

PRELIMINARY PLAT APPLICATION

PROPERTY INFORMATION			
Project/Property Address:		Proposed Subdivision Name:	
Parcel #:	Zoning: 3 (see Map)	MFPRD SCPD	Acreage:

PLAT SPECIFICATIONS	
Project Description:	Proposed # of Lots:

APPLICANT INFORMATION	
Applicant Name <i>(Primary Contact):</i>	Applicant Address:
Applicant E-mail:	Applicant Phone:
Business Name <i>(if applicable):</i>	

ADDITIONAL CONTACTS	
Please list all applicable contacts for correspondence	
Name(s)	Contact Information (phone/email)
Property Owner Name: <i>(if different from Applicant)</i>	Property Owner Contact Information (phone no./email):

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature:  Date: _____

ADDITIONAL INFORMATION ON NEXT PAGE....

INTERNAL
USE

Zoning File No. PP-0254-2023

RECEIVED: KAW
DATE: 6-2-2023

PAID: 700.00
DATE: 6-2-2023

Updated
Apr 2022

AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

PROPERTY OWNER

IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

_____ (property owner name printed)

_____ (property owner signature) _____ (date)

Subscribed and sworn to before me on this _____ day of _____, 20_____.

State of _____ County of _____

Stamp or Seal

Notary Public Signature: _____

Applicant/Property Owner/Representative

AGREEMENT TO COMPLY AS APPROVED As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

AUTHORIZATION TO VISIT THE PROPERTY I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described.

APPLICATION SUBMISSION CERTIFICATION I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

Griffin Caldwell (authorized rep)
_____ (applicant/representative/property owner name printed)

Griffin Caldwell _____ 2/10/23
(applicant/representative/property owner signature) (date)

Subscribed and sworn to before me on this 10th day of February, 2023.

State of Ohio County of Franklin

Notary Public Signature: _____



Steven K. Dankof, Jr., Attorney At Law
NOTARY PUBLIC - STATE OF OHIO
My commission has no expiration date
Sec. 147.03 R.C.

APPLICANT:

CP Crescent LLC
250 Civic Center Drive, Suite 500
Columbus, Ohio 43215

PROPERTY OWNER:

CP Crescent LLC
250 Civic Center Drive, Suite 500
Columbus, Ohio 43215

ATTORNEY:

Aaron L. Underhill
Underhill & Hodge LLC
8000 Walton Parkway, Suite 260
New Albany, Ohio 43054

SURROUNDING PROPERTY OWNERS:

Walnut Creek Mob LLC
P.O. Box 887
New Albany, Ohio 43054

Columbus Regional Airport
Authority (City of Columbus)
4600 International Gateway
Columbus, OH 43219

City of Gahanna
200 North Hamilton
Gahanna, Ohio 43230

KVS Real Estate Holdings LLC
24020 W. Riverwalk Ct., #114
Plainfield, IL 60544

Douglas Wrightsel
Weston Investments LLC
3220 Riverside Drive, #C-1
Columbus, OH 43221

RCS-COP II LLC
c/o RCS
371 Centennial Plaza, Suite 200
Louisville, CO 80027

City of Gahanna
200 South Hamilton Road
Columbus, OH 43230

National Retail Properties LP
8111 Smiths Mill Road
New Albany, OH 43054

501 Gahanna LLC
2950 E. Broad Street
Columbus, OH 43209

LFT Development LLC
or current occupant
560 Office Center Place
Gahanna, OH 43230

Hickory's Properties LLC
or current occupant
550 Office Center Place
Columbus, OH 43230

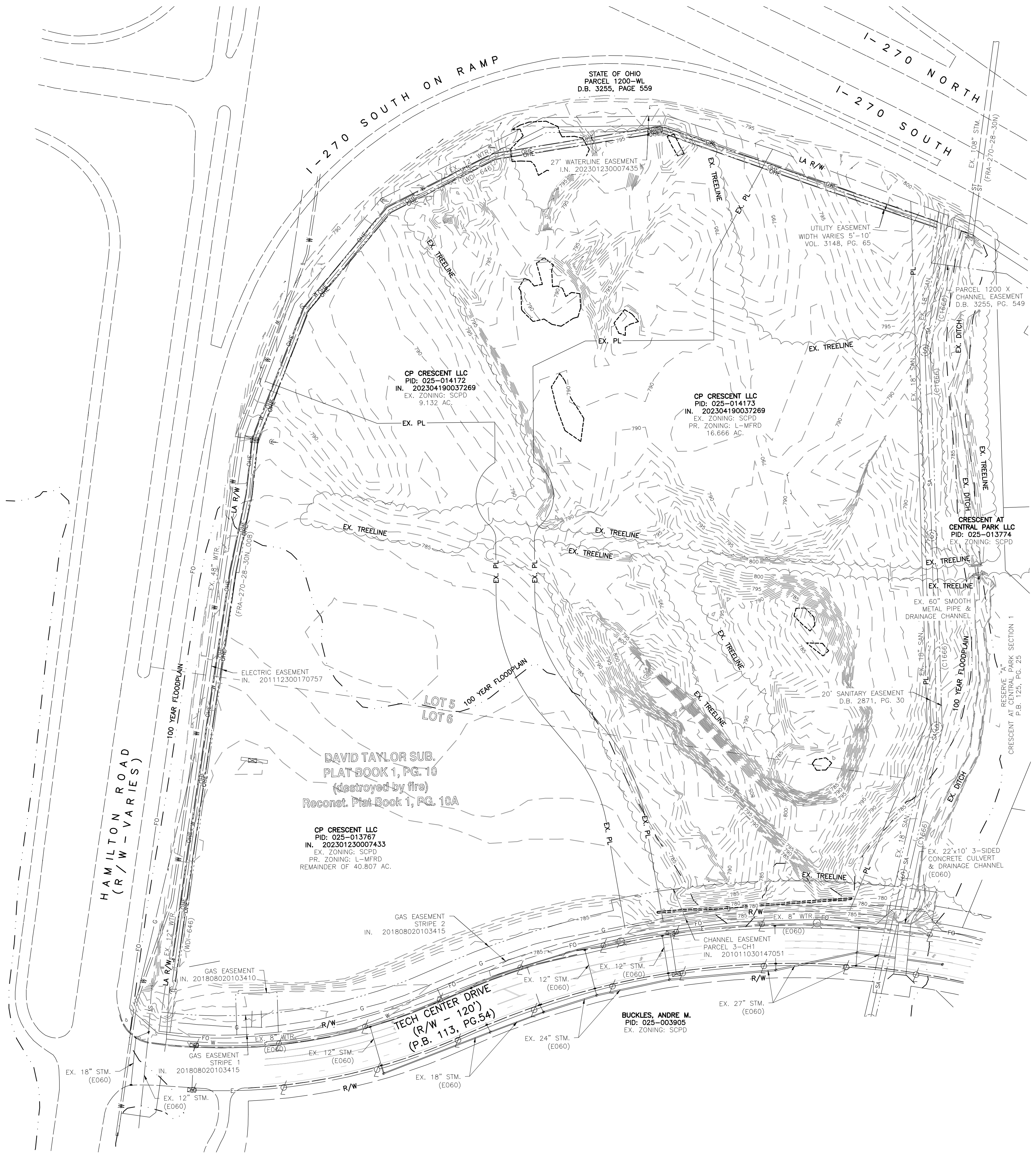
Kemba Financial Credit Union, Inc.
P.O. Box 307370
Columbus, OH 43230

DeMatteo Properties, Inc.
or current occupant
520 Morrison Road
Gahanna, OH 43230

Star Group Ltd.
251 Crossing Creek Way
Columbus, OH 43230

Crescent at Central Park LLC
132 Preston Road
Columbus, OH 43209

M:\95501_1_CrescentPark\DWG\Production Drawings\Preliminary Plat\Preliminary Plat - Existing Conditions.dwg - Existing Conditions LAST EDITED BY:RAY ON 6/30/23



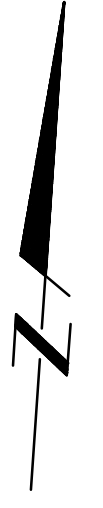
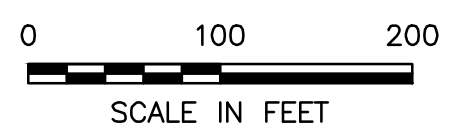
NOTE:
ALL ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD88), ESTABLISHED BY OBSERVATION SWITH THE ODOT VIRTUAL REFERENCE STATION (VRS) ON THE SOURCE BENCHMARK AND THEN TRANSFERRED BY DIFFERENTIAL LEVELING.

E. P. FERRIS
AND
ASSOCIATES
INC

2130 QUARRY TRAILS DR.
2ND FLOOR
COLUMBUS, OHIO 43228
(614) 299-2999
(614) 299-2992 (Fax)
www.EPFERRIS.com

Consulting Civil Engineers and Surveyors

EXISTING CONDITIONS



DRWN BY: JAR CHK BY: CLP DATE: 06/30/2023

2
2

ENVIRONMENTAL PLAN

ADDRESS: 0 Hamilton Road
PARCEL: 025-013767, 025-014172, and 025-014173
OWNER: CP Crescent LLC
APPLICANT: CP Crescent LLC c/o Griffin Caldwell
ATTORNEY: Aaron Underhill, Underhill & Hodge, LLC
DATE: May 24, 2023

This statement is submitted in support of the proposed Crescent Woods preliminary plat submission.

Application Criteria

1. The impact, if any, of the proposed development on area drainage and other lands at lower elevations in the vicinity.

Response - Burgess & Niple, Inc. performed a hydraulic evaluation of flooding conditions for the site, attached. This study identified the current floodplain conditions and evaluated the impacts, if any, that filling in the parcel in order to remove it from the Big Walnut Creek Floodplain will have on the surrounding properties.

The hydraulic analysis conducted on Big Walnut Creek has indicated that the parcel of interest is in the backwater of Big Walnut Creek and that the proposed placement of fill across the parcel will have no impact on the flood elevations of Big Walnut Creek.

Based on these findings, CASTO's proposed plan to place fill on the property in order to elevate the ground elevations out of the 1 percent chance of exceedance floodplain can be accomplished without the need for compensatory excavation. A CLOMR-F can be prepared and submitted to FEMA for approval of the proposed plan to remove the parcels from the floodplain based on elevating the site ground elevations.

2. Postulated impact of the proposed development on area traffic loads and fire protection capability.

Response - Stanhope performed a traffic study for the proposed development, attached.

3. All current and proposed deed covenants, deeds of right of way and deeds of easement.

Response – The attached ALTA survey includes “RESPONSE TO SCHEDULE B – SECTION II” which lists all current easements. It is expected that there may be additional easements as parcel 025-013767 develops with multiple commercial tenants.

4. All soil and water management measures necessary to prevent excessive soil erosion and sedimentation during and after development shall be presented. Such measures shall be presented

in accordance with a detailed plan for control of erosion and sedimentation unless there has been a prior determination by the City Engineer that such measures are not necessary.

Response – E.P. Faris prepared a mass excavation plan detailing the sediment and erosion control measures for the development, attached.

Environmental Plan Criteria (Section 1109.12)

The Applicant proposes a mix of residential, office, and commercial uses on the site in general conformance with the attached Conceptual Master Plan. The existing environmental features are depicted on the Preliminary Plat.

There are no expected detrimental environmental impacts resulting from the development. Big Walnut Creek runs south of the site and it is critically important to protect. The Applicant performed a hydraulic evaluation of flooding conditions for the site, attached. The hydraulic analysis has indicated that the parcel of interest is in the backwater of Big Walnut Creek and that the proposed placement of fill across the parcel will have no impact on the flood elevations of Big Walnut Creek.

The site does have trees that will be removed as a result of the development and site leveling. However, developments will replant trees and landscaping pursuant to zoning code requirements. Natural perimeter landscaping will be preserved where possible.

The Applicant prepared a mass excavation plan detailing the sediment and erosion control measures for the development. This will alleviate adverse impacts of the development.



LAND USE KEY	
A-1	Use: COMMERCIAL Retail - Single Story - 65-70' Depth Area: +/-3.30 AC. Floor Area: +/-16.0k SF
A-2	Use: COMMERCIAL Retail / Fuel/C-Store - Single Story Area: +/-3.72 AC. Floor Area: +/-4.5k SF
B-1	Use: COMMERCIAL Office / Medical Office - 3 Story Area: +/-7.15 AC. Floor Area: +/-60.0k SF
B-2	Use: COMMERCIAL Office / Medical Office - 4 Story Area: +/-7.55 AC. Floor Area: +/-83.0k SF
C-1	Use: RESIDENTIAL Multi-Family (2 & 3 Story) Area: +/-16.66 AC. Total Units: 294
Total Parking:	
Surface	408
Garage Attached	106
Garage Detached	36

CONCEPTUAL MASTER PLAN

NOTE: This concept was developed with publicly available Franklin County GIS information, not a surveyed base. All dimensions and site layout are approximate.

POSTED ADDRESS:

Vacant Lot Tech Center Drive
GRANTOR / CURRENT OWNER:
Crescent at Central Park Ltd.

RECORDED DEED

Inst. No. 201711280167556

FLOOD ZONE:

Said described property is located within an area having a Zone Designation "X" and "AE" by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 39049C0351K and 39049C0213K with a date of identification of June 17, 2008, in Franklin County, State of Ohio, which is the current Flood Insurance Rate Map for the community in which said property is situated.

APPARENT ENCROACHMENTS:

- ① Appears existing waterline encroaches. Easement not Provided.
- ② Appears existing overhead electric encroaches. Easement not Provided.

NOTES:

- 1. This property has no direct access to a Public Roadway. No curb cuts were observed.
- 2. There is no observed evidence of current earthmoving, work, building construction or building additions.
- 3. There is no observed evidence of recent street or sidewalk construction or repairs.

DOCUMENTS OF REFERENCE:

Plat Book 125, Page 25, Plat Book 114, Page 98, Plat Book 114, Page 98.

RESPONSE TO SCHEDULE B – SECTION II

(RET Solutions, LLC Commitment No. 8286 08/18/2022)

- 10. Building lines, easements and restrictions shown on the recorded plat/map of Crescent at Central Park Section 1 as Plat Book 125 page 25. Shown on Survey.
- 11. Building lines, easements and restrictions shown on the recorded plat/map of Tech Center Commons as Plat Book 114 page 98. Shown on Survey.
- 12. Building lines, easements and restrictions shown on the recorded plat/map of FRA–Tech Center Drive Extension as Plat Book 113 page 54. Shown on Survey.
- 13. Easement for Highway Purposes granted to the State of Ohio, as more fully set forth in the document recorded as Deed Book 1048 page 637. Not on Property.
- 14. Easement granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 1225 page 117. Shown on Survey.
- 15. Easement granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 1376 page 137. Shown on Survey.
- 16. Easement granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 2919 page 563. Shown on Survey.
- 17. Easement granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 3148 page 65. Shown on Survey.
- 18. Easement & Right of Way granted to Ohio Power Company, as more fully set forth in the document recorded as Instrument 201208030112197. Not on Property.
- 19. Easement & Right of Way granted to Ohio Power Company, as more fully set forth in the document recorded as Instrument 201212310200590. Not on Property.
- 20. Easement & Right of Way granted to Ohio Power Company, as more fully set forth in the document recorded as Instrument 201807270100505. Not on Property.
- 21. Easement and Right of Way granted to Columbia Gas of Ohio, Inc., as more fully set forth in the document recorded as Instrument 201808020103410. Shown on Survey.
- 22. Easement granted to Columbia Gas of Ohio, Inc., as more fully set forth in the document recorded as Instrument 201808020103415. Shown on Survey.
- 23. Easement granted to The Ohio Bell Telephone Company, as more fully set forth in the document recorded as Deed Book 3140 page 364. Not on Property.
- 24. Deed of Easement granted to the Village of Gahanna, Ohio, as more fully set forth in the document recorded as Deed Book 2619 page 223. Not on Property.
- 25. Deed of Easement granted to the Village of Gahanna, Ohio, as more fully set forth in the document recorded as Deed Book 2871 page 30. Not on Property.
- 26. Deed of Easement granted to the City of Gahanna, as more fully set forth in the document recorded as Official Record 2619 page C03. Not on Property.
- 27. Deed of Easement granted to the City of Gahanna, as more fully set forth in the document recorded as Official Record 2619 page C09. Not on Property.
- 28. Deed of Easement granted to the City of Gahanna, Ohio, as more fully set forth in the document recorded as Official Record 4594 page A15. Not on Property.
- 29. Easement granted to the City of Gahanna, as more fully set forth in the document recorded as Instrument 201011030147051. Not on Property.
- 30. Easement granted to the City of Gahanna, as more fully set forth in the document recorded as Instrument 201011030147052. Not on Property.
- 31. Waterline Easement granted to the City of Gahanna, as more fully set forth in the document recorded as Instrument 201203300043798. Not on Property.
- 32. Easement for Channel Purposes granted to the State of Ohio, as more fully set forth in the document recorded as Deed Book 3255 page 549. Not on Property.
- 33. Temporary Right of Way Agreement granted to the State of Ohio, as more fully set forth in the document recorded as Deed Book 3255 page 553. Not on Property.
- 34. Easement granted to the State of Ohio, as more fully set forth in the document recorded as Deed Book 3255 page 555. Not on Property.
- 35. Easement granted to the State of Ohio, as more fully set forth in the document recorded as Deed Book 3255 page 557. Not on Property.
- 36. Deed of Easement granted to the City of Gahanna, Ohio, as more fully set forth in the document recorded as Official Record 28386 page I08. Not on Property.
- 37. Easement & Right of Way granted to Columbus Southern Power Company, as more fully set forth in the document recorded as Instrument 201112300170757. Shown on Survey.
- 38. Easement for Sanitary Sewer Line granted to Walnut Creek Mob, LLC, an Ohio limited liability company, as more fully set forth in the document recorded as Instrument 201809170125687. Not on Property.
- 39. Notice of Commencement filed for record June 22, 2018, in Instrument 201806220083262, of the county records. No survey items to plot.
- 40. Sewer Easement granted to Walnut Creek MOB II LLC, an Ohio limited liability company, as more fully set forth in the document recorded as Instrument 202107080119493. Not on Property.

SURVEYOR NOTE:

The property described hereon is the same as the property described in RET Solutions, LLC Commitment File No. 8286 with an effective date of July 18, 2022 and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.

ALTA / NSPS LAND TITLE SURVEY

VACANT LOT

TOWNSHIP 1, RANGE 16, QUARTER TOWNSHIP 3, PART OF LOTS 5 & 6
UNITED STATES MILITARY LANDS

**City of Gahanna
Franklin County, Ohio**

**40.807 Ac.(M)
1,777,538 Sq. Ft. (M)**

PROPERTY DESCRIPTION

Situated in the State of Ohio, County of Franklin, City of Gahanna, Township 1, Range 16, Quarter Township 3 United States Military Lands, being part of Lots 5 and 6 of the David Taylor Subdivision (destroyed by fire) of record in Plat Book 1, Page 10 and as recreated and recorded in Plat Book 1, Page 10A, and being all out of a 200.064 acre parcel of land conveyed to Andre M. Buckles of record in Deed Book 3700, Page 120, all references to records being on file in the Office of the Recorder, Franklin County, Ohio, said 61.962 acre parcel being more fully described herein;

BEGINNING FOR REFERENCE at a concrete monument found with a brass cap inscribed Shelly RS8032 at a point of reverse curvature at Station 7+70.00 in the centerline of Tech Center Drive as shown on the centerline plat of "FRA–Tech Center Drive Extension" of record in Plat Book 113, Page 54;

Thence, North 28°36'20" West, across right of way of Tech Center Drive (120 feet wide) as conveyed to the City of Gahanna as Parcel 3WD (7.488 acres) in Instrument Number 201007150089298, a distance of 60.00 feet to an iron pin set at the TRUE POINT OF BEGINNING;

Thence, with the northerly Right of Way of said Tech Center Drive, 515.67 feet along the arc of a curve to the right, having a radius of 940.00 feet, a central angle of 31°25'55", the chord of which bears South 77°12'38" West, a chord distance of 505.23 feet to an iron pin set on the easterly right of way of South Hamilton Road and being in a southerly line of a 34.637 acres parcel of land conveyed to the State of Ohio of record in Deed Book 3255, Page 559 and designated as Parcel 1200–WL as shown on the Right of Way Plans for FRA–270–28.3N on file with Ohio Department of Transportation, District 6, Delaware, Ohio;

Thence, North 04°09'11" East in the southerly line of said Parcel 1200–WL with the easterly Right of Way of said Hamilton Road, a distance of 1087.65 feet to a ¼" iron pin found with a cap inscribed 6872;

Thence in the southerly line of said Parcel 1200–WL with the Right of Way of Interstate Route 270 as shown said Right of Way Plans FRA–270–28.3N the following ten (10) courses:

1. Thence, North 16°33'38" East, a distance of 255.98 feet to a ¼" iron pin found with a cap inscribed 6872;
2. Thence, North 35°22'11" East, a distance of 244.41 feet to a ¼" iron pin found with a cap inscribed 6872;
3. Thence, North 59°19'54" East, a distance of 328.02 feet to a ¼" iron pin found with a cap inscribed 6872;
4. Thence, North 85°11'53" East, a distance of 223.61 feet to a ¼" iron pin found with a cap inscribed 6872;
5. Thence, South 76°46'04" East, a distance of 202.24 feet to a ¼" iron pin found with a cap inscribed 6872;
6. Thence, South 73°21'46" East, a distance of 389.14 feet to a ¼" iron pin found with a cap inscribed 6872;
7. Thence, South 60°50'49" East, a distance of 381.77 feet to a ¼" iron pin found with a cap inscribed 6872;
8. Thence, South 53°58'23" East, a distance of 286.61 feet to a ¼" iron pin found with a cap inscribed 6872;
9. Thence, south 40°35'42" East, a distance of 758.20 feet to a ¼" iron pin found with a cap inscribed 6872;
10. Thence, South 31°35'06" East, a distance of 289.77 feet to a ¼" iron pin found with a cap inscribed 6872 said iron pin found also being on the northerly Right of Way of said Tech Center Drive;

Thence, South 58°03'42" West with the northerly Right of Way of said Tech Center Drive, a distance of 2.73 feet to an iron pin set at a point of curvature;

Thence with the northerly Right of Way of said Tech Center Drive, 398.56 feet along the arc of a curve to the right, having a radius of 1157.34 feet, a central angle of 19°43'52", the chord of which bears South 67°55'38" West, a chord distance of 396.59 feet to an iron pin set at the southeast corner of a 4.073 acre parcel of land conveyed to Crescent at Central Park, LLC of record in Instrument Number 201710250149074;

Thence with the east line of said 4.073 acre parcel, 16.14 feet along the arc of a curve to the left, having a radius of 10.00 feet, a central angle of 92°29'37", the chord of which bears North 31°32'46" East, a chord distance of 14.45 feet to an iron pin set;

Thence, North 14°42'02" West with the east line of said 4.073 acre parcel, a distance of 31.75 feet to an iron pin set;

Thence with the east line of said 4.073 acre parcel, 117.50 feet along the arc of a tangent curve to the left, having a radius of 260.00 feet, a central angle of 25°53'40", the chord of which bears North 27°38'52" West, a chord distance of 116.51 feet to an iron pin set;

Thence, North 40°35'42" West with the east line of said 4.073 acre parcel, a distance of 109.66 feet to an iron pin set at the northeast corner of said 4.073 acre parcel;

Thence, North 84°51'08" West with the north line of said 4.073 acre parcel, a distance of 575.80 feet to an iron pin set at the northwest corner of said 4.073 acre parcel;

Thence, South 18°21'04" West with the west line of said 4.073 acre parcel, a distance of 233.52 feet to an iron pin set on the northerly Right of Way of said Tech Center Drive;

Thence the northerly Right of Way of said Tech Center Drive, 55.80 feet along the arc of a non–tangent curve to the left, having a radius of 1560.00 feet, a central angle of 02°02'59", the chord of which bears North 83°52'02" West, a chord distance of 55.80 feet to an iron pin set;

Thence, North 05°06'29" East with the northerly right of way of said Tech Center Drive, a distance of 20.00 feet to an iron pin set;

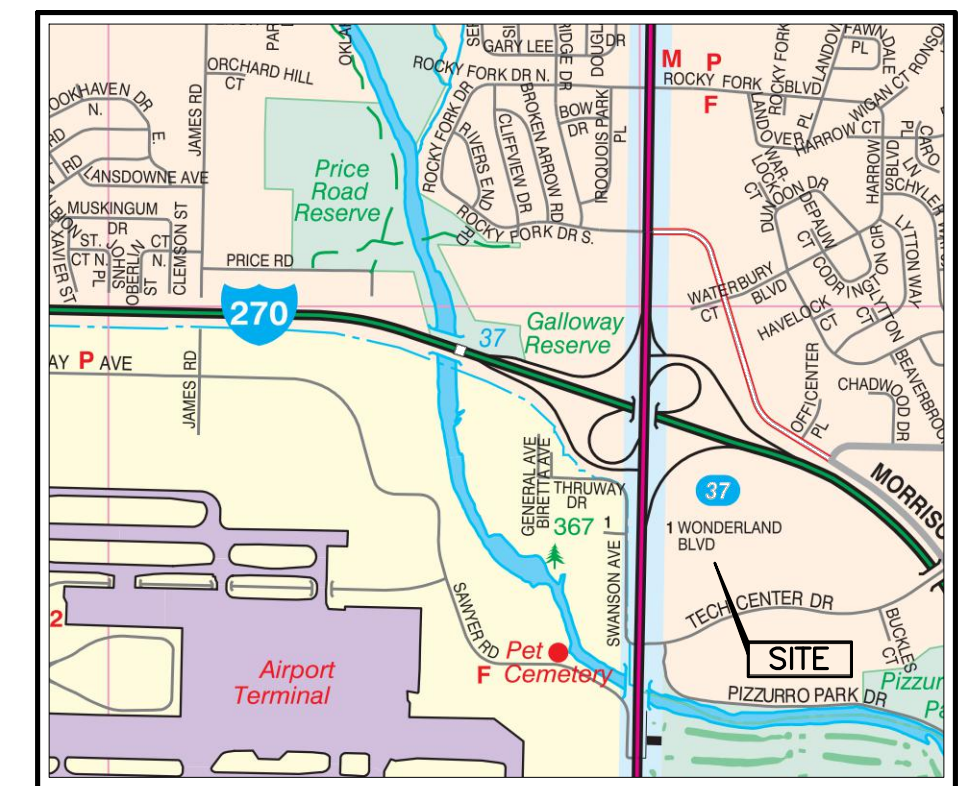
Thence the northerly Right of Way of said Tech Center Drive, 84.27 feet along the arc of a non–tangent curve to the left, having a radius of 1580.00 feet, a central angle of 03°03'21", the chord of which bears North 86°25'12" West, a chord distance of 84.26 feet to an iron pin set;

Thence, South 02°03'08" West with the northerly Right of Way of said Tech Center Drive, a distance of 20.00 feet to an iron pin set;

Thence the northerly Right of Way of said Tech Center Drive, 832.00 feet along the arc of a non–tangent curve to the left, having a radius of 1560.00 feet, a central angle of 30°33'27", the chord of which bears South 76°46'24" West, a chord distance of 822.17 feet to the TRUE POINT OF BEGINNING, containing 61.962 acres of land, subject to all easements and documents of record. All iron pins set are 5/8" x 30" rebar with a cap inscribed "CEC INC"

For the purpose of this description a bearing of N 04°09'11" E was held on Centerline of Hamilton Road (Right of Way Varies) as shown on the centerline plat "FRA–TECH CENTER DRIVE EXTENSION" of record in Plat Book 113, Page 54. This document is based on a survey completed by or under the supervision of Robert W. Martin in November of the year 2017.

LESS AND EXCEPTING therefrom a 21.156 acre tract from the recorded plat of Crescent at Central Park Section 1, of record in Plat Book 125 page 25. Parcel No. 025–013767–00



LOCATION MAP
Not To Scale

LEGEND

- ⊙ Gas Marker Post
- ⊕ Electrical Transformer
- ⊕ Air Conditioning Unit
- ⊗ Sac Ex. Telephone Pedestal
- ⊕ Ex. Valve, WV– Water, GV– Gas
- Property Line
- R/W Right-of–Way
- ⊕ Ex. Fire Hydrant
- ⊕ Ex. Electric/Telephone Pole w/ Light
- ⊕ Ex. Drop Pole / Traffic Signal Pole
- ⊕ Ex. Ground Light
- ⊕ Ex. Utility Pole
- ⊕ Ex. Light Pole
- STM— Ex. Storm Sewer
- SAN— Ex. Sanitary Sewer
- OHE— Ex. Overhead Electric
- UGE— Ex. Underground Electric
- ⊕ Ex. Catch Basin (CB)
- ⊕ Ex. Manhole (MH)
- ⊕ Ex. Parking Count
- ⊕ Iron Pin Found (IPF)
- Iron Pin Set (IP Set) or MAG Nail Set w/ Brass Survey marker
- ⊕ Pony Spike Set
- ⊕ Ex. Street Sign
- MB Ex. Mailbox
- ⊕ Yard Drain (YD)
- UGT— Ex. Underground Telephone
- G— Ex. Gas Line
- W— Ex. Water Line
- FO— Ex. Fiber Optic
- X— Ex. Fence
- PL Property Line
- R/W Right-of–Way
- R/W L/A Right-of–Way Limited Access
- 20.25' (D) Deed bearing and distance
- S87°51'30"E (D)
- 20.33'(M) Measured bearing and distance
- S88°05'11"E(M)
- POC Point of Commencement
- POB Point of Beginning
- M Centerline Monument

CERTIFICATION

To RET Solutions, LLC, Commercial Site Acquisitions, Inc., an Ohio corporation, Crescent at Central Park, LLC, that:

The undersigned certifies that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1,2,3,4,6(a),6(b),7(a),7(b),7(c),8,9,11,13,14,16, and 17 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Ohio, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

Field survey was conducted on 08–09–2022.

All monuments found are in good condition unless otherwise noted.

We hereby certify that the foregoing Boundary Survey was prepared from actual field measurements in accordance with Chapter 4733–37 Ohio Administrative Code.

All iron pins set are 5/8" rebar, 30" in length with yellow plastic cap and all Mag Nails set are with brass survey marker with "EP FERRIS SURVEYOR 8230" inscribed on top.



PRELIMINARY

By: Matthew Lee Sloat, P.E., P.S.
Registered Surveyor No. 8342

DRWN BY CRK CHK BY MLS DATE 9/27/2022



2130 QUARRY TRAILS DR,
2ND FLOOR
COLUMBUS, OHIO 43228
(614) 299–2999
(614) 299–2992 (Fax)
www.EPFERRIS.com

ALTA / NSPS LAND TITLE SURVEY

VACANT LOT

TOWNSHIP 1, RANGE 16, QUARTER TOWNSHIP 3, PART OF LOTS 5 & 6
UNITED STATES MILITARY LANDS

City of Gahanna
Franklin County, Ohio

40.807 Ac.(M)
1,777,538 Sq. Ft. (M)

LINE	LENGTH	BEARING
L1	1087.65'	N04°09'11"E
L2	255.98'	N16°33'38"E
L3	244.41'	N35°22'11"E
L4	328.02'	N59°19'54"E
L5	223.61'	N85°11'53"E
L6	202.24'	S76°46'04"E
L7	389.14'	S73°21'46"E
L8	381.77'	S60°50'49"E
L9	286.61'	S53°58'23"E
L10	758.20'	S40°35'42"E
L11	289.77'	S31°35'06"E
L12	2.73'	S58°03'42"W
L13	31.75'	N14°42'02"W
L14	109.66'	N40°35'42"W
L15	575.80'	N84°51'08"W
L16	233.52'	S18°21'04"W
L17	20.00'	N05°06'29"E
L18	20.00'	S02°03'08"W

NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	515.67'	940.00'	031°25'54"	509.23'	S77°12'38"W
C2	398.56'	1157.34'	019°43'52"	396.59'	S67°55'38"W
C3	16.14'	10.00'	092°29'37"	14.45'	N31°32'46"E
C4	117.50'	260.00'	025°53'40"	116.51'	N27°38'52"W
C5	55.80'	1560.00'	002°02'59"	55.80'	N83°52'02"W
C6	84.27'	1560.00'	003°03'21"	84.26'	N86°25'12"W
C7	832.00'	1560.00'	030°33'27"	822.17'	S76°46'24"W

LINE	LENGTH	BEARING
L19	1087.65'	N04°09'11"E
L20	255.98'	N16°33'38"E
L21	244.41'	N35°22'11"E
L22	328.02'	N59°19'54"E
L23	223.61'	N85°11'53"E
L24	202.24'	S76°46'04"E
L25	265.50'	S73°21'46"E
L26	943.66'	S05°51'43"E
L27	371.55'	S18°21'54"W

NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C8	763.65'	1560.00'	028°02'51"	756.05'	S75°30'59"W
C9	515.80'	940.00'	031°26'22"	509.35'	S77°12'45"W

BASIS OF BEARINGS
Ohio State Plane Coordinate System, Ohio South Zone, NAD83 (2011), with the centerline of Hamilton Road bearing N04°09'11" E.

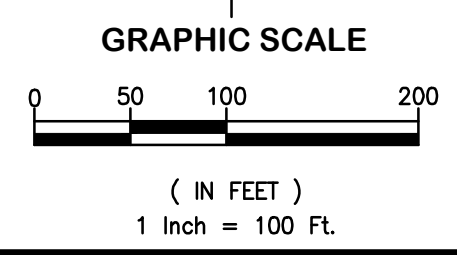
E. P. FERRIS
AND
ASSOCIATES
INC.
Consulting Civil Engineers and Surveyors

2130 QUARRY TRAILS DR,
2ND FLOOR
COLUMBUS, OHIO 43228
(614) 299-2999
(614) 299-2992 (Fax)
www.EPFERRIS.com

TECH CENTER DR. (120')
(PUBLIC ROADWAY)
(P.B. 113, PG. 54)

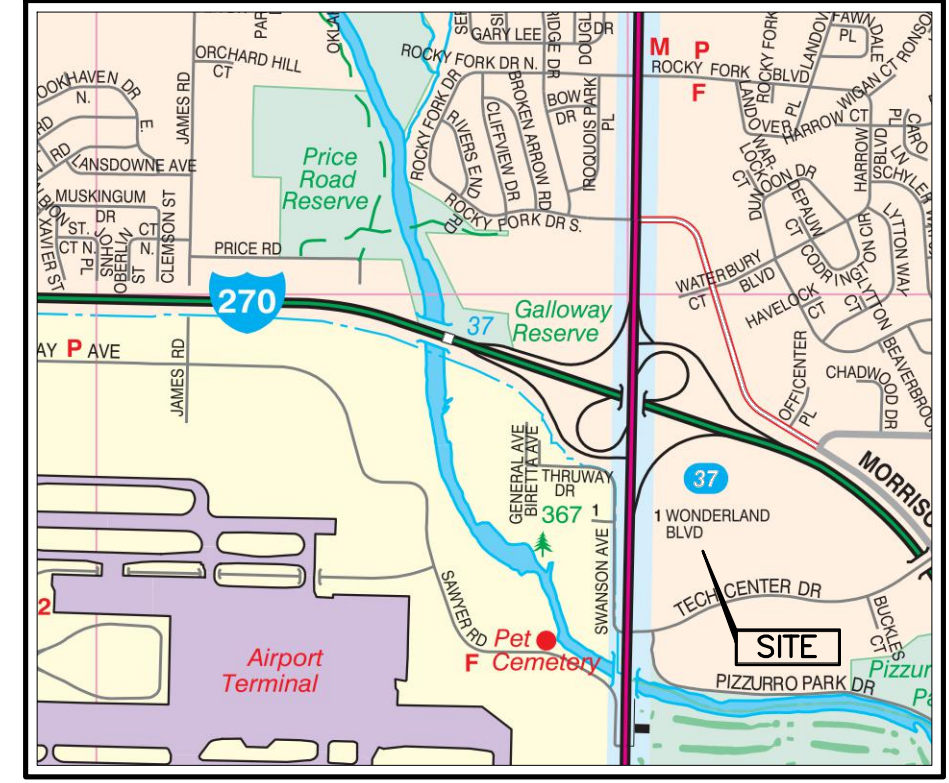
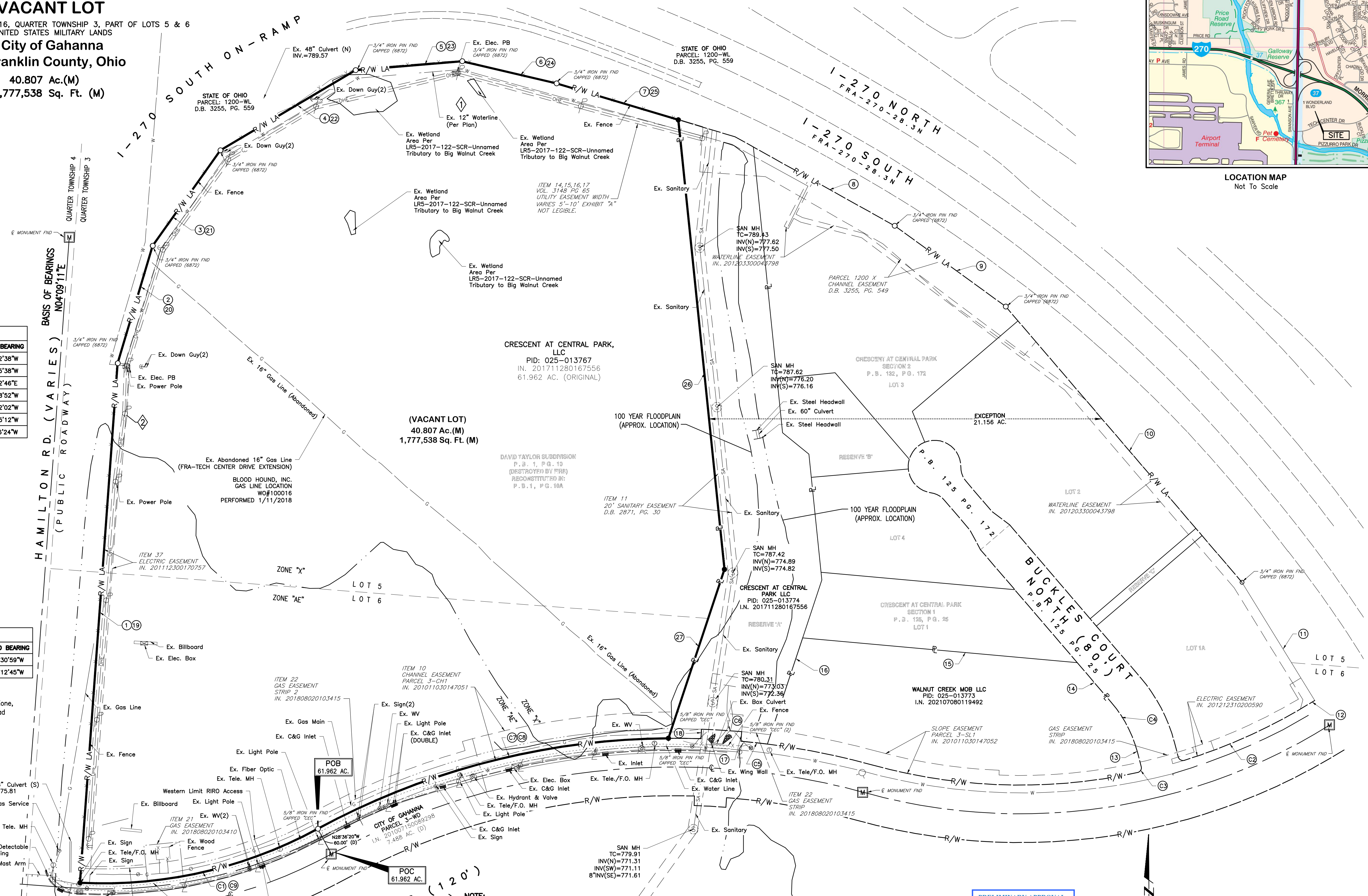
NOTE:
This property has no direct access to a Public Roadway. No curb cuts were observed.

PRELIMINARY APPROVAL
Cornell R. Robertson, P.E., P.S.
By: gantonini
09/28/2022
PENDING ORIGINALS
*Submitted via digital format
Please return this approval, along with the original description and plat of survey, as prepared by the surveyor, signed, sealed and dated in blue ink.



PRELIMINARY

DRWN BY CRK CHK BY MLS DATE 9/27/2022



LOCATION MAP
Not To Scale

MASS EXCAVATION PLAN

CRESCENT PARK

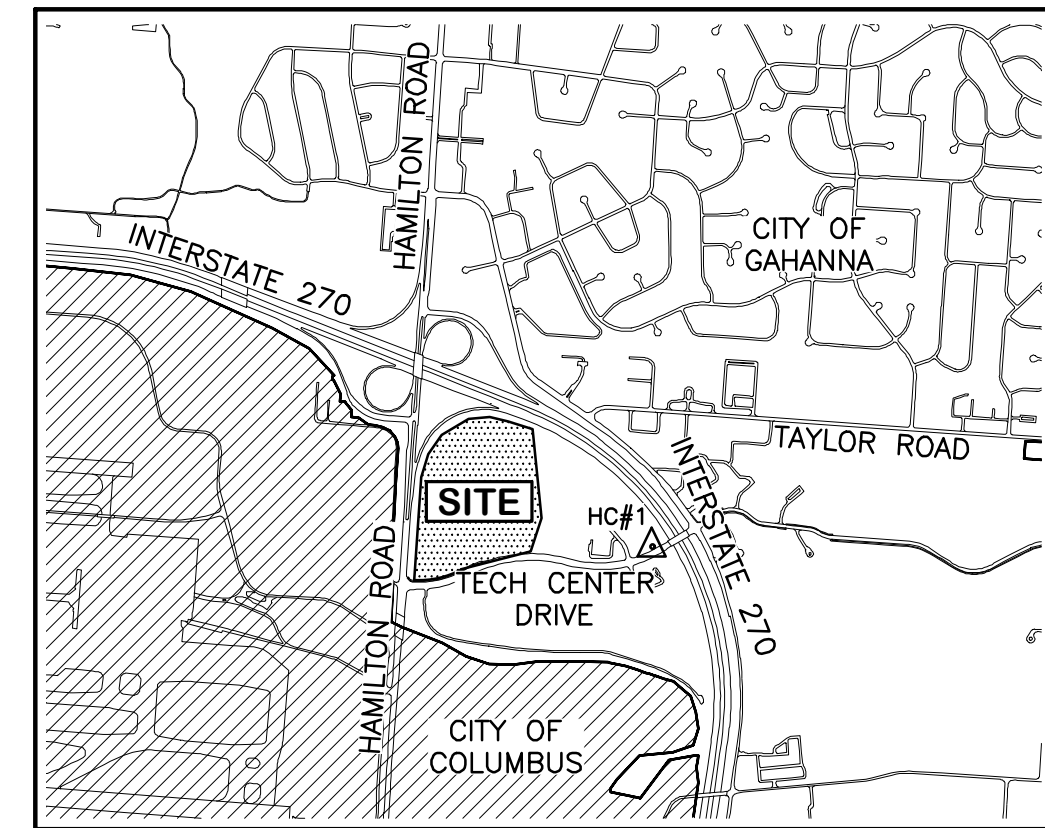
CITY OF GAHANNA, OHIO

2023

ZONING INFORMATION
 EXISTING ZONING: SCPD
 PROPOSED ZONING: V-020-2020
 PARCEL ID NUMBER: 025-013767
 ADDRESS: HAMILTON ROAD

OWNER/DEVELOPER INFORMATION
 CASTO COMMUNITIES
 250 CIVIC CENTER DRIVE, SUITE 500
 COLUMBUS, OHIO, 43215
 CONTACT: BRENT SOBCEK
 PHONE: (614) 744-2028
 EMAIL: BSobczak@castoinfo.com

CIVIL ENGINEER INFORMATION
 E.P. FERRIS & ASSOCIATES, INC.
 2130 QUARRY TRAILS DRIVE,
 2ND FLOOR
 COLUMBUS, OHIO 43228
 CONTACT: CHRISTOPHER L. POST, P.E.
 PHONE: (614) 299-2999
 FAX: (614) 299-2992
 EMAIL: cpost@epferris.com



LOCATION MAP
NOT TO SCALE

CITY OF GAHANNA GENERAL NOTES:

THE CURRENT CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMS) TOGETHER WITH THE REQUIREMENTS OF THE CITY OF GAHANNA, OHIO, SHALL GOVERN MATERIALS AND WORKMANSHIP INVOLVED IN IMPROVEMENTS SHOWN ON THESE PLANS, EXCEPT THOSE SPECIFICATIONS MODIFIED BY THE FOLLOWING SPECIFICATIONS OR CONSTRUCTION DETAILS SET FORTH HEREIN.

ALL WORK IS TO BE ACCEPTABLE TO CITY OF GAHANNA OFFICIALS. NO WORK IS TO COMMENCE UNTIL ARRANGEMENTS HAVE BEEN MADE WITH THE CITY OF GAHANNA ENGINEER FOR INSPECTION.

THE CONTRACTOR SHALL NOTIFY THE CITY OF GAHANNA ENGINEER AT LEAST TWO WORKING DAYS PRIOR TO CONSTRUCTION.

ALL PERTINENT STANDARD CONSTRUCTION DRAWINGS ARE AVAILABLE UPON REQUEST AT THE OFFICE OF THE CITY OF GAHANNA ENGINEERS.

THE DEVELOPER IS TO SCHEDULE A PRE-CONSTRUCTION MEETING ONE BUSINESS WEEK PRIOR TO CONSTRUCTION. THE MEETING SHALL TAKE PLACE AT LEAST ONE BUSINESS WEEK PRIOR TO THE FOLLOWING: SITE CLEARING, MATERIAL DELIVERED ON-SITE, EQUIPMENT ON-SITE AND FIELD OFFICE ON-SITE.

THE DEVELOPER SHALL, PRIOR TO ANY CONSTRUCTION OPERATION, DEPOSIT WITH THE CITY THE TOTAL ESTIMATED COSTS FOR INSPECTION, ADMINISTRATIVE, WATER AND SANITATION FEES.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146.

THE PRICE(S) QUOTED SHALL INCLUDE ALL ITEMS OF LABOR, MATERIALS, TOOLS, EQUIPMENT, INSURANCE AND OTHER COSTS NECESSARY TO FULLY COMPLETE THE WORK PURSUANT TO THE CONTRACT DOCUMENTS. IT IS THE INTENTION OF THE CONTRACT DOCUMENTS TO PROVIDE AND REQUIRE A COMPLETED WORK PROJECT READY FOR OPERATION. ANY WORK ITEMS OMITTED FROM SUCH CONTRACT DOCUMENTS WHICH ARE CLEARLY NECESSARY FOR THE COMPLETION OF SUCH WORK AND ITS APPURTENANCES SHALL BE CONSIDERED A PART OF SUCH WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR CALLED FOR IN THE CONTRACT DOCUMENTS.

ALL FIELD TILE BROKEN DURING EXCAVATION SHALL BE REPLACED WITH PERFORATED TILE OR CONNECTED TO THE STORM SEWER SYSTEM.

NO NATURAL DRAINAGE COURSES SHALL BE ALTERED AND NO FILL, MATERIALS OR STRUCTURES SHALL BE PLACED IN IT UNLESS PROVISIONS ARE MADE FOR THE FLOW OF WATER IN A MANNER SATISFACTORY TO THE CITY ENGINEER. AN EASEMENT SHALL BE PROVIDED ON BOTH SIDES OF ANY EXISTING IMPORTANT SURFACE DRAINAGE COURSE ADEQUATE FOR THE PURPOSE OF PROTECTING, WIDENING, DEEPENING, ENCLOSING OR OTHERWISE IMPROVING SUCH STREAM FOR DRAINAGE PURPOSES.

THE CONTRACTOR SHALL REPAIR OR REPLACE ANY OR ALL EXISTING SIGNS, SHRUBS, FENCES, OR OTHER PHYSICAL FEATURES DAMAGED DURING THE EXECUTION OF THIS CONTRACT AT THEIR OWN EXPENSE. ALL REPAIRS SHALL BE TO THE SATISFACTION OF THE OWNER AND THE CITY OF GAHANNA.

THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND GOVERNMENT FEES, LICENSES, AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF IMPROVEMENTS SHOWN ON THESE PLANS.

THE CONTRACTOR SHALL CLEAN ADJACENT STREETS ON A DAILY BASIS IF MUD IS TRACKED FROM VEHICLES VISITING THE SITE.

DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE ENTIRE SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF ALL TRENCHES WITHIN THE RIGHT-OF-WAY, PUBLIC EASEMENTS AND WITHIN THE WORK LIMITS FOR A PERIOD OF (1) YEAR FROM THE FINAL ACCEPTANCE OF THE WORK, AND SHALL MAKE ANY NECESSARY REPAIRS AT NO COST TO THE OWNER OR CITY OF GAHANNA.

THE CONTRACTOR SHALL CONFINE ACTIVITIES TO THE PROJECT SITE, EXISTING RIGHT-OF-WAYS, TEMPORARY EASEMENTS AND PERMANENT EASEMENTS, AND SHALL NOT ENTER UPON OTHER PROPERTIES WITHOUT WRITTEN PERMISSION OF THE OWNER.

SHOULD WATER BE ENCOUNTERED, THE CONTRACTOR SHALL FURNISH AND OPERATE SUITABLE PUMPING EQUIPMENT OF SUCH CAPACITY ADEQUATE TO DEWATER THE TRENCH. THE TRENCH SHALL BE SUFFICIENTLY DEWATERED SO THAT THE PLACING AND LAYING AND JOINING OF THE PIPE IS MADE IN A TRENCH FREE OF STANDING WATER. THE CONTRACTOR SHALL CONVEY ALL TRENCH WATER TO A NATURAL DRAINAGE CHANNEL OR STORM SEWER WITHOUT CAUSING ANY PROPERTY DAMAGE.

FINAL GRADE ADJACENT TO BUILDING SHALL SLOPE AWAY FROM BUILDING.

THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO ENSURE CONSTRUCTION TO PLAN GRADE. THE CONTRACTOR SHALL ENSURE THERE IS A SURVEYOR'S

LEVEL AND ROD ON THE PROJECT FOR USE IN PERFORMING GRADE CHECKS WHENEVER SEWER LINE STRUCTURES OR PIPES ARE BEING INSTALLED. THE CONTRACTOR SHALL MAKE THIS EQUIPMENT AVAILABLE FOR USE AND ASSIST THE CITY INSPECTOR IN PERFORMING GRADE CHECKS WHEN REQUESTED BY THE INSPECTOR. THE INSPECTOR WILL MAKE ALL REASONABLE ATTEMPTS TO CONFINE REQUESTS FOR ASSISTANCE IN PERFORMING GRADE CHECKS TO TIMES CONVENIENT TO THE CONTRACTOR. THESE CHECKS WILL BE PERFORMED TO ENSURE THAT CONSTRUCTION MATCHES PLAN GRADE, AND TO ENSURE THAT ALL EXISTING INVERTS ALONG WITH THE PROPOSED TOP OF CASTING ELEVATIONS ARE VERIFIED PRIOR TO CONSTRUCTION OF THE SEWER.

THE CONTRACTOR SHALL REFERENCE ALL IRON PINS OR MONUMENTS. IF ANY PINS OR MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE ACCURATELY REPLACED BY A REGISTERED SURVEYOR IN THE STATE OF OHIO AT THE COMPLETION OF THE PROJECT.

THE COST OF RELOCATING AND/OR SECURING ANY POWER POLES AS NECESSARY TO COMPLETE THE WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS OF THE CONTRACT.

VERTICAL CONTROL HAS BEEN ESTABLISHED FOR THE PROJECT AS SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SURVEYS TO COMPLETE THE PROJECT INCLUDING REESTABLISHMENT OF CONTROL POINTS, PROJECT LAYOUT AND STAKING OF EASEMENTS.

DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL ADJACENT ROADS AND LANDS.

ANY MODIFICATION TO THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY OF GAHANNA.

ANY REQUIRED RELOCATION, SUPPORT, PROTECTION, RESTORATION, OR ANY OTHER ACTIVITY CONCERNED WITH THE CITY'S ELECTRICAL OR STREET LIGHTING SYSTEMS IN THE CONSTRUCTION AREA IS TO BE PERFORMED SOLELY BY THE CITY AT THE EXPENSE OF THE PROJECT. THE CITY SHALL BE NOTIFIED PRIOR TO CONSTRUCTION TO ALLOW FOR ENGINEERING AND RELOCATION OF FACILITIES.

IF ANY ELECTRIC FACILITY BELONGING TO THE CITY IS DAMAGED IN ANY MANNER BY THE CONTRACTOR, ITS AGENTS, SERVANTS, OR EMPLOYEES, THE CITY SHALL MAKE ALL NECESSARY REPAIRS, AND THE EXPENSE OF SUCH REPAIRS AND OTHER RELATED COSTS SHALL BE PAID BY THE CONTRACTOR TO THE CITY.

ALL CURB RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, INCLUDING ALL SUPPLEMENTS IN ACCORDANCE WITH THE CITY OF COLUMBUS STANDARD DRAWING 2319, INCLUDING ALL SUPPLEMENTS AND/OR REPLACEMENTS, CURRENT ON THE DATE OF THE START OF PROJECT CONSTRUCTION. SIDEWALKS SHALL BE CONSTRUCTED WITH A 3/16" PER FOOT (1.56%) CROSS SLOPE.

NO NON-RUBBER Tired VEHICLES SHALL BE MOVED ON CITY STREETS, EXISTING PRIVATE ROADWAYS, OR PARKING LOTS UNLESS WRITTEN APPROVAL IS GRANTED BY THE APPROPRIATE CITY AUTHORITY OR PROPERTY OWNER. ANY DAMAGE MUST BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY OF GAHANNA AT NO COST TO THE CITY OR PROPERTY OWNER/DEVELOPER.

THE CONTRACTOR SHALL MAKE HIS OWN PROVISIONS TO PROVIDE A SITE STAGING AREA AND JOB TRAILER (IF REQUIRED) FOR THE PROJECT IMPROVEMENTS.

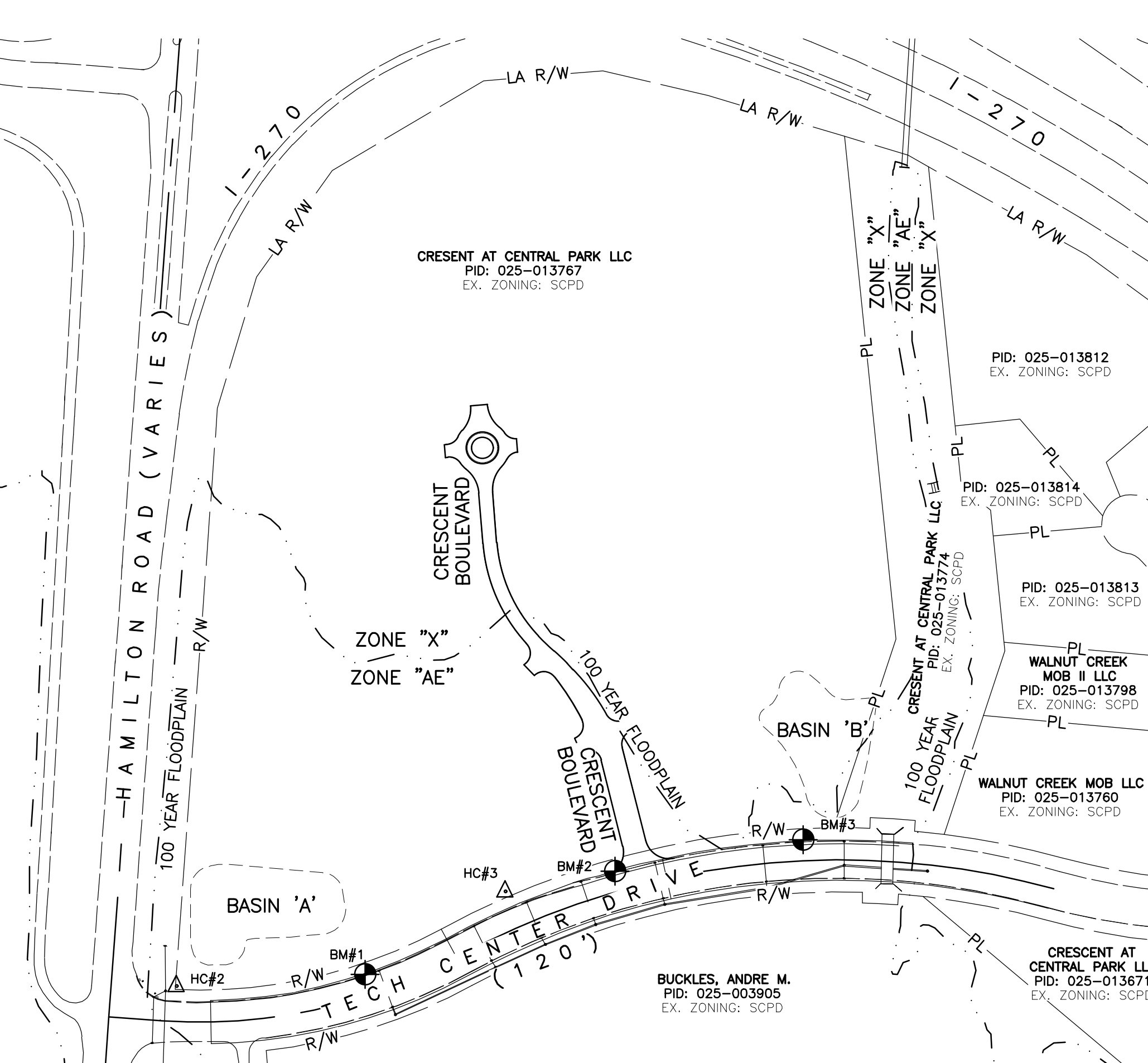
NO NATURAL DRAINAGE COURSES SHALL BE ALTERED AND NO FILL, BUILDINGS OR STRUCTURES SHALL BE PLACED IN IT UNLESS PROVISIONS ARE MADE FOR THE FLOW OF WATER IN A MANNER SATISFACTORY TO THE CITY ENGINEER. AN EASEMENT SHALL BE PROVIDED ON BOTH SIDES OF ANY EXISTING IMPORTANT SURFACE DRAINAGE COURSE ADEQUATE FOR THE PURPOSE OF PROTECTING, WIDENING, DEEPENING, ENCLOSING OR OTHERWISE IMPROVING SUCH STREAM FOR DRAINAGE PURPOSES.

ORANGE CONSTRUCTION FENCING SHALL BE PLACED AROUND THE EXISTING TREES TO BE SAVED AND REMAIN IN PLACE DURING THE DEVELOPMENT CONSTRUCTION. THE LOCATION OF THE FENCING AND ANY CLEARING NECESSARY WILL BE DETERMINED BY THE APPROVED PLANS.

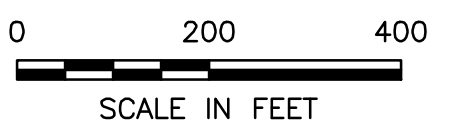
THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION ON THE PROJECT SITE WHERE AND AS DIRECTED BY THE OWNER/DEVELOPER.

INCONVENIENCE TO THE ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC SHALL BE KEPT TO AN ABSOLUTE MINIMUM. ALL WORK IS TO CONTINUE ON A UNIFORM BASIS AND ON SCHEDULE, PARTICULARLY THE RESTORATION AND CLEAN UP OF DISTURBED AREA AFTER CONSTRUCTION. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT SOIL TRANSPORT DURING CONSTRUCTION ONTO PUBLIC ROADS. THE CONTRACTOR SHALL CLEAN AND SWEEP STREETS AS DIRECTED BY THE CITY. COST TO BE INCLUDED IN THE PRICE BID UNDER VARIOUS ITEMS.

AN ENGINEERING REVIEW FEE WILL BE COLLECTED PRIOR TO CONSTRUCTION. THIS FEE WILL INCLUDE AN AS-BUILT SURVEY FEE AND AS-BUILT DEPOSIT. THE AS-BUILT SURVEY FEE IS THE ACTUAL COST OF SURVEY FOR THE CREATION OF AN AS-BUILT PLAN. THE CITY WILL SELECT THE SURVEYOR AND REQUEST A PROPOSAL FOR THIS SURVEY.



INDEX MAP
SCALE: 1" = 200'



SHEET INDEX

TITLE	1
GENERAL NOTES & QUANTITIES	2
MASS GRADE & FILL PLAN	3
BASIN OUTLET PROFILES	4
STORMWATER POLLUTION PREVENTION PLAN NOTES	5-6

△ HORIZONTAL CONTROL POINTS

ID.	NORTHING	EASTING	DESCRIPTION
HC#1	728430.87	1867957.47	5/8" REBAR CAPPED "CEC"
HC#2	728089.61	1865445.87	5/8" REBAR CAPPED "CEC"
HC#3	728266.17	1866059.92	5/8" REBAR CAPPED "CEC"

NOTE: HORIZONTAL DATUM = OHIO STATE PLANE COORDINATE SYSTEM, OHIO SOUTH ZONE, NAD83 (2011)

⊕ BENCHMARKS

ID.	ELEVATION	DESCRIPTION
SOURCE BM	799.396	BRASS DISK SET IN THE TOP OF THE WEST END OF THE SOUTH CONCRETE ABUTMENT OF THE HAMILTON ROAD BRIDGE FRA 317-1668 OVER BIG WALNUT CREEK, 0.1 MILE NORTH OF SAWYER ROAD, 18.5 FEET NORTH OF THE SOUTH END OF THE WEST CONCRETE BARRIER WALL, 1.85 FEET EAST OF THE BASE OF THE WEST CONCRETE BARRIER WALL, 0.5 FEET SOUTH OF A STEEL EXPANSION JOINT, LEVEL WITH THE CONCRETE.
BM#1	788.21	SOUTHERN BOLT ON TOP FLANGE OF FIRE HYDRANT LOCATED ±500 EAST OF INTERSECTION OF TECH CENTER DRIVE AND HAMILTON ROAD, ON NORTH SIDE OF TECH CENTER DRIVE.
BM#2	787.66	SOUTHERN BOLT ON TOP FLANGE OF FIRE HYDRANT LOCATED ±1000 EAST OF INTERSECTION OF TECH CENTER DRIVE AND HAMILTON ROAD, ON NORTH SIDE OF TECH CENTER DRIVE.
BM#3	788.88	SOUTHERN BOLT ON TOP FLANGE OF FIRE HYDRANT LOCATED ±1340 EAST OF INTERSECTION OF TECH CENTER DRIVE AND HAMILTON ROAD, ON NORTH SIDE OF TECH CENTER DRIVE.

NOTE: ALL BENCHMARKS AND ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD88) UNLESS OTHERWISE NOTED.

SCP WATER QUALITY STRUCTURE NOTICE:
 THE TEMPORARY SEDIMENT BASINS ARE A STORMWATER SCP AND ARE AN INTEGRAL PART OF THE PRIVATE STORM SEWER SYSTEM DEPICTED IN THESE DRAWINGS. RESPONSIBILITY AND ASSURANCE OF PERIODIC MAINTENANCE AND THE CONTINUOUS FUNCTIONALITY OF THE STORMWATER QUANTITY AND QUALITY DEVICES IS PERPETUAL, BEGINNING WITH THE OWNER AT THE TIME OF INSTALLATION AND CONTINUING TO ALL FUTURE OWNERS OF SAID PRIVATE STORM SEWER SYSTEM. THE DISTURBED AREA IS OVER ONE (1) ACRE (40.84 ACRES), AND THEREFORE REQUIRED TO MEET THE WATER QUALITY REQUIREMENTS AS SET FORTH IN THE GENERAL CONSTRUCTION PERMIT FROM THE DEPA.
 SEE PAGE 6 FOR POST-CONSTRUCTION SCP INSPECTION & MAINTENANCE SCHEDULE.

STANDARD CONSTRUCTION DRAWINGS

COC DIVISION OF SEWERAGE & DRAINAGE	COC DIVISION OF PUBLIC SERVICE	COC DIVISION OF WATER
AA-S149	2230	4/30/18
AA-S150		

THE STANDARD CONSTRUCTION DRAWINGS LISTED ABOVE SHALL BE CONSIDERED A PART OF THESE PLANS.

SITE DATA TABLE

DESCRIPTION	QUANTITY	UNIT
TOTAL SITE AREA (PRIVATE)	40.81	AC.
TOTAL DISTURBED AREA (ON-SITE)	40.81	AC.
TOTAL DISTURBED AREA (OFF-SITE)	0.28	AC.
PRE-DEVELOPED IMPERVIOUS AREA	0.00	AC.
POST-DEVELOPED IMPERVIOUS AREA	0.00	AC.

CUT/FILL WITHIN 100-YEAR FLOODPLAIN

DESCRIPTION	QUANTITY	UNIT
CUT	2,540	CY
FILL	85,873	CY
NET CUT/FILL	83,333	CY

NOTE: UPON FUTURE SITE DEVELOPMENT THE PRE-DEVELOPED CURVE NUMBER USED SHOULD BE THE CURVE NUMBER PRIOR TO MASS EXCAVATION.

ENGINEER'S CERTIFICATION

THE SIGNATURE AND SEAL, BELOW, CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT AND THAT ALL OF THE MINIMUM STANDARDS HAVE BEEN MET, INCLUDING THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN MY OPINION, THEY ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. ANY VARIANCES HAVE BEEN LISTED HEREIN AND HAVE BEEN APPROVED BY THE CITY OF GAHANNA.

REGISTERED ENGINEER _____ DATE _____

M:\958011_CrescentPark\DWG\Production Drawings\WG&F\Title.dwg ~Title LAST EDITED BY:RAY ON 4/19/23



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 2ND FLOOR
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CITY OF GAHANNA GENERAL NOTES (CONTINUED):

AT PROJECT COMPLETION, THE CITY'S SELECTED SURVEYOR WILL PROVIDE THE CITY AND THE DEVELOPER WITH THE FINAL AS-BUILT SURVEY DATA. THE DEVELOPER MAY SELECT AN ENGINEERING FIRM TO PRODUCE THE FINAL AS-BUILT PLANS. IF THE DEVELOPER DOES NOT ELECT TO PRODUCE THE FINAL AS-BUILT PLAN, THE CITY WILL USE THE AS-BUILT DEPOSIT TO CONTRACT WITH AN ENGINEERING FIRM TO PRODUCE THE FINAL AS-BUILT PLAN.

AT PROJECT COMPLETION, THE DEVELOPER WILL REQUEST A FINAL ENGINEERING INSPECTION. THE CITY OF GAHANNA WILL PRODUCE A PUNCHLIST OF ALL ITEMS THAT WILL NEED TO BE CORRECTED. THESE ITEMS WILL NEED TO BE SATISFACTORILY ADDRESSED BEFORE THE BUILDING DIVISION WILL RELEASE THE FINAL OCCUPANCY PERMIT.

AN AS-BUILT PLAN WILL BE REQUIRED BEFORE ISSUANCE OF A FINAL OCCUPANCY PERMIT. THE AS-BUILT PLAN WILL INCLUDE THE FINAL ELEVATIONS, LOCATIONS, INVERTS AND OTHER DATA AS REQUIRED BY THE CITY OF GAHANNA. THIS INFORMATION WILL BE INCLUDED ON THE PLAN SET IN RED TO DENOTE IT IS FINAL AS-BUILT DATA.

UTILITIES:

THE CONTRACTOR SHALL GIVE NOTICE TO THE OHIO UTILITIES PROTECTION SERVICE (PHONE 1-800-362-2764) AND TO THE OWNERS OF THE UTILITY FACILITIES SHOWN ON THE PLAN WHO ARE NOT MEMBERS OF A REGISTERED UTILITY PROTECTION SERVICE. THE ABOVE-MENTIONED NOTICE SHALL BE GIVEN AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITY AS REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY.

THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECTS ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL GIVE NOTICE TO OUPS AND OTHER UTILITY OWNERS PER THE GENERAL NOTES.

THE IDENTITY AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS AS ACCURATELY AS PROVIDED BY THE SURVEYOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR DEPTHS OF UNDERGROUND FACILITIES SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. IF DAMAGE IS CAUSED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF THE SAME AND FOR ANY RESULTING CONTINGENT DAMAGE.

WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER THE EXISTING UTILITY IN ADVANCE OF LAYING PIPE IN ORDER THAT THE ENGINEER MAY DETERMINE THE EXACT ELEVATION AND MAKE ANY NECESSARY ADJUSTMENTS.

THE FOLLOWING UTILITIES AND OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT AND ARE REGISTERED MEMBERS OF THE UNDERGROUND UTILITY PROTECTION SERVICE:

UTILITY	OWNER	TELEPHONE	DESCRIPTION
WATER FACILITIES	CITY OF GAHANNA WATER DIVISION 200 S. HAMILTON RD. GAHANNA, OH 43230	(614) 342-4440	(614) 342-4100
SEWER FACILITIES	CITY OF GAHANNA SEWER DIVISION 200 S. HAMILTON RD. GAHANNA, OH 43230	(614) 342-4440	(614) 342-4100
ELECTRIC FACILITIES	AMERICAN ELECTRIC POWER 850 TECH CENTER DR GAHANNA, OH 43230	(614) 883-6811	(614) 883-6868
GAS	COLUMBIA GAS OF OHIO (DISTRIBUTION) ATTN: ROB CALDWELL 3550 JOHNNY APPLESEED COURT COLUMBUS, OH 43231	P: (614) 818-2104 C: (614) 370-1906 EMAIL: rcaldwell@nisource.com	(614) 460-4265
TELEPHONE	ATA&T 150 E. GAY ST. COLUMBUS, OH 43212	(800) 660-1000	(614) 223-6296

CONTRACTOR TO COORDINATE WITH GAS, ELECTRIC, CABLE AND TELECOMMUNICATION COMPANIES TO COORDINATE FINAL CONSTRUCTION DETAILS FOR ON-SITE GAS, ELECTRIC, CABLE AND TELEPHONE SERVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE ARCHITECT AND THE MECHANICAL ENGINEER FOR THE FINAL LOCATION OF UTILITY SERVICES INTO THE BUILDING.

PLACEMENT OF UTILITY CONDUIT OR SLEEVES FOR GAS, SITE ELECTRIC AND TELECOMMUNICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE PLAN DETAILS SHOWN HEREIN AND IN CONFORMANCE TO THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANIES.

WATER NOTES:

NO WATER SERVICE CONSTRUCTION SHALL BEGIN PRIOR TO FEE PAYMENT AND PERMITS BEING ISSUED BY THE CITY OF GAHANNA.

METER SETTING AND BACKFLOW PREVENTER AS PER THE DIRECTION OF THE CITY OF GAHANNA. METER AND BACKFLOW PREVENTER TO BE SET INSIDE OF BUILDING UNLESS OTHERWISE APPROVED.

ALL WATER LINE MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CURRENT RULES AND REGULATIONS OF THE CITY OF COLUMBUS, DIVISION OF WATER AND THE DIRECTION OF THE CITY OF GAHANNA STAFF.

THE SITE UTILITY CONTRACTOR SHALL CALL THE CITY OF GAHANNA UTILITIES DEPARTMENT FOR INSPECTION OF TAPS, NEW WATER SERVICES, AND FIRE HYDRANTS. CALL (614) 342-4440 24 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION.

WATER MAINS AND FIRE HYDRANT LEADS SHALL BE DUCTILE IRON PIPE, CLASS 52 OR GREATER (AWWA C151) WITH CEMENT MORTAR LINING AND SEAL COAT (AWWA C104) OR PVC, CLASS 150 MEETING AWWA C900. JOINTS SHALL BE RUBBER GASKET PUSH-ON MECHANICAL (AWWA C110).

FIRE HYDRANTS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE AS SHOWN ON THE CITY OF COLUMBUS L-6409 AND L-6637 STANDARD CONSTRUCTION DRAWINGS. FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250 FIRE HYDRANT, AMERICAN DARLINGS 4-1/2 MK73 - 5, OR APPROVED EQUAL AND PAINTED SOLID RED.

ALL WATER SERVICES SHALL BE INSTALLED IN ACCORDANCE AS SHOWN ON THE CITY OF COLUMBUS L-9901 STANDARD CONSTRUCTION DRAWING. 2 BOLT FULL STAINLESS STEEL SERVICE SADDLES SHALL BE PROVIDED FOR ALL WATER SERVICE TAPS.

ALL GATE VALVES SHALL BE RESILIENT SEAT TYPE MANUFACTURED TO MEET OR EXCEED TO REQUIREMENTS OF ANSI/AWWA C509 OR THE LATEST REVISION.

WATERLINES SHALL BE LAID WITH A MINIMUM OF 4'-0" OF COVER FROM THE FINISHED GRADE TO THE TOP OF THE WATER LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HORIZONTAL AND VERTICAL DEFLECTIONS OR BENDS OF THE WATER LINES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. DEFLECT WATER LINES TO PROVIDE A 1'-6" VERTICAL AND 10'-0" HORIZONTAL CLEARANCE WITH SEWERS.

ALL WATER LINES, INCLUDING MAINS AND SERVICES, SHALL BE TESTED UNDER A MINIMUM HYDROSTATIC TEST OF 150 PSI AND IN ACCORDANCE WITH AWWA C600 AND CITY OF COLUMBUS CMS ITEMS 801.13 AND 801.14. NO PRESSURE TEST SHALL BE PERFORMED IF THE TEMPERATURE IS BELOW FREEZING.

THE CONTRACTOR SHALL SUBMIT TWO (2) COPIES OF THE PLANS, RESULTS OF THE PRESSURE TEST AND A LETTER REQUESTING CHLORINATION TO THE CITY OF GAHANNA. COST OF CHLORINATION SHALL BE INCLUDED IN THE PRICE BID FOR THE WATER LINE ITEMS.

NEW, CLEANED AND REPAIRED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651. THE SPECIFICATIONS SHALL INCLUDE DETAILED PROCEDURES FOR THE ADEQUATE FLUSHING, DISINFECTION, AND MICROBIOLOGICAL TESTING OF ALL WATER MAINS, IN AN EMERGENCY OR UNUSUAL SITUATION, THE DISINFECTION PROCEDURE SHALL BE DISCUSSED WITH THE CITY ENGINEER OR HIS DESIGNEE.

ALL WATER MAINS, INCLUDING THOSE NOT DESIGNED TO PROVIDE FIRE PROTECTION, SHALL BE SIZED AFTER A HYDRAULIC ANALYSIS BASED ON FLOW DEMANDS AND PRESSURE REQUIREMENTS. THE SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI AT GROUND LEVEL AT ALL POINTS IN THE DISTRIBUTION SYSTEM UNDER ALL CONDITIONS OF FLOW. THE NORMAL WORKING PRESSURE IN THE DISTRIBUTION SYSTEM SHALL BE AT LEAST 35 PSI AND SHOULD BE APPROXIMATELY 60 TO 80 PSI AND NOT LESS THAN 35 PSI.

NO PERSON SHALL INSTALL OR MAINTAIN A WATER SERVICE CONNECTION WHERE A BOOSTER PUMP HAS BEEN INSTALLED.

ALL MECHANICAL JOINTS ARE REQUIRED TO BE MEGALUGGED, CONCRETE BACKING IS STILL REQUIRED. ALL MECHANICAL PIPE DEFLECTIONS ARE REQUIRED TO BE MEGALUGGED, ALL-THREADED, CONCRETE BACKED, AND JOINT RESTRAINTS MAY BE REQUIRED BY THE ENGINEER. THE HYDRANT TEE IS TO BE ALL-THREADED TO THE MAINLINE VALVE FOR FUTURE EXPANSION. 1 FULL STICK OF PIPE (20') IS TO BE LAID BEFORE FOR THE PLUG.

ALL FITTINGS ARE TO BE GPS LOCATED PRIOR TO BACKFILL USING X, Y, AND Z COORDINATES.

ANY WATER USAGE FOR FILLING THE WATER MAIN AND CHLORINATION SHALL GO THROUGH A WATER METER. ANY UNMETERED WATER USE WILL BE CHARGED TO THE CONTRACTOR/DEVELOPER BASED ON FLOW RATE CALCULATIONS.

THE WATER LINE AND SEWER LINE TRENCH UNDER THE INFLUENCE OF PAVEMENT ARE TO BE COMPACTION TESTED.

INSTALL COPPERHEAD® OR EQUAL 12-GAUGE HIGH STRENGTH 452LB BREAK STRENGTH 30 MIL HDPE JACKET, COPPER-CLAD STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY TRENCHING METHODS.

INSTALL COPPERHEAD® OR EQUAL 12-GAUGE EXTRA HIGH STRENGTH 1150LB BREAK STRENGTH 45 MIL HDPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY BORING METHODS.

FASTEN WIRE TO PIPE IN TWO PLACES PER PIPE SECTION. EXTEND TRACER WIRE TO GROUND SURFACE AT ALL VALVES AND HYDRANTS. SPLICE WIRES USING BURNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.

CONNECT ALL SERVICE LINE WIRES TO MAIN LINE WIRES USING BURNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.

CONTRACTOR SHALL TEST THE CONTINUITY OF ALL WIRE USING A THIRD-PARTY TESTER. CONTRACTOR SHALL CONTACT THE CITY OF GAHANNA DEPARTMENT OF PUBLIC SERVICE AND ENGINEERING A MINIMUM OF 24 HOURS PRIOR TO TEST. TESTER SHALL SEND A SIGNED REPORT TO CITY OF GAHANNA AFFIRMING ALL WIRE HAS CONTINUITY. CONTRACTOR SHALL REPAIR ALL DEFICIENCIES.

SANITARY SEWER NOTES:

ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.

SERVICE RISERS, ITEM 914, SHALL BE INSTALLED WHERE DEPTHS FROM THE WYES TO THE EXISTING OR PROPOSED ELEVATIONS EXCEED 10'. THE TOPS OF RISERS SHALL BE NO MORE THAN ±9" BELOW THE EXISTING OR PROPOSED SURFACE ELEVATION, WHICHEVER IS HIGHER.

THE SITE UTILITY CONTRACTOR SHALL CALL THE CITY OF GAHANNA UTILITIES DEPARTMENT FOR INSPECTION OF TAPS, NEW WATER SERVICES, AND FIRE HYDRANTS. CALL (614) 342-4440 24 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION.

A MINIMUM VERTICAL CLEARANCE OF 1.5 FEET SHALL BE PROVIDED BETWEEN THE PROPOSED SANITARY SEWER AND EXISTING UTILITIES OR STRUCTURES UNLESS OTHERWISE NOTED ON THESE PLANS.

ALL PVC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION IN CONFORMANCE WITH THE REQUIREMENTS OF ITEM 901 OF THE CITY OF COLUMBUS, CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT VERSION.

ALL SANITARY SEWER AND SANITARY SERVICES ARE TO BE MANDREL TESTED, AIR TESTED, CLEANED AND CAMERA INSPECTED.

ALL SANITARY MANHOLES ARE REQUIRED TO PASS A VACUUM TEST PER CITY OF COLUMBUS ITEM 901.20 AND ASTM-C-1244.

PIPE FOR ALL 6" SANITARY SERVICES SHALL BE PVC SEWER PIPE ASTM D-3034, SDR-35. THE SERVICES SHALL BE FIELD TESTED BY THE INFILTRATION, EXFILTRATION OR AIR TEST.

ALL PIPES SHALL BE LAID WITH TYPE 1 GRANULAR MATERIAL BEDDING AND BACKFILL AS SHOWN ON STANDARD CONSTRUCTION CITY OF COLUMBUS AA-S151. INSTALLATION SHALL CONFORM TO CMS SECTION 900.

STORM SEWER NOTES:

ANY PLACEMENT OF STORM SEWERS BENEATH EXISTING OR PROPOSED PAVEMENT SHALL BE BACKFILLED IN ACCORDANCE WITH COLUMBUS CMS ITEM 912, COMPACTED GRANULAR BACKFILL.

ALL PIPES SHALL BE LAID WITH TYPE 1 GRANULAR MATERIAL BEDDING AND BACKFILL AS SHOWN ON STANDARD CONSTRUCTION CITY OF COLUMBUS AA-S151. INSTALLATION SHALL CONFORM TO CMS SECTION 900.

ALL CONCRETE PIPE AND STORM SEWER STRUCTURES SHALL BE STAMPED OR HAVE SUCH IDENTIFICATION NOTING THAT SAID PIPE AND/OR STORM STRUCTURES HAVE BEEN INSPECTED BY THE CITY OF COLUMBUS AND MEETS THEIR SPECIFICATIONS. PIPE AND STRUCTURES WITHOUT PROPER IDENTIFICATION WILL NOT BE PERMITTED FOR INSTALLATION.

ALL CURB INLETS AND MANHOLES SHALL BE CHanneled AS DIRECTED. THE COST FOR THIS WORK IS TO BE INCLUDED IN THE PRICE BID FOR VARIOUS STORM SEWER ITEMS.

IN CASE OF CONFLICT IN GRADE BETWEEN WATER LINES AND STORM SEWERS, THE WATER LINES SHALL BE LOWERED DURING CONSTRUCTION.

ALL PLASTIC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION IN CONFORMANCE WITH THE REQUIREMENTS OF COLUMBUS CMS ITEM 901.

ALL STORM SEWER IS TO BE MANDREL TESTED, CLEANED AND CAMERA INSPECTED.

MAINTENANCE OF TRAFFIC:

ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD) FOR CONSTRUCTION AND MAINTENANCE OPERATIONS. ALL DEVICES SHALL MEET FP-85 REFLECTANCE STANDARDS AND IN FULL COMPLIANCE WITH "QUALITY STANDARDS FOR WORK ZONE TRAFFIC CONTROL DEVICES" PUBLISHED BY ATSSA. ALL TRAFFIC CONTROL DEVICES MUST MEET NCHRP 350.

STEADY BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT. ALL SIGNS, NINE SQUARE FEET (36" x 36") AND OVER SHALL HAVE YELLOW TYPE "A" LOW INTENSITY FLASHING WARNING LIGHTS AND THREE FLAGS. CONES ARE NOT APPROVED FOR USE AT NIGHT.

THE ROADWAY SHALL NOT BE OPENED TO TRAFFIC UNTIL PERMANENT TRAFFIC CONTROLS ARE IN PLACE OR UNTIL TEMPORARY TRAFFIC CONTROLS APPROVED BY THE INSPECTOR ARE INSTALLED. THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE PREMATURE REMOVAL OF TEMPORARY TRAFFIC CONTROLS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REINSTALLATION AND/OR REPLACEMENT OF ALL PERMANENT TRAFFIC CONTROL DEVICES DAMAGED OR REMOVED DURING THE CONSTRUCTION. PERMANENT TRAFFIC CONTROLS NO LONGER IN CONFLICT WITH TEMPORARY TRAFFIC CONTROLS SHALL BE REPLACED IMMEDIATELY.

ALL PERMANENT TRAFFIC CONTROLS NOT IN CONFLICT WITH THE TEMPORARY TRAFFIC CONTROLS SHALL BE MAINTAINED THROUGHOUT THE PROJECT BY THE CONTRACTOR. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR MISSING, DAMAGED, AND IMPROPERLY PLACED TRAFFIC CONTROL DEVICES.

ALL TRENCHES WITHIN THE ROAD RIGHT-OF-WAY SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL LANES SHALL BE FULLY OPEN TO TRAFFIC ON ALL PUBLIC STREETS AND ALLEYS UNLESS OTHERWISE APPROVED BY THE CITY OF GAHANNA.

ANY WORK DONE BY THE CITY INCLUDING INSTALLATION, RELOCATION, REMOVAL AND/OR REPLACEMENT OF PERMANENT TRAFFIC CONTROL DEVICES AS A RESULT OF WORK DONE BY THE CONTRACTOR OR AS A RESULT OF THE NEGLIGENCE OF THE CONTRACTOR SHALL BE AT THE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFE MOVEMENT OF PEDESTRIANS THROUGH, AROUND AND AWAY FROM THE CONSTRUCTION SITE AS DESIGNATED IN SECTION 60.01 OF THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD).

THE SAFETY OF PEDESTRIAN TRAFFIC SHALL BE CONSIDERED AT ALL TIMES IN THE PROVISION OF TRAFFIC

CONTROL DEVICES REQUIRED BY THESE PLANS AND NOTES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE LIGHTS, SIGNS, BARRICADES AND OTHER WARNINGS TO PHYSICALLY SEPARATE THE PEDESTRIAN FROM HAZARDS INCIDENTAL TO THE CONSTRUCTION OPERATIONS SUCH AS OPEN EXCAVATIONS, ETC.

STREET LIGHT NOTES:

LED REQUIREMENTS

- A. CORRELATED COLOR TEMPERATURE (CCT) 3000K. ACCEPTABLE LM80 TEST RESULTS SHALL BE PROVIDED.
- B. COLOR RENDERING INDEX (CRI) MINIMUM 70
- C. OPERATING ENVIRONMENT, AMBIENT -40°F TO +40°C (-40°F TO +104°F)
- D. VOLTAGE 480V OR 120V (THE CITY OF GAHANNA USES A 480V OR 120V DISTRIBUTION SYSTEM)
- E. COOLING SYSTEM PASSIVE HEAT SINK WITH NO FANS, PUMPS, OR LIQUIDS, AND SHALL BE RESISTANT TO DEBRIS BUILD-UP THAT DOES NOT DEGRADE HEAT DISSIPATION PERFORMANCE.

APPLICATION DESIGNER NOTE:

THE LED COBRA HEAD LUMINAIRE MAY BE USED FOR:

- 1) NEW INSTALLATION OF COBRA HEAD LUMINAIRES ON NEWLY PLACED SUPPORTS WHOSE SPACING HAS BEEN DESIGNED SPECIFICALLY FOR THE LUMINAIRE. STREET LIGHT DESIGNS USING PHOTOMETRIC SOFTWARE ARE REQUIRED FOR EACH LUMINAIRE. THE DESIGNER SHALL COMPLY WITH IESNA RP-08 (LATEST VERSION).
- 2) REPLACING EXISTING HID LUMINAIRES ON EXISTING POLES WHERE SPACING REMAINS UNCHANGED.

HOUSING

THE HOUSING SHALL BE CONSTRUCTED OF DIE-CAST ALUMINUM AND BE RUST RESISTANT. PAINT FINISH SHALL BE POWDER-COATED GRAY OR AS DIRECTED BY THE CITY OF GAHANNA. THE PAINT FINISH SHALL EXCEED A RATING OF SIX PER ASTM D 1654 AFTER 1000 HOURS OF TESTING PER B117. PAINTED OR FINISHED LUMINAIRE COMPONENTS EXPOSED TO THE ENVIRONMENT SHALL EXHIBIT NO GREATER THAN 30% REDUCTION OF GLOSS PER ASTM D523, AFTER 500 HOURS OF UV TESTING AT ASTM G154 CYCLE 6. LUMINAIRE HOUSING SHALL ALLOW TOOL-LESS ENTRY. ALL SCREWS SHALL BE STAINLESS STEEL. NO PARTS SHALL BE CONSTRUCTED OF POLYCARBONATES. LUMINAIRE HOUSING SHALL BE PROVIDED WITH AN INTERNAL LEVEL BUBBLE TO AID IN INSTALLATION. LUMINAIRE DOOR SHALL BE SECURELY HINGED AND INCAPABLE OF INVOLUNTARY SEPARATION FROM HOUSING. LUMINAIRE SHALL BE ATTACHED BY MEANS OF A SLIP-FITTER CONNECTION TO A 2.0" IPS BRACKET. THE SLIP-FITTER SHALL INCLUDE MEANS FOR SECURELY ATTACHING THE LUMINAIRE AND SHALL ALSO PROVIDE FOR TILT ADJUSTMENTS 6° ABOVE AND BELOW HORIZONTAL. THE SLIP-FITTER SHOULD BE TOTALLY ENCLOSED IN LUMINAIRE HOUSING. THE HOUSING SHALL BE EQUIPPED WITH A LATCHING ACCESS DOOR ASSEMBLY. THE LUMINAIRE SHALL HAVE LESS THAN THE CONCENTRATION VALUES OF THE FOLLOWING RoHS RESTRICTED SUBSTANCES: MERCURY, CADMIUM, CHROMIUM VI, POLYBROMINATED BIPHENYL, POLYBROMINATED BIPHENYL ETHER, AND LEAD.

LED POWER SUPPLY / DRIVER

- A) POWER FACTOR, MINIMUM 0.90
- B) DRIVER OUTPUT CURRENT, mA VARIABLE
- C) DIMMING SIGNAL, CONTROL RANGE, VDC 0 TO 10
- D) SURGE PROTECTION DEVICE SHALL COMPLY WITH ANSI C136.37, ANSI/IEEE C62.41.2. EACH SURGE PROTECTION DEVICE SHALL BE INTERNALLY MOUNTED INSIDE HOUSING AND SPECIFIED FOR 480V OR 120V OPERATION WITH A MINIMUM 10 KV/10KA SURGE PROTECTION. THE SURGE PROTECTION DEVICE SHALL BE A UL 1449 3RD EDITION TYPE 4. RECOGNIZED COMPONENT FOR USE IN TYPE 2 LOCATIONS.
- E) LED DRIVER SHALL BE MOUNTED INSIDE THE HOUSING, REPLACEABLE, AND SHALL BE PRE-WIRED TO 480V OR 120V READY FOR INSTALLATION. DRIVER AND LED ARRAYS SHALL BE DESIGNED FOR MULTI-CURRENT INPUT OPERATIONS WITH 0-10V DRIVER ADJUSTABLE OUTPUT. THE LED DRIVER SHALL COMPLY WITH FCC RULES AND REGULATIONS, TITLE 47 CFR PART 15 NON-CONSUMER (CLASS A). LED DRIVER SHALL TOLERATE SUSTAINED OPEN CIRCUIT AND SHORT CIRCUIT OUTPUT CONDITIONS WITHOUT DAMAGE. LED DRIVER SHALL HAVE AN INDEPENDENTLY VERIFIED AND DOCUMENTED FAILURE RATE OF <0.01% PER 1000 HOURS. WIRING INSIDE THE HOUSING SHALL COMPLY WITH 600V/105°C RATING OR HIGHER. THE LED DRIVER SHALL HAVE A "CLASS A" SOUND RATING. POWER SUPPLY/DRIVER SHALL BE UL RECOGNIZED FOR DRY AND DAMP LOCATIONS. ALL OTHER ELECTRICAL COMPONENTS SHALL BE UL LISTED OR RECOGNIZED FOR WET LOCATIONS. OUTPUT OPERATING FREQUENCY MUST BE > 120HZ AND INPUT OPERATING FREQUENCY OF 60 HZ. THE LED DRIVER SHALL BE RoHS COMPLIANT.

LED MODULE / ARRAY REQUIREMENTS

LED MODULE(S)/ARRAY(S) SHALL DELIVER A MINIMUM OF 70% OF INITIAL LUMENS WHEN INSTALLED FOR 100,000 HOURS AND MEET L70 STANDARDS. LIGHTING DISTRIBUTION SHALL BE IN ACCORDANCE WITH "IESNA LIGHTING DISTRIBUTIONS."

7-PIN PHOTO-ELECTRIC RECEPTACLE

THE LUMINAIRE SHALL BE FURNISHED WITH A 7-PIN PHOTO-ELECTRIC RECEPTACLE INSTALLED IN THE TOP OF THE LUMINAIRE HOUSING. THE PHOTO-ELECTRIC SHALL BE TWIST LOCK TYPE AND HAVE THE CAPABILITY TO BE DIRECTIONALLY ADJUSTED. THE 7-PIN PHOTO-ELECTRIC RECEPTACLE SHALL BE SUITABLE FOR OPERATION WITH LED LUMINAIRES, AND CONFORM TO ANSI DESIGN STANDARD C136.10. THE PHOTO-ELECTRIC SOCKET SHALL ACCOMMODATE DIMMING AND/OR AUTOMATION INTEGRATION.

7-PIN LONG LIFE PHOTO CONTROL (AS REQUIRED BY THE ENGINEER)

THE LUMINAIRE SHALL BE SUPPLIED WITH A "LONG LIFE" PHOTO CONTROL THAT SHALL BE SOLID STATE, AND SUITABLE FOR OPERATION WITH 7-PIN PHOTO CONTROL RECEPTACLES AND LED LUMINAIRES. THE PHOTO CONTROL SHALL HAVE A MINIMUM DESIGN LIFE OF 20 YEARS.

SHORTING CAP FOR 7-PIN LED PHOTO-ELECTRIC RECEPTACLE (480 VOLT LUMINAIRE ONLY)

THE LUMINAIRE SHALL BE SUPPLIED WITH A SHORTING CAP SUITABLE FOR OPERATION WITH A 7-PIN LED PHOTO-ELECTRIC RECEPTACLE. THE SHORTING CAP SHALL CONTAIN A GASKET AROUND THE OUTER PERIMETER OF THE CAP FOR PROPER SEALING AGAINST DEBRIS. THE SHORTING CAP SHALL MEET OR EXCEED ANSI DESIGN STANDARD ANSI C136.10

TESTING/CERTIFICATION/STANDARDS/RECOMMENDED PRACTICE SHALL COMPLY WITH CITY OF COLUMBUS STANDARD DRAWING MIS-197.

WARRANTY

THE WARRANTY SHALL PROVIDE FOR THE FULL REPLACEMENT OF THE ENTIRE LUMINAIRE ASSEMBLY, WHICH INCLUDES THE POWER SUPPLIES/DRIVER, DEFECTIVE ELECTRICAL AND NON-ELECTRICAL PARTS, AND LIGHT SOURCE FOR A PERIOD OF TEN (10) YEARS FROM DATE OF ACCEPTANCE. THE LUMINAIRE SHALL BE COVERED FOR PART REPLACEMENT OF DEFECTIVE LUMINAIRES DURING THE WARRANTY PERIOD. NEGLIGIBLE LIGHT OUTPUT FROM MORE THAN 10 PERCENT OF THE LED PACKAGES CONSTITUTES LUMINAIRE FAILURE. LONG-LIFE PHOTOCONTROL SHALL BE COVERED FOR FULL REPLACEMENT FOR A PERIOD OF TEN (10) YEARS FROM THE DATE OF ACCEPTANCE FOR ANY FAILURE AND/OR DEFECT IN WORKMANSHIP.

EXTERNAL LABELING - EXTERNAL LABELS SHALL BE PER ANSI C136.15-2011 (OR LATEST)

SPARE PARTS

THE CONTRACTOR SHALL PROVIDE 3% OF THE CONSTRUCTION QUANTITIES OF THE COMPLETE LUMINAIRE, ROUNDED UP TO THE NEAREST WHOLE NUMBER AND SHALL BE A MINIMUM OF 2 LUMINAIRES - EACH.

ALL SPARE PARTS SHALL BE WARRANTED BY THE PRODUCT MANUFACTURER FOR FORM, FIT, AND FUNCTION AND SHALL BE FULLY COMPATIBLE WITH THE PRODUCT SUPPLIED. IN ADDITION, ALL SPARE PARTS SHALL BE WARRANTED AGAINST FAILURE FOR A PERIOD NOT LESS THAN 10 YEARS.

SPARE PARTS SHALL BE PACKAGED TO PREVENT CORROSION OR DETERIORATION DURING LONG-TERM STORAGE AND DELIVERED UNDAMAGED TO 152 OKLAHOMA AVE, GAHANNA 43230. THE RECEIPT OF DELIVERY SHALL BE CONSIDERED PART OF THE SUBSTANTIAL COMPLETION REQUIREMENT.

ALL PACKAGING SHALL BE CLEARLY LABELED WITH THE PRODUCT MANUFACTURER'S NAME AND PART NUMBER. ELECTRONIC PARTS SHALL BE PACKED IN SEALED PLASTIC WRAPPERS OR HERMETICALLY-SEALED CONTAINERS. DESICCANT-CARTRIDGES SHALL BE INCLUDED IN THE PACKAGING.

MASS GRADING NOTES TO FEMA

NOTE FOR MASS GRADING PLANS GOING TO FEMA: UPON COMPLETION OF THE FILL IN CONJUNCTION WITH THIS MASS GRADING PLAN, AN APPLICATION FOR A LETTER OF MAP REVISION (LOMR) WILL BE SUBMITTED TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). PRIOR TO THE EFFECTIVE DATE OF THE LOMR, A BUILDING CONSTRUCTED WITHIN THE DESIGNATED FILL AREA WILL BE ELEVATED AND/OR DRY FLOOD PROOFED IN ACCORDANCE WITH THE REQUIREMENTS OF C.C. CHAPTER 1150, FLOODPLAIN MANAGEMENT, OF THE COLUMBUS WATER, SEWER AND ELECTRICITY CODE. FILLING MAY BE ALLOWED IN THE FLOODWAY FRINGE ONLY IF ASSOCIATED WITH A GRADE AND FILL PLAN. THE GRADE AND FILL PLAN SHALL BE FULLY DETAILED AND SUBMITTED AS PART OF AN APPLICATION FOR A CERTIFICATE OF ZONING CLEARANCE. FILL SHALL NOT BE PLACED UNTIL AFTER THE CERTIFICATE OF ZONING CLEARANCE HAS BEEN ISSUED FOR GRADING AND FILLING. REGARDLESS OF ANY DETERMINATION ISSUED BY FEMA TO REMOVE AN AREA FILLED AS PERMITTED AND APPROVED FROM THE DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA), DEVELOPMENT WITHIN THAT AREA OF FILL SHALL BE CONSTRUCTED WITH THE LOWEST FLOOR LEVEL EXCLUDING A BASEMENT OR CRAWL SPACE, AT OR ABOVE THE FLOOD PROTECTION ELEVATION. THE LOWEST GRADE ADJACENT TO A BUILDING OR STRUCTURE TO BE CONSTRUCTED WITHIN THE DESIGNATED FILL AREA SHALL BE AT OR ABOVE THE FLOOD PROTECTION ELEVATION, WITH THAT GRADE ELEVATION TO EXTEND AT LEAST TWENTY (20) FEET FROM THE PROPOSED BUILDING TOWARDS THE FLOODWAY OR FLOODING SOURCE. IN ADDITION, A RESIDENTIAL DWELLING WITHIN THE DESIGNATED FILL AREA MUST HAVE A MINIMUM OF INGRESS AND EGRESS AT OR ABOVE THE BASE FLOOD ELEVATION THAT EXTENDS CONTINUOUSLY FROM THE DWELLING TO A LOCATION OUTSIDE THE SPECIAL FLOOD HAZARD AREA WITHIN THE SUBJECT SITE.

REASONABLY SAFE FROM FLOODING: ALL STRUCTURES ASSOCIATED WITH FUTURE DEVELOPMENT WITHIN THE AREA OF THE FLOODPLAIN FILL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD OF BEING "REASONABLY SAFE FROM FLOODING", AS OUTLINED IN TECHNICAL BULLETIN 10-01 DATED MAY 2001, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) OR SUCCESSOR DOCUMENTS.

ESTIMATE OF QUANTITIES			
COC CMS ITEM NO.	QUANTITY	UNIT	DESCRIPTION
IMPROVEMENTS OUTSIDE RIGHT-OF-WAY			
201	1	LS	CLEARING AND GRUBBING
203	116,878	CY	EXCAVATION
203	135,937	CY	EMBANKMENT
207	4,156	LF	PERIMETER FILTER FABRIC FENCE
207	1	EA	INLET PROTECTION
207	1	EA	STABILIZED CONSTRUCTION ENTRANCE
207	1	EA	CONCRETE WASHOUT AREA
207	2	EA	SEDIMENT BASIN COMPLETE, WITH OUTLET STRUCTURE/FAIRCLOTH SKIMMER
601	91	CY	ROCK CHANNEL PROTECTION, TYPE 'B', WITH FILTER FABRIC
616	12	MGAL	WATER
616	12	TON	CALCIUM CHLORIDE
623	1	LS	CONSTRUCTION LAYOUT STAKES
624	1	LS	MOBILIZATION
659	1	LS	SEEDING AND MULCHING
901	130	LF	TEMPORARY 24" STORM PIPE, WITH TYPE I BEDDING

NOTES:
 THE QUANTITIES HAVE BEEN ESTABLISHED AS A MEANS FOR THE ENGINEER TO ESTIMATE COST AND FOR THE CITY OF COLUMBUS TO ESTABLISH INSPECTION FEES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE REQUIRED BID QUANTITIES NECESSARY FOR THE COMPLETION OF THE PLAN IMPROVEMENTS.
 THE SPECIFIC PRODUCTS SPECIFIED IN THESE DOCUMENTS CAN BE SUBSTITUTED WITH AN EQUIVALENT ALTERNATIVE PRODUCT IF APPROVED BY THE ENGINEER OF RECORD AND THE CITY OF COLUMBUS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PAY ALL FEES ASSOCIATED WITH REVISIONS TO THE PLANS, ENGINEERING DRAWING OR CALCULATION CHANGES, AND JURISDICTIONAL REVIEW (LOCAL, STATE, AND/OR FEDERAL) IF THE PLANS HAVE BEEN SIGNED BY THE CITY OF COLUMBUS OR ARE SUBSTANTIALLY COMPLETE/REVIEWED.

EMBANKMENT NOTES

A. SUITABLE BACKFILL AND EMBANKMENT MATERIAL TYPES

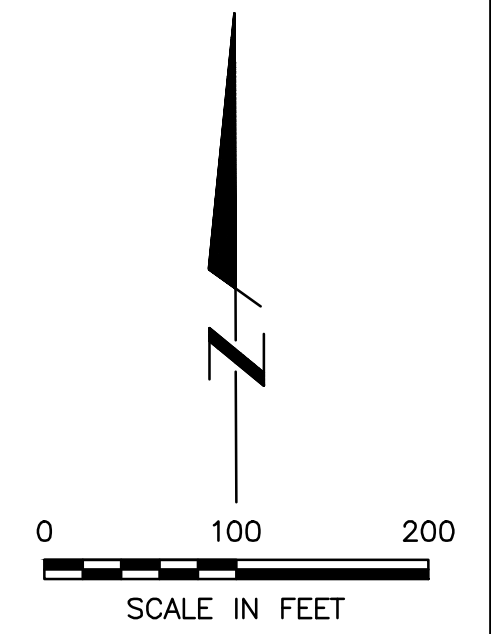
- 1. SOIL
 - A. EARTH MATERIALS WHICH HAVE RESULTED FROM NATURAL PROCESSES SUCH AS WEATHERING, DECAY, AND CHEMICAL ACTION.
 - B. MORE THAN 35 PERCENT WEIGHT OF THE GRAINS OR PARTICLES WILL PASS A NO. 200 SIEVE AND HAVE A PLASTIC INDEX OF 4 OR MORE.
 - C. FREE OF AGGREGATE OR ROCK LARGER THAN 2 INCHES IN ANY DIMENSION.
- 2. AGGREGATE MATERIAL
 - A. NATURAL MINERAL AGGREGATE SUCH AS GRAVEL, CRUSHED GRAVEL, CRUSHED ROCK, OR SAND.
 - B. AT LEAST 65 PERCENT BY WEIGHT OF THE GRAINS OR PARTICLES WILL BE RETAINED ON A NO. 200 SIEVE.
 - C. AT LEAST 90 PERCENT BY WEIGHT



- LEGEND**
- ⊙ EX. FIRE HYDRANT
 - ⊠ EX. PULL BOX
 - ⊕ EX. TREE
 - ⊡ EX. CATCH BASIN
 - ⊙ EX. SANITARY MANHOLE
 - ⊙ EX. STORM MANHOLE
 - ⊠ EX. STORM CURB INLET
 - ⊙ EX. UTILITY POLE
 - ⊙ EX. LIGHT POLE
 - ⊙ EX. GAS SERVICE VALVE
 - ⊠ EX. UNDERGROUND TELE. PEDASTAL
 - ⊙ EX. WATER SERVICE VALVE
 - ⊠ EX. SIGN
 - X- EX. FENCE
 - W- EX. WATER LINE
 - WS- EX. WATER SERVICE
 - UGT- EX. UNDERGROUND TELEPHONE
 - G- EX. GAS
 - ST- EX. STORM
 - SA- EX. SANITARY
 - UGE- EX. UNDERGROUND ELECTRIC
 - OHE- EX. OVERHEAD ELECTRIC

- ➔ PROPOSED FLOOD ROUTE
- 780— PROPOSED CONTOUR (1 FOOT INTERVAL)
- - -780- - - EX. CONTOUR (1 FOOT INTERVAL)
- ➔ DRAINAGE FLOW ARROW
- - - 100-YEAR FLOODPLAIN LIMITS
- - - - - TRIBUTARY AREA FOR SEDIMENT BASIN
- ▨ CONCRETE WASHOUT AREA
- ▨ STABILIZED CONSTRUCTION ENTRANCE (PER STD DWG 2230)
- S— PROPOSED SILT FENCE (SEE DETAIL PAGE 6 FOR INSTALLATION)
- ➔ - - - TEMP. DIVERSION SWALE W/ ROCK CHECK DAM EVERY 100' (0.5% MIN. SLOPE (SEE DETAIL PAGE 10))
- ▨ ROCK OUTLET PROTECTION (SEE DETAIL PAGE 10)
- ⊙ TEMPORARY BASIN OUTLET AND FAIRCLOTH SKIMMER (SEE DETAIL PAGE 10)
- ▨ 100 YEAR FLOODPLAIN FILL AREA
- ▨ INLET PROTECTION
- ⋯ EX. TREELINE

NOTES:
 THE USE OF PORTABLE CONCRETE WASHOUT UNITS IS APPROVED (AND ENCOURAGED) FOR ALL CONSTRUCTION AREAS IN THE CITY OF GAHANNA.
 DIVERSION SWALES ARE ONLY REQUIRED FOR WHEN AREAS ARE DE-NUDED. ONCE PAVEMENTS, BUILDINGS, OR SEEDED STABILIZATION ARE PLACED, THESE WILL BE PHASED AWAY AND FILLED IN ALONG WITH SUBGRADE COMPACTION OPERATIONS.



M:\958011_CrescentPark\DWG\Production Drawings\MG&F Plan.dwg ->Mass Grade & Fill Plan LAST EDITED BY:RAY ON 4/19/23

REVISIONS	DATE	BY	CHK.

E. P. FERRIS AND ASSOCIATES INC
 Consulting Civil Engineers and Surveyors

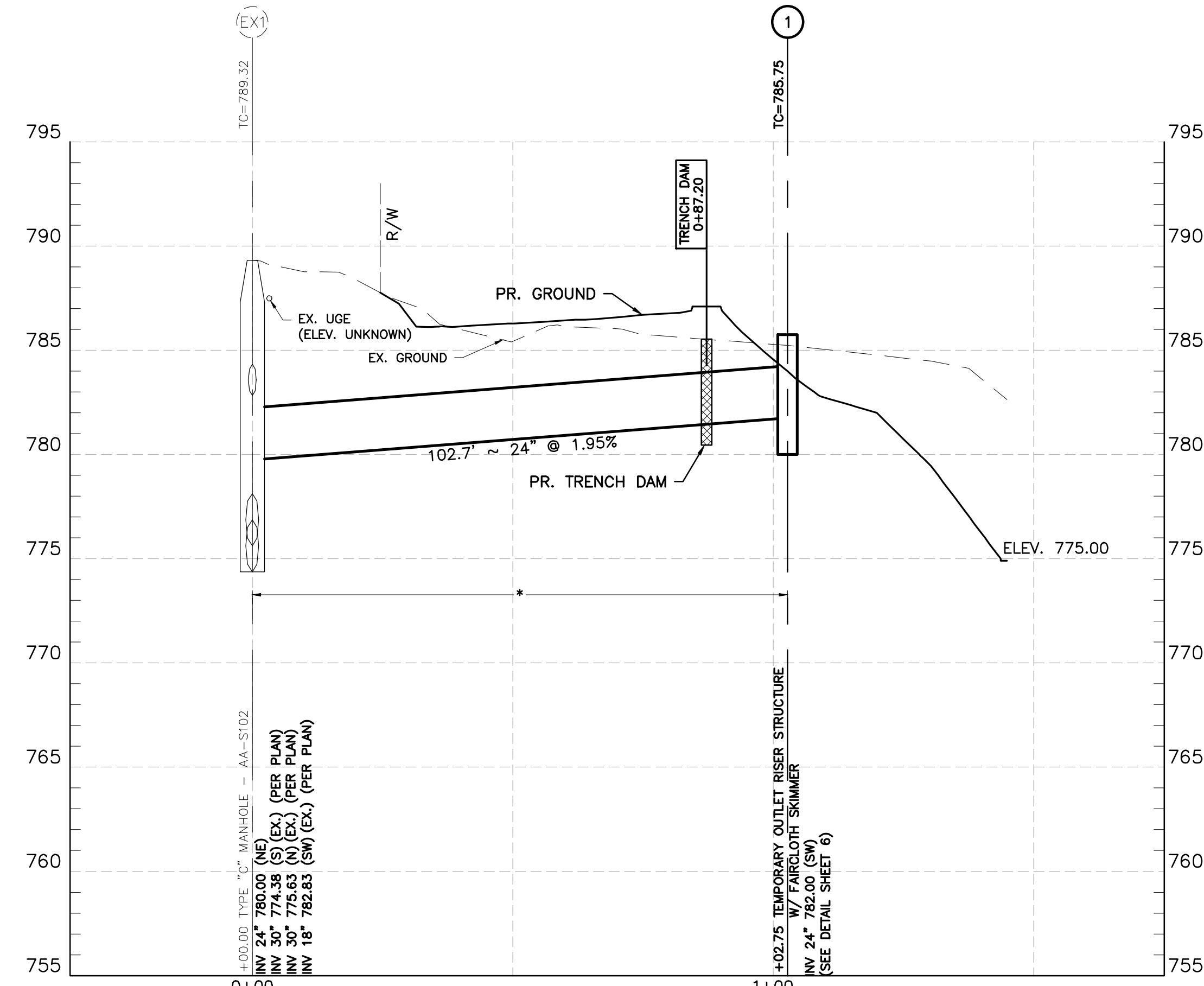
2130 QUARRY TRAILS DR,
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 COLUMBUS, OHIO 43228
 (614) 299-2999
 (614) 299-2992 (Fax)
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CITY OF GAHANNA, OHIO
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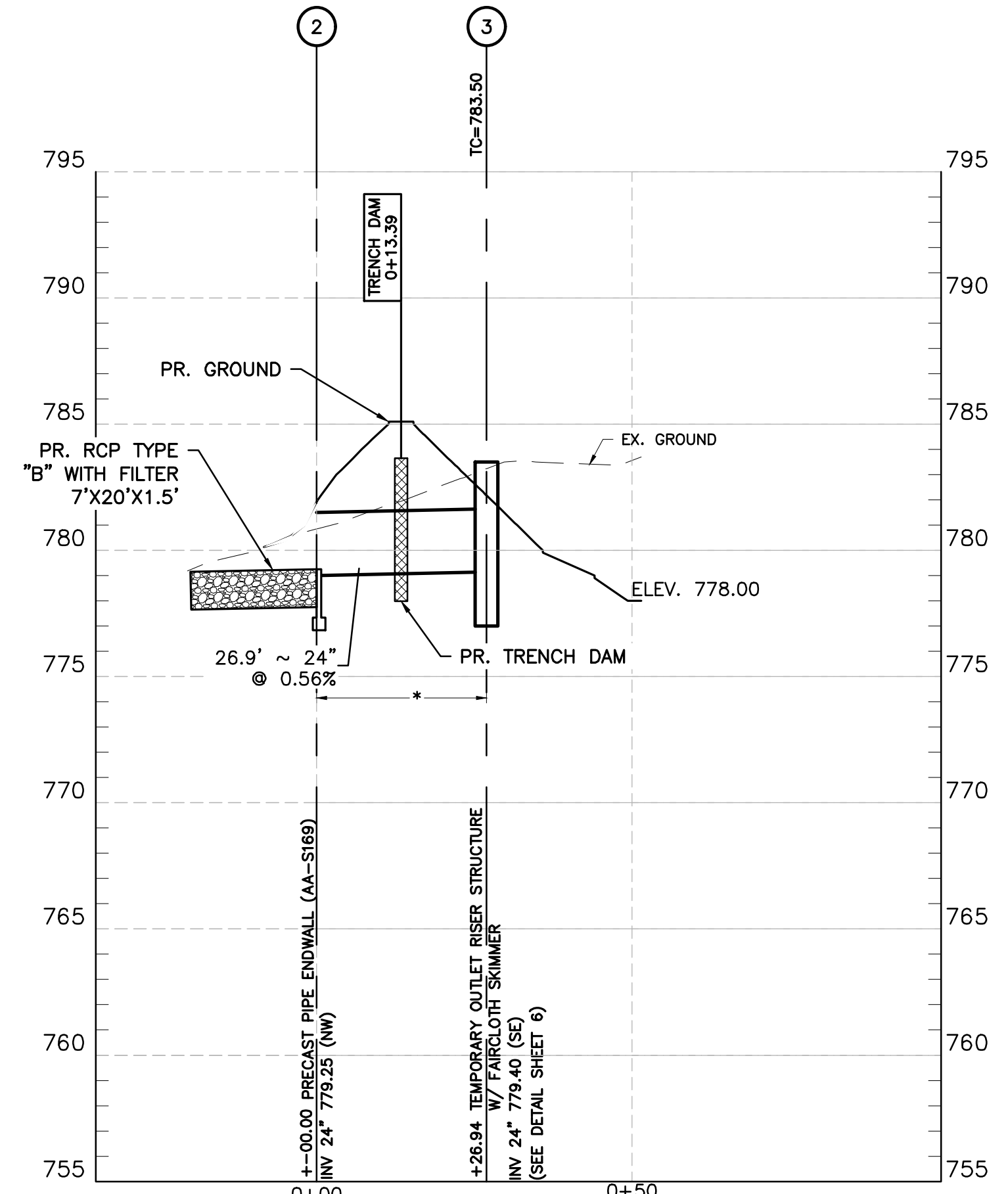
JOB NO.	0958.011
DESIGNED BY:	JAR
DRAWN BY:	JAR
CHECKED BY:	CLP
APPROVED BY:	CLP
DATE:	01/10/23

SCALE:	
1" = 100'	
SHEET NO.	OF
3	6

M:\958011_CrescentPark\DWG\Production Drawings\MG&F Plan.dwg --Basin Outlet Profiles LAST EDITED BY:RAY ON 4/19/23



BASIN A OUTLET DETAIL



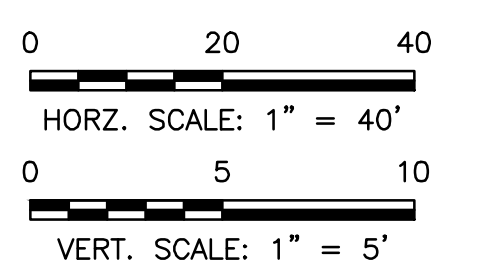
BASIN B OUTLET DETAIL

NOTES:
 TC REPRESENTS THE TOP OF CASTING ELEVATION OF STORM STRUCTURES. TC AND RIM ELEVATIONS ARE NOT THE SAME FOR CURB INLETS.

PIPE INSTALLED IN AREAS OF FILL SHALL REQUIRE THE COMPACTED FILL TO BE PLACED 3.0' ABOVE THE TOP OF THE PIPE OR TO PROPOSED GRADE, WHICHEVER IS LESS, PRIOR TO PIPE INSTALLATION. (SEE FILL AREAS ON PROFILES OF SUCH KNOWN LOCATIONS)

CONTRACTOR TO MAINTAIN 18" MINIMUM VERTICAL CLEARANCE BETWEEN ALL STORM, SANITARY, AND WATER LINES.

- # MAINTAIN 18" MINIMUM VERTICAL CLEARANCE
- * ITEM 911 COMPACTED BACKFILL
- ** ITEM 912 COMPACTED GRANULAR MATERIAL



REVISIONS	DATE	BY	CHK.

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BASIN OUTLET PROFILES

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SWPPP SEQUENCE:

DEMOLITION

- INSTALL PERMETER EROSION CONTROL MEASURES. THIS INCLUDES ALL SILT FENCING, SILT SOCKS AND/OR STRAW WATTLES.
- INSTALL STABILIZED CONSTRUCTION ROAD WHEREVER EXISTING PAVEMENT IS NOT BEING USED AS STABILIZED ENTRIES. ANY LOCATIONS WHERE THERE IS A TRANSITION BETWEEN PAVEMENT REMAINING IN PLACE FOR ROAD AND DENUDED AREAS, THERE SHALL BE A 30'W X 100' L STABILIZED ENTRY. THESE STABILIZED ENTRIES MUST BE MAINTAINED REGULARLY WHEN SEDIMENTS OVERCOME THE ROADS ABILITY TO REDUCE TRACKING.
- INSTALL ANY SITE SECURITY FENCING, GATES OR ACCESS POINT SECURITY TO THE SITE.
- ESTABLISH EQUIPMENT PARKING AREAS, FUEL STORAGE AREAS AND HAZARDOUS MATERIALS STORAGE AREAS. ALL EQUIPMENT WITH NOTED FLUID LEAKAGE SHOULD HAVE DRIP PANS PLACED BENEATH EQUIPMENT AT THE END OF EACH SHIFT. DRIPPING FLUID LEAKAGE SHOULD BE REPAIRED ON EQUIPMENT NOTED TO PREVENT CONTAMINATION. ENSURE DRIP PLANS ARE AVAILABLE ON-SITE FOR USE BY OPERATORS FOR ANY LEAKS THAT AREN'T MANAGEABLE BY REPAIR. CONSTRUCTION MANAGER TEAM SHALL INSPECT EQUIPMENT STORAGE AREAS DAILY TO ENSURE FLUID LEAKAGE ISSUES ARE ADDRESSED.
- ALL FUEL TANKS OR HAZARDOUS MATERIALS ON-SITE SHALL BE PROVIDED IN CONTAINMENT DEVICES IN THE EVENT OF A TANK RUPTURE. IN THE EVENT OF A SPILL, PLEASE REPORT THE SPILL TO THE CITY OF COLUMBUS IMMEDIATELY. THE OWNER AND CONSTRUCTION MANAGER SHALL BE NOTIFIED IMMEDIATELY. CLEANUP OF THE SPILL AND CONTAINMENT SHALL OCCUR IMMEDIATELY BY CONTACTING AN OHIO EPA APPROVED SPILL RESPONSE CONTRACTOR. SPILLS SHALL BE CLEANED UP AT CONTRACTOR COST, NOT TO BE BILLED TO THE OWNER.

MASS GRADING & FILL:

- CONSTRUCT TEMPORARY SEDIMENT BASINS, INSTALL TEMPORARY OUTFALL CONTROLS, INCLUDING CUT SWALES AND ROCK CHECK DAMS.
- ANY UN-STABILIZED AREAS THAT REMAIN UNDISTURBED FOR LONGER THAN 7 DAYS SHALL BE TEMPORARILY SEEDED AND STABILIZED.
- UPON COMPLETION OF INSTALLATION OF SEDIMENTATION CONTROL DEVICES, MASS GRADING AND EXCAVATION SHALL OCCUR. UTILITY INSTALLATIONS MAY ALSO OCCUR.

EROSION/SEDIMENT/DUST CONTROL CONSTRUCTION PRACTICES

UTILIZE EROSION AND SEDIMENT CONTROL PRACTICES PER OHIO DEPARTMENT OF NATURAL RESOURCES DIVISION OF SOIL AND WATER CONSERVATION. EROSION CONTROL DEVICES ARE TO BE MAINTAINED IN EFFECTIVE WORKING CONDITION DURING CONSTRUCTION AND UNTIL THE CONSTRUCTION AREA HAS BEEN PERMANENTLY STABILIZED. THE CONTRACTOR SHALL CONSULT WITH SOIL CONSERVATION SERVICE AND THE ENGINEER CONCERNING PROPER EROSION AND SEDIMENT PRACTICES.

STOCKPILED TOPSOIL AND EXCAVATED MATERIAL IS TO BE PROTECTED THROUGH THE USE OF TEMPORARY SEEDING, OR COVERED WITH ANCHORED STRAW MULCH.

FINAL GRADING WILL BE CONSISTENT WITH PRE-CONSTRUCTION TOPOGRAPHY TO MAINTAIN DRAINAGE AND AESTHETICS.

REMOVE ONLY THOSE TREES, SHRUBS, AND GRASSES THAT MUST BE REMOVED TO PERMIT ACTUAL CONSTRUCTION. PROTECT THE REMAINING TO PRESERVE THEIR AESTHETIC AND EROSION CONTROL VALUE.

BACKFILL TRENCHES IMMEDIATELY AFTER COMPACTION. SEED AND MULCH TRENCHES WITHIN TWO WEEKS AFTER TRENCHES ARE OPENED.

SILT FROM CONSTRUCTION OPERATIONS SHALL NOT BE PERMITTED TO ENTER THE STORM DRAIN SYSTEM, WATERWAYS (NATURAL OR MAN-MADE), OR ADJACENT PRIVATE PROPERTY. CONSTRUCTION OCCURRING NEAR STORM DRAIN INLETS OR WATERWAYS (NATURAL OR MAN-MADE) SHALL REQUIRE EROSION CONTROL MEASURES, SUCH AS SILT FENCE AND STRAW BALE BARRIERS, TO PREVENT SILT FROM ENTERING THE STORM DRAIN, WATERWAYS (NATURAL OR MAN-MADE) OR ADJACENT PRIVATE PROPERTY.

ALL EROSION/SEDIMENT/DUST CONTROL PRACTICES SHALL BE PERFORMED AS RECOMMENDED BY OHIO DEPARTMENT OF NATURAL RESOURCES DIVISION OF SOIL AND WATER CONSERVATION PUBLICATION "RAINWATER AND LAND DEVELOPMENT", 2006 EDITION.

PROJECT SPECIFIC EROSION PRACTICES

- THE CONTRACTOR SHALL INCLUDE IN THEIR BASE CONTRACT THE INSTALLATION, CLEANING, REPAIRS AND MAINTENANCE OF INLET PROTECTION FOR EACH STORM SEWER INLET SHOWN ON THE UTILITY PLAN AS WELL AS ANY OFF-SITE AREAS AFFECTED BY TRUCK TRACKING. THIS SHALL INCLUDE DANDY BAGS/BEAVER DAMS (OR EQUAL) FOR POST STONE INSTALLATION AND SILT FENCE BARRIER BOXES WITH DANDY BAGS FOR INLETS IN NON-STONED, OPEN LAWN GRADED AREAS.
- CONTRACTOR SHALL INCLUDE THE CONSTRUCTION OF STABILIZED ENTRIES USING AASHTO #2 CRUSHED STONE. CONSTRUCT AND MAINTAIN PER CITY OF COLUMBUS STANDARDS.
- SILT FENCE AND/OR STRAW WATTLES SHALL BE INSTALLED PER PLAN AND WHERE NECESSARY TO PREVENT SEDIMENT LEAVING THE SITE OR ENTERING STORM SEWERS AND/OR DRAINAGE SYSTEM. REGULAR MAINTENANCE OF THESE CONTROLS IS REQUIRED.
- DIVERSION SWALES, AS REQUIRED, TO DRAIN SITE TO SEDIMENT PONDS SHALL BE PROVIDED WHEREVER SHOWN ON THE PLANS OR WHERE NEEDED TO PROPERLY DRAIN THE DISTURBED AREAS.
- PROVISIONS FOR PROPER FUEL STORAGE AND CONTAINMENT SHALL BE INCLUDED.
- PROVISIONS FOR EQUIPMENT PARKING WITH DRIP PANS PLACED BENEATH EQUIPMENT OVERNIGHT. IN THE EVENT LEAKING EQUIPMENT IS DISCOVERED, IF REPAIRS CANNOT BE MADE TO STOP LEAKAGE, A DRIP PLAN SHALL BE REQUIRED BENEATH EQUIPMENT WHILE IDLE OVERNIGHT OR NOT IN USE. INCLUDE PROVISIONS AND ACTION PLAN FOR CLEANUP OF LEAKING EQUIPMENT.
- SEDIMENT AND EROSION CONTROL BLANKETS FOR ALL SLOPES 4:1 OR GREATER, UNLESS SODDED OR STONED.
- TEMPORARY SEEDING & MULCHING FOR PHASING AND STAGING OF ACTIVITIES AS REQUIRED AND DIRECTED BY THE SWPPP INSPECTOR, OWNER OR GENERAL CONTRACTOR. TACKIFIER AND/OR CRIMPING SHALL BE INCLUDED IN THE BASE BID TO KEEP MULCH IN PLACE. HYDROSEEDING WITH MULCH IS AN ALLOWABLE OPTION. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE QUANTITY OF SEEDING AS REQUIRED BY PHASE TO ENSURE AREAS REMAINING IDLE LONGER THAN 7 DAYS ARE SEEDED.
- ANY TEMPORARY WATERING DURING DRY SEASONS TO ESTABLISH TEMPORARY OR PERMANENT SEEDING SHOULD BE INCLUDED IN BASE BID.
- PERMANENT SEEDING/SODDING PER LANDSCAPE PLAN.
- INCLUDE CREATION OF A STOCKPILE AREA FOR TOPSOIL IF REQUIRED. PROVIDE PERMETER FENCING AND TEMPORARY SEEDING AS REQUIRED TO CONTAIN SOILS.
- PROVIDE COVERED/ENCLOSED CONTAINMENT AREA FOR ALL CHEMICALS, PIPE SOLVENTS, EPOXY, MORTAR MIXES, ETC. CONTRACTOR SHALL INCLUDE SPILL CONTROLS FOR THESE ITEMS, AS NECESSARY.
- WHEEL WASHING STATIONS, TO MAINTAIN TRACKING OFF-SITE SHALL BE PROVIDED. THE CONTRACTOR MAY CHOOSE BETWEEN AUTOMATED, PIT TYPE, OR MANUAL POWER WASHER STATION.
- STREET CLEANING & SWEEPING, AS NECESSARY AND REQUESTED BY SWPPP INSPECTOR, OHIO EPA, JURISDICTION AND OWNER OR THEIR REPRESENTATIVES. THIS SHALL INCLUDE PUBLIC AND PRIVATE ROADWAYS USED FOR ACCESS TO THE SITE. INCLUDE ALL NECESSARY SWEEPING IN BASE BID. CONTINUOUS SWEEPING IS REQUIRED DURING AND AFTER RAINFALL EVENTS. PERIODIC CLEANING, AS NECESSARY, IS REQUIRED DURING DRY PERIODS. DAILY INSPECTIONS OF THE ROADWAYS SHALL BE COMPLETED BY THE CONSTRUCTION MANAGEMENT COMPANY.
- INCLUDE A DIGITAL RAIN GAUGE ON-SITE AND DAILY LOGGING OF RAINFALL. PLACE THE COLLECTION BUCKET IN AN AREA WHERE ROOF RUNOFF WILL NOT NEGATIVELY AFFECT THE ACCURACY OF THE READINGS. DAILY LOGGING OF EROSION & SEDIMENT CONTROLS IS REQUIRED BY THE CONTRACTOR.
- INCLUDE ANY PHASING OR STAGING OF THE EROSION CONTROLS FOR THE CHANGES TO SITE CONDITIONS. DEVELOP A STAGING AND A WRITTEN PHASING PLAN ON HOW THE CONTRACTOR PLANS ON IMPLEMENTING BEST PRACTICES AND HOW THE CONTRACTOR INTENDS TO PHASE THE PROJECT THROUGH THE DURATION OF CONSTRUCTION.
- NOTE ANY CHANGES MADE TO THESE DRAWINGS ON THE PLANS IN THE FIELD AND THE RECORD DRAWINGS KEPT FOR FILE PURPOSES.
- CONTRACTOR SHALL DISPOSE OF LITTER, TRASH, AND CONSTRUCTION WASTE APPROPRIATELY, AND PROVIDE ON-SITE DISPOSAL MEANS. WEEKLY SITE POLICING SHALL OCCUR TO PICKUP ANY DEBRIS BLOWN AROUND THE SITE OR LEFT LAYING ON THE GROUND.
- ON-SITE RECYCLING IS ENCOURAGED FOR CONSTRUCTION MATERIAL WASTE AND WORKER SOLID WASTE TO DIVERT MATERIALS FROM THE LANDFILL WHEN PRACTICAL.

SEDIMENT CONTROLS

STORM WATER RUNOFF FROM DENUDED AREAS SHALL PASS THROUGH A SEDIMENT BASIN OR OTHER SUITABLE SEDIMENT TRAPPING FACILITY. THESE CONTROLS SHALL BE SELECTED AND LOCATED AS DIRECTED BY THE ENGINEER.

NOTE: THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE SWPPP PLAN AND THE APPROVED EPA STORMWATER PERMIT (WITH THE SITE-SPECIFIC NOI NUMBER) SHALL BE KEPT ON-SITE AT ALL TIMES.

EROSION AND SEDIMENTATION CONTROL NARRATIVE

PLAN DESIGNER: E.P. FERRIS & ASSOCIATES
2130 QUARRY TRAILS DRIVE, 2ND FLOOR
COLUMBUS, OH 43228
PHONE: 614-299-2999 FAX: 614-299-2992

OWNER/DEVELOPER: CASTO COMMUNITIES
250 CIVIC CENTER DRIVE, SUITE 500
COLUMBUS, OH 43215
PH: 614-744-2028

OEPA NPDES GENERAL PERMIT NUMBER: 46C09213*AG

PROJECT DESCRIPTION: THE EXISTING SITE CONSISTS OF A VACANT LOT BORDERED ON THE NORTH BY INTERSTATE 270, WEST BY HAMILTON ROAD, SOUTH BY TECH CENTER DRIVE, AND THE EAST BY A DITCH. CONSTRUCTION ACTIVITIES WILL INCLUDE THE CONSTRUCTION OF MULTI-FAMILY BUILDINGS, ROADWAYS, AND DRIVEWAYS. APPROXIMATELY 11.3± ACRES OF THE DISTURBED AREA AREA IS LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AND THE OVERALL DISTURBED AREA CONSISTS OF 40.81 ACRES.

SITE DRAINS TO: THE EAST SIDE OF THE SITE GENERALLY DRAINS INTO A DITCH LOCATED JUST EAST OF THE PROPERTY WHICH ULTIMATELY DRAINS INTO BIG WALNUT CREEK. THE WEST SIDE OF THE SITE GENERALLY DRAINS INTO A DITCH ALONG HAMILTON ROAD WHICH ULTIMATELY DRAINS INTO BIG WALNUT CREEK. BIG WALNUT CREEK IS THE NEAREST WATER COURSE.

EXISTING SITE CONDITIONS: THE SLOPES VARY GREATLY ACROSS THE SITE WITH SOME AREAS BEING GENTLY SLOPED AND OTHER AREAS WHERE THE SLOPE VARIES GREATLY. THE SITE GENERALLY FLOWS EAST TO WEST ALONG THE WESTERN PORTION OF THE SITE, AND GENERALLY FLOWS WEST TO EAST ALONG THE EASTERN PORTION OF THE SITE.

ADJACENT AREAS: THE EXISTING ADJACENT DEVELOPMENTS HAVE BEEN TAKEN INTO ACCOUNT FOR THE STORM SYSTEM AND FLOOD ROUTING FOLLOWING EXISTING DRAINAGE PATH.

CRITICAL AREAS: NONE

EROSION CONTROL MEASURES: EROSION AND SITE RUN-OFF WILL BE CONTROLLED THROUGH THE USE OF FILTER FABRIC FENCE PLACED AT LOW LYING AREAS AROUND THE SITE.

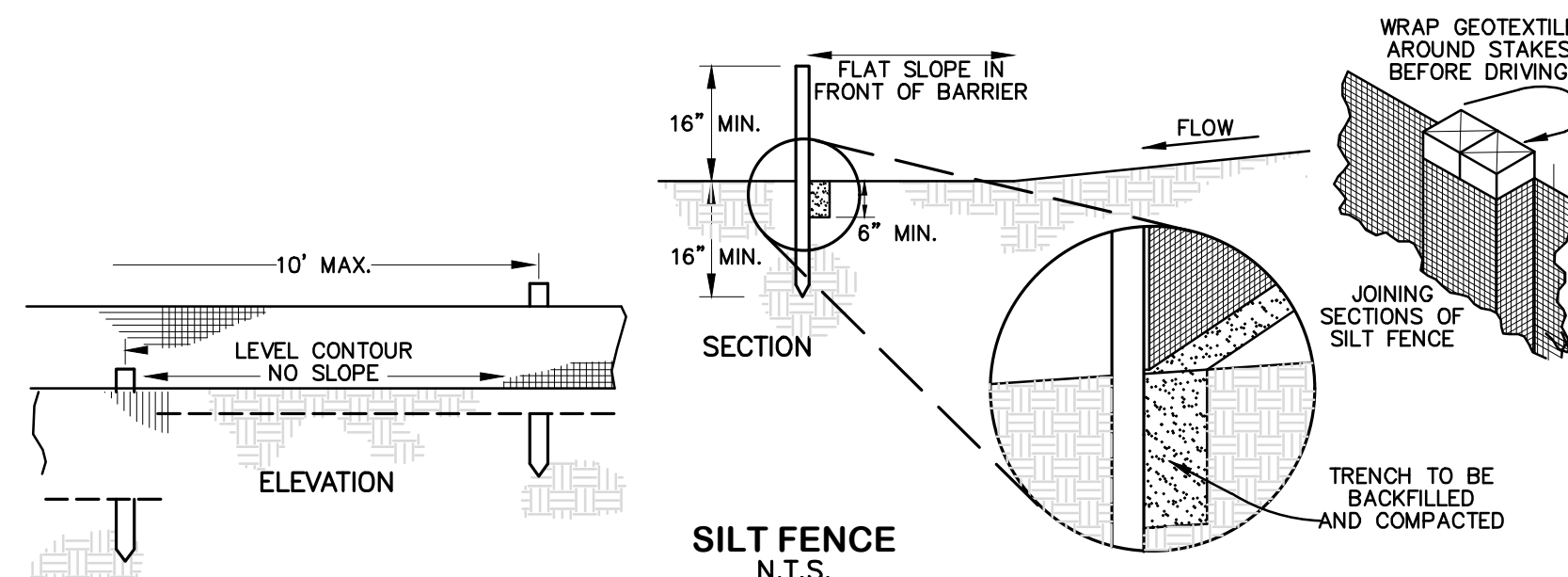
SEDIMENT CONTROL MEASURES: SEDIMENT WILL BE CONTROLLED THROUGH THE USE OF SEDIMENT BASINS AT THE OUTLET OF SWALES.

PERMANENT STABILIZATION: ALL DISTURBED AREAS ARE TO BE SEEDED. SEE SHEET 2 FOR SEEDING NOTES.

MAINTENANCE: ALL EROSION CONTROL DEVICES WILL BE INSPECTED BY THE CONSTRUCTION SUPERINTENDENT DAILY AND AFTER SIGNIFICANT RAINFALLS. ANY DAMAGED DEVICES WILL BE REPAIRED AND/OR REPLACED IMMEDIATELY OR AS NECESSARY.

CONSTRUCTION SEQUENCE: EROSION CONTROL DEVICES AROUND AND WITHIN THE SITE WILL BE IN PLACE AS NEEDED PRIOR TO CONSTRUCTION ACTIVITIES. INITIAL GRADING WILL COMMENCE AS WELL AS CONSTRUCTION OF UNDERGROUND UTILITIES. AS STORM SEWERS ARE COMPLETED, INLET/CATCH BASIN EROSION DEVICES WILL BE INSTALLED. ONLY AFTER FINAL GRADING, SEEDING/SODDING AND PAVING OPERATIONS HAVE BEEN COMPLETED WILL EROSION DEVICES BE REMOVED.

SITE CONTACT: CASTO COMMUNITIES
250 CIVIC CENTER DRIVE
COLUMBUS, OH 43215
CONTACT: BRENT SOBCEZAK
PH: 614-744-2028
EMAIL: BSobczak@castoinfo.com



- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS THAT MAY CARRY CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
- SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE. A MINIMUM OF 8 INCHES OF GEOTEXTILE MUST BE PLACED BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6-INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTION ON BOTH SIDES OF THE FABRIC.
- SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-INCH OVERLAP PRIOR TO DRIVING INTO THE GROUND, SEE DETAIL.
- MAINTENANCE:** SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER THE FABRIC, FLOWS AROUND THE FENCE ENDS, OR IN ANY OTHER WAY ALLOWS A CONCENTRATED FLOW DISCHARGE, ONE OF THE FOLLOWING OPTIONS SHALL BE PERFORMED:
 - 10.1. THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED.
 - 10.2. ACCUMULATED SEDIMENT SHALL BE REMOVED, OR
 - 10.3. OTHER PRACTICES SHALL BE INSTALLED.

SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE.

SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED OR REPLACED IMMEDIATELY.

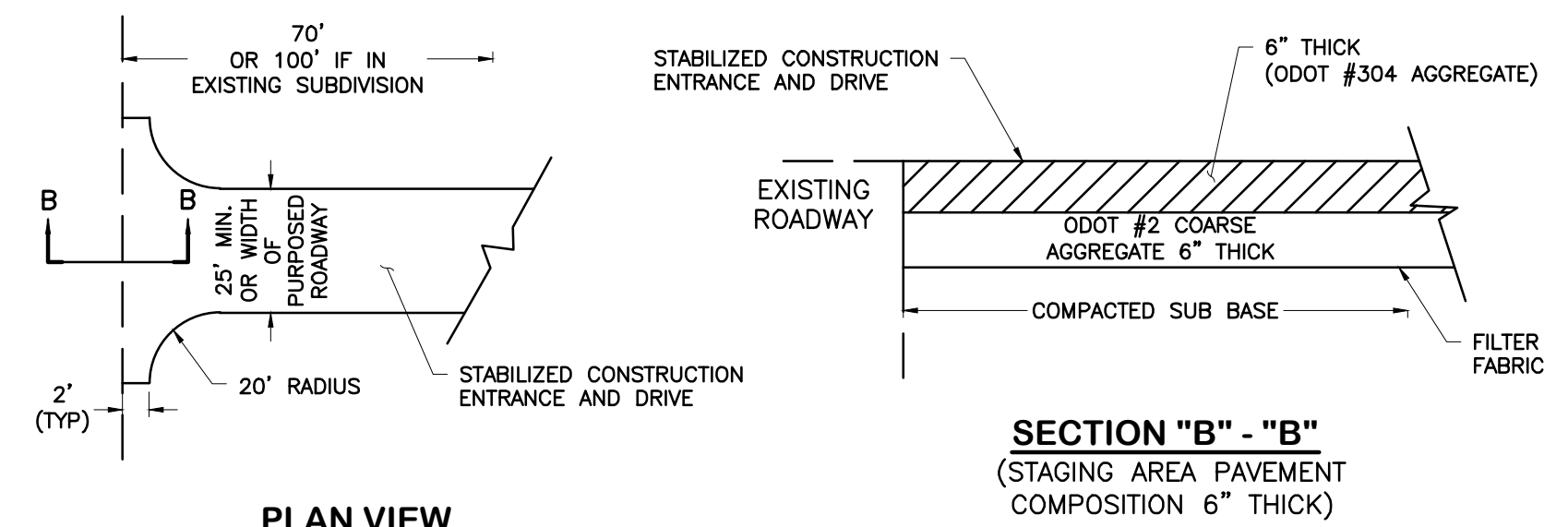
CRITERIA FOR SILT FENCE MATERIALS:

- FENCE POST: THE LENGTH SHALL BE A MINIMUM OF 32 INCHES. WOOD POSTS SHALL BE 2-BY-2-INCH NOMINAL DIMENSIONED HARDWOOD OF SOUND QUALITY. POSTS SHALL BE FREE OF KNOTS, SPLITS, AND OTHER VISIBLE IMPERFECTIONS THAT WOULD WEAKEN THE POSTS. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FEET. POSTS SHALL BE DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND WHERE POSSIBLE. IF NOT POSSIBLE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING OF THE FENCE DUE TO SEDIMENT/WATER LOADING.
- SILT FENCE FABRIC: SEE CHART BELOW.

NOTES: THE USE OF STRAW WATTLES HAS PROVEN TO BE A VERSATILE AND EFFECTIVE ESC BMP, ESPECIALLY IN RESIDENTIAL SETTINGS. STRAW WATTLES MAY BE SUBSTITUTED FOR SILT FENCE. THE USE OF COMPOST FILTER SOCKS AND COMPOST BLANKETS ARE GAINING WIDER ACCEPTANCE NATIONWIDE. THEY ARE NOW APPROVED FOR USE ON CITY OF COLUMBUS SWP3 PLANS AND CONSTRUCTION SITES.

STRAW WATTLES OR COMPOST ROLLS HAVE A MINIMUM DIAMETER OF 12" (OEPA).

FABRIC PROPERTIES	VALUES	TEST METHOD
Minimum Tensile Strength	120 lbs. (535 N)	ASTM D 4632
Maximum Elongation at 60 lbs	50%	ASTM D 4632
Minimum Puncture Strength	50 lbs (220 N)	ASTM D 4833
Minimum Tear Strength	40 lbs (180 N)	ASTM D 4533
Apparent Opening Size	0.84 mm	ASTM D 4751
Minimum Permittivity	1x10 ⁻² sec.-1	ASTM D 4491
UV Exposure Strength Retention	70%	ASTM G 4355



PLAN VIEW
CONSTRUCTION ENTRANCE
N.T.S.

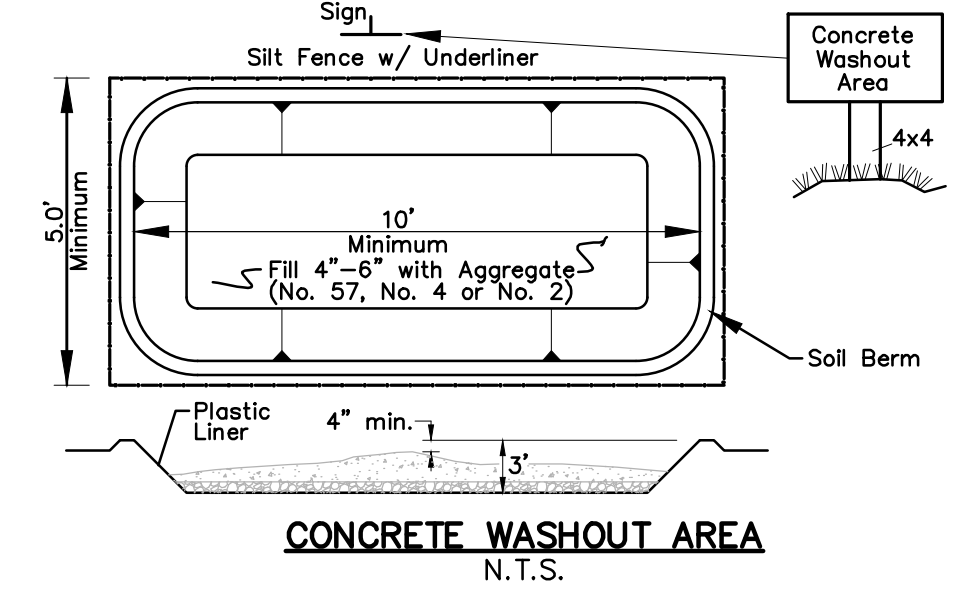
DESCRIPTION: A CONSTRUCTION ENTRANCE IS A STABILIZED PAD OF STONE UNDERLAIN WITH GEOTEXTILE LOCATED AT POINTS OF INGRESS/EGRESS AND IS USED TO REDUCE THE AMOUNT OF MUD TRACKED OFF-SITE WITH CONSTRUCTION TRAFFIC.

- GEOTEXTILE - A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA, PRIOR TO PLACING STONE. IT SHALL BE COMPOSED OF STRONG ROT-PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:

GEOTEXTILE SPECIFICATIONS FOR CONSTRUCTION ENTRANCE

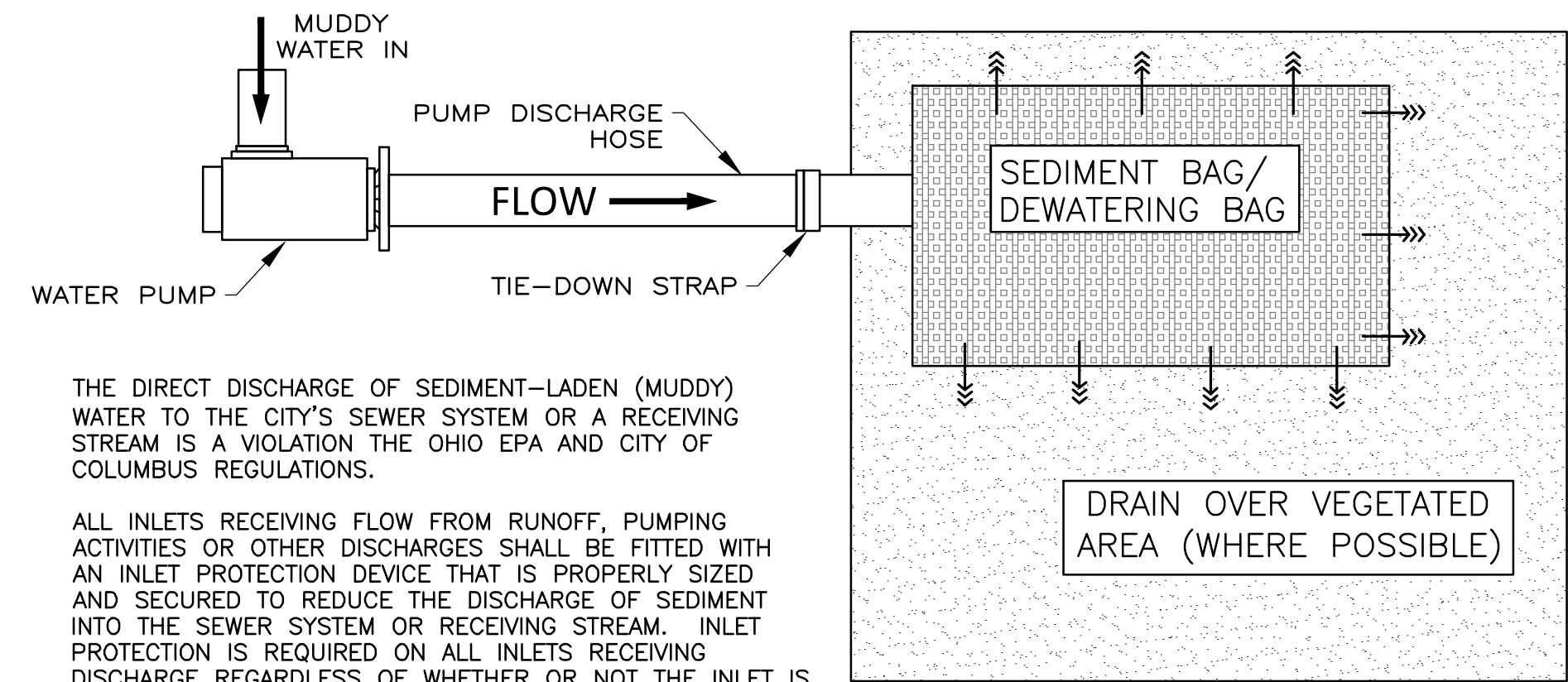
MINIMUM TENSILE STRENGTH	200 LBS
MINIMUM PUNCTURE STRENGTH	80 PSI
MINIMUM TEAR STRENGTH	50 LBS
MINIMUM BURST STRENGTH	320 PSI
MINIMUM ELONGATION	20%
EQUIVALENT OPENING SIZE	EOS < 0.6MM.
PERMITTIVITY	1 x 10 ⁻² - 3 CM/SEC

- TIMING - THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICABLE BEFORE MAJOR GRADING ACTIVITIES.
- CULVERT - A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
- WATER BAR - A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
- MAINTENANCE - TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING.
- CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION SITE SHALL BE RESTRICTED FROM MUDDY AREAS.
- REMOVAL - THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED OR REPLACED WITH A PERMANENT ROADWAY OR ENTRANCE.



CONCRETE WASHOUT AREA
N.T.S.

NOTE: THE USE OF PORTABLE CONCRETE WASHOUT UNITS IS APPROVED (AND ENCOURAGED) FOR ALL CONSTRUCTION AREAS IN THE CITY OF COLUMBUS.



THE DIRECT DISCHARGE OF SEDIMENT-LADEN (MUDDY) WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION THE OHIO EPA AND CITY OF COLUMBUS REGULATIONS.

ALL INLETS RECEIVING FLOW FROM RUNOFF, PUMPING ACTIVITIES OR OTHER DISCHARGES SHALL BE FITTED WITH AN INLET PROTECTION DEVICE THAT IS PROPERLY SIZED AND SECURED TO REDUCE THE DISCHARGE OF SEDIMENT INTO THE SEWER SYSTEM OR RECEIVING STREAM. INLET PROTECTION IS REQUIRED ON ALL INLETS RECEIVING DISCHARGE REGARDLESS OF WHETHER OR NOT THE INLET IS TRIBUTARY TO ANY DOWNSTREAM EROSION AND SEDIMENT CONTROLS.

DISCHARGE HOSES USED DURING PUMPING ACTIVITIES SHALL BE FITTED WITH SEDIMENT BAGS THAT ARE PROPERLY SIZED PER MANUFACTURER'S RECOMMENDATIONS REGARDLESS OF WHAT OTHER SEDIMENT CONTROLS ARE IN PLACE FURTHER DOWNSTREAM. SEDIMENT BAGS MUST BE PROPERLY SECURED TO THE DISCHARGE HOSE AND PLACED OVER VEGETATED AREAS, WHERE FEASIBLE, DURING DISCHARGE. DETAIL IS OF A TYPICAL SEDIMENT BAG INSTALLATION.

SUGGESTED DISCHARGE SETUP FOR PUMPING MUDDY WATER
N.T.S.

REVISIONS	DATE	BY	CHK.

E. P. FERRIS AND ASSOCIATES INC.
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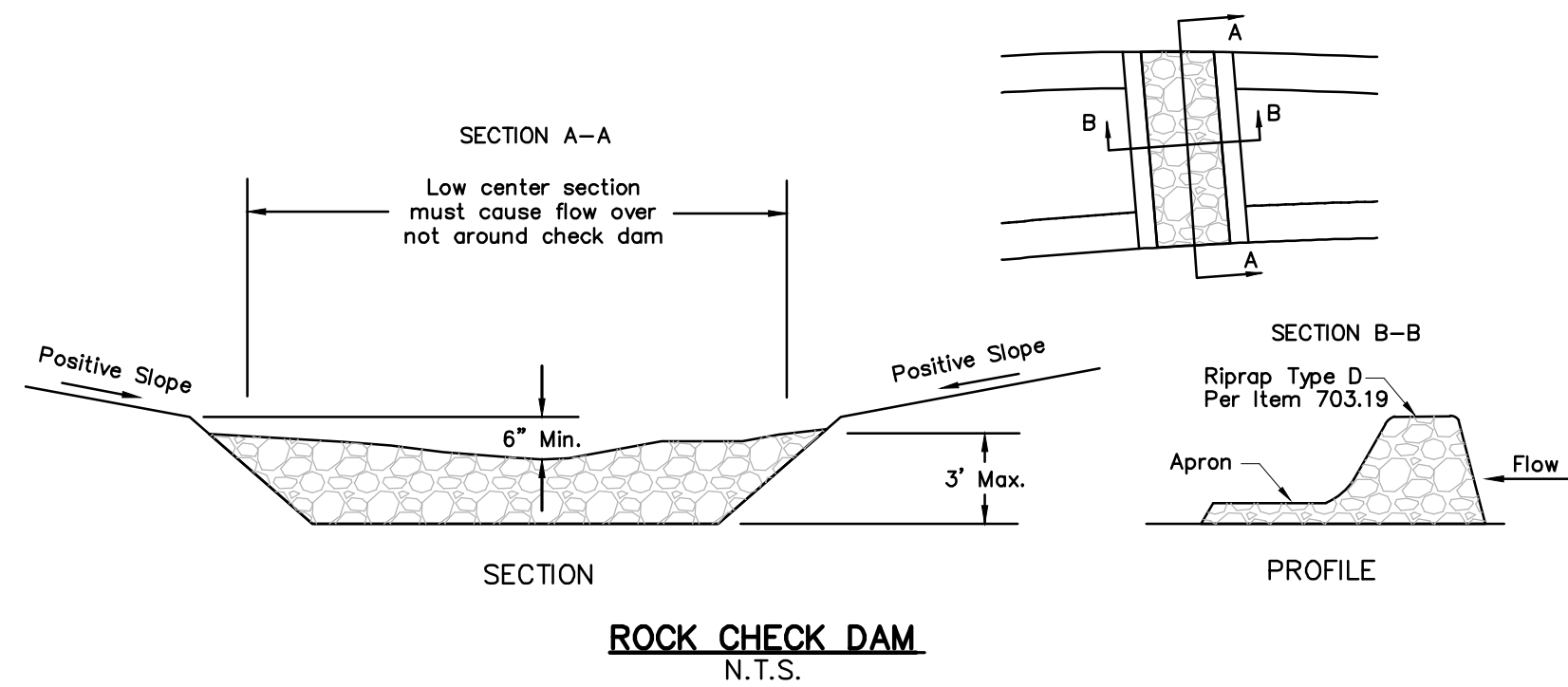
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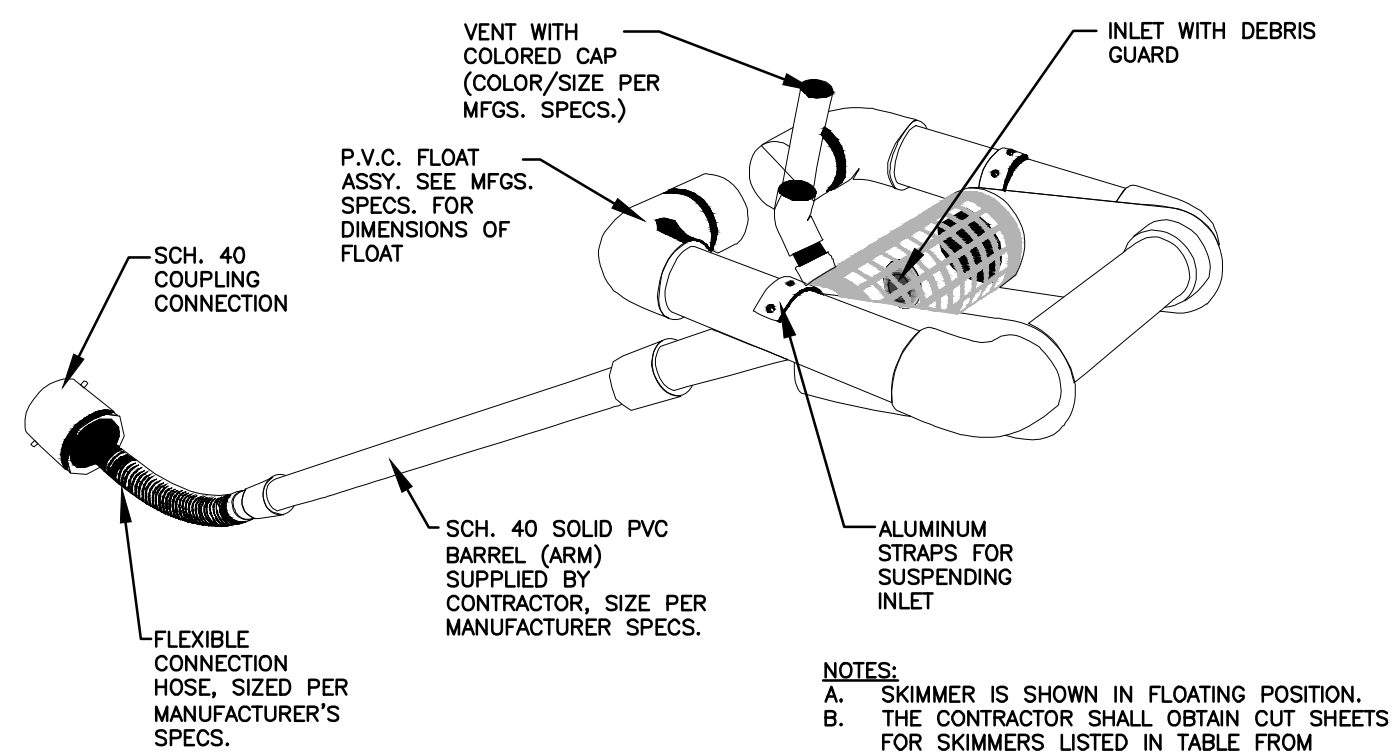
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STORMWATER POLLUTION PREVENTION PLAN NOTES

SCALE:	N/A
SHEET NO.	OF
5	6



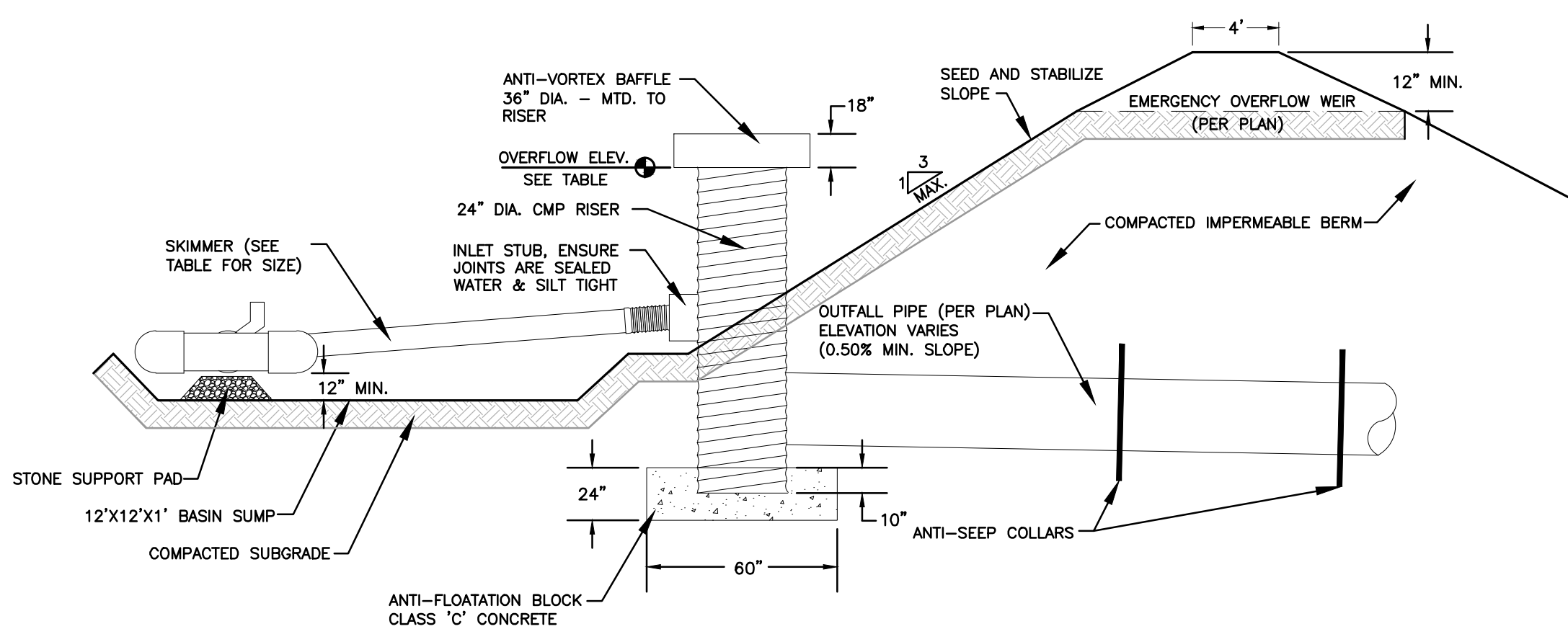
ROCK CHECK DAM
N.T.S.



SKIMMER DETAIL
N.T.S.

- NOTES:**
1. RISER PIPE BASE: THE RISER PIPE SHALL BE SET AT A MINIMUM OF 8" IN THE CONCRETE BASE.
 2. TRASH RACKS: THE TOP OF THE RISER SHALL BE FITTED WITH TRASH RACKS FIRMLY FASTENED TO THE RISER PIPE.
 3. SEDIMENT CLEANOUT: SEDIMENT SHALL BE REMOVED AND THE SEDIMENT RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS FILLED TO ONE-HALF THE SEDIMENT STORAGE ZONE. SEDIMENT REMOVED FROM THE BASIN SHALL BE PLACED SO THAT IT WILL NOT ERODE AND STABILIZED SIMILAR TO OTHER FILL MATERIAL PLACED ON THE SITE.
 4. FINAL REMOVAL: THE SEDIMENT CONTROL STRUCTURE SHALL BE REMOVED ONLY AFTER THE UPSTREAM DRAINAGE AREA IS STABILIZED OR A RELOCATED BASIN IS ESTABLISHED. DEWATERING AND REMOVAL SHALL NOT CAUSE SEDIMENT TO BE DISCHARGED.
 5. ANY FIELD CHANGES, SUBSTITUTIONS OR MODIFICATIONS TO THE SKIMMER SHALL BE APPROVED BY THE ENGINEER OF RECORD. SYSTEM IS DESIGNED TO DEWATER THE BASIN IN A 48 HOUR TIME PERIOD, PER OHIO EPA REGULATIONS.

- NOTES:**
- A. SKIMMER IS SHOWN IN FLOATING POSITION. THE CONTRACTOR SHALL OBTAIN CUT SHEETS FOR SKIMMERS LISTED IN TABLE FROM WWW.FAIRCLOTHSKIMMER.COM. DETAIL IS FOR REFERENCE ONLY.



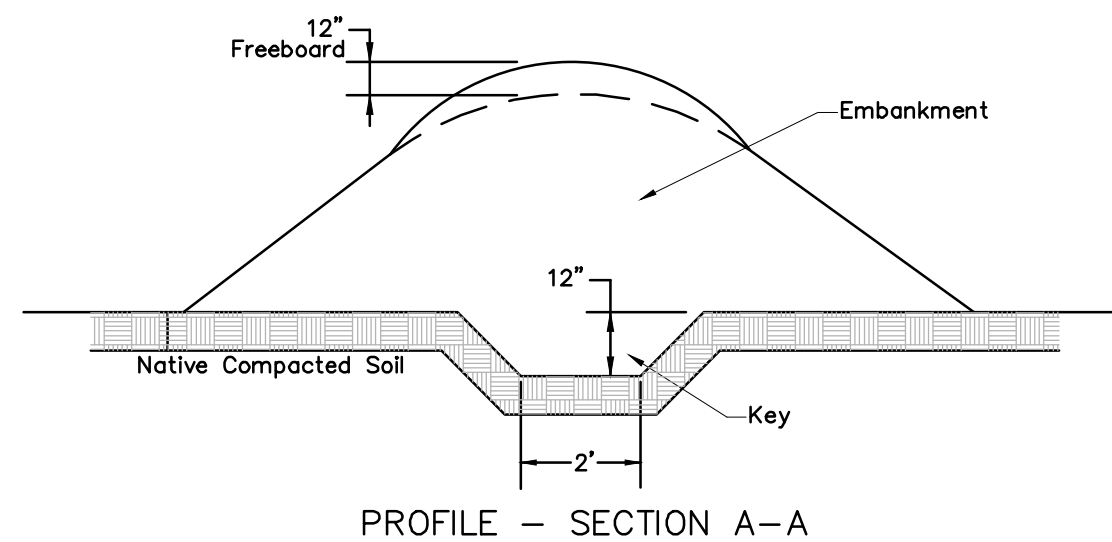
BASIN ID	TRIB. AREA (ACRE)	DEWATERING VOL. REQ. (C.Y./AC.)	DISTURBED AREA (ACRE)	SEDIMENT VOL. REQ. (C.Y.)	SEDIMENT VOL. PROV. (C.Y.)	DEWATERING VOL. PROV. (C.Y.)	SKIMMER SIZE	ORIFICE SIZE (DIA.)	OVERFLOW ELEVATION	10 YR FLOW (CFS)	10 YR FLOW ELEVATION
A	14.69	985	14.69	545	4,029	4,505	5.0"	4.0"	785.50	13.08	785.36
B	19.99	1,340	19.99	740	574	5,859	5.0"	4.7"	783.50	14.69	782.93

SEDIMENT BASIN CONTROL STRUCTURE DETAIL
N.T.S.

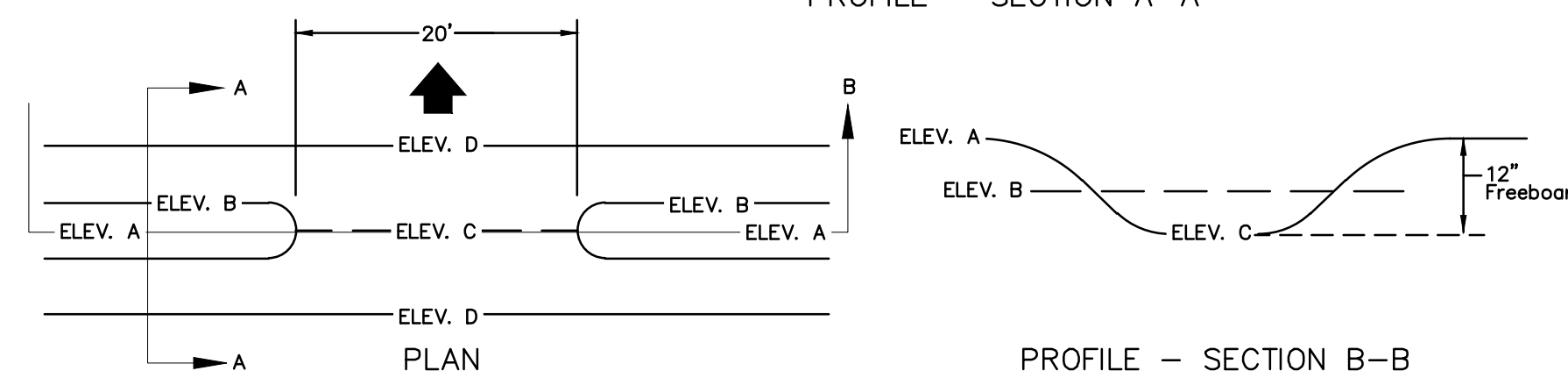
INSPECTION ITEM	MAINTENANCE PROCEDURES	FREQUENCY OF INSPECTION
SEDIMENT BASIN	<ol style="list-style-type: none"> 1. ESTABLISH VEGETATIVE COVER AND FERTILIZE AS NECESSARY TO MAINTAIN A VIGOROUS COVER IN AND AROUND THE SEDIMENT BASIN. 2. REMOVE UNDESIRABLE VEGETATION PERIODICALLY TO PREVENT GROWTH OF TREES AND SHRUBS ON THE EMBANKMENT AND SPILLWAY AREAS. 3. PROMPTLY REPAIR ERODED AREAS. REESTABLISH VEGETATIVE COVER IMMEDIATELY WHERE SCOUR EROSION HAS REMOVED ESTABLISHED SEEDING. 4. PROMPTLY REMOVE ANY BURROWING RODENTS THAT MAY INVADE AREAS OF THE EMBANKMENT. 5. REMOVE TRASH AND DEBRIS THAT MAY BLOCK SPILLWAYS AND ACCUMULATE IN THE POND. 6. REMOVE SEDIMENT FROM BASIN WHEN IT FILLS THE DESIGN DEPTH OF THE SEDIMENT STORAGE ZONE. THIS ELEVATION SHALL BE MARKED ON A CLEANOUT STAKE NEAR THE CENTER OF THE BASIN. 7. CHECK SPILLWAY OUTLETS AND POINTS OF INNOW TO ENSURE DRAINAGE IS NOT CAUSING EROSION AND THAT OUTLETS ARE NOT CLOGGED. REPLACE DISPLACED RIPRAP IMMEDIATELY. 8. AFTER THE ENTIRE CONSTRUCTION PROJECT IS COMPLETED, TEMPORARY SEDIMENT BASINS SHOULD BE DEWATERED AND REGRADED TO CONFORM TO THE CONTOURS OF THE AREA. ALL TEMPORARY STRUCTURES SHOULD BE REMOVED AND THE AREA SEEDED, MULCHED AND STABILIZED AS NECESSARY. 	WEEKLY AND AFTER EACH RUNOFF EVENT

CONSTRUCTION SEQUENCE

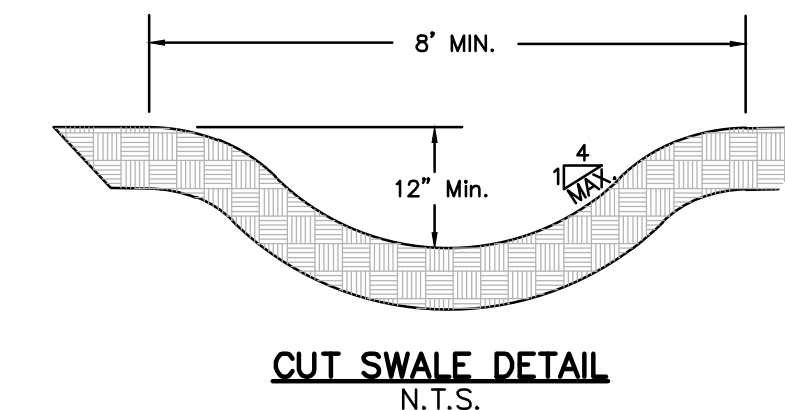
1. INSTALL ROCK CONSTRUCTION ENTRANCE.
2. INSTALL PERIMETER EROSION & SEDIMENT CONTROLS.
3. CLEAR AND GRUB AS NECESSARY FOR THE INSTALLATION OF EROSION & SEDIMENT CONTROL DEVICES.
4. GRADE TEMPORARY BASINS AND INSTALL SEDIMENT BASIN CONTROL STRUCTURES.
5. CONSTRUCT SANITARY SEWER. PROVIDE SILT FENCE ALONG THE DOWNHILL SIDE OF THE TRENCH. LIMIT GRADING/DISTURBANCE TO TRENCH ONLY.
6. CONSTRUCT STORM SEWER (SEE PROFILES). INSTALL INLET PROTECTION AND OTHER INLET CONTROL DEVICES AS STORM SEWERS ARE COMPLETED.
7. INSTALL REMAINING SILT FENCE. MAINTAIN EROSION CONTROL ITEMS & PROVIDE FOR DAILY/WEEKLY STREET CLEANING (OR AS NEEDED).
8. INSTALL UTILITIES.
9. BEGIN FULL SITE GRADING.
10. CONSTRUCT PAVEMENT.
11. BUILDING CONSTRUCTION MAY BEGIN.
12. FINE GRADE.
13. PERMANENTLY STABILIZE/SEED & MULCH OR SOD DISTURBED AREAS PER SPECIFICATION.
14. REMOVE TEMPORARY SEDIMENT BASINS AND CONNECT STORM SEWER ONCE SITE HAS BEEN PERMANENTLY STABILIZED.
15. INSTALL POOL DECK.
16. INSTALL DUMPSTER ENCLOSURE AND PAD.
17. REMOVE REMAINING EROSION AND SEDIMENT CONTROLS AFTER VERIFICATION OF FINAL STABILIZATION.



PROFILE - SECTION A-A

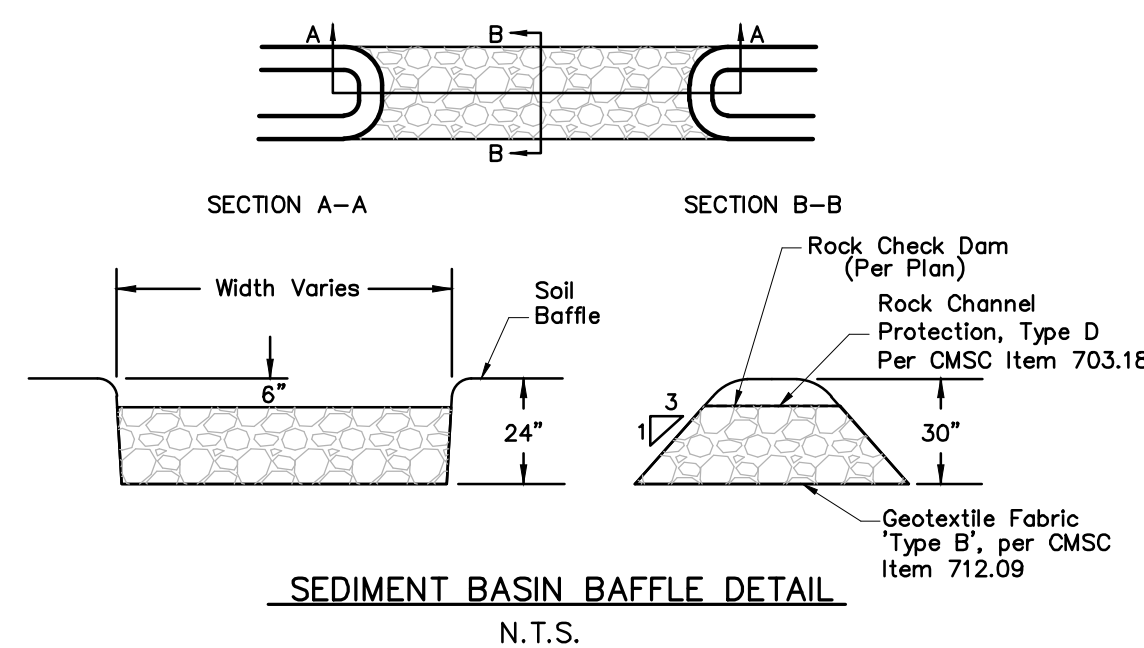


EMERGENCY SPILLWAY DETAIL
N.T.S.

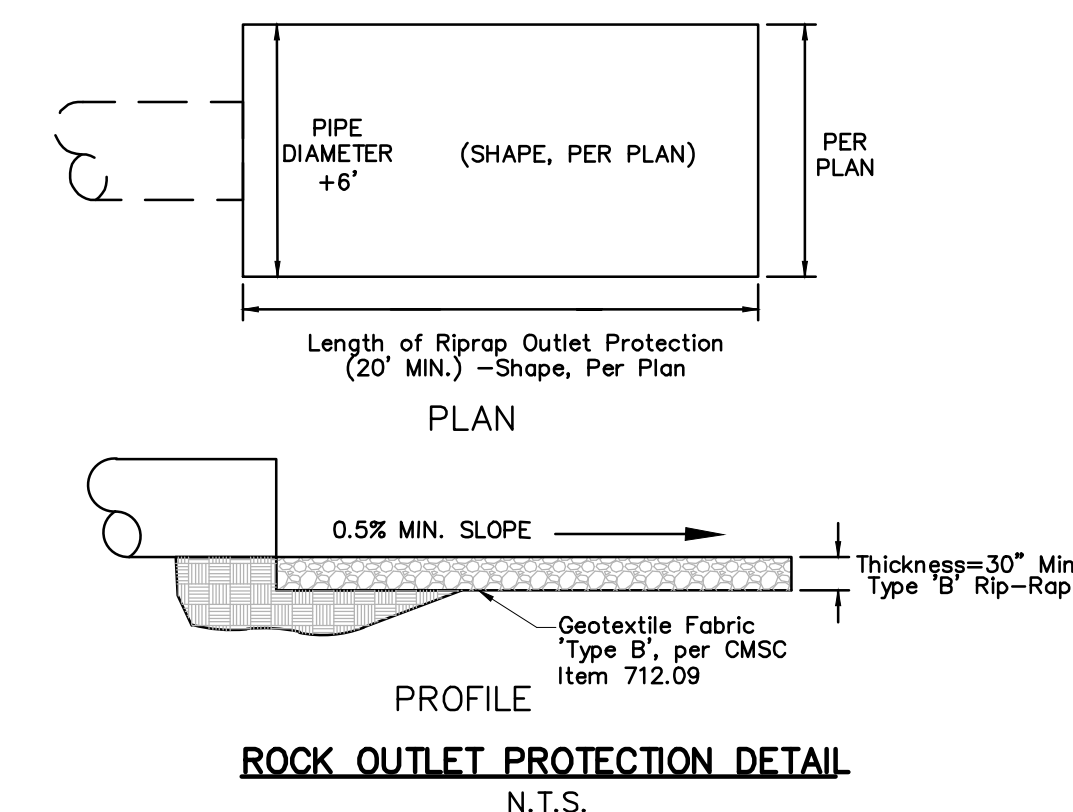


CUT SWALE DETAIL
N.T.S.

BASIN ID	ELEVATION A	ELEVATION B	ELEVATION C	ELEVATION D
A	787.25	787.00	786.00	785.90
B	785.25	785.00	784.00	783.90



SEDIMENT BASIN BAFFLE DETAIL
N.T.S.



ROCK OUTLET PROTECTION DETAIL
N.T.S.

M:\958011_CrescentPark\DWG\Production Drawings\MG&F Plan.dwg --Stormwater Pollution Prevention Plan Notes LAST EDITED BY:RAY ON 4/19/23

REVISIONS	DATE	BY	CHK.

E. P. FERRIS
AND
ASSOCIATES
INC
Consulting Civil Engineers and Surveyors

2130 QUARRY TRAILS DR,
2ND FLOOR
COLUMBUS, OHIO 43228
(614) 299-2999
(614) 299-2992 (Fax)
www.EPFERRIS.com

CITY OF GAHANNA, OHIO
CRESCENT AT CENTRAL PARK
CRESCENT AT CENTRAL PARK LLC

JOB NO.	0958.011
DESIGNED BY:	JAR
DRAWN BY:	JAR
CHECKED BY:	CLP
APPROVED BY:	CLP
DATE:	01/10/23

STORMWATER POLLUTION PREVENTION PLAN NOTES

SCALE:		N/A
SHEET NO.	OF	
6	6	

BURGESS & NIPLE

330 Rush Alley | Suite 700 | Columbus, OH 43215 | 614.459.2050

Mr. Kolby Turnock
SVP, Residential Development
CASTO
250 Civic Center Drive, Suite 500
Columbus, OH 43215

Re: Floodplain Impact Evaluation for
Proposed Tech Center Drive Development

January 26, 2023

Dear Mr. Turnock:

Burgess & Niple, Inc. (B&N) has performed a hydraulic evaluation of flooding conditions for the properties located on Tech Center Drive in Gahanna, Ohio. This study identified the current floodplain conditions and evaluated the impacts, if any, that filling in the parcel in order to remove it from the Big Walnut Creek Floodplain will have on the surrounding properties. This study was performed for the purposes of obtaining a Federal Emergency Management Agency (FEMA) Conditional Letter of Map Revision based on fill (CLOMR-F) if CASTO wishes to proceed with removing the parcel from the floodplain.

Background

The property, located at Tech Center Drive in Gahanna, Ohio, is owned by Crescent at Central Park LLC. The parcel is identified as follows:

Table 1
City of Gahanna Tech Center Drive Parcel

Address	Parcel No.	Acreage
Hamilton Road	025-013767-00	40.806

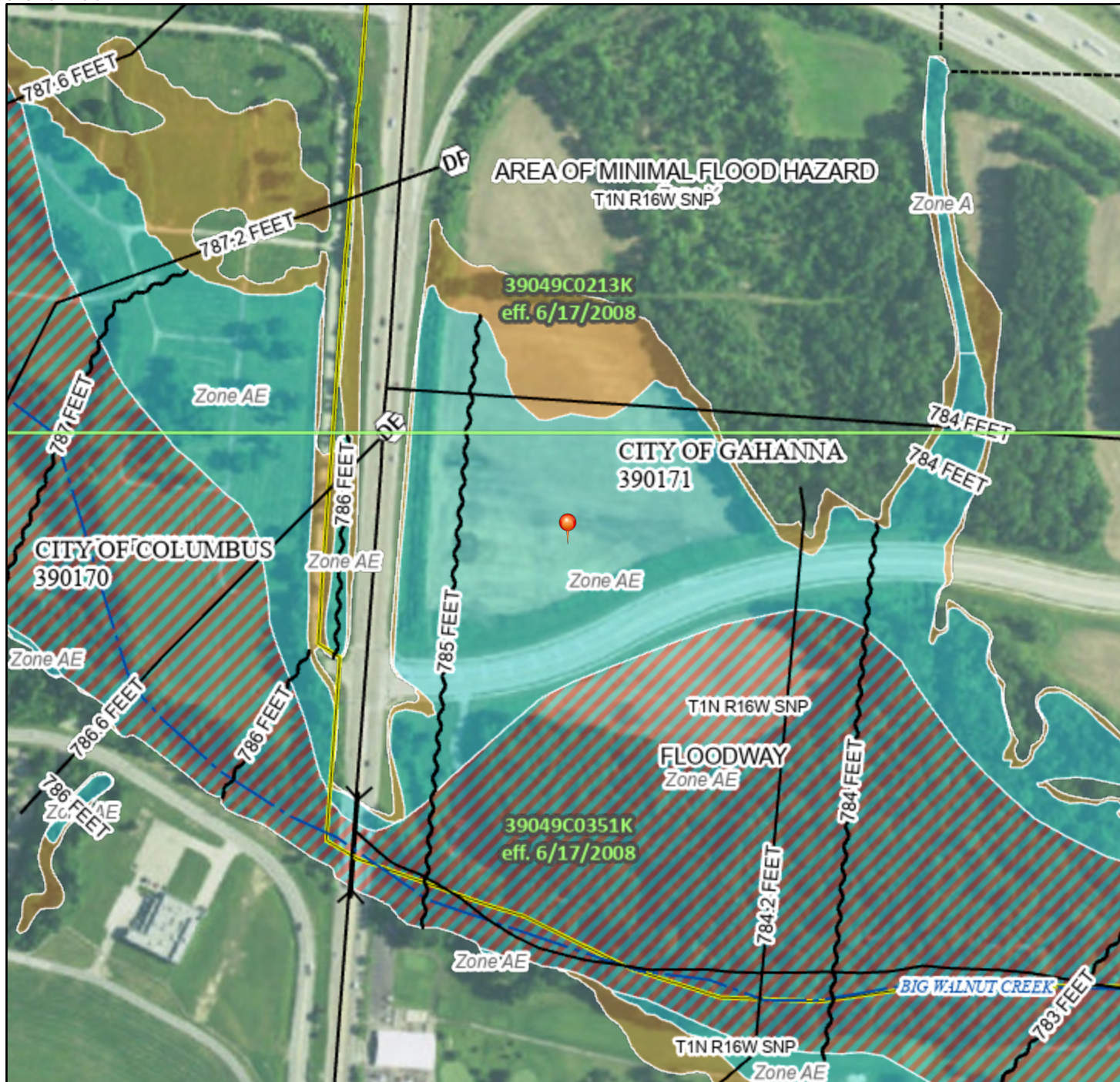
Big Walnut Creek is located to the south of the parcel and the FEMA flood mapping for Big Walnut Creek had a portion of the parcel identified as being within flood zone AE, those areas subject to inundation by the 1 percent chance flood (**Figure 1**). The identified 1 percent chance flood elevation identified by the FEMA mapping for Big Walnut Creek at this site is 785. A topographic survey of the parcels has identified their existing ground elevation as being at approximate Elevation 781± and a range of elevations between 781 and 784 through the north site.

CASTO proposes to place fill within the parcel in order to elevate it out of the floodplain. This change in flooding potential would allow for development of new buildings or structures to take place on the parcel.

National Flood Hazard Layer FIRMMette



82°52'18"W 40°0'11"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 1/17/2023 at 3:55 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Hydraulic Analysis

Analysis of the proposed site was modeled using the U.S. Army Corps of Engineers (USACE) Hydraulic Engineering Centers River Analysis System (HEC-RAS), in tandem with the FEMA Flood Insurance Study (FIS) Report for Franklin County and National Flood Hazard Layer (NFHL) Geographic Information System (GIS) data (dated June 17, 2008). FEMA does not have any computer modeling files for this stretch of river; they only have PDF scans of model inputs and outputs. Since B&N is unable to obtain the original FEMA FIS model, a new 2-D model was created and compared to the results of the FIS report. The new 2-D model utilized site survey data (dated November 17, 2022), Ohio Geographically Referenced Information Program (OGRIP) 2011 Light Detection and Ranging (LiDAR), the National Land Cover Database (NLCD) 2019 land cover, the National Hydrography Database (NHD) river flowline and area, and the FEMA base flood elevations (BFE), flood profiles, lettered cross sections, floodway data, and peak river discharges to closely match the existing model.

Eight observation points were modeled at FEMA cross-sections (points CX through DE) in HEC-RAS and five observation points were modeled through the proposed site as shown in **Figure 2**.

The 2-D terrain was modeled using the obtained survey data, LiDAR, and the available FIS data. The 100-year event discharge of 23,000 cubic feet per second (cfs) was obtained from the FIS and used as the upstream boundary condition. The 100-year event water surface elevation (WSE) was used as the downstream boundary condition for the reach. The 2-D model encapsulates the area outside of our area of interest in order for the model “warm-up” to reduce outsized impacts on the site performance from the boundary conditions. The 2-D model also uses reasonable Manning’s N values from the USACE range that are associated with the 2019 land cover.

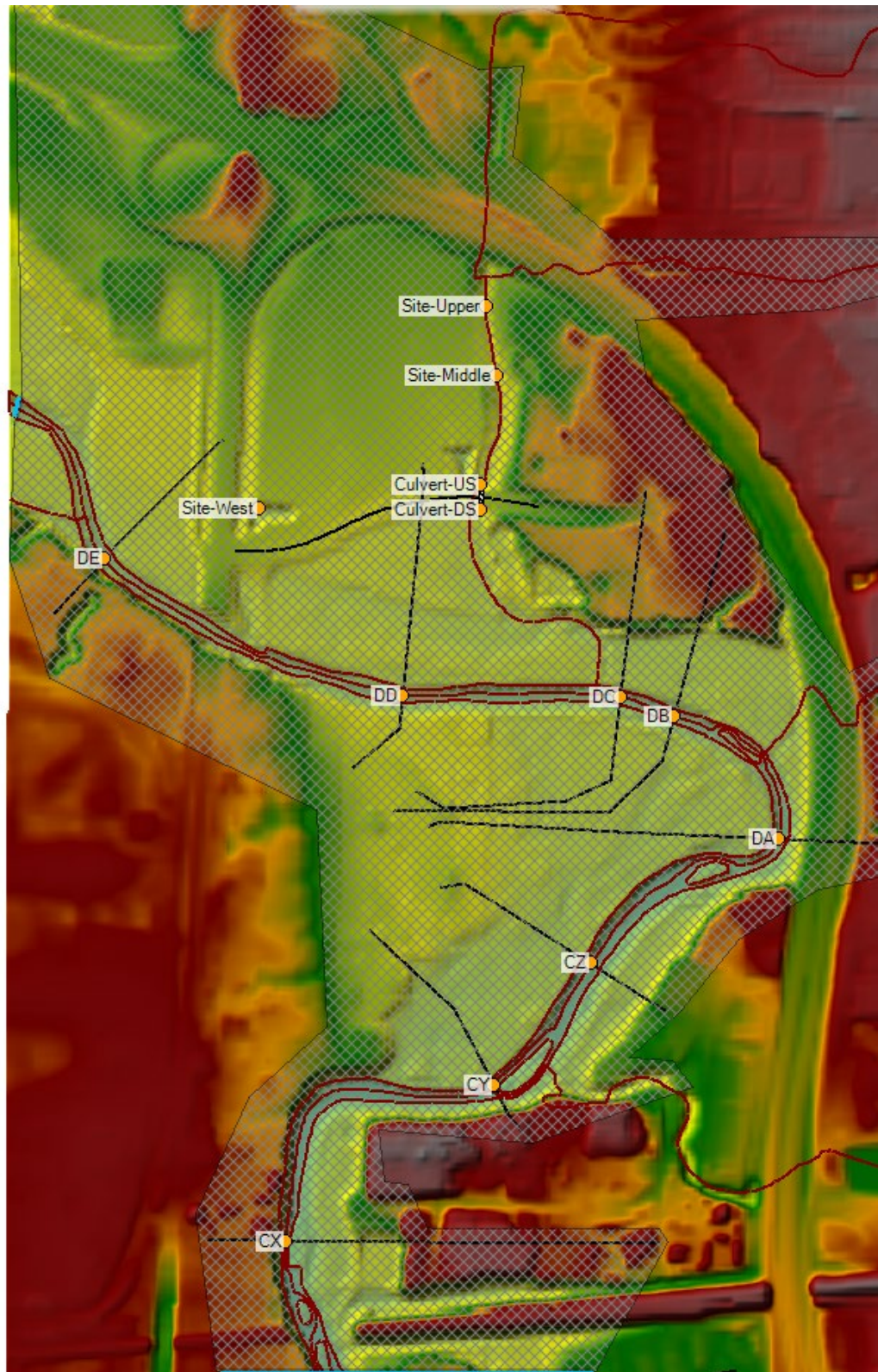


Figure 2: Proposed Fill Model

Table 2 summarizes the WSE results of the HEC-RAS analysis. Agreement between the FEMA model and the new 2-D model created can be seen to have a maximum difference of 1.26 feet at DE and between 0.03 to 0.44 feet through the rest of the model area. FEMA indicates that when a new 2-D model is used, results from changes within the 2-D model need to be provided for the extent where resulting cross-section elevations tie in within 0.5 foot. However, the divergence seen in this model is most likely caused by the upstream and downstream bridges (Hamilton Road and East Broad Street) as they were simply modeled as floodplain constrictions within the 2-D mesh. Despite the simplified bridge modeling approach, the new 2-D model has very close agreement with the FIS study through Sections DD and DC which are the closest sections to our area of interest. Another potential limitation of the model is the effective date of the original model versus the new model. The existing FIS model is dated June 17, 2008, while the new 2-D model uses survey data dated November 17, 2022, and LiDAR from 2011.

Putting in fill at the location of the parcel to raise it above the 100-year event WSE has no net rise on WSEs throughout the study reach. As seen in the table, Site-West is the only location where there is an impact on the WSE. This point is located directly over a proposed dry detention basin within the site that has a pond base elevation of 775 feet. As seen in **Figure 3**, the proposed site at that location has been removed from the floodplain, causing the WSE to be equal to the proposed elevations. Therefore, the fill can be put in above the Elevation 785 shown on the FEMA map as needed, and the parcel can be removed from the floodplain on the FEMA map following submission and approval of a Letter of Map Revision based on fill (LOMR-F) or CLOMR-F.

Table 2
Summary of the Analysis
100-Year Event

Cross Section Observation Points	FEMA WSE (ft)	Existing WSE (ft)	Existing vs FEMA WSE (ft)	Proposed WSE (ft)	Existing vs Proposed WSE (ft)
DE	786.6	787.86	1.26	787.86	0.00
DD	784.2	784.23	0.03	784.22	-0.01
DC	782.9	782.77	-0.13	782.76	-0.01
DB	782.5	782.70	0.20	782.7	0.00
DA	782.4	782.60	0.20	782.6	0.00
CZ	782.1	782.43	0.33	782.43	0.00
CY	781.8	782.24	0.44	782.23	-0.01
CX	781.2	780.82	-0.38	780.82	0.00
Culvert - DS	-	784.11	-	784.11	0.00
Culvert - US	-	784.11	-	784.11	0.00
Site - Middle	-	784.11	-	784.11	0.00
Site- Upper	-	784.11	-	784.11	0.00
Site - West	-	784.11	-	775	-9.11



**PROPOSED MODEL EXTENT
COMPARED TO FEMA FLOODPLAIN**

Summary

The hydraulic analysis conducted on Big Walnut Creek has indicated that the parcel of interest is in the backwater of Big Walnut Creek and that the proposed placement of fill across the parcel will have no impact on the flood elevations of Big Walnut Creek.

Based on these findings, CASTO's proposed plan to place fill on the property in order to elevate the ground elevations out of the 1 percent chance of exceedance floodplain can be accomplished without the need for compensatory excavation. A CLOMR-F can be prepared and submitted to FEMA for approval of the proposed plan to remove the parcels from the floodplain based on elevating the site ground elevations.

It should be noted that the CLOMR-F will not remove the parcel completely from the floodplain, as 0.28 acre of the parcel along the eastern stormwater retention basin are still inundated based on this analysis. A proposed grading plan for the fill placement will be prepared for approval by the City prior to submittal to FEMA as this grading plan will determine the new floodplain extent.

B&N appreciates the opportunity to prepare this hydraulic study for you and are available at your convenience to discuss the findings with you along with the proposed approach to obtaining the required approval for the floodplain revisions.

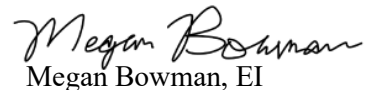
Sincerely,



Brian W. Tornes, PE



Danny T. Ketzer, PE



Megan Bowman, EI

BWT:cmc



June 21, 2023

CP Crescent LLC
132 Preston Rd
Columbus, OH 43209-1653

RE: Project 0 Hamilton Rd Preliminary Plat

Dear CP Crescent LLC:

The following comments were generated from the review of the submitted plans and documents for the referenced project. For the next submittal, please provide a response to comments, revised plans, and/or other information as requested for further review. The response to comments needs to include both the original comment and the appropriate response. If desired, these comments can be emailed. Re-submitted plans that do not include the disposition of comments document will not be reviewed and will be returned to you.

Building (614) 342-4010

1. Any proposed structures regulated by the Ohio Building Code (OBC) will need to have all the required permits and comply with the OBC. *(Informational Comment)* **NOTED**

Parks (614) 342-4261

2. No Comments per Julie Predieri

Planning (614) 342-4025

3. Please revise the application and supporting materials to be on current forms. They can be found at <https://www.gahanna.gov/wp-content/uploads/2022/11/Preliminary-Plat.pdf>.
4. CH 1105.02(c)(5) requires building setbacks to be depicted. Please add to Lot 3. Please remove the 7' parking setback from Lot 2. **ADDRESSED**
5. CH 1105.02(c)(6) requires that any lot to be used for any purpose other than residential needs to be indicated. Please revise Lot 3 accordingly. Staff suggests "commercial". **ADDRESSED**

Engineering Project Administrator (614) 342-4056

6. Use the City of Gahanna Basemap Application as a reference for public utilities owned and operated by the City of Gahanna. *(Informational Comment)* **NOTED AND ADDRESSED**
7. This preliminary review does not constitute a comprehensive engineering design review. A formal site civil review will be conducted upon the approval of the final development plan. *(Informational Comment)* **NOTED**
8. Confirm plat aligns with proposed development between Ortho One, Multi-family Apartments, and other expected development in the area. **PLAT ALIGNS WITH PROPOSED DEVELOPMENTS IN THE AREA**
9. All existing and proposed public easements need to be shown on the preliminary plat.
10. The temporary access road for Ortho One may require a temporary access easement located across lots 3, 5, and 6. **NOTED, TEMPORARY ACCESS EASEMENT NOW SHOWN**

Transportation & Mobility Engineer (614) 342-4050

11. Development shall conform to the City of Gahanna Thoroughfare Plan including but not limited to right-of-way requirements **NOTED**
12. Environmental Plan Application Criteria Item 2 states that a traffic impact study is attached but does not appear to be provided. Please note, the TIS is not included within the submitted plat. The City recognizes the TIS has been submitted separately and is under review. It will not need to be included with the plat submission. *(Informational Comment)* **NOTED**

Utilities Engineer (614) 342-4057

13. No comment

Fire District (welsph@mifflin-oh.gov)

14. The proposed area will need to be revisited for requirements public and private hydrant locations.
15. Fire apparatus roadway calculations will need to be provided for adequate width and spacing.
16. The fire division has no other objection than what is listed.
17. Comments will be given for required fire protection systems when requested.

**NOTED. HYDRANT LOCATIONS
TO BE PROVIDED ON SITE
ENGINEERING PLANS.**

If you have general comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025. If your questions are specific to a certain department's comments, please reach out to that department using the contact information provided with their comments above.

Sincerely,

Kelly Wicker
Planning and Zoning Coordinator

**REACHED OUT TO PAUL FOR FURTHER
DIRECTION ON WHAT IS NEEDED. FIRE
ACCESS ROUTES APPROVED AS PART
THE FINAL DEVELOPMENT PLAN FOR
ORTHO ONE AND CRESCENT WOODS
APARTMENTS.**



July 19, 2023

CP Crescent LLC
132 Preston Rd
Columbus, OH 43209-1653

RE: Project 0 Hamilton Rd Preliminary Plat

Dear CP Crescent LLC:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

Building (614) 342-4010

1. Any proposed structures regulated by the Ohio Building Code (OBC) will need to have all the required permits and comply with the OBC. *(Informational Comment)*

Parks (614) 342-4261

2. No Comments per Julie Predieri

Engineering Project Administrator (614) 342-4056

3. Use the City of Gahanna Basemap Application as a reference for public utilities owned and operated by the City of Gahanna. *(Informational Comment)*
4. This preliminary review does not constitute a comprehensive engineering design review. A formal site civil review will be conducted upon the approval of the final development plan. *(Informational Comment)*

Transportation & Mobility Engineer (614) 342-4050

5. Development shall conform to the City of Gahanna Thoroughfare Plan including but not limited to right-of-way requirements
6. Environmental Plan Application Criteria Item 2 states that a traffic impact study is attached but does not appear to be provided. Please note, the TIS is not included within the submitted plat. The City recognizes the TIS has been submitted separately and is under review. It will not need to be included with the plat submission. *(Informational Comment)*

Utilities Engineer (614) 342-4057

7. No comment

Fire District (weshp@mifflin-oh.gov)

8. Comments will be given for required fire protection systems when requested.
9. The proposed area will need to be revisited for requirements public and private hydrant locations as progression takes place.
10. Fire apparatus temporary roadway is adequate for width and accessibility.

Page 2 of 2
July 19, 2023
Re: Project 0 Hamilton Rd
0 Hamilton Rd

If you have general comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025. If your questions are specific to a certain department's comments, please reach out to that department using the contact information provided with their comments above.

Sincerely,

Kelly Wicker
Planning and Zoning Coordinator



STAFF REPORT

Request Summary

Preliminary plat submission for Crescent Woods, a 40 acre tract of land adjacent to Hamilton Rd and Tech Center Drive. The plat proposes three lots, one of which is zoned Multifamily Residential (L-MFRD) and is approved for approximately 290 apartments with associated amenities. Lots 2 and 3 are zoned Select Commercial Planned District (SCPD). Lot 2 recently went through the entitlement process and was approved for 60,000 square feet of medical office. Development plans for lot 3 are unknown at this time.

The plat also includes a new roadway, Crescent Boulevard, that will provide access to all three lots.

All three lots exceed minimum zoning requirements for lot size, frontage, etc. No variances are necessary.

If the preliminary plat is approved by Planning Commission, then a final plat will be required. The final plat is essentially the same application and process except Planning Commission makes a recommendation on the final plat and City Council approves or denies the request.

Preliminary Plat

The zoning code does not provide any factors of consideration to approve or deny a request other than that if a variance is necessary, it needs to be approved prior to the preliminary plat.

Staff Comments

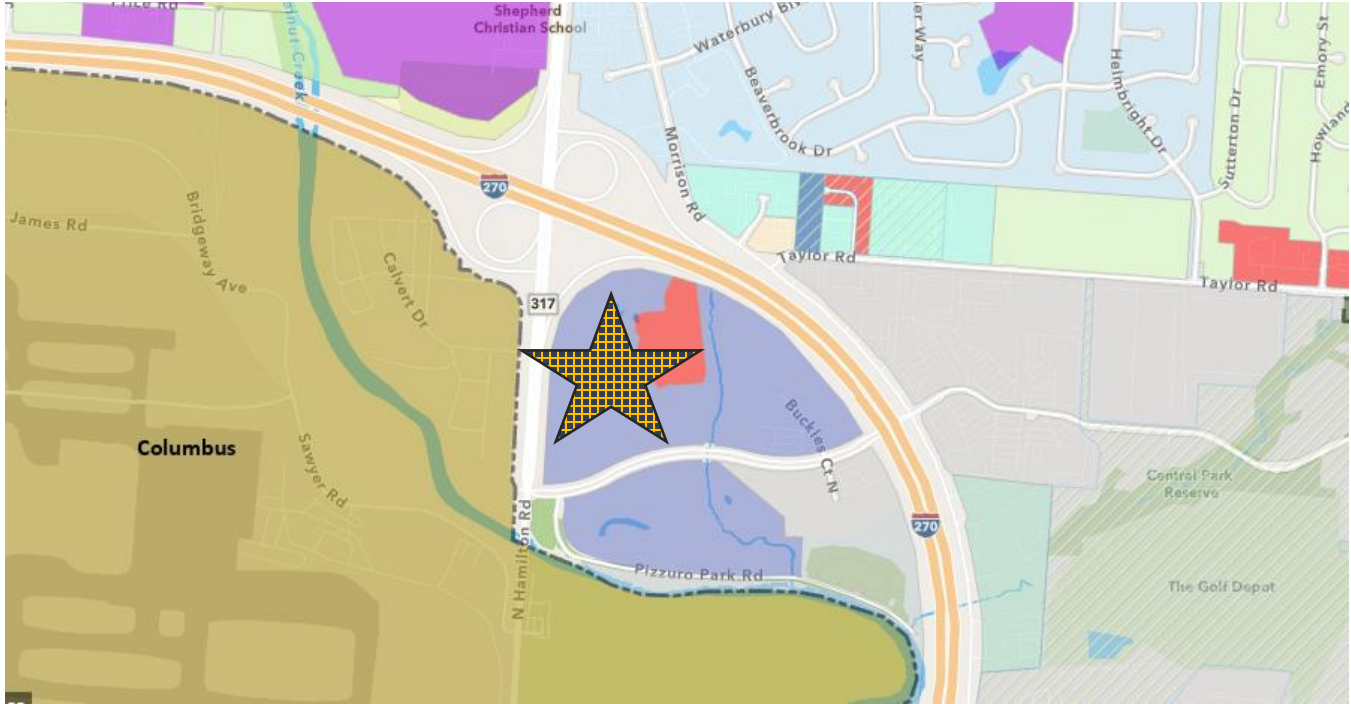
Staff recommends approval of the request as submitted.

If approved, staff anticipates a final plat application to be submitted in the very near future and would anticipate a public hearing shortly thereafter.



DEPARTMENT OF PLANNING

Location/Zoning Map



Respectfully Submitted By:
Michael Blackford, AICP
Director of Planning