

15030030

File No. DR- Fee: 43.75
Supersedes File No.(s) DR-2-2013/12120008 or none
Scheduled Public Hearing Date: _____

Check or Receipt#: 9851
Initials: CAS
Date Received 3-31-15

RECEIVED
MAR 31 2015
CAS

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
DESIGN REVIEW
CITY OF GAHANNA PLANNING COMMISSION

PAID
MAR 31 2015
CAS-CHK #
9851

BY: CAS BY: _____

***Required Information**

*Site Address 1601 Eastgate Parkway

*Parcel ID# 025-012947 *Zoning District OCT

*Business Name Formerly - Doc Thompson Plumbing *Contact Ellen Thompson

*Business Owner Name Ellen Thompson *Phone# 614-519-4296

*Business Address 1120 Venetian Way, Gahanna, OH 43230

*Applicant Name Ellen Thompson *Applicant Email N/A

*Applicant Full Address 1120 Venetian Way, Gahanna, OH 43230

*Applicant Phone# 614-519-4296 Applicant Fax# N/A

*Designer/ Architect/ Engineer EMH&T

*Address 5500 New Albany Road, Columbus, OH 43054 *Phone 614-775-4400

*City/ State/ Zip Columbus, OH 43054 Fax 614-775-4800

*D/A/E Representative Craig Bohning Title Vice President

*Design Review of: Site Plan Landscaping Building Design Signage _____ Other _____

*Special Information Regarding the Property and its Proposed Use: Original DR Application expired prior to project completion. See DR-2-2013/#12120008.

Submission Requirements

- (1) Applicant is required to complete the checklist on the following pages.
 - (2) Fee: \$50.00 for review plus \$.01 per square foot (1/2 OF ORIGINAL FEE OF \$87.50)
 - (3) ~~Eleven~~ copies of plans: Two (2) copies of 24x36 (folded, not rolled, to 8 1/2 x 11 inch size prior to submission) & ~~nine~~ (9) 11x17. Two (2) 11 x 17 copies
 - (4) Submit one (1) reduced drawing suitable to an 8 1/2 x 11 inch size.
 - (5) Submit one (1) color rendering of the project in plan/ perspective/ or elevation, mounted on 18 x 24 inch size foam core, gator board or other acceptable material.
 - (6) Submit a detailed list of materials.
- *Note: This application will not officially be accepted until all items listed above have been received.
 **Note: Planning Commission members and/or City Staff may visit the property prior to the hearing to review the application.

Ellen M. Thompson
*Applicant's Signature

Mar 31, 2015
*Date

APPROVAL

In accordance with Sections 1197.05 of the Codified Ordinances of Gahanna, this certifies that this project, as stated above, has been approved by the Gahanna Planning Commission on _____. The applicant shall comply with any conditions approved by the Commission, and shall comply with all building and zoning regulations now in force.
Conditions: _____

Planning & Zoning Administrator

Date

Note: All correspondence will be to applicant above unless otherwise stated.

SUBMITTAL REQUIREMENTS

SEE DR-2-2013

Applicant
Or Agent

Planning &
Zoning
Administrator

I. GENERAL REQUIREMENTS

- | | | | |
|----|---|----------|-------|
| A. | All exhibits required for the permanent file (noted in the following paragraphs) must be able to be reduced to 8 ½ x 11 by folding, photo reduction, etc. (ALL 24x36 PLANS ARE TO BE FOLDED BY APPLICANT PRIOR TO SUBMISSION.) While large mounting boards, material samples, or other exhibits not meeting this criteria maybe used for Planning Commission presentation, the Commission does appreciate the use of the audio visual system whenever possible. | A. _____ | _____ |
| B. | Eleven (two 24x 36, nine 11x 17) black or blue-line prints of the plans including the items listed in section II below shall be submitted to the Planning & Zoning Administrator for presentation to the Planning Commission. | B. _____ | _____ |
| C. | An adequate number of color photographs (Polaroid-type acceptable) are required to illustrate the site, including buildings and other existing features as well as adjacent properties. Photos may also be used to illustrate installations on other sites that are similar to the applicant's proposal. | C. _____ | _____ |
| D. | Materials List | D. _____ | _____ |

II. BUILDING CONSTRUCTION, EXTERIOR REMODELING, AND ADDITIONS (INCLUDING PARKING LOTS AND LANDSCAPING)

- | | | | |
|----|--|-----------|-------|
| A. | Site Plan. A site plan is required containing the following information: | | |
| | 1. Scale and north arrow, | 1. _____ | _____ |
| | 2. Project name and site address; | 2. _____ | _____ |
| | 3. All property and street pavement lines; | 3. _____ | _____ |
| | 4. Existing and proposed contours; | 4. _____ | _____ |
| | 5. Gross area of tract stated in square feet; | 5. _____ | _____ |
| | 6. Proposed ingress and egress to the site, including on site parking area(s), parking stalls and adjacent streets. Delineate traffic flow with directional arrows and indicate the location of direction signs or other motorist's aids (if any); | 6. _____ | _____ |
| | 7. The designation of required buffer screens (if any) between the parking area and adjacent property; | 7. _____ | _____ |
| | 8. Location of all isolated existing trees having a diameter of six (6) inches or more; (Tree masses may be shown with a diagrammatic outline and a written inventory of individual trees exceeding 6" in caliber); | 8. _____ | _____ |
| | 9. Existing landscaping that will be retained and proposed landscaping shall be differentiated and shown on the plan. The type, size, number, and spacing of all plantings and other landscape features must be illustrated; | 9. _____ | _____ |
| | 10. Identify photograph location; | 10. _____ | _____ |
| | 11. Location of all existing and proposed building on the site | 11. _____ | _____ |
| | 12. Location of all existing (to remain) and proposed lighting standards. | 12. _____ | _____ |
| | 13. Provide breakdown of parking spaces required and spaces provided (see COG 1163); | 13. _____ | _____ |

SEE DR-2-2013

- 14. Provide interior landscaping breakdown for paved surface (5% of paved surface required to be landscaped with one (1) tree per 100 square feet, see COG 1163) 14. _____
- 15. Provide lot coverage breakdown of building and paved surface areas. 15. _____

- B. Elevations. Complete elevation from all sides of all proposed construction labeled North, South, East and West and related elevations of existing structures (if any) are required containing the following information:
- 1. Scale; 1. _____
 - 2. Changes in ground elevation; 2. _____
 - 3. All signs to be mounted on the elevations; 3. _____
 - 4. Designation of the kind, color, and texture of all primary materials to be used; 4. _____
 - 5. Fenestration, doorways, and all other projecting and receding elements of the building exterior. 5. _____

- C. Optional requirements at discretion of Planning Commission.
- 1. Scale model. 1. _____
 - 2. Section Profiles. 2. _____
 - 3. Perspective drawing. 3. _____

- D. Material Samples. Material samples are required for all exterior materials. For presentation purposes, a narrative description is required for Planning Commission file. D. _____

- E. Lighting Standard Drawing. A scaled drawing of the proposed lighting standard(s) is required and should contain the following information:
- 1. All size specifications; 1. _____
 - 2. Information on lighting intensity (number of watts, isofootcandle diagram, etc., at least 1/2 foot candles required); 2. _____
 - 3. Materials, colors, and manufacturer's cut sheet; 3. _____
 - 4. Ground or wall anchorage details. 4. _____



CITY OF GAHANNA

Agreement to Build as Specified

Your signature below affirms that, as the applicant Ellen Thompson
(Please Print - Applicant Name)

_____ for 1601 Eastgate Parkway
(Business Name and/or Address)

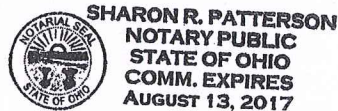
you will build the project as approved and specified by the Planning Commission for the City of Gahanna. You, as the applicant, also agree that any necessary change to the project must go back through Planning Commission process to amend the plans.

Applicant Signature Ellen M Thompson
(Applicant Name/Applicant Representative)

Date Mar 31 2015

Sharon R. Patterson
(Signature of Notary)

3-31-15
(Date)



Stamp/Seal

MATERIAL LIST

Item	Manufacturer Name	Color Name	Color Number
Awnings			
Brick			
Gutters and Downspouts			
Lighting			
Roofing			
Siding			
Signs			
Stucco			
Trim			
Windows			

Planning Commission

Information for All Applicants

1. All required information must be submitted with the application. The Tuesday, four (4) weeks prior to the Public Hearing Date, by 5:00 p.m., is the deadline for acceptance of all applications. No application will be forwarded to Planning Commission until all information is received in the Planning & Zoning Office.
2. It is the responsibility of the applicant to have a court reporter present, at the applicant's expense, if they wish to have a verbatim transcript of the meeting. Council office must be advised in advance if a court reporter is going to be present.
3. Reduced drawings suitable to an 11x17 inch size must be submitted. If an application is amended at any time during the process, a new reduced drawing must be submitted as well as any full size drawings requested.
4. Agendas will be mailed to the applicant on the Friday prior to the Planning Commission meeting. If the agenda is to go to someone other than the applicant, it needs to be noted on the application.
5. If a list of Contiguous Property owners needs to be submitted with an application, it must be compiled in a list on a separate sheet of paper. This must include mailing name and address of property owner. Showing them only on one of the plan sheets is not acceptable.
6. For Design Review applications, a materials list, unless otherwise instructed by the Planning & Zoning Administrator, must be submitted with the application. If materials are changed during the process, then a new materials list must be submitted.
7. For Multi-tenant ground sign & Master Sign Plan applications, location must be noted on a site plan. Also notate location on site plan for a freestanding sign or on building elevation for a wall sign. Color renderings must be submitted.
8. Please review "Submission Requirements" on any application before submitting to the Planning & Zoning Division.
9. Copies of specific sections of the zoning code are available in the Zoning Office at no charge. The entire zoning code with a map is available in the Council Office at a cost of \$25.00. Zoning Code is available on line and can be found @ www.gahanna.gov/departments/development/planning.asp under Code Ordinances.
10. Planning Commission members may visit the property prior to the hearing to review the application.

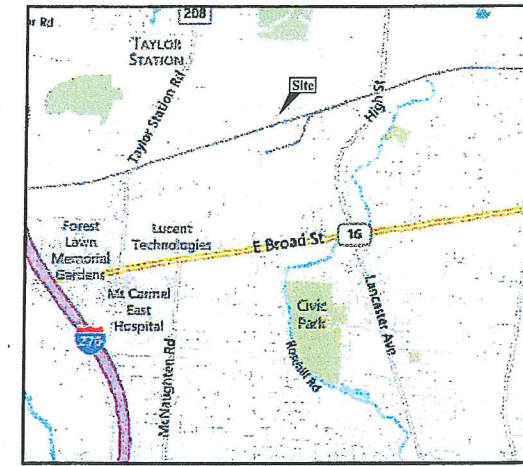


Google Maps – Street View 3-30-15



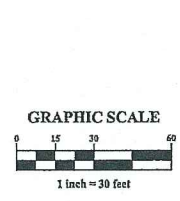
PID 025-011916
 ROLLINS LEASING CORP
 ONE ROLLINS PLZ BOX 1719

PID 025-013452
 G & N ENTERPRISE LTD



SITE DATA	
Project:	Doc Thompson Plumbing
Location:	1601 Eastgate Parkway
PID:	025-012947
Owner:	David R. Thompson 1120 Venetian Way Gahanna Ohio 42320
Zoning:	OCT
Site Area:	88,941± SF (2.03 Acres)
Total Building Area:	3,744± SF
Parking Lot Area:	5,255± SF
Parking Required:	5 Spaces
Parking Provided:	12 Spaces
Interior Landscape Required:	5% of Parking Lot (5255sf) = 263 sf
Interior Landscape Provided:	528 sf
Trees Required:	One Tree per Landscape Area >100 sf = 2 Trees
Trees Provided:	3 Trees

FEMA NOTE:
 According to the Federal Emergency Management Agency's Flood Insurance Rate Map (dated June 17, 2008), the subject parcel shown hereon lie within Zone "X" (areas determined to be outside of the 0.2% annual chance floodplain), Community Panel No. 39049C0214 K.



A NOTE: THIS PLAN WAS PREPARED BY EMHT INC. ON 1/27/2013 2:15 PM. THE PLAN IS VALID FOR 180 DAYS FROM THE DATE OF ISSUANCE. THE PLAN IS VALID FOR 180 DAYS FROM THE DATE OF ISSUANCE.

REVISIONS	DATE	DESCRIPTION

MR. DAVID R. THOMPSON

CITY OF GAHANNA, FRANKLIN COUNTY, OHIO
 LANDSCAPE PLAN
 FOR
DOC THOMPSON PLUMBING
 SITE PLAN

EMHT
 Brian, Matthew, Hamilton & Tibbo, Inc.
 5400 New Albany Road, Columbus, OH 43254
 Phone: 614.777.7300
 Fax: 614.777.7301
 emht.com

DATE	February, 2013
SCALE	1" = 30'
JOB NO.	20121655
SHEET	1/1

DOC THOMPSON PLUMBING

GAHANNA, OH

BUILDING SPECIFICATIONS AND GENERAL NOTES

OWNERS INFORMATION:
 NAME: DAVID THOMPSON
 ADDRESS: 1120 VENETIAN WAY
 CITY: GAHANNA
 STATE: OH
 ZIP: 43230

BUILDING REQUIREMENTS:
 - USE OF BUILDING: STORAGE WAREHOUSE
 - OCCUPANCY: GROUP S-1
 - CONSTRUCTION TYPE: TYPE 5B
 - DESIGN CODE: 2009 OHIO BUILDING CODE
 - OCCUPANCY CATEGORY: 2

LOADS:	SNOW	WIND	SEISMIC	TRUSS DEAD LOADS
(Pa)	= 20.0 PSF	R.W.S. = 90 MPH	- SEISMIC IMPORTANCE FACTOR: 1.00	DLTC = 4 PSF
(Ca)	= 0.90	(W) = 1.00	- SPECTRA RESPONSE	DLBC = 5 PSF
(Ia)	= 1.00	EXPOSURE = C	- COEFFICIENT SDS: .155	
(Ct)	= 1.20		- SPECTRA RESPONSE	
(Pt)	= 15.12 PSF		- COEFFICIENT SDI: .082	
(Cs)	= 0.94		- SITE CLASSIFICATION: D	
(Pa)	= 14.18 PSF		- SEISMIC DESIGN CATEGORY: A	
(Lr)	= 20.00 PSF			

*WITH UNBALANCED LOADS AS REQUIRED

PLEASE NOTE:
 - DESIGNER LIABILITY LIMITED TO THE PREPARATION OF THE DRAWINGS WITH THE PARAMETER CONTRACTED AND ASCERTAINING TO CODE COMPLIANCE
 - THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE RECEIVED FROM THE ENGINEER THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, & DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
 - NO CHANGES, MODIFICATIONS, OR DEVIATIONS SHALL BE MADE FROM THESE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ENGINEER.
 - WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ENGINEER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.

SOIL:
 - SOIL CLASSIFICATION #4 (FIRM) BASED ON ASABE EP486.1 (CLASS OF MATERIAL: SW, SP, SM, SC, GM AND GC)
 - A SOIL BEARING VALUE ASSUMED AT 2000 PSF. ALL FOOTINGS AND SLAB TO BEAR ON UNDISTURBED INORGANIC SOIL OR SOIL COMPACTED TO 95% MODIFIED PROCTOR DENSITY.

CONCRETE:
 - CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-08 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.

LUMBER:
 - ALL WOOD CONSTRUCTION SHALL BE OF MATERIALS SHOWN AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE NATIONAL FOREST PRODUCTS ASSOCIATION SPECIFICATIONS FOR WOOD CONSTRUCTION.
 - ALL LUMBER IN CONTACT WITH CONCRETE ABOVE GRADE SHALL BE TREATED IN ACCORDANCE TO AWPA U1-10 UC9B OR BETTER REQUIREMENTS.
 - ALL LUMBER BELOW GRADE SHALL BE TREATED IN ACCORDANCE TO AWPA U1-10 UC4B OR BETTER REQUIREMENTS.

COLUMNS:
 - ALL SIDEWALL COLUMNS ARE 3-PLY 2x8 2400F MSR SYP LAMINATED COLUMNS, RIVET CLINCHED, WITH STEEL REINFORCED JOINTS UNLESS SPECIFIED OTHERWISE.
 - ALL ENDWALL COLUMNS ARE 3-PLY 2x8 2400F MSR SYP LAMINATED COLUMNS, RIVET CLINCHED, WITH STEEL REINFORCED JOINTS UNLESS SPECIFIED OTHERWISE.

TRUSSES:
 - DESIGNED IN ACCORDANCE TO 2009 OHIO BUILDING CODE
 - TPI APPROVED
 - THIRD PARTY INSPECTED

STEEL PANEL:
 - PRO-RIB STEEL PANEL
 - .0142" MINIMUM THICKNESS BEFORE PAINTING
 - .0185" NOMINAL THICKNESS AFTER PAINTING
 - G90 GALVANIZED COATING PLUS ZINC PHOSPHATE
 - 40 YEAR PAINT WARRANTY
 - STRUCTURAL STRENGTH ASTM-A563 GRADE 80 (FULL HARD STEEL)
 - 82000 PSI MINIMUM TENSILE STRENGTH

SOFFIT PANELS:
 - COLOR MATCHED VENTED STEEL SOFFIT PANELS
 - CERAM-A-STAR 1050 PAINT SYSTEM

FRAMING FASTENERS:
 - GALVANIZED THREADED HARDENED STEEL RINGSHANK NAILS.

PANEL FASTENERS:
 - COLOR MATCHED GALVANIZED WOODGRIP SCREWS, #9 DIAMETER, 1/4" HEX HEAD.

GRADE:
 - ALL GRADES TO SLOPE AWAY FROM BUILDING AT A MIN. 2% GRADE FOR PROPER DRAINAGE.

CONSTRUCTION BRACING:
 - TEMPORARY BRACING DURING CONSTRUCTION SHALL BE CONTRACTORS RESPONSIBILITY. REFER TO THE BCSI-B1 AND/OR B10 SUMMARY SHEET "GUIDE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF TRUSSES", BY THE TRUSS PLATE INSTITUTE (TPI) AND THE WOOD TRUSS COUNCIL OF AMERICA (WTCA).

HVAC:
 - HEATING, VENTING, AND AIR CONDITIONING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWING AND SHOULD BE APPROVED BY LOCAL OFFICIALS.

PLUMBING:
 - PLUMBING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWING AND SHOULD BE INSTALLED IN ACCORDANCE WITH REQUIRED BUILDING CODES.

ELECTRICAL:
 - ELECTRICAL REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWING AND SHOULD BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY LOCAL CODES.

EXIT LIGHTS:
 - EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES, TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS. THE EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH THE ICC ELECTRICAL CODE.

ACCESSIBLE PARKING:
 - SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 5.

ACCESSIBLE ROUTE:
 - SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 4.

ACCESSIBLE DOOR:
 - SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 3 SECTION 309. HANDLES, PULLS, LATCHES, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT FINGERING, OR TWISTING OF THE WRIST TO OPERATE. LEVER OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPENED, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" (1220 MM) ABOVE FINISHED FLOOR THE THRESHOLD OF SERVICE DOORS MAY NOT EXCEED 1/2" ON EITHER SIDE OF THE DOOR.

HARDWARE:
 - SHALL BE INSTALLED, PROVIDED, AND MAINTAINED AS SPECIFIED IN NFPA NO. 10 (BY OTHERS).

FIRE EXTINGUISHERS:
 - SHALL BE INSTALLED, PROVIDED, AND MAINTAINED AS SPECIFIED IN NFPA NO. 10 (BY OTHERS).

BUILDING INFORMATION:
 NAME: DOC THOMPSON PLUMBING
 ADDRESS: 1601 EASTGATE PARKWAY DRIVE
 CITY: GAHANNA
 STATE: OH
 ZIP: 43230
 COUNTY: FRANKLIN

SHEET INDEX	
SHEET #	SHEET DESCRIPTION
1 OF 14	GENERAL NOTES AND SITE PLAN
2 OF 14	ELEVATIONS
3 OF 14	FIRST FLOOR PLAN AND COLUMN, FOOTING & BRACKET SCHEDULE
4 OF 14	FIRST FLOOR ROOM LAYOUT AND FLOOR JOIST LAYOUT
5 OF 14	ROOF FRAMING PLAN
6 OF 14	WALL SECTION AND SECTION DETAILS
7 OF 14	WALL SECTION AND SECTION DETAILS
8 OF 14	TRUSS AND MISCELLANEOUS FRAMING DETAILS
9 OF 14	ENDWALL FRAMING AND ENDWALL SECTION
10 OF 14	ENDWALL FRAMING AND ENDWALL SECTION
11 OF 14	STAIR DETAILS
12 OF 14	MISCELLANEOUS FRAMING AND STEEL DETAILS
13 OF 14	STEEL LAYOUTS
14 OF 14	RESTROOM AND DRINKING FOUNTAIN DETAILS



PROJECT TITLE:
DOC THOMPSON PLUMBING
 GAHANNA, OH

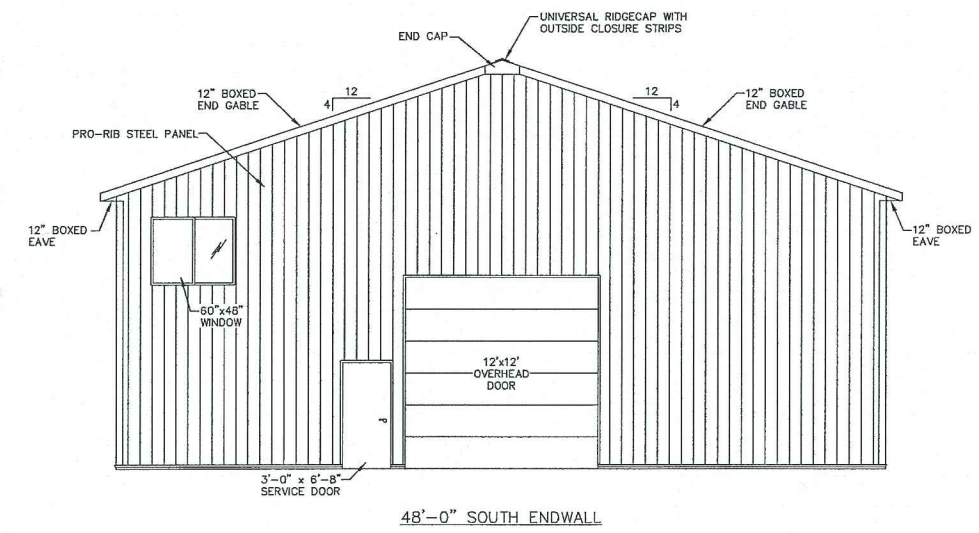
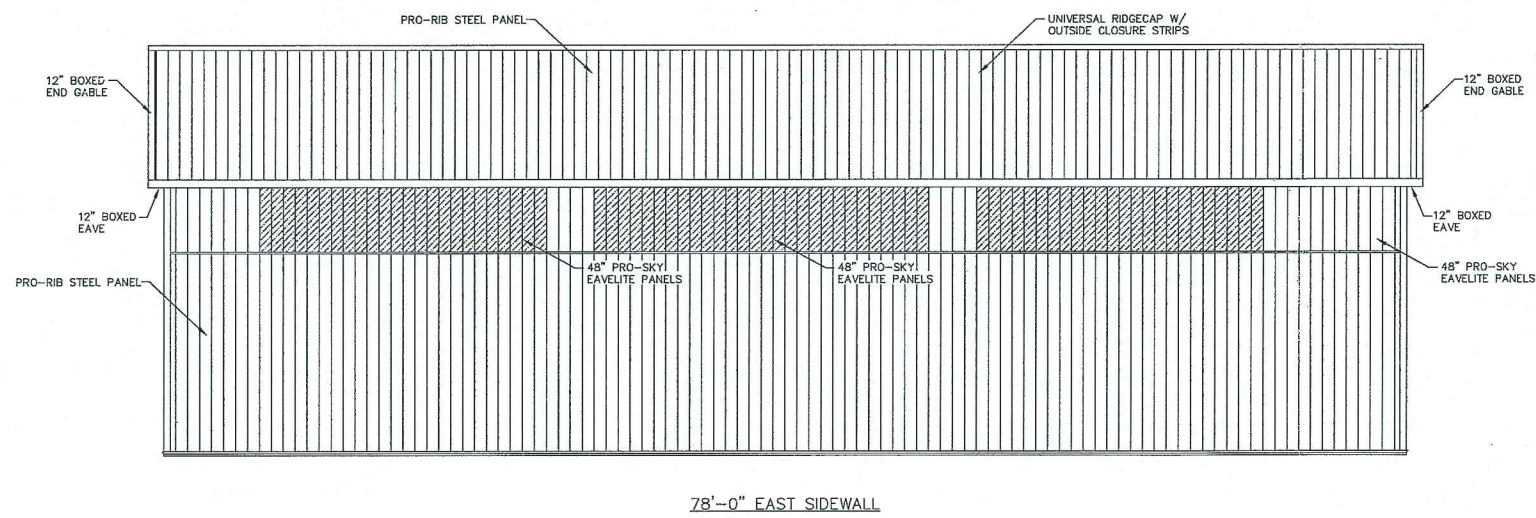
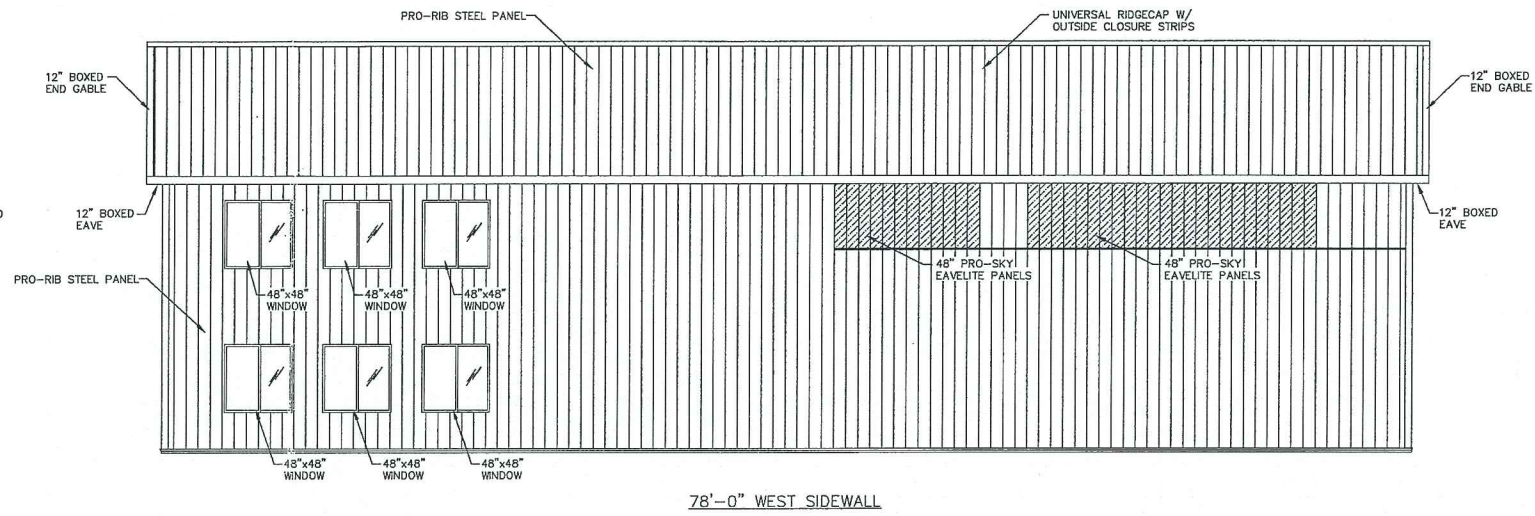
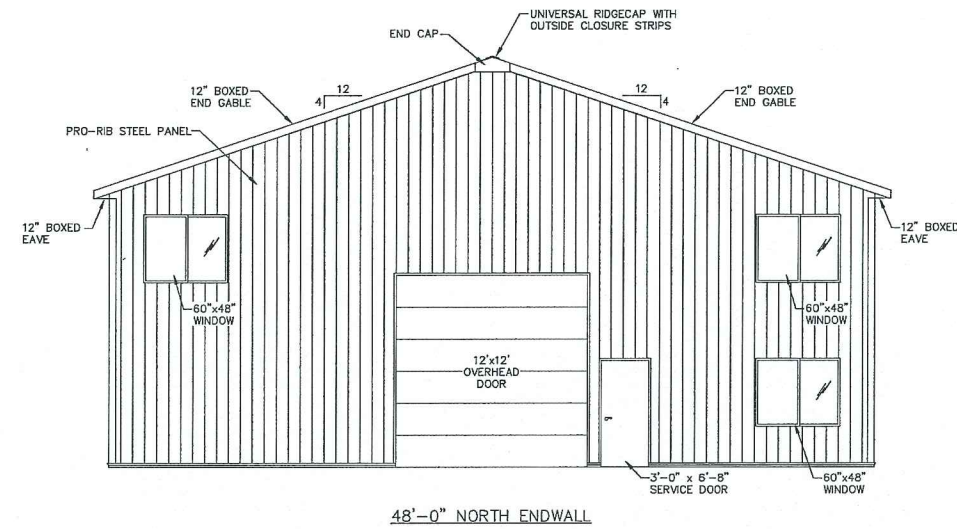
SHEET TITLE:
 GENERAL NOTES AND SITE PLAN

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	09/08/18	REMOVE SITE PLAN	T.M.G.
2			
3			
4			

PROFESSIONAL ENGINEER: JEFF MURRAY
 PLAN DESIGNER: LOUISE EWALD
 DRAWN BY: KEITH SCHEUNEMANN

FILE NAME: W291120H01
 DATE: 09-18-2012
 SCALE: AS NOTED

SHEET NO.
 1
 OF 14



ELEVATIONS
SCALE: 3/16"=1'-0"



PROJECT TITLE:
DOC THOMPSON PLUMBING
GAHANNA, OH

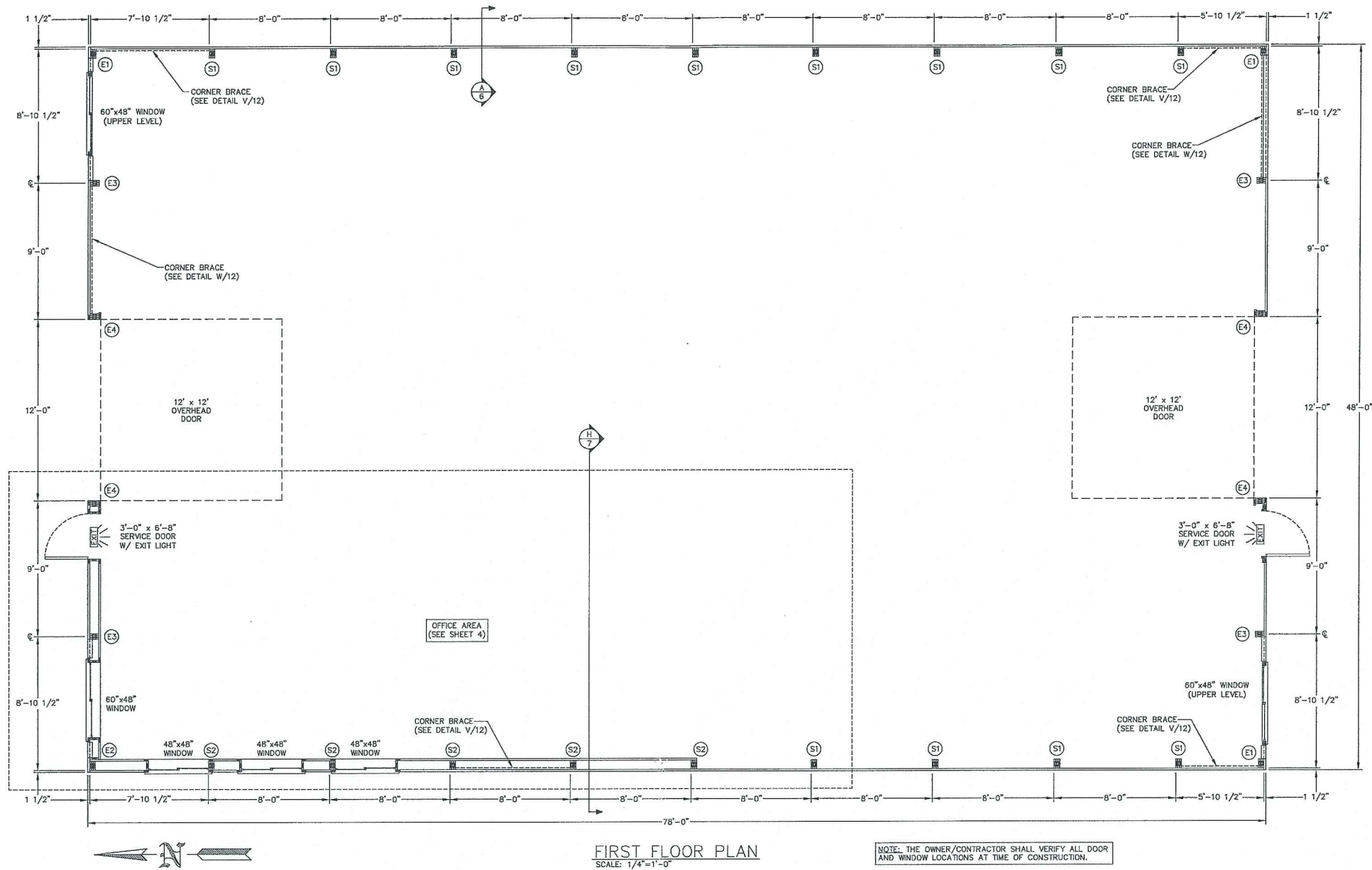
SHEET TITLE:
ELEVATIONS

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

PROFESSIONAL ENGINEER: **JEFF MURRAY**
PLAN DESIGNER: **LOUISE EWALD**
DRAWN BY: **KEITH SCHEUNEMANN**

FILE NAME: **W291120H02**
DATE: **09-18-2012**
SCALE: **AS NOTED**

SHEET NO.
2
OF **14**



COLUMN, FOOTING & BRACKET SCHEDULE								
COLUMN LOCATION	COLUMN DESCRIPTION	EMBEDMENT	NUMBER OF COLUMNS	FOOTING DESCRIPTION	BRACKET DESCRIPTION	NO. OF BRACKETS PER COLUMN	BRACKET TO COLUMN	BRACKET TO CONCRETE (EACH COLUMN)
S1	3-PLY (18")-2x8 2400F MSR SYP LAMINATED COLUMN	0'-0"	13	8" FROST WALL (SEE DETAIL B/6)	SWP83	1	(2)-1/2"x6" BOLTS & (8)-1/4"x3" WOOD SCREWS	N/A
S2	3-PLY (18")-2x8 2400F MSR SYP LAMINATED COLUMN	0'-0"	5	8" FROST WALL (SEE DETAIL J/7)	SWP83	1	(2)-1/2"x6" BOLTS & (8)-1/4"x3" WOOD SCREWS	N/A
E1	3-PLY (18")-2x8 2400F MSR SYP LAMINATED COLUMN	0'-0"	3	8" FROST WALL (SEE DETAIL B/6)	PABO	1	(2)-1/2"x4" LAG SCREWS & (8)-1/4"x3" WOOD SCREWS	(1)-5/8"x5" WEDGE BOLT, 4-3/4" MIN. EMBEDMENT
E2	3-PLY (18")-2x8 2400F MSR SYP LAMINATED COLUMN	0'-0"	1	8" FROST WALL (SEE DETAIL J/7)	PABO	1	(2)-1/2"x4" LAG SCREWS & (8)-1/4"x3" WOOD SCREWS	(1)-5/8"x5" WEDGE BOLT, 4-3/4" MIN. EMBEDMENT
E3	3-PLY (22")-2x8 2400F MSR SYP LAMINATED COLUMN	0'-0"	4	8" FROST WALL (SEE DETAIL B/6)	SWP83	1	(2)-1/2"x6" BOLTS & (8)-1/4"x3" WOOD SCREWS	N/A
E4	3-PLY (24")-2x8 2400F MSR SYP LAMINATED COLUMN	0'-0"	4	8" FROST WALL (SEE DETAIL B/6)	PABO	1	(2)-1/2"x4" LAG SCREWS & (8)-1/4"x3" WOOD SCREWS	(1)-5/8"x5" WEDGE BOLT, 4-3/4" MIN. EMBEDMENT



PROJECT TITLE:
DOC THOMPSON PLUMBING
GAHANNA, OH

SHEET TITLE:
FIRST FLOOR PLAN AND
COLUMN, FOOTING & BRACKET SCHEDULE

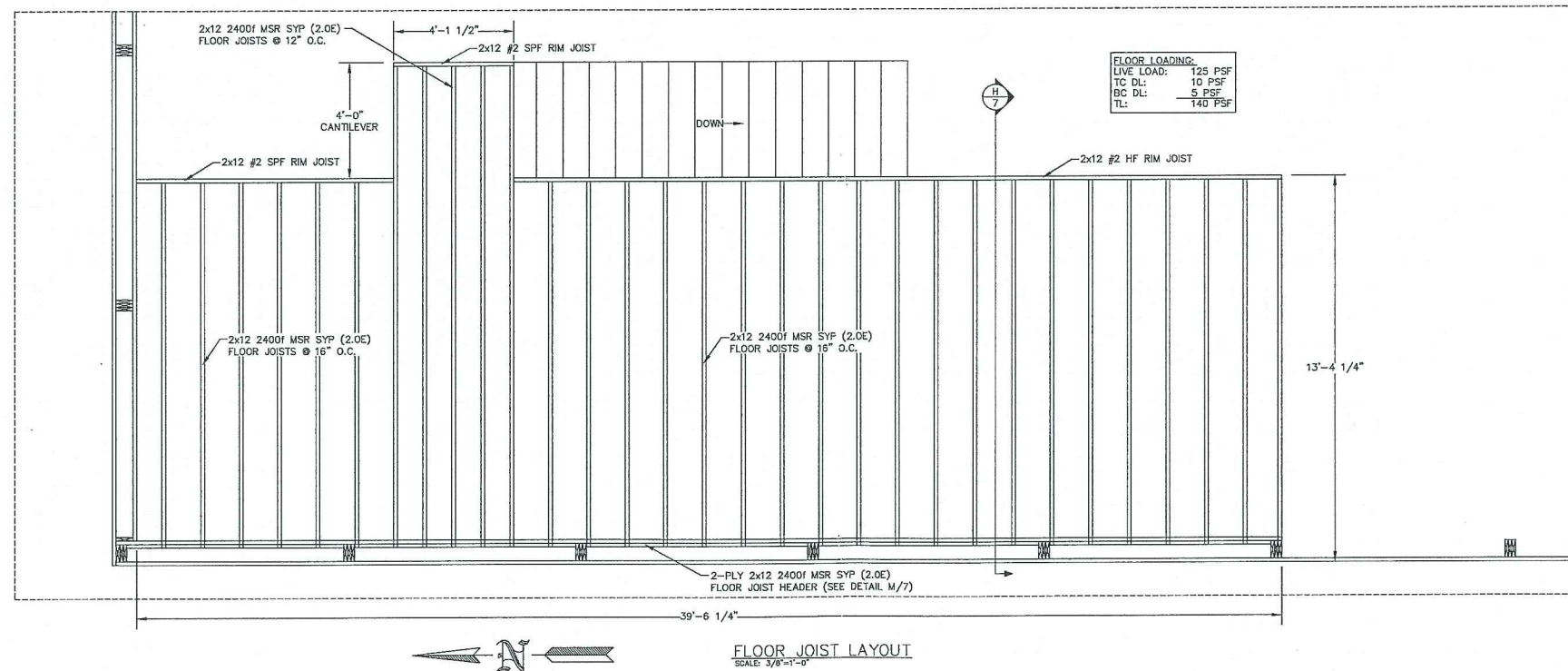
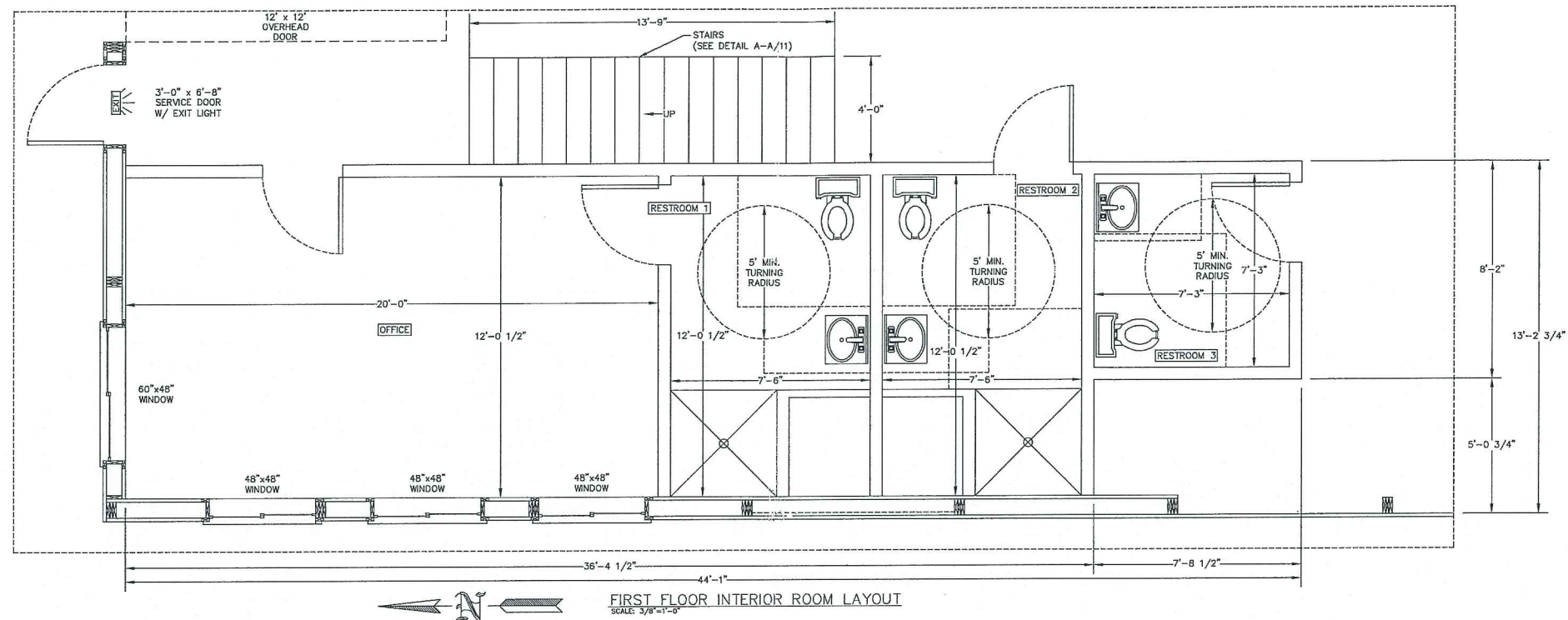
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	10/06/12	ADD 8" FROST WALL	T.M.G
2			
3			
4			

PROFESSIONAL ENGINEER: **JEFF MURRAY**
FILE NAME: **W291120H03**

PLAN DESIGNER: **LOUISE EWALD**
DATE: **09-18-2012**

DRAWN BY: **KEITH SCHEUNEMANN**
SCALE: **AS NOTED**

SHEET NO.
3
OF **14**



PROJECT TITLE:
DOC THOMPSON PLUMBING
GAHANNA, OH

SHEET TITLE:
FIRST FLOOR ROOM LAYOUT AND FLOOR JOIST LAYOUT

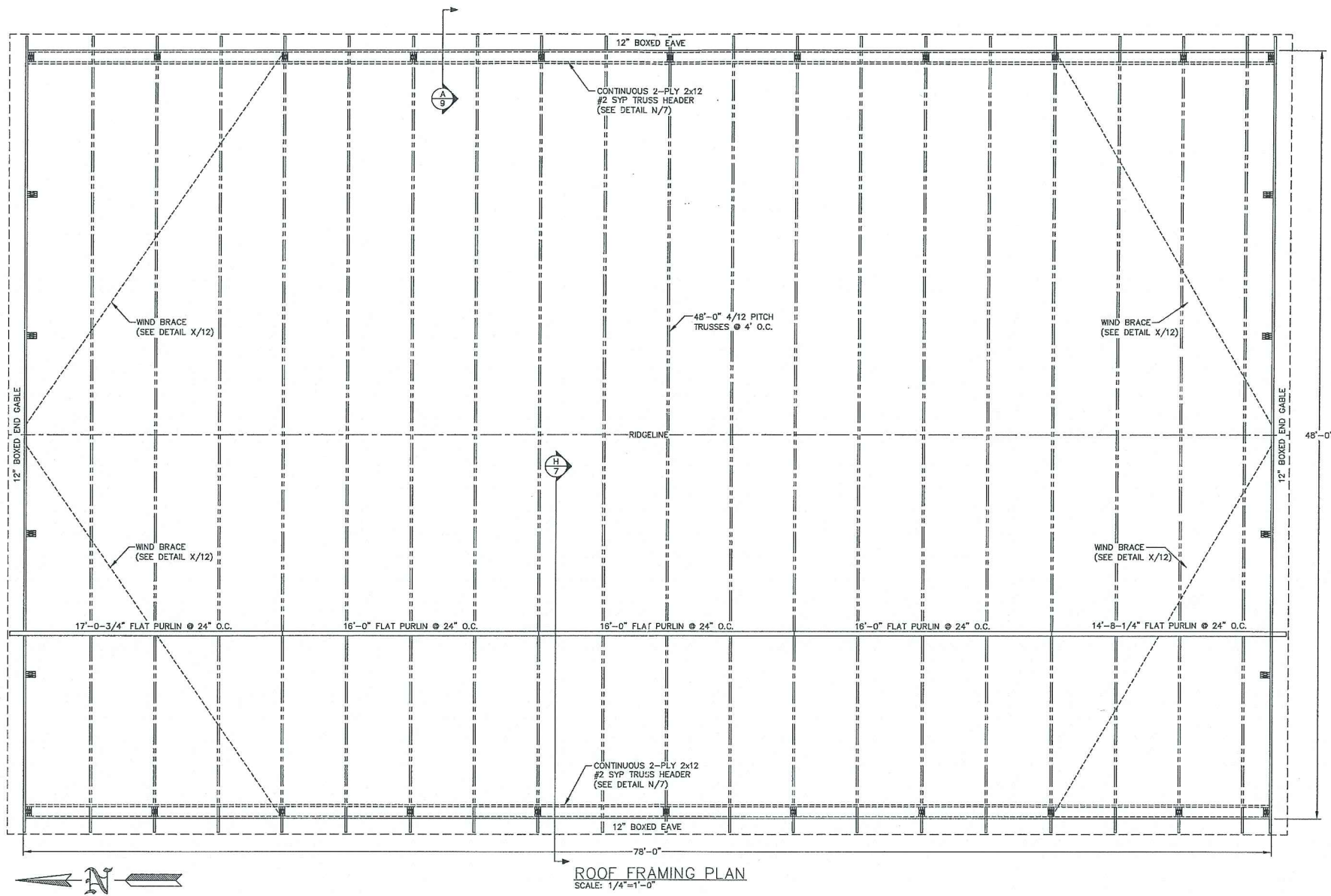
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

PROFESSIONAL ENGINEER: **JEFF MURRAY**
FILE NAME: **W291120H04**

PLAN DESIGNER: **LOUISE EWALD**
DATE: **09-18-2012**

DRAWN BY: **KEITH SCHEUNEMANN**
SCALE: **AS NOTED**

SHEET NO.
4
OF **14**



PROJECT TITLE: DOC THOMPSON PLUMBING
GAHANNA, OH

SHEET TITLE: ROOF FRAMING PLAN

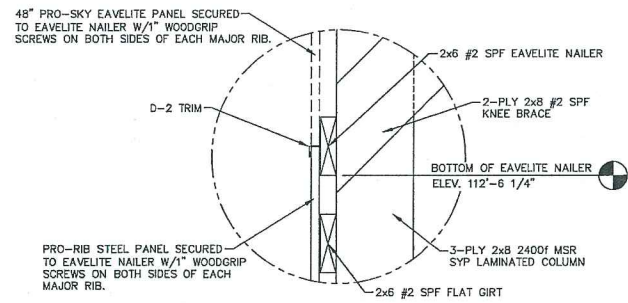
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

PROFESSIONAL ENGINEER: JEFF MURRAY
FILE NAME: W291120H05

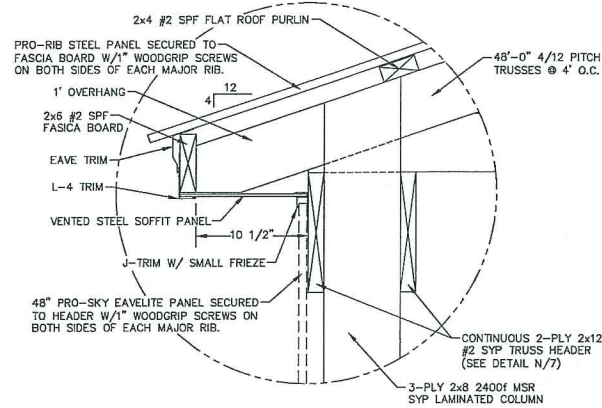
PLAN DESIGNER: LOUISE EWALD
DATE: 09-18-2012

DRAWN BY: KEITH SCHEUNEMANN
SCALE: AS NOTED

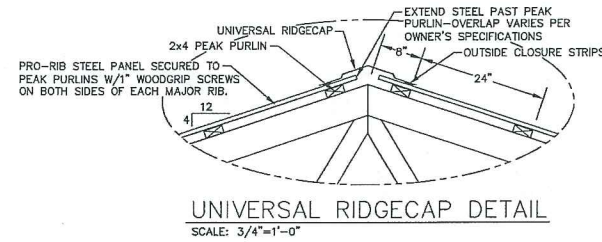
SHEET NO. 5 OF 14



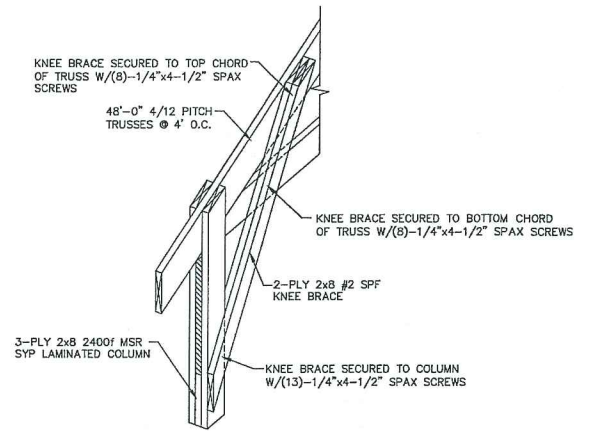
D-2 TRIM @ EAVELITE DETAIL
SCALE: 1 1/2"=1'-0"



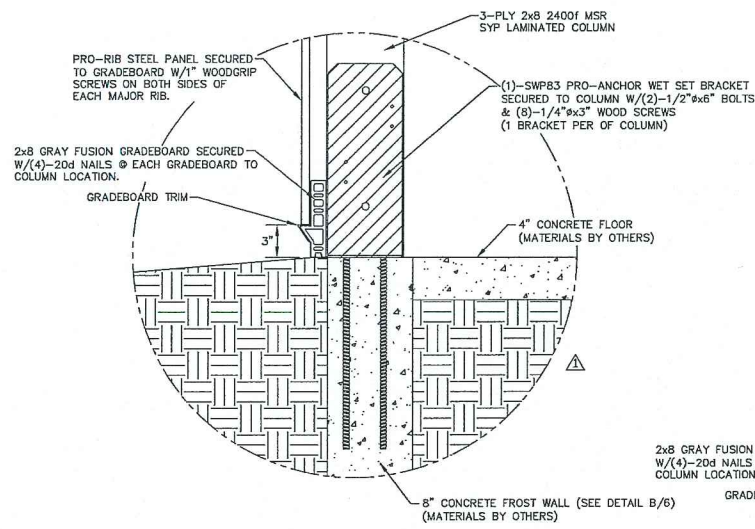
1' OVERHANG DETAIL
SCALE: 1 1/2"=1'-0"



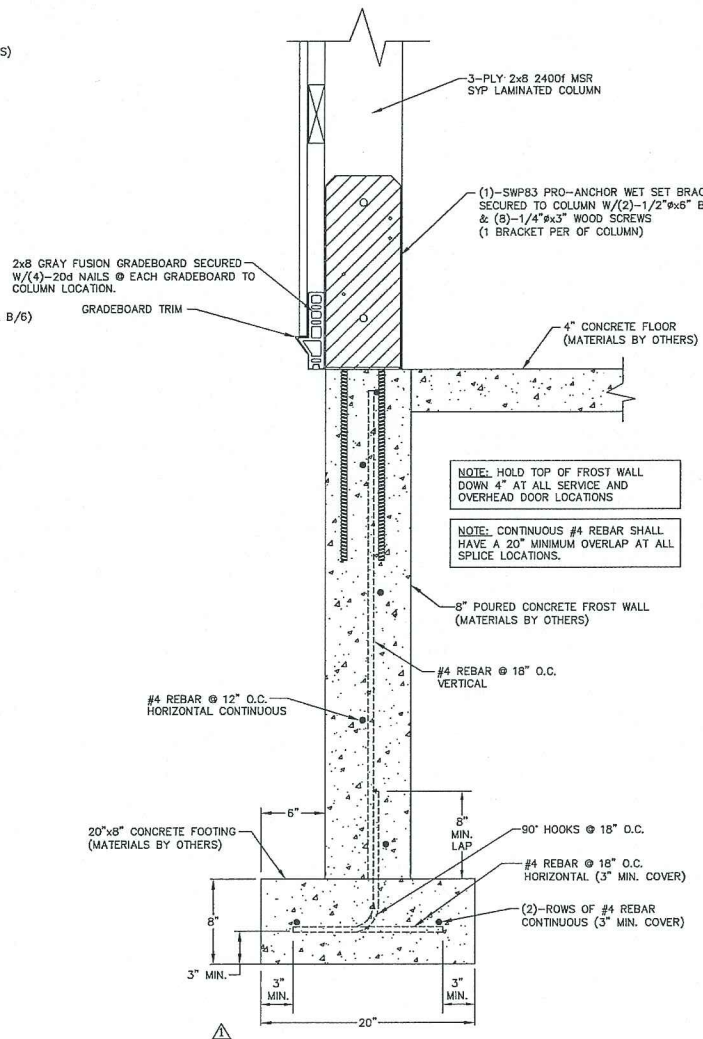
UNIVERSAL RIDGECAP DETAIL
SCALE: 3/4"=1'-0"



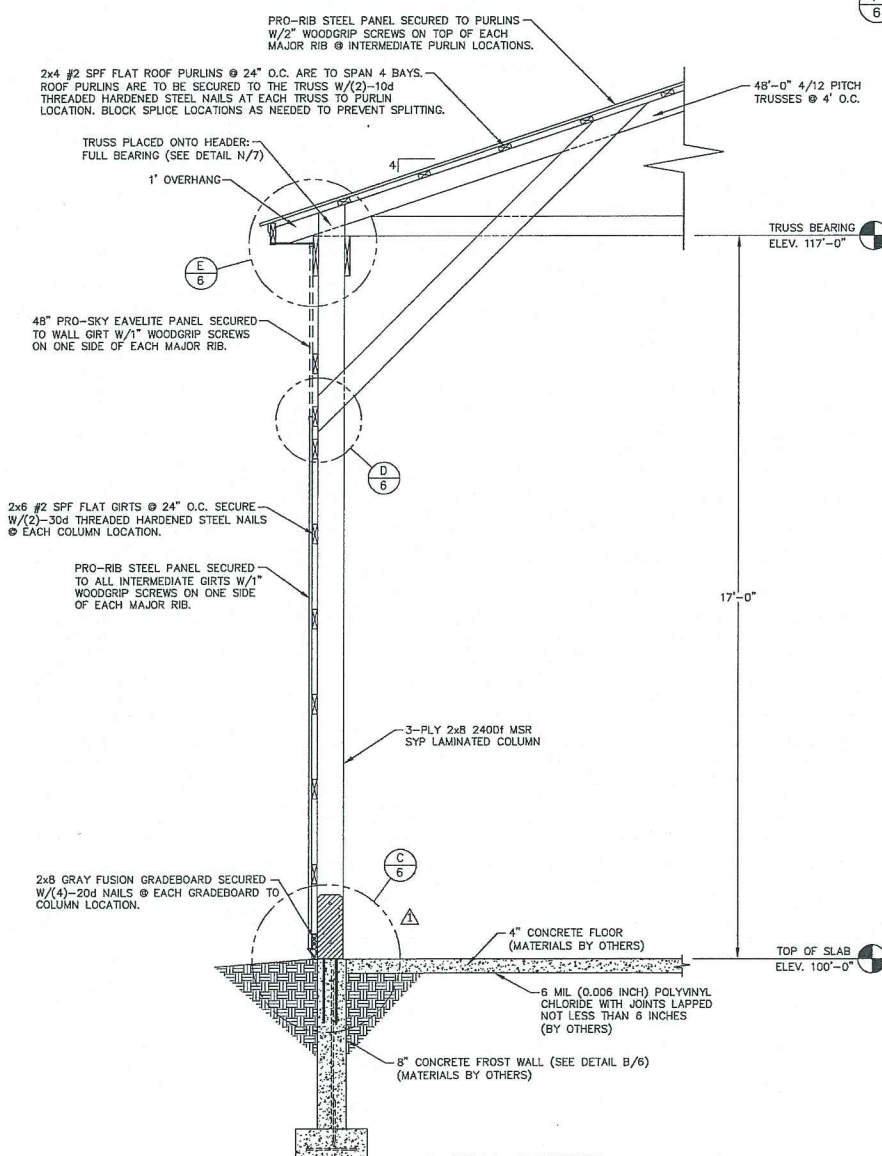
KNEE BRACE INSTALLATION
NOT TO SCALE



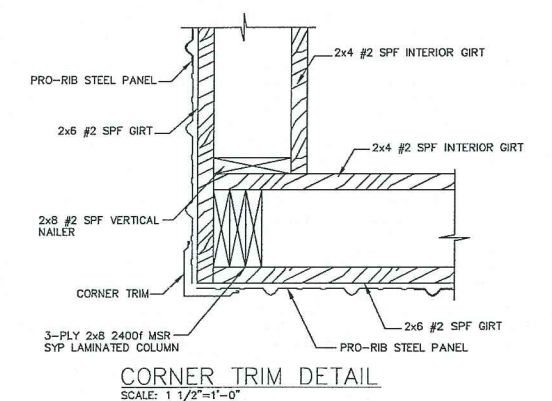
GRADEBOARD DETAIL
SCALE: 1 1/2"=1'-0"



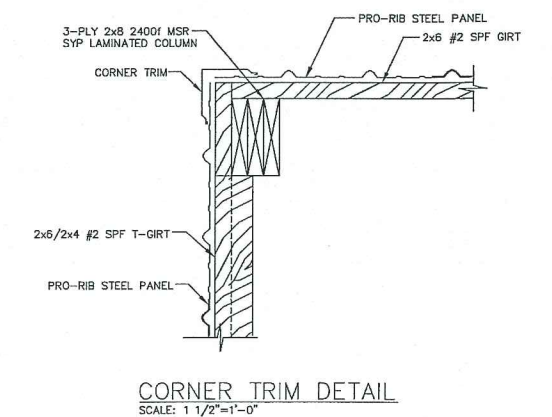
CONCRETE WALL DETAIL
SCALE: 1 1/2"=1'-0"



WALL SECTION
SCALE: 1/2"=1'-0"



CORNER TRIM DETAIL
SCALE: 1 1/2"=1'-0"



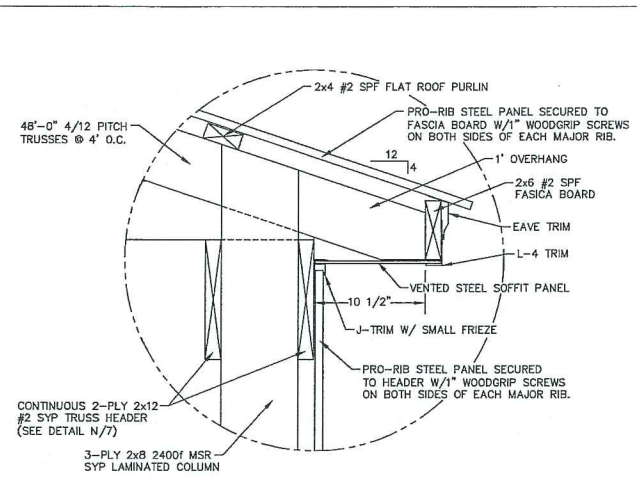
CORNER TRIM DETAIL
SCALE: 1 1/2"=1'-0"



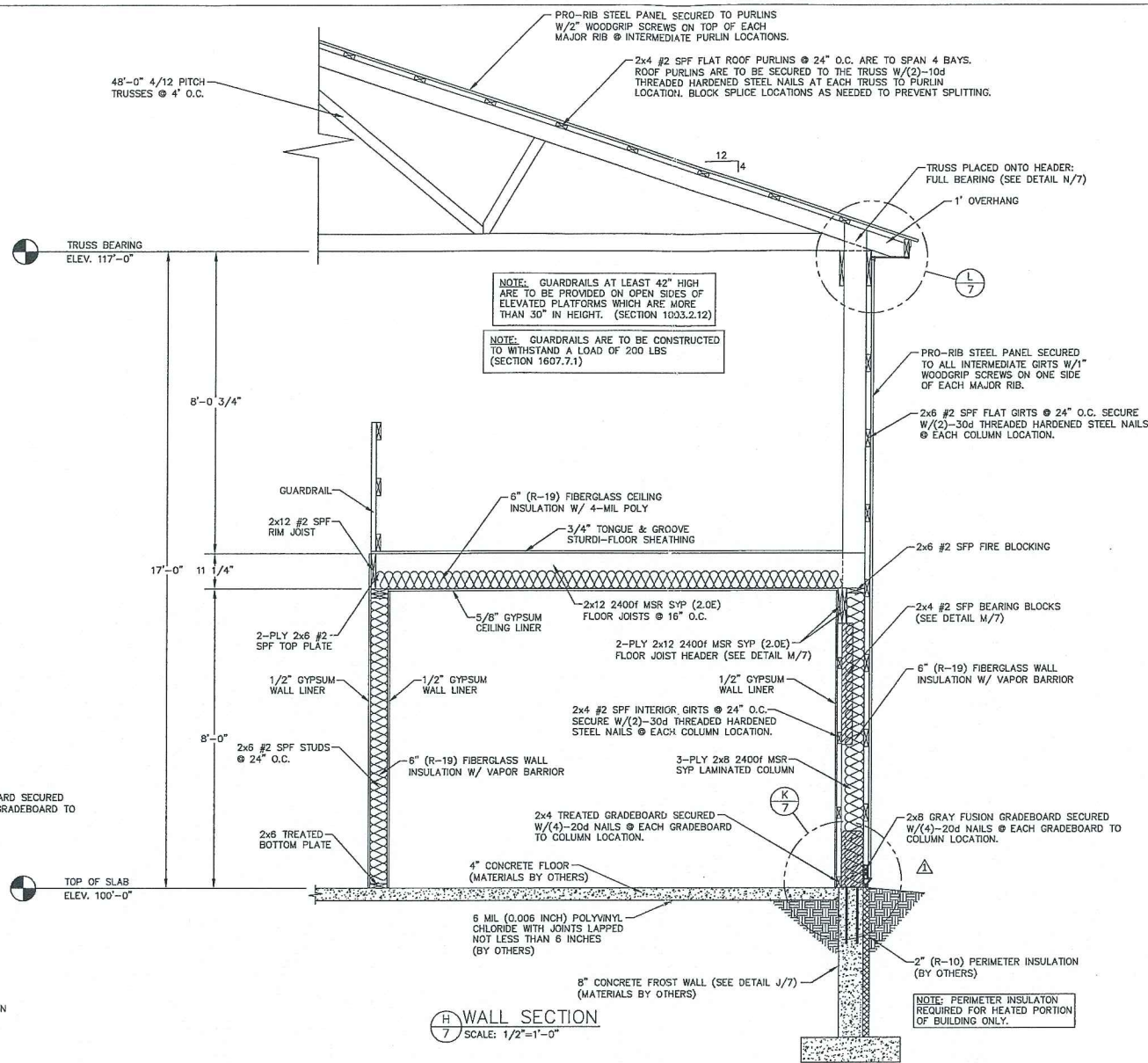
PROJECT TITLE:
DOC THOMPSON PLUMBING
GAHANNA, OH

SHEET TITLE:
WALL SECTIONS AND SECTION DETAILS

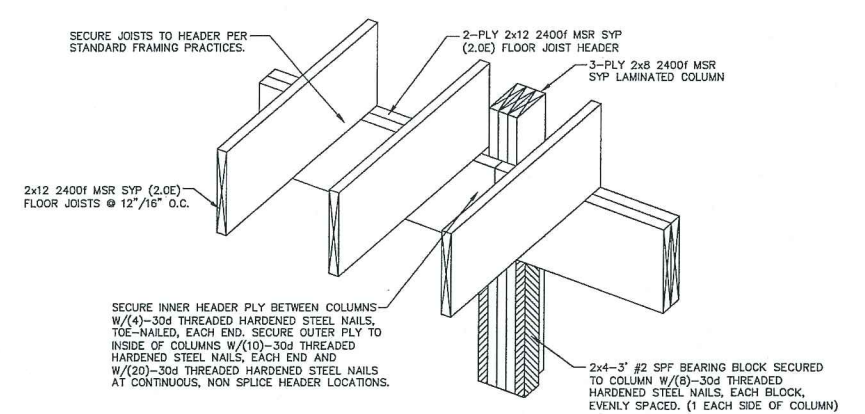
REVISIONS				PROFESSIONAL ENGINEER:	FILE NAME:	SHEET NO.
NO.	DATE	DESCRIPTION	BY	JEFF MURRAY	W291120H06	6 OF 14
1	10/08/12	ADD 8" FROST WALL	T.M.G.	PLAN DESIGNER:	DATE:	
2				LOUISE EWALD	09-18-2012	
3				DRAWN BY:	SCALE:	
4				KEITH SCHEUNEMANN	AS NOTED	



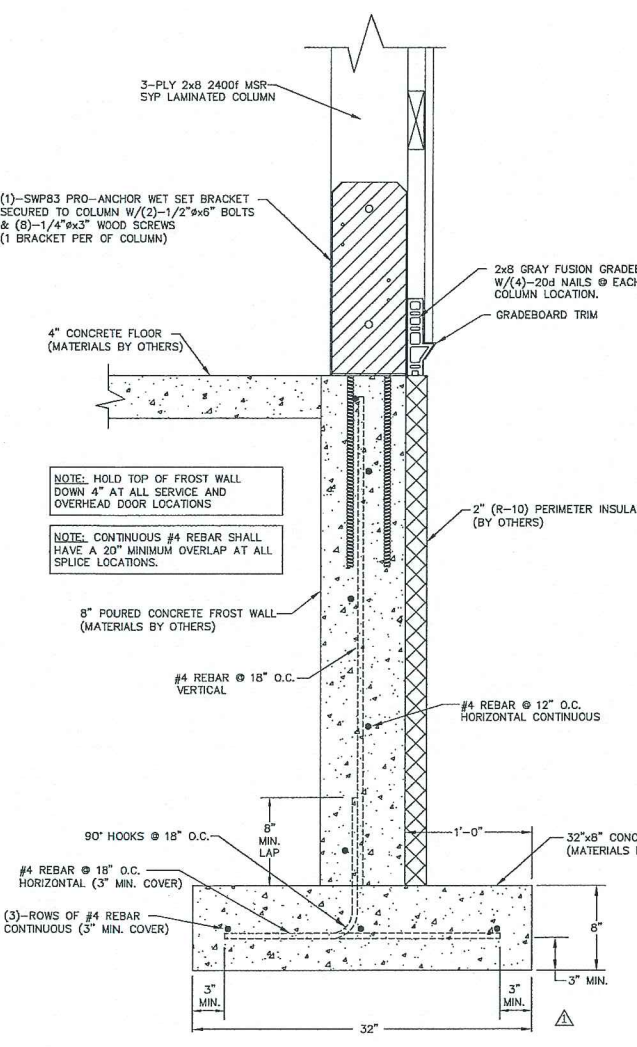
1' OVERHANG DETAIL
SCALE: 1 1/2"=1'-0"



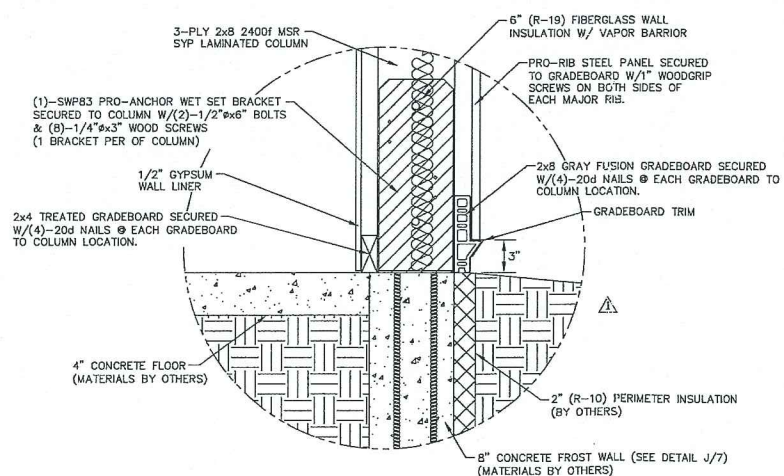
WALL SECTION
SCALE: 1/2"=1'-0"



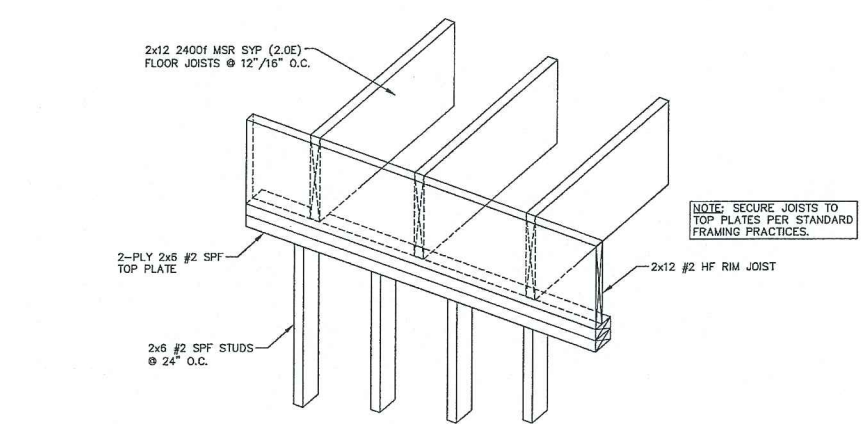
JOIST @ HEADER DETAIL
NOT TO SCALE



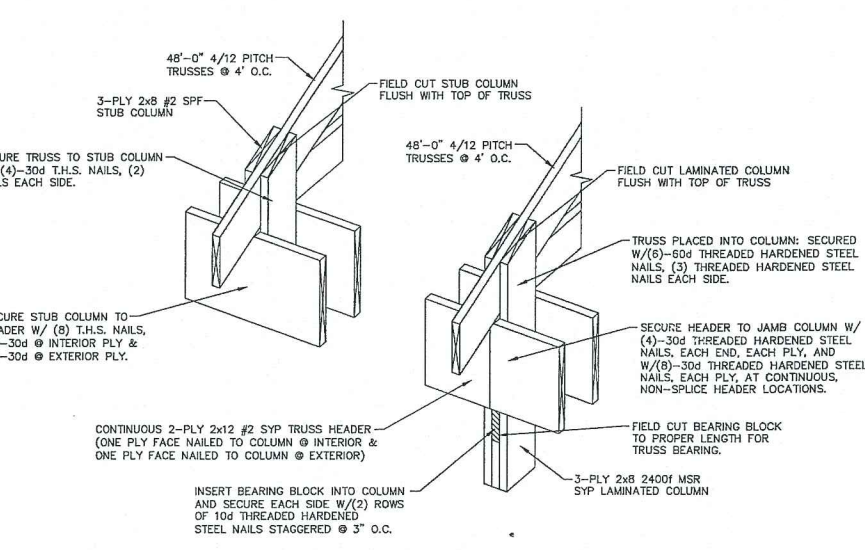
CONCRETE WALL DETAIL
SCALE: 1 1/2"=1'-0"



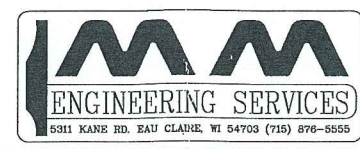
GRADEBOARD DETAIL
SCALE: 1 1/2"=1'-0"



JOIST @ STUD WALL DETAIL
NOT TO SCALE



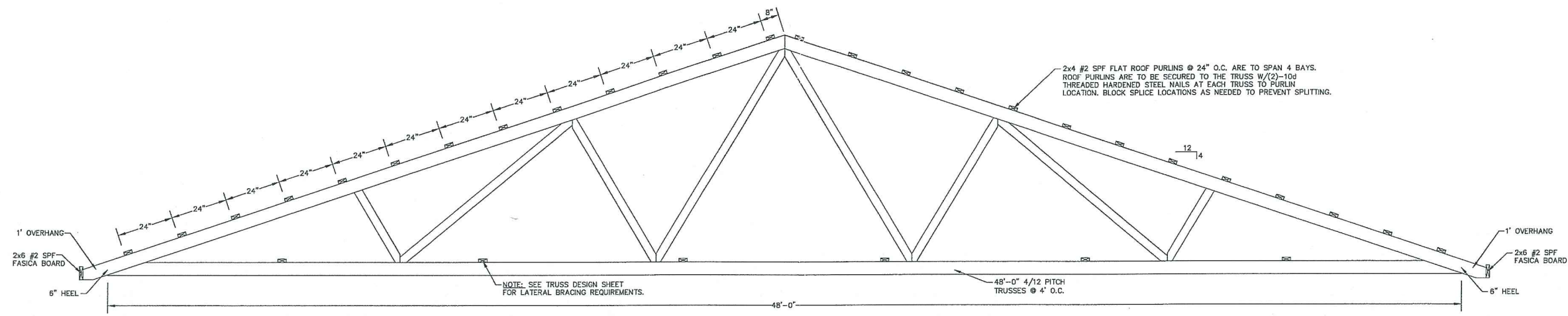
CONTINUOUS TRUSS HEADER INSTALLATION
NOT TO SCALE



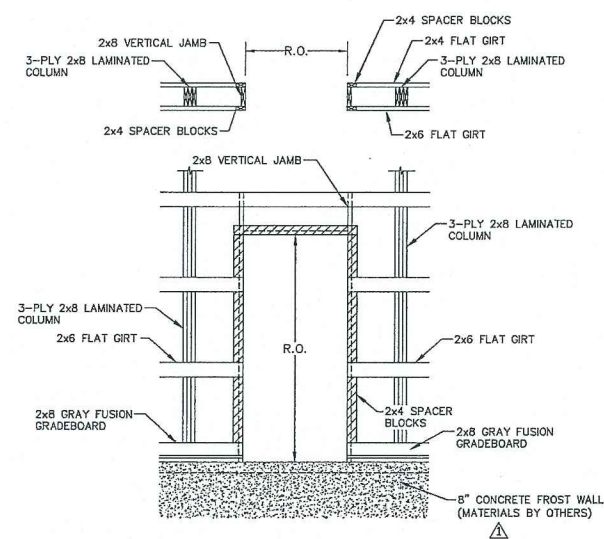
PROJECT TITLE:
DOC THOMPSON PLUMBING
GAHANNA, OH

SHEET TITLE:
WALL SECTION AND SECTION DETAILS

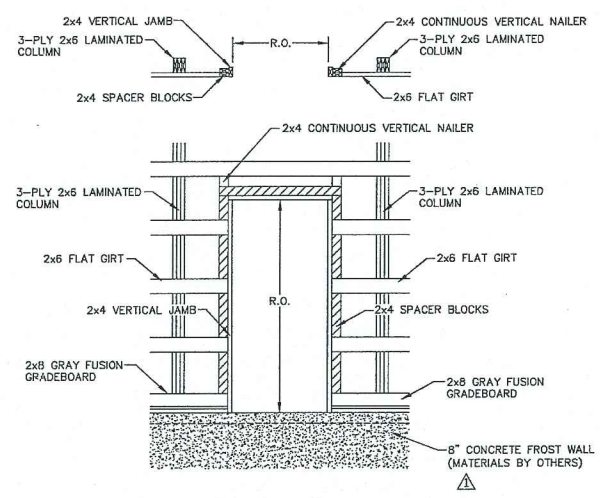
REVISIONS			PROFESSIONAL ENGINEER:	FILE NAME:	SHEET NO.
NO.	DATE	DESCRIPTION	BY		
1	10/08/12	ADD 8" FROST WALL	T.M.G	JEFF MURRAY	7
2				LOUISE EWALD	OF 14
3				KEITH SCHEUNEMANN	
4				AS NOTED	



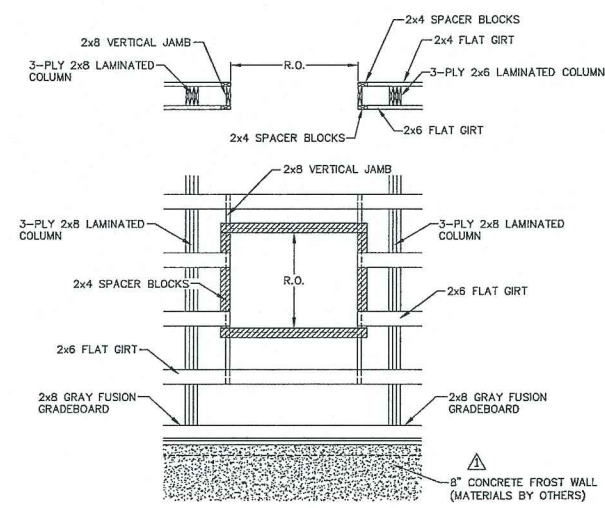
48'-0" TRUSS DETAIL
SCALE: 1/2"=1'-0"



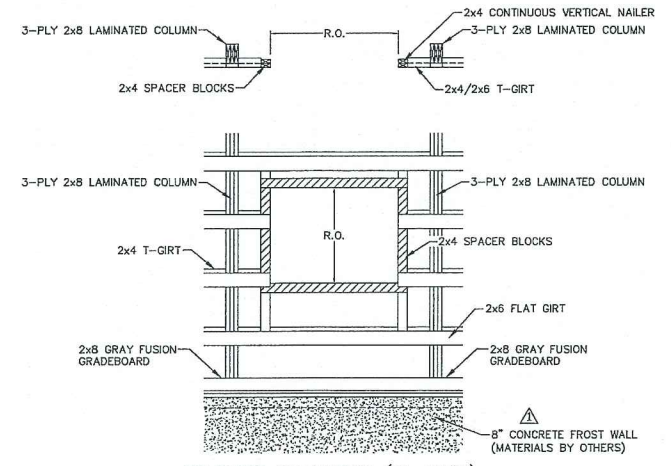
DOOR FRAMING (DOUBLE GIRT)
SCALE: 3/8"=1'-0"



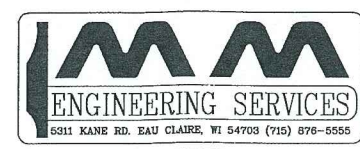
DOOR FRAMING (FLAT GIRT)
SCALE: 3/8"=1'-0"



WINDOW FRAMING (DOUBLE GIRTS)
SCALE: 3/8"=1'-0"



WINDOW FRAMING (T-GIRT)
SCALE: 3/8"=1'-0"



PROJECT TITLE:
DOC THOMPSON PLUMBING
GAHANNA, OH

SHEET TITLE:
TRUSS AND MISCELLANEOUS FRAMING DETAILS

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	10/08/12	ADD 8" FROST WALL	T.M.G
2			
3			
4			

PROFESSIONAL ENGINEER:
JEFF MURRAY

PLAN DESIGNER:
LOUISE EWALD

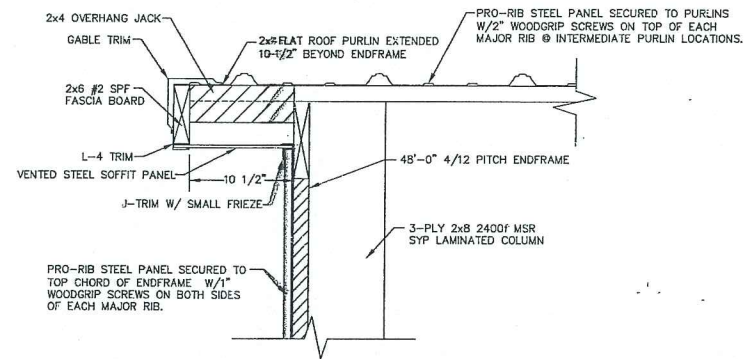
DRAWN BY:
KEITH SCHEUNEMANN

FILE NAME:
W291120H08

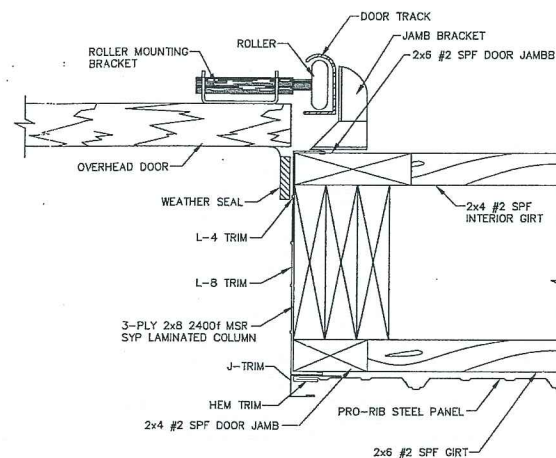
DATE:
09-18-2012

SCALE:
AS NOTED

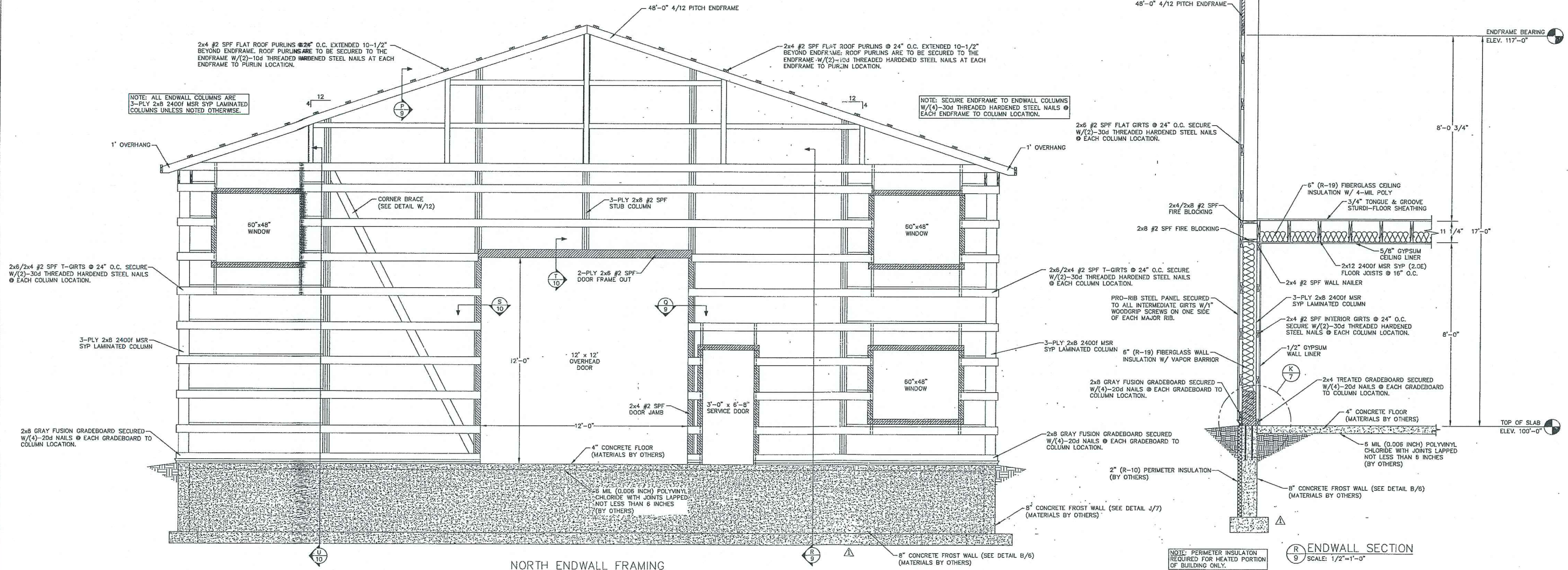
SHEET NO.
8
OF **14**



P-9 1' ENDWALL OVERHANG
SCALE: 1 1/2" = 1'-0"



Q-9 OVERHEAD DOOR JAMB DETAIL
SCALE: 3" = 1'-0"



NORTH ENDWALL FRAMING
SCALE: 3/8" = 1'-0"

R-9 ENDWALL SECTION
SCALE: 1/2" = 1'-0"



PROJECT TITLE:
DOC THOMPSON PLUMBING
GAHANNA, OH

SHEET TITLE:
ENDWALL FRAMING AND ENDWALL SECTION

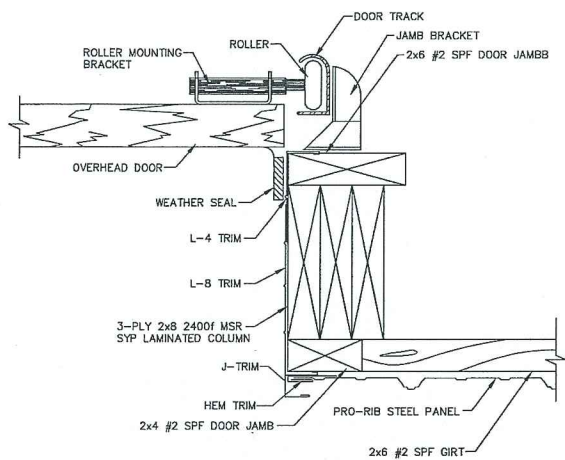
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	10/06/12	ADD 8" FROST WALL	T.M.G
2			
3			
4			

PROFESSIONAL ENGINEER: **JEFF MURRAY**
FILE NAME: **W291120H09**

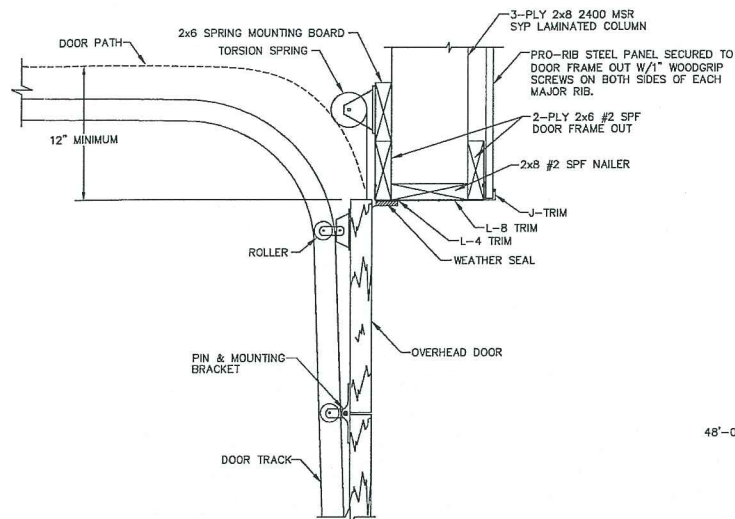
PLAN DESIGNER: **LOUISE EWALD**
DATE: **09-18-2012**

DRAWN BY: **KEITH SCHEUNEMANN**
SCALE: **AS NOTED**

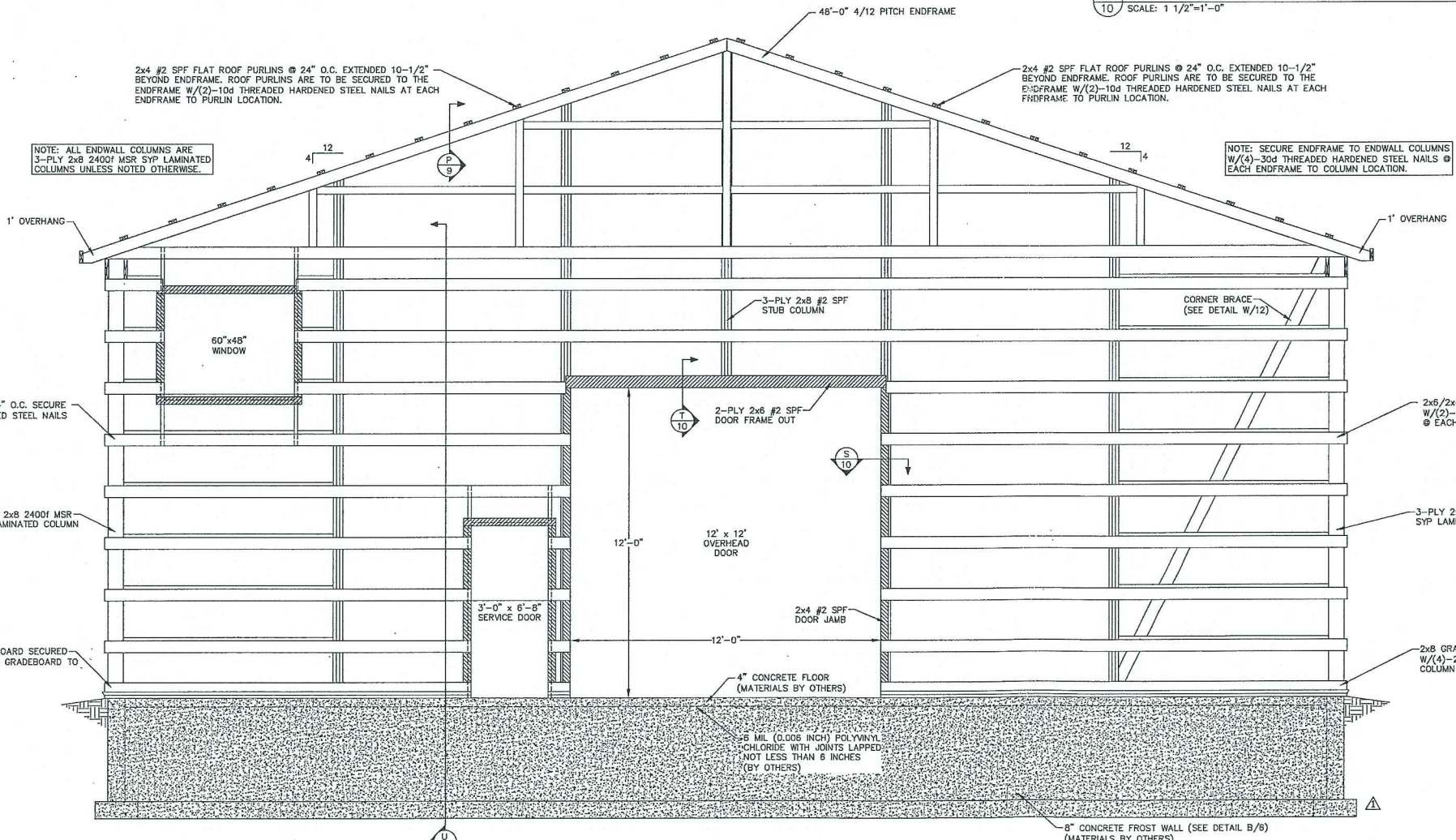
SHEET NO.
9
OF **14**



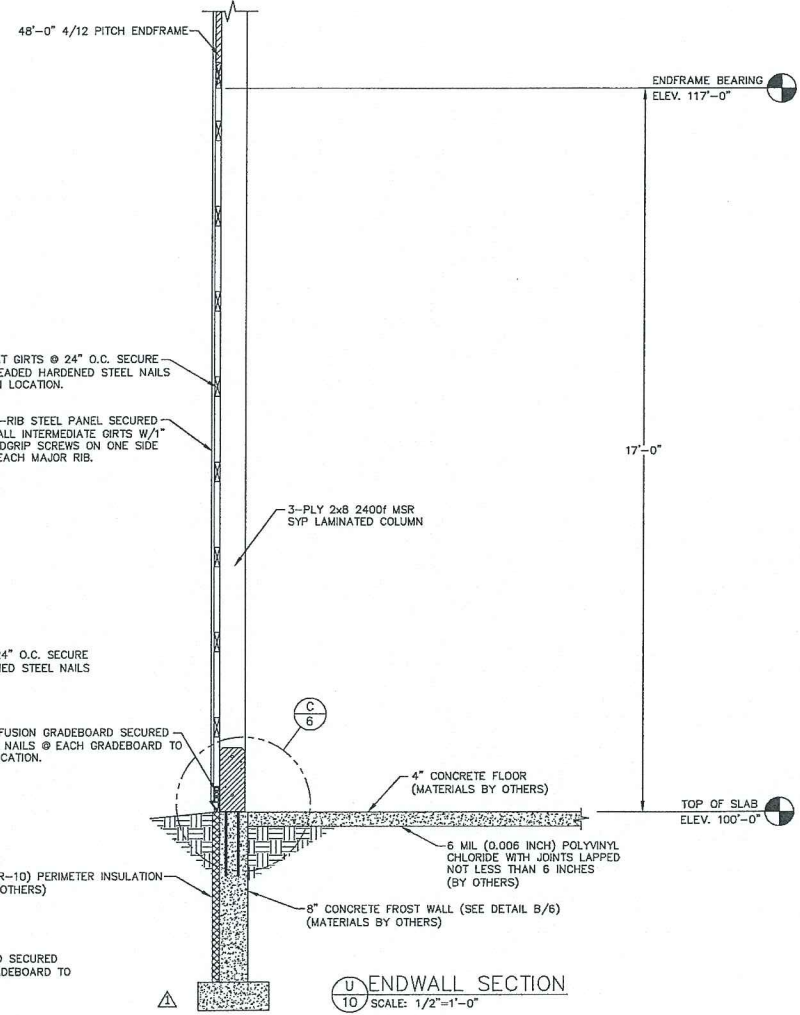
S OVERHEAD DOOR JAMB DETAIL
SCALE: 3/8"=1'-0"



T OVERHEAD DOOR FRAME OUT DETAIL
SCALE: 1 1/2"=1'-0"



SOUTH ENDWALL FRAMING
SCALE: 3/8"=1'-0"



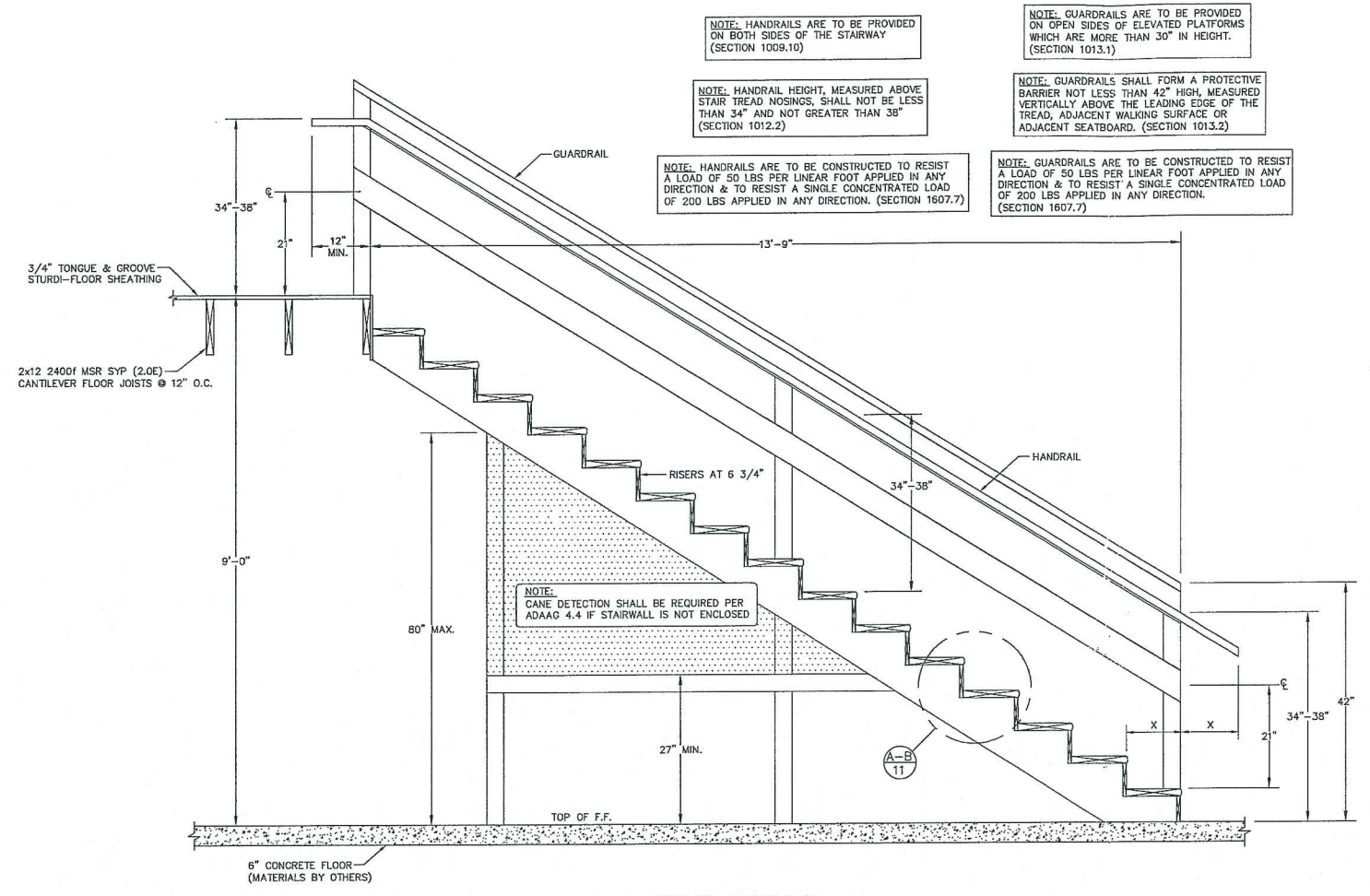
U ENDWALL SECTION
SCALE: 1/2"=1'-0"



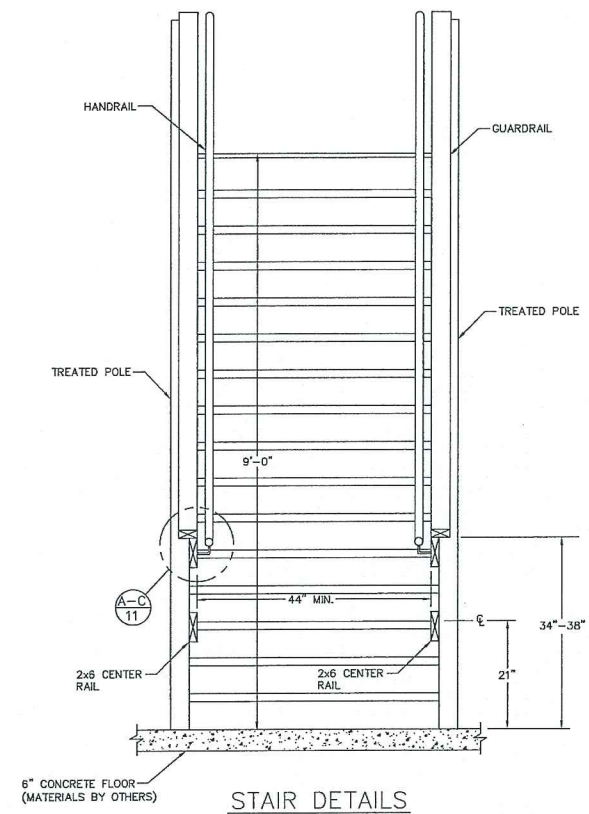
PROJECT TITLE:
DOC THOMPSON PLUMBING
GAHANNA, OH

SHEET TITLE:
ENDWALL, FRAMING AND ENDWALL SECTION

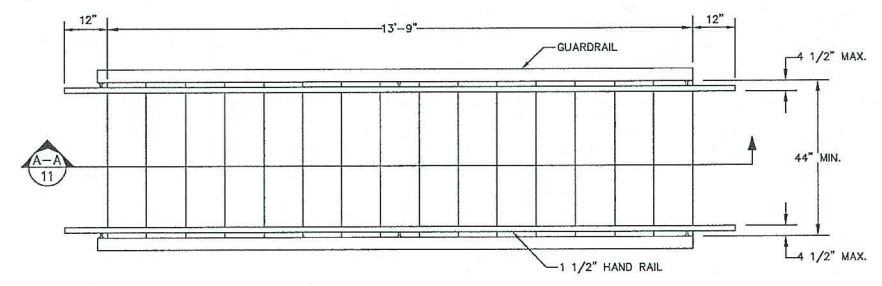
REVISIONS				PROFESSIONAL ENGINEER:	FILE NAME:	SHEET NO.
NO.	DATE	DESCRIPTION	BY	JEFF MURRAY	W291120H10	10 OF 14
1	10/06/18	ADD 8" FROST WALL	T.M.G	PLAN DESIGNER:	DATE:	
2				LOUISE EWALD	09-18-2012	
3				DRAWN BY:	SCALE:	
4				KEITH SCHEUNEMANN	AS NOTED	



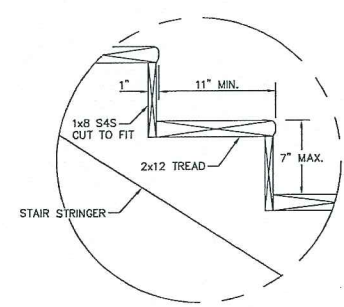
STAIR DETAILS
SCALE: 3/4"=1'-0"



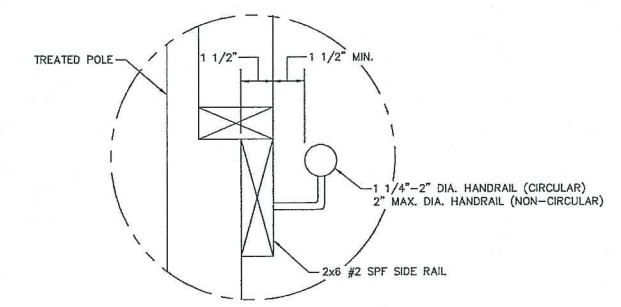
STAIR DETAILS
SCALE: 3/4"=1'-0"



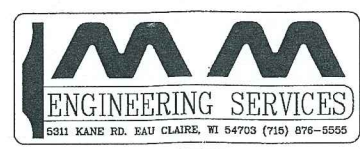
FLOOR PLAN
SCALE: 1/2"=1'-0"



TREATED & RISER DETAIL
SCALE: 1 1/2"=1'-0"



HANDRAIL DETAIL
SCALE: 3"=1'-0"



PROJECT TITLE:
DOC THOMPSON PLUMBING
GAHANNA, OH

SHEET TITLE:
STAIR DETAILS

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

PROFESSIONAL ENGINEER:
JEFF MURRAY

PLAN DESIGNER:
LOUISE EWALD

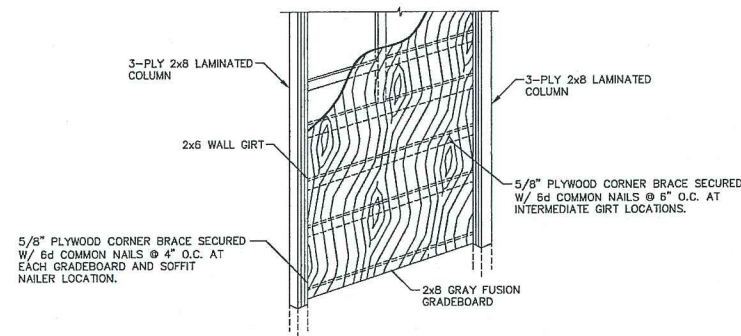
DRAWN BY:
KEITH SCHEUNEMANN

FILE NAME:
W291120H11

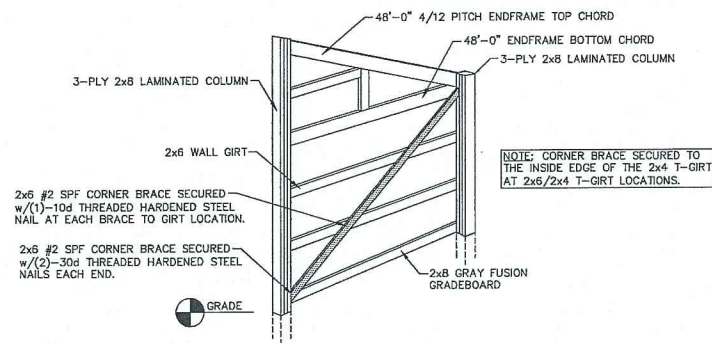
DATE:
09-18-2012

SCALE:
AS NOTED

SHEET NO.
11
OF **14**

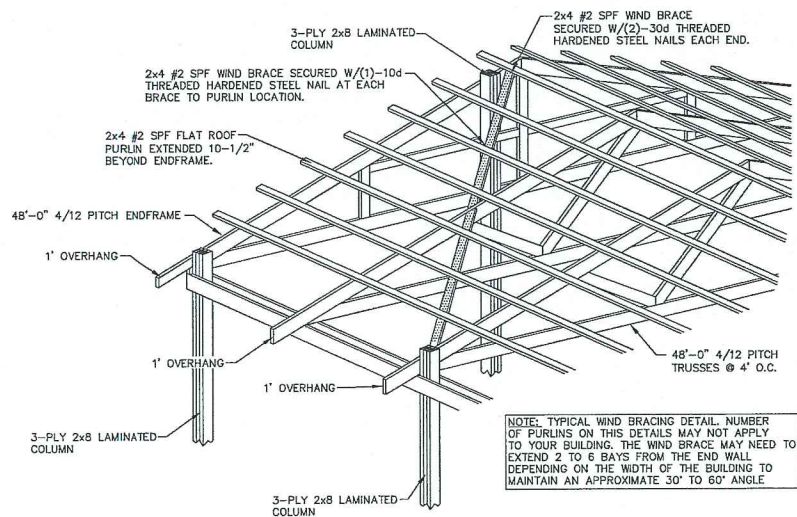


V CORNER BRACE
12 NOT TO SCALE



NOTE: TYPICAL CORNER BRACING DETAIL NUMBER OF WALL GIRTS ON THIS DETAIL MAY NOT APPLY TO YOUR BUILDING. CORNER BRACE SHALL EXTEND FROM GRADE BOARD @ FIRST COLUMN TO TOP CORNER COLUMN @ TRUSS.

W CORNER BRACE
12 NOT TO SCALE

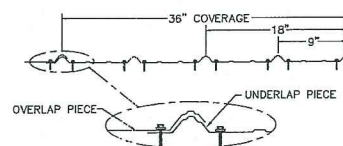


NOTE: TYPICAL WIND BRACING DETAIL NUMBER OF PURLINS ON THIS DETAILS MAY NOT APPLY TO YOUR BUILDING. THE WIND BRACE MAY NEED TO EXTEND 2 TO 6 BAYS FROM THE END WALL DEPENDING ON THE WIDTH OF THE BUILDING TO MAINTAIN AN APPROXIMATE 30° TO 60° ANGLE.

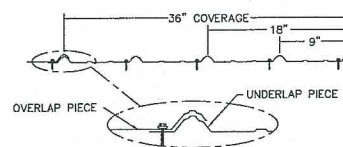
X WIND BRACE
12 NOT TO SCALE

STEEL PANEL INSTALLATION GENERAL NOTES:

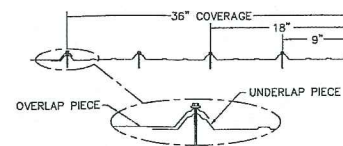
- 1) PROPER LAPPING OF STEEL PANEL IS VERY IMPORTANT IN THE PANEL'S ABILITY TO PREVENT LEAKING. OVERSEATING AND UNDERSEATING OF LAP IS NOT PERMITTED.
- 2) FASTENER TIGHTNESS IS CRITICAL IN THE LONGEVITY OF THE FASTENER'S ABILITY TO HELP PREVENT LEAKS AND STRUCTURAL LOAD CARRYING CAPACITY. OVER-TORQUING OF SCREWS WILL REDUCE THE SCREWS WITHDRAWAL CAPACITY, REGARDLESS OF THE CONSTRUCTION MATERIALS INVOLVED. UNDER-TORQUING OF SCREWS WILL INCREASE THE POTENTIAL OF ROOF LEAKS.
- 3) FASTENER LOCATION IS CRITICAL FOR INSTALLERS TO MINIMIZE THE POTENTIAL OF OIL CANNING, DIMPLES, AND OTHER APPEARANCE RELATED ISSUES.
- 4) THE ANTI-SYPHON DRAIN CHANNEL MUST BE CLEAR OF DEBRIS AND OBSTRUCTIONS FOR THE PANEL'S ABILITY TO MINIMIZE THE POTENTIAL OF CAPILLARY ACTION OF WATER FROM GETTING UNDER THE STEEL PANEL.



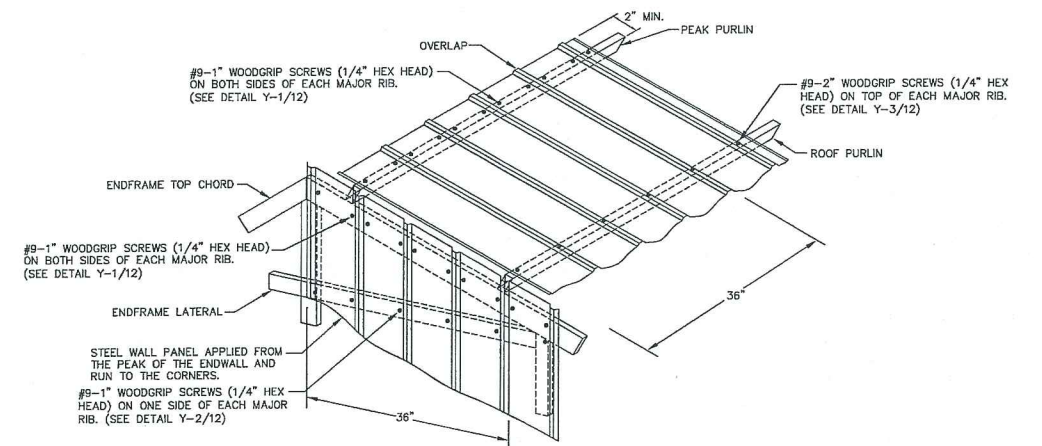
Y-1 STEEL LAP DETAIL (ENDS)
12 NOT TO SCALE



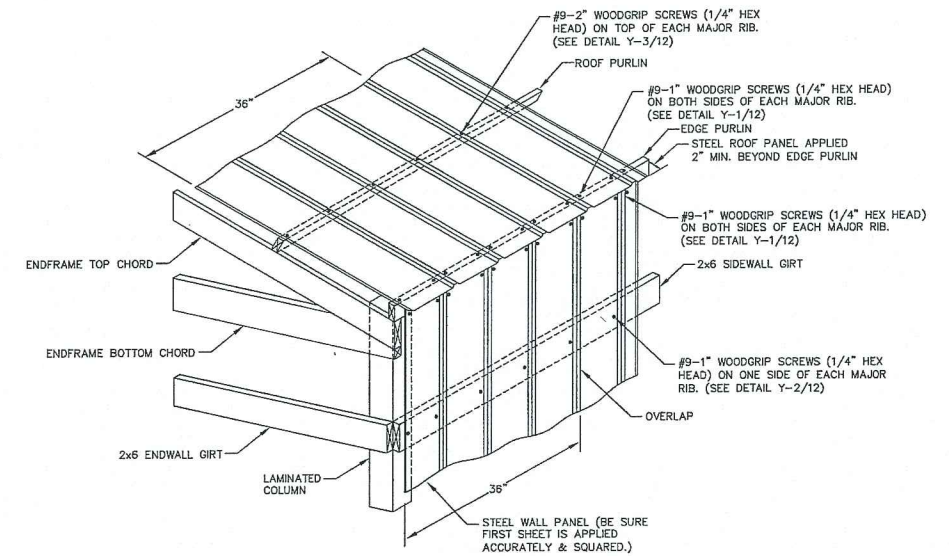
Y-2 STEEL LAP DETAIL (INTERMEDIATE-WALLS)
12 NOT TO SCALE



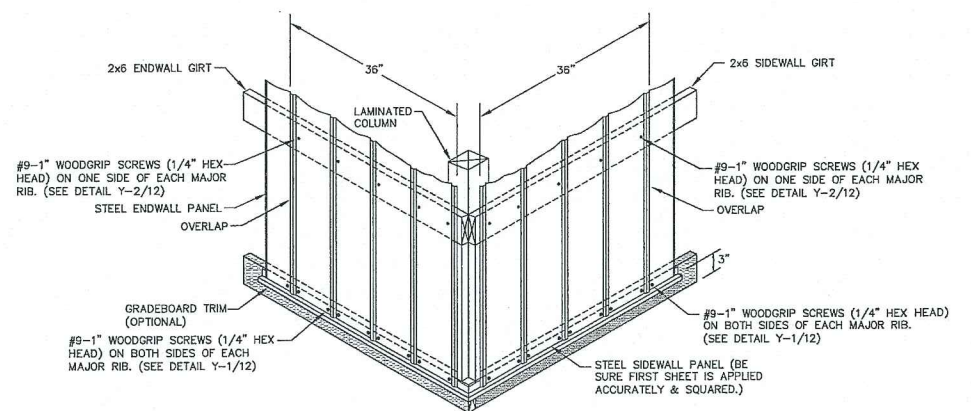
Y-3 STEEL LAP DETAIL (INTERMEDIATE-ROOF)
12 NOT TO SCALE



ROOF & ENDWALL STEEL APPLICATION @ GABLE PEAK & INTERMEDIATE



ROOF & SIDEWALL STEEL APPLICATION @ FAVE



WALL STEEL APPLICATION @ GRADEBOARD

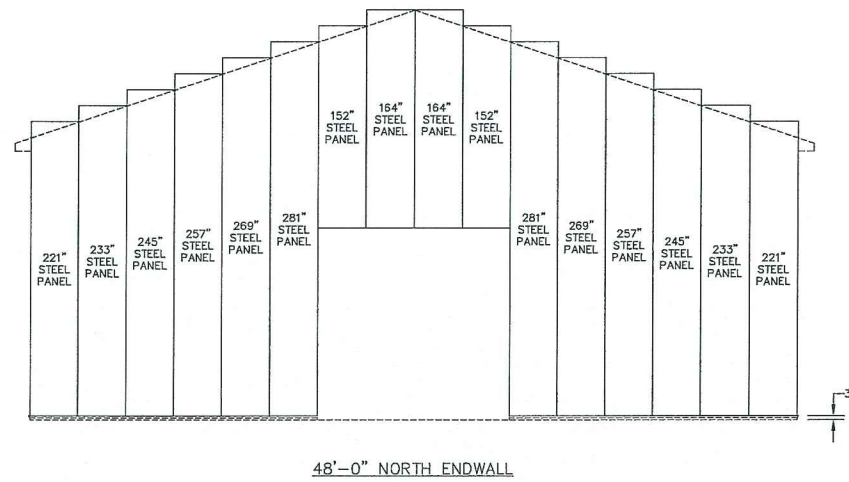
STEEL APPLICATION DETAILS



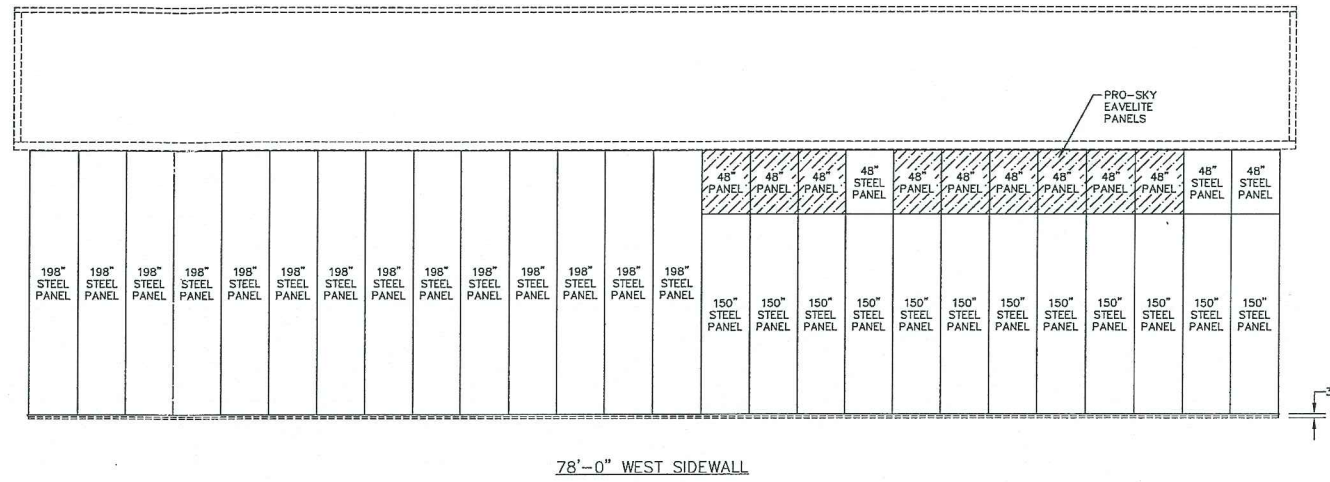
PROJECT TITLE:
DOC THOMPSON PLUMBING
GAHANNA, OH

SHEET TITLE:
MISCELLANEOUS FRAMING AND STEEL DETAILS

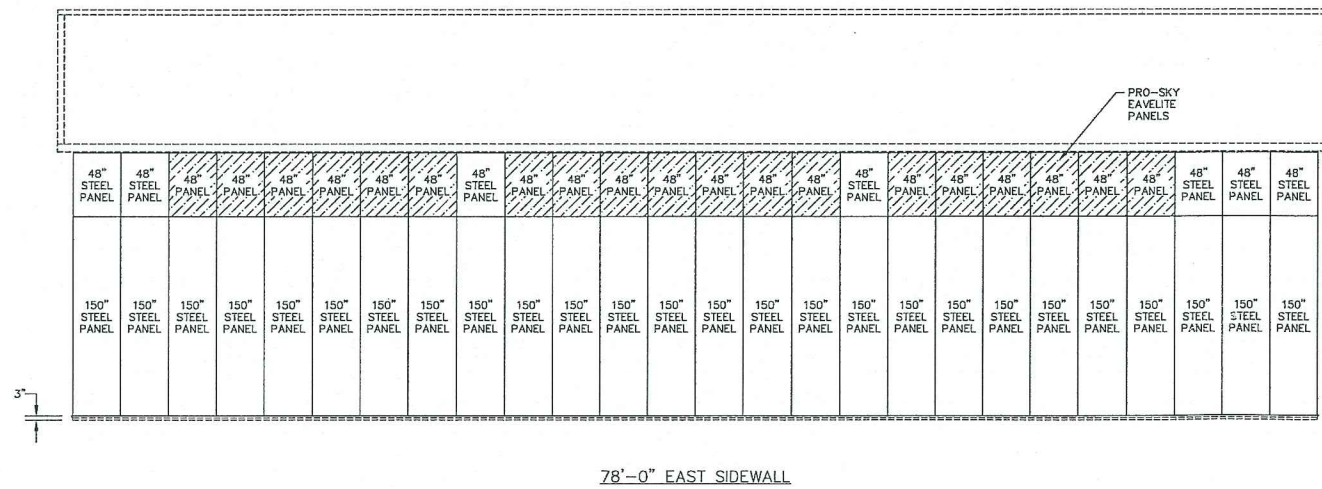
REVISIONS			PROFESSIONAL ENGINEER:	FILE NAME:	SHEET NO.
NO.	DESCRIPTION	BY	JEFF MURRAY	W291120H12	12
1			PLAN DESIGNER:	DATE:	OF 14
2			LOUISE EWALD	09-18-2012	
3			DRAWN BY:	SCALE:	
4			KEITH SCHEUNEMANN	AS NOTED	



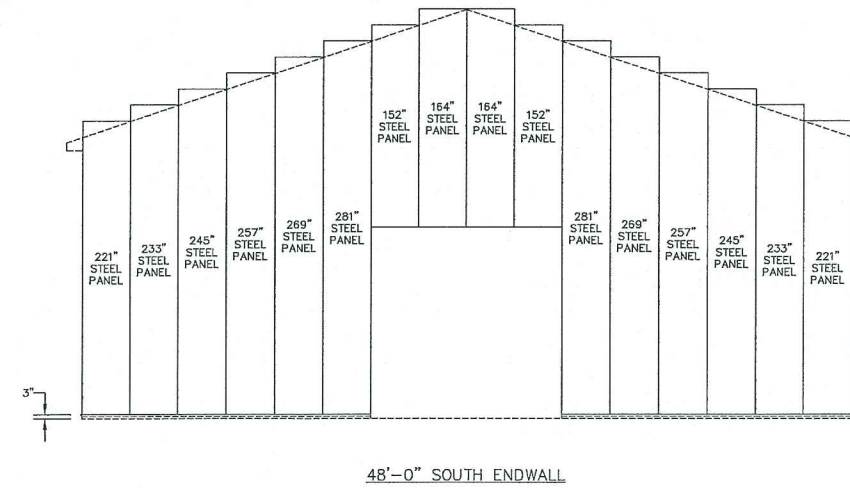
48'-0" NORTH ENDWALL



78'-0" WEST SIDEWALL



78'-0" EAST SIDEWALL



48'-0" SOUTH ENDWALL

STEEL LAYOUTS
SCALE: 3/16"=1'-0"

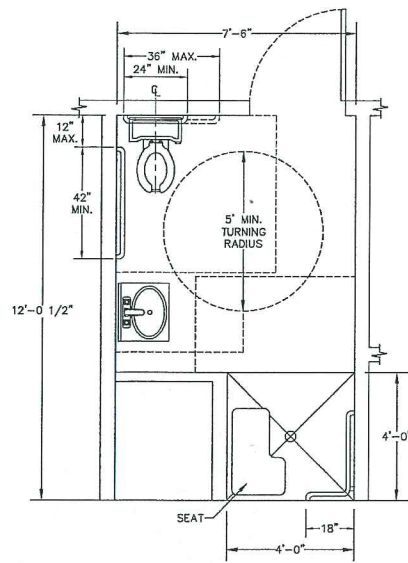


PROJECT TITLE:
DOC THOMPSON PLUMBING
GAHANNA, OH

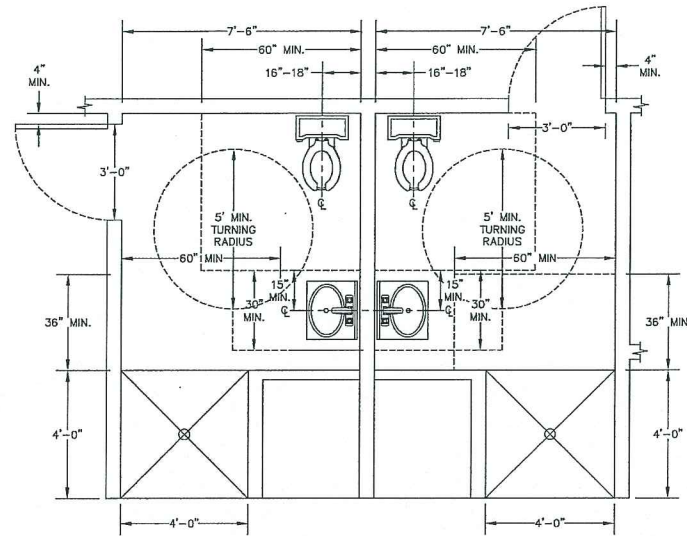
SHEET TITLE:
STEEL LAYOUTS

REVISIONS				PROFESSIONAL ENGINEER:	FILE NAME:
NO.	DATE	DESCRIPTION	BY	JEFF MURRAY	W291120H13
1				PLAN DESIGNER:	DATE:
2				LOUISE EWALD	09-18-2012
3				DRAWN BY:	SCALE:
4				KEITH SCHEUNEMANN	AS NOTED

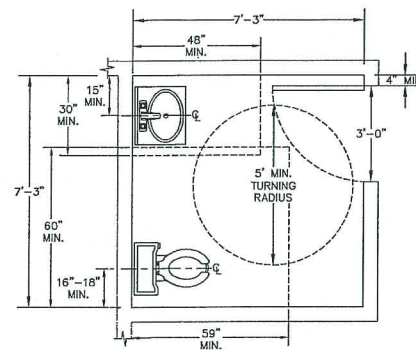
SHEET NO.
13
OF 14



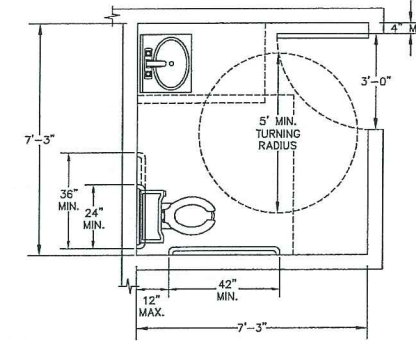
RESTROOM FLOOR PLAN (GRAB BAR LOCATIONS)
SCALE: 3/8"=1'-0"



RESTROOM FLOOR PLAN
SCALE: 3/8"=1'-0"

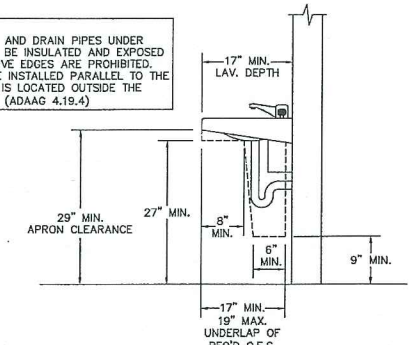


RESTROOM FLOOR PLAN
SCALE: 3/8"=1'-0"

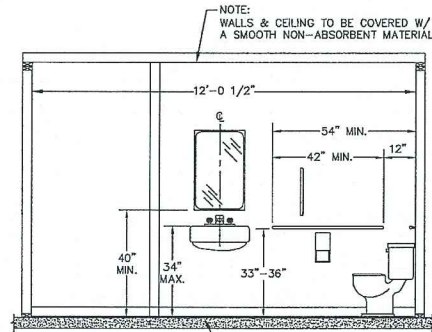


RESTROOM FLOOR PLAN (GRAB BAR LOCATIONS)
SCALE: 3/8"=1'-0"

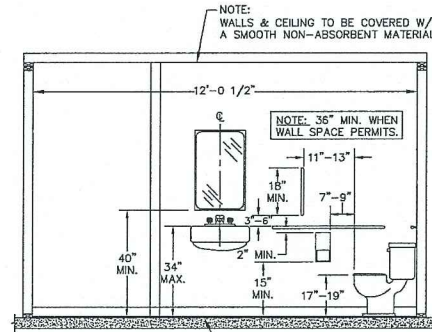
NOTE: HOT WATER PIPES AND DRAIN PIPES UNDER LAVATORIES MUST BE INSULATED AND EXPOSED SHARP OR ABRASIVE EDGES ARE PROHIBITED. THE TRAP MAY BE INSTALLED PARALLEL TO THE WALL SO THAT IT IS LOCATED OUTSIDE THE KNEE/TOE SPACE. (ADAAG 4.19.4)



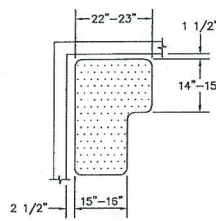
ACCESSIBLE SINK SIDE ELEVATION
SCALE: 3/4"=1'-0"



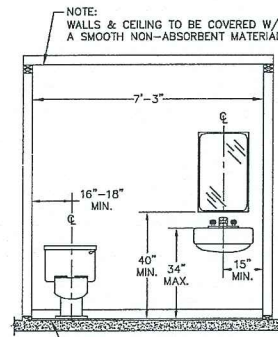
SIDE RESTROOM ELEVATION (GRAB BAR LOCATIONS)
SCALE: 3/8"=1'-0"



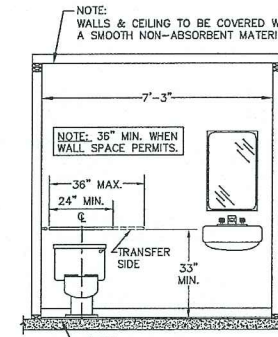
SIDE RESTROOM ELEVATION
SCALE: 3/8"=1'-0"



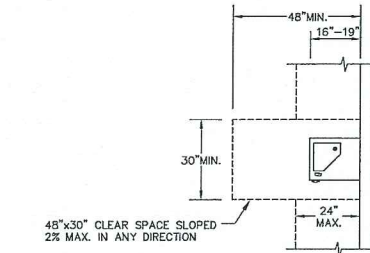
SEAT DETAIL
SCALE: 1/2"=1'-0"



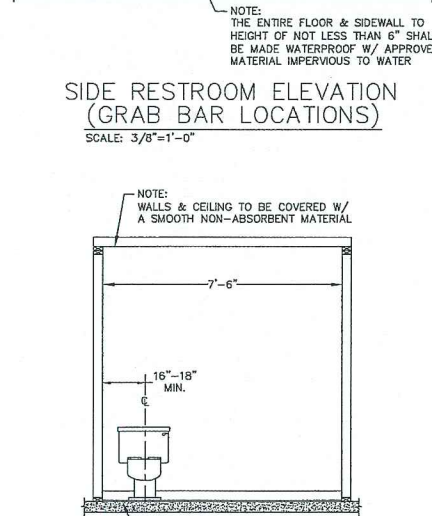
FRONT RESTROOM ELEVATION
SCALE: 3/8"=1'-0"



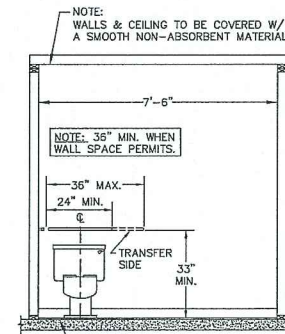
FRONT RESTROOM ELEVATION (GRAB BAR LOCATIONS)
SCALE: 3/8"=1'-0"



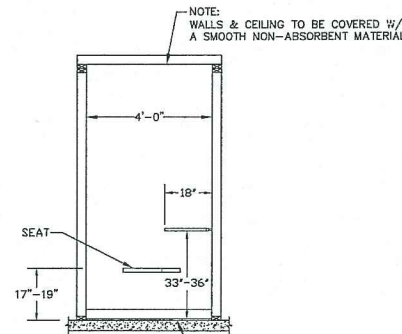
DRINKING FOUNTAIN FLOOR PLAN
SCALE: 3/8"=1'-0"



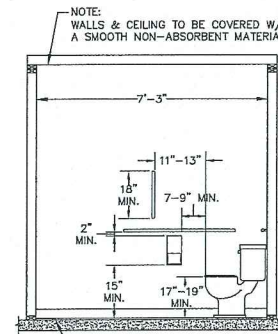
FRONT RESTROOM ELEVATION
SCALE: 3/8"=1'-0"



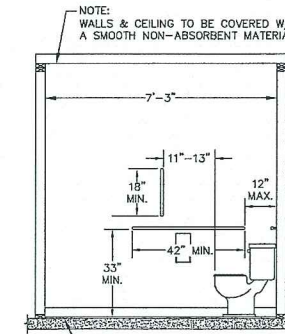
FRONT RESTROOM ELEVATION (GRAB BAR LOCATIONS)
SCALE: 3/8"=1'-0"



GRAB BAR FOR SHOWER
SCALE: 3/8"=1'-0"

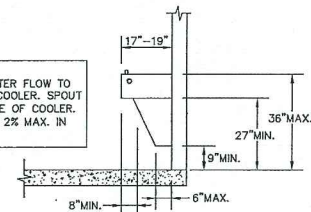


SIDE RESTROOM ELEVATION
SCALE: 3/8"=1'-0"



SIDE RESTROOM ELEVATION (GRAB BAR LOCATIONS)
SCALE: 3/8"=1'-0"

NOTE: 38" MAX. SPOUT HEIGHT. WATER FLOW TO BE PARALLEL TO FRONT OF COOLER. SPOUT TO BE 5" MAX. IN FROM EDGE OF COOLER. 4" MIN. HIGH GROUND SLOPE 2% MAX. IN ANY DIRECTION.



DRINKING FOUNTAIN SIDE ELEV.
SCALE: 3/8"=1'-0"



PROJECT TITLE:
DOC THOMPSON PLUMBING
GAHANNA, OH

SHEET TITLE:
RESTROOM AND DRINKING FOUNTAIN DETAILS

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

PROFESSIONAL ENGINEER:
JEFF MURRAY

PLAN DESIGNER:
LOUISE EWALD

DRAWN BY:
KEITH SCHEUNEMANN

FILE NAME:
W291120H14

DATE:
09-18-2012

SCALE:
AS NOTED

SHEET NO.
14
OF **14**

12120008

File No. DR-2-2013 Fee: \$87.50
Supersedes File No.(s) _____ or none _____
Scheduled Public Hearing Date: 1-9-13

Check or Receipt#: 16087
Initials: CAS
Date Received 12-11-12

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
DESIGN REVIEW
CITY OF GAHANNA PLANNING COMMISSION**

Site Address 1601 Eastgate Parkway Zoning District GLT Parcel ID# 025-012947
*Business Name Doc Thompson Plumbing Phone (614) 855-2923
Business Address 1120 Venetian Way Fax _____
City/State/Zip Gahanna, OH 43230
Owner/Representative David Thompson Title President
Address 1120 Venetian Way Phone (614) 855-2923
City/State/Zip Gahanna, OH 43230 Fax _____
Designer/ Architect/ Engineer EMTT - Craig Bohning City License No: _____
Address 5500 New Albany Road Phone (614) 775-4400
City/ State/ Zip Columbus, OH 43054 Fax (614) 775-4800
Representative Craig Bohning Title Vice President
Design Review of: Site Plan Landscaping Building Design Signage
Special Information Regarding the Property and its Proposed Use: _____

Submission Requirements

- (1) Applicant is required to complete the checklist on the following pages.
- (2) Fee: \$50.00 for review plus \$.01 per square foot.
- (3) Ten (10) copies of the plans are to be folded (NOT ROLLED) to 8 1/2 x 11 inch size prior to submission.
- (4) Submit reduced drawing suitable to an 8 1/2 x 11 inch size.
- (5) Submit one (1) color rendering of the project in plan/ perspective/ or elevation, mounted on 18 x 24 inch size foam core, gator board or other acceptable material.
- (6) Submit a detailed list of materials.

*Note: This application will not officially be accepted until all items listed above have been received.
**Note: Planning Commission members and/or City Staff may visit the property prior to the hearing to review the application.

Applicant's Signature _____ Date _____

APPROVAL

In accordance with Sections 1197.05 of the Codified Ordinances of Gahanna, this certifies that this project, as stated above, has been approved by the Gahanna Planning Commission on 2/13/12. The applicant shall comply with any conditions approved by the Commission, and shall comply with all building and zoning regulations now in force.

Conditions: _____

Bonnie Gard 3/18/13
Planning & Zoning Administrator Date

Note: All correspondence will be to applicant above unless otherwise stated.

PAID RECEIVED
DEC 11 2012
BY: CAS CHK# 16087
DEC 11 2012
BY: CAS

File No. _____ Fee: _____ Check or Receipt#: _____
Supersedes File No.(s) _____ or none _____ Initials: _____
Scheduled Public Hearing Date: _____ Date Received _____

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
DESIGN REVIEW
CITY OF GAHANNA PLANNING COMMISSION**

Site Address 1601 EASTGATE PARKWAY Zoning District _____ Parcel ID# _____
*Business Name DAVID R. THOMPSON BLD. Phone 614 855-2923
Business Address 1120 VENETIAN WAY Fax SAME
City/State/Zip GAHANNA, OH 43230
Owner/Representative SAME Title _____
Address SAME Phone _____
City/State/Zip SAME Fax _____
Designer/ Architect/ Engineer E H H & T City License No: _____
Address NEW ALBANY RD. Phone 975-4500
City/ State/ Zip GOLE OH. Fax _____
Representative CRAIG YANKING Title ENGINEER
Design Review of: Site Plan Landscaping Building Design Signage
Special Information Regarding the Property and its Proposed Use: _____

Submission Requirements

- (1) Applicant is required to complete the checklist on the following pages.
- (2) Fee: \$50.00 for review plus \$.01 per square foot.
- (3) Ten (10) copies of the plans are to be folded (NOT ROLLED) to 8 1/2 x 11 inch size prior to submission.
- (4) Submit reduced drawing suitable to an 8 1/2 x 11 inch size.
- (5) Submit one (1) color rendering of the project in plan/ perspective/ or elevation, mounted on 18 x 24 inch size foam core, gator board or other acceptable material.
- (6) Submit a detailed list of materials.

*Note: This application will not officially be accepted until all items listed above have been received.

**Note: Planning Commission members and/or City Staff may visit the property prior to the hearing to review the application.

David R. Thompson
Applicant's Signature

DEC. 11, 12
Date

APPROVAL

In accordance with Sections 1197.05 of the Codified Ordinances of Gahanna, this certifies that this project, as stated above, has been approved by the Gahanna Planning Commission on _____. The applicant shall comply with any conditions approved by the Commission, and shall comply with all building and zoning regulations now in force.

Conditions: _____

Planning & Zoning Administrator

Date

Note: All correspondence will be to applicant above unless otherwise stated.

Revised February 2009

SUBMITTAL REQUIREMENTS

	Applicant Or Agent	Planning & Zoning Administrator
I. GENERAL REQUIREMENTS		
A. All exhibits required for the permanent file (noted in the following paragraphs) must be able to be reduced to "legal size" (8 1/2" x 14) by folding, photo reduction, etc. (ALL PLANS ARE TO BE FOLDED BY APPLICANT PRIOR TO SUBMISSION.) While large mounting boards, material samples, or other exhibits not meeting this criteria maybe used for Planning Commission presentation, the Commission does appreciate the use of the audio visual system whenever possible	A. ✓	✓
B. Ten black or blue-line prints of the plans including the items listed in sections II & III shall be submitted to the Planning & Zoning Administrator for presentation to the Commission.	B. ✓	✓
C. An adequate number of color photographs (Polaroid-type acceptable) are required to illustrate the site, including buildings and other existing features as well as adjacent properties. Photos may also be used to illustrate installations on other sites that are similar to the applicant's proposal.	C. _____	✓
D. Materials List	D. _____	_____
II. BUILDING CONSTRUCTION, EXTERIOR REMODELING, AND ADDITIONS (INCLUDING PARKING LOTS AND LANDSCAPING)		
A. Site Plan. A site plan is required containing the following information:		
1. Scale and north arrow,	1. ✓	✓
2. Project name and site address;	2. ✓	✓
3. All property and street pavement lines;	3. ✓	✓
4. Existing and proposed contours;	4. ✓	✓
5. Gross area of tract stated in square feet;	5. ✓	✓
6. Proposed ingress and egress to the site, including on site parking area(s), parking stalls and adjacent streets. Delineate traffic flow with directional arrows and indicate the location of direction signs or other motorist's aids (if any);	6. ✓	✓
7. The designation of required buffer screens (if any) between the parking area and adjacent property;	7. NA	_____
8. Location of all isolated existing trees having a diameter of six (6) inches or more; (Tree masses may be shown with a diagrammatic outline and a written inventory of individual trees exceeding 6" in caliber);	8. ✓	_____
9. Existing landscaping that will be retained and proposed landscaping shall be differentiated and shown on the plan. The type, size, number, and spacing of all plantings and other landscape features must be illustrated;	9. ✓	✓
10. Identify photograph location;	10. ✓	✓
11. Location of all existing and proposed building on the site	11. ✓	✓
12. Location of all existing (to remain) and proposed lighting standards.	12. _____	_____
13. Provide breakdown of parking spaces required and spaces provided (see COG 1163);	13. ✓	✓
14. Provide interior landscaping breakdown for paved surface (5% of paved surface required to be landscaped with one (1) tree per 100 square feet, see COG 1163)	14. ✓	✓
15. Provide lot coverage breakdown of building and paved surface areas.	15. ✓	_____

B. Elevations. Complete elevation from all sides of all proposed construction labeled North, South, East and West and related elevations of existing structures (if any) are required containing the following information:

1. Scale;
2. Changes in ground elevation;
3. All signs to be mounted on the elevations;
4. Designation of the kind, color, and texture of all primary materials to be used;
5. Fenestration, doorways, and all other projecting and receding elements of the building exterior.

1.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
2.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
3.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
4.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

C. Optional requirements at discretion of Planning Commission.

1. Scale model.
2. Section Profiles.
3. Perspective drawing.

1.	<input type="checkbox"/>	<input type="checkbox"/>
2.	<input type="checkbox"/>	<input type="checkbox"/>
3.	<input type="checkbox"/>	<input type="checkbox"/>

D. Material Samples. Material samples are required for all exterior materials. For presentation purposes, a narrative description is required for Planning Commission file.

D.	<input type="checkbox"/>	<input type="checkbox"/>
----	--------------------------	--------------------------

A. Lighting Standard Drawing. A scaled drawing of the proposed lighting standard(s) is required and should contain the following information:

1. All size specifications;
2. Information on lighting intensity (number of watts, isofootcandle diagram, etc., at least 1/2 foot candles required);
3. Materials, colors, and manufacturer's cut sheet;
4. Ground or wall anchorage details.

1.	<input type="checkbox"/>	<input type="checkbox"/>
2.	<input type="checkbox"/>	<input type="checkbox"/>
3.	<input type="checkbox"/>	<input type="checkbox"/>
4.	<input type="checkbox"/>	<input type="checkbox"/>

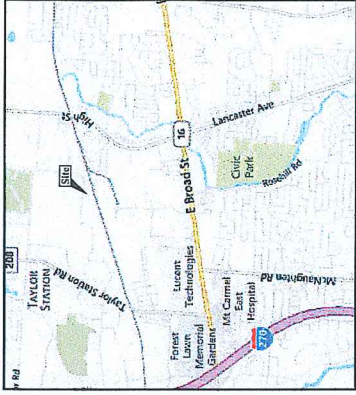
Lighting to be wall mounted lights.

M.R. DAVID R. THOMPSON

DOC THOMPSON PLUMBING
FOR
LANDSCAPE PLAN
CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

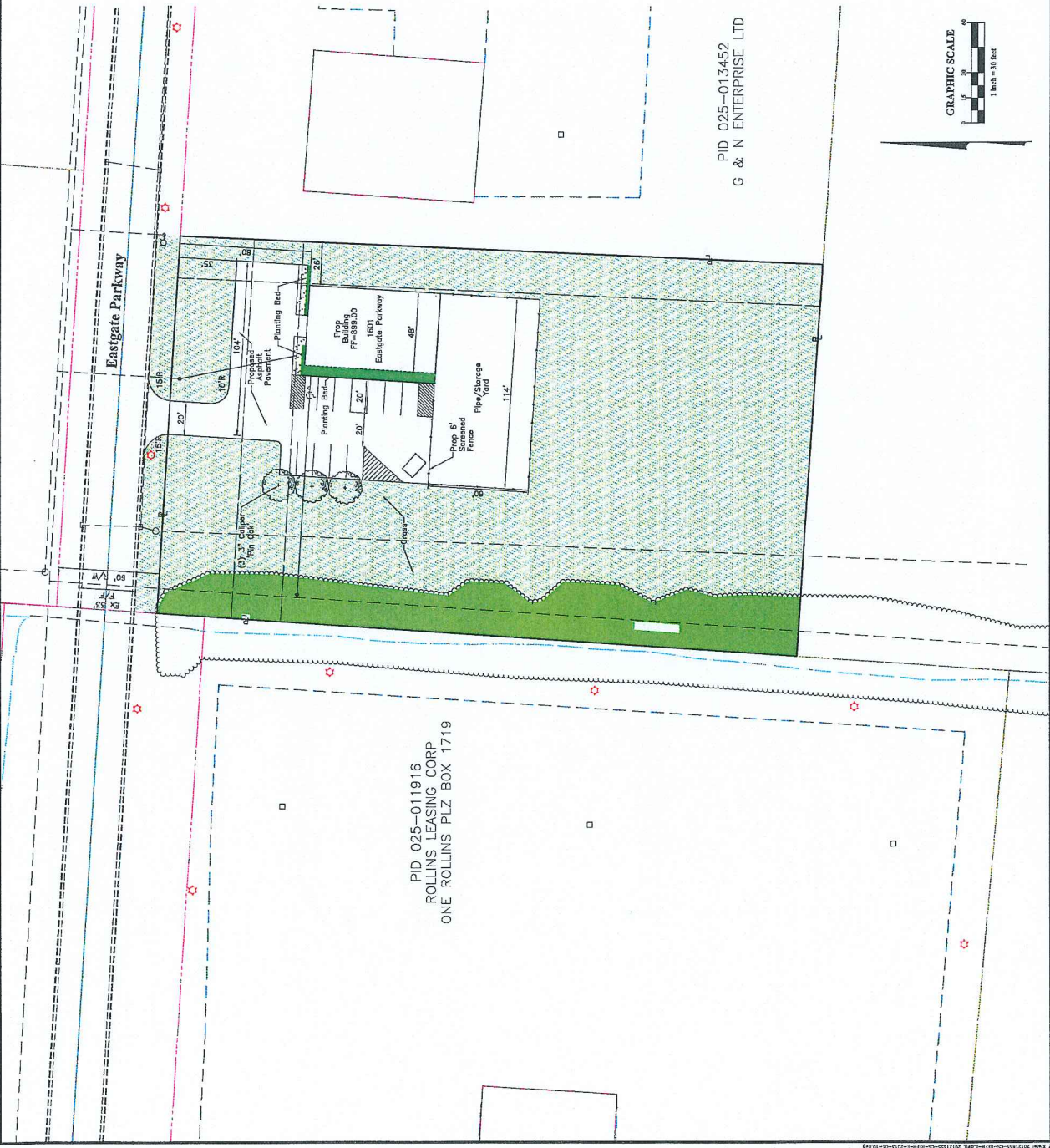


DATE	February, 2013
SCALE	1" = 30'
JOB NO.	20111655
SHEET	1/1



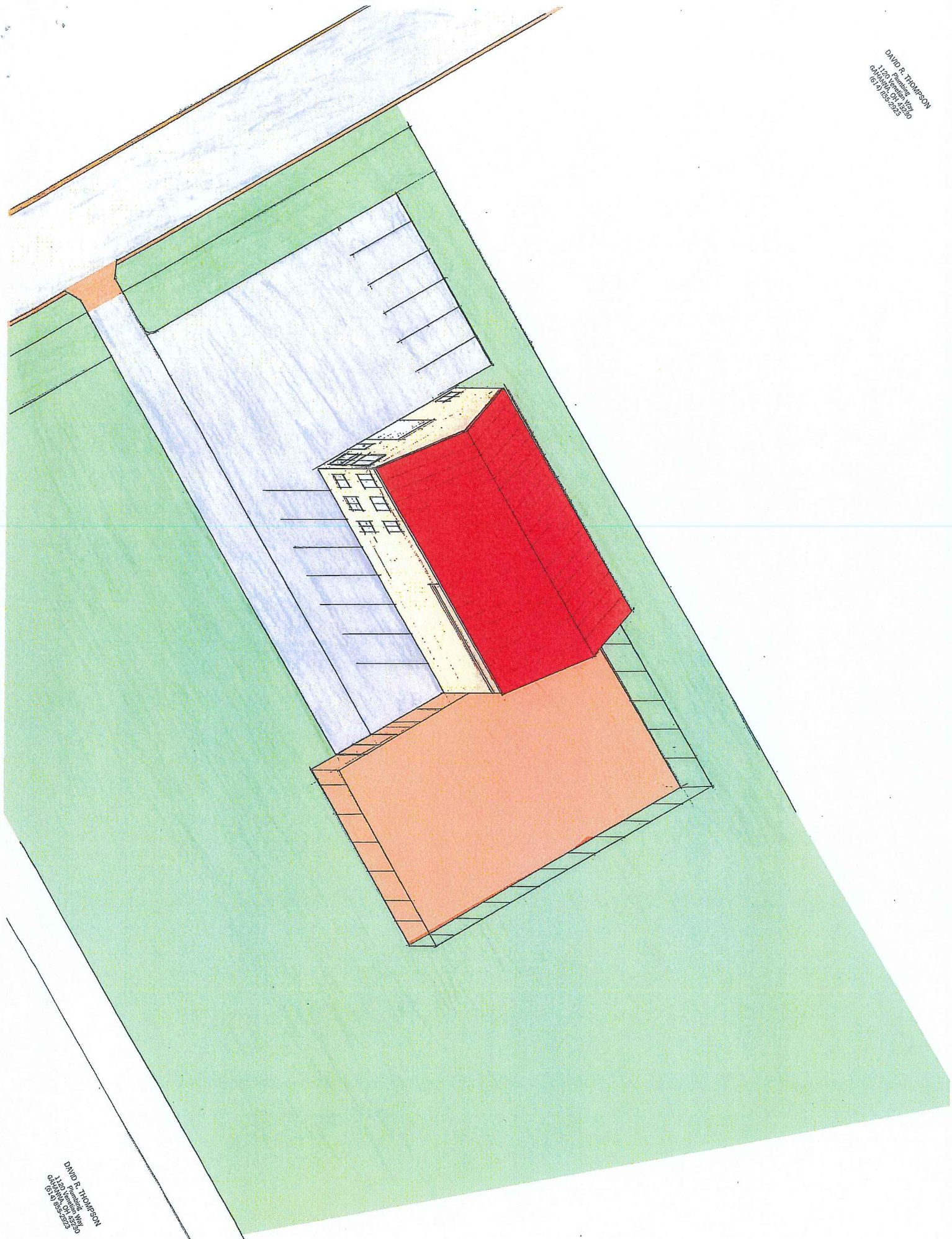
SITE DATA	
Project:	Doc Thompson Plumbing
Location:	1601 Eastgate Parkway
PID:	025-013452
Owner:	David R. Thompson
	1120 Venetian Way
	Gahanna, Ohio 43230
Zoning:	OCC-14A-SF
Site Area:	2.07 Acres
Total Building Area:	3,744-SF
Parking Lot Area:	5,255-SF
Parking Provided:	5 Spaces
Interior Landscape Required:	5% of Parking Lot (5255sf)
Interior Landscape Provided:	5255sf
Trees Required:	>100 sf = 2 Trees
Trees Provided:	3 Trees

FEMA NOTE:
According to the Federal Emergency Management Agency's Flood Insurance Rate Map (dated June 17, 2008), the subject parcel shown in red is within Zone X (area determined to be outside of the 0.2% annual chance floodplain), Community Flood No. 200802A17. It



PID 025-013452
G & N ENTERPRISE LTD

DAVID R. THOMPSON
1220 PUMPKIN WY
GAITHERSBURG, MD 20878
(301) 953-5250



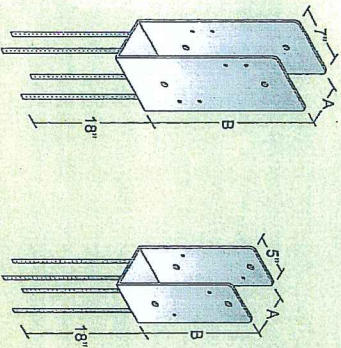
DAVID R. THOMPSON
1220 PUMPKIN WY
GAITHERSBURG, MD 20878
(301) 953-5250

Why choose wet set installation?



- Wet setting eliminates time consuming masonry drilling.
- Strongest connection to concrete possible.
- Includes wood to bracket connecting hardware.

WET SET MODELS

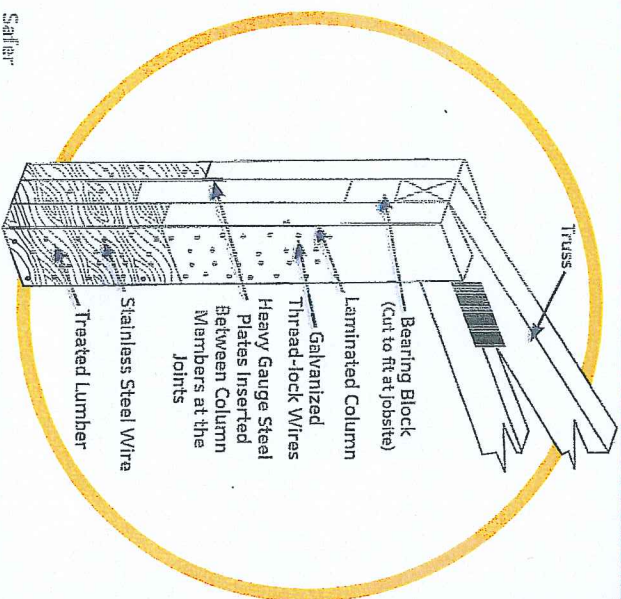


SKU #	TYPE	DIM A	DIM B	SHEAR (lbs)	UPLIFT (lbs)	MOMENT (In-lbs)
110-4971	4" X 6" POST	3-5/8"	13"	6,561	9,019	28,000
110-4975	3 PLY 6" LAM COL	4-5/8"	13"	6,638	9,019	28,000
110-4979	4 PLY 6" LAM COL	6-1/8"	18"	6,638	9,019	28,000
110-4983	6" X 6" POST	5-5/8"	13"	6,638	9,019	28,000
110-4987	3 PLY 8" LAM COL	4-5/8"	18"	9,138	11,519	59,000
110-4991	4 PLY 8" LAM COL	6-1/8"	18"	9,138	11,519	59,000

Laminated Columns

Unlike 4x6 or 6x6 timbers, our columns are an engineered product. It's not just glue and finger joints holding these columns together - thread-locked wires are driven through each layer of these columns, and then rivet clenched on both sides to provide superior holding power. This is the column you can count on!

Galvanized, thread-locked wire is used in all areas of the column above ground. For any portion that will contact the ground, we use treated lumber and stainless steel wire for greater protection.



Safety
Our column's pre-built notch allows trusses to fit firmly in the column. This eliminates the need to carry a chain saw up a ladder to notch the timber.

Stronger
Our columns use a 20 gauge stainless steel plate at all splice points in the column. This provides maximum strength even at what would normally be the weakest point.

Straighten
We use a hydraulic pressure system that generates hundreds of pounds of pressure over the entire length of the column, straightening it before it is manufactured.

More Versatile
We can build columns up to 60' or greater. Try getting a 6x6x60' from your local lumber yard! We also provide multiple lumber grades so your columns are built for your application, not overbuilt or overpriced.

Engineering and Design

Let Us Design Your Building

In today's hi-tech world, buildings and structures are becoming more complicated. These specialty buildings require more than just general building knowledge. Our licensed, professional engineers will put their experience to work for you. Midwest Manufacturing Engineering is dedicated to providing you with the best designed, most economical building without sacrificing quality.

Does your project need to meet specific wind or snow loads? Do you need to provide documents signed off by an Engineer (Engineering Seal)? MM Engineering can help!

For post frame estimates and questions, please email us at:
postframe@midwestmanufacturing.com

Prints For:

- Post Frame Buildings
- Metal Frame Buildings (Includes Seal)
- Engineered Building Prints
- Commercial Prints
- Mill Work and Prints
- Residential Prints

Steel Roofing

- Panel Selection for Easy Installation
- Roof and Floor Trusses
- Truss Layouts for Complexed
- Roof Systems
- Individual Truss Specification Sheets

Tall Walls

- Construction Drawings
- Material Layouts

Free Estimates on Materials For:

- Post Frame Buildings
- Residential
- Commercial
- Steel Roofing
- Residential
- Commercial
- Roof and Floor Trusses
- Tall Walls



For more information on all of our products, visit www.midwestmanufacturing.com

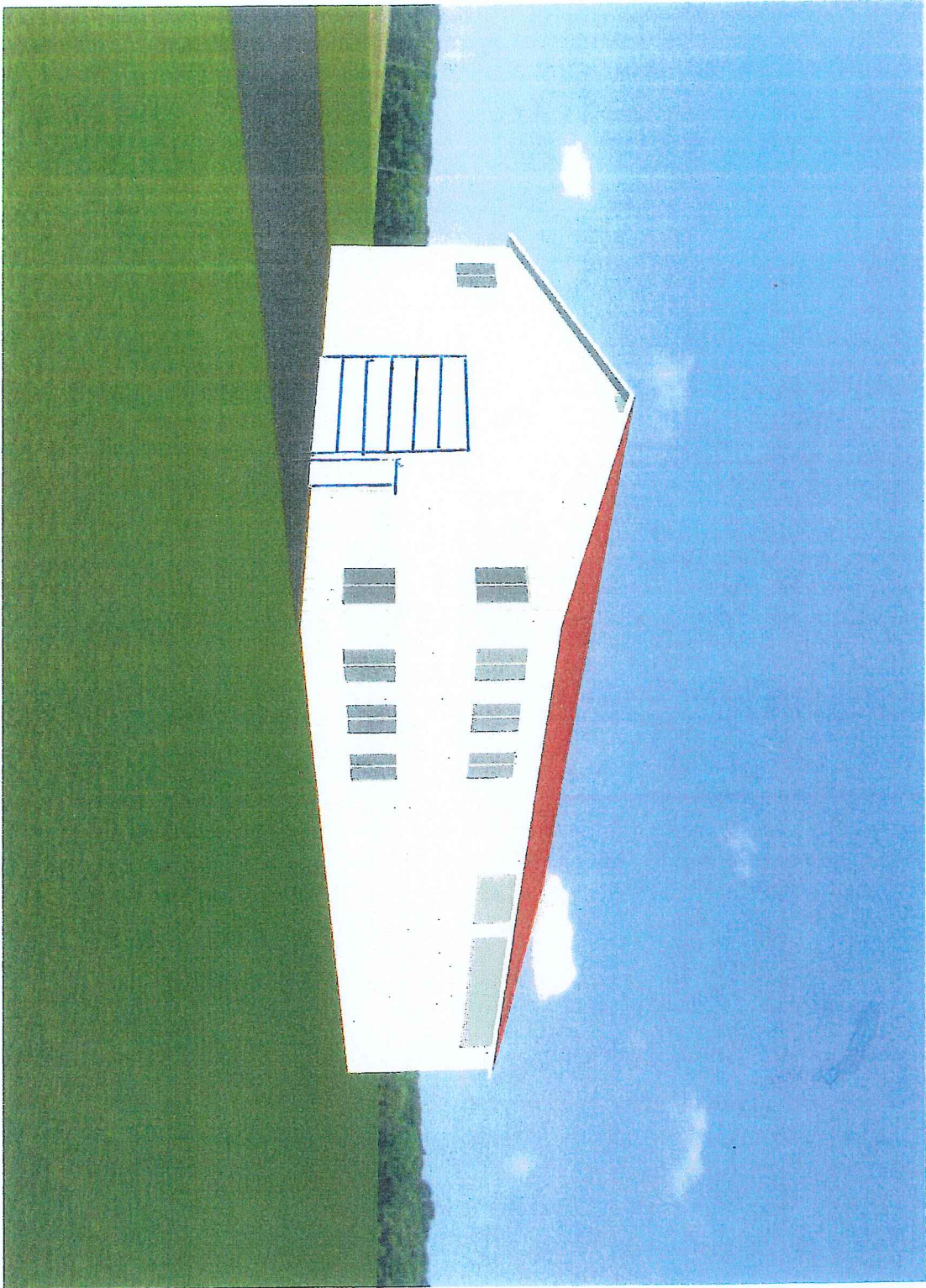
Midwest Manufacturing © 2010

Computerized Design-It® Center with Easy To Use Touch Screens

Stop in your local **MENARDS®** and use the convenient Design-It® Center to get a quote in minutes!



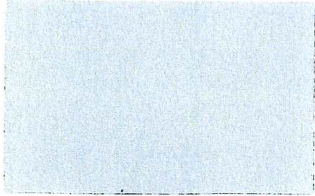
MENARDS®



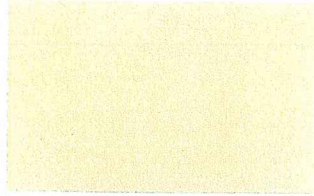


POST FRAME BUILDINGS

Commercial Suburban Agricultural



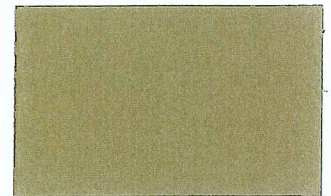
WHITE



PRAIRIE WHEAT



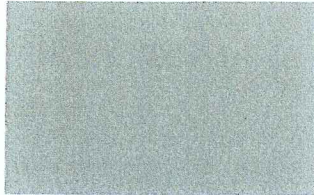
IVORY



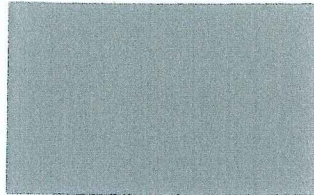
TAN



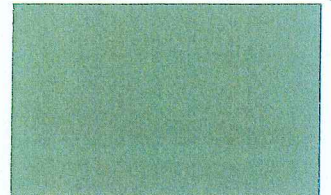
BRITE WHITE



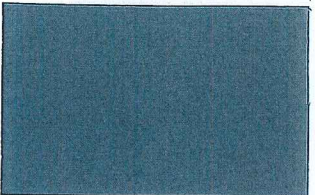
PINEWOOD



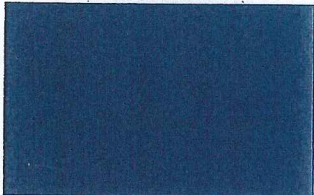
ASH GRAY



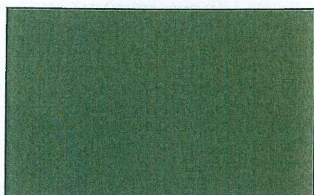
PATINA GREEN



SLATE BLUE



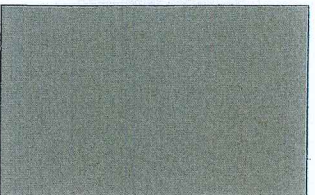
OCEAN BLUE



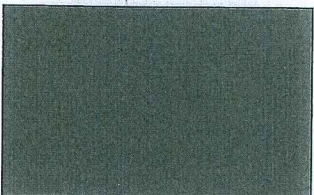
FOREST GREEN



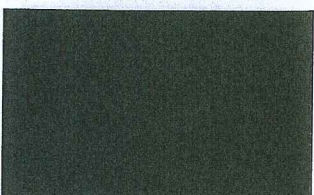
EMERALD GREEN



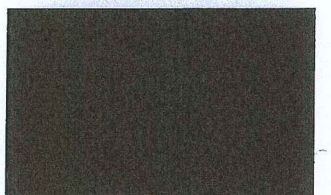
BEIGE



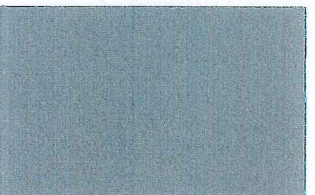
BRONZE



BURNISHED SLATE



BROWN



LIGHT GRAY



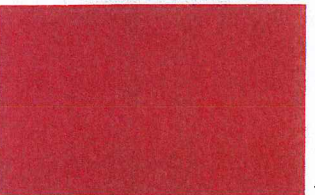
CHARCOAL GRAY



MIDNIGHT GRAY



BLACK



BRITE RED



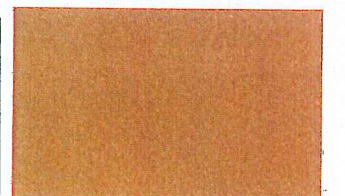
RED



COLONIAL RED



BURGUNDY



*** COPPER COLORED**
** Only Available in Premium Products*

MENARDS® offers the **BEST CHOICE** of Steel Building Panels for the post frame industry; plus the largest selection of Soffit, Fascia, Gutter, Vents, Trim, Trim Coil & Custom Bent Trim.

Note: Color chips show approximate tone. Color of actual product may vary. Final color approval should be made with actual material.



CITY OF GAHANNA

STAFF COMMENTS

Project Name: Ellen Thompson – formerly Doc Thompson Plumbing
Project Address: 1601 Eastgate Parkway

The applicant has submitted a new Certificate of Appropriateness for 1601 Eastgate Parkway, as the previous approval has expired. The parking lot paving and landscaping were not installed during the one year period of validity. There are no changes to the original plan submitted.

Respectfully Submitted By:



"HERB CAPITAL OF OHIO"

200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV



CITY OF GAHANNA
STAFF COMMENTS

Project Name: Ellen Thompson – formerly Doc Thompson Plumbing
Project Address: 1601 Eastgate Parkway

- Stormwater management shall be provided per City Code.
- Engineered drawings shall be submitted for review by the City Engineer.

Respectfully Submitted By:

Robert S. Priestly



"HERB CAPITAL OF OHIO"

200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV



CITY OF GAHANNA
STAFF COMMENTS

Project Name: Ellen Thompson – formerly Doc Thompson Plumbing
Project Address: 1601 Eastgate Parkway

No Comment

Respectfully Submitted By:

Tony Collins





CITY OF GAHANNA

STAFF COMMENTS

Project Name: Ellen Thompson – formerly Doc Thompson Plumbing
Project Address: 1601 Eastgate Parkway

the Building Department has no comments.

Respectfully Submitted By:

*Kenneth W. Feltz
Chief Building Official*



"HERB CAPITAL OF OHIO"

200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV



CITY OF GAHANNA

STAFF COMMENTS

Project Name: Ellen Thompson – formerly Doc Thompson Plumbing
Project Address: 1601 Eastgate Parkway

Planning & Development has no objections to the proposed application. The application was previously approved but not constructed/completed.

Respectfully Submitted By:

Michael Blackford



"HERB CAPITAL OF OHIO"

200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV



CITY OF GAHANNA

STAFF COMMENTS

Project Name: Ellen Thompson – formerly Doc Thompson Plumbing
Project Address: 1601 Eastgate Parkway

*FIRE CODE HAS NO REQUIREMENTS FOR
PRIVATE VEHICLE STORAGE.*

Respectfully Submitted By:

STEVE WEISZ *MICHAEL FINE*



"HERB CAPITAL OF OHIO"

200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV



CITY OF GAHANNA

STAFF COMMENTS

Project Name: Ellen Thompson – formerly Doc Thompson Plumbing
Project Address: 1601 Eastgate Parkway

SANITARY SEWER, WATER, STORM SEWER
NO COMMENTS. SITE PLAN HAS ENGINEERING APPROVAL

Respectfully Submitted By:

Jeff Feltz 04/01/15



"HERB CAPITAL OF OHIO"

200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV