM RAILING.

6 SCUPPER.

3 NEW STANDING SEAM METAL ROOFING SYSTEM. 4 ROOFTOP UNIT, REFER TO MECHANICAL.

7 RIDGE VENT, REFER TO DETAIL SHEET A 105.

11 CONTINUOUS SEALANT AT MATERIAL TRANSITION. 12 CONTINUOUS SEALANT AT OPENING PERIMETER.

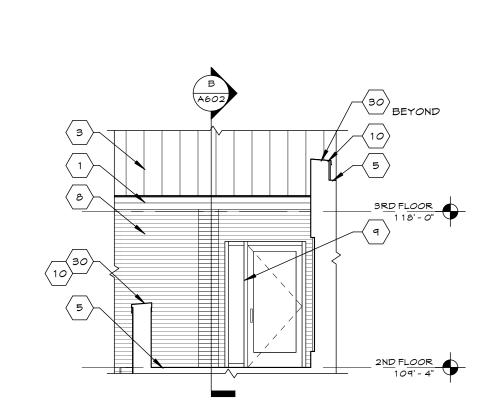
8 BRICK VENEER, REFER TO SHEET A003 FOR WALL TYPES.

9 STOREFRONT OR CURTAIN WALL SYSTEM, REFER TO SHEET A 702. 10 CONTINUOUS METAL COPING CAP, REFER TO WALL SECTIONS AND DETAILS.

13 1" EXPANSION JOINT BETWEEN ADDITION AND EXISTING BUILDING.

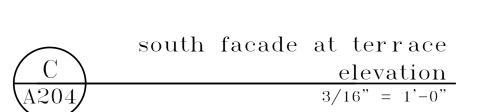
19 EXISTING EXTERIOR CEILINGS, CLEAN AND PREPARE, PRIME AND PAINT. 20 REMOVE AND REPLACE ALL EXTERIOR BUILDING LIGHTING. SEE ELECTRICAL.

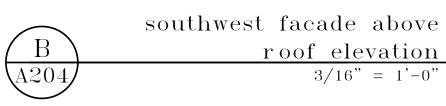
23 NEW ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS.



A204

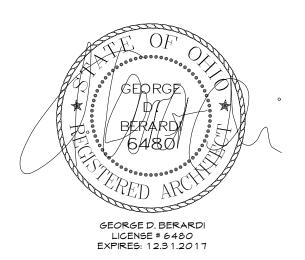
west facade above at terrace elevation 3/16" = 1'-0"











National Church Residences

STYGLER VILLAGE GAHANNA, OHIO

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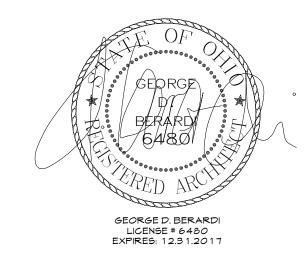
15145 PROJECT #:

EXISTING 1ST FLOOR PLAN

B101



EXISTING 1ST FLOOR GSF 29021 SF





STYGLER VILLAGE GAHANNA, OHIO

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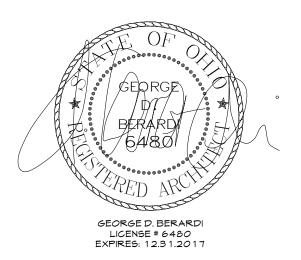
EXISTING 2ND FLOOR PLAN

B102



1/16'' = 1'-0''

EXISTING 3RD FLOOR PLAN



National Church Residences

STYGLER VILLAGE GAHANNA, OHIO

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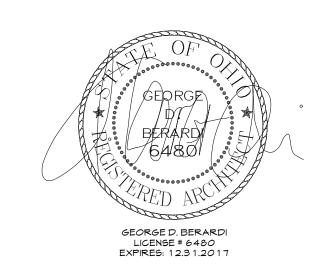
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PROJECT #:

EXISTING 3RD FLOOR PLAN

B103





National Church Residences

STYGLER VILLAGE GAHANNA, OHIO

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PERMIT SET

PROJECT #:

EXISTING 4TH FLOOR PLAN

B104



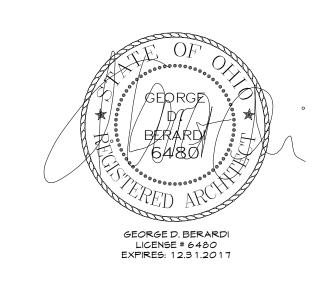
EXISTING 4TH FLOOR PLAN

EXISTING UNIT 'A'

1/16'' = 1'-0''

EXISTING 4TH FLOOR GSF 275**35** SF

11/16/2016 9:59:59 AM





STYGLER VILLAGE GAHANNA, OHIO

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T.O. PARAPET 137' - 4"

4TH FLOOR 126' - 8"

3RD FLOOR 118' - 0"

2ND FLOOR 109' - 4"

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PERMIT SET



EXISTING EAST ELEVATION

3/32'' = 1'-0''



EXISTING NORTHEAST ELEVATION

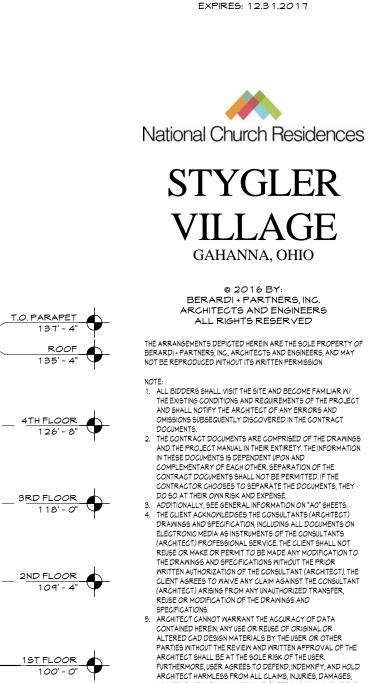
3/32" = 1'-0"

EXISTING ELEVATIONS

B201







REQUIREMENT 9 SHALL BE VENIFIED OF AND ARE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT. **PERMIT** SET

LOSSES, EXPENSES, AND ATTORNEYS FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS. 5. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE

DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR CODIFIED REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE

3/32" = 1'-0"

3/32'' = 1'-0''

4THFLOOR 126'-8" 3RD FLOOR 118' - 0" 15T FLOOR 100' - 0"

EXISTING SOUTHWEST ELEVATION

EXISTING WEST ELEVATION

EXISTING NORTHWEST

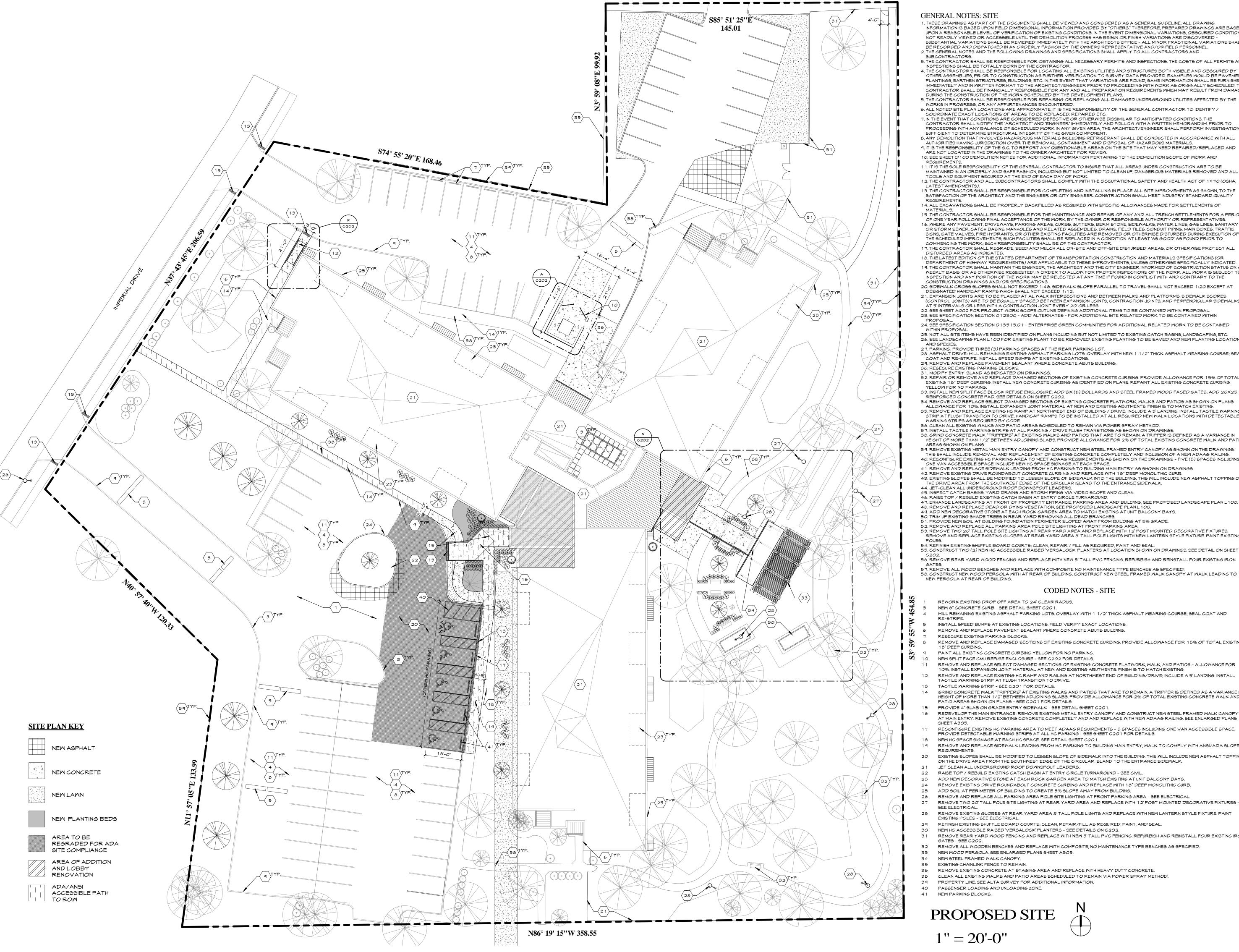
ELEVATION

3/32'' = 1'-0''

EXISTING ELEVATIONS

B202





GENERAL NOTES: SITE

1. THESE DRAWINGS AS PART OF THE DOCUMENTS SHALL BE VIEWED AND CONSIDERED AS A GENERAL GUIDELINE. ALL DRAWING INFORMATION IS BASED UPON FIELD DIMENSIONAL INFORMATION PROVIDED BY "OTHERS." THEREFORE, PREPARED DRAWINGS ARE BASED UPON A REASONABLE LEVEL OF VERIFICATION OF EXISTING CONDITIONS. IN THE EVENT DIMENSIONAL VARIATIONS, OBSCURED CONDITIONS NOT READILY VIEWED OR ACCESSIBLE UNTIL THE DEMOLITION PROCESS HAS BEGUN OR FINISH VARIATIONS ARE DISCOVERED -SUBSTANTIAL VARIATIONS SHALL BE REVIEWED IMMEDIATELY WITH THE ARCHITECTS OFFICE - ALL MINOR FRACTIONAL VARIATIONS SHALL BE RECORDED AND DISPATCHED IN AN ORDERLY FASHION BY THE OWNERS REPRESENTATIVE AND/OR FIELD PERSONNEL. 2. THE GENERAL NOTES AND THE FOLLOWING DRAWINGS AND SPECIFICATIONS SHALL APPLY TO ALL CONTRACTORS AND

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS. THE COSTS OF ALL PERMITS AND INSPECTIONS SHALL BE TOTALLY BORN BY THE CONTRACTOR. 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND STRUCTURES BOTH VISIBLE AND OBSCURED BY OTHER ASSEMBLIES, PRIOR TO CONSTRUCTION AS FURTHER VERIFICATION TO SURVEY DATA PROVIDED. EXAMPLES WOULD BE PAVEMENT PLANTINGS, EARTHEN STRUCTURES, BUILDINGS, ETC. IN THE EVENT THAT VARIATIONS ARE FOUND, SAME INFORMATION SHALL BE FURNISHED IMMEDIATELY AND IN WRITTEN FORMAT TO THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH WORK AS ORIGINALLY SCHEDULED. THE

CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY AND ALL PREPARATION REQUIREMENTS WHICH MAY RESULT FROM DAMAGE DURING THE CONSTRUCTION OF THE WORK SCHEDULED BY THE DEVELOPMENT PLANS. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ALL DAMAGED UNDERGROUND UTILITIES AFFECTED BY THE

MORKS IN PROGRESS, OR ANY APPURTENANCES ENCOUNTERED. 6. ALL NOTED SITE PLAN LOCATIONS ARE APPROXIMATE, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO IDENTIFY / COORDINATE EXACT LOCATIONS OF AREAS TO BE REPLACED, REPAIRED ETC. 7. IN THE EVENT THAT CONDITIONS ARE CONSIDERED DEFECTIVE OR OTHERWISE DISSIMILAR TO ANTICIPATED CONDITIONS, THE

CONTRACTOR SHALL NOTIFY THE "ARCHITECT" AND "ENGINEER" IMMEDIATELY AND FOLLOW WITH A WRITTEN MEMORANDUM. PRIOR TO PROCEEDING WITH ANY BALANCE OF SCHEDULED WORK IN ANY GIVEN AREA, THE ARCHITECT/ENGINEER SHALL PERFORM INVESTIGATION SUFFICIENT TO DETERMINE STRUCTURAL INTEGRITY OF THE GIVEN COMPONENT. 8. ANY DEMOLITION THAT INVOLVES HAZARDOUS MATERIALS INCLUDING REFRIGERANT SHALL BE CONDUCTED IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION OVER THE REMOVAL, CONTAINMENT AND DISPOSAL OF HAZARDOUS MATERIALS. 9. IT IS THE RESPONSIBILITY OF THE G.C. TO REPORT ANY QUESTIONABLE AREAS ON THE SITE THAT MAY NEED REPAIRED/REPLACED AND ARE NOT LOCATED IN THE DRAWINGS TO THE OWNER/ARCHITECT FOR REVIEW. 10. SEE SHEET D 100 DEMOLITION NOTES FOR ADDITIONAL INFORMATION PERTAINING TO THE DEMOLITION SCOPE OF WORK AND

1 1. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT ALL AREAS UNDER CONSTRUCTION ARE TO BE MAINTAINED IN AN ORDERLY AND SAFE FASHION, INCLUDING BUT NOT LIMITED TO CLEAN UP, DANGEROUS MATERIALS REMOVED AND ALL TOOLS AND EQUIPMENT SECURED AT THE END OF EACH DAY OF WORK. 12. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (OSHA,

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING AND INSTALLING IN PLACE ALL SITE IMPROVEMENTS AS SHOWN, TO THE SATISFACTION OF THE ARCHITECT AND THE ENGINEER OR CITY ENGINEER. CONSTRUCTION SHALL MEET INDUSTRY STANDARD QUALITY 14. ALL EXCAVATIONS SHALL BE PROPERLY BACKFILLED AS REQUIRED WITH SPECIFIC ALLOWANCES MADE FOR SETTLEMENTS OF

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ANY AND ALL TRENCH SETTLEMENTS FOR A PERIOD OF ONE YEAR FOLLOWING FINAL ACCEPTANCE OF THE WORK BY THE OWNER OR RESPONSIBLE AUTHORITY OR REPRESENTATIVES. 16. MHERE ANY PAVEMENT, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, BERM STONE, SIDEWALKS, WATER LINES, GAS LINES, SANITARY OR STORM SEWER, CATCH BASINS, MANHOLES AND RELATED ASSEMBLIES, DRAINS, FIELD TILES, CONDUIT PIPING, MAIN BOXES, TRAFFIC SIGNS, GATE VALVES, FIRE HYDRANTS, OR OTHER EXISTING FACILITIES ARE REMOVED OR OTHERWISE DISTURBED DURING EXECUTION OF THE SCHEDULED IMPROVEMENTS, SUCH FACILITIES SHALL BE REPLACED IN A CONDITION AT LEAST 'AS GOOD' AS FOUND PRIOR TO COMMENCING THE WORK; SUCH RESPONSIBILITY SHALL BE OF THE CONTRACTOR.

DISTURBED AREAS AS INDICATED. 18. THE LATEST EDITION OF THE STATE'S DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS (OR DEPARTMENT OF HIGHWAY REQUIREMENTS) ARE APPLICABLE TO THESE IMPROVEMENTS, UNLESS OTHERWISE SPECIFICALLY INDICATED.

19. THE CONTRACTOR SHALL MAINTAIN THE ENGINEER, THE ARCHITECT AND THE CITY ENGINEER INFORMED OF CONSTRUCTION STATUS ON A MEEKLY BASIS, OR AS OTHERWISE REQUESTED, IN ORDER TO ALLOM FOR PROPER INSPECTIONS OF THE WORK. ALL WORK IS SUBJECT TO INSPECTION AND ANY PORTION OF THE WORK MAY BE REJECTED AT ANY TIME IF FOUND IN CONFLICT WITH AND CONTRARY TO THE

20. SIDEMALK CROSS SLOPES SHALL NOT EXCEED 1:48. SIDEMALK SLOPE PARALLEL TO TRAVEL SHALL NOT EXCEED 1:20 EXCEPT AT DESIGNATED HANDICAP RAMPS WHICH SHALL NOT EXCEED 1:12. 21. EXPANSION JOINTS ARE TO BE PLACED AT AL WALK INTERSECTIONS AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES (CONTROL JOINTS) ARE TO BE EQUALLY SPACED BETWEEN EXPANSION JOINTS, CONTRACTION JOINTS, AND PERPENDICULAR SIDEMALKS AT 5' INTERVALS OR LESS WITH A CONTRACTION JOINT EVERY 20' OR LESS. 22. SEE SHEET A002 FOR PROJECT WORK SCOPE OUTLINE DEFINING ADDITIONAL ITEMS TO BE CONTAINED WITHIN PROPOSAL.

24. SEE SPECIFICATION SECTION 013515.01 - ENTERPRISE GREEN COMMUNITIES FOR ADDITIONAL RELATED WORK TO BE CONTAINED

25. NOT ALL SITE ITEMS HAVE BEEN IDENTIFIED ON PLANS INCLUDING BUT NOT LIMITED TO EXISTING CATCH BASINS, LANDSCAPING ETC. 26. SEE LANDSCAPING PLAN L 100 FOR EXISTING PLANT TO BE REMOVED, EXISTING PLANTING TO BE SAVED AND NEW PLANTING LOCATIONS

T. PARKING: PROVIDE THREE (3) PARKING SPACES AT THE REAR PARKING LOT. 28. ASPHALT DRIVE: MILL REMAINING EXISTING ASPHALT PARKING LOTS. OVERLAY WITH NEW 1 1/2" THICK ASPHALT MEARING COURSE; SEAL COAT AND RE-STRIPE. INSTALL SPEED BUMPS AT EXISTING LOCATIONS.

29. REMOVE AND REPLACE PAVEMENT SEALANT WHERE CONCRETE ABUTS BUILDING. 30. RESECURE EXISTING PARKING BLOCKS. 3 1. MODIFY ENTRY ISLAND AS INDICATED ON DRAWINGS.

32. REPAIR OR REMOVE AND REPLACE DAMAGED SECTIONS OF EXISTING CONCRETE CURBING. PROVIDE ALLOMANCE FOR 15% OF TOTAL EXISTING 18" DEEP CURBING. INSTALL NEW CONCRETE CURBING AS IDENTIFIED ON PLANS. REPAINT ALL EXISTING CONCRETE CURBING YELLOW FOR NO PARKING. 33. INSTALL NEW SPLIT FACE BLOCK REFUSE ENCLOSURE. ADD SIX (6) BOLLARDS AND STEEL FRAMED WOOD FACED GATES; ADD 20X25 7"

REINFORCED CONCRETE PAD. SEE DETAILS ON SHEET C202. 34. REMOVE AND REPLACE SELECT DAMAGED SECTIONS OF EXISTING CONCRETE FLATWORK, WALKS AND PATIOS AS SHOWN ON PLANS -ALLOWANCE FOR 10%, INSTALL EXPANSION JOINT MATERIAL AT NEW AND EXISTING ABUTMENTS, FINISH IS TO MATCH EXISTING. 35. REMOVE AND REPLACE EXISTING HC RAMP AT NORTHWEST END OF BUILDING / DRIVE; INCLUDE A 5' LANDING. INSTALL TACTILE WARNING STRIP AT FLUSH TRANSITION TO DRIVE. HANDICAP RAMPS TO BE INSTALLED AT ALL REQUIRED NEW WALK LOCATIONS WITH DETECTABLE

WARNING STRIPS AS REQUIRED BY CODE. 36. CLEAN ALL EXISTING WALKS AND PATIO AREAS SCHEDULED TO REMAIN VIA POWER SPRAY METHOD. 37. INSTALL TACTILE WARNING STRIPS AT ALL PARKING / DRIVE FLUSH TRANSITIONS AS SHOWN ON DRAWINGS.
38. GRIND CONCRETE WALK "TRIPPERS" AT EXISTING WALKS AND PATIOS THAT ARE TO REMAIN. A TRIPPER IS DEFINED AS A VARIANCE IN

HEIGHT OF MORE THAN 1/2" BETWEEN ADJOINING SLABS. PROVIDE ALLOWANCE FOR 2% OF TOTAL EXISTING CONCRETE WALK AND PATIO 39. REMOVE EXISTING METAL MAIN ENTRY CANOPY AND CONSTRUCT NEW STEEL FRAMED ENTRY CANOPY AS SHOWN ON THE DRAWINGS. THIS SHALL INCLUDE REMOVAL AND REPLACEMENT OF EXISTING CONCRETE COMPLETELY AND INCLUSION OF A NEW ADAAG RAILING. 40. RECONFIGURE EXISTING HC PARKING AREA TO MEET ADAAG REQUIREMENTS AS SHOWN ON THE DRAWINGS - FIVE (5) SPACES INCLUDING

ONE VAN ACCESSIBLE SPACE. INCLUDE NEW HC SPACE SIGNAGE AT EACH SPACE. 41. REMOVE AND REPLACE SIDEMALK LEADING FROM HC PARKING TO BUILDING MAIN ENTRY AS SHOWN ON DRAWINGS. 42. REMOVE EXISTING DRIVE ROUNDABOUT CONCRETE CURBING AND REPLACE WITH 18" DEEP MONOLITHIC CURB. 43. EXISTING SLOPES SHALL BE MODIFIED TO LESSEN SLOPE OF SIDEMALK INTO THE BUILDING. THIS WILL INCLUDE NEW ASPHALT TOPPING ON

THE DRIVE AREA FROM THE SOUTHWEST EDGE OF THE CIRCULAR ISLAND TO THE ENTRANCE SIDEMALK. 44. JET-CLEAN ALL UNDERGROUND ROOF DOWNSPOUT LEADERS. 45. INSPECT CATCH BASINS, YARD DRAINS AND STORM PIPING VIA VIDEO SCOPE AND CLEAN.

46. RAISE TOP / REBUILD EXISTING CATCH BASIN AT ENTRY CIRCLE TURNAROUND. 47. ENHANCE LANDSCAPING AT FRONT OF PROPERTY ENTRANCE, PARKING AREA AND BUILDING, SEE PROPOSED LANDSCAPE PLAN L 100. 48. REMOVE AND REPLACE DEAD OR DYING VEGETATION, SEE PROPOSED LANDSCAPE PLAN L 100. 49. ADD NEW DECORATIVE STONE AT EACH ROCK GARDEN AREA TO MATCH EXISTING AT UNIT BALCONY BAYS.

50. TRIM UP EXISTING SHADE TREES IN REAR YARD REMOVING ALL DEAD BRANCHES. 5 1. PROVIDE NEW SOIL AT BUILDING FOUNDATION PERIMETER SLOPED AWAY FROM BUILDING AT 5% GRADE. 52. REMOVE AND REPLACE ALL PARKING AREA POLE SITE LIGHTING AT FRONT PARKING AREA.
53. REMOVE TWO 20' TALL POLE SITE LIGHTING AT REAR YARD AREA AND REPLACE WITH 12' POST MOUNTED DECORATIVE FIXTURES. REMOVE AND REPLACE EXISTING GLOBES AT REAR YARD AREA & TALL POLE LIGHTS WITH NEW LANTERN STYLE FIXTURE. PAINT EXISTING

54. REFINISH EXISTING SHUFFLE BOARD COURTS; CLEAN, REPAIR / FILL AS REQUIRED, PAINT AND SEAL 55. CONSTRUCT TWO (2) NEW HC ACCESSIBLE RAISED 'VERSALOCK' PLANTERS AT LOCATION SHOWN ON DRAWINGS. SEE DETAIL ON SHEET 56. REMOVE REAR YARD MOOD FENCING AND REPLACE WITH NEW 5' TALL PVC FENCING. REFURBISH AND REINSTALL FOUR EXISTING IRON

57. REMOVE ALL WOOD BENCHES AND REPLACE WITH COMPOSITE NO MAINTENANCE TYPE BENCHES AS SPECIFIED. 58. CONSTRUCT NEW WOOD PERGOLA WITH AT REAR OF BUILDING. CONSTRUCT NEW STEEL FRAMED WALK CANOPY AT WALK LEADING TO NEW PERGOLA AT REAR OF BUILDING.

CODED NOTES - SITE

REWORK EXISTING DROP OFF AREA TO 24' CLEAR RADIUS.

NEW 6" CONCRETE CURB - SEE DETAIL SHEET C201. MILL REMAINING EXISTING ASPHALT PARKING LOTS. OVERLAY MITH 1 1/2" THICK ASPHALT MEARING COURSE; SEAL COAT AND

INSTALL SPEED BUMPS AT EXISTING LOCATIONS. FIELD VERIFY EXACT LOCATIONS. REMOVE AND REPLACE PAVEMENT SEALANT WHERE CONCRETE ABUTS BUILDING.

RESECURE EXISTING PARKING BLOCKS.

REMOVE AND REPLACE DAMAGED SECTIONS OF EXISTING CONCRETE CURBING. PROVIDE ALLOWANCE FOR 15% OF TOTAL EXISTING 18" DEEP CURBING. PAINT ALL EXISTING CONCRETE CURBING YELLOW FOR NO PARKING. NEW SPLIT FACE CMU REFUSE ENCLOSURE - SEE C202 FOR DETAILS.

REMOVE AND REPLACE SELECT DAMAGED SECTIONS OF EXISTING CONCRETE FLATWORK, WALK, AND PATIOS - ALLOWANCE FOR 10%. INSTALL EXPANSION JOINT MATERIAL AT NEW AND EXISTING ABUTMENTS. FINISH IS TO MATCH EXISTING. REMOVE AND REPLACE EXISTING HC RAMP AND RAILING AT NORTHWEST END OF BUILDING/DRIVE; INCLUDE A 5' LANDING. INSTALL TACTILE WARNING STRIP AT FLUSH TRANSITION TO DRIVE. TACTILE WARNING STRIP - SEE C201 FOR DETAILS.

GRIND CONCRETE MALK "TRIPPERS" AT EXISTING MALKS AND PATIOS THAT ARE TO REMAIN. A TRIPPER IS DEFINED AS A VARIANCE IN HEIGHT OF MORE THAN 1/2" BETWEEN ADJOINING SLABS. PROVIDE ALLOWANCE FOR 2% OF TOTAL EXISTING CONCRETE WALK AND PATIO AREAS SHOWN ON PLANS - SEE C201 FOR DETAILS. PROVIDE 4" SLAB ON GRADE ENTRY SIDEWALK - SEE DETAIL SHEET G201

AT MAIN ENTRY. REMOVE EXISTING CONCRETE COMPLETELY AND AND REPLACE WITH NEW ADAAG RAILING. SEE ENLARGED PLANS RECONFIGURE EXISTING HC PARKING AREA TO MEET ADAAG REQUIREMENTS - 5 SPACES INCLUDING ONE VAN ACCESSIBLE SPACE, PROVIDE DETECTABLE WARNING STRIPS AT ALL HC PARKING - SEE SHEET C201 FOR DETAILS.

NEW HC SPACE SIGNAGE AT EACH HC SPACE. SEE DETAIL SHEET C201. REMOVE AND REPLACE SIDEWALK LEADING FROM HC PARKING TO BUILDING MAIN ENTRY, WALK TO COMPLY WITH ANSI/ADA SLOPE

EXISTING SLOPES SHALL BE MODIFIED TO LESSEN SLOPE OF SIDEMALK INTO THE BUILDING. THIS WILL INCLUDE NEW ASPHALT TOPPING ON THE DRIVE AREA FROM THE SOUTHWEST EDGE OF THE CIRCULAR ISLAND TO THE ENTRANCE SIDEMALK. JET CLEAN ALL UNDERGROUND ROOF DOWNSPOUT LEADERS.

RAISE TOP / REBUILD EXISTING CATCH BASIN AT ENTRY CIRCLE TURNAROUND - SEE CIVIL. ADD NEW DECORATIVE STONE AT EACH ROCK GARDEN AREA TO MATCH EXISTING AT UNIT BALCONY BAYS. REMOVE EXISTING DRIVE ROUNDABOUT CONCRETE CURBING AND REPLACE WITH 18" DEEP MONOLITHIC CURB.

ADD SOIL AT PERIMETER OF BUILDING TO CREATE 5% SLOPE AWAY FROM BUILDING. REMOVE AND REPLACE ALL PARKING AREA POLE SITE LIGHTING AT FRONT PARKING AREA - SEE ELECTRICAL. REMOVE TWO 20' TALL POLE SITE LIGHTING AT REAR YARD AREA AND REPLACE WITH 12' POST MOUNTED DECORATIVE FIXTURES -

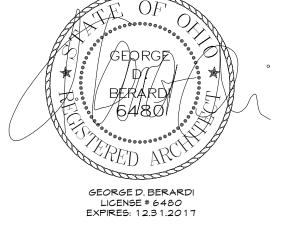
SEE ELECTRICAL. REMOVE EXISTING GLOBES AT REAR YARD AREA 8' TALL POLE LIGHTS AND REPLACE WITH NEW LANTERN STYLE FIXTURE. PAINT EXISTING POLES - SEE ELECTRICAL. REFINISH EXISTING SHUFFLE BOARD COURTS; CLEAN, REPAIR/FILL AS REQUIRED, PAINT, AND SEAL.

REMOVE REAR YARD MOOD FENCING AND REPLACE WITH NEW 5' TALL PVC FENCING. REFURBISH AND REINSTALL FOUR EXISTING IRON REMOVE ALL MOODEN BENCHES AND REPLACE WITH COMPOSITE, NO MAINTENANCE TYPE BENCHES AS SPECIFIED. NEW WOOD PERGOLA. SEE ENLARGED PLANS SHEET A305.

NEW STEEL FRAMED WALK CANOPY. EXISTING CHAINLINK FENCE TO REMAIN.

REMOVE EXISTING CONCRETE AT STAGING AREA AND REPLACE WITH HEAVY DUTY CONCRETE. CLEAN ALL EXISTING WALKS AND PATIO AREAS SCHEDULED TO REMAIN VIA POWER SPRAY METHOD. PROPERTY LINE. SEE ALTA SURVEY FOR ADDITIONAL INFORMATION.

PROPOSED SITE 1'' = 20'-0''



National Church Residences

STYGLER

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I. ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR W/ THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT

2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE

CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.

ADDITIONALLY, SEE GENERAL INFORMATION ON "AO" SHEETS. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT)
DRAWINGS AND SPECIFICATION, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER REUSE OR MODIFICATION OF THE DRAWINGS AND

SPECIFICATIONS.

5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN, ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD DESIGN MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS AR DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR CODIFIED REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR, ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY

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PROJECT DATE:

PROJECT #:

9 Site Changes &

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\ Description Addendum 3 Addendum A Plumbing

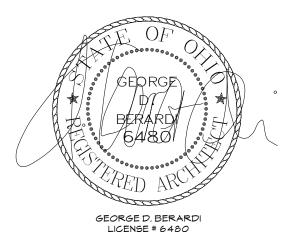
ARCHITECTURAL SITE PLAN



www.berardipartners.com

phone 614-221-1110

fax 614-221-0831



National Church Residences

STYGLER VILLAGE GAHANNA, OHIO

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PERMIT SET

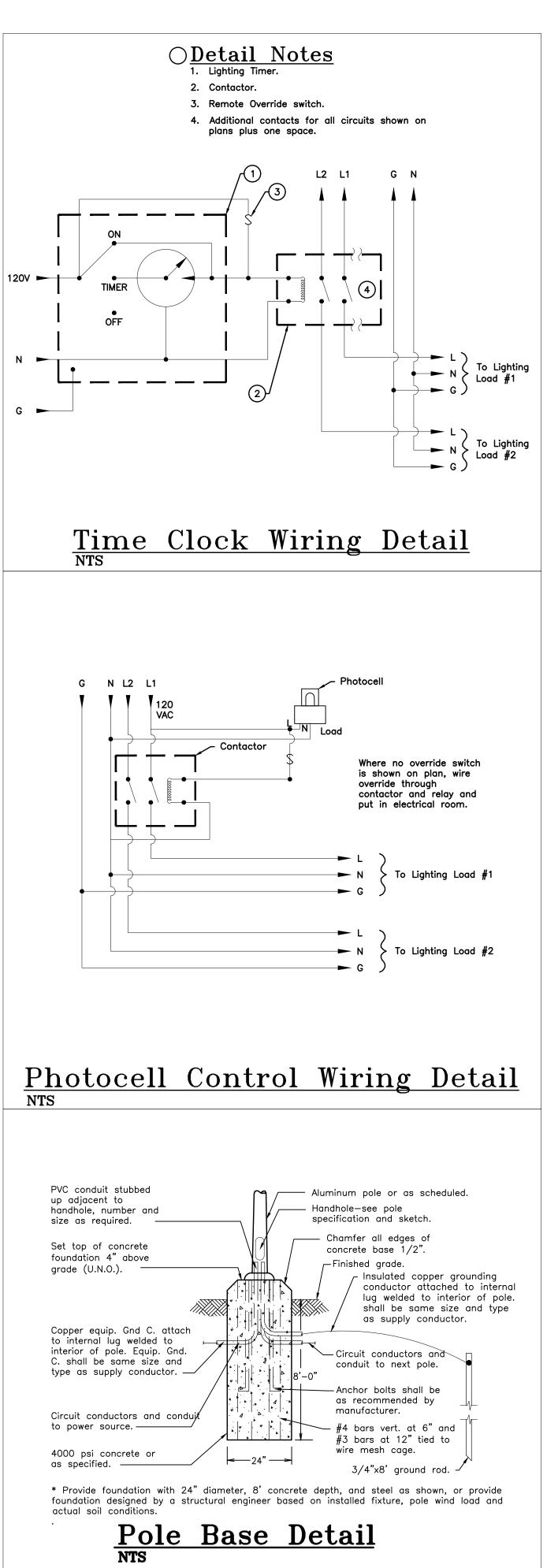
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/# \	Description	Date
1	Addendum 1	05/20/201
3	Addendum 3	06/03/201
6	Addendum A	07/15/201
9	Site Changes & ADA	09.15.201
11	PERMIT	09.27.201

PROJECT DATE:

ARCHITECTURAL SITE DETAILS

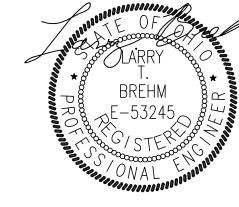
C202





<u>Light Pole Base Detail</u>

	Light Fixture Schedule												
Image Tag Description Manufacturer Finish L					Lamp	Lamp Lamp Length Wi		Width	Depth	Energy			
	Image	Tag	Description	Model #	Finish	Lamp	Qty	Wattage	Voltage	[in.]	[in.]	[in.]	Star Remarks
		В1	Fan/Fluorescent Light	NuTone 744FLNT	White	CFL	1	14	120	13	18	7.5	Incl.
	(Image not exact)	CF1	Ceiling Fan	Progress P2521with P2621-09EBWB light	Brushed Nickel	CFL	2	13	120		ø52		Incl
		E1	Exterior 2x2	Lithonia WRT F 2 17 A12125 120	White	F17T8	2	17	120	24	24	3.75	Incl.
		E2	Flood Light	Lithonia DSXF1LED-2-A5 30-/40K-MSP- MVOLT-	Black	LED	2	19	120	3.125	8.785	7.75	Incl.
		E3	Exterior Wallpack Light	Cooper XTOR3A	Black	LED	1	17	120	16.125	8	15.75	N/A
		EM1	Exit Sign	Dual Lite CVER—2—R—N—E	Brushed Aluminum Mounting Plate	LED	2	1	120	12	5	8	Incl. Housing finish as selected by architect. Double faced UNO. Letter color and direction coordinate with drawings and AHJ. Coordinate voltage to match circuit. Recessed ceiling mount UNO.
		LH1	Lamp Holder	Leviton 9726-C	Porcelain	CFL	1	26	120	ø4.25	2.25		Outlet box lamp holder with removable interior mechanism. Pull chain with extra length (minimum 36") to N/A fit 3½" to 4" box. Provide NEMA 5—15R receptacle. Lampholder to be rated for 15 amp, 660 watts, top wired.
		PL1	Site Light	Lithonia DSX1LED—40C—7 00—40K—T2M—M VOLT—SPA	Black	LED	1	24	120	33	7.5	13	Incl. Provide 16' square pole Lithonia SSS
		PL2	Pole Lights	Hubbell FGL-RB-SAL-Y3 -32LED-4K-70 0-ALF-BLK	Black	LED	1	42	120		ø17	42	Incl. Provide DB8-4F14 Pole
		P1	Pendant Light	Progress P7327-09WB	Brushed Steel	CFL	2	13	120		15.25	10.375	E.C. must coordinate exact placement of this fixture with G.C. and Architect in writing before any work begins. The location information including dimensions must be independent of ceiling/floor framing and submitted to the Architect, putting the device on the closest framing member is not permitted.
		R1	Recessed Fire Rated Can Light	Progress P8022	White	LED	1	10	120		ø6	1	N/A
		R2	Recessed Can Light	Prescolite CFT632HEB	White	CFL	1	26	120	14.375	11.75	6.125	N/A Use lens trim TL43 when used in wet locations. Note this fixture is Non IC rated. 4pl. Trim must be coordinated with nearby finish — typically 7095 BF.
		R3	Recessed Eyeball Can Light	Lithonia LI6F 26TRT 120 RECF	White	CFL	1	26	120	13	12.5	19.1	Incl. Trim #6W2W
	ALP O OTA	R4	Recessed Mounted 2x4 Light	Columbia JT824-332G-FS -120	White	F32T8	3	32	120	48	24	4	General Requirements, unless otherwise indicated, features include the following: Designed for type and quantity of lamps indicated at full light output. Total Harmonic Distortion Rating: Less than 10 percent. Sound Rating: A Electronic ballasts (Electromagnetic Ballasts not allowed) for linear lamps: Encapsulation Without voids in potting compound. Parallel Lamp Circuits: Multiple lamp ballasts connected to maintain full light output on surviving lamps if one or more lamps fail. Low-profile static troffer, fully gasketed flush steel, with opposing rotary action cam latches. T-hinge, in-out standard wiring.
		R5	Recessed Mounted 2x2 Light	Lithonia 2GT8-3-U31-F W-A12-120	White	F32T8	4	32	120	48	24		N/A
		RH1	Range Hood	G.C. to specify			1		120				Non-duct range hood by others-lamp and wiring by E.C. Two (2) speed plug in motor. CF light (lamp by E.C.) illuminates cooking surface. Lens is removable for relamping. Located up front rocker switch. Prewired with keyhole mounting slots. UL listed and CSA certified. Single coil, thermally protected, 120Volt 1.7 amp motor. E.C. to verify with hood supplier the exact electrical requirements. Note: E.C. must provide provision in accessible apartments for special switching. E.C. must mount individual switches for fan and light in back splash. E.C. must coordinate with G.C. as to exact mounting.
		S1	Surface Mounted Light for Units	Progress P3764-09EBWB	Brushed Steel	CFL	1	13	120		ø11.5	3.75	Round glass fixture. Incl. Surface mount Satin opal cased glass
		S2	Surface Mounted Light for Common Spaces	Progress P7324-09WB	Brushed Steel	CFL	2	13	120		ø15.25		Incl.
		S3	Surface Mounted 1x4 Light for Units Kitchens	Progress P7263-30EB	White	F32T8	2	32	120	49	12.5	4.5	Provide drop in opal 100% acrylic lens and mounting frame. E.C. must coordinate exact placement of the fixture with G.C. and Architect in writing before any work begins. The location information including dimensions must be independent of floor framing and be submitted to the Architect, putting the device on the closest framing member is not permitted. Total Harmonic Distortion Rating: Less than 10%.
		S4	Surface Mounted 1x4 Light	Columbia WC-4-232-EB8 120	White	F32T8	2	32	120	48	10	3	Sound Rating: A. Electronic Ballasts (Electromagnetic Ballasts not allowed) for Linear Lamps: Encapsulation: Without voids in potting compound. Parallel Lamp Circuits: Multiple lamp ballasts connected to maintain full light output on surviving lamps if one or more lamps fail.
		S5/S 5a SC1	Surface Mounted 2x4 Light Wall Sconce	Progress P7276-30 Progress	White Brushed	F34T8 CFL	4	32 26	120		24.313 7.75	1.3125 3	Incl S5a- 2x2 light fixture Progress P7213-30EB
		SC1	Wall Mounted	P7171-WB Finelite S5WM-4'-2T8-S	Nickel White	F32T8	2	32	120	15.5 48	6.5	2.4	N/A N/A
				C-SPEC-120-F E									Under cabinet and under shelf fluorescent. Mount under cabinet in kitchens or in furnace closet on the wa
		UC1	Under Counter Light	Progress Progress	White Opal White	F23T5	1	13	120	21.25	5	1.125	installation on underside of shelf.
		V1	Vanity Light	Progress P7114-60EB	Opal White Glass	F23T8	2	25	120	26.75	6	4.25	Incl.



July 26, 2016



STYGLER **VILLAGE**

Gahanna, OH

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THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT
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PERMIT SET

07/22/2016

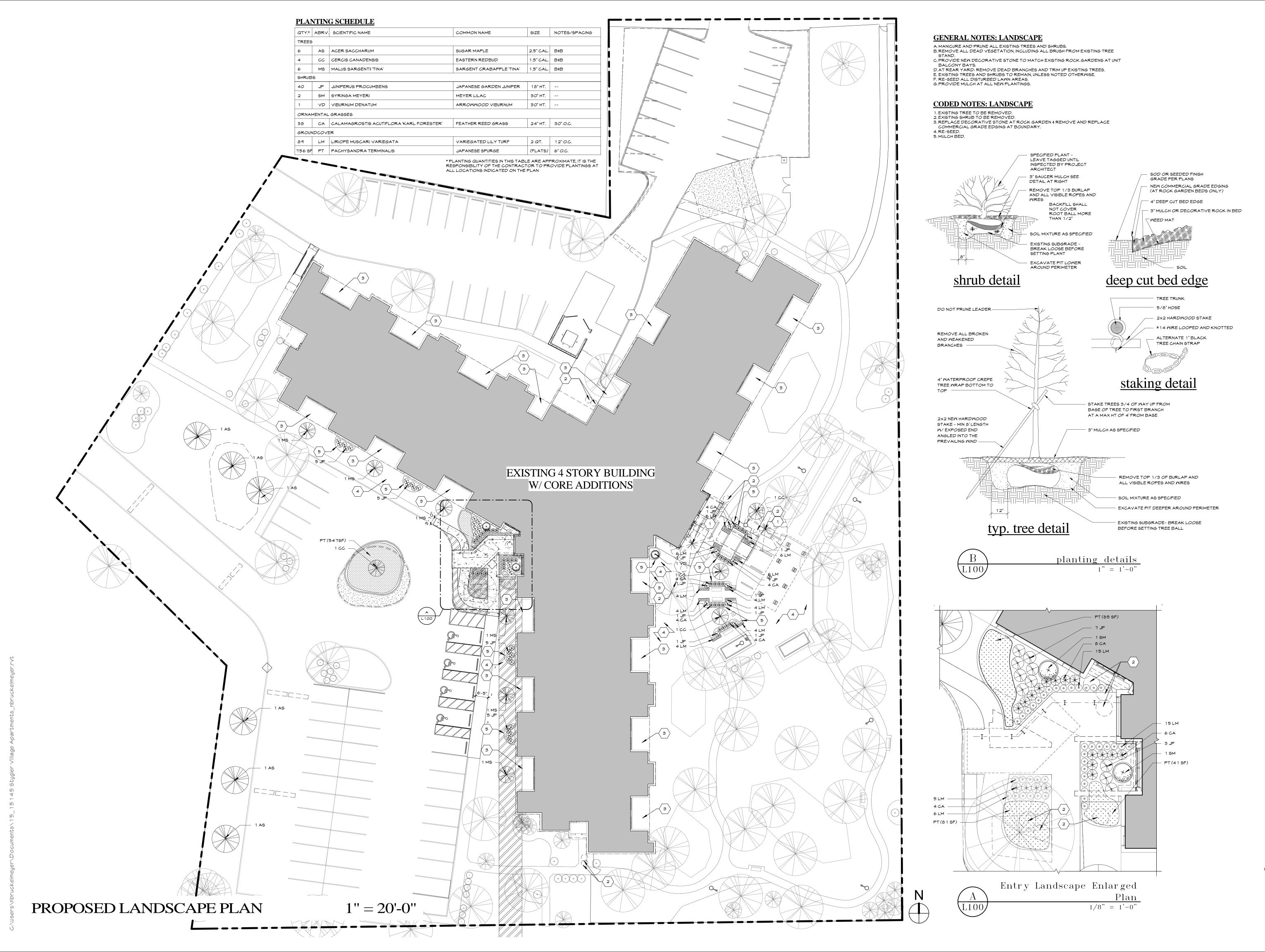
PROJECT DATE:

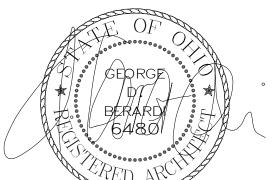
PROJECT #: 15145 SHEET DATE: 07/26/2016

LIGHTING SCHEDULES AND DETAILS

E501







GEORGE D. BERARDI

National Church Residences

STYGLER GAHANNA, OHIO

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> **PERMIT** SET

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PROJECT #:

PROPOSED LANDSCAPE PLAN

L100







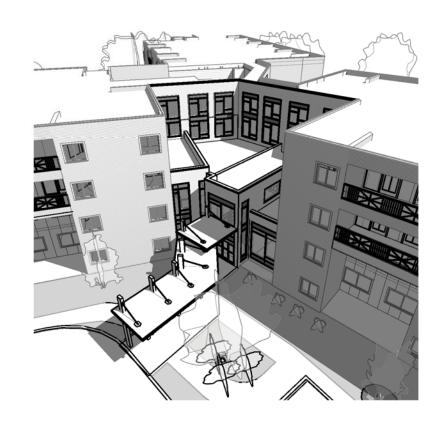












MEST ENTRANCE









REAR ADDITION



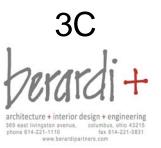








STYGLER VILLAGE GAHANNA, OHIO











APPLICATION STAFF COMMENTS

DUE: Wednesdays - 10 AM

To SUBMIT: File>SAVE AS ADOBE PDF with naming convention: "Staff Comments – YOURNAME" to: T:/Zoning/Applications IN PROGRESS/(the project folder)

Project/Property Address or Location: 140 Imperial Drive		
Project Name/Business Name: Stygler Village	Apartments	
SUBMITTED BY: Name: Michael Blackford	Title: Deputy Director	
Department: Planning and Development		

No objections to the proposed renovation as the scope of changes are not subject to the West Gahanna Development Study. It should be noted that the renovations are possible due to National Church Residences receiving an award from the Ohio Housing Finance Agency. The City worked with NCR to provide information necessary to be considered for the award. The construction project is the next step in the process of accomplishing the renovation of an important asset within the community.



APPLICATION STAFF COMMENTS

DUE: Wednesdays - 10 AM

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Project/Property Address or Location: 140 Imperial Drive		
Project Name/Business Name:	Stygler Village Apartments	
SUBMITTED BY: Name: Bonnie	Title: PZA	
Department: Service		

The applicant seeks approval for exterior renovations to this existing four story building which was constructed in 1978. Interior renovations will be made to the 150 units as well. The exterior renovations include additional parking spaces at the north parking lot, two new planting beds, new landscaping material, new railings on the building, a new covered entry at the west entrance, a new addition at the rear of the building which includes a covered walkway and a pergola.

These additions will help to bring a modern feel to the existing building and will provide new amenities for its residents.