

Application for Certificate of Appropriateness for Design Review

City of Gahanna, Ohio ■ Planning Commission
 200 S. Hamilton Road, Gahanna, OH 43230 ■ Phone: (614) 342-4025 ■ Fax: (614) 342-4125

***REQUIRED INFORMATION:** All correspondence will be addressed to the applicant, unless noted otherwise.

*Site Address 403 Agler Road, Gahanna, OH
 *Parcel ID# 025-012296-00/025-001029-90/025-001029-80 *Zoning District CC
 *Design Review of: Site Plan X Landscaping X Building Design X Signage _____ Other _____
 *Special Information Regarding the Property and its Proposed Use: To demolish existing improvements and construct a new 7,022 sq-ft automotive parts retail store along with parking, landscaping and etc.
 *Applicant Name Bacon Farmer Workman Engineering & Test. Inc. *Email bdeitz@bfwengineers.com
 *Applicant Full Address 1215 Diuguid Drive *City/State/Zip Murray, KY 42071
 *Applicant Robert Deitz *Phone# (270) 753-7307

***ADDITIONAL REQUIRED INFORMATION:** If different than applicant.

*Business Name O'Reilly Auto Parts *Contact Mandi Passwaters
 *Business Owner Name O'Reilly Automotive Stores, Inc. *Phone (800) 288-6661
 *Business Address 233 S. Patterson, Springfield, MO 65802
 *Designer/ Architect/ Engineer Buddy Webb & Company - Architect
 *Address 3057 East Cairo *Phone (417) 877-1385
 *City/ State/ Zip Springfield, MO 65802
 *D/A/E Representative Evan Neal *Title Architect Project Manager

***SUBMISSION REQUIREMENTS:** Applications are not complete until all submission requirements are received and accepted by the Planning and Zoning Administrator. Incomplete applications will not be submitted for review. The Planning and Zoning Administrator may visit the site prior to the approval of the application.

1. Two (2) copies of 24x36 (folded, **not rolled**, to 8 1/2 x 11 inch size prior to submission) & ONE (1) 11x17.
2. One (1) digital copy of completed application and associated plans.
3. Applicant is required to complete the checklist on the following pages.
4. Fee: \$50.00 for review plus \$.01 per square foot. - **\$121.05**
5. Submit one (1) color rendering of the project in plan/ perspective/ or elevation, mounted on 18 x 24 inch size foam core, gator board or other acceptable material.
6. Submit a detailed list of materials.
7. Provide a notarized Agreement to Construct as Approved. Free notary services are provided in our office.

*Applicant's Signature  *Date 11/19/15

For Internal Use:

APPROVAL

In accordance with Sections 1197.05 of the Codified Ordinances of Gahanna, this certifies that this project, as stated above, has been approved by the Gahanna Planning Commission on _____. The applicant shall comply with any conditions approved by the Commission, and shall comply with all building and zoning regulations now in force.

Conditions: _____

Planning & Zoning Administrator _____ Date _____

Zoning File No. DR-2015

Sunguard No. 15110021

FDP File No. FDP-4-2015

Hearing Date: _____

RECEIVED
 (Paid)
 NOV 20 2015
 NOV 19 2015
 BY: SW By FW

(Accepted by PZA)

SUBMITTAL REQUIREMENTS

| | Applicant Or Agent | Planning & Zoning Administrator |
|---|-----------------------|---------------------------------------|
| I. GENERAL REQUIREMENTS | | |
| A. All exhibits required for the permanent file (noted in the following paragraphs) must be able to be reduced to 8 ½ x 11 by folding, photo reduction, etc. (ALL 24x36 PLANS ARE TO BE FOLDED BY APPLICANT PRIOR TO SUBMISSION.) While large mounting boards, material samples, or other exhibits not meeting this criteria maybe used for Planning Commission presentation. | A. <u> X </u> | <u> ✓ </u> |
| B. Two 24x 36 and One 11x 17 black or blue-line prints of the plans including the items listed in section II below shall be submitted to the Planning & Zoning Administrator for presentation to the Planning Commission. | B. <u> X </u> | <u> ✓ </u> |
| C. An adequate number of color photographs (Polaroid-type acceptable) are required to illustrate the site, including buildings and other existing features as well as adjacent properties. Photos may also be used to illustrate installations on other sites that are similar to the applicant's proposal. | C. <u> X </u> | <u> ✓ </u> |
| D. Materials List | D. <u> X </u> | <u> ✓ </u> |
| II. BUILDING CONSTRUCTION, EXTERIOR REMODELING, AND ADDITIONS (INCLUDING PARKING LOTS AND LANDSCAPING) | | |
| A. Site Plan. A site plan is required containing the following information: | | |
| 1. Scale and north arrow, | 1. <u> X </u> | <u> ✓ </u> |
| 2. Project name and site address; | 2. <u> X </u> | <u> ✓ </u> |
| 3. All property and street pavement lines; | 3. <u> X </u> | <u> ✓ </u> |
| 4. Existing and proposed contours; | 4. <u> X </u> | <u> ✓ </u> |
| 5. Gross area of tract stated in square feet; | 5. <u> X </u> | <u> ✓ </u> |
| 6. Proposed ingress and egress to the site, including on site parking area(s), parking stalls and adjacent streets. Delineate traffic flow with directional arrows and indicate the location of direction signs or other motorist's aids (if any); | 6. <u> X </u> | <u> ✓ </u> |
| 7. The designation of required buffer screens (if any) between the parking area and adjacent property; | 7. <u> X </u> | <u> ✓ </u> |
| 8. Location of all isolated existing trees having a diameter of six (6) inches or more; (Tree masses may be shown with a diagrammatic outline and a written inventory of individual trees exceeding 6" in caliber); | 8. <u> X </u> | <u> ✓ </u> |
| 9. Existing landscaping that will be retained and proposed landscaping shall be differentiated and shown on the plan. The type, size, number, and spacing of all plantings and other landscape features must be illustrated; | 9. <u> X </u> | <u> ✓ </u> |
| 10. Identify photograph location; | 10. <u> </u> | <u> </u> |
| 11. Location of all existing and proposed building on the site | 11. <u> X </u> | <u> ✓ </u> |
| 12. Location of all existing (to remain) and proposed lighting standards. | 12. <u> X </u> | <u> ✓ </u> |
| 13. Provide breakdown of parking spaces required and spaces provided (see COG 1163); | 13. <u> X </u> | <u> ✓ </u> |

14. Provide interior landscaping breakdown for paved surface (5% of paved surface required to be landscaped with one (1) tree per 100 square feet, see COG 1163)

14. X /

15. Provide lot coverage breakdown of building and paved surface areas.

15. X /

B. Elevations. Complete elevation from all sides of all proposed construction labeled North, South, East and West and related elevations of existing structures (if any) are required containing the following information:

- 1. Scale;
- 2. Changes in ground elevation;
- 3. All signs to be mounted on the elevations;
- 4. Designation of the kind, color, and texture of all primary materials to be used;
- 5. Fenestration, doorways, and all other projecting and receding elements of the building exterior.

1. X /
 2. X /
 3. X /
 4. X /
 5. X /

C. Optional requirements at discretion of Planning Commission.

- 1. Scale model.
- 2. Section Profiles.
- 3. Perspective drawing.

1. _____
 2. / _____
 3. _____

D. Material Samples. Material samples are required for all exterior materials. For presentation purposes, a narrative description is required for Planning Commission file.

D. _____

E. Lighting Standard Drawing. A scaled drawing of the proposed lighting standard(s) is required and should contain the following information:

- 1. All size specifications;
- 2. Information on lighting intensity (number of watts, isofootcandle diagram, etc., at least 1/2 foot candles required);
- 3. Materials, colors, and manufacturer's cut sheet;
- 4. Ground or wall anchorage details.

1. X ✓
 2. X ✓
 3. X ✓
 4. X ✓



CITY OF GAHANNA

Agreement to Construct as Approved

Your signature below affirms that, as the contractor/applicant Robert G. Deitz
(Please print - Contractor/Applicant Name)

_____ for, O'Reilly Automotive Stores, Inc.
(Business Name and/or Address)

the above named project will be built as approved and specified by the City of Gahanna Planning & Zoning Administrator (or Designee). As the contractor or applicant, you also agree that any proposed change to the approved plans must be reported to the Planning and Zoning Administrator. Significant changes to the project, as determined by the Planning and Zoning Administrator, must be approved.

Contractor/Applicant

Signature *Robert G. Deitz*

(Please sign)

Date 11/19/15

Fredena L. Williams

(Signature of Notary)

11/19/15

(Date)



Fredena L. Williams
Notary Public, State of Ohio
My Commission Expires 06-28-2017

Stamp/Seal

Planning Commission

Information for All Applicants


1. All required information must be submitted with the application. No application will be forwarded to Planning Commission until all information is received in the Planning & Zoning Office. The Public Hearing Date will be provided by the Planning and Zoning Office once the completed application is provided.
2. It is the responsibility of the applicant to have a court reporter present, at the applicant's expense, if they wish to have a verbatim transcript of the meeting. Council office must be advised in advance if a court reporter is going to be present. Please call 614-342-4090 to make this request.
3. Reduced drawings suitable to an 11x17 inch size must be submitted. If an application is amended at any time during the process, a new reduced drawing must be submitted as well as any full size drawings requested.
4. Agendas will be mailed (or mailed upon request) to the applicant on the Friday prior to the Planning Commission meeting. If the agenda is to go to someone in addition to the applicant, their contact information (including email address) must be provided on the application and noted as an additional contact.
5. If a list of Contiguous Property owners needs to be submitted with an application, it must be compiled in a list on a separate sheet of paper. This must include mailing name and address of each property owner. Listing them only on one of the plan sheets is not acceptable. As well, preprinted mailing labels must be provided.
6. For Design Review applications, a materials list, unless otherwise instructed by the Planning & Zoning Administrator, must be submitted with the application. If materials are changed during the process, then a new materials list must be submitted.
7. For Multi-tenant ground sign & Master Sign Plan applications, location must be noted on a site plan. Also notate location on site plan for a freestanding sign or on building elevation for a wall sign. Color renderings must be submitted.
8. Please review "Submission Requirements" on any application before submitting to the Planning & Zoning Division.
9. Copies of specific sections of the zoning code are available in the Zoning Office at no charge. The entire zoning code with a map is available in the Council Office at a cost of \$25.00. Zoning Code is available on line and can be found @ www.conwaygreene.com under municipal codes.
10. Planning Commission members may visit the property prior to the hearing to review the application.

* REFER TO EXTERIOR MATERIAL SCHEDULE, ATTACHED.

MATERIAL LIST

| Item | Manufacturer Name | Color Name | Color Number |
|------------------------|-------------------|------------|--------------|
| Awnings | | | |
| Brick | | | |
| Gutters and Downspouts | | | |
| Lighting | | | |
| Roofing | | | |
| Siding | | | |
| Signs | | | |
| Stucco | | | |
| Trim | | | |
| Windows | | | |

EXTERIOR FINISH SCHEDULE

| TYPE: | COMPANY TYPE: | COLOR: |
|---|--|--|
| <p>STANDARD CONCRETE MASONRY UNIT (C.M.U.)</p> <p>SPLIT FACE (8" X 8" X 16" NOM.) *PROVIDE FULL 8" FACE AT ALL CORNERS</p> <p>COURSE: RUNNING</p> | PER LOCAL SUPPLIER | <p>SHERWIN WILLIAMS PAINT (1) COAT S-W PREPRITE BLOCK FILLER B25W25 (NO LESS THAN 8 MILS) (2) COATS S-W CONFLEX XL SMOOTH ELASTOMERIC A5-400 (NO LESS THAN 5.7 MILS EACH COAT)</p> <p>COLD WEATHER APPLICATIONS: SHERWIN WILLIAMS PAINT (1) COAT S-W LOXON BLOCK SURFACER (NO LESS THAN 8 MILS) (2) COATS S-W ULTRACRETE SOLVENT BORNE SMOOTH B46 (NO LESS THAN 8 MILS EACH COAT OR 16 MILS TOTAL)</p> <p>ACCENT COLOR: EQUAL TO SOFTER TAN SW 6141</p> <p>FIELD COLOR: EQUAL TO LATTE SW 6108 (INDICATED BY SHADING: )</p> |
| EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) | DRYVIT - OUTSULATION PLUS MD SANDBLAST FINISH | SW 6871 POSITIVE RED ORAP011030S WITH DRYVIT STRATOTONE HIGH PERFORMANCE COLORANT (FACTORY MIXED ONLY) |
| STOREFRONT (NO SUBSTITUTES) | EFCO | IVY |
| | KAWNEER | DARK IVY |
| | VISTA WALL | INTERSTATE GREEN |
| BOLLARDS | IN FIELD | SHERWIN WILLIAMS SW 6468 HUNT CLUB EXTERIOR SEMI -GLOSS LATEX |
| EXTERIOR DOORS OVERHEAD DOOR | IN FIELD | FACTORY PRIME FIELD PAINTED SW 6108 LATTE |
| SHEET METAL CAP FLASHING AT E.I.F.S. | BY METAL BUILDING MFG'R FIELD BROKEN FACTORY PRIME FIELD PAINTED | SHERWIN WILLIAMS SW 6871 POSITIVE RED (VERIFY MIX BELOW MATCHES E.I.F.S. COLOR) CLEAR COAT-DIAMOND CLAD CLEAR COAT URETHANE B65T105/B65V105/B65C105-- 3 COMPONENT |
| PRE - FINISHED SHEET METAL CAP FLASHING | BY METAL BUILDING MFG'R FIELD BROKEN | COOL BIRCH WHITE |
| SHEET METAL CONDUCTOR HEADS AND DOWNSPOUT | PER LOCAL SUPPLIER | PRE-FINISHED MATCH SHERWIN WILLIAMS "LATTE" SW 6108 |
| EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) ACCENT BAND | DRYVIT - OUTSULATION PLUS MD SANDBLAST FINISH | SHERWIN WILLIAMS COLOR: SW 6141 "SOFTER TAN" |
| PREFABRICATED METAL CANOPY | PER LOCAL SUPPLIER | POWDER COATED (MATCH SW 6468 "HUNT CLUB") |

PARKING CALCULATION

PROPOSED BUILDING AREA = 7,105 SQ-FT

1 SPACE FOR EACH 250 S.F. OF GROSS FLOOR AREA

$7,105/250 = 29$ SPACES REQUIRED

34 TOTAL SPACES PROVIDED

LOT COVERAGE CALCULATION

SITE AREA = 33,868 sq-ft

SITE AREAS

BUILDING = 7,105 sq-ft

PARKING = 16,774 sq-ft

UNCOVERED LAND = 9,989 sq-ft

COVERAGE REQUIREMENTS:

Principal buildings and associated buildings shall not exceed fifty percent (50%) of total lot coverage. An additional twenty-five percent (25%) of lot coverage may be used for driveways and parking areas. This provides a maximum lot coverage allowance of seventy-five percent (75%).

PROPOSED LOT COVERAGE:

BUILDING: $7,105 \text{ sq-ft} / 33,868 \text{ sq-ft} \times 100\% = 21\% < 50\%$

PARKING: $16,774 \text{ sq-ft} / 33,868 \text{ sq-ft} \times 100\% = \underline{50\%}$

Total Impervious = 71%

LANDSCAPING CALCULATION

Zoning: CC – Community Commercial

Minimum Interior Landscaping Requirements:

5%: $15556 \text{ SF PARKING LOT} \times 0.05 = 778 \text{ SF}$

LANDSCAPING PROVIDED:

Parking Lot Landscaping – 1251 SF

Total Site Landscaping – 15,013 SF

STREET TREES

PAY TO THE CITY \$10.00 PER L.F. OF STREET FRONTAGE IN LIEU OF STREET TREES. PAYMENT = $126 \text{ LF} \times 10 = \$1,260.00$

Existing Conditions

The site is located at 403 Agler Road inside the city limits of Gahanna, Franklin County, Ohio.





AUTO PARTS

New O'Reilly Auto Parts Store
403 AGLER ROAD
GAHANNA, OHIO
PV-377

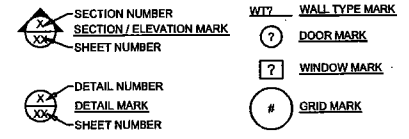
RECEIVED
 Jan 21 2016
 BY: SW
 BUDDY D. WEBB
 No. 13720
 REGISTERED PROFESSIONAL ENGINEER

SHEETS BEARING THIS SEAL ARE AUTHENTICATED. RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS OR INSTRUMENTS ARE DECLINED.

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

| OCCUPANCY LOAD SUMMARY | | | | |
|-------------------------------|------------------|------------|-------------------|--------------------|
| MARK | ROOM | AREA | AREA PER OCCUPANT | OCCUPANTS PER AREA |
| 100 | PARTS AREA * A * | 3,023 S.F. | 30 S.F. | 101 |
| 101 | PARTS AREA * B * | 1,627 S.F. | 300 S.F. | 5 |
| 102 | OFFICE | 72 S.F. | 100 S.F. | 1 |
| 105 | PARTS AREA * C * | 1,877 S.F. | 300 S.F. | 6 |
| TOTAL BUILDING OCCUPANCY LOAD | | | | 113 |

SYMBOLS LEGEND



ABBREVIATIONS LEGEND

| | |
|---|------------------------------|
| AFB ABOVE FINISHED FLOOR | INSL INSULATE |
| AC ACROSTICAL | INT INTERIOR |
| ACR AIR CONDITIONING | JST JOIST |
| ALT ALTERNATE | JZ JOINT |
| AL ALUMINUM | JN JOIN |
| ALUM ALUMINUM | KT KITCHEN |
| AB ANCHOR BOLT | LH LEFT HAND |
| ARCH ARCHITECT (RURAL) | LF LINEAL FOOT |
| BASMT BASEMENT | LTL LENGTH |
| BRG BEARING | LL LIVE LOAD |
| BRI BRICK MARK | MACH MACHINE |
| BLK BLOCK | MAN MANHOLE |
| BLOC BLOCKING | MFR MANUFACTURER |
| BD BOARD | MAS MASONRY |
| BW BOTH WAYS | MOP MAXIMUM OPENING |
| BT BOTTOM | MAX MAXIMUM |
| BTM BOTTOM OF FOOTING | MCH MECHANICAL |
| BSF BOTTOM OF FOOTING | MED MEDIUM |
| BRK BRICK | MOD MODIFIED BETWEEN ROOFING |
| BLDG BUILDING | MTL METAL |
| BUR BUILT-UP ROOFING | MTR METERS |
| CAB CABINET | MW MILKWORK |
| CLG CEILING | MIS MISCELLANEOUS |
| CL CENTER LINE | MNT MOUNTED, (RNG) |
| CC CENTER OF CENTER | NOM NOMINAL |
| CLM COLUMN | N NORTH |
| CONC CONCRETE | NC NOT IN CONTRACT |
| CMU CONCRETE MASONRY UNIT | NIS NOT TO SCALE |
| CONST CONSTRUCTION | OC ON CENTER |
| CONTR CONTRACTOR | OP OPENS |
| CONT CONTINUOUS | OPH OPPOSITE HAND |
| CHTR COUNTER FLASHING | OD OUTSIDE DIAMETER |
| CFL COUNTER FLASHING | OUT OUT TO OUT |
| CRK COUNTERSUNK | OH OVERHEAD |
| CRS CURSED | PC PIECE |
| CF CURB FOOT | PNT PAINTED |
| CY CURB YARD | PTD PAINTED |
| DL DEAD LOAD | PNR PAVING |
| DSM DISASSEMBLY DISMOUNTION | PLAM PLASTIC LAMINATE |
| DTL DETAIL | PLA PLANK |
| DIAG DIAGONAL | PLY PLYWOOD |
| DNM DIAMETER | PVC POLYVINYL CHLORIDE |
| DN DIMENSION | PSF POUNDS PER SQUARE FT. |
| DR DOOR | PSI POUNDS PER SQUARE IN. |
| DS DOWN SPOUT | PT PRESSURE TREATED |
| D DRAIN | PL PROPERTY LINE |
| DRW DRAWING | REB REMOVE |
| DF DRINKING FOUNTAIN | RET RETURN |
| E EAST | RH RIGHT HAND |
| EFA EXTERIOR INSULATION AND FINISH SYSTEM | RD ROOF DRAIN |
| ELEC ELECTRICAL | RFG ROOFING |
| EWG ELECTRIC WATER COOLER | RO ROUGH OPENING |
| EL ELEVATION | RNT SEALANT |
| ELEV ELEVATION | SMT SEALANT |
| EMER EMERGENCY | SECT SECTION |
| EQ EQUAL | SHNG SHEATHING |
| EQX EXISTING | SHT SHEET |
| EXPT EXISTING | SM SIMILAR |
| EXT EXPOSED | SC SOLID CORE |
| EXT EXTERIOR | SF SQUARE FOOT |
| FF FACE OF FINISH | SI SQUARE YARD |
| FOM FACE OF MASONRY | STD STANDARD |
| FOS FACE OF STUDS | STO STORAGE |
| FR FINISHED | SUB SUSPENDED |
| FRE FINISHED FLOOR ELEV. | SYM SYMMETRY, (CAL) |
| FRM FINISHED FLOOR LINE | TEL TELEPHONE |
| FE FIRE EXTINGUISHER | TV TELEVISION |
| FEC FIRE EXTINGUISHER CABINET | TV THICKNESS |
| FT FIRE TREATED | T&G TONGUE & GROOVE |
| FLR FLOOR | TM TOP OF MASONRY |
| FLR FLOOR DRAIN | TM TOP OF MASONRY |
| FTD FOOTING | TS TOP OF STEEL |
| FDN FOUNDATION | TOS TOP OF STEEL |
| FRM FRAMED | TW TOP OF WALL |
| FUR FURRED | TY TOP OF WALL |
| GA GAUGE | TY TYPICAL |
| GV GALVANIZED | UNP UNLESS OTHERWISE NOTED |
| GALV GALVANIZED | UNP UNLESS OTHERWISE NOTED |
| GC GENERAL CONTRACTOR | UNP UNLESS OTHERWISE NOTED |
| GL GLASS GLAZING | VERT VERTICAL |
| GP GYPSUM | VT VERTICAL |
| GYP GYPSUM | WBC WATER BASED |
| GWB GYPSUM WALL BOARD | WCS WATER CLOSET |
| HNG HEATING | WEL WELDED WIRE FABRIC |
| HVAC HEATING/VENTILATING/ACR. COND. | W WIDE |
| HT HEIGHT | W WIDE |
| HC HOLLOW CORE | WN WINDOW |
| HM HOLLOW METAL | WO WITHOUT |
| HK HOOKS | WO WITHOUT |
| HOR HORIZONTAL | WO WITHOUT |
| HB HOSE BIBB | WO WITHOUT |
| INS INSULATED, (50%) | WO WITHOUT |

OWNER OR TENANT

O'REILLY AUTOMOTIVE STORES, INC. A MISSOURI CORPORATION
 (FORMERLY KNOWN AS O'REILLY AUTOMOTIVE, INC.)
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 417-862-2674 PHONE

BIDDING INFORMATION

WWW.IPDSERVICES.NET/CLIENTS/O'REILLY

*REFER TO CURRENT PROJECTS LIST, LOCATED AT BOTTOM OF SIGN IN PAGE, FOR INVITED GENERAL CONTRACTORS.

ALL SUB-CONTRACTOR BIDS TO BE SUBMITTED TO INVITED GENERAL CONTRACTORS ONLY.

CONTACT OWNERS REPRESENTATIVE FOR PROJECT INFORMATION:

JEREMY BASS
 PROJECT ADMINISTRATOR
 417-862-2674
 EXT. 2949

BUILDING CODE

BUILDING OFFICIAL CONTACT NUMBER: (614) 342-4025
 COUNTY: FRANKLIN COUNTY
 ZIP CODE: 43230

GOVERNING CODES AND ORDINANCES
 BUILDING CODE: 2011 OBC (2009 IBC)
 PLUMBING CODE: 2011 OPC (2009 IPC)
 MECHANICAL CODE: 2011 OMC (2009 IMC)
 ELECTRICAL CODE: 2011 NEC - NFPA 70
 FIRE CODE: 2011 OFC (2009 IFC)
 ENERGY CODE: 2009 IECC
 AMENDING ORDINANCE: CITY OF GAHANNA

USE GROUP & CONSTRUCTION TYPE
 USE GROUP: M (MERCANTILE)
 CONSTRUCTION TYPE: II-B (NON-COMBUSTIBLE / UNPROTECTED)

SHEET INDEX

| SHEET NUMBER | SHEET NAME |
|--------------|----------------------------------|
| T1 | COVER SHEET |
| SV1 | SITE SURVEY (FOR REFERENCE ONLY) |
| D1 | DEMOLITION PLAN |
| L1 | LANDSCAPE PLAN |
| L2 | LANDSCAPE DETAILS |
| L3 | IRRIGATION PLAN |
| S1 | STRUCTURAL NOTES |
| S2 | FOUNDATION PLAN |
| S3 | FOUNDATION DETAILS |
| S4 | FOUNDATION DETAILS |
| S5 | FRAMING PLAN |
| S6 | FRAMING DETAILS |
| S7 | FRAMING DETAILS |
| A1 | FLOOR PLAN |
| A2 | DOOR AND WINDOW SCHEDULE |
| A3 | EXTERIOR ELEVATIONS |
| A4 | WALL SECTIONS |
| A4.1 | WALL SECTIONS |
| A4.2 | WALL SECTIONS |
| A5 | INTERIOR ELEVATIONS |
| F1 | FINISH PLAN |
| SP1 | SITE LIGHTING PHOTOMETRICS |
| P1 | PLUMBING PLAN |
| P2 | PLUMBING DETAILS |
| M1 | HVAC PLAN |
| M2 | HVAC SCHEDULES |
| E1 | LIGHTING PLAN |
| E2 | POWER PLAN |
| E3 | ELECTRICAL SCHEDULES |
| VS1 | VENSTAR SURVEYOR |
| VS2 | VENSTAR O'REILLY DETAILS |
| VS3 | VENSTAR SURVEYOR - SOW |

ARCHITECT

Buddy D. Webb
 Architect - Consultant
 3057 East Cairo Springfield, Missouri 65802
 (417) 877-1385
 (417) 877-8736 (FAX)

MECH. / ELEC. ENGINEER

3855 S. JEFFERSON AVE.
 SPRINGFIELD, MO 65807
 P: 417.882.2200
 F: 417.882.1188
 WWW.SMITHGOTH.COM

STRUCTURAL ENGINEER

JS Smith Consulting Engineers, P.C.
 P.O. Box 8102 * JOPLIN, MISSOURI 64802
 PHONE: 417-824-0444 * FAX: 417-824-0430

CIVIL ENGINEER

BFW ENGINEERING & TESTING, INC.
 1219 DIUGUID MURRAY, KENTUCKY 42071
 270-759-7307
 FAX: 270-759-4950
 bdelitz@bfwengineers.com

GENERAL NOTES

A. CONTRACT ADMINISTRATION (LIMITED SERVICE): THE ARCHITECT AND/OR ENGINEER OF RECORD INDICATED HEREIN ARE PROVIDING A LIMITED SERVICE AND NOT PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT WHICH IS THE RESPONSIBILITY OF OTHERS. THE ARCHITECT AND/OR ENGINEER ARE NOT RESPONSIBLE FOR FIELD ACTIVITIES ON THIS PROJECT WITHOUT DIRECT INSPECTION OF THE WORK IN PROGRESS. IF FIELD CONDITIONS ARE UNCOVERED THAT REQUIRE A CHANGE OR ADDITIONAL INFORMATION, THE ARCHITECT AND/OR ENGINEER DOES NOT DELEGATE AUTHORITY TO ANYONE ELSE FOR DETERMINING THE MEANING OF PLANS OR SPECIFICATIONS AS AUTHENTICATED HEREIN.

B. QUALITY STANDARDS AND BUILDING CODES: CONTRACTORS SHALL BE RESPONSIBLE FOR KNOWING THE QUALITY AND PUBLIC SAFETY REGULATIONS SET FORTH IN THE GOVERNING CODES AND OTHER APPLICABLE REGULATIONS OF LOCAL AND STATE AGENCIES HAVING JURISDICTION WHICH GOVERN EACH CONTRACTOR'S WORK.

C. EXISTING CONDITIONS: FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING WORK. NOTIFY THE ARCHITECT AND/OR ENGINEER OF RECORD IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.

ZONING CODE

ZONING CLASSIFICATION: CC (COMMUNITY COMMERCIAL) (REFER SURVEY)
 PROPERTY AREA:
 PARKING SUMMARY
 PARKING FORMULA: 1 SP. PER 250 SQ. FT. GFA
 SPACE SIZE: 9' x 19'
 SPACES REQUIRED: 30
 SPACES PROVIDED: 34
 H.C. SPACES PROVIDED: 2

AREA MODIFICATIONS
 FRONTAGE INCREASE: NOT APPLIED
 AUTOMATIC SPRINKLER INCREASE: NOT PROVIDED

ALLOWABLE HEIGHT & BUILDING AREA
 NO. STORIES: 2 STORIES
 AREA: 12,500 SQ. FT.

ACTUAL HEIGHT & BUILDING AREA
 NO. OF STORIES: 1 STORY
 BUILDING HEIGHT: 18'-0"
 GROSS BUILDING AREA: 7,105 SQ. FT.

FIRE PROTECTION SYSTEMS
 AUTOMATIC SPRINKLER SYSTEM: NOT REQUIRED
 PORTABLE FIRE EXTINGUISHERS: REQUIRED
 FIRE ALARM SYSTEM: NOT REQUIRED
 AUTOMATIC FIRE DETECTION SYSTEM: NOT REQUIRED

STRUCTURAL DESIGN (REFER TO STRUCTURAL DRAWINGS)
 1. LIVE LOADS
 ROOF (1/4"12): 20 PSF

2. COLLATERAL LOADS
 ROOF: 2.5 PSF

3. SNOW LOADS: $C_e = 1.0$ $C_t = 1.0$
 GROUND LOAD (Pg): 20 PSF
 MINIMUM ROOF SNOW LOAD (Ps): 20 PSF
 IMPORTANCE FACTOR (Is): 1.0

4. WIND LOADS
 BASIC WIND SPEED: $V_{50} = 90$ MPH
 EXPOSURE: B
 IMPORTANCE FACTOR (Iw): 1.0

5. SEISMIC
 Ss: 0.145
 S1: 0.058
 Sds: 0.155
 Sd1: 0.093
 IMPORTANCE FACTOR (Ib): 1.0
 SITE CLASS (GEOTECHNICAL REPORT): D
 DESIGN CATEGORY: B

6. BUILDING LATERAL DEFLECTION LIMITS:
 MAX. ROOF SNOW OR LIVE LOAD DEFLECT.: SPAN/240
 MAX. ROOF TOTAL LOAD DEFLECT.: SPAN/180
 MAX. METAL BUILDING LATERAL DEFLECT.: HEIGHT/150
 MAX. METAL BUILDING HORIZONTAL GIRT.: SPAN/240

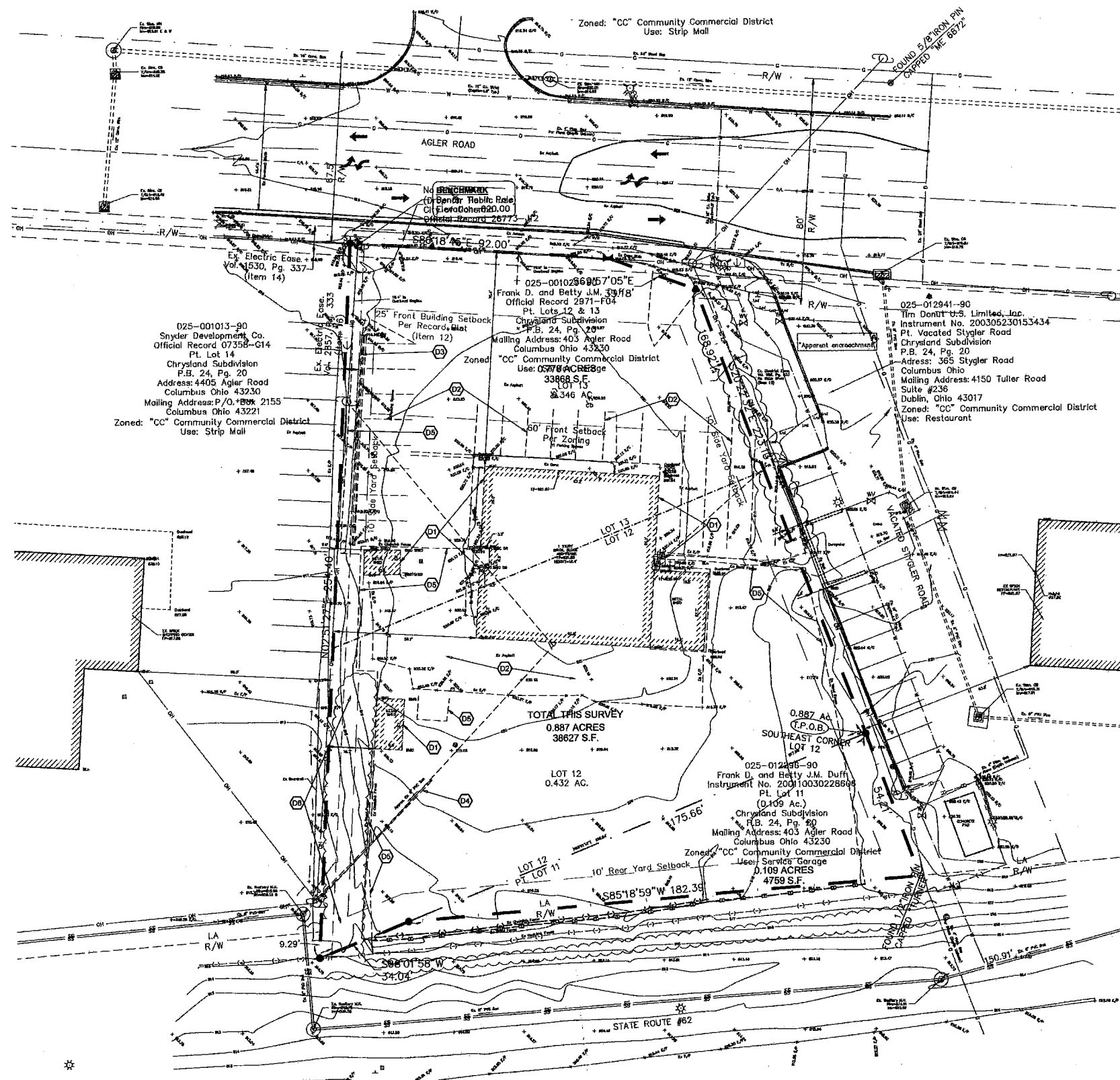
PROJECT: PV-377
 NEW O'REILLY AUTO PARTS STORE
 403 AGLER ROAD
 GAHANNA, OHIO
COVER SHEET

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1 DEMOLITION PLAN
 D1 SCALE: 1" = 20'



GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. REMOVE ALL EXISTING SITE CONSTRUCTION AND DELETERIOUS MATERIALS UNLESS OTHERWISE NOTED.
- D. REFER TO SITE UTILITIES PLAN FOR DEMOLITION OF EXISTING UTILITIES.
- E. ALL DEMOLISHED MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL UNLESS OTHERWISE NOTED.

KEY NOTES:

- (D1) EXISTING BUILDING, FOUNDATIONS, FOOTINGS AND ASSOCIATED UTILITIES TO BE REMOVED.
- (D2) EXISTING PAVING TO BE REMOVED FOR INSTALLATION OF NEW CONSTRUCTION.
- (D3) EXISTING CURBING TO BE REMOVED FOR INSTALLATION OF NEW CONSTRUCTION.
- (D4) EXISTING SANITARY PIPE TO BE REMOVED. REFER TO SITE UTILITIES PLAN, SHEET SU1.
- (D5) EXISTING FENCE TO BE REMOVED.
- (D6) EXISTING TREES AND SHRUBS TO BE REMOVED AS REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION.

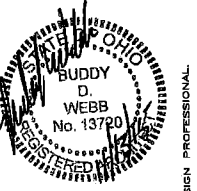
SPECIAL HAZARDOUS MATERIALS NOTE:

- 1. AN ENVIRONMENTAL ANALYSIS HAS BEEN PERFORMED ON THE EXISTING SITE. REFER TO PROJECT MANUAL.
- 2. THIS PROJECT CONTAINS HAZARDOUS MATERIALS CONTRACTOR IS TO PROVIDE PROPER HANDLING, REMOVAL AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

NOTE:
 PROTECT ALL TREES NOT TO BE REMOVED WITH ORANGE PRESERVATION FENCING



| SYMBOLS LEGEND | |
|---|------------------------------|
| REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND | |
| | EXISTING ITEMS TO BE REMOVED |



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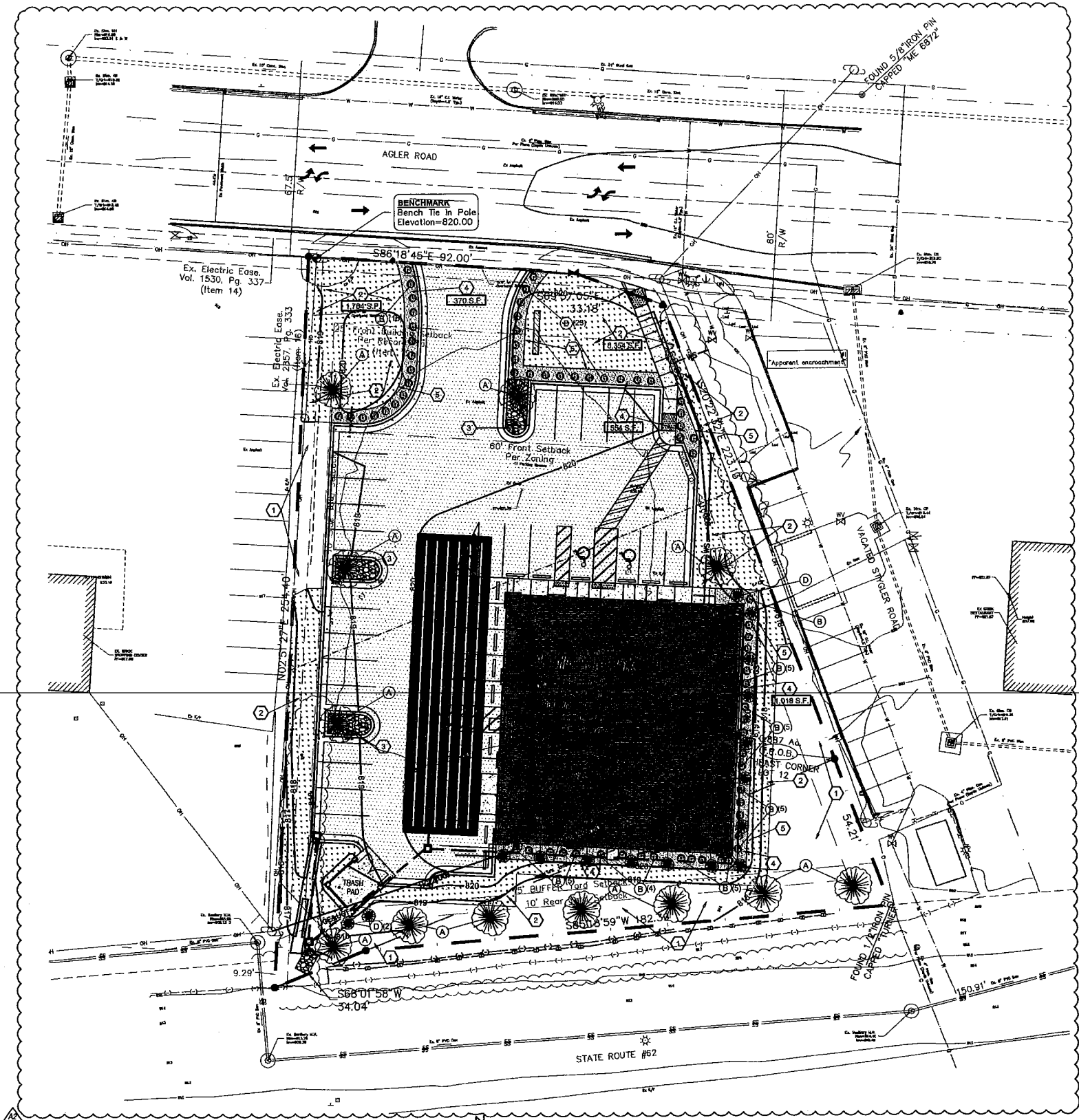
PROJECT: 06-037
NEW O'REILLY AUTO PARTS STORE
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1 LANDSCAPE PLAN
L1 SCALE: 1" = 20'



KEY NOTES:

- 1 HYDRO MULCH / SEED AND STRAW: (UNLESS NOTED OTHERWISE) ALL AREAS DISTURBED BY CONSTRUCTION ARE FIRST TO BE FINE GRADED AND THEN FOLLOWED BY HYDRO MULCH OR SEED AND STRAW OVER MIN. 4" TOPSOIL STOCKPILED FROM SITE OR HAULED IN AS REQUIRED.
- 2 AREA OF SOD: REFER TO DETAIL 1L2.
- 3 CREEK GRAVEL: REFER TO DETAIL 2L2.
- 4 4" MULCH LAYER: REFER TO PROJECT MANUAL FOR TYPES AND ADDITIONAL REQUIREMENTS.
- 5 LANDSCAPE EDGING: REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENT.

GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- D. ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS.
- E. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- F. PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- G. QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANTING SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON LANDSCAPING PLAN.
- H. PROVIDE 4" TOPSOIL AT ALL SOD, SEED AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. REFER TO CIVIL SITE GRADING PLAN FOR SLOPE REQUIREMENTS.
- I. WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHED OF THE LAWN OR THE INSTALLATION OF PLANT MATERIAL IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
- J. RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE RIGHT-OF-WAY.
- K. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- L. PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.

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Revised
BY: [Signature]

LANDSCAPE SYMBOLS LEGEND

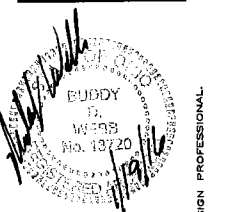
REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND

| | |
|-------------------------|---|
| [Solid Black] | NEW BUILDING CONSTRUCTION |
| [Dotted Pattern] | AREA OF CONCRETE |
| [Cross-hatch Pattern] | AREA OF PAVING |
| [Stippled Pattern] | AREA OF CREEK GRAVEL |
| [Diagonal Line Pattern] | AREA OF MULCH |
| [Dashed Line] | NEW SIGN LOCATION |
| [Solid Line] | NEW CONCRETE PAVING BLOCK |
| [Fan Shape] | NEW LIGHT POLE LOCATION |
| [X-X Pattern] | NEW FENCE CONSTRUCTION |
| [Dotted Pattern] | AREA OF SOD LAWN AREA WHICH EXCEEDS 25% SLOPE TO BE PROVIDED WITH SOD. REFER TO GRADING PLAN |
| [Tree Symbol] | AREA OF NEW TREE REFER TO PLANTING SCHEDULE FOR SIZE AND TYPE |
| [Shrub Symbol] | AREA OF NEW SHRUB REFER TO PLANTING SCHEDULE FOR SIZE AND TYPE |
| [9,000 S.F. Box] | AREA OF SOD OR MULCH IN SQUARE FOOTAGE |

PLANTING SCHEDULE

REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS
ALL PLANTINGS MAY BE SUBSTITUTED DUE TO REGION OR LOCAL REQUIREMENTS IF NECESSARY

| MARK | COMMON NAME | BOTANICAL NAME | QUANTITY | SIZE | DETAIL | NOTES |
|------|-------------------------|-----------------------------|----------|-----------------|--------|--------------------------|
| (A) | OCTOBER GLORY RED MAPLE | ACER RUBRUM 'OCTOBER GLORY' | 12 | 2" CALIPER MIN. | 3L2 | WELL BRANCHED, FULL HEAD |
| (B) | BLUE HOLLY | ERYNGIUM PLANUM | 69 | 3 GALLON MIX | 4L2 | FULL PLANT |
| (C) | EASTERN RED CEDAR | JUNIPERUS VIRGINIANA | 7 | 2" CALIPER MIN. | 5L2 | FULL PLANT |
| (D) | NORWAY SPRUCE | PICEA ABIES | 9 | 2" CALIPER MIN. | 5L2 | FULL PLANT |



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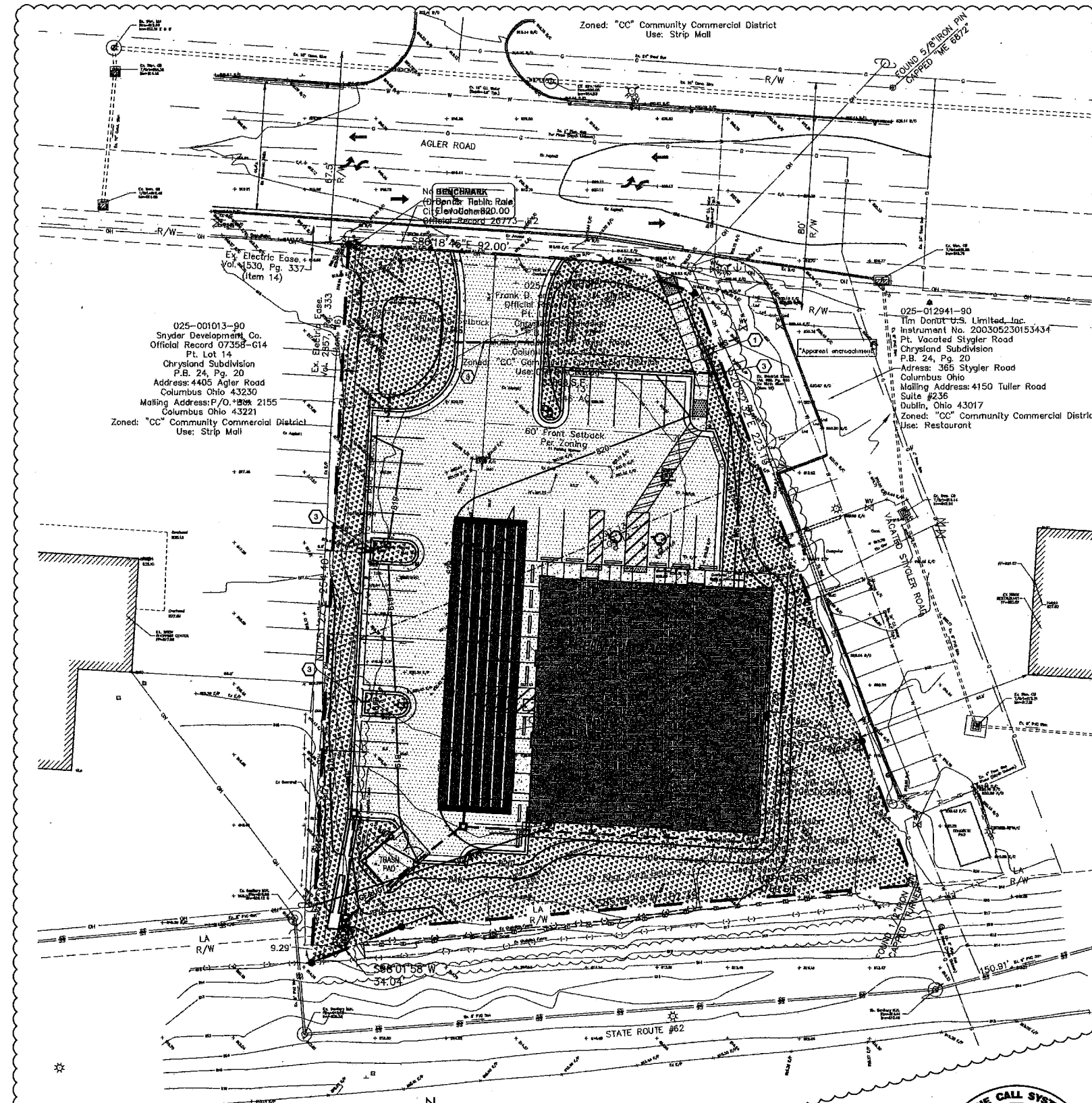
PROJECT: PV-377
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LANDSCAPE PLAN

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1 IRRIGATION COVERAGE PLAN

L3 SCALE: 1" = 20'



GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- C. PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.

COVERAGE DETAIL:

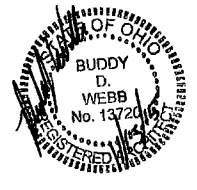
- 1. IRRIGATION HEAD SHALL BE PLACED TO PROVIDE 100% OVERLAP HEAD-TO-HEAD COVERAGE.
- 2. A RAIN SENSOR AND ANTI-FREEZE ASSEMBLY SHALL BE INSTALLED ON IRRIGATION SYSTEM.
- 3. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERABLE SYSTEM FOR THE IRRIGATION OF ALL LANDSCAPE PLANTING(S) AND DESIRED COVERAGE AREAS ON SITE.
- 4. THE IRRIGATION CONTRACTOR IS FULLY RESPONSIBLE FOR THE WORK UNTIL OWNER GIVES FINAL ACCEPTANCE.
- 5. NO WATER TO BE SPRAYED ON SIDEWALK, PARKING LOT, ROAD OR ADJACENT PROPERTY. ADJUST ARC AND RADIUS OF REQUIRED SPRINKLERS AS NEEDED.
- 6. ALL CIRCUIT PIPE IS TO BE CLASS 160 PVC OR HIGHER GRADE.
- 7. ALL MAIN FITTINGS SHALL BE REINFORCED WITH 2000PSI POURED CONCRETE THRUST BLOCKS.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE REQUIRED SYSTEM IN COMPLETE ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS. ANY MODIFICATION MADE AFTER INSTALLATION TO CONFORM WITH SAID CODES, LAWS AND ORDINANCES SHALL BE PERFORMED AT CONTRACTORS EXPENSE AT NO ADDITIONAL COST TO O'REILLY.

KEY NOTES:

- 1. APPROXIMATE LOCATION OF LAWN IRRIGATION METER WITH BACK FLOW PREVENTION PER CITY REQUIREMENTS. REFER TO SITE UTILITIES PLAN
- 2. IRRIGATION CONTROLLER LOCATION INSIDE OF BUILDING. PROVIDE FREEZE SENSOR AND RAIN SENSOR ON OUTSIDE OF BUILDING.
- 3. 4" DIAMETER SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT FOR ROUTING OF IRRIGATION SYSTEM. PROVIDE END CAPS AND PULL WIRE.

LANDSCAPE SYMBOLS LEGEND

| REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND | |
|---|---|
| | NEW BUILDING CONSTRUCTION |
| | AREA OF CONCRETE |
| | AREA OF PAVING |
| | AREA OF DESIRED IRRIGATION COVERAGE |
| | NEW SIGN LOCATION |
| | NEW CONCRETE PAVING BLOCK |
| | NEW LIGHT POLE LOCATION |
| | NEW FENCE CONSTRUCTION |
| | AREA OF NEW TREE REFER TO PLANTING SCHEDULE FOR SIZE AND TYPE |
| | AREA OF NEW SHRUB REFER TO PLANTING LEGEND FOR SIZE AND TYPE |



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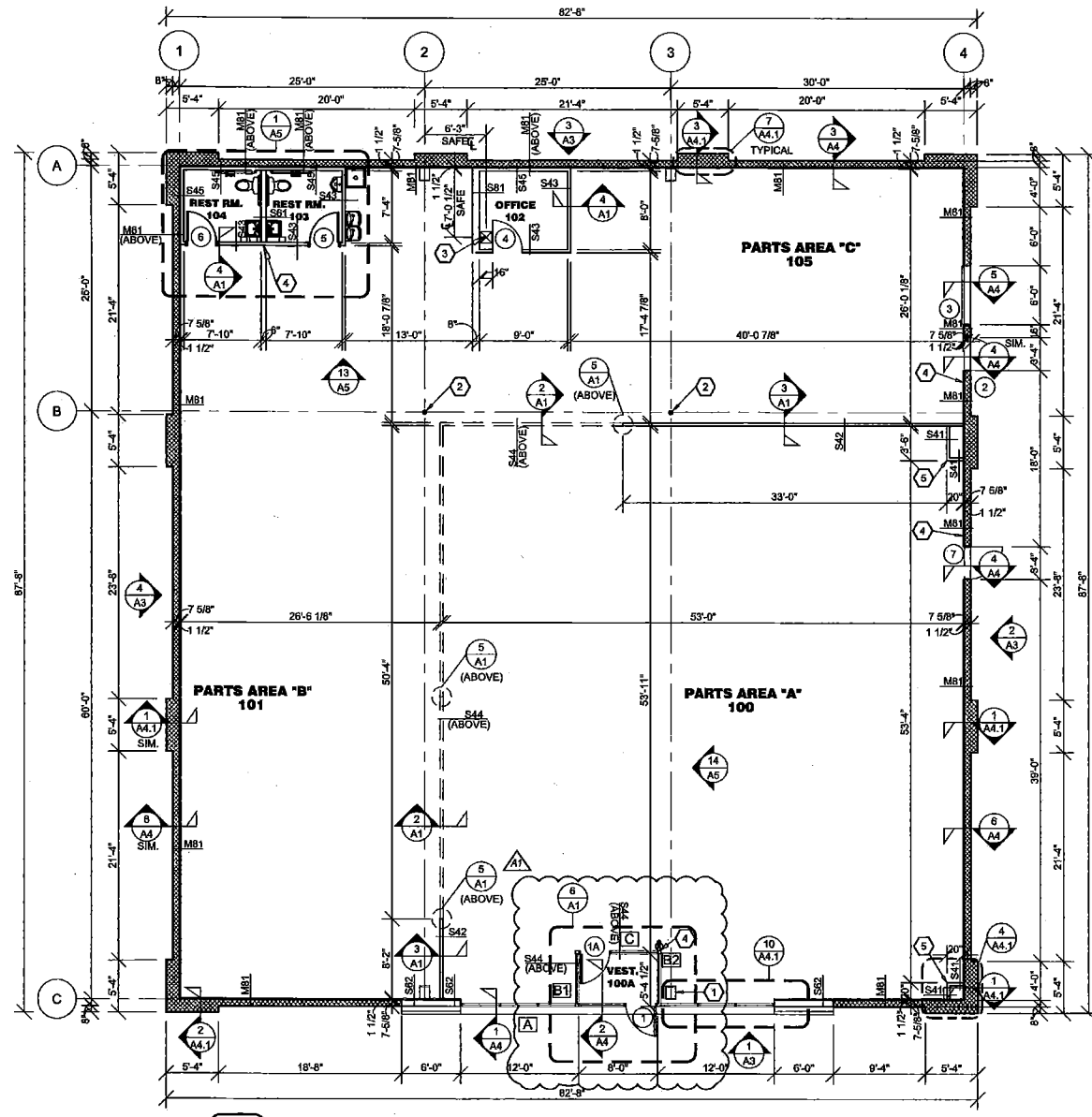
PROJECT: 67-377
NEW O'REILLY AUTO PARTS STORE
403 AGLER ROAD
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IRRIGATION PLAN

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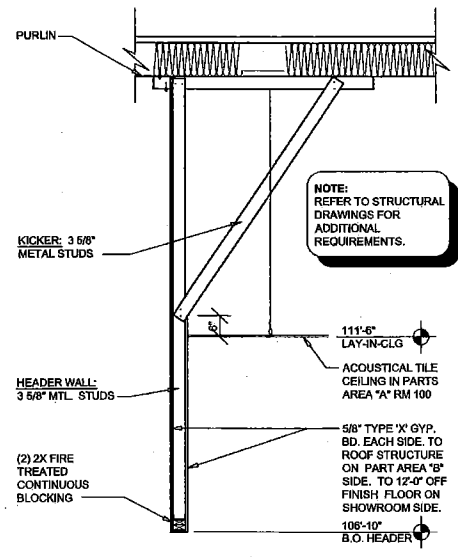
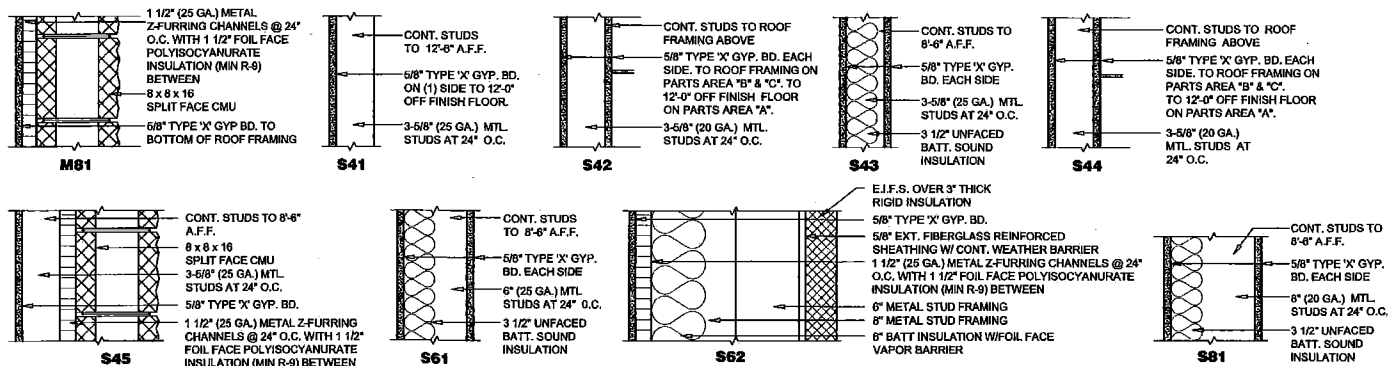
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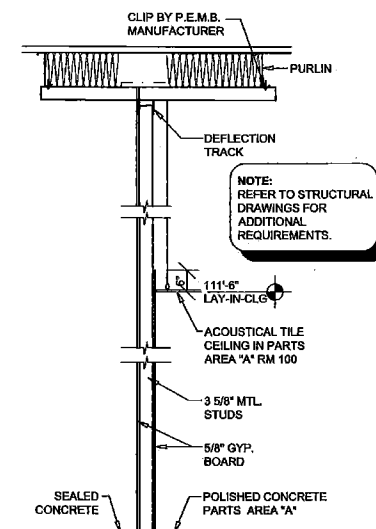
1 FLOOR PLAN
A1 SCALE: 1/8" = 1'-0"

WALL TYPES:

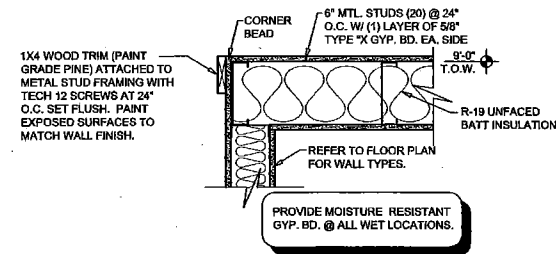
1. PROVIDE FIRE STOPPING AND FIRE SEALANT MATERIALS AS REQUIRED AT ALL RATED WALL CONSTRUCTION MATERIAL TRANSITIONS AND PENETRATIONS. RATING TO BE EQUAL TO RATED WALL ASSEMBLY.
2. PROVIDE DIAGONAL BACKING BRACING (3" X 16 GA. FLAT STRIP) AT CORNER FACES OF FREE STANDING PARTITION SYSTEMS.
3. PROVIDE MOISTURE RESISTANT TYPE "X" GYPSUM BOARD IN REST ROOMS.
4. PROVIDE "J" MOLDING REGLETS OR CORNER BEAD AT ALL DISSIMILAR WALL MATERIAL TRANSITIONS.
5. INSULATION SHALL HAVE A FLAME SPREAD RATING OF 0-25 AND A SMOKE DEVELOPMENT RATING OF 0-450.



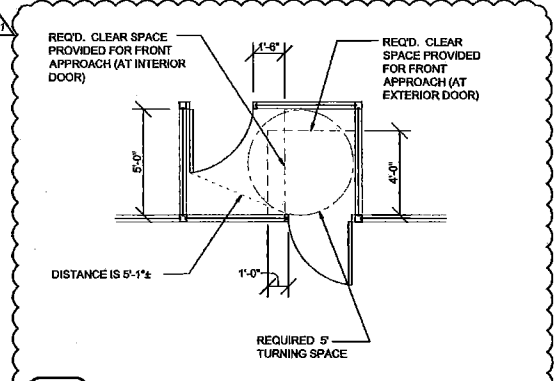
2 HEADER WALL SECTION
A1 SCALE: 1/2" = 1'-0"



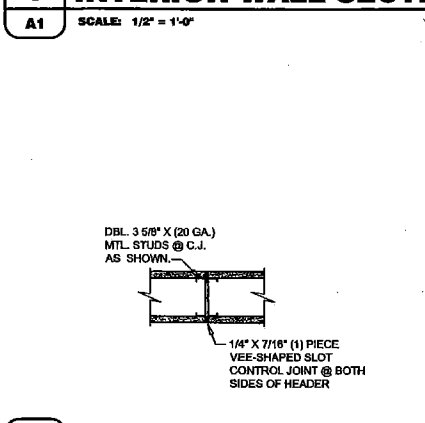
3 INTERIOR WALL SECTION
A1 SCALE: 1/2" = 1'-0"



4 WALL / CEILING SECTION
A1 SCALE: 1-1/2" = 1'-0"



6 VESTIBULE DETAIL
A1 SCALE: 1/4" = 1'-0"



5 GYP. BOARD C.J.
A1 SCALE: 1-1/2" = 1'-0"

GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. REFER TO P.E.M.B. DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- C. ALL DIMENSIONS TO ROUGH FACE OF ROUGH FRAMING, CONCRETE OR CENTERLINE OF STRUCTURE, UNLESS OTHERWISE NOTED. 3-5/8" METAL STUD INTERIOR PARTITION DIMENSIONS NOT SHOWN FOR CLARITY.
- D. REFER TO SHEET F1 FOR INTERIOR FINISH REQUIREMENTS AND OWNER FURNISHED AND INSTALLED FIXTURES AND EQUIPMENT.

KEY NOTES:

- 1 STEEL COLUMN: PER METAL BUILDING MFG. GC TO PROVIDE PRE-FINISHED BREAK METAL MATCHING ALUMINUM STOREFRONT FINISH AND COLOR WITH NO HORIZONTAL SEAM.
- 2 STEEL COLUMN: PAINT CUSTOM GREEN MIX BY GLIDDEN EXTERIOR SEMI GLOSS LATEX (REFER TO W-2 ON FINISH SCHEDULE).
- 3 FLOOR SAFE: OWNER FURNISHED AND CONTRACTOR INSTALLED. SIZE TO BE VERIFIED BY OWNER. PROVIDE 18" X 18" BLOCK OUT & DO NOT INSTALL UNTIL AFTER OFFICE GYP. BD. WORK HAS BEEN COMPLETE. REFER TO STRUCTURAL SHEETS FOR LOCATION.
- 4 FIRE EXTINGUISHER: MOUNT 42" ABOVE FINISHED FLOOR.
- 5 SHOWROOM CORNER: INSTALL PLYWOOD BACKING TO EACH FACE FROM 8'-0" TO 10'-0" A.F.F. FOR INSTALLATION OF SECURITY MIRRORS.

NOTE: THE BUILDING SHALL BE TESTED UPON COMPLETION TO ASSURE ADEQUATE EMERGENCY RESPONDER RADIO COVERAGE IS ACHIEVED. THIS TEST SHALL BE PERFORMED BY THE MIPLIN TOWNSHIP DIVISION OF FIRE.



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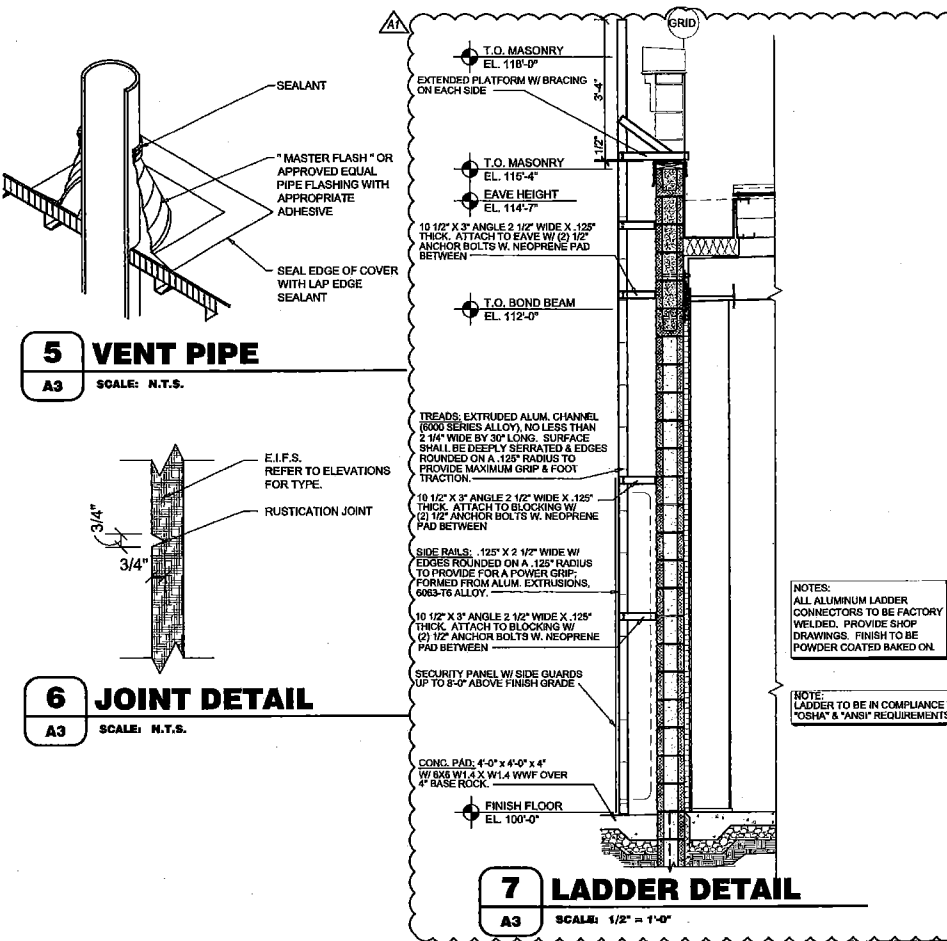
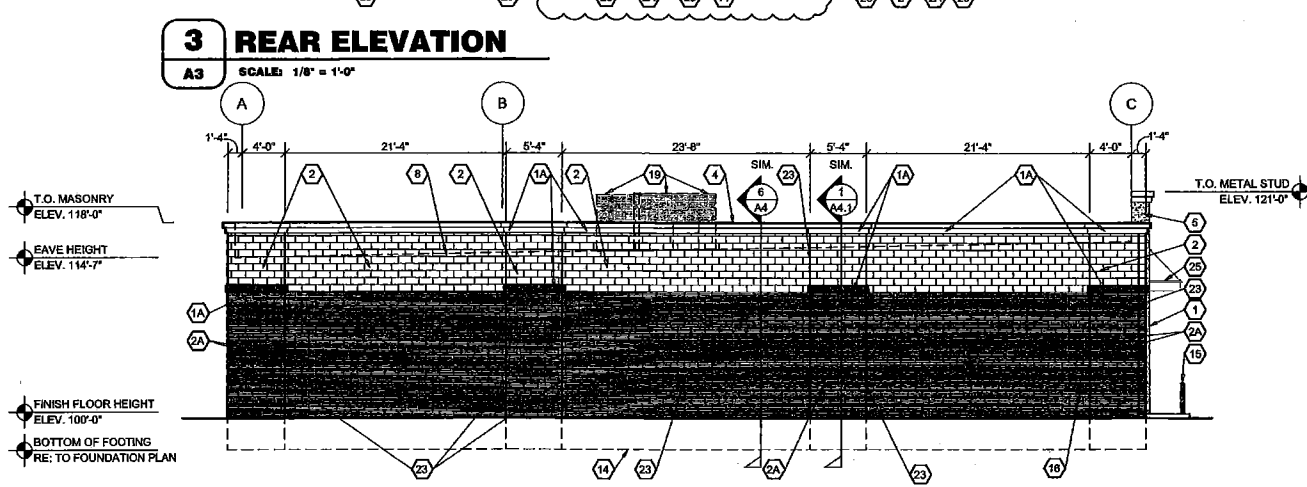
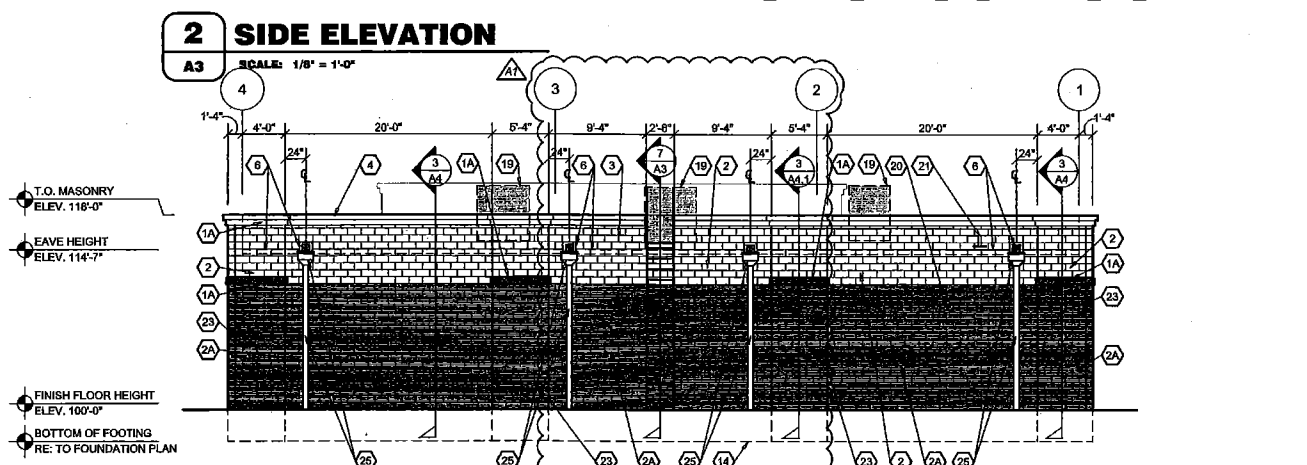
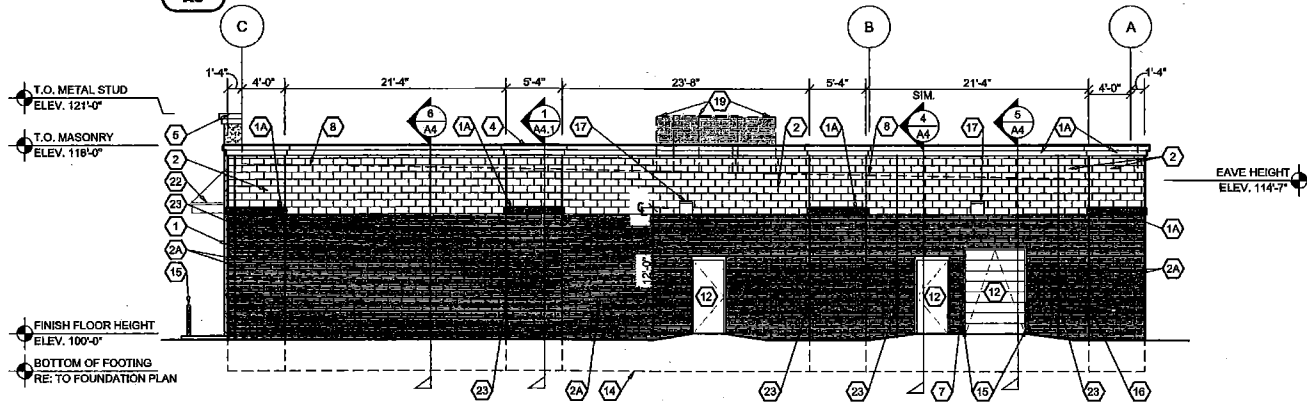
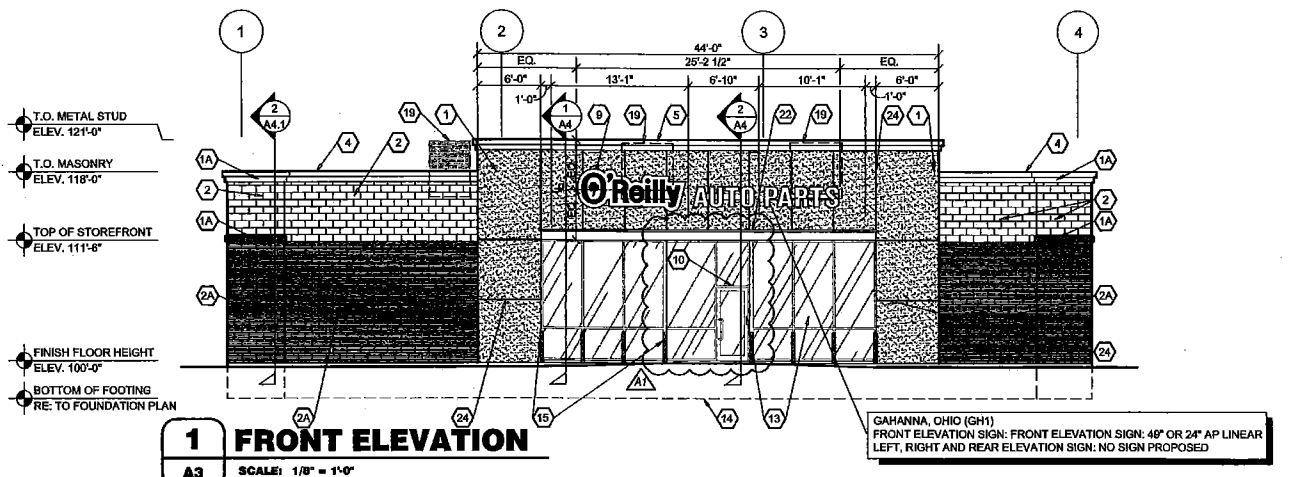
PROJECT PV-377
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FLOOR PLAN

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| EXTERIOR FINISH SCHEDULE | | |
|--|--|--|
| TYPE: | COMPANY TYPE: | COLOR: |
| STANDARD CONCRETE MASONRY UNIT (C.M.U.) SPLIT FACE (8" X 8" X 16" NOM.) "PROVIDE FULL 8" FACE AT ALL CORNERS" COURSE: RUNNING | PER LOCAL SUPPLIER | SHERWIN WILLIAMS PAINT (1) COAT S-W PREPARE BLOCK FILLER B2SW25 (NO LESS THAN 8 MILS) (2) COATS S-W CONFLX XL SMOOTH ELASTOMERIC A5-400 (NO LESS THAN 5.7 MILS EACH COAT) COLD WEATHER APPLICATIONS: SHERWIN WILLIAMS PAINT (1) COAT S-W LOXON BLOCK SURFACER (NO LESS THAN 8 MILS) (2) COATS S-W ULTRACRETE SOLVENT BORNE SMOOTH B46 (NO LESS THAN 8 MILS EACH COAT OR 16 MILS TOTAL) ACCENT COLOR: EQUAL TO SOFTER TAN SW 6141 FIELD COLOR: EQUAL TO LATTE SW 6108 (INDICATED BY SHADING: ■) |
| EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) | DRYVIT - OUTSULATION PLUS MD SANDBLAST FINISH | SW 6871 POSITIVE RED DRAP01030S WITH DRYVIT STRATOTONE HIGH PERFORMANCE COLORANT (FACTORY MIXED ONLY) |
| STOREFRONT (NO SUBSTITUTES) | EFCO | IVY |
| | KAWNEER | DARK IVY |
| | VISTA WALL | INTERSTATE GREEN |
| BOLLARDS | IN FIELD | SHERWIN WILLIAMS SW 6468 HUNT CLUB EXTERIOR SEMI-GLOSS LATEX |
| EXTERIOR DOORS OVERHEAD DOOR | IN FIELD | FACTORY PRIME FIELD PAINTED SW 6108 LATTE |
| SHEET METAL CAP FLASHING AT E.I.F.S. | BY METAL BUILDING MFG'R FIELD BROKEN FACTORY PRIME FIELD PAINTED | SHERWIN WILLIAMS SW 6871 POSITIVE RED (VERIFY MIX BELOW MATCHES E.I.F.S. COLOR) CLEAR COAT-DIAMOND CLAD CLEAR COAT URETHANE B65T105/B65V105/B65C105-3 COMPONENT |
| PRE-FINISHED SHEET METAL CAP FLASHING | BY METAL BUILDING MFG'R FIELD BROKEN | COOL BIRCH WHITE |
| SHEET METAL CONDUCTOR HEADS AND DOWNSPOUT SYSTEM | PER LOCAL SUPPLIER | PRE-FINISHED MATCH SHERWIN WILLIAMS "LATTE" SW 6108 |
| EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) ACCENT BAND | DRYVIT - OUTSULATION PLUS MD SANDBLAST FINISH | SHERWIN WILLIAMS COLOR: SW 6141 "SOFTER TAN" |
| PRE-FABRICATED METAL CANOPY | PER LOCAL SUPPLIER | POWDER COATED (MATCH SW 6468 "HUNT CLUB") |

- GENERAL NOTES:**
- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
 - REFER TO PRE-ENGINEERED METAL BUILDING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
 - REFER TO MECHANICAL / ELECTRICAL PLAN FOR SYSTEM TYPES AND LOCATIONS.
 - REFER TO SITE DEVELOPMENT PLANS FOR ADDITIONAL REQUIREMENTS.
- KEY NOTES:**
- EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.): REFER TO EXTERIOR FINISH SCHEDULE.
 - EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) ACCENT BAND: REFER TO FINISH SCHEDULE AND WALL SECTIONS.
 - MASONRY WALL CONSTRUCTION (ACCENT): REFER TO EXTERIOR FINISH SCHEDULE AND WALL SECTIONS.
 - MASONRY WALL CONSTRUCTION (FIELD): REFER TO EXTERIOR FINISH SCHEDULE AND WALL SECTIONS.
 - PRE-ENGINEERED METAL BUILDING SHEET METAL STANDING SEAM ROOF (BEYOND): BY PRE-ENGINEERED METAL BUILDING COMPANY.
 - PRE-FINISHED METAL CAP FLASHING: REFER TO EXTERIOR FINISH SCHEDULE.
 - PRE-ENGINEERED METAL CAP FLASHING: (AT EIFS) COLOR SHALL BE FIELD PAINTED SW 6871 POSITIVE RED.
 - PRE-ENGINEERED METAL BUILDING INTERNAL GUTTER AND THROUGH WALL SCUPPER SYSTEM: PRE-FINISHED, COLOR SHALL MATCH MASONRY FIELD COLOR.
 - CONCRETE MASONRY UNIT (CMU): SPLIT FACE HEAD AND JAMB UNITS.
 - LINE OF ROOF: DASHED LINE INDICATES LINE OF ROOF BEYOND WITH SLOPE OF 14" PER FOOT.
 - SIGN: APPROXIMATE OUTLINE OF SIGN. PROVIDE BLOCKING AS REQUIRED FOR MOUNTING OF SIGN. COORDINATE WITH SIGN COMPANY FOR EXACT SIGN PLACEMENT. OWNER FURNISHED AND INSTALLED LOGO. REFER TO SIGN PACKET INFORMATION FOR FURTHER DETAIL.
 - ADDRESS NUMBERS: 8" VINYL BY CONTRACTOR. COLOR TO BE WHITE.
 - NOT USED
 - DOOR AND FRAME: FIELD PAINT (REFER TO EXTERIOR FINISH SCHEDULE.)
 - STOREFRONT: (REFER TO FLOOR PLAN FOR WINDOW TYPES.)
 - LINE OF FOUNDATION: (REFER TO FOUNDATION PLAN.)
 - STEEL BOLLARDS: (3) TYPICAL AT STOREFRONT (2) AT O.H. DOOR LOCATION. (REFER TO EXTERIOR FINISH SCHEDULE AND FOUNDATION PLAN.)
 - HOSE BIB: (REFER TO PLUMBING PLAN)
 - LIGHT FIXTURE: (REFER TO ELECTRICAL PLAN)
 - (NOT USED)
 - ROOF TOP UNIT (BEYOND): APPROXIMATE LOCATION (REFER TO MECHANICAL PLAN FOR EXACT LOCATION)
 - MECHANICAL WALL PENETRATIONS: PROVIDE FRAMING, FLASHING, AND SEALANT AS REQUIRED. (REFER TO M.E.P. SHEETS)
 - ROOF PIPING VENT (BEYOND): REFER TO DETAIL 6A3.
 - PRE-FABRICATED METAL CANOPY SYSTEM: ANCHORED TO STRUCTURAL SYSTEM PER MANUFACTURER'S RECOMMENDATIONS. REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS. COORDINATE ROD LOCATIONS WITH SIGNAGE.
 - MASONRY CONTROL / EXPANSION JOINT: (MATCH MASONRY) PROVIDE SEALANT OVER 1/2" DIAMETER FOAM BACKER ROD. REFER TO STRUCTURAL DRAWINGS.
 - RUSTICATION JOINT: REFER TO DETAIL 6A3.
 - PRE-FINISHED SHEET CONDUCTOR HEAD AND DOWNSPOUT SYSTEM: PRE-FINISHED, COLOR SHALL MATCH MASONRY FIELD COLOR.

Buddy D. Webb
Architect - Consultant
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NEW O'REILLY AUTO PARTS STORE
403 AGLER ROAD
GAHANNA, OHIO

EXTERIOR ELEVATIONS

PROJECT: PV-377
DRAWN BY: EN
CHECKED BY: L.G., BDW
DATE: 06/04/15
REVISION: A.D. NO. 1 (11/11/15)
PROJECT NUMBER: GH1
SHEET NUMBER: A3

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Ordering Number Logic

Evolve™ LED Scalable Area Light (EASCI)

EAS C

| Code | Description |
|--------------|--------------|
| 1-150-277 | 1-150-277 |
| 1-150-277-1 | 1-150-277-1 |
| 1-150-277-2 | 1-150-277-2 |
| 1-150-277-3 | 1-150-277-3 |
| 1-150-277-4 | 1-150-277-4 |
| 1-150-277-5 | 1-150-277-5 |
| 1-150-277-6 | 1-150-277-6 |
| 1-150-277-7 | 1-150-277-7 |
| 1-150-277-8 | 1-150-277-8 |
| 1-150-277-9 | 1-150-277-9 |
| 1-150-277-10 | 1-150-277-10 |

| Model | Part No. | Beam Dia | Beam Length | Beam Weight | Beam Finish | Beam Mounting | Beam Material | Beam Color | Beam Voltage | Beam Current | Beam Power | Beam Lumens | Beam CRI | Beam Life | Beam Temp | Beam Notes |
|-------|-----------|----------|-------------|-------------|-------------|---------------|---------------|------------|--------------|--------------|------------|-------------|----------|------------|-----------|------------|
| K4251 | 150-277-1 | 3.5" | 2.5" | 0.25 lb | White | Thermal | Aluminum | White | 150V | 0.35A | 52.5W | 4000 lm | 90 | 50,000 hrs | 100°C | |
| K4252 | 150-277-2 | 3.5" | 2.5" | 0.25 lb | White | Thermal | Aluminum | White | 150V | 0.35A | 52.5W | 4000 lm | 90 | 50,000 hrs | 100°C | |

Notes: 1. All dimensions are nominal. 2. Weight is approximate. 3. Beam length is based on standard mounting. 4. Beam weight is based on standard mounting. 5. Beam finish is standard. 6. Beam mounting is standard. 7. Beam material is standard. 8. Beam color is standard. 9. Beam voltage is standard. 10. Beam current is standard. 11. Beam power is standard. 12. Beam lumens is standard. 13. Beam CRI is standard. 14. Beam life is standard. 15. Beam temp is standard.

ORDERING INFORMATION

| Model | Part No. | Beam Dia | Beam Length | Beam Weight | Beam Finish | Beam Mounting | Beam Material | Beam Color | Beam Voltage | Beam Current | Beam Power | Beam Lumens | Beam CRI | Beam Life | Beam Temp |
|-------|-----------|----------|-------------|-------------|-------------|---------------|---------------|------------|--------------|--------------|------------|-------------|----------|------------|-----------|
| K4251 | 150-277-1 | 3.5" | 2.5" | 0.25 lb | White | Thermal | Aluminum | White | 150V | 0.35A | 52.5W | 4000 lm | 90 | 50,000 hrs | 100°C |
| K4252 | 150-277-2 | 3.5" | 2.5" | 0.25 lb | White | Thermal | Aluminum | White | 150V | 0.35A | 52.5W | 4000 lm | 90 | 50,000 hrs | 100°C |

COMPLETE PART NUMBER REQUIRES SHAFT ABOVE MOUNTING TYPE, FINISH & APPROPRIATE OPTIONS BELOW

MOUNTING TYPE

| | | |
|----|--------------|--------------|
| 1 | 1-150-277 | 1-150-277 |
| 2 | 1-150-277-1 | 1-150-277-1 |
| 3 | 1-150-277-2 | 1-150-277-2 |
| 4 | 1-150-277-3 | 1-150-277-3 |
| 5 | 1-150-277-4 | 1-150-277-4 |
| 6 | 1-150-277-5 | 1-150-277-5 |
| 7 | 1-150-277-6 | 1-150-277-6 |
| 8 | 1-150-277-7 | 1-150-277-7 |
| 9 | 1-150-277-8 | 1-150-277-8 |
| 10 | 1-150-277-9 | 1-150-277-9 |
| 11 | 1-150-277-10 | 1-150-277-10 |

FINISH

| | |
|----|--------|
| 1 | White |
| 2 | Black |
| 3 | Gray |
| 4 | Blue |
| 5 | Green |
| 6 | Yellow |
| 7 | Orange |
| 8 | Red |
| 9 | Purple |
| 10 | Pink |
| 11 | Clear |
| 12 | Matte |
| 13 | Gloss |

OPTIONS

| | |
|----|----------------------------|
| 01 | Micro-Module (Standard) |
| 02 | Micro-Module (Optional) |
| 03 | Micro-Module (Special) |
| 04 | Micro-Module (Custom) |
| 05 | Micro-Module (Unique) |
| 06 | Micro-Module (Distinct) |
| 07 | Micro-Module (Specialized) |
| 08 | Micro-Module (Advanced) |
| 09 | Micro-Module (High-End) |
| 10 | Micro-Module (Premium) |

Ordering Number Logic

Scalable Wall Pack (EWS2)

EWS 2

| Model | Part No. | Beam Dia | Beam Length | Beam Weight | Beam Finish | Beam Mounting | Beam Material | Beam Color | Beam Voltage | Beam Current | Beam Power | Beam Lumens | Beam CRI | Beam Life | Beam Temp |
|-------|-----------|----------|-------------|-------------|-------------|---------------|---------------|------------|--------------|--------------|------------|-------------|----------|------------|-----------|
| K4251 | 150-277-1 | 3.5" | 2.5" | 0.25 lb | White | Thermal | Aluminum | White | 150V | 0.35A | 52.5W | 4000 lm | 90 | 50,000 hrs | 100°C |
| K4252 | 150-277-2 | 3.5" | 2.5" | 0.25 lb | White | Thermal | Aluminum | White | 150V | 0.35A | 52.5W | 4000 lm | 90 | 50,000 hrs | 100°C |

INTERMATIC K4200 Series Photo Controls

K4200 Series Stem and Swivel Mounting

The K4200 Series Photo Controls feature stem and swivel mounting, with thermal-type controls. Thermal-type photo controls, which are available in single or multi-voltage models, provide dusk-to-dawn lighting control and a delay action, which eliminates loads switching OFF due to car headlights, and lightning. The thermal-type controls feature a cadmium sulfide photocell and a sonic-welded polycarbonate case and lens to seal out moisture. The design utilizes a dual temperature compensating bi-metal and composite resistor for reliable long life operation over ambient temperature extremes.

- Features**
- Cadmium sulfide photocell
 - Sonic welded polycarbonate housing and lens to seal out moisture
 - Delay action eliminates load switching OFF due to car headlights, and lightning
 - 6" leads
 - K4251 and K4253 Models are designed for spot/flood type fixtures
 - Controls come with a washer gasket and locking nut

- Ratings**
- Size: 1/4" - 1/4" threaded swivel, 1 1/8" (4.0 cm) square, 5 1/2" (14.0 cm) long; Model K4235 and K4236 - 6 1/4" (15.9 cm) High, 3" (7.6 cm) diameter; Models K4251 and K4253 - 4" (10.2 cm) High, 1 1/4" (3.5 cm) Diameter
- Color: Gray
- Electrical Rating: See table on back
- Activation: 1-5 FC ON, 3-15 FC OFF (photo eye clear on models with shield)
- Power Consumption: Averages under 2 Watts
- Operating Temperature: -40°F to 158°F (-40°C to 70°C)
- Shipping Weight: K4200 Series - 21 lb (0.9 kg); K4235 and K4236 - 45 lb (2.0 kg)
- Agency Listing: See table on back

Color: Gray

Electrical Rating: See table on back

Activation: 1-5 FC ON, 3-15 FC OFF (photo eye clear on models with shield)

Power Consumption: Averages under 2 Watts

Operating Temperature: -40°F to 158°F (-40°C to 70°C)

Shipping Weight: K4200 Series - 21 lb (0.9 kg); K4235 and K4236 - 45 lb (2.0 kg)

Agency Listing: See table on back

Color: Gray

Electrical Rating: See table on back

Activation: 1-5 FC ON, 3-15 FC OFF (photo eye clear on models with shield)

Power Consumption: Averages under 2 Watts

Operating Temperature: -40°F to 158°F (-40°C to 70°C)

Shipping Weight: K4200 Series - 21 lb (0.9 kg); K4235 and K4236 - 45 lb (2.0 kg)

Agency Listing: See table on back

Color: Gray

Electrical Rating: See table on back

Activation: 1-5 FC ON, 3-15 FC OFF (photo eye clear on models with shield)

Power Consumption: Averages under 2 Watts

Operating Temperature: -40°F to 158°F (-40°C to 70°C)

Shipping Weight: K4200 Series - 21 lb (0.9 kg); K4235 and K4236 - 45 lb (2.0 kg)

Agency Listing: See table on back

Color: Gray

Electrical Rating: See table on back

Activation: 1-5 FC ON, 3-15 FC OFF (photo eye clear on models with shield)

Power Consumption: Averages under 2 Watts

Operating Temperature: -40°F to 158°F (-40°C to 70°C)

Shipping Weight: K4200 Series - 21 lb (0.9 kg); K4235 and K4236 - 45 lb (2.0 kg)

Agency Listing: See table on back

Color: Gray

Electrical Rating: See table on back

Activation: 1-5 FC ON, 3-15 FC OFF (photo eye clear on models with shield)

Power Consumption: Averages under 2 Watts

Operating Temperature: -40°F to 158°F (-40°C to 70°C)

Shipping Weight: K4200 Series - 21 lb (0.9 kg); K4235 and K4236 - 45 lb (2.0 kg)

Agency Listing: See table on back

Color: Gray

Electrical Rating: See table on back

Activation: 1-5 FC ON, 3-15 FC OFF (photo eye clear on models with shield)

Power Consumption: Averages under 2 Watts

Operating Temperature: -40°F to 158°F (-40°C to 70°C)

Shipping Weight: K4200 Series - 21 lb (0.9 kg); K4235 and K4236 - 45 lb (2.0 kg)

Agency Listing: See table on back

Color: Gray

Electrical Rating: See table on back

Activation: 1-5 FC ON, 3-15 FC OFF (photo eye clear on models with shield)

Power Consumption: Averages under 2 Watts

Operating Temperature: -40°F to 158°F (-40°C to 70°C)

Shipping Weight: K4200 Series - 21 lb (0.9 kg); K4235 and K4236 - 45 lb (2.0 kg)

Agency Listing: See table on back

Color: Gray

Electrical Rating: See table on back

Activation: 1-5 FC ON, 3-15 FC OFF (photo eye clear on models with shield)

Power Consumption: Averages under 2 Watts

Operating Temperature: -40°F to 158°F (-40°C to 70°C)

Shipping Weight: K4200 Series - 21 lb (0.9 kg); K4235 and K4236 - 45 lb (2.0 kg)

Agency Listing: See table on back

Color: Gray

Electrical Rating: See table on back

Activation: 1-5 FC ON, 3-15 FC OFF (photo eye clear on models with shield)

Power Consumption: Averages under 2 Watts

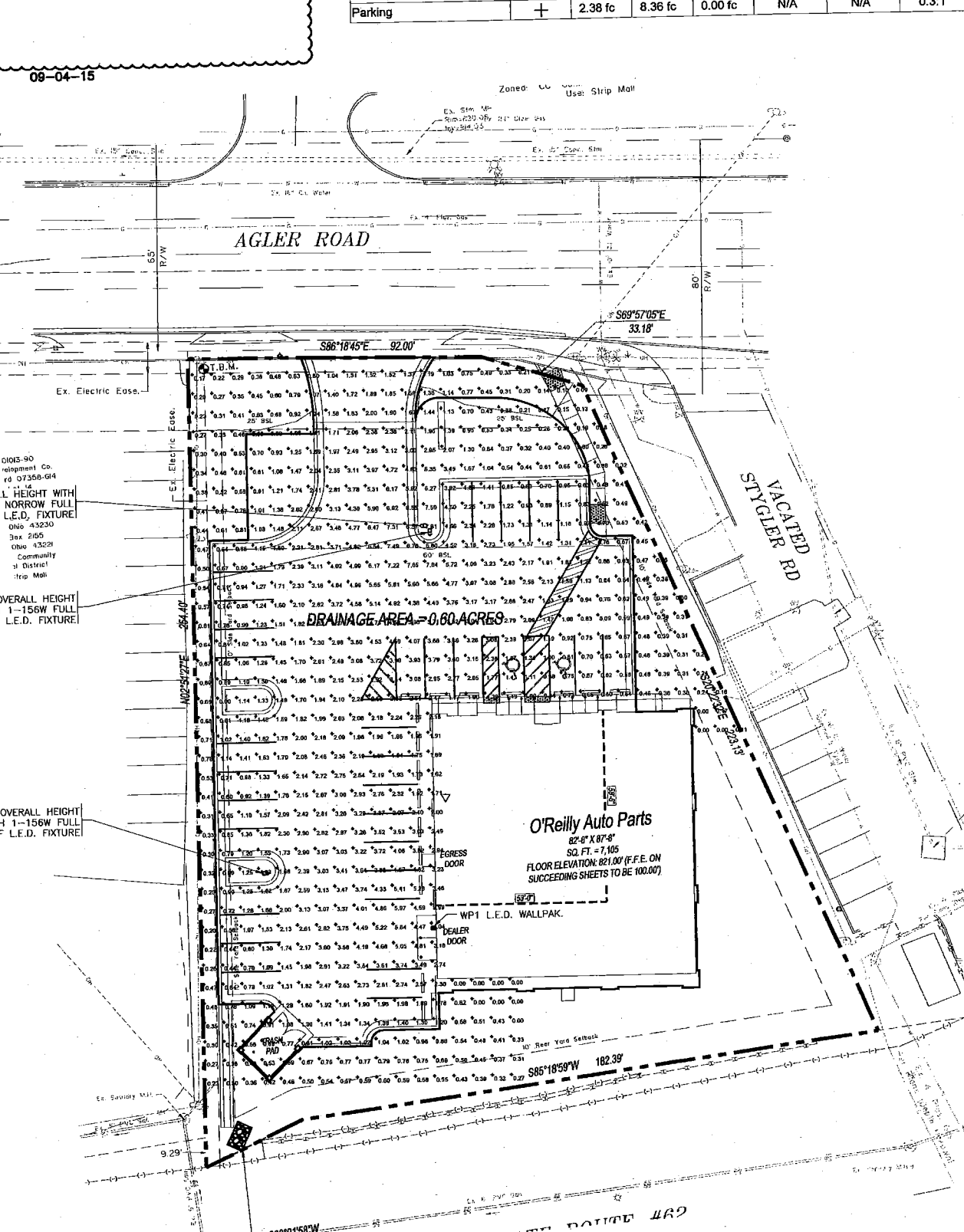
Operating Temperature: -40°F to 158°F (-40°C to 70°C)

Shipping Weight: K4200 Series - 21 lb (0.9 kg); K4235 and K4236 - 45 lb (2.0 kg)

Agency Listing: See table on back

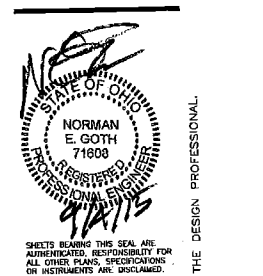


| Statistics | | | | | | |
|-------------|--------|---------|---------|---------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Parking | + | 2.38 fc | 8.36 fc | 0.00 fc | N/A | N/A |
| | | | | | | 0.3:1 |



SITE LIGHTING PHOTOMETRICS

SCALE: 1"=20'



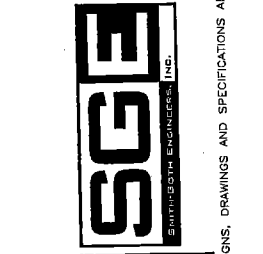
O'Reilly AUTO PARTS

CORPORATE OFFICES
 253 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 882-2674 TELEPHONE

PROJECT: NEW O'REILLY AUTO PARTS STORE
 403 AGLER ROAD
 GAHANNA, OH

SITE LIGHTING PHOTOMETRICS

3855 S. JEFFERSON AVE.
 SPRINGFIELD, MO 65802
 P: 417-882-2600
 WWW.O'REILLY.COM



DESIGN BY: JTH
 CHECKED BY: NEG
 DATE: 06/04/15
 REVISION: 09/04/15
 PROJECT NUMBER: GH1
 SHEET NUMBER: SP1

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LIGHT FIXTURE SCHEDULE

ALL ITEMS LISTED ON THE "LIGHT FIXTURE SCHEDULE" WILL BE SUPPLIED BY THE OWNER (O'REILLY). ITEMS SHALL BE DIRECT ORDERED AND/OR RELEASED FROM THE LISTED ELECTRICAL EQUIPMENT DISTRIBUTOR:

GRAYBAR ELECTRIC CO. INC.
11885 LACKLAND ROAD
ST. LOUIS, MO 63148

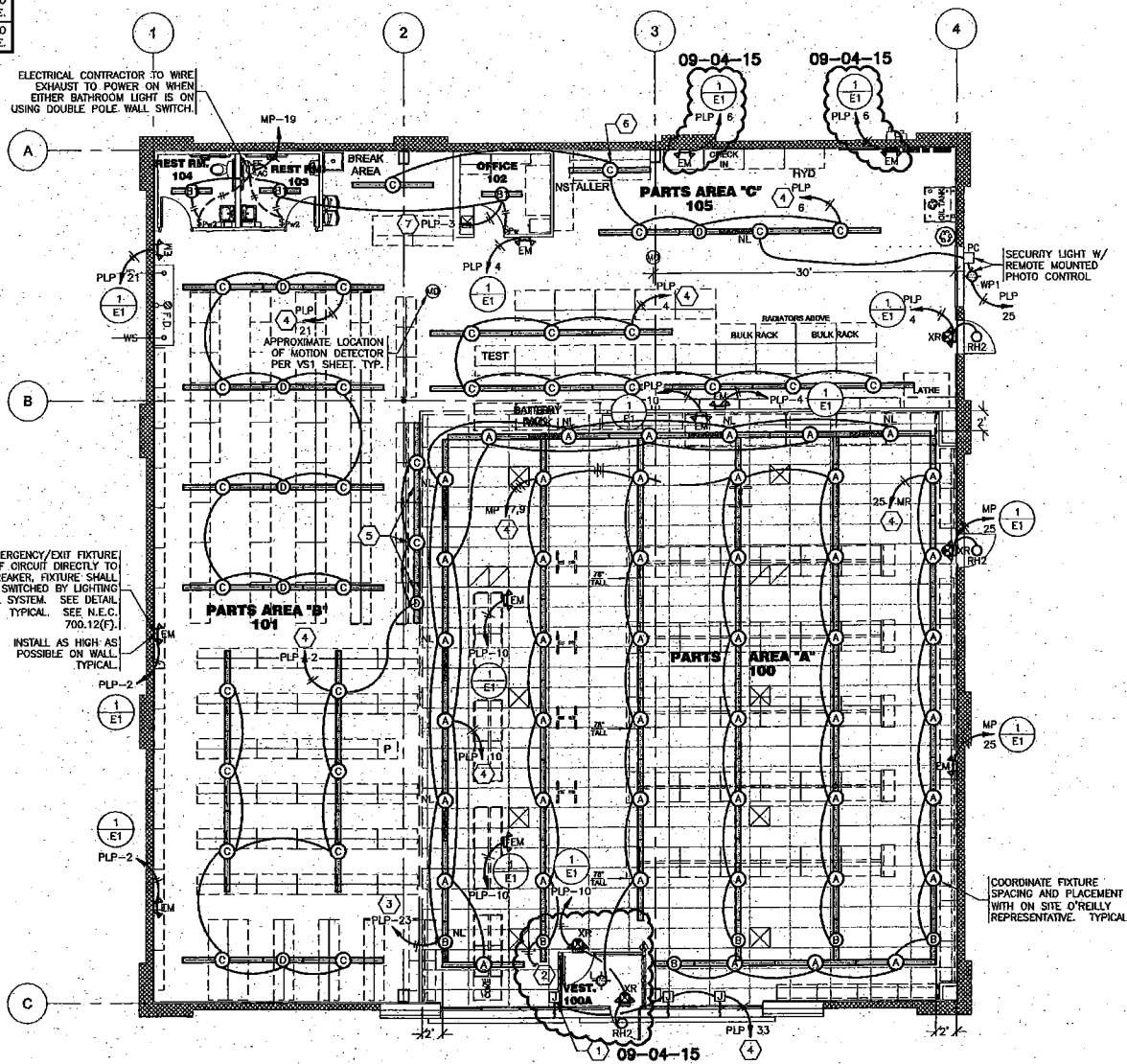
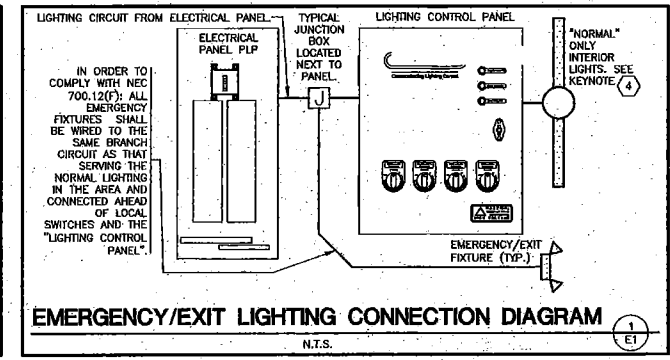
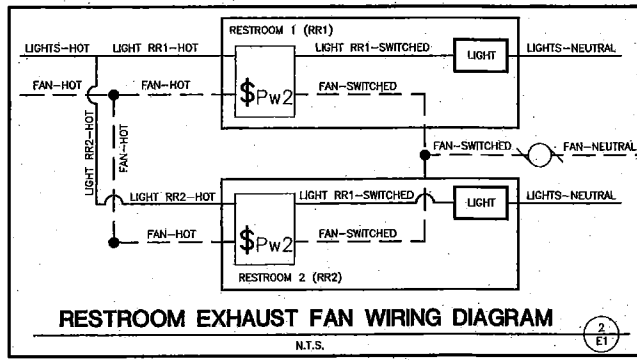
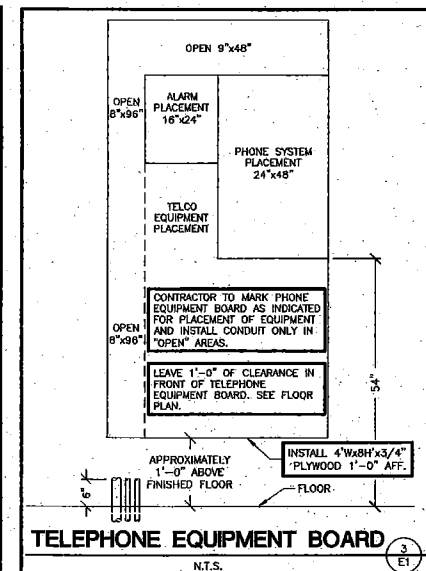
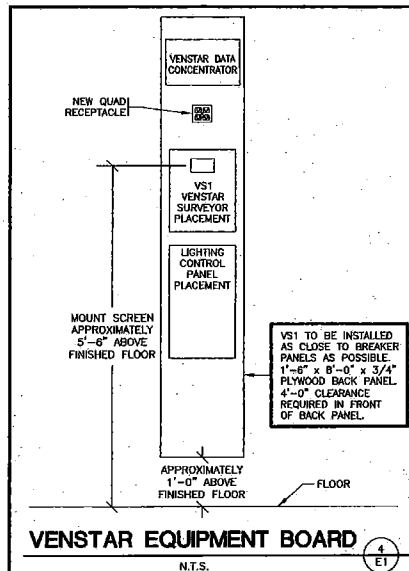
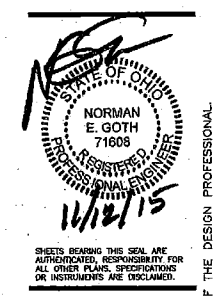
ATTN: SANDY YOUNG - DIRECT LINE: (314) 573-2082 OR
SAM CAST - DIRECT LINE: (314) 573-2081
sandra.young@graybar.com or sam.cast@graybar.com
TOLL FREE: (800) 289-5254
TOLL FREE FAX: (888) 289-0128

| MARK | MFR. | CATALOG NUMBER | SUPPLY VOLTAGE | FINISH | MOUNTING | | | | | | | LAMPS | | | | | | | WATTAGE | DESCRIPTION OF ACCESSORIES | NOTES |
|--|------------|---|----------------|-------------|----------|----------|--------------|---------------|-------|-------------|--------|--------------|-------|----------|--|---|---------------------|------|---|--|-------|
| | | | | | LAY-IN | RECESSED | SURFACE WALL | SURF. CEILING | OTHER | FLUORESCENT | H.I.D. | INCANDESCENT | OTHER | QUANTITY | (General Electric) LAMP CATALOG NUMBER/TYP | | | | | | |
| FLUORESCENT LIGHTS | | | | | | | | | | | | | | | | | | | | | |
| A | WILLIAMS | 76-8-432-EBU44(OPA4P325C)-AD-BD-UNV NO SUBSTITUTIONS | 120 | WHITE | | | | X | X | | | | | | | 4 | F28T8/XL/SPX35/ECO | 96 | SHS (2 PER FIXTURE) | T-BAR MOUNTING BRACKET (CEILING GRID ONLY). ADVANCE <10% T.H.D. ELECTRONIC BALLAST, NO SUBSTITUTIONS. | |
| B | WILLIAMS | 76-4-232-EBU42(OPA2P325C)-AD-BD-UNV NO SUBSTITUTIONS | 120 | WHITE | | | | X | X | | | | | | | 2 | F28T8/XL/SPX35/ECO | 48 | SHS (2 PER FIXTURE) | T-BAR MOUNTING BRACKET (CEILING GRID ONLY). ADVANCE <10% T.H.D. ELECTRONIC BALLAST, NO SUBSTITUTIONS. | |
| B1 | WILLIAMS | 76-4-232-EB8PLW2(OP2S32LWSC)-AD-BD-UNV NO SUBSTITUTIONS | 120 | WHITE | | | | X | X | | | | | | | 2 | F28T8/XL/SPX35/ECO | 48 | SHS (2 PER FIXTURE) | T-BAR MOUNTING BRACKET (CEILING GRID ONLY). ADVANCE <10% T.H.D. ELECTRONIC "PROGRAM START" BALLAST, NO SUBSTITUTIONS. | |
| C | WILLIAMS | 76-8-432-EBU42(OPA4P325C)-AD-BD-UNV NO SUBSTITUTIONS | 120 | WHITE | | | | X | X | | | | | | | 4 | F28T8/XL/SPX35/ECO | 96 | SHS (2 PER FIXTURE) | CHAIN HANGER @ 12" A.F.F. + 3" OF CHAIN, ADVANCE <10% T.H.D. ELECTRONIC BALLAST, NO SUBSTITUTIONS. | |
| D | WILLIAMS | 76-4-232-EBU42(OPA2P325C)-AD-BD-UNV NO SUBSTITUTIONS | 120 | WHITE | | | | X | X | | | | | | | 2 | F28T8/XL/SPX35/ECO | 48 | SHS (2 PER FIXTURE) | CHAIN HANGER @ 12" A.F.F. + 3" OF CHAIN, ADVANCE <10% T.H.D. ELECTRONIC BALLAST, NO SUBSTITUTIONS. | |
| COMBINATION EXIT/EMERGENCY LIGHTS, EMERGENCY LIGHTS & EXTERIOR EMERGENCY REMOTE HEADS | | | | | | | | | | | | | | | | | | | | | |
| XR | COOPER | APCH7R (RED LETTERS) | 120 | WHITE | | | | X | X | | | | | | | 2 | LED EXIT + (2) 3.6V | 2.34 | UNIVERSAL (WALL/CLG.) SINGLE PR DOUBLE FACE | BACKUP BATTERIES SHALL MAINTAIN 100% ILLUMINATION FOR A MINIMUM OF 90 MINUTES TO COMPLY WITH ARTICLE 700.12(A) OF THE N.E.C. | |
| EM | COOPER | APEL | 120 | WHITE | | | | X | X | | | | | | | 2 | 3.6V | 0.33 | UNIVERSAL (WALL/CLG.) | BACKUP BATTERIES SHALL MAINTAIN 100% ILLUMINATION FOR A MINIMUM OF 90 MINUTES TO COMPLY WITH ARTICLE 700.12(A) OF THE N.E.C. | |
| RH2 | COOPER | APWR2 | 3.6V DC | WHITE | | | | X | | | | | | | | 2 | LED REMOTE HEAD | 0 | | POWERED BY EMERGENCY "XR" FIXTURE. | |
| LED EXTERIOR LIGHTS | | | | | | | | | | | | | | | | | | | | | |
| PC | INTERMATIC | PHOTOCELL - IK4251 | 120 | DARK BRONZE | | | | X | | | | | | | | | | | | MOUNT ABOVE WALL PACK LOCATED NEAR FREIGHT DOOR. | |
| L | PORTFOLIO | LDB15D010/ERW6840/BLWH NO SUBSTITUTIONS | 120 | CLEAR | | | | X | | | | | | | | | | | | RECESSED CAN. | |
| WP1 | GE EVOLVE | EW52-0-D3-D1-40-1-DKBZ NO SUBSTITUTIONS | 120 | DARK BRONZE | | | | X | | | | | | | | | | | | FULL CUT-OFF. MOUNT 12" A.F.F. TO CENTERLINE OF FIXTURE. | |
| LED POLE LIGHTS | | | | | | | | | | | | | | | | | | | | | |
| PL1 | GE EVOLVE | EASO-0-G4-F-5-40-1-A-DKBZ SECURITY LITG. SSS-25-36-1-A2-D6-LAB (DRILLED FOR 1 LGT.) | 120 | DARK BRONZE | | | | X | | | | | | | | | | | | 25' POLE LENGTH, ADVANCE BALLASTS, FULL CUT-OFF, NO SUBSTITUTIONS. ANCHOR BOLTS W/HARDWARE & TEMPLATE. | |
| PL2 | GE EVOLVE | EASO-0-G4-F-5-40-1-A-DKBZ SECURITY LITG. SSS-25-36-1-A2-D6-LAB (DRILLED FOR 2 LGT.) | 120 | DARK BRONZE | | | | X | | | | | | | | | | | | 25' POLE LENGTH, ADVANCE BALLASTS, FULL CUT-OFF, NO SUBSTITUTIONS. ANCHOR BOLTS W/HARDWARE & TEMPLATE. | |

09-04-15

- ### LIGHTING - KEYNOTES
- 1 MOUNT J-BOX INSIDE BUILDING & FLEX CONDUIT THRU WALL FOR POWER SUPPLY TO ILLUMINATED SIGN. EXACT LOCATIONS OF PENETRATIONS SHALL BE COORDINATED WITH SIGN COMPANY. PENETRATIONS SHALL BE BEHIND SIGNAGE. WATERPROOF W/ ELASTOMERIC POLYURETHANE (NO EXCEPTIONS) EQUAL TO "VALKEN" 118. TYPICAL.
 - 2 TO "OPEN" SIGN. SEE SHEET E2.
 - 3 VIA PANEL "E" POSITION D.
 - 4 VIA VENSTAR SURVEYOR / LIGHTING CONTROL PANEL. SEE SHEET VS1 & VENSTAR SCOPE OF WORK (S.O.W.)
 - 5 MOUNT 8'-0" A.F.F. TO BACK OF HEADER WALL. THESE FIXTURES ONLY.
 - 6 SUSPEND 8'-0" A.F.F. THIS FIXTURE ONLY.
 - 7 ROUTE THE OFFICE AND RESTROOM'S LIGHTING CIRCUIT THRU THE LOCAL OCCUPANCY SENSORS AND DIRECTLY TO THE CIRCUIT BREAKER. THESE FIXTURES SHALL NOT BE SWITCHED BY THE LIGHTING CONTROL PANEL.

- ### INTERIOR LIGHTING ZONES
- ALL INTERIOR LIGHTING WITHIN PARTS AREA "A" SHALL BE CONSIDERED "SALES" ZONE (ON ONLY WHEN STORE IS OPEN FOR BUSINESS).
- ALL INTERIOR LIGHTING WITH PARTS AREA "B", PARTS AREA "C", RESTROOMS, OFFICE, AND BREAK AREA SHALL BE CONSIDERED "WORK" ZONES (ON WHENEVER THERE IS MOTION OR THE STORE IS OPEN).
- ### AUTOMATIC LIGHTING SHUTOFF
- COMPLIANCE WITH ENERGY CODE IS ACHIEVED BY:
1. PARTS AREAS: ALL LIGHTING IN THESE AREAS ARE CONTROLLED BY THE "VENSTAR" EMS SYSTEM (SEE VS1), ON A SCHEDULED TIME-OR-DAY BASIS WITH AN INDEPENDENT PROGRAM SCHEDULE.
 2. RESTROOMS AND OFFICES: ALL LIGHTING IN THESE AREAS ARE CONTROLLED BY OCCUPANT-SENSING DEVICES.



PROJECT: NEW O'REILLY AUTO PARTS STORE
403 AGLER ROAD
GAHANNA, OH
LIGHTING PLAN

SGE
 3855 S. JEFFERSON AVE.
 SPRINGFIELD, MO 65807
 P: 417-882-2800
 F: 417-882-1188
 WWW.SGEELECT.COM

DRAWN BY: **JTH** CHECKED BY: **NEG**
 DATE: **06/04/15**
 REVISION: **09/04/15**
 PROJECT NUMBER: **QH1**
 SHEET NUMBER: **E1**

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GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. REFER TO PRE-ENGINEERED METAL BUILDING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- C. REFER TO MECHANICAL / ELECTRICAL PLAN FOR SYSTEM TYPES AND LOCATIONS.
- D. REFER TO SITE DEVELOPMENT PLANS FOR ADDITIONAL REQUIREMENTS.

KEY NOTES:

- 1 EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.): REFER TO EXTERIOR FINISH SCHEDULE.
- 1A EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) ACCENT BAND: REFER TO FINISH SCHEDULE AND WALL SECTIONS.
- 2 MASONRY WALL CONSTRUCTION (ACCENT): REFER TO EXTERIOR FINISH SCHEDULE AND WALL SECTIONS.
- 2A MASONRY WALL CONSTRUCTION (FIELD): REFER TO EXTERIOR FINISH SCHEDULE AND WALL SECTIONS.
- 3 PRE-ENGINEERED METAL BUILDING SHEET METAL STANDING SEAM ROOF (BEYOND): BY PRE-ENGINEERED METAL BUILDING COMPANY.
- 4 PRE-FINISHED METAL CAP FLASHING: REFER TO EXTERIOR FINISH SCHEDULE.
- 5 PRE-ENGINEERED METAL CAP FLASHING: (AT EIFS) COLOR SHALL BE FIELD PAINTED SW 6871 POSITIVE RED.
- 6 PRE-ENGINEERED METAL BUILDING INTERNAL GUTTER AND THROUGH WALL SCUPPER SYSTEM: PRE-FINISHED, COLOR SHALL MATCH MASONRY FIELD COLOR.
- 7 CONCRETE MASONRY UNIT (CMU): SPLIT FACE HEAD AND JAMB UNITS.
- 8 LINE OF ROOF: DASHED LINE INDICATES LINE OF ROOF BEYOND WITH SLOPE OF 1/4" PER FOOT.
- 9 SIGN: APPROXIMATE OUTLINE OF SIGN. PROVIDE BLOCKING AS REQUIRED FOR MOUNTING OF SIGN, COORDINATE WITH SIGN COMPANY FOR EXACT SIGN PLACEMENT. OWNER FURNISHED AND INSTALLED LOGO. REFER TO SIGN PACKET INFORMATION FOR FURTHER DETAIL.
- 10 ADDRESS NUMBERS: 6" VINYL BY CONTRACTOR. COLOR TO BE WHITE.
- 11 NOT USED
- 12 DOOR AND FRAME: FIELD PAINT (REFER TO EXTERIOR FINISH SCHEDULE.)
- 13 STOREFRONT: (REFER TO FLOOR PLAN FOR WINDOW TYPES.)
- 14 LINE OF FOUNDATION: (REFER TO FOUNDATION PLAN.)
- 15 STEEL BOLLARDS: (9) TYPICAL AT STOREFRONT (2) AT O.H. DOOR LOCATION. (REFER TO EXTERIOR FINISH SCHEDULE AND FOUNDATION PLAN.)
- 16 HOSE BIB: (REFER TO PLUMBING PLAN)
- 17 LIGHT FIXTURE: (REFER TO ELECTRICAL PLAN)
- 18 (NOT USED)
- 19 ROOF TOP UNIT (BEYOND): APPROXIMATE LOCATION (REFER TO MECHANICAL PLAN FOR EXACT LOCATION)
- 20 MECHANICAL WALL PENETRATIONS: PROVIDE FRAMING, FLASHING, AND SEALANT AS REQUIRED. (REFER TO M.E.P. SHEETS)
- 21 ROOF PIPING VENT (BEYOND): REFER TO DETAIL 5/A3.
- 22 PRE-FABRICATED METAL CANOPY SYSTEM: ANCHORED TO STRUCTURAL SYSTEM PER MANUFACTURER'S RECOMMENDATIONS. REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS. COORDINATE ROD LOCATIONS WITH SIGNAGE.
- 23 MASONRY CONTROL / EXPANSION JOINT: (MATCH MASONRY) PROVIDE SEALANT OVER 1/2" DIAMETER FOAM BACKER ROD. REFER TO STRUCTURAL DRAWINGS.
- 24 RUSTICATION JOINT: REFER TO DETAIL 6/A3.
- 25 PRE-FINISHED SHEET CONDUCTOR HEAD AND DOWNSPOUT SYSTEM: PRE-FINISHED, COLOR SHALL MATCH MASONRY FIELD COLOR.

SHEETS BEARING THIS SEAL ARE AUTHENTICATED. RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS OR INSTRUMENTS ARE DISCLAIMED.

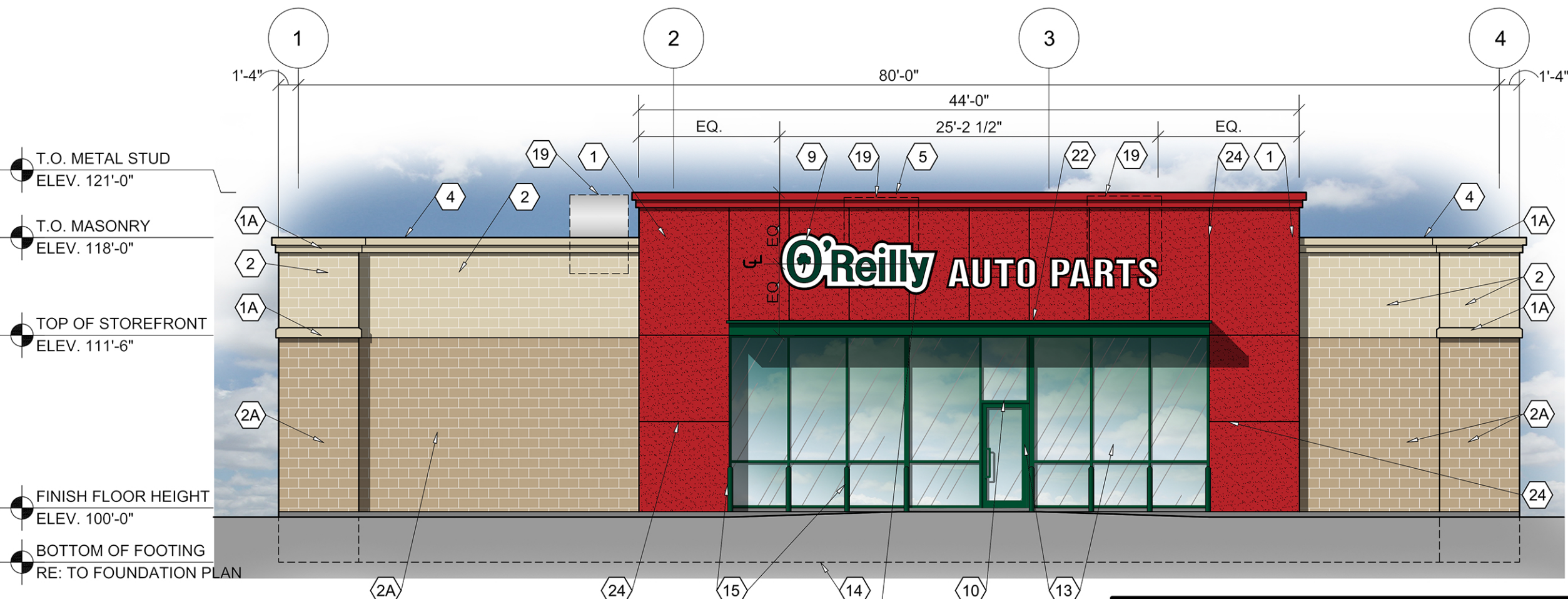
O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

PROJECT: **NEW O'REILLY AUTO PARTS STORE**
403 AGLER ROAD
GAHANNA, OHIO
EXTERIOR ELEVATIONS

Buddy D. Webb
Architect - Consultant
3057 EAST CAIRO
SPRINGFIELD, MISSOURI 65802
(417) 877-1385 TELEPHONE
(417) 877-9736 FAX

DESIGNED BY: EN LG, BDW
CHECKED BY:
DATE: 06/04/15
REVISION: A1 AD. NO. 1 (09/04/15)
PROJECT NUMBER: GH1
SHEET NUMBER

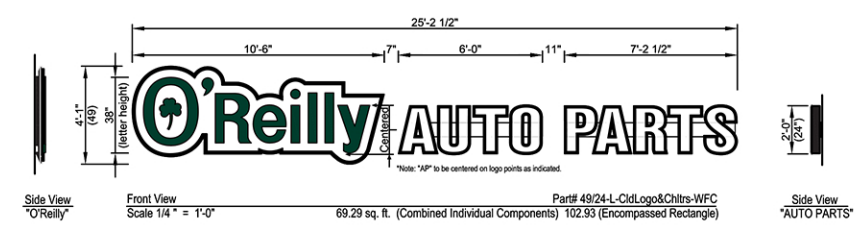
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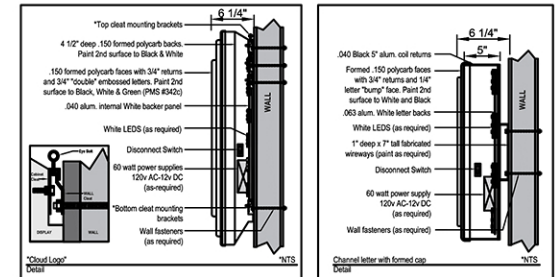
1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

GAHANNA, OHIO (GH1)
FRONT ELEVATION SIGN: FRONT ELEVATION SIGN: 49" OR 24" AP LINEAR
LEFT, RIGHT AND REAR ELEVATION SIGN: NO SIGN PROPOSED



*O'Reilly Cloud Logo with "AP" channel letters on 7" (h) x 1" (d) wireways. Wireways pain to: OAP RED
*O'Reilly Cloud Logo is formed polycarb with double embossment with 2nd surface painted graphics. Paint match to: Green (PMS# 342c), Black and White.
*AP" to have formed polycarb caps with 1/4" letter "bumps". Black 5" aluminum coil returns. 2nd surface Black and White paint. WHITE LED illumination.

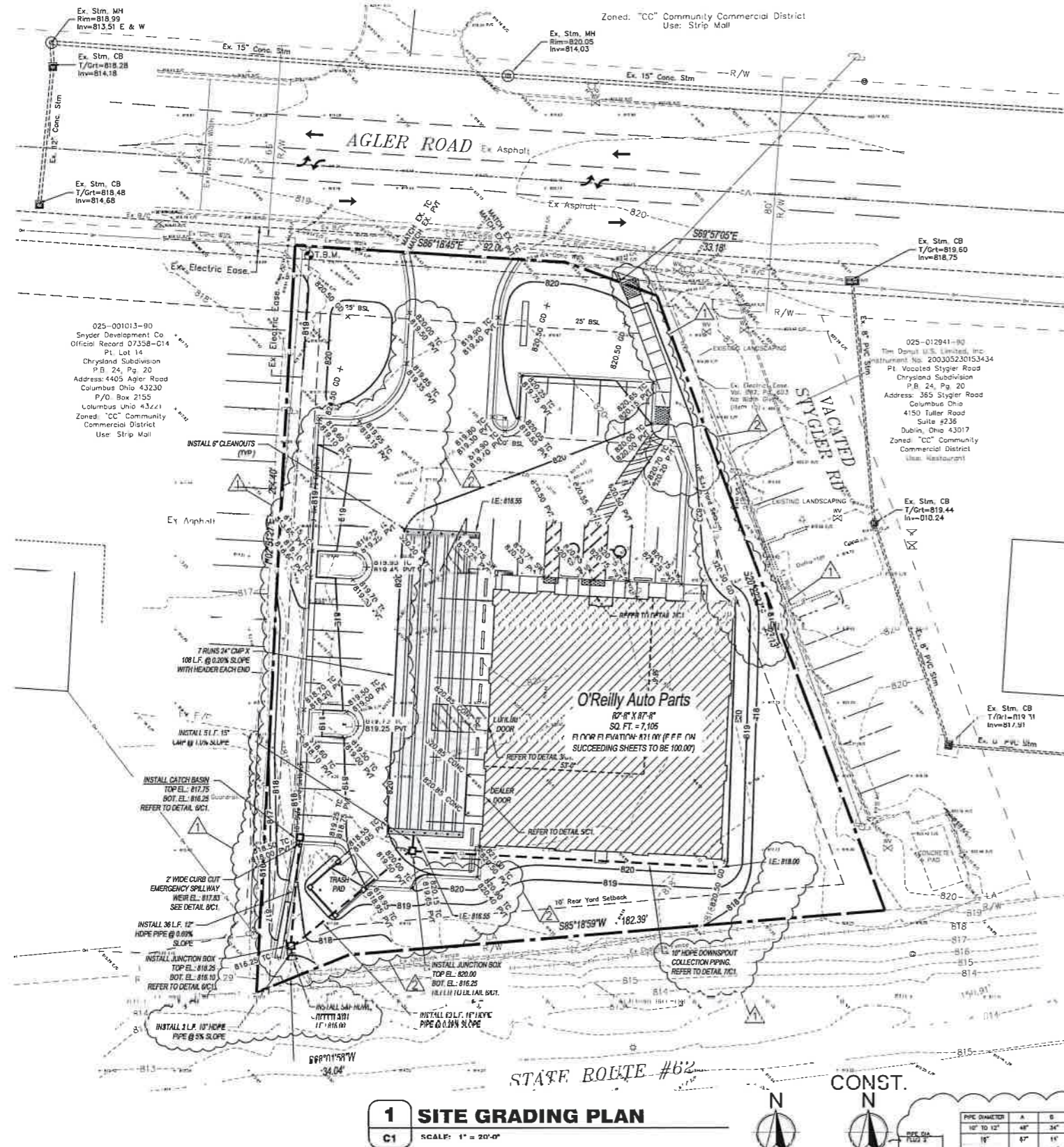


2 SIGN DETAILS

SCALE: 1/4" = 1'-0"

| TYPE: | COMPANY TYPE: | COLOR: |
|---|--|--|
| STANDARD CONCRETE MASONRY UNIT (C.M.U.) SPLIT FACE (8" X 8" X 16" NOM.) *PROVIDE FULL 8" FACE AT ALL CORNERS COURSE: RUNNING | PER LOCAL SUPPLIER | SHERWIN WILLIAMS PAINT (1) COAT S-W PREPRITE BLOCK FILLER B25W25 (NO LESS THAN 8 MILS) (2) COATS S-W CONFLX XL SMOOTH ELASTOMERIC AS-400 (NO LESS THAN 5.7 MILS EACH COAT) COLD WEATHER APPLICATIONS: SHERWIN WILLIAMS PAINT (1) COAT S-W LOXON BLOCK SURFACER (NO LESS THAN 8 MILS) (2) COATS S-W ULTRACRETE SOLVENT BORNE SMOOTH B46 (NO LESS THAN 8 MILS EACH COAT OR 16 MILS TOTAL) ACCENT COLOR: EQUAL TO SOFTER TAN SW 6141 FIELD COLOR: EQUAL TO LATTE SW 6108 (INDICATED BY SHADING:) |
| EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) | DRYVIT - OUTSULATION PLUS MD SANDBLAST FINISH | SW 6871 POSITIVE RED ORAP011030S WITH DRYVIT STRATOTONE HIGH PERFORMANCE COLORANT (FACTORY MIXED ONLY) |
| STOREFRONT (NO SUBSTITUTES) | EFCO KAWNEER VISTA WALL | IVY DARK IVY INTERSTATE GREEN |
| BOLLARDS | IN FIELD | SHERWIN WILLIAMS SW 6468 HUNT CLUB EXTERIOR SEMI-GLOSS LATEX |
| EXTERIOR DOORS OVERHEAD DOOR | IN FIELD | FACTORY PRIME FIELD PAINTED SW 6108 LATTE |
| SHEET METAL CAP FLASHING AT E.I.F.S. | BY METAL BUILDING MFG'R FIELD BROKEN FACTORY PRIME FIELD PAINTED | SHERWIN WILLIAMS SW 6871 POSITIVE RED (VERIFY MIX BELOW MATCHES E.I.F.S. COLOR) CLEAR COAT-DIAMOND CLAD CLEAR COAT URETHANE B65T105/B65V105/B65C105-3 COMPONENT |
| PRE-FINISHED SHEET METAL CAP FLASHING | BY METAL BUILDING MFG'R FIELD BROKEN | COOL BIRCH WHITE |
| SHEET METAL CONDUCTOR HEADS AND DOWNSPOUT | PER LOCAL SUPPLIER | PRE-FINISHED MATCH SHERWIN WILLIAMS "LATTE" SW 6108 |
| EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) ACCENT BAND | DRYVIT - OUTSULATION PLUS MD SANDBLAST FINISH | SHERWIN WILLIAMS COLOR: SW 6141 "SOFTER TAN" |
| PREFABRICATED METAL CANOPY | PER LOCAL SUPPLIER | POWDER COATED (MATCH SW 6468 "HUNT CLUB") |

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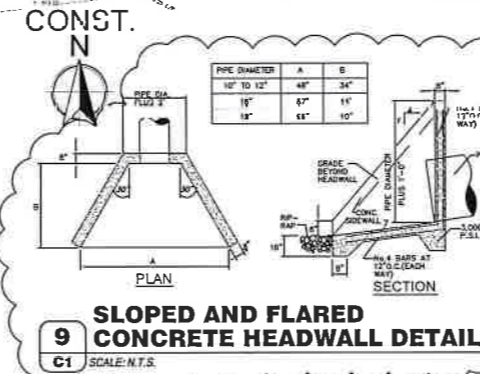


SITE EXCAVATION REQUIREMENTS:

1. A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATIONS FOR SITE EXCAVATION REQUIREMENTS.
2. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION EXCAVATION REQUIREMENTS.

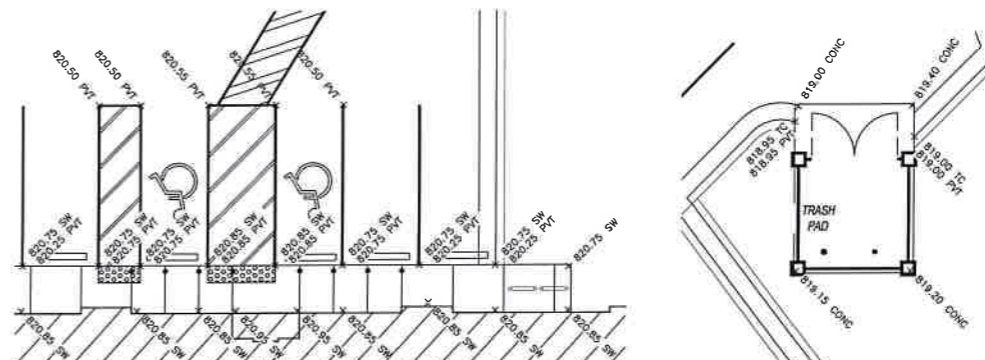
GENERAL NOTES:

- A. EXISTING SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING WORK.
- B. FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEV.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. BUILDING DOWNSPOUTS TO DISCHARGE TO DOWNSPOUT COLLECTION PIPING.
- E. COMTECH "VORTEX" WATER QUALITY STRUCTURE SHALL TREAT SUSPENDED SOLIDS AND INCLUDE OIL/WATER SEPARATOR. MUST TREAT MINIMUM FLOW OF 1 CFS WITH OVERFLOW CAPACITY OF MIN. 2.8 CFS.

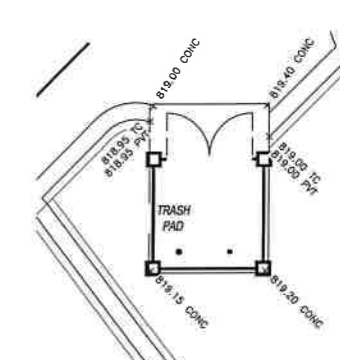


STORM WATER RUNOFF CALCULATION SUMMARY:

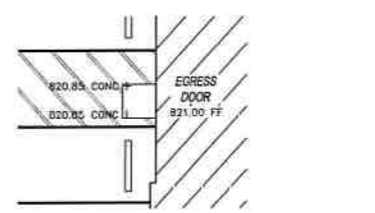
| METHOD OF STORM WATER CALCULATIONS: | POST DEVELOPMENT | POUND STORAGE |
|---|----------------------------------|---|
| SCS - TR55 Method | Total Drainage Area = 0.82 Acres | 10' Dia. Pipe, I.E. #16.10 |
| Design Storms: 1, 2, 10, 25, 50, 100 YEAR | TC = 4.1 Minutes | 2" Wide Emergency Overflow Spillway, El. 817.83 |
| | Storage Volume = 2,325 cu.ft. | |
| | | Storage Volume = 2,325 cu.ft. |
| PRE DEVELOPMENT | POST DEVELOPMENT HYDROGRAPHS | OUTLET STRUCTURE |
| Total Drainage Area = 0.82 Acres | 1 Year = 1.02 cfs | 10' Dia. Pipe, I.E. #16.10 |
| TC = 12.8 Minutes | 2 Year = 2.01 cfs | 2" Wide Emergency Overflow Spillway, El. 817.83 |
| | 5 Year = 2.89 cfs | |
| | 10 Year = 3.18 cfs | |
| | 25 Year = 3.28 cfs | |
| | 50 Year = 3.28 cfs | |
| | 100 Year = 3.21 cfs | |
| POST DEVELOPMENT HYDROGRAPHS Routed Through Outlet Structure | | |
| 1 Year = 1.87 cfs | | |
| 2 Year = 3.61 cfs | | |
| 5 Year = 5.19 cfs | | |
| 10 Year = 5.78 cfs | | |
| 25 Year = 5.98 cfs | | |
| 50 Year = 5.98 cfs | | |
| 100 Year = 5.79 cfs | | |
| DRAINAGE TO AGLER ROAD | | |
| Pre Development = 0.18 Acres (Predominantly Impervious) | | |
| Post Development = 0.16 Acres (Mixture of Impervious and Permeable) | | |



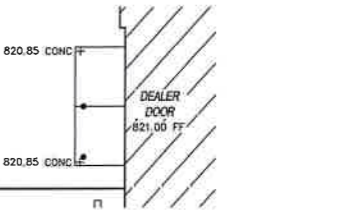
2 HANDICAP PARKING DETAIL
 C1 SCALE: 1" = 10"



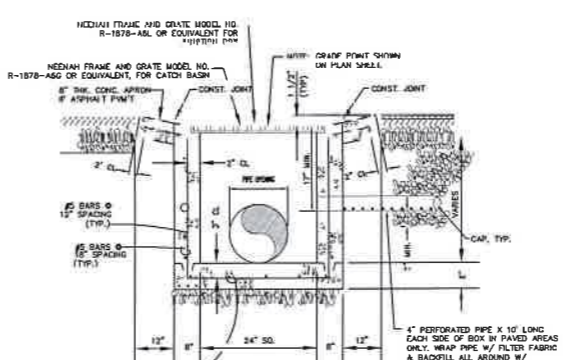
4 TYPICAL TRASH PAD
 C1 SCALE: 1" = 10"



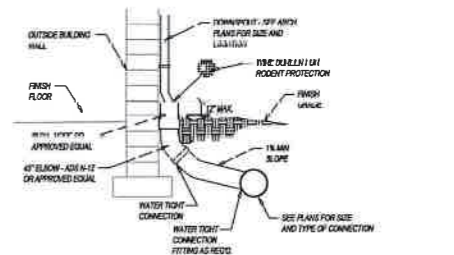
3 TYPICAL EGRESS DOOR
 C1 SCALE: 1" = 10"



5 TYPICAL DEALER DOOR
 C1 SCALE: 1" = 10"



6 CATCH BASIN/JUNCTION BOX DETAIL
 C1 SCALE: N.T.S.



7 DOWNSPOUT DETAIL
 C1 SCALE: N.T.S.

8 EMERGENCY SPILLWAY DETAIL
 C1 SCALE: N.T.S.

SYMBOLS LEGEND

NOTE: REFER TO SURVEY (SVI) FOR EXISTING CONDITION SYMBOLS

| | |
|-----------------|--|
| - - - 701 - - - | EXISTING GRADE LINES |
| - - - 701 - - - | PROPOSED NEW GRADE LINES |
| ○ TBW | BENCHMARK ELE = 820.00 |
| ○ | BENCH TIE IN POWER POLE. SAID POLE LOCATED 23' FROM THE NORTHEAST CORNER OF SUBJECT PROPERTY BASIS OF DATUM (BENCHMARK) WAS PRODUCED BY O.D.O.T. VRS OBSERVATIONS, (NAV9-88) OHIO SOUTH ZONE 3402. |
| ○ | NEW LIGHT OR LIGHT POLE LOCATION |
| ■ | NEW BUILDING |
| ■ | NEW SIGN LOCATION |

O'REILLY AUTO PARTS

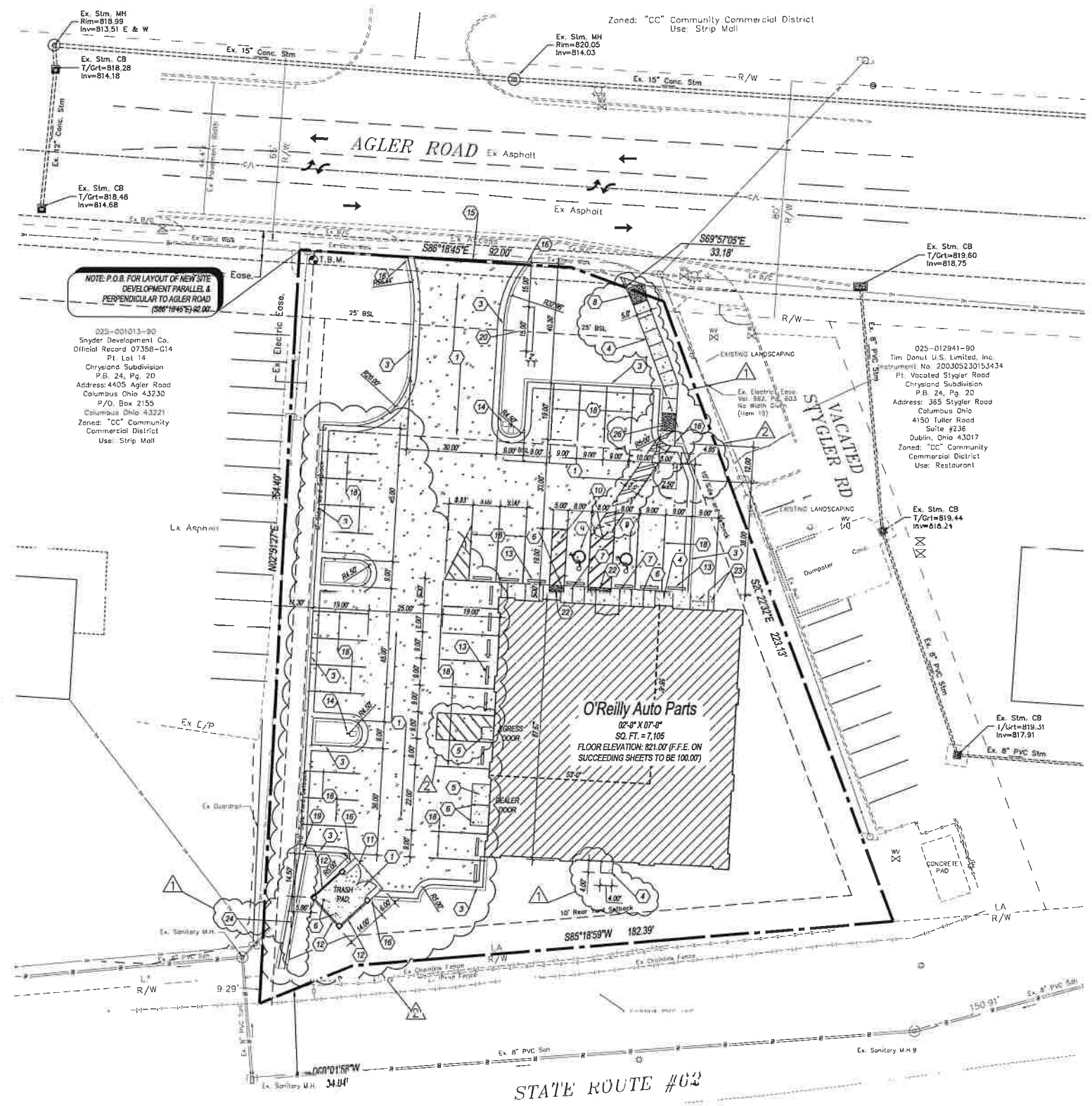
CORPORATE OFFICES
 283 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

PROJECT: PV-377
NEW O'REILLY AUTO PARTS STORE
403 AGLER ROAD
GAHANNA, OHIO

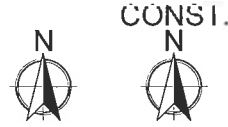
BFW
 3A/CON FARMER | WORKMAN
 ENGINEERING & TESTING, INC.
 1101 N. ...
 ...
 ...

DRAWN BY: S.S.
 CHECKED BY: B.D.
 DATE: 06/04/15
 REVISION: Rev. 1 09/04/15
 Rev. 2 11/05/15
 PROJECT NUMBER: GH1
 SHEET NUMBER: C1
 SHEET 1 OF 4

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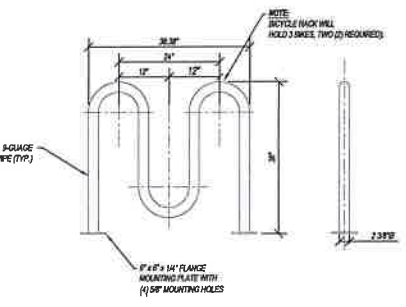


1 SITE DEVELOPMENT PLAN
C2 SCALE: 1" = 20'-0"

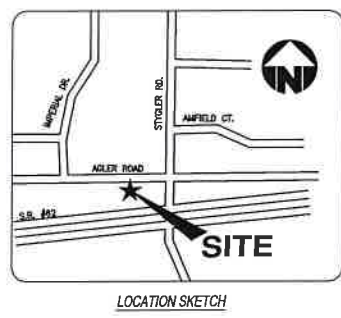


KEY NOTES:

- 1 CONCRETE PAVING: REFER TO DETAIL 10C1.
- 2 NOT USED.
- 3 CONCRETE CURB: REFER TO DETAIL 3C1.
- 4 CONCRETE SIDEWALK: REFER TO DETAIL 4C1.
- 5 CONCRETE DOOR LANDING: REFER TO DETAIL 4C3 AND STRUCTURAL DETAILS. RAMP PAVING AS INDICATED. LANDING CAN BE POURED MONOLITHIC IF CONCRETE PAVING IS USED.
- 6 STEEL BOLLARD: REFER TO DETAIL 9C1. PROVIDE (2) AT TRASH PAD AND OVERHEAD DOOR. PROVIDE (8) AT SIDEWALK. REFER TO STRUCTURAL PLAN FOR LOCATION.
- 7 HANDICAP PARKING SIGN: REFER TO DETAIL 10C1.
- 8 INSTALL HANDICAP RAMP. REFER TO DETAIL 10C1.
- 9 HANDICAP PARKING SYMBOL: REFER TO DETAIL 9C1.
- 10 HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPES AS SHOWN.
- 11 SCREEN FENCE GATES: REFER TO DETAIL 11C1.
- 12 6'-0" TALL BLOCK ENCLOSURE AND WOOD GATE (METAL CAP FLASHING TO BE PROVIDED BY GENERAL CONTRACTOR) REFER TO DETAIL 10C1.
- 13 CONCRETE BUMPER BLOCK: 8" W x 5" x 6'-0" LONG CONCRETE ANCHOR TO PAVING WITH (2) 1'-0" LONG #4 REBAR (TO SIT LEVEL WITH PAVING), IS TOTAL.
- 14 PARKING LOT LIGHTING: REFER TO SITE UTILITIES PLAN (SUI) FOR LOCATION AND TYPE.
- 15 LIMITS OF NEW PAVING: MATCH EXISTING PER CITY STANDARDS.
- 16 ROLL CURB DOWN. TERMINATE AND ROLL DOWN NEW CURB WHERE INDICATED. ROLL DOWN @ 1:2.
- 17 NOT USED.
- 18 STRIPING: PROVIDE 4' WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- 19 CURB CUT: 36" CURB (PAVING) (MINIMUM 30" SW) REFER TO DETAIL 9C1.
- 20 SIGN LOCATION: SIGN FURNISHED AND INSTALLED BY OWNER. REFER TO SITE UTILITIES PLAN FOR DETAILS.
- 21 NOT USED.
- 22 DETECTABLE WARNING SURFACE. REFER TO DETAIL 9C1.
- 23 BICYCLE RACK: INSTALL TWO (2) SURFACE MOUNTED BIKE RACK (3 SPACES) AS MANUF. BY BIKE RACK SHOPS. WWW.BIKERACKSHOPS.COM (877)367-4253, COLOR TO MATCH BOLLARDS. REFER TO DETAIL 10C1. (8 AVAILABLE SPACES).
- 24 INSTALL 2' WIDE CONCRETE PAVED DITCH. REFER TO DETAIL 13C1.
- 25 INSTALL STRIPED CROSS WALK.
- 26 INSTALL HANDICAP RAMP. REFER TO DETAIL 10C1.



2 BIKE RACK DETAIL
C2 SCALE: 1" = 20'



PARKING SUMMARY

- 32 REGULAR PARKING SPACES
- 2 HANDICAP SPACES
- 34 TOTAL SPACES PROVIDED (NO COMPACT SPACES)
- REQUIRED PARKING SPACES: 1 SPACE FOR EACH 280 S.F. OF GROSS FLOOR AREA 7,105/280 = 25 SPACES

SITE NOTES

EXISTING USE: SERVICE GARAGE
INTENDED USE: RETAIL - AUTOMOTIVE PARTS
PROPERTY ZONING: CC-COMMUNITY COMMERCIAL DISTRICT

SITE CRITERIA:
MAP NO. 025-001029-90
DEED REFERENCE: OFFICIAL RECORD 2971-FM, PART OF LOTS 12 AND 13, AND 025-012949-90, INSTRUMENT NO. 20011003022806, PART OF LOTS 11, CHRYSLER SUBDIVISION, P.B. 24, PG. 20
LOT AREA: 0.778 AC, 33,889 S.F.
STREET SETBACKS (STREET TYPES):
FRONT YARD: 60 FT., LANDSCAPE FRONT: 15 FT.
SIDE YARD: 10 FT., LANDSCAPE SIDE: 5 FT.
REAR YARD: 10 FT., LANDSCAPE REAR: 3 FT.
REAR YARD: 10 FT., LANDSCAPE REAR: 3 FT.
REAR YARD: 10 FT., LANDSCAPE REAR: 3 FT.

FLOOD NOTE:
SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "X", AS GRAPHICALLY INTERPOLATED FROM COMMUNITY MAP NUMBER 3004800194K OF THE FIRM MAP (FLOOD INSURANCE RATE MAP) DATED JUNE 17, 2008 (FRANKLIN COUNTY, OHIO AND INCORPORATED AREAS).

PROPERTY ADDRESS:
403 AGLER ROAD
GAHANNA, OH 43230

PROPERTY OWNER:
FRANK D. AND BETTY J.M. DUFF

BUILDING HEIGHT:
21 FEET

GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. ALL SITE DIMENSIONS TO THE GUTTER LINE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.
- E. PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO VERIFY THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY CONFLICTS, NOTIFY THE ENGINEER IMMEDIATELY TO CORRECT THE O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.
- F. ANY EXISTING PAVEMENT TO BE REMOVED FOR NEW CONSTRUCTION SHALL BE SAWCUT IN ONE CONTINUOUS LINE. PATCHING OF EXISTING PAVEMENT SHALL MATCH EXISTING TYPE/THICKNESS AND INSTALLED PER CITY GUIDELINES OR INSTRUCTIONS.

SYMBOLS LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND.

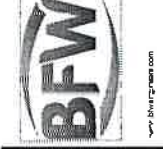
| | |
|--|----------------------------------|
| | AREA OF CONCRETE |
| | NEW BUILDING |
| | NEW SIGN LOCATION |
| | NEW LIGHT OR LIGHT POLE LOCATION |
| | NEW CONCRETE PARKING BLOCK |



O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

PROJECT: PV-377
NEW O'REILLY AUTO PARTS STORE
403 AGLER ROAD
GAHANNA, OHIO
SITE DEVELOPMENT PLAN

BACON FARMER WORKMAN ENGINEERING & TESTING, INC.
110 COLUMBIAN BLVD
COLUMBUS, OHIO 43215
PH: 614.881.1100
FAX: 614.881.1101



DATE: 06/04/15
REVISION: Rev. 1 09/04/15
Rev. 2 11/05/15
Rev. 3 01/06/16
PROJECT NUMBER: GH1
SHEET NUMBER: C2
SHEET 2 OF 4

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STATE OF OHIO
 ROBERT G. DEITZ
 E-72232
 REGISTERED PROFESSIONAL ENGINEER
 01/06/16

SHEETS BEARING THIS SEAL ARE AUTHORIZED. RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS OR INSTRUMENTS IS DECLINED.

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 239 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

PROJECT: PV-372
NEW O'REILLY AUTO PARTS STORE
 403 AGLER ROAD
 GAHANNA, OHIO

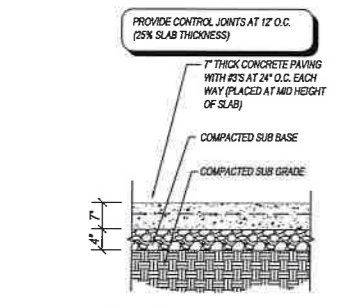
BACON | FARMER | WORKMAN
 ENGINEERING & TESTING, INC.
 111 BROADWAY
 400 SOUTH 77th STREET
 P.O. BOX 1000
 PLYMOUTH, MI 48170
 PHONE: 313.733.2000

BFW
 www.bfw.com

DRAWN BY: S.S. CHECKED BY: B.D.
 DATE: 06/04/15
 REVISION: Rev. 1 09/04/15
 PROJECT NUMBER: GH1
 SHEET NUMBER: C3

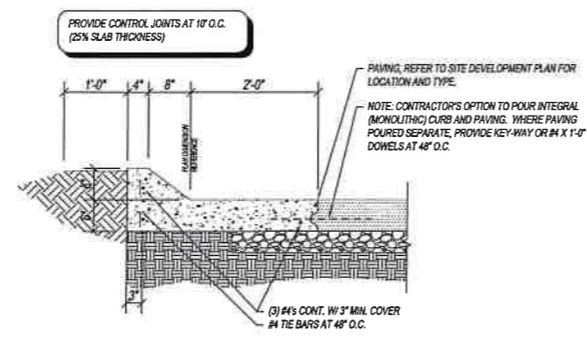
C3
 SHEET 3 OF 4

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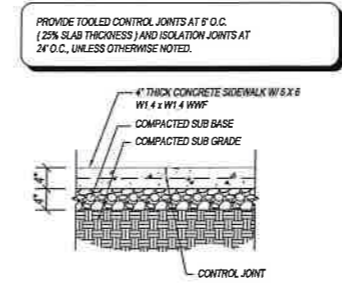


1 CONCRETE PAVING SECTION
 C3 SCALE: 3/4" = 1'-0"

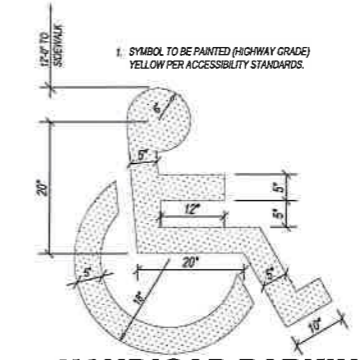
2 NOT USED
 C3 SCALE:



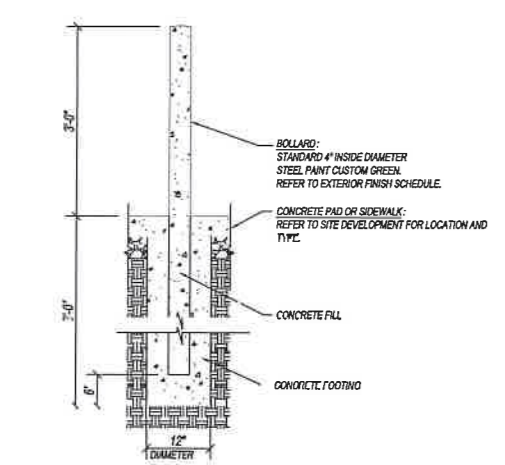
3 CONCRETE CURB SECTION
 C3 SCALE: 3/4" = 1'-0"



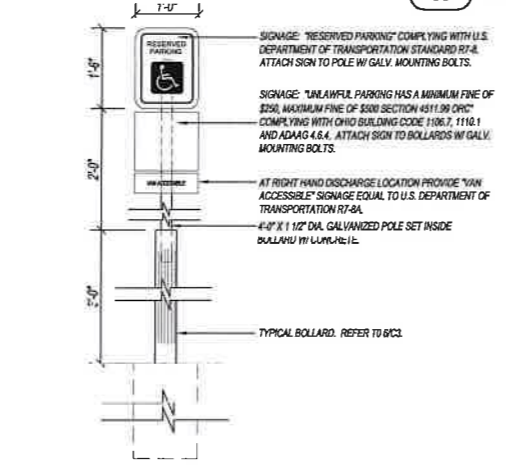
4 CONCRETE SIDEWALK SECTION
 C3 SCALE: 3/4" = 1'-0"



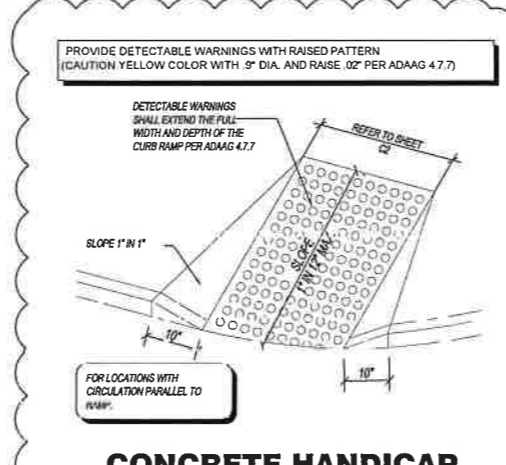
5 HANDICAP PARKING SYMBOL DETAIL
 C3 SCALE: 3/4" = 1'-0"



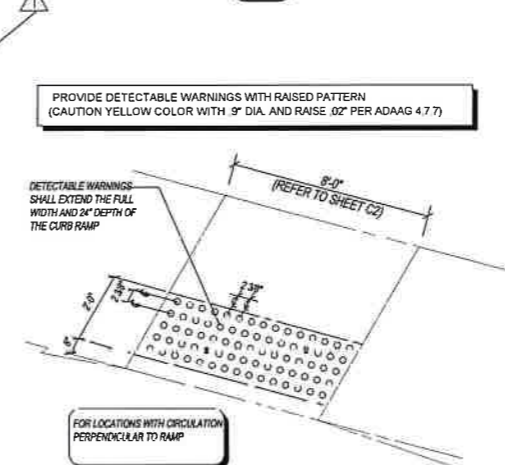
6 STEEL BOLLARD SECTION
 C3 SCALE: 3/4" = 1'-0"



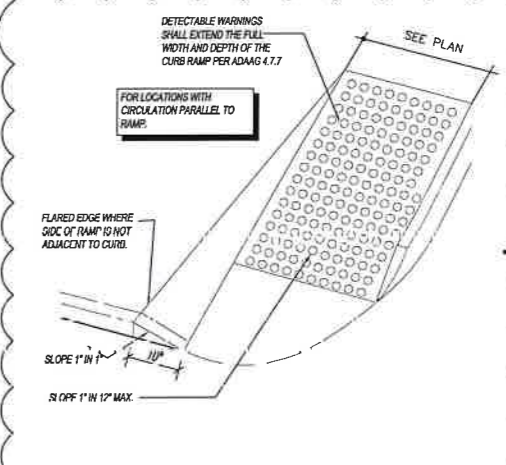
7 HANDICAP PARKING SIGN
 C3 SCALE: 3/4" = 1'-0"



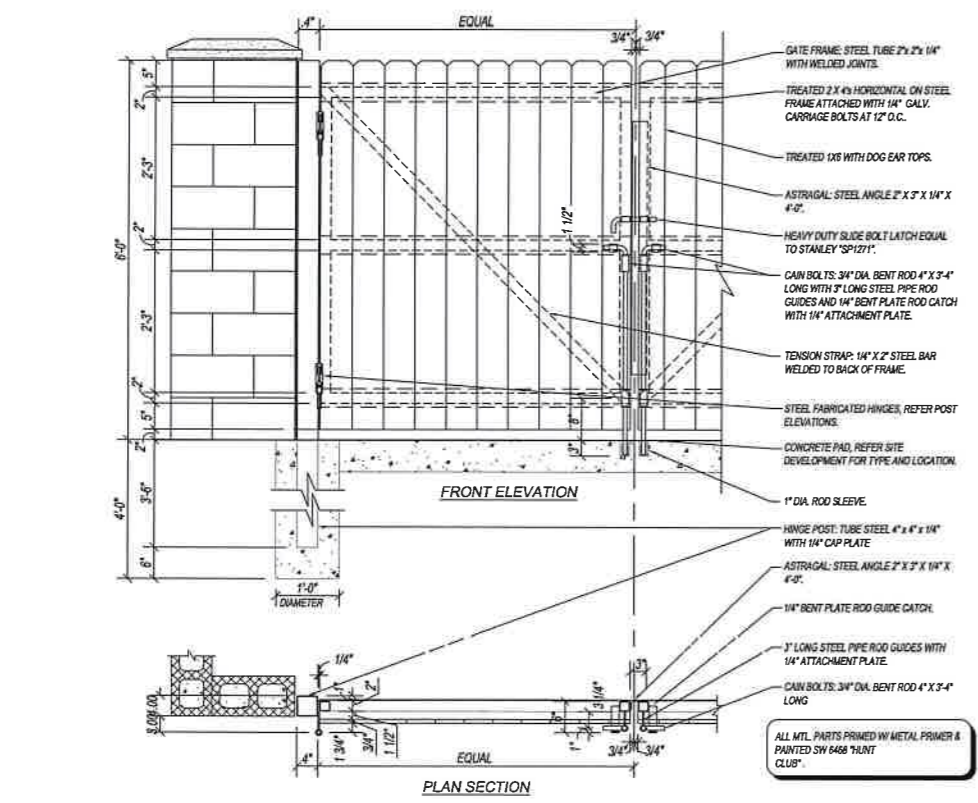
8 CONCRETE HANDICAP RAMP DETAIL
 C3 SCALE:



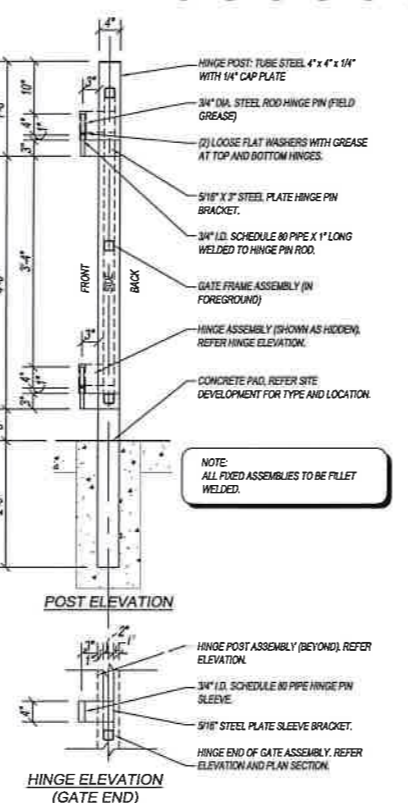
9 DETECTIBLE WARNING DETAIL
 C3 SCALE: N.T.S.



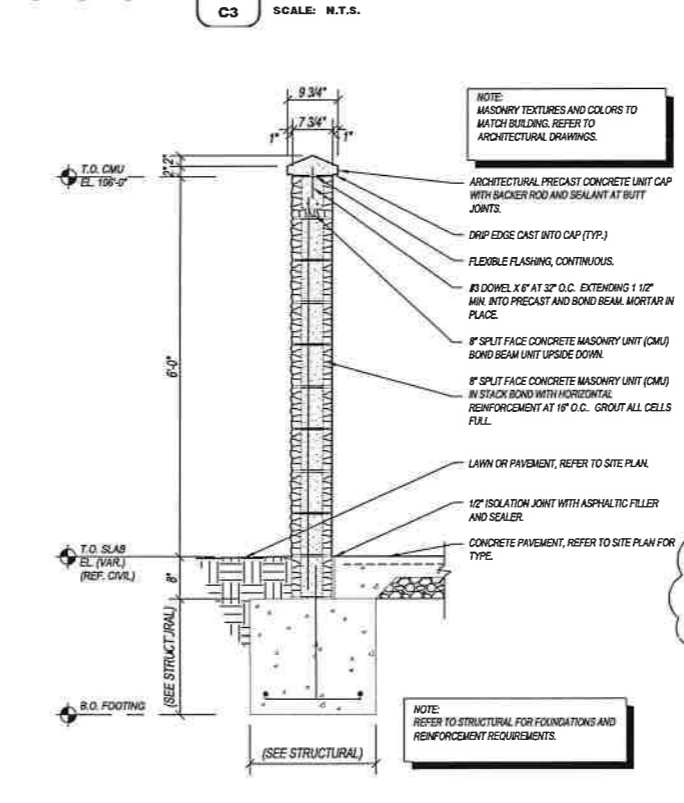
10 CONCRETE HANDICAP RAMP DETAIL
 C3 SCALE:



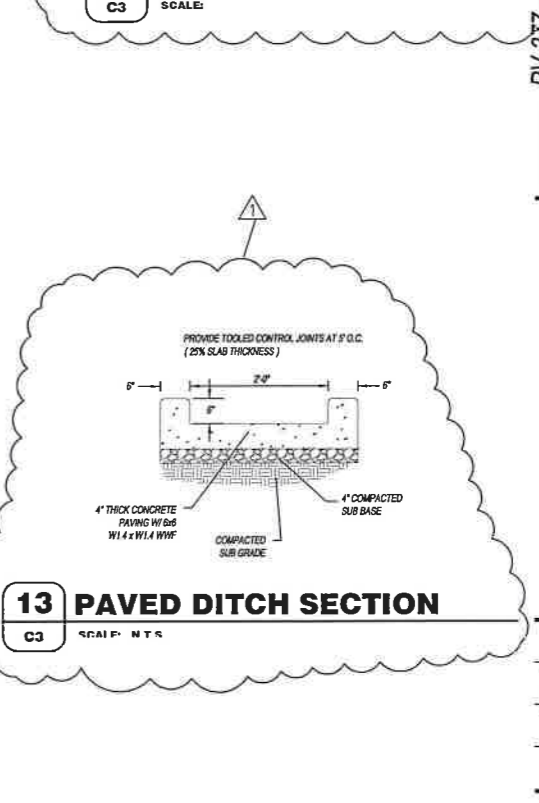
11 SCREEN FENCE GATE
 C3 SCALE: 3/4" = 1'-0"



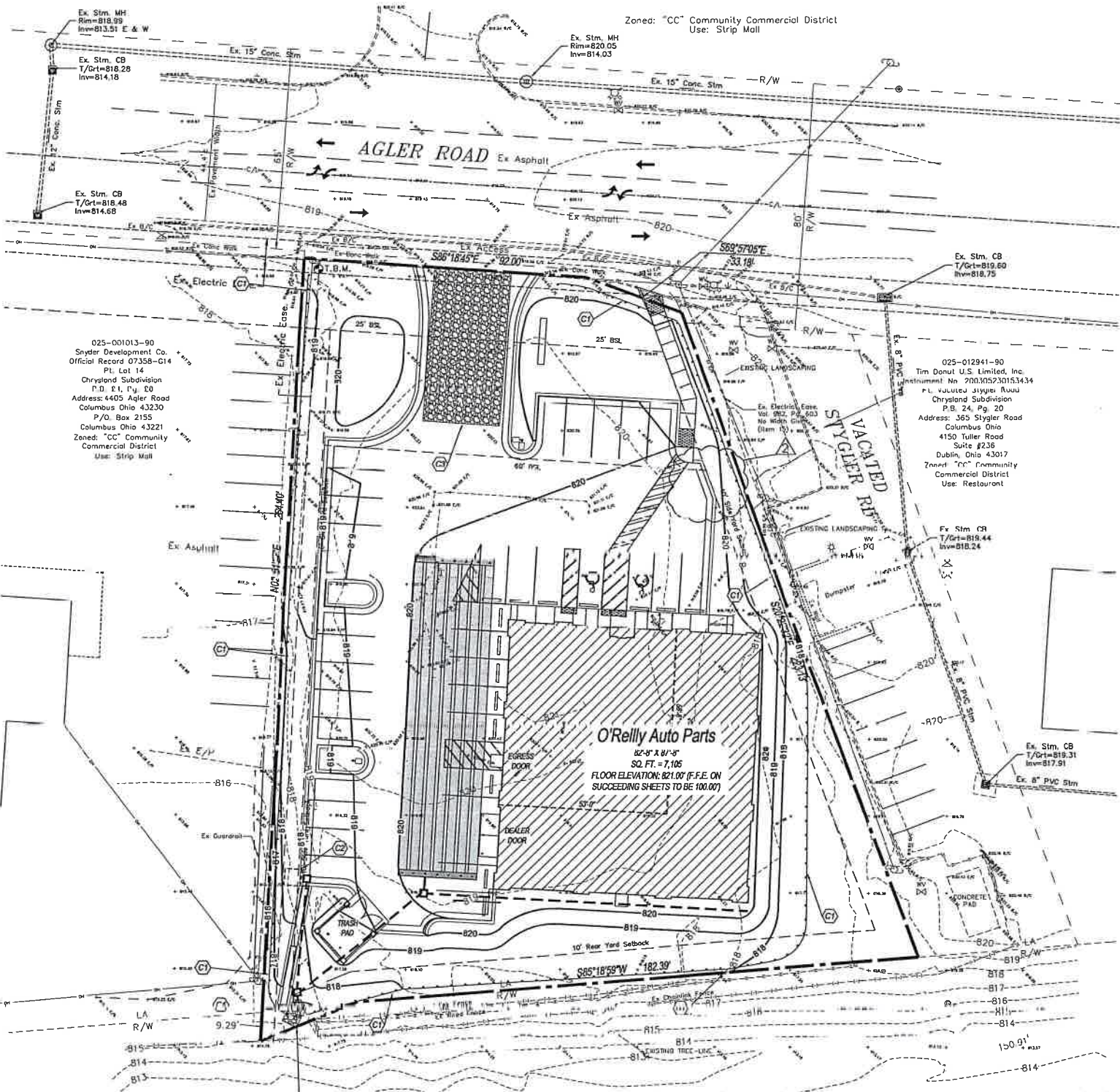
12 REFUSE ENCLOSURE SCREEN WALL
 C3 SCALE: 3/4" = 1'-0"



13 PAVED DITCH SECTION
 C3 SCALE: N.T.S.



13 PAVED DITCH SECTION
 C3 SCALE: N.T.S.



1 SITE EROSION CONTROL PLAN
C4 SCALE: 1" = 20'-0"

BMP OPERATION & MAINTENANCE SCHEDULE

| EXPECTED HOT SPOTS | DUMPSTER AREA | OPERATION & MAINTENANCE SCHEDULE |
|----------------------|--|----------------------------------|
| STRUCTURAL BMP'S | REMOVE DEBRIS FROM CATCH BASINS & OUTLET STRUCTURE | WEEKLY |
| | MOW GRASS AND REPAIR ERODED LANDSCAPING AREAS | BI-MONTHLY |
| | INSPECT & REMOVE SILT BUILDUP ALONG SILT FENCING | WEEKLY |
| | INSPECT AND CLEAN STREETS IF NEEDED | TWICE WEEKLY |
| | INSPECT AND ADD STONE TO CONSTRUCTION ENTRANCE IF NEEDED | DAILY |
| NON-STRUCTURAL BMP'S | BMP MAINTENANCE MEETING/TRAINING | DAILY |
| | | BI-MONTHLY |

CONSTRUCTION EGRESS NOTES:

- CONSTRUCTION EGRESS SHALL BE 20' MINIMUM WIDTH AND 50' MINIMUM LENGTH AND 4" MIN THICKNESS OF (1.5" - 3.0" COARSE AGGREGATE WITH GEOTEXTILE UNDERLAYER REFER TO THE CITY AND STATE FOR ANY ADDITIONAL REQUIREMENTS.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.0 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER THE CITY AND STATE REQUIREMENTS.

STAGES OF CONSTRUCTION:

- INSTALLATION OF EROSION CONTROL FENCE.
- DEMOLITION OF EXISTING IMPROVEMENTS.
- STRIP TOP SOIL.
- INSTALLATION OF CONSTRUCTION ENTRANCE.
- ROUGH GRADING.
- INSTALL STORM SEWER SYSTEM.
- INSTALL SEDIMENT FILTERS OVER STORM SEWER STRUCTURES (IF TOTAL).
- CONSTRUCTION OF NEW SITE IMPROVEMENTS.
- FINAL GRADING.
- PLACEMENT OF RIP-RAP AND FINAL LANDSCAPING, TRIMS, AND SOIL.
- REMOVAL OF EROSION CONTROL FENCE.

KEY NOTES:

- LIMITS OF TEMPORARY EROSION CONTROL FENCE REFER TO DETAIL 3C4.
- DROP INLET SEDIMENT FILTER AND SILT FENCE AROUND BOX, REFER TO DETAIL 2C4 AND 3C4 (SEE GRATE FILTER NOTE, DETAIL 2C4).
- INSTALL 25' X 50' CONSTRUCTION EGRESS PER NOTES.
- RIP-RAP (100 S.F.) SEE RIP-RAP NOTE THIS SHEET.

EROSION CONTROL & MAINTENANCE PLAN NOTES:

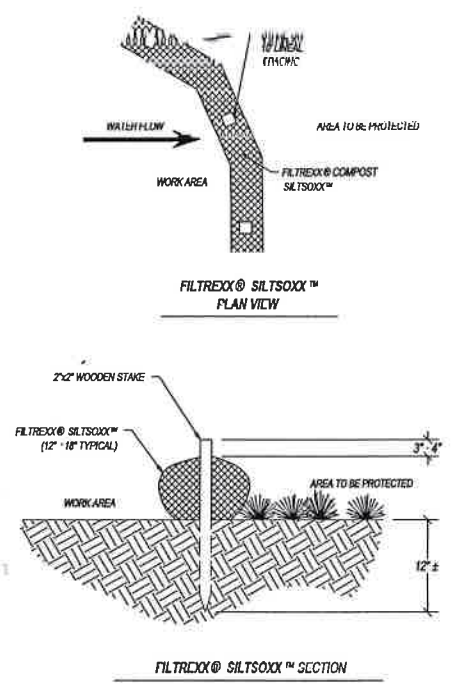
- RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
- PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
- CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST THREE WEEKLY AND WITHIN 24 HOURS AFTER A STORM EVENT OF 0.2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
- INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
- CARE SHALL BE TAKEN TO MINIMIZE THE ENCRUMBMENT OF SEDIMENT INTO ALL STORM DRAIN APERTURES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROADPARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
- REFER TO 3C4 FOR SILT FENCE CONSTRUCTION.
- ALL GRASS SLOPES WHICH EQUAL OR EXCEED 5:1 (H:V) WHICH DO NOT RECEIVE SOO AS INDICATED ON LANDSCAPE PLANS, SHALL UTILIZE CONTEC'S CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MATS C25 OR APPROVED EQUAL MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.
- CONTRACTOR SHALL NOT REMOVE ANY EROSION CONTROL MEASURES UNTIL SUFFICIENT SOIL STABILIZATION IS ESTABLISHED AND IMPERVIOUS SURFACES COMPLETE.
- AFTER PROJECT COMPLETION AND CLOSURE, THE OWNER SHALL INSPECT PROPOSED INLETS BI-MONTHLY AND REMOVE SEDIMENT BUILDUP IF PRESENT.

RIP-RAP NOTE:

PLACE RIP-RAP IN ALL PLACES AS INDICATED ON THE PLAN. THE STONE FOR RIP-RAP SHALL CONSIST OF TIGHT STONE OR ROUND LIMESTONE QUARRY STONE AS NEARLY AS UNIFORM IN SECTION AS PRACTICAL. THE STONES SHALL BE DENSE, RESISTANT TO THE ACTION OF AIR AND WATER, AND SUITABLE IN ALL ASPECTS FOR THE PURPOSE INTENDED UNLESS OTHERWISE SPECIFIED. ALL STONES USED AS RIP-RAP SHALL WEIGH BETWEEN 50-150 POUNDS EACH, AND AT LEAST 60 PERCENT OF THE STONES SHALL WEIGH MORE THAN 100 POUNDS EACH. STONES SHALL BE A MINIMUM OF 12" IN DIAMETER AND PLACED A MINIMUM OF 18" BELOW FINISH GRADE.

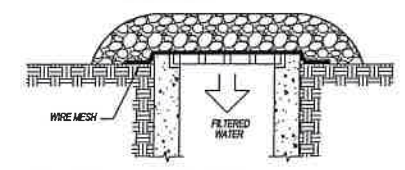
DISTURBED LIMITS:

0.85 < 1.0 ACRES (NOI & SWPPP NOT REQUIRED)

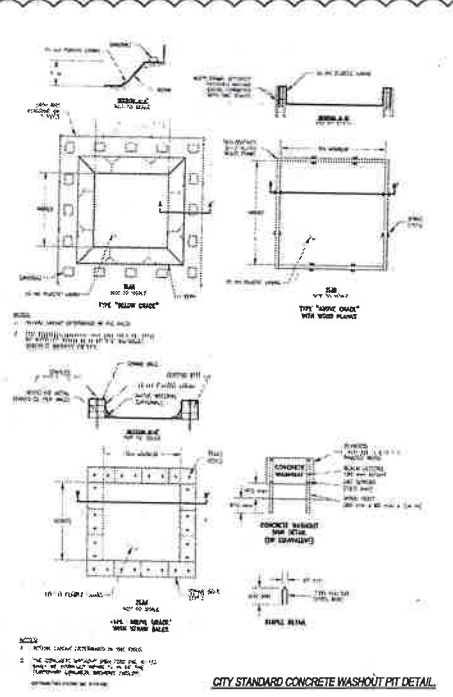


- NOTE:**
- ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS OR APPROVED EQUAL.
 - SILTSOXX™ LUMPUS/SLURRY MASSES FULL 10 MIN APPLICATION REFORMANTS.
 - SILTSOXX™ DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER BLOCKS PER THE ENGINEER.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

3 FILTREXX SILTSOXX
C4 SCALE: 3/4" = 1'-0"



2 STORM INLET SEDIMENT FILTER DETAIL
C4 SCALE: 3/4" = 1'-0"



4 CONCRETE WASHOUT PIT DETAIL
C4 SCALE: N.T.S.

SYMBOLS LEGEND

NOTE: REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND.

| EXISTING SPOT ELEVATIONS | NEW SPOT ELEVATIONS | ABBREVIATION |
|--------------------------|----------------------|--------------|
| LIST | LIST | SW |
| SIDEWALK | TOP OF CURB | TW |
| TOP OF WALL | TOP OF PAVEMENT | TC |
| TOP OF CURB | NEW GRADE | PYT |
| TOP OF PAVEMENT | CONCRETE | GD |
| NEW GRADE | EXISTING TOP OF CURB | GD |
| CONCRETE | EXISTING GRADE | ETC |
| EXISTING TOP OF CURB | EXISTING PAVEMENT | EGG |
| EXISTING GRADE | EXISTING SIDEWALK | ESW |
| EXISTING PAVEMENT | EXISTING PAVEMENT | EDP |
| EXISTING SIDEWALK | EXISTING PAVEMENT | EDP |
| EXISTING PAVEMENT | EXISTING PAVEMENT | EDP |

EXISTING GRADE LINES: --- 701 ---
PROPOSED NEW GRADE LINES: - - - 701 - - -

BENCHMARK ELE = 820.00
BENCH TIE IN POWER POLE. SAID POLE BE LOCATED 4.5' FROM THE NORTHEAST CORNER OF SUBJECT PROPERTY BASIS OF DATUM (BENCHMARK) WAS PRODUCED BY O.D.O.T. VRS OBSERVATIONS, (NAVD-88) OHIO SOUTH ZONE 3402.

NEW LIGHT OR LIGHT POLE LOCATION: [Symbol]

NEW BUILDING: [Symbol]

NEW SIGN LOCATION: [Symbol]



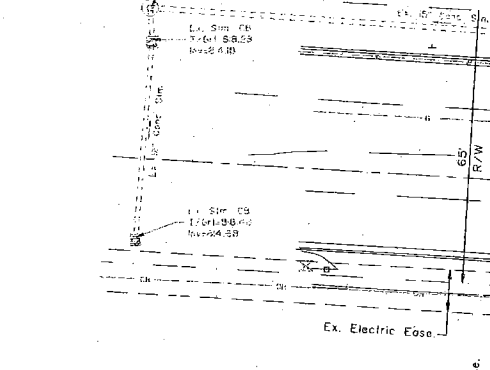
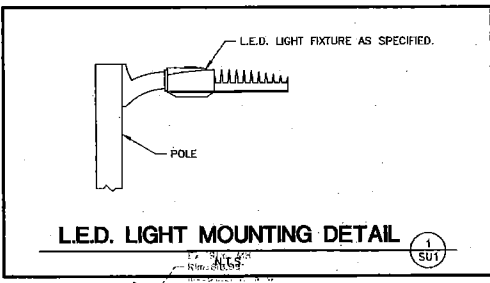
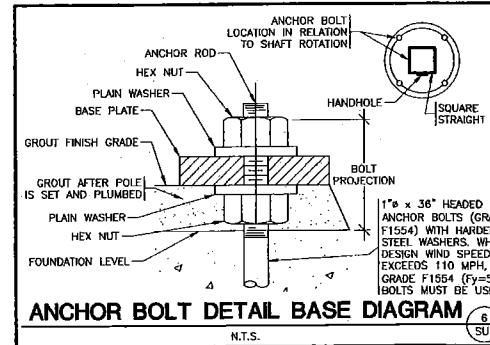
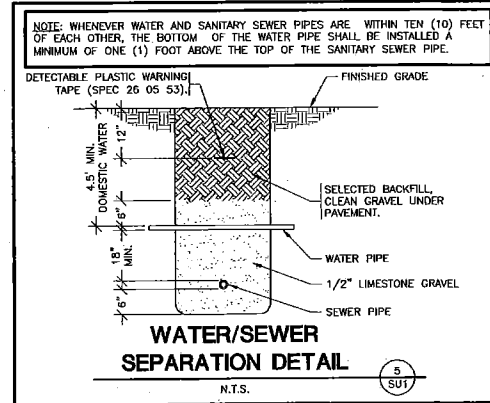
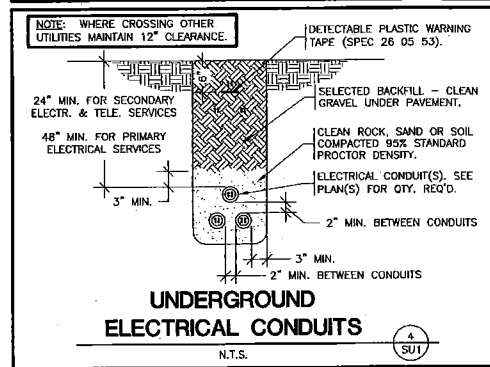
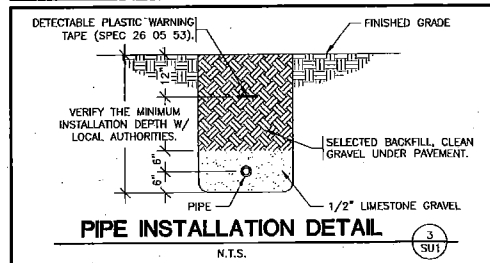
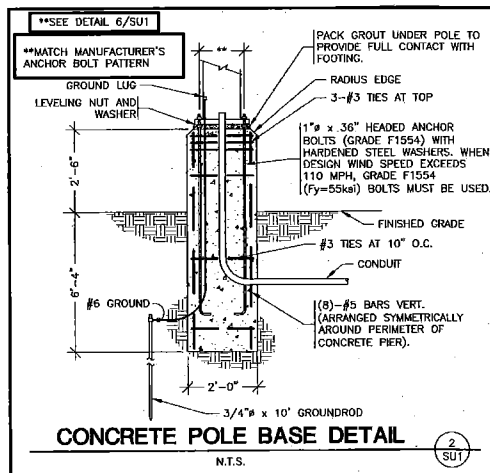
O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65902
(417) 862-2674 TELEPHONE

PROJECT: PV-377
NEW O'REILLY AUTO PARTS STORE
403 AGLER ROAD
GAHANNA, OHIO

BFW
BACC - FARMER WORKMAN
ENGINEERING & TESTING, INC.
1314 DUNDAS DRIVE
SPRINGFIELD, MISSOURI 65902
PHONE: (417) 862-2674
FAX: (417) 862-2674

DRAWN BY: S.S. CHECKED BY: B.D.
DATE: 06/04/15
REVISION: Rev. 1 09/04/15
Rev. 2 11/05/15
PROJECT NUMBER: GH1
SHEET NUMBER: **C4**
SHEET 4 OF 4

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EMERGENCY RADIO TEST REQUIRED
 THE BUILDING SHALL BE TESTED UPON COMPLETION TO ASSURE ADEQUATE EMERGENCY RESPONDER RADIO COVERAGE IS ACHIEVED. THIS TEST SHALL BE PERFORMED BY THE MFLIN TOWNSHIP DIVISION OF FIRE.

CONTRACTOR TO STUB-UP 1\"/>

DEMOLITION NOTE
 1 CLEAN & CLEAR SITE OF INDICATED UTILITIES.
 COORDINATE THE ABANDONMENT WITH THE CITY OF GAHANNA.

EXISTING CONDITIONS NOTES

- THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID, REFER TO SPECIFICATIONS ALSO.
- EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
- ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.

UTILITIES CONTACTS:

ELECTRIC: AEP, TRAVIS WHEELER: 841-883-8852
 TELEPHONE: AT&T, COLLEEN BRISON: 514-223-7877
 WATER: CITY OF GAHANNA: 614-342-4440
 SEWER: CITY OF GAHANNA: 614-342-4440
 GAS: COLUMBIA GAS OF OHIO, CUSTOMER SERVICE: 800-644-4077

NEW UTILITIES

| | | |
|--------|--------------------------|--|
| WS | WATER SERVICE | P.O.C. = POINT OF CONNECTION BETWEEN SITE PIPING (SPEC 02700) AND BUILDING PIPING (SPEC 21 13 13, 22 00 00), AS NECESSARY - SPEC 21 13 13 DENOTES LANDSCAPE IRRIGATION). |
| UG | UNDERGROUND ELECTRIC | |
| UGP | UNDERGROUND PHONE | |
| SS | SANITARY SEWER | |
| OHT | OVERHEAD ELECTRIC | |
| OHP | OVERHEAD PHONE | |
| GS | GAS SERVICE (BY GAS CO.) | |
| COL | COLUMBIA GAS CUT | |
| BORE | BORE | |
| GRAVEL | GRAVEL | |

STATE OF OHIO LIMITATION

I HEREBY CERTIFY THAT THESE ENGINEERING DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF OHIO.

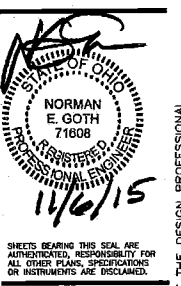
NEG 11/6/15
 NORMAN E. GOTH (DATE)

LICENSE RENEWAL DATE IS DECEMBER 31, 2015

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O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
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 (417) 882-2674 TELEPHONE

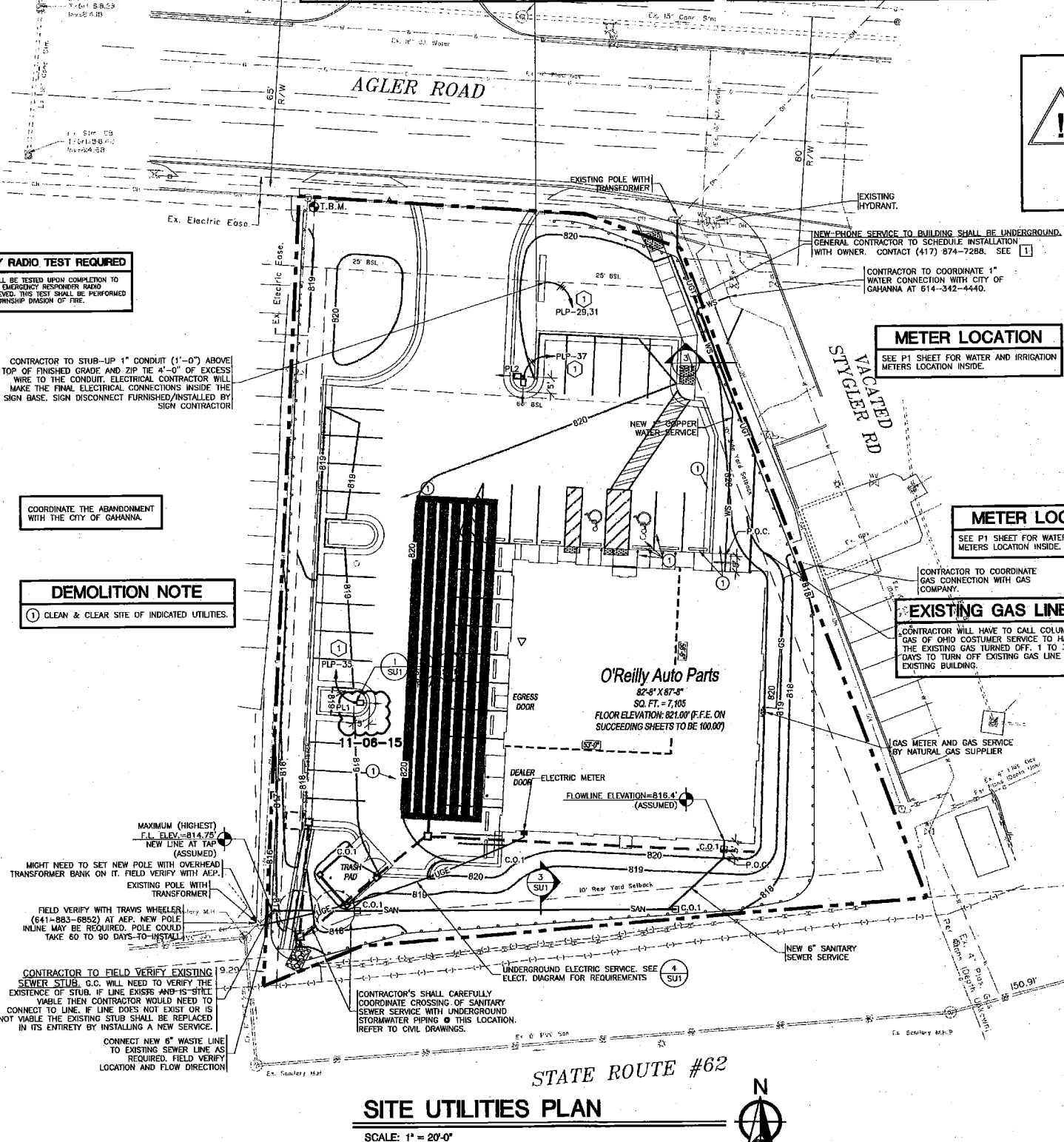
PROJECT:
 NEW O'REILLY AUTO PARTS STORE
 403 AGLER ROAD
 GAHANNA, OH

SITE UTILITIES PLAN

3835 S. JEFFERSON AVE.
 SPRINGFIELD, MO 65707
 P: 417-882-2300
 F: 417-882-1188
 WWW.O'REILLY.COM



DRAWN BY: JTH
 CHECKED BY: NEG
 DATE: 06/04/15
 REVISION: 11-08-15
 PROJECT NUMBER: GH1
 SHEET NUMBER: SU1



**CONTRACTOR CAUTION!!!
 VERIFY SEWER LINE ELEVATION**

BEFORE STARTING ANY BUILDING PAD GRADING AND PLUMBING WORK, THE CONTRACTOR SHALL FIELD VERIFY LOCATION, MATERIAL, CONDITION, ACCESSIBILITY (INCLUDING STATE HIGHWAY OR OTHER RIGHTS-OF-WAY) AND WORKABLE FLOW LINE ELEVATION OF THE EXISTING SANITARY SEWER SERVICE LINE OR MAIN.

IF A WORKABLE FLOW LINE HAS NOT BEEN ESTABLISHED AT THE TIME OF FINAL SANITARY SEWER SERVICE CONNECTION, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXPENSES ASSOCIATED WITH THE INSTALLATION OF A NEW GRINDER PUMP SYSTEM EQUAL TO "ENVIRONMENT ONE" #DH152. PHONE: 518-346-6161 TO MEET OWNER AND LOCAL REQUIREMENTS.

TELEPHONE SERVICE REQUIREMENTS

SPECIAL NOTE: NEW PHONE SERVICE TO BUILDING SHALL BE AN UNDERGROUND SERVICE. CONTRACTORS TO SCHEDULE INSTALLATION OF U/G TELEPHONE SERVICE CONDUIT WITH OWNER. CONTACT (417) 874-7288.

2" PVC SCHEDULE 40 CONDUIT WITH RIGID GALVANIZED STEEL LONG SWEEP BENDS @ 18-24" DEPTH FOR PHONE SERVICE. PROVIDE MINIMUM 1/4" POLYPROPYLENE PULL LINE. PLACE CONDUIT A MINIMUM OF 12" FROM U/G ELECTRIC CONDUIT IN SAME TRENCH.

CAP END OF CONDUIT AT PROPERTY LINE BELOW FINISHED GRADE AND INSTALL CABLE MARKER FOR PHONE COMPANY, IF NECESSARY. OTHERWISE, CONTINUE PHONE SERVICE CONDUIT TO A POLE AND INSTALL RIGID GALVANIZED STEEL CONDUIT A MINIMUM 10" (H) ABOVE FINISHED GRADE ATTACHED TO POLE.

CONTRACTOR SHALL COORDINATE INSTALLATION AND VERIFY REQUIREMENTS WITH PHONE COMPANY. PLUS INCLUDE ALL FEES (IF ANY) BY PHONE COMPANY FOR INSTALLATION OF NO LESS THAN 30 PAIR CABLE IN MENTIONED CONDUIT, TO CONTRACTOR INSTALLED 4" X 6" X 3" FIRE RETARDING BACKBOARD (IF PLYWOOD, PAINT BOARD W/FIRE RETARDING PAINT) WITHIN BUILDING. CONTRACTOR TO PROVIDE #6 AWG CU. GROUND TO TELEPHONE EQUIPMENT LOCATION FROM ELECTRICAL GROUNDING ELECTRODE SYSTEM. FINAL CONNECTIONS AND INSIDE PHONE WIRING BY OWNER.

ONLY IF UNDERGROUND PHONE SERVICE IS NOT AVAILABLE-THEN MAY CONTRACTOR INSTALL APPROPRIATE OVERHEAD PHONE SERVICE RISER, WEATHER HEAD, ETC. COORDINATE WITH OWNER & PHONE CO.

STOP-CALL BEFORE YOU DIG!

811

GENERAL NOTE:

PRIOR TO INSTALLATION, GENERAL CONTRACTOR SHALL CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR SHALL CONTACT THE O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.

VENSTAR KEYNOTE:

1 VIA VENSTAR SURVEYOR / LIGHTING CONTROL PANEL. SEE SHEET VS1 & VENSTAR SCOPE OF WORK (S.O.W.)

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CITY OF GAHANNA

STAFF COMMENTS

Project Name: O'Reilly Auto Parts
Project Address: 403 Agler Road

Development Department:

The applicant requests Final Development Plan, Design Review, Conditional Use, and Variance approval to allow a new auto parts retail store at 403 Agler Road. The building is proposed to be one story with a floor area of 7,100 square feet. The request is substantially similar to a 2014 request for Final Development Plan, Design Review, and Conditional Use which received Planning Commission approval. Those applications have expired which has created the necessity for new applications and additional Planning Commission approvals.

The property is located within the Community Commercial (CC) zone district. CC permits auto supply stores by conditional use. It should be noted that there are two existing auto part stores in the immediate area.

The property is located within the Commercial future land use designation. Commercial areas should complement existing residential and be located with access to major thoroughfares. The site has direct access to Agler Road and is located in close proximity to Stygler Road and Route 62. An objective of the commercial land use is to provide goods and services to persons living and working in the area with clean, safe, attractive, and architecturally compatible structures.

Additionally, the property is located within the West Gahanna Study Area. The West Gahanna Development Study designates this property as Commercial. The Study identified that additional retail uses were needed in the area and that new development should be aesthetically pleasing. The Study encourages fewer and less obtrusive signage. The Study recommends, but does not require, low-profile grounds signs with a maximum height of 8'. A Variance has been requested to allow for a greater square footage of wall signage than what the code permits. Wall sign size is not addressed within the West Gahanna Development Study.

The property is included within the 2015 Economic Development Strategy as a portion of Target Site 1A. The Strategy designates the property as appropriate for retail and service uses. It does not include a specific layout and architectural style but the design theme for the area is centered around a more pedestrian inviting streetscape with less emphasis on buildings centered on automobiles. Signage guidelines are not identified within the PDA, however, pedestrian oriented buildings typically have smaller, more discrete signage.



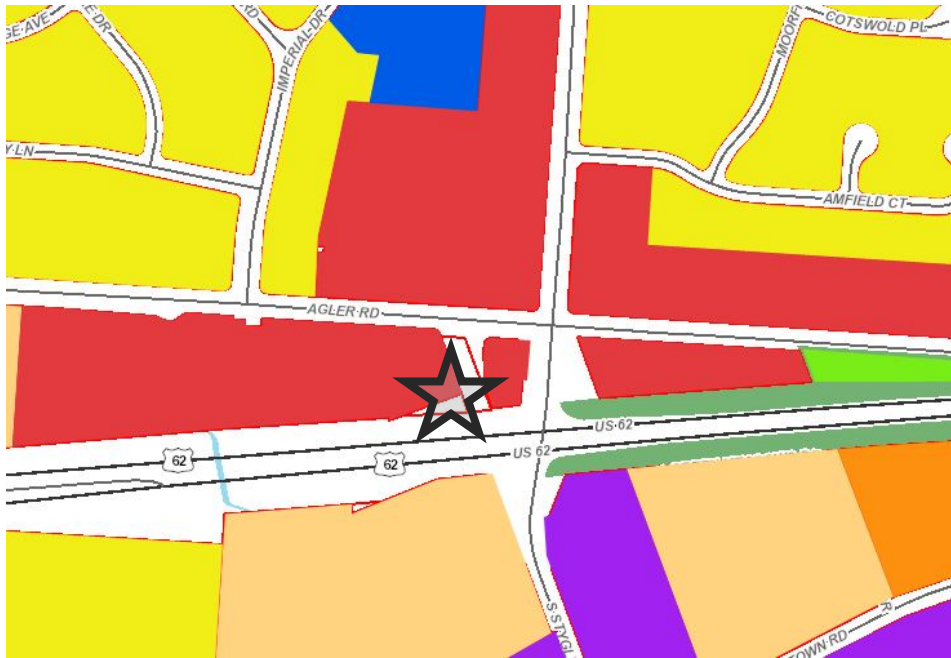
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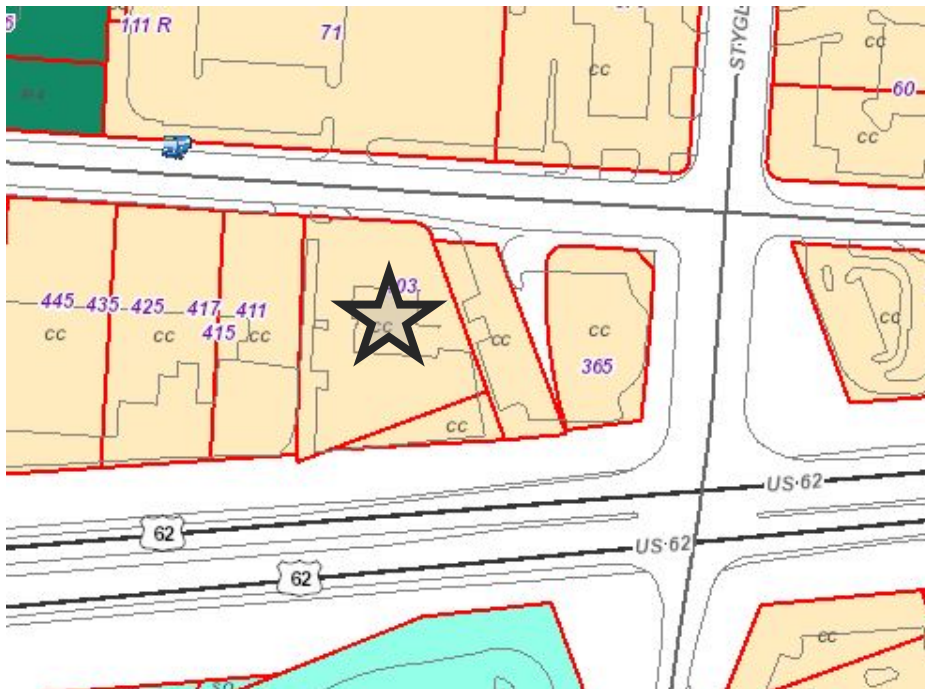


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Future Land Use Map



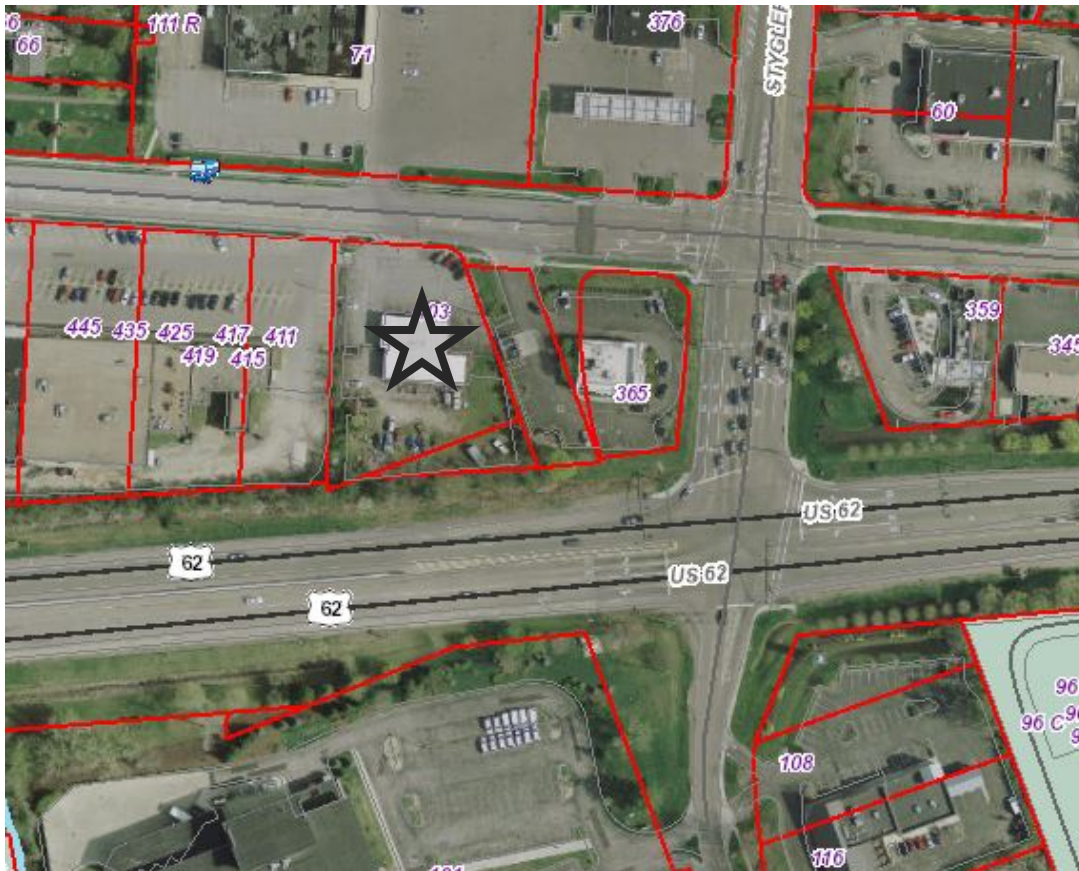
Zoning Map





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Aerial Map



FDP Criteria

Planning Commission shall approve an application for Final Development Plan if the following four conditions are met:

1. The proposed development meets the applicable development standards of the zoning ordinance.

The proposed development appears to meet the development standards of the zoning ordinance with the exception of the variance that has been requested to signage.

2. The proposed development is in accord with appropriate plans for the area.

The proposed development is consistent with the 2002 Land Use Plan update and the West Gahanna Study.

3. The proposed development would not have undesirable effects on the surrounding area.



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It does not appear the proposed development will have an undesirable effect on surrounding properties. The area is developed with similar commercial uses which include retail stores, drive thru restaurants, gas stations, etc. The project, if approved, will provide for redevelopment of a site that has been identified as a redevelopment opportunity.

4. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

The FDP indicates a minor increase in impervious area, however building and parking locations are similarly positioned as the current project. The project appears to be in keeping with existing land use character as the site is surrounded by similarly developed commercial development.

Conditional Use Criteria

Planning Commission shall approve a conditional use if the following four conditions are met:

1. The proposed use is a conditional use of the zoning district and applicable development standards are met.

Retail sale of auto parts are a conditional use within the Community Commercial zone district.

2. The proposed development is in accord with appropriate plans for the area.

The proposed development is consistent with the 2002 Land Use Plan, the West Gahanna Study, and the 2015 Economic Development Strategy. All three plans call for commercial uses on the property.

3. The proposed development will not have undesirable effects on the surrounding area.

It does not appear that the proposed use will have an undesirable effect on the surrounding area. Similar and more intense uses are prevalent in the surrounding area. The proposed development is less intense than the existing use of the property, auto repair.

4. The proposed development will be in keeping with the existing land use character and physical development potential of the area.

It appears that the proposed development, retail sale of auto parts, is keeping with existing land use character. Surrounding properties consist of similar or more intense uses.

Design Review Criteria

Planning Commission shall approve an application for Certificate of Appropriateness if it determines the proposal meets the following criteria:



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1. Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
2. Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
3. Contribute to the continuing economic and community vitality of the Design Review District.
4. Maintain, protect and enhance the physical surroundings of the Design Review District.

It is Development staff's opinion that the request meets the four conditions for approval.

In reviewing requests for design review approval, Planning Commission shall examine the following:

1. Building design to include building massing and general architectural character, exterior surface treatments, fenestration, composition of all building elevations and the overall building color scheme.
2. Site development to include arrangement of buildings and structures on the site, use of signage, means of integrating: parking and drives, points of access to public streets, internal access drive patterns and placement, variety, quantity and size of landscape materials.
3. Overall impact of the proposed project or development on the surrounding properties to determine the effect the project or development will have upon the appearance and environment of the district.
4. Enhance the attractiveness and desirability of the district in keeping with its purpose and intent.
5. Encourage the orderly and harmonious development of the district in a manner in keeping with the overall character of the district.
6. Improve residential amenities in any adjoining residential neighborhood.
7. Enhance and protect the public and private investment in the value of all land and improvements within the district and each adjoining district or neighborhood.

Variance Criteria

The applicant requests a variance to allow for a 71.12 square foot wall sign at the entrance of their building. The property is zoned Community Commercial (CC) and located within the Commercial land use. CC allows for one wall sign per frontage at 50 square feet.



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Signage variances are subject to the criteria of 1165.12. It should be noted that variances related to area requirements are held to a lesser standard than those related to use. Criteria related to an area variance includes the following:

- A. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

No evidence has been provided to demonstrate that the property cannot be used without approval of the variance.

- B. Whether the variance is substantial;
- C. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance;
- D. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, refuse);
- E. Whether the property owner purchased the property with the knowledge of the zoning restriction;
- F. Whether the property owner's predicament feasibly can be obviated through some method other than a variance;
- G. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance;
- H. Whether the sign is sufficiently compatible with the architectural and design character of the immediate neighborhood and all graphic design standards established for the district; and
- I. Whether the sign will be hazardous to passing traffic or otherwise detrimental to the public safety and welfare.

Staff finds that the requested variance is not consistent with the recommendations of the 2015 Economic Development Strategy, or with some of the aforementioned variance criteria, specifically letters "A" and "E". Therefore, staff recommends denial of the request. With that said, staff recognizes that similar variance requests for wall signs have recently been approved. Additionally, it is staff's opinion that the sign, as requested, is appropriately sized for the building.



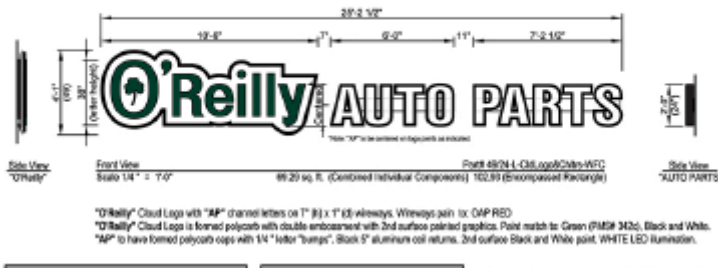
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Variance Rendering w/70 square foot sign



Submitted by:

Michael Blackford, AICP

Deputy Director of Development



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STAFF COMMENTS

Project Name: O'Reilly Auto Parts
Project Address: 403 Agler Rd

The applicant seeks approval for four applications on this site. The applications approved in 2014 expired in 2015 without any progress on the site. All materials submitted with the current applications are the same as those previously approved, with the exception of the west parking lot, which has been realigned to stay out of the 10' side setback.

A 15' "buffer yard" has been illustrated on the south side of the property on Sheet L-1. Property perimeter screening adjoining a freeway is required by code; however, it is not required to be illustrated within the Certificate of Appropriateness plan sheets. This 15' buffer is shown only on the landscape plan, as it has no bearing on any of the other sheets in the packet.

Respectfully Submitted By:

BONNIE GARD

Planning & Zoning Administrator
Department of Public Service
Division of Building & Zoning



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CITY OF GAHANNA
STAFF COMMENTS

Project Name: O'Reilly Auto Parts
Project Address: 403 Agler Rd

THE DIVISION OF POLICE DOES NOT
HAVE ANY COMMENT.

Respectfully Submitted By:

Alan Meyers CI
CHIEF OF POLICE





CITY OF GAHANNA
STAFF COMMENTS

Project Name: O'Reilly Auto Parts
Project Address: 403 Agler Rd

No comments

Respectfully Submitted By:

Kenneth W. Foltz
Chief Building Official

