

APPLICATION FOR FINAL DEVELOPMENT PLAN

City of Gahanna, Ohio ■ Planning Commission
200 S. Hamilton Road, Gahanna, OH 43230 ■ Phone: (614) 342-4025 ■ Fax: (614) 342-4117

***REQUIRED INFORMATION:** All correspondence will be addressed to the applicant.

*Applicant Name: JEA Senior Living / Development - Rachel Rudiger *Phone: 360-977-0175
 *Applicant Address: 13242 Galena Way Apple Valley, MN 55124 *Fax: NA
 *Applicant Email: rachel.rudiger@jeacorp.com
 *Applicant's Relationship to Project: Land Owner Option Holder Cont. Purchaser Agent
Purchase & Sale Agreement in Place
 *Name of Final Development Plan: Gahanna Alzheimer Special Care Center
 *Address of Final Development Plan: 5195 - 5221 Morse Road Gahanna, OH
 *Parcel ID# Multiple - See Below *Total Acreage 4.127 AC *Current Zoning SO - Suburban Office
027-000101, 025-011232, 027-000100, 027-000102.
 *Project Description: 1 Story - 66 Bed Alzheimer Special Care Center, This is a state of the art, specialized memory care facility that focuses exclusively on Alzheimer's, dementia and related memory issues that afflict our aging seniors.
 *Applicant's Signature *Rachel Rudiger* *Date 9/21/15

ADDITIONAL CONTACT INFORMATION:

Property Owner Name: Pierce Partners, LLC Phone: 614-496-6587
 Property Owner Address: 5201 Morse Road Columbus, OH 43230 Fax: NA
 Contact Name: Mike Pierce Email: mike@pierceconstructioninc.com
 Developer Name: JEA Senior Living / Development Phone: 503-559-4782
 Developer Address: 5101 82nd Ave Suite 200 Vancouver, WA 98662 Fax: NA
 Contact Name: Carl Sanders Email: carl.sanders@jeacorp.com

***SUBMISSION REQUIREMENTS:** Applications are not complete until all submission requirements are received and accepted by the Planning and Zoning Administrator.

1. A Pre-Application Conference shall be scheduled with the Planning and Development Department.
2. A plan that complies with the Final Development Plan requirements stated in Chapter 1108.
3. A plan that complies with the 2011 State of Ohio Fire Code Fire Service Requirements.
4. Three (3) copies of plans: 24x36 size **folded** (not rolled) to 8 1/2 X 11 size prior to submission.
5. One (1) digital copy of completed application and associated plans.
6. A list of contiguous property owners and their mailing addresses.
7. Pre-printed mailing labels for all contiguous property owners.
8. Completed Final Development Plan Checklist from page 2 of this application.
9. Notarized Agreement to Build as Specified document from page 3 of this application.
10. Application Fee of \$500.

In accordance with Chapter 1108 of the Codified Ordinances of Gahanna, Ohio, I hereby certify that this project, as stated above, was for approved by the City of Gahanna Planning Commission on _____.

Planning & Zoning Administrator's Signature _____ Date _____

For Internal Use:

SunGard File No. 15100002
 PC File No. FDP-3-2015
 Public Hearing Date: Nov 18 2015


OCT 01 2015 **OCT 01 2015**
 SW (Received) BY: SWck #2335 (Paid)

ACCEPTED
OCT 30 2015
 By: SW
 (Accepted by PZA)

Final Development Plan Checklist

Applicant
Or Agent

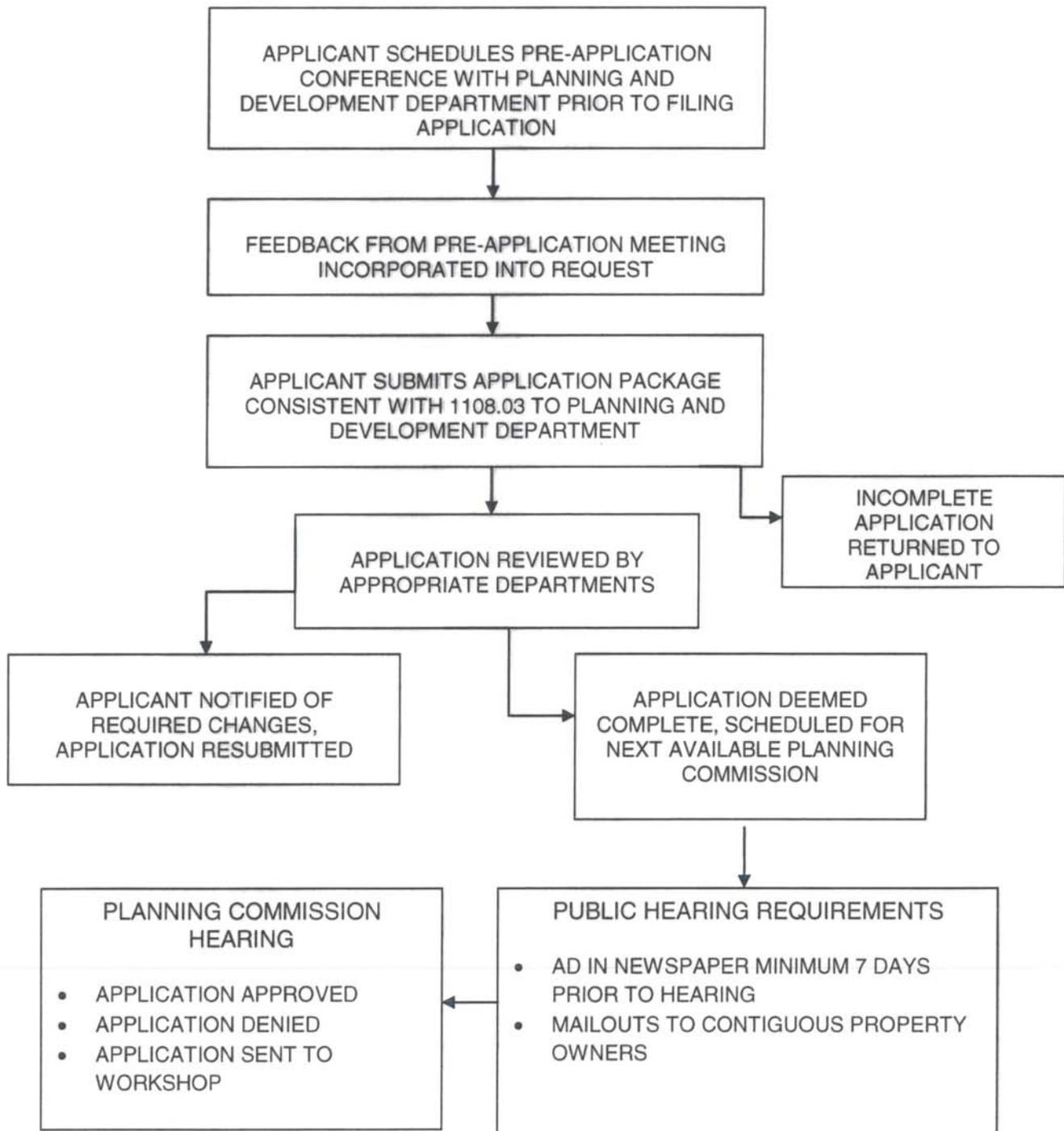
Planning & Zoning
Administrator

A. The Final Development Plan shall contain the following:		
1. Scale: Minimum – one inch equals 100 feet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. The proposed name of the development, approximate total acreage, north arrow, and date.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. The names of any public and/or private streets adjacent to or within the development.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Names and addresses of owners, developers and the surveyor who designed the plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Vicinity map showing relationship to surrounding development and its location within the community.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Natural features currently within proposed development, including drainage channels, tree lines bodies of water, and other significant features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Current zoning district, building and parking setbacks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Proposed location, size and height of building and/or structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Proposed driveway dimensions and access points.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Proposed parking and number of parking spaces.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Distance between buildings.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. List of adjacent property owners for notification.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. Reduced site plan suitable for showing on an overhead projector.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Any other information the Planning Commission may deem to be necessary to evaluate the application. These items can include such things as elevations, traffic studies, floor plans, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
B. In addition to the aforementioned requirements, the developer shall submit a table of development calculations. This table shall include:		
1. Parking calculations: (square footage of proposed buildings, number of spaces per square foot, number of spaces required, and actual number of spaces proposed).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Lot coverage calculations: (square footage of site, area of permanently impervious surfaces broken down into buildings and parking, area of uncovered land, coverage requirements, proposed lot coverage).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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(Ord. 132-96. Passed 8-6-96.)		
C. The Final Development Plan should provide preliminary details regarding stormwater management, availability of utilities, necessary easements for construction, and other similar information as applicable. Details may be addressed on the plan or within a narrative summary. Information should be sufficient to demonstrate how these areas will generally be addressed.	<input checked="" type="checkbox"/>	<input type="checkbox"/>



CITY OF GAHANNA

FINAL DEVELOPMENT PLAN PROCEDURES





CITY OF GAHANNA

Agreement to Build as Specified

Your signature below affirms that, as the **Applicant/Property Owner/Developer/Business Owner**
(Please Circle One)

JEA Senior Living / Development - Rachel Rudiger (Applicant)

(Please Print Name)

for Gahanna Alzheimer Special Care Center,

(Please Print Final Development Plan Name & Address)

you will build the project as approved and specified by the Planning Commission for the City of Gahanna. You also agree that any necessary change(s) to the project must go back through the Planning Commission process to amend the plans unless otherwise approved Administratively by the Department of Development.

Signature *Rachel Rudiger*

Date 9/21/2015

See attached

(Signature of Notary)

(Date)

Stamp/Seal



Acknowledgment by Individual

State of Minnesota County of Dakota

On this 21st day of September, 20 15, before me, Gabriel Geisness
Name of Notary Public

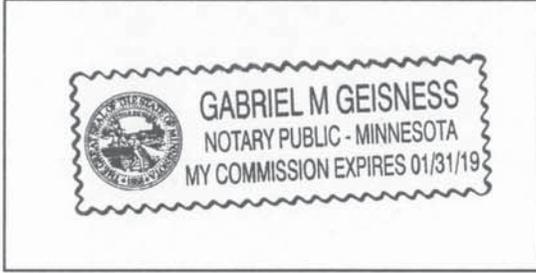
the undersigned Notary Public, personally appeared
Rachel Rudiger

Name of Signer(s)

- Proved to me on the oath of _____
- Personally known to me
- Proved to me on the basis of satisfactory evidence Minnesota Driver's License
(Description of ID)

to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged that he/she/they executed it.

WITNESS my hand and official seal.



Notary Seal

Gabriel Geisness
(Signature of Notary Public)

My commission expires January 31st
2019

Optional: A thumbprint is only needed if state statutes require a thumbprint.

Right Thumbprint of Signer
Top of thumb here

Description of Attached Document

Type or Title of Document
Agreement to Build as Specified

Document Date
09/21/2015

Number of Pages
one

Signer(s) Other Than Named Above
None



FO01-00000DSG5350-01

COMBINATION REQUEST OF TAX PARCELS

MAP & PAGE _____

DATE 8/11/2015

I, Mike Pierce as the owner, owner's representative do hereby authorize request the Franklin County Auditor to combine the following parcels located in the taxing district of (027) Gahanna - Jefferson Township

Gahanna Schools

PARCEL NUMBERS: PN: 027-000100
PN: 027-000101
PN: 027-000102

Buildings : Yes No

Current Owner Pierce Partners, LLC - Mike Pierce

REASON FOR COMBINATION REQUEST:

Planning Commission Requirement Building Permit Personal Convenience
Other _____

* I understand that the parcels must be contiguous (touching) and that title must be held identically in each parcel to be combined.

Signed 

Phone # 614-855-9494

** Since taxes are assessed on each parcel according to its status on January 1 of the current year, your tax bills for this year will not reflect the combination.

*** Once combination form has been filed, you must seek Planning Commission approval to split properties.

AUDITOR'S COMMENTS

GIS MAP VERIFIED:

OWNERSHIP VERIFIED:

PARCEL SHEET VERIFIED:

<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>

PARCEL NUMBER RETAINED: 027-000100

DEPUTY AUDITOR: 

**BEFORE THE BOARD OF BUILDING APPEALS
STATE OF OHIO**

Pierce Partners LLC)
5201 Morse Road)
Gahanna, Ohio 43230)

Case No. 15-0102

Appellant)

-vs-)

FINAL ORDER

Kenneth W. Fultz, Building Official)
City of Gahanna Building Dept.)
200 South Hamilton Rd.)
Gahanna, Ohio 43230)

Appellee)

This matter came up for hearing Monday, May 18, 2015 in Reynoldsburg, Ohio on an appeal from Adjudication Order No. 15050039, dated May 7, 2015 (revised May 18, 2015), issued by the City of Gahanna Building Department. Said adjudication order involved the premises known as Pierce Partners LLC, 5201 Morse Rd., Gahanna, Ohio.

Based on evidence adduced by, and representations of the Appellant and the Appellee, the Appellant appealed Item 2 of the adjudication order and agreed to comply with all other items.

The Board having determined that inasmuch as it would not be contrary to the public interest and unnecessary hardship would result if a literal enforcement of the Ohio Building Code and/or the Ohio Fire Code was required, a variance against Item 2 of the adjudication order is given.

Item 2 of the adjudication order states OBC 106.1 and 706.1.1. The structure is indicated to cross a property lines, although no walls have been indicated or how the structure can be approved for compliance with the OBC. Indicate any fire walls for the structure or locate the structure to comply with the required separation distances or provide the necessary construction documents and structural documentation for fire walls at the property lines.

Variance is conditioned upon the following:

1. Parcels shall remain under common ownership for the existence of the structure and the owner shall execute appropriate deed restrictions to effect the same; with executed copies to be submitted for record to the Franklin County, Ohio Recorder. An executed copy shall also be provided to the Board of Building Appeals and the Gahanna Building Official.
2. This variance is granted based on the use, construction, occupant load, square footage and level of activity identified on the approved construction documents including the maintenance of all building systems and any conditions required herein.

Final Development Plan Checklist

Applicant
Or Agent

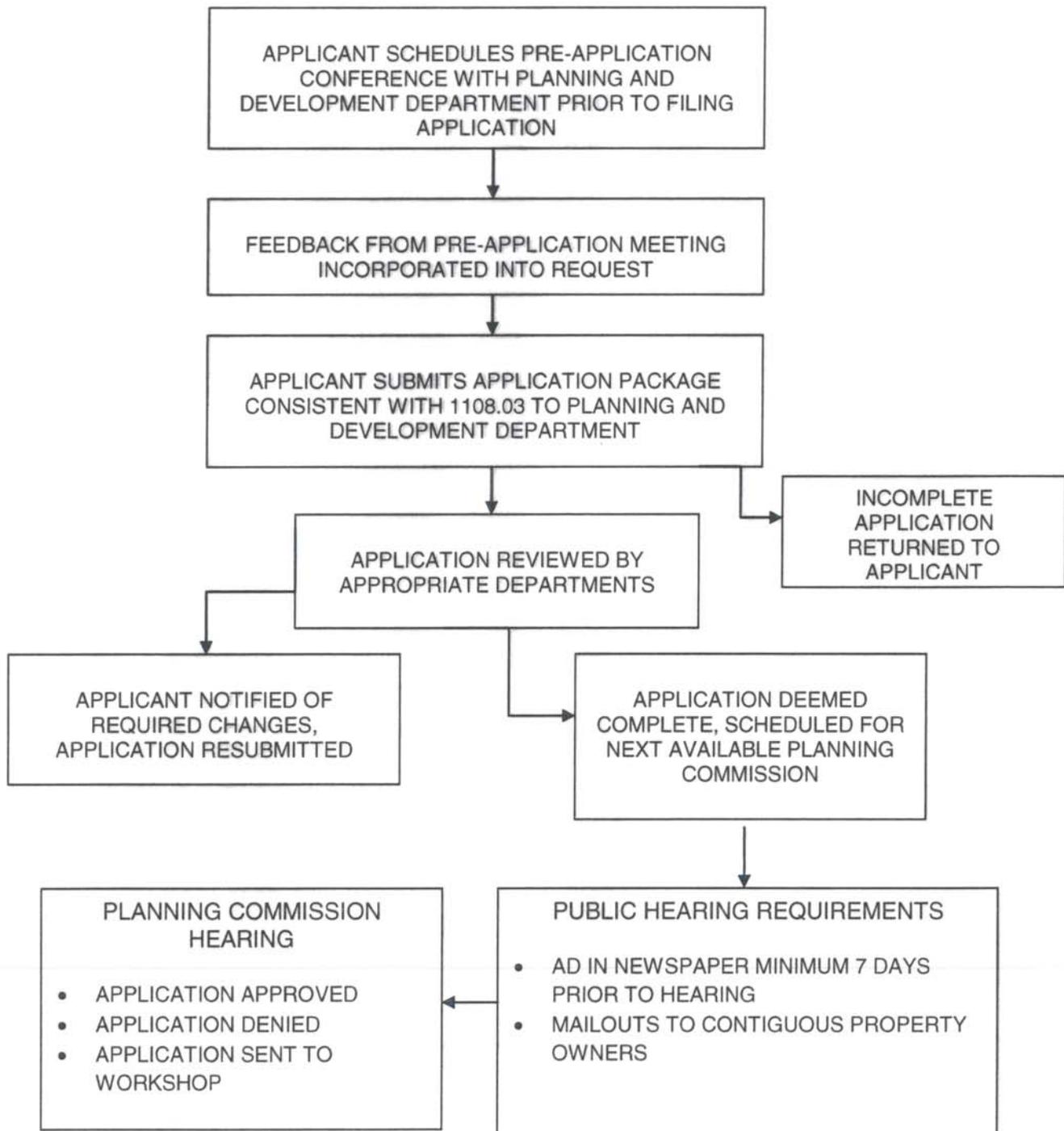
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CITY OF GAHANNA

Agreement to Build as Specified

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(Please Circle One)

JEA Senior Living / Development - Rachel Rudiger (Applicant)

(Please Print Name)

for Gahanna Alzheimer Special Care Center,

(Please Print Final Development Plan Name & Address)

you will build the project as approved and specified by the Planning Commission for the City of Gahanna. You also agree that any necessary change(s) to the project must go back through the Planning Commission process to amend the plans unless otherwise approved Administratively by the Department of Development.

Signature *Rachel Rudiger*

Date 9/21/2015

See attached

(Signature of Notary)

(Date)

Stamp/Seal



Acknowledgment by Individual

State of Minnesota County of Dakota

On this 21st day of September, 20 15, before me, Gabriel Geisness
Name of Notary Public

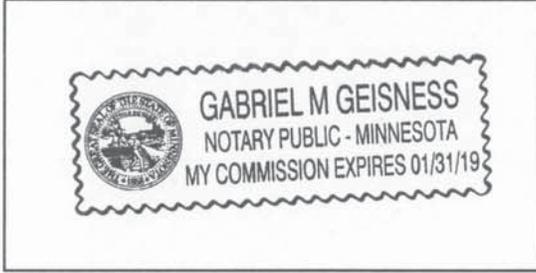
the undersigned Notary Public, personally appeared
Rachel Rudiger

Name of Signer(s)

- Proved to me on the oath of _____
- Personally known to me
- Proved to me on the basis of satisfactory evidence Minnesota Driver's License
(Description of ID)

to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged that he/she/they executed it.

WITNESS my hand and official seal.



Notary Seal

Gabriel Geisness
(Signature of Notary Public)

My commission expires January 31st
2019

Optional: A thumbprint is only needed if state statutes require a thumbprint.

Right Thumbprint of Signer
Top of thumb here

Description of Attached Document

Type or Title of Document
Agreement to Build as Specified

Document Date
09/21/2015

Number of Pages
one

Signer(s) Other Than Named Above
None



FO01-00000DSG5350-01

September 10, 2015

From:

Colliers International

Abram M. Schwarz
Senior Associate
200 Public Square | Suite 1200
Cleveland, OH 44114 | United States
Direct +1 216 239 5072 | Main +1 216 239 5060

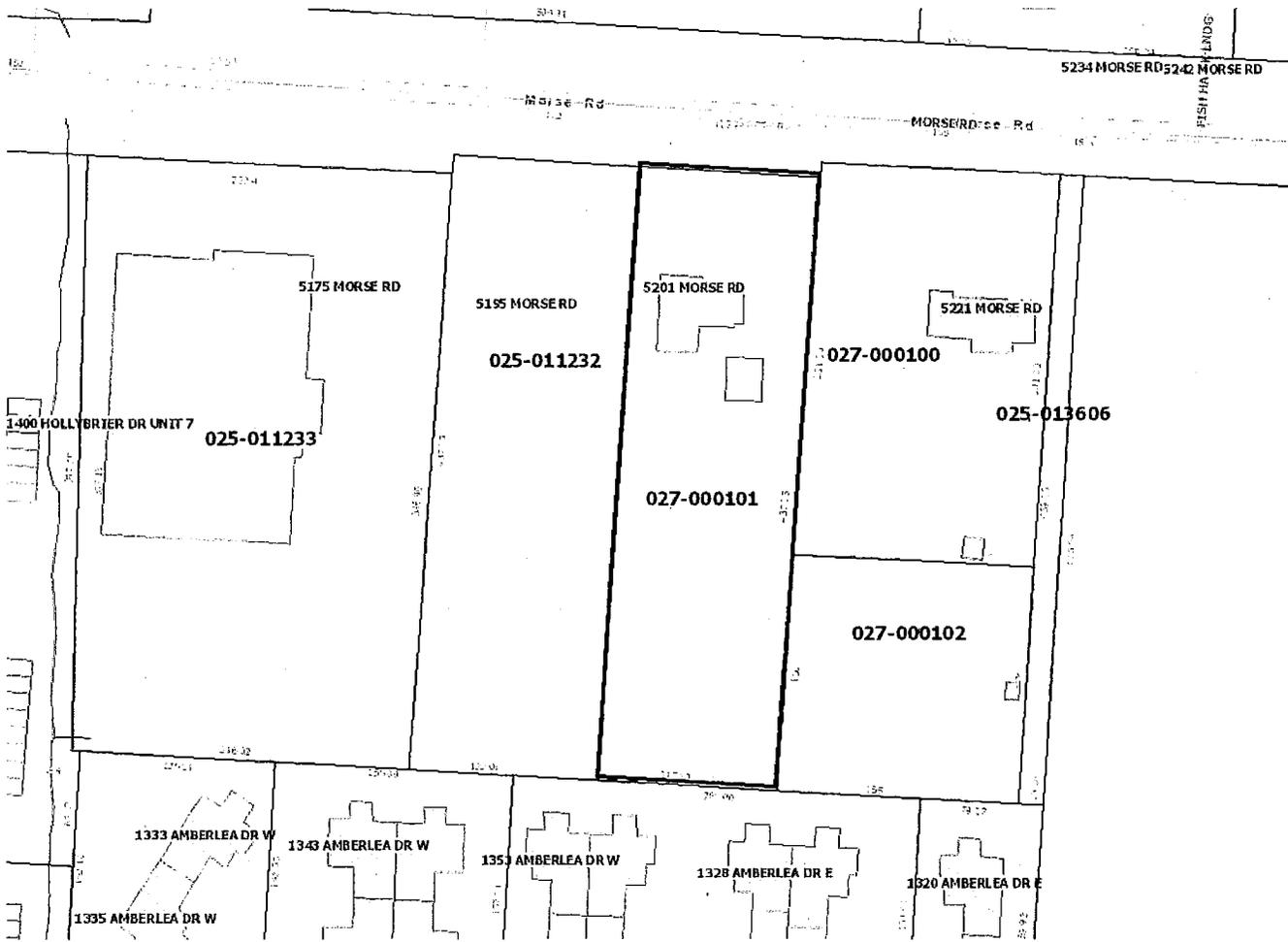
RE: JEA - Gahanna, OH – Contiguous Adjacent Property Owners

On September 10th, 2015 Colliers International provided JEA will all Contiguous Property Owners adjacent to and across the street from our Proposed Alzheimer Special Care Center Parcel. Below, please find a list of the Parcel IDs, Property Owners, and addresses. Also included is 2 sets of mailing labels to use as needed.

<u>Parcel ID</u>	<u>Name</u>	<u>Address</u>
025-011233-00	Pizzuti/Stonybrook Medical Center LLC	2 Miranova Pl, Suite 800, Columbus, OH 43215
025-011219-00	Morgan, Monica Morgan	6945 Walnut St., New Albany, OH 43054
010-282320-00	Kolik, Jan R	3661 Fish Hawk Landing, Columbus, Ohio 43230
010-274689-00	LC Preserve Crossing LLC	230 West St., Suite 200, Columbus, Ohio 43215
025-013467-00	Baker, Susan M	1351 Amberlea Dr. W, Columbus, Ohio 43230
025-013400-00	Jackson, Elizabeth S	1341 Amberlea Dr., Columbus, Ohio 43230
025-013607-00	Householder, Vicky L and Kenneth L	1318 Amberlea Dr., Columbus, Ohio 43230

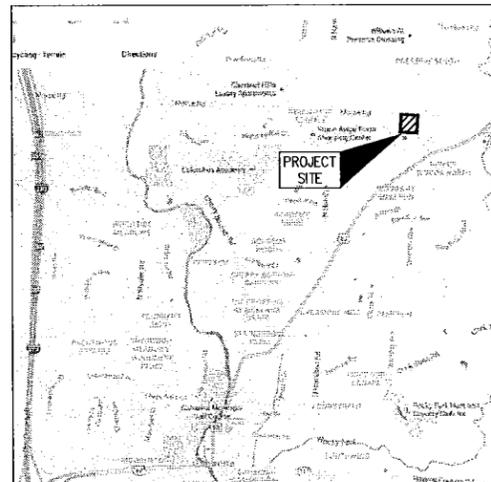
Thank you,

Rachel Rudiger
Land Use & Design Manager
JEA Senior Living
360-977-0175



GAHANNA ALZHEIMER SPECIAL CARE CENTER 5195-5221 MORSE ROAD CITY OF GAHANNA, COUNTY OF FRANKLIN, OHIO SITE IMPROVEMENT AND SWPPP PLANS

AUGUST 2015



VICINITY MAP

NOT TO SCALE



UTILITY CONTACT INFORMATION

CITY OF GAHANNA – STORMWATER, SANITARY & WATER
CITY ENGINEER – MR. ROB PRIESTAS
WATER RESOURCES ENGINEER – MR. JEFF FELTZ
200 SOUTH HAMILTON
GAHANNA, OHIO 43230
(614) 342-4050

COLUMBIA GAS OF OHIO – GAS
1-800-440-6111

AT&T – PHONE

AEP – ELECTRIC
850 TECH CENTER DRIVE
GAHANNA, OHIO 43230
(614) 883-6802

TIME WARNER – CABLE

CONSULTING ENGINEER
MICHAEL WOHLWEND, PE
WOHLWEND ENGINEERING GROUP, LTD
4216 KARG INDUSTRIAL PKWY
KENT, OH 44240
(330) 673-2400

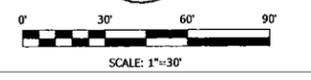
DEVELOPER
JEA SENIOR LIVING
12115 NE 99TH STREET, SUITE 1800
VANCOUVER, WA 98682
360-254-9442

INDEX OF SHEETS:

TITLE SHEET	C-TS
EXISTING CONDITIONS AND DEMOLITION PLAN	C-1
SITE PLAN	C-2
UTILITY PLAN	C-3
STORM SEWER PROFILES	C-4
GRADING PLAN AND SWP3	C-5
GRADING DETAILS	C-6
SWP3 NOTES AND DETAILS	C-7
CONSTRUCTION NOTES AND DETAILS	C-8
CONSTRUCTION NOTES AND DETAILS	C-9
CONSTRUCTION NOTES AND DETAILS	C-10

 2 WORKING DAYS BEFORE YOU DIG <small>OHIO UTILITIES PROTECTION SERVICE</small>	 <small>SURVEY PERFORMED BY:</small> CAMPBELL & ASSOCIATES, INC. <small>Surveying - Engineering</small> 3405 Farnham Drive Suite 100 Akron, Ohio 44312 (330) 945-4117 www.campbellsurvey.com
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TITLE SHEET		
GAHANNA ALZHEIMER SPECIAL CARE CENTER 5195-5221 MORSE ROAD CITY OF GAHANNA, FRANKLIN COUNTY, OHIO		
Date: 09-21-2015	Revisions	Date
Drawn By: JUF	REV. PER CITY	10-28-2015
Checked By: MJW		
 4216 KARG INDUSTRIAL PKWY KENT, OH 44240 (330) 673-2400		JOB NO. 20150040 SHEET: C-TS



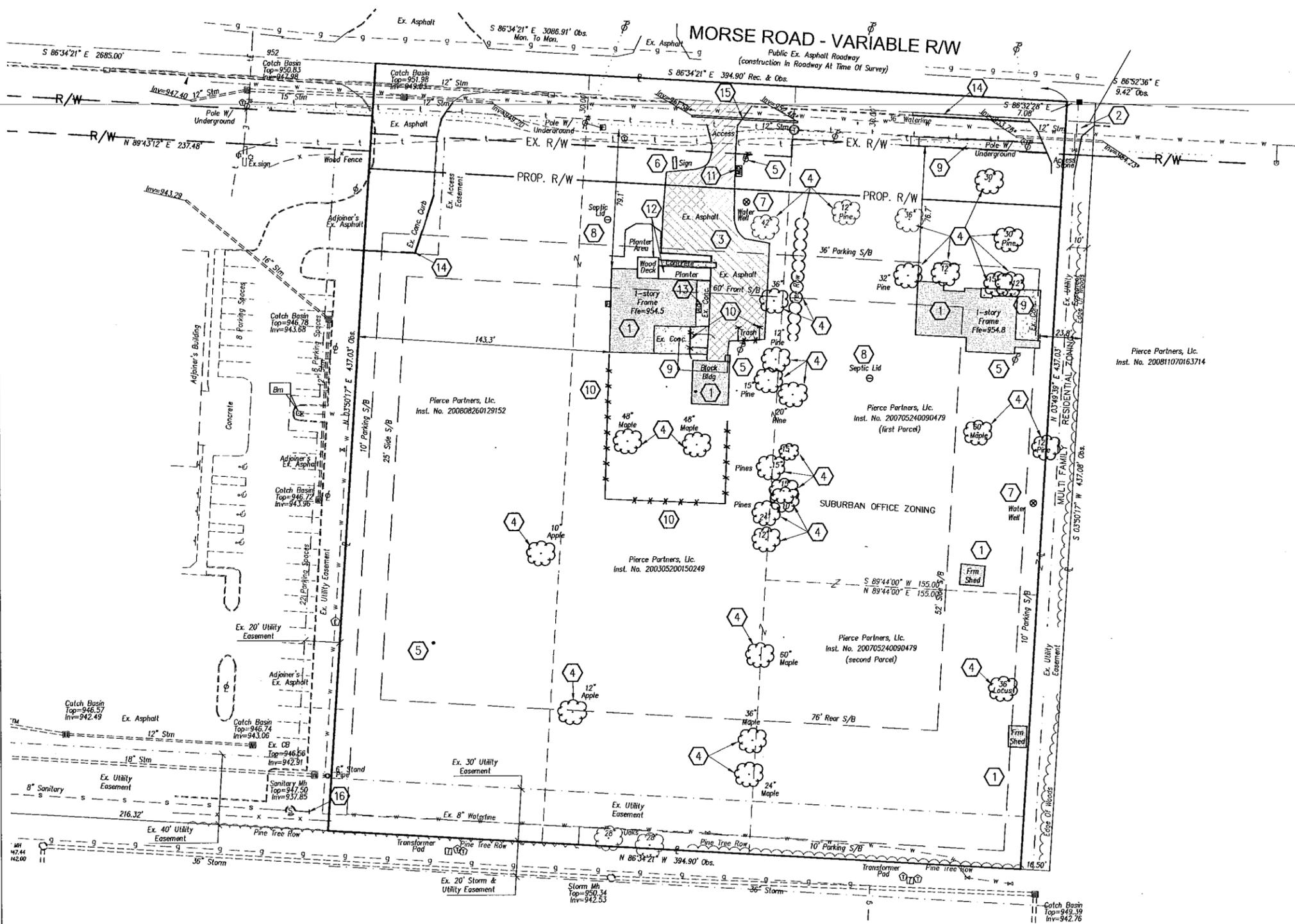
BASIS OF BEARINGS
 THE BASIS FOR BEARINGS FOR THIS SURVEY IS S 86°34'21" E AS THE CENTERLINE OF MORSE ROAD AND IS THE SAME BEARING FOUND ON THE FRANKLIN COUNTY ENGINEER'S CENTERLINE SURVEY PLAT ON MORSE ROAD.

BENCHMARK
 10" IN OPEN, TOP OF EXISTING FIRE HYDRANT LOCATED WEST OF WESTERLY PROPERTY LINE.
 ELEVATION = 951.15

LEGEND

- ⊕ - LIGHT POLE
- ⊕ - TELEPHONE POLE
- ⊕ - ELECTRIC METER
- ⊕ - ELECTRIC LINE MARKER
- ⊕ - VAULT
- ⊕ - HYDRANT
- ⊕ - WATER LINE MARKER
- ⊕ - CATCH BASIN
- ⊕ - WATER METER
- ⊕ - WATER VALVE
- ⊕ - SANITARY MANHOLE
- ⊕ - STORM MANHOLE
- ⊕ - GAS VALVE
- ⊕ - GAS METER
- ⊕ - GAS LINE MARKER
- ⊕ - CENTERLINE
- R/W - RIGHT-OF-WAY
- ⊕ - FLAGPOLE
- x — - FENCE
- - POST
- - SIGN
- FTE - EX. FINISHED FLOOR ELEVATION
- - EX. CONTOURS
- 1000' x - EX. SPOT ELEVATION

NOTE:
 EXISTING INFORMATION ALONG THE SOUTH SIDE OF MORSE ROAD WAS TAKEN FROM THE CITY OF GAHANNA'S "MORSE ROAD SOUTH SIDE IMPROVEMENTS" PLANS. CONSTRUCTION OF THESE IMPROVEMENTS WAS NOT COMPLETE AT THE TIME OF PREPARATION OF THIS SET OF PLANS. ALL EXISTING INFORMATION (IE, FINAL STRUCTURE LOCATIONS, ELEVATIONS, ETC.) IN THE MORSE ROAD ROW MUST BE FIELD VERIFIED BY THE CONTRACTOR DURING PERFORMANCE OF THE WORK, AND ADJUSTMENTS MADE TO MATCH EXISTING CONDITIONS.



DEMOLITION NOTES

1. BACKFILL ANY EXCAVATIONS RESULTING FROM REMOVALS, INCLUDING BASEMENTS, ACCORDING TO ODOT ITEM 203 - EXCAVATION AND EMBANKMENT WITH GRANULAR BACKFILL MEETING ODOT ITEM 304.
2. REMOVE AND ABANDON, AS REQUIRED, ALL EXISTING UTILITY SERVICES (ELECTRIC, TELEPHONE AND CABLE) TO THE RIGHT-OF-WAY IN ACCORDANCE WITH THE LOCAL REGULATIONS OF EACH RESPECTIVE UTILITY COMPANY. ANY AND ALL UTILITY MAINS THAT NEED TO BE REMOVED OR RELOCATED BY THE RESPECTIVE UTILITY COMPANIES ARE TO BE COORDINATED BY THE GENERAL CONTRACTOR.
3. THE EXISTING UNDERGROUND UTILITIES AS SHOWN ARE OBTAINED FROM A COMBINATION OF FIELD LOCATION AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, WHERE PROVIDED. THESE UTILITIES, THEIR LOCATION AND THEIR ACTIVE OR INACTIVE STATUS, SHOULD BE VERIFIED BY CONTACTING THE OHIO UTILITY PROTECTION SERVICE (O.U.P.S.), PRIOR TO CONSTRUCTION. LOCATION, SIZE, DEPTH, AND STATUS OF USE ARE SHOWN AS ACCURATE AS POSSIBLE WITH THE AVAILABLE DATA.
4. ALL MATERIALS TO BE REMOVED SHALL BE DISPOSED OF IN A PROPER MANNER IN COMPLIANCE WITH ALL APPLICABLE CODES & LAWS.
5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO PERFORM CONSTRUCTION, INCLUDING WORK WITHIN THE RIGHT-OF-WAY.
6. CONTRACTOR SHALL RESTORE ALL OFFSITE AREAS DISTURBED BY CONSTRUCTION TO A CONDITION THAT IS EQUAL OR BETTER THAN THE CONDITIONS THAT EXISTED PRIOR TO CONSTRUCTION.
7. ALL PAYMENT, CURB AND SIDEWALK TO BE REMOVED SHALL BE SAW CUT FULL DEPTH AT EXISTING CONSTRUCTION JOINTS. ALL SAW CUTTING MUST BE DONE WET TO CONFORM TO THE OHIO EPA'S FUGITIVE DUST ACT.

KEYED NOTES

- 1 - REMOVE EXISTING BUILDINGS IN THEIR ENTIRETY PER ODOT ITEM 202.
- 2 - REMOVE EXISTING STONE PAVEMENT PER ODOT ITEM 202.
- 3 - REMOVE EXISTING ASPHALT PAVEMENT PER ODOT ITEM 202.
- 4 - REMOVE EXISTING TREE PER ODOT ITEM 201.
- 5 - REMOVE/RELOCATE EXISTING UTILITY SERVICE POLE AND OVERHEAD WIRES. COORDINATE WITH OWNER OF POLE.
- 6 - REMOVE EXISTING SIGN PER ODOT ITEM 202. RETURN SIGN TO OWNER.
- 7 - EXISTING WATERLINE AND WELL TO BE REMOVED PER CITY/COUNTY STANDARDS AND SPECIFICATIONS.
- 8 - EXISTING SEPTIC SYSTEM TO BE REMOVED/ABANDONED PER CITY/COUNTY STANDARDS AND SPECIFICATIONS.
- 9 - REMOVE EXISTING CONCRETE PAVEMENT, WALKS, CURBS, ETC. PER ODOT ITEM 202.
- 10 - REMOVE EXISTING FENCE PER ODOT ITEM 202.
- 11 - REMOVE EXISTING MAIL BOX PER ODOT ITEM 202.
- 12 - REMOVE EXISTING WOOD DECK/PLANTER PER ODOT ITEM 202.
- 13 - REMOVE EXISTING A/C UNIT PER ODOT ITEM 202.
- 14 - REMOVE EXISTING CONCRETE CURB (& GUTTER) PER ODOT ITEM 202 TO THE LIMITS SHOWN.
- 15 - REMOVE EXISTING CULVERT BENEATH ACCESS DRIVE PER ODOT ITEM 202. RESHADE ROADSIDE DITCH PER ODOT ITEM 203 TO MATCH EXISTING DITCH. MAX. SIDE SLOPES SHALL BE 3H:1V. SEE "NOTE THIS SHEET."
- 16 - REMOVE EXISTING SANITARY STUB PER ODOT ITEM 202. SEE SHEET C-3 FOR PROPOSED SANITARY LATERAL CONNECTION.

2 WORKING DAYS BEFORE YOU DIG

SURVEY PERFORMED BY: CAMPBELL & ASSOCIATES, INC.
 Surveying • Engineering
 3485 Furlow Drive Suite 100
 Anna, Ohio 44202
 (330) 465-4117
 www.campbellsurvey.com

CALL TOLL FREE: 811

OHIO UTILITIES PROTECTION SERVICE

EXISTING CONDITIONS & DEMOLITION PLAN

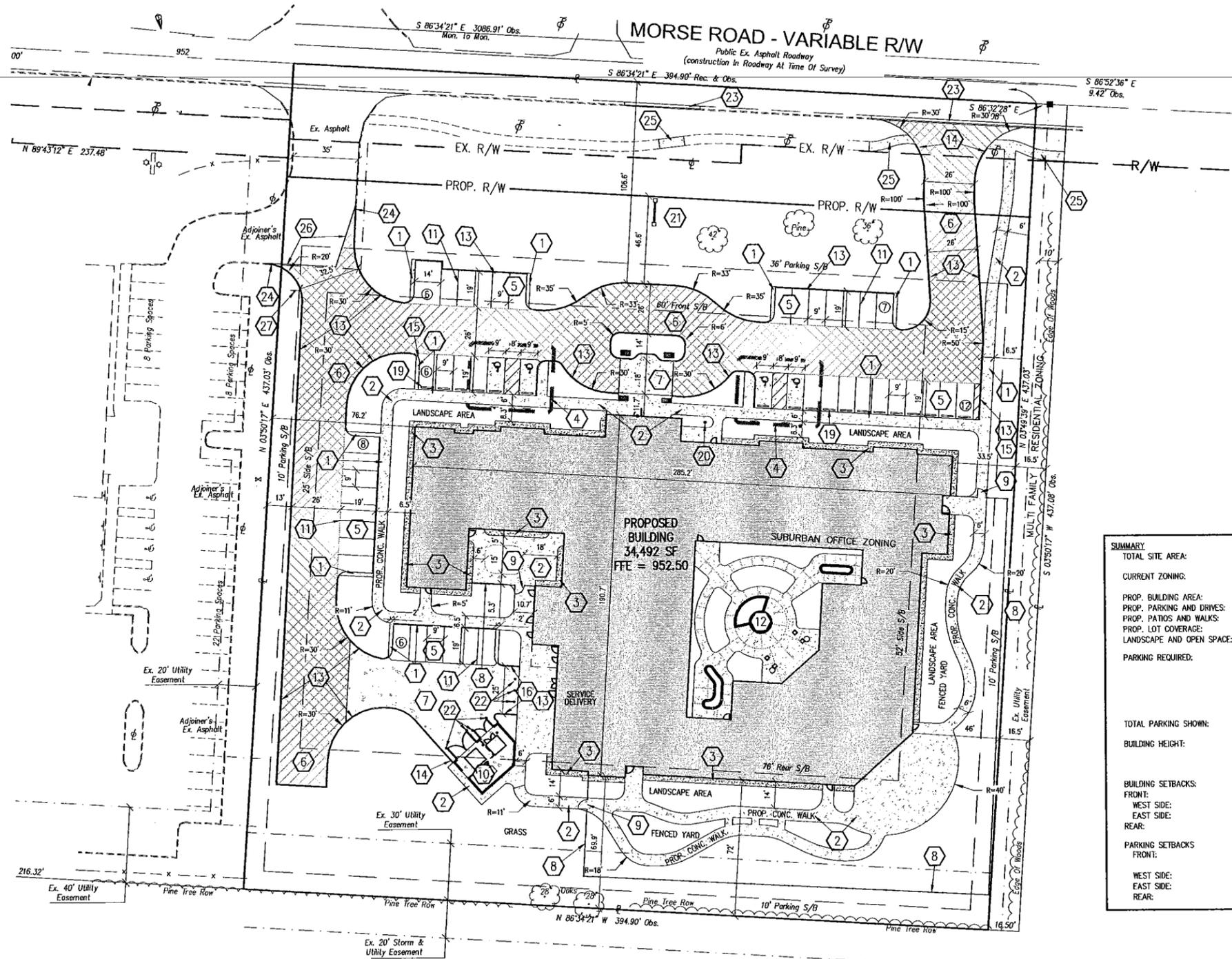
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 CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

Date:	09-21-2015	Revisions	Date
Drawn By:	JJF	REV. PER CITY	10-28-2015
Checked By:	MJW		

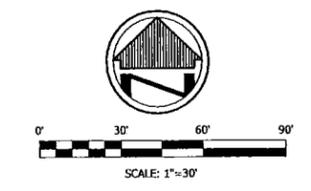
4216 KARG INDUSTRIAL PKWY
 KENT, OH 44240
 (330) 673-2400

JOB NO. 20150040
 SHEET: C-1

wohlwend engineering group



- Legend**
- Rec. - Record
 - Calc. - Calculated
 - Obs. - Observed
 - T.p.a.b. - True Place Of Beginning
 - P.a.b. - Place Of Beginning
 - Monument Box
 - Monument Found, Size & Type As Indicated.
 - - 5/8" Rebar, 30 inches in Length, With I.D. Cap Cap Set
 - △ - P.K. (masonry) Nail Set
 - (x'x'x'x' x'x'x') - Record Bearing & Distance
 - ⊕ - Power Pole
 - ⊙ - Light Pole
 - ⊗ - Telephone Pole
 - X — Fence
 - Post (bolard)
 - Handicap Space
 - Sign
 - R/W - Right-of-way
 - Property Line
 - ⊕ - Proposed Light Poles



BASIS OF BEARINGS
 THE BASIS FOR BEARINGS FOR THIS SURVEY IS S 86°34'21" E AS THE CENTERLINE OF MORSE ROAD AND IS THE SAME BEARING FOUND ON THE FRANKLIN COUNTY ENGINEER'S CENTERLINE SURVEY PLAT ON MORSE ROAD.

KEYED NOTES

- 1 - PROPOSED INTEGRAL CONCRETE CURB AND WALK, SEE DETAIL SHEET C-8.
- 2 - INSTALL CONCRETE WALK/PATIO PER ODOT ITEM 608, CONSISTING OF 4" OF CLASS 'OC-1' CONCRETE OVER 4" OF COMPACTED ODOT ITEM 304 AGGREGATE LESTONE BASE ON COMPACTED SUBGRADE. PROVIDE EXPANSION MATERIAL BETWEEN NEW WALK AND VERTICAL CONCRETE FACES. PROVIDE JOINTS AT 5' SPACING.
- 3 - PROPOSED 3' WIDE GRAVEL STRIP, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 4 - PROPOSED ADA PARKING AREA, SEE DETAILS SHEET C-9.
- 5 - PROPOSED LIGHT DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C-8.
- 6 - PROPOSED HEAVY DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C-8.
- 7 - PROPOSED HEAVY DUTY CONCRETE PAVEMENT, SEE DETAIL SHEET C-8.
- 8 - PROPOSED 6" HIGH FENCE, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 9 - PROPOSED 5' WIDE GATE, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 10 - DUMPSTER, GENERATOR, AND TRANSFORMER ENCLOSURE WITH HEAVY DUTY CONCRETE SLAB. SEE DETAIL SHEET C-8 FOR HEAVY DUTY CONCRETE. SEE ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS.
- 11 - PAVEMENT STRIPING - 4" WIDE WHITE PAINT STRIPE PER ODOT ITEM 642.
- 12 - LANDSCAPING/SEATING WALL AND COURT YARD, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 13 - PROPOSED 6"x18" CONCRETE CURB PER DETAIL SHEET C-8.
- 14 - TAPER CURB REVEAL FROM 6" TO 0" IN 2'.
- 15 - TAPER CURB REVEAL FROM 6" TO 0" IN 19'.
- 16 - TAPER CURB REVEAL FROM 6" TO 0" IN 17.5'.
- 17 - NOT USED.
- 18 - NOT USED.
- 19 - INSTALL PROPOSED PARKING STOP PER DETAIL SHEET C-8.
- 20 - INSTALL PROPOSED FLAG POLE, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 21 - INSTALL PROPOSED GROUND SIGN. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 22 - INSTALL PROPOSED BOLLARD PER DETAIL SHEET C-8.
- 23 - INSTALL ODOT COMBINATION CURB AND GUTTER WITH DROP CURB THROUGH LIMITS OF PROPOSED DRIVE PER ODOT ITEM 609 AND CITY OF COLUMBUS STD. DWG. 2020. MATCH EXISTING PAVEMENT GRADES. (SEE *NOTE)
- 24 - TAPER PROPOSED CURB REVEAL FROM 6" TO MATCH EXISTING REVEAL IN 2'
- 25 - INSTALL 4" CONCRETE WALK PER CITY OF COLUMBUS STANDARD DWG. 2300. (SEE *NOTE)
- 26 - SEAL JOINT BETWEEN EXISTING ASPHALT TO REMAIN AND PROPOSED ASPHALT PAVEMENT PER ODOT ITEM 423 CRACK SEALING, HOT APPLIED.
- 27 - INSTALL FDC LOCATION SIGN WITH ARROW POINTING SOUTH TOWARD FDC.

SUMMARY	
TOTAL SITE AREA:	3.418 ACRES (148,885 SF) (EXCLUDES PROP. RIGHT-OF-WAY) SUBURBAN OFFICE ZONING
CURRENT ZONING:	SUBURBAN OFFICE ZONING
PROP. BUILDING AREA:	34,492 SF (23.2%)
PROP. PARKING AND DRIVES:	35,180 SF (23.6%)
PROP. PATIOS AND WALKS:	16,396 SF (9.4%)
PROP. LOT COVERAGE:	86,068 SF (57.8%)
LANDSCAPE AND OPEN SPACE:	62,817 SF (42.2%)
PARKING REQUIRED:	1 SPACE FOR EVERY 5 BEDS + 1 SPACE FOR EACH EMPLOYEE ON LARGEST SHIFT 66 TOTAL BEDS = 14 SPACES 31 EMPLOYEES = 31 SPACES TOTAL REQUIRED = 45 SPACES 45 SPACES
TOTAL PARKING SHOWN:	45 SPACES
BUILDING HEIGHT:	8'1" AT EAVE 25'1" AT HIGHEST RIDGE AVERAGE HEIGHT = 16'7" (16.58')
BUILDING SETBACKS:	
FRONT:	60'
WEST SIDE:	25'
EAST SIDE:	(190.70+16.58)/4 = 52' (VARIANCE REQUIRED)
REAR:	(285.20+16.58)/4 = 76' (VARIANCE REQUIRED)
PARKING SETBACKS:	
FRONT:	40% INTO BUILDING SETBACK 60' - 40% X 60' = 36' (FROM R/W)
WEST SIDE:	10'
EAST SIDE:	10'
REAR:	10'

NOTES:

1. ALL DIMENSIONS SHOWN ARE TO EDGE OF BUILDING, FACE OF CURB, OR EDGE OF PAVEMENT, UNLESS OTHERWISE SHOWN.
2. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL AND FOUNDATION PLANS.

*NOTE:
 EXISTING INFORMATION ALONG THE SOUTH SIDE OF MORSE ROAD WAS TAKEN FROM THE CITY OF GAHANNA'S 'MORSE ROAD SOUTH SIDE IMPROVEMENTS' PLANS. CONSTRUCTION OF THESE IMPROVEMENTS WAS NOT COMPLETE AT THE TIME OF PREPARATION OF THIS SET OF PLANS. ALL EXISTING INFORMATION (IE, FINAL STRUCTURE LOCATIONS, ELEVATIONS, ETC.) IN THE MORSE ROAD ROW MUST BE FIELD VERIFIED BY THE CONTRACTOR DURING PERFORMANCE OF THE WORK, AND ADJUSTMENTS MADE TO MATCH EXISTING CONDITIONS.

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OHIO UTILITIES PROTECTION SERVICE

SURVEY PERFORMED BY:
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 3445 Fortune Drive, Suite 100
 Avon, Ohio 44132
 (330) 915-4117
 www.campbellsurvey.com

SITE PLAN

GAHANNA ALZHEIMER SPECIAL CARE CENTER
 5195-5221 MORSE ROAD
 CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

Date:	Revisions	Date
09-21-2015	REV. PER CITY	10-28-2015

Drawn By: JJF
 Checked By: MJW

4216 KARG INDUSTRIAL PKWY
 KENT, OH 44240
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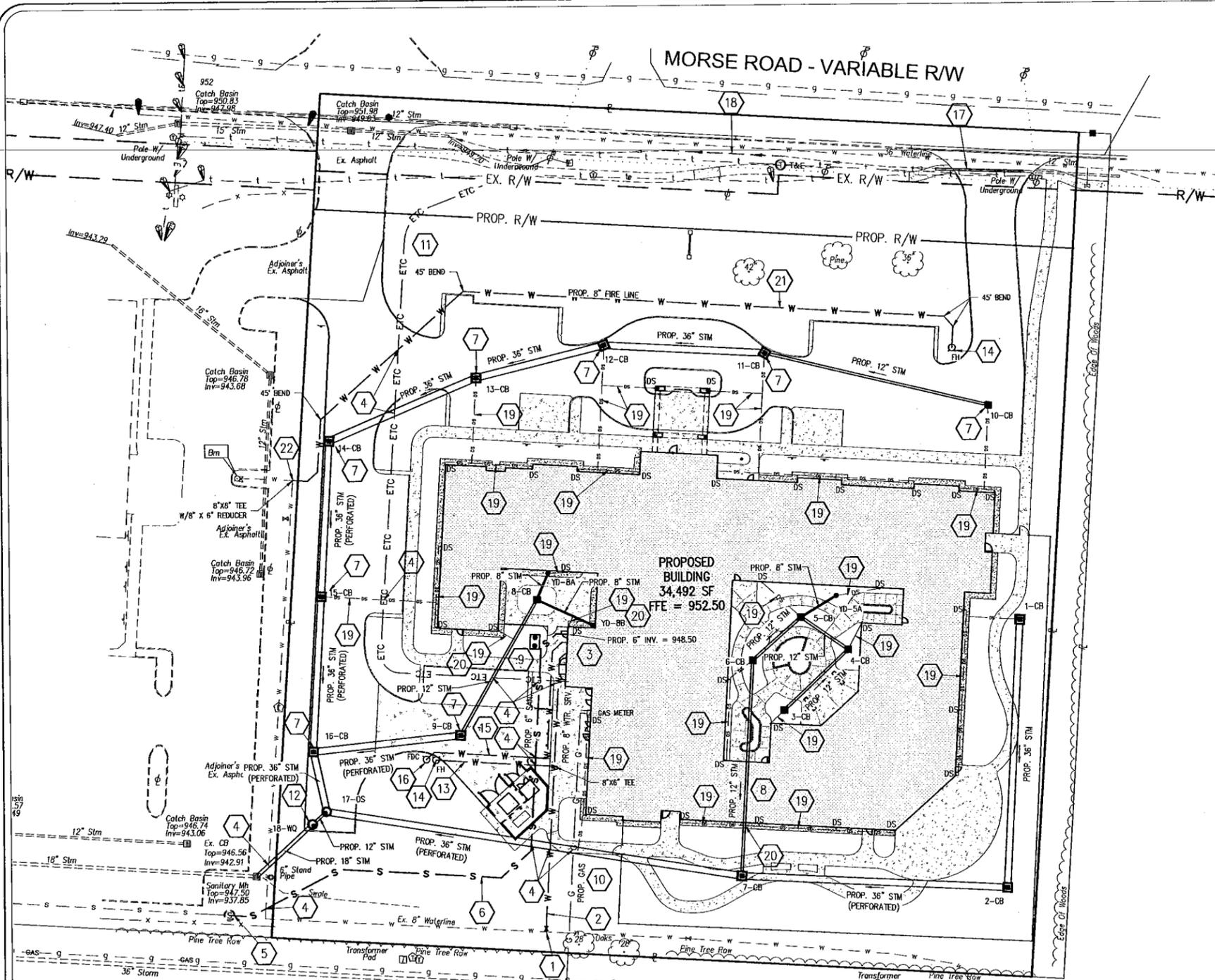
wohlwend engineering group

JOB NO. 20150040
 SHEET: C-2



SCALE: 1"=30'

*NOTE: EXISTING INFORMATION ALONG THE SOUTH SIDE OF MORSE ROAD WAS TAKEN FROM THE CITY OF GAHANNA'S "MORSE ROAD SOUTH SIDE IMPROVEMENTS" PLANS. CONSTRUCTION OF THESE IMPROVEMENTS WAS NOT COMPLETE AT THE TIME OF PREPARATION OF THIS SET OF PLANS. ALL EXISTING INFORMATION (IE, FINAL STRUCTURE LOCATIONS, ELEVATIONS, ETC.) IN THE MORSE ROAD ROW MUST BE FIELD VERIFIED BY THE CONTRACTOR DURING PERFORMANCE OF THE WORK, AND ADJUSTMENTS MADE TO MATCH EXISTING CONDITIONS.



STORM SEWER NOTES

1. ALL STORM SEWER MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT RULES AND REGULATIONS OF THE CITY OF GAHANNA AND ODOT ITEM 611.
2. ALL PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) PIPE PER ODOT 707.33 OR BETTER, UNLESS OTHERWISE NOTED.
3. ALL STORM SEWER TO HAVE ODOT TYPE 2 BEDDING.
4. PROVIDE STORM SEWER JOINTS THAT ARE GASKETED AND SILT TIGHT.
5. ALL HOLES IN PROPOSED STRUCTURES, INCLUDING DOWNSPOUT AND UNDERDRAIN CONNECTIONS, SHALL BE CAST AT TIME OF PRECAST MANUFACTURE.

SANITARY SEWER NOTES

1. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED ON THIS PROJECT.
2. ALL SEWERS CONSTRUCTED UNDER THIS PLAN SHALL MEET THE REQUIREMENTS OF OMS ITEM 611.
3. THE MINIMUM REQUIREMENTS FOR SANITARY PIPE SHALL BE PVC PLASTIC SEWER PIPE, ASTM D-3034, SDR 35. ALL 6" SANITARY LATERAL SHALL BE LAID AT A MINIMUM GRADE OF 1.0%.
4. SANITARY SEWER MATERIAL SHALL CONSIST OF PVC SDR-35 MEETING ASTM D3034 WITH JOINTS CONFORMING TO ASTM D3212.

NOTES

1. COORDINATE EXACT LOCATION OF ALL BUILDING UTILITY CONNECTIONS WITH BUILDING PLUMBING PLANS PRIOR TO INSTALLATION OF UTILITIES.
2. THE EXISTING UNDERGROUND UTILITIES AS SHOWN ARE OBTAINED FROM A COMBINATION OF FIELD LOCATION AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, WHERE PROVIDED. THESE UTILITIES, THEIR LOCATION AND THEIR ACTIVE OR INACTIVE STATUS, SHALL BE VERIFIED BY THE CONTRACTOR BY CALLING THE OHIO UTILITIES PROTECTION SERVICE (O.U.P.S.), PRIOR TO CONSTRUCTION. LOCATION, SIZE, DEPTH AND STATUS OF USE ARE SHOWN AS ACCURATE AS POSSIBLE WITH THE AVAILABLE EXISTING DATA.
3. ALL PAVEMENT, CURB AND SIDEWALK TO BE REMOVED SHALL BE SAW CUT FULL DEPTH AT EXISTING CONSTRUCTION JOINTS. ALL SAW CUTTING MUST BE DONE WET, TO CONFORM TO THE OHIO EPA'S FUGITIVE DUST ACT.
4. NO WIRE OR REBAR IN THE CONCRETE WITHIN 80' UTILITY EASEMENT.
5. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
6. ADJUST TO GRADE/COORD. ADJUSTMENT TO GRADE OF ALL VALVE BOXES, UTILITY COVERS, GRATES, ETC. SCHEDULED TO REMAIN.

STORM SEWER STRUCTURE SCHEDULE

STRUCTURE ID	TOP ELEV.	INLET PIPES	OUTLET PIPE	DESCRIPTION
1-CB	950.50		36" (S) = 943.94	ODOT 2-4 CATCH BASIN
2-CB	950.50	36" (N) = 943.81	36" (W) = 943.81	ODOT 2-4 CATCH BASIN
3-CB	951.50		12" (NE) = 946.49	ODOT 2-2B CATCH BASIN
4-CB	951.50	12" (SW) = 946.32	12" (NW) = 946.32	ODOT 2-2B CATCH BASIN
5-CB	951.40	12" (SE) = 946.21 8" (NE) = 946.21	12" (SW) = 946.21	ODOT 2-2B CATCH BASIN
6-CB	951.25	12" (NE) = 946.09	12" (S) = 946.09	ODOT 2-2B CATCH BASIN
7-CB	950.00	36" (E) = 943.67 12" (N) = 943.67	36" (W) = 943.67	ODOT 2-4 CATCH BASIN
8-CB	951.50	8" (NE) = 943.32 8" (SE) = 943.30	12" (SW) = 948.97	ODOT 2-2B CATCH BASIN
9-CB	950.50	12" (NE) = 947.50	36" (W) = 943.56	ODOT 2-4 CATCH BASIN
10-CB	951.00		12" (W) = 946.81	ODOT 2-2B CATCH BASIN
11-CB	950.50	12" (E) = 946.37	36" (W) = 943.87	ODOT 2-4 CATCH BASIN
12-CB	950.50	36" (E) = 943.79	36" (W) = 943.79	ODOT 2-4 CATCH BASIN
13-CB	950.00	36" (E) = 943.72	36" (SW) = 943.72	ODOT 2-4 CATCH BASIN
14-CB	950.00	36" (NE) = 943.64	36" (S) = 943.64	ODOT 2-4 CATCH BASIN
15-CB	950.00	36" (N) = 943.56	36" (S) = 943.56	ODOT 2-4 CATCH BASIN
16-CB	950.00	36" (E) = 943.48 36" (N) = 943.48	36" (S) = 943.48	ODOT 2-4 CATCH BASIN
17-OS	950.57	36" (N) = 943.45 36" (E) = 943.45	12" (SW) = 943.45	OUTLET STRUCTURE (SEE SHEET C-10)
18-WQ	950.53	12" (NE) = 943.40	18" (SW) = 943.40	VERTICESHRY H548 WATER QUALITY UNIT
EX CB	946.57	18" (NE) = 943.20	EX 18" (W) = 942.9	Existing Catch Basin (CORE NEW OPENING)
YD-SA	951.50		8" (SW) = 946.43	YARD DRAIN (SEE SHEET C-10)
YD-BA	951.50		8" (SW) = 949.45	YARD DRAIN (SEE SHEET C-10)
YD-BB	951.50		8" (NW) = 949.62	YARD DRAIN (SEE SHEET C-10)

STORM SEWER PIPE SCHEDULE

UPSTREAM STRUCTURE	DOWNSIDE STRUCTURE	UPSTREAM INVERT	DOWNSIDE INVERT	SIZE	LENGTH	SLOPE	DESCRIPTION	MIN. COVER
1-CB	2-CB	943.94	943.81	36"	138.62	0.10%	DETENTION PIPE	3.3
2-CB	7-CB	943.81	943.67	36"	138.02	0.10%	DETENTION PIPE	3.1
3-CB	4-CB	946.49	946.32	12"	45.98	0.37%	HDPE	3.9
4-CB	5-CB	946.32	946.21	12"	30.05	0.37%	HDPE	4.1
5-CB	6-CB	946.21	946.09	12"	33.36	0.36%	HDPE	4.1
6-CB	7-CB	946.09	945.67	12"	111.51	0.28%	CONCRETE	3.2
7-CB	17-OS	943.67	943.45	36"	217.64	0.10%	DETENTION PIPE	3.1
8-CB	9-CB	943.67	947.60	12"	80.51	1.70%	HDPE	1.4
9-CB	16-CB	943.56	943.48	36"	76.81	0.10%	DETENTION PIPE	3.3
10-CB	11-CB	946.81	946.37	12"	118.92	0.37%	HDPE	3.0
11-CB	12-CB	943.87	943.79	36"	83.28	0.10%	DETENTION PIPE	3.4
12-CB	13-CB	943.79	943.72	36"	85.63	0.10%	DETENTION PIPE	3.1
13-CB	14-CB	943.72	943.64	36"	82.90	0.10%	DETENTION PIPE	3.1
14-CB	15-CB	943.64	943.56	36"	80.37	0.10%	DETENTION PIPE	3.1
15-CB	16-CB	943.56	943.48	36"	80.29	0.10%	DETENTION PIPE	3.2
16-CB	17-OS	943.48	943.45	36"	31.72	0.10%	DETENTION PIPE	3.3
17-OS	18-WQ	943.45	943.40	12"	9.90	0.51%	HDPE	6.0
18-WQ	EX CB	943.40	943.20	18"	39.81	0.50%	HDPE	2.1
YD-SA	5-CB	946.43	946.21	8"	21.79	1.00%	HDPE	4.4
YD-BA	8-CB	949.45	949.30	8"	14.73	1.00%	HDPE	1.3
YD-BB	8-CB	949.62	949.30	8"	31.75	1.00%	HDPE	1.2

KEYED NOTES

- 1 - PROPOSED 8"X8" TAPPING SLEEVE, VALVE AND VALVE BOX PER CITY OF GAHANNA WATER STANDARDS AND SPECIFICATIONS.
- 2 - PROPOSED 146 LF OF 8" D.I. WATER LINE AND FITTINGS WITH A MINIMUM COVER OF 5.0 FEET, PER CITY OF GAHANNA WATER STANDARDS AND SPECIFICATIONS.
- 3 - PROPOSED WATER METER AND BACKFLOW PREVENTION EQUIPMENT TO BE INSTALLED INSIDE BUILDING.
- 4 - MAINTAIN A MINIMUM 18" VERTICAL CLEARANCE ALL WATER LINES AND SEWERS (SANITARY AND STORM) CROSSINGS. MAINTAIN A MINIMUM 12" VERTICAL CLEARANCE AT ALL OTHER UTILITY CROSSINGS.
- 5 - CONNECT PROPOSED SANITARY INTO EXISTING HOLE IN EXISTING SANITARY MANHOLE PER CITY OF GAHANNA STANDARDS AND SPECIFICATIONS.
- 6 - INSTALL 290 LF OF 6" SDR-35 PVC SANITARY LATERAL FROM BUILDING TO SAN. MH @ 1.0% MIN. SLOPE & PER CITY OF GAHANNA STANDARDS AND SPECIFICATIONS. COORD. INV. @ BLDG. W/ PLUMBING PLANS. INSTALL CLEANOUTS AT ALL BENDS PER DETAIL SHEET C-10.
- 7 - INSTALL 10 LF OF CATCH BASIN FINGER DRAINS ON ALL SIDES OF PROPOSED CATCH BASIN ABUTTING PROPOSED PAVED AREAS.
- 8 - STORM PIPE EXTENDS UNDERNEATH PROPOSED BUILDING. COORDINATE WITH BUILDING FOUNDATION PLANS.
- 9 - INSTALL PROPOSED GREASE TRAP AND SAMPLING BASIN, SEE BUILDING PLUMBING PLANS FOR DETAILS.
- 10 - GAS SERVICES SHOWN ARE FOR REFERENCE ONLY. DESIGN AND INSTALLATION OF PROPOSED GAS SERVICE TO BE PERFORMED BY GAS COMPANY. COORDINATE INSTALLATION WITH GAS COMPANY.
- 11 - PROPOSED ELECTRIC, TELEPHONE AND CABLE SERVICE COORDINATE WITH SITE ELECTRICAL PLAN AND UTILITY PROVIDERS. FINAL LOCATION TO BE DETERMINED BY UTILITY PROVIDER.
- 12 - INSTALL PROPOSED VORTENTHRY H548 WQ UNIT BY CONTECH OR APPROVED EQUAL.
- 13 - INSTALL PROPOSED 62 LF OF 6" D.I. WATER LINE AND FITTINGS WITH A MINIMUM COVER OF 5.0 FEET, PER CITY OF GAHANNA WATER STANDARDS AND SPECIFICATIONS.
- 14 - INSTALL PROPOSED FIRE HYDRANT PER CITY OF GAHANNA STANDARDS AND SPECIFICATIONS, COORDINATE THREADS, NOZZLE SIZE, AND NUMBER, AND VALVE TURNING SPECIFICATIONS WITH JEFFERSON TOWNSHIP FIRE DEPARTMENT.
- 15 - INSTALL PROPOSED 128 LF OF 4" D.I. WATER LINE AND FITTINGS WITH A MINIMUM COVER OF 5.0 FEET, PER CITY OF GAHANNA WATER STANDARDS AND SPECIFICATIONS.
- 16 - INSTALL PROPOSED FIRE DEPARTMENT CONNECTION. COORDINATE SIZE, MAKE AND MODEL WITH GAHANNA FIRE DEPARTMENT.
- 17 - EXTEND EXISTING 12" CULVERT APPROX. 50 LF @ 1.00% MIN. SLOPE TO BEYOND LIMITS OF NEW DRIVE ENTRANCE PER ODOT ITEM 611. SEE *NOTE THIS SHEET.
- 18 - REGRADE ROADSIDE DITCH WHERE CULVERT WAS REMOVED PER ODOT ITEM 203 TO MATCH EXISTING DITCH. MAX. SIDESLOPES SHALL BE 3H:1V. SEE *NOTE THIS SHEET.
- 19 - INSTALL PROPOSED 6" STIM PIPE @ 1.00% MIN. SLOPE FOR DOWNSPOUTS.
- 20 - CONNECT PROPOSED DOWNSPOUT INTO PROPOSED STORM SEWER PIPE.
- 21 - PROPOSED 409 LF OF 8" D.I. WATER LINE AND FITTINGS WITH A MINIMUM COVER OF 5.0 FEET, PER CITY OF GAHANNA WATER STANDARDS AND SPECIFICATIONS.
- 22 - REMOVE EXISTING 90° BEND AND REPLACE WITH 8" X 8" TEE WITH 8"X6" REDUCER.

STORM WATER MANAGEMENT

STORM WATER QUANTITY CONTROL
THE CITY OF GAHANNA USES THE CRITICAL STORM METHOD TO DETERMINE IF DETENTION IS REQUIRED FOR DEVELOPMENT PROJECTS. THE EXISTING SITE CONSISTS OF TWO RESIDENTIAL LOTS THAT DRAIN TO THE SOUTHWEST CORNER OF THE PROPERTY. THE CRITICAL STORM FOR THIS PROJECT IS THE 10-YEAR STORM. THE POST DEVELOPED CRITICAL STORM AND ALL MORE FREQUENT STORMS WILL BE DETAILED TO THE 1-YEAR PREDEVELOPED STORM. ALL OTHER POST DEVELOPED STORMS WILL BE DETAILED, AT A MINIMUM, TO THEIR RESPECTIVE PREDEVELOPED FLOWS. ALL DETENTION WILL BE MANAGED IN A 36" PERFORATED HDPE PIPE UTILIZING THE SURROUNDING STONE FOR ADDITIONAL STORAGE.

STORM WATER QUALITY CONTROL
AN UNDERGROUND PREFABRICATED WATER QUALITY STRUCTURE WILL BE UTILIZED AFTER THE DETENTION SYSTEM OUTLET STRUCTURE TO TREAT THE REQUIRED WQV.

2 WORKING DAYS BEFORE YOU DIG

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SURVEY PERFORMED BY: CAMPBELL & ASSOCIATES, INC.

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Akron, Ohio 44312
(330) 945-4117
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UTILITY PLAN

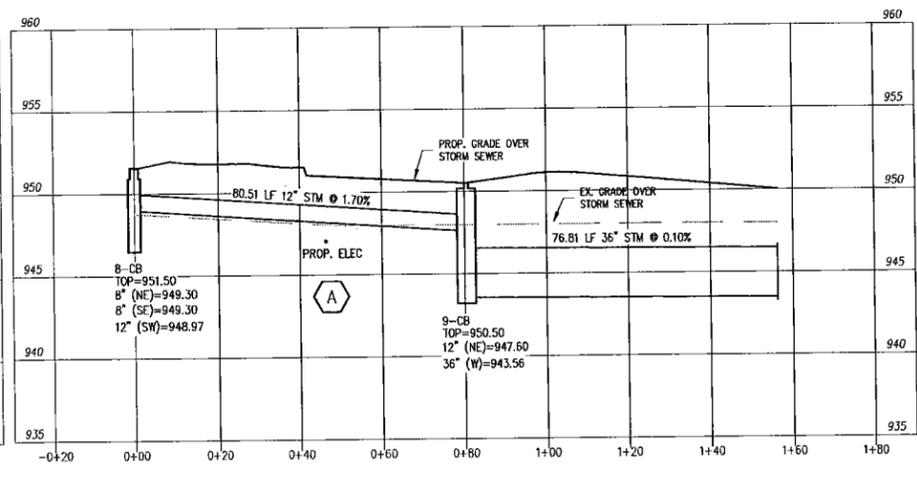
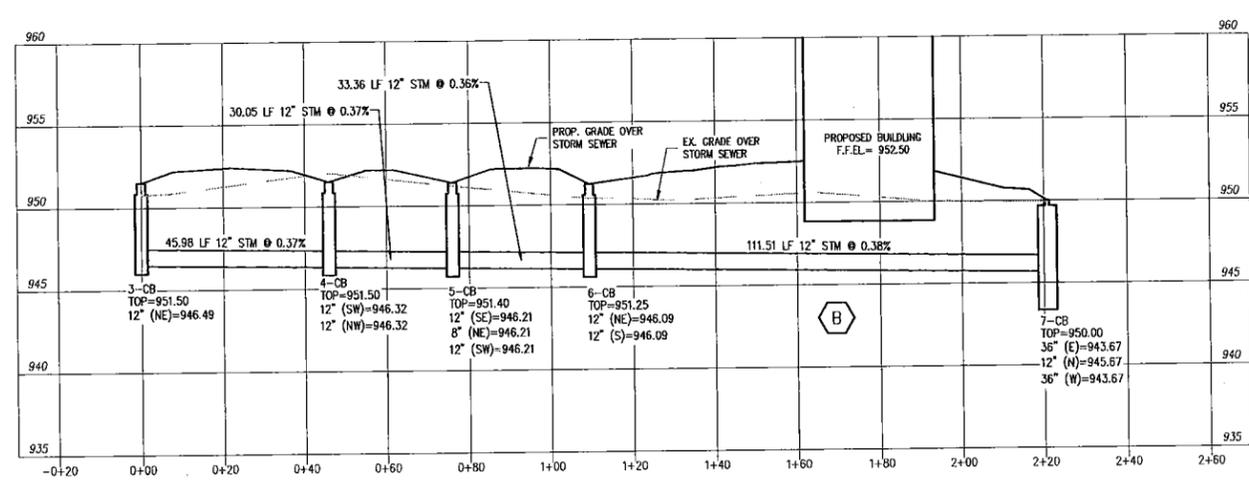
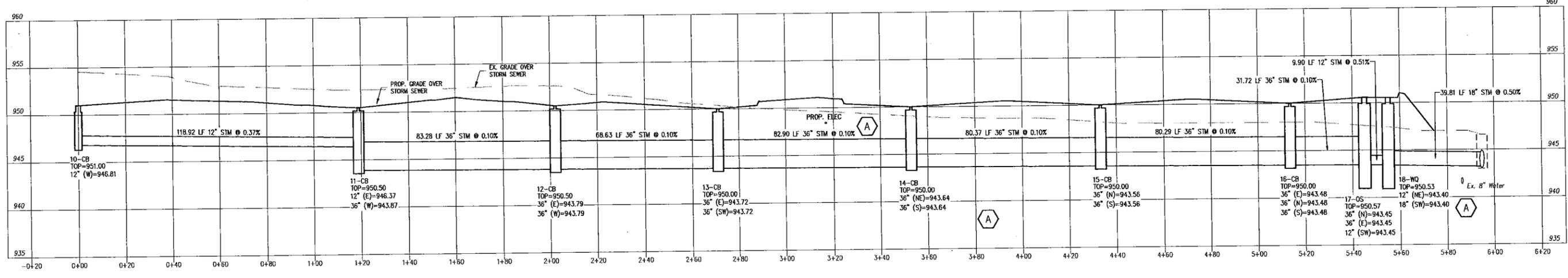
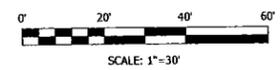
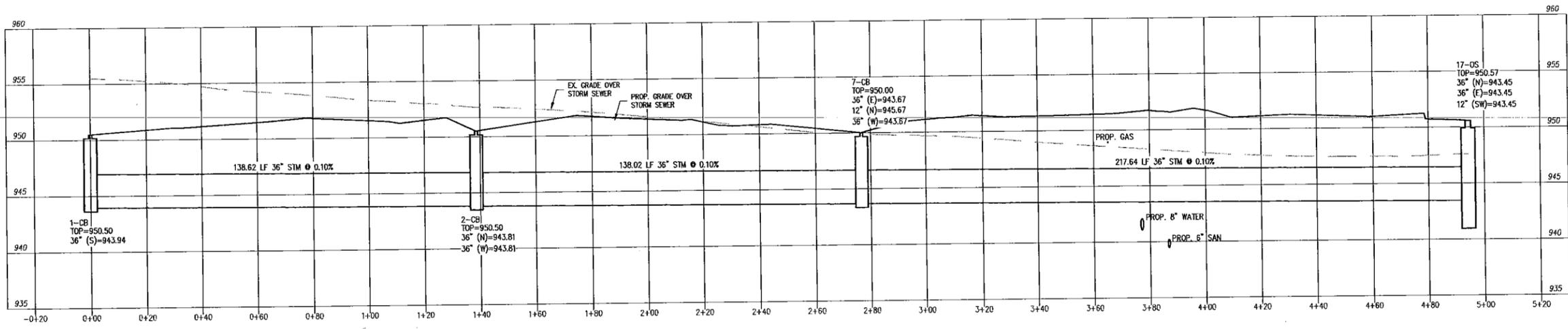
GAHANNA ALZHEIMER SPECIAL CARE CENTER
5195-5221 MORSE ROAD
CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

Date:	09-21-2015	Revisions	Date
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(330) 673-2400

wohlwend engineering group

JOB NO. 20150040
SHEET: C-3



KEYED NOTES

- (A) - MAINTAIN A MINIMUM 18" VERTICAL CLEARANCE ALL WATER LINES AND SEWERS (SANITARY AND STORM) CROSSINGS. MAINTAIN A MINIMUM 12" VERTICAL CLEARANCE AT ALL OTHER UTILITY CROSSINGS.
- (B) - STORM SEWER EXTENDS BENEATH PROPOSED BUILDING. COORDINATE WITH BUILDING FOUNDATION PLAN.

2 WORKING DAYS BEFORE YOU DIG

SURVEY PERFORMED BY:
CAMPBELL & ASSOCIATES, INC.
 Surveying - Engineering
 3465 Fairlane Drive, Suite 100
 Akron, Ohio 44312
 (330) 945-4117
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 OHIO UNLINED PROTECTION SERVICE

STORM SEWER PROFILES

GAHANNA ALZHEIMER SPECIAL CARE CENTER
 5195-5221 MORSE ROAD
 CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

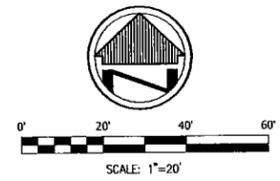
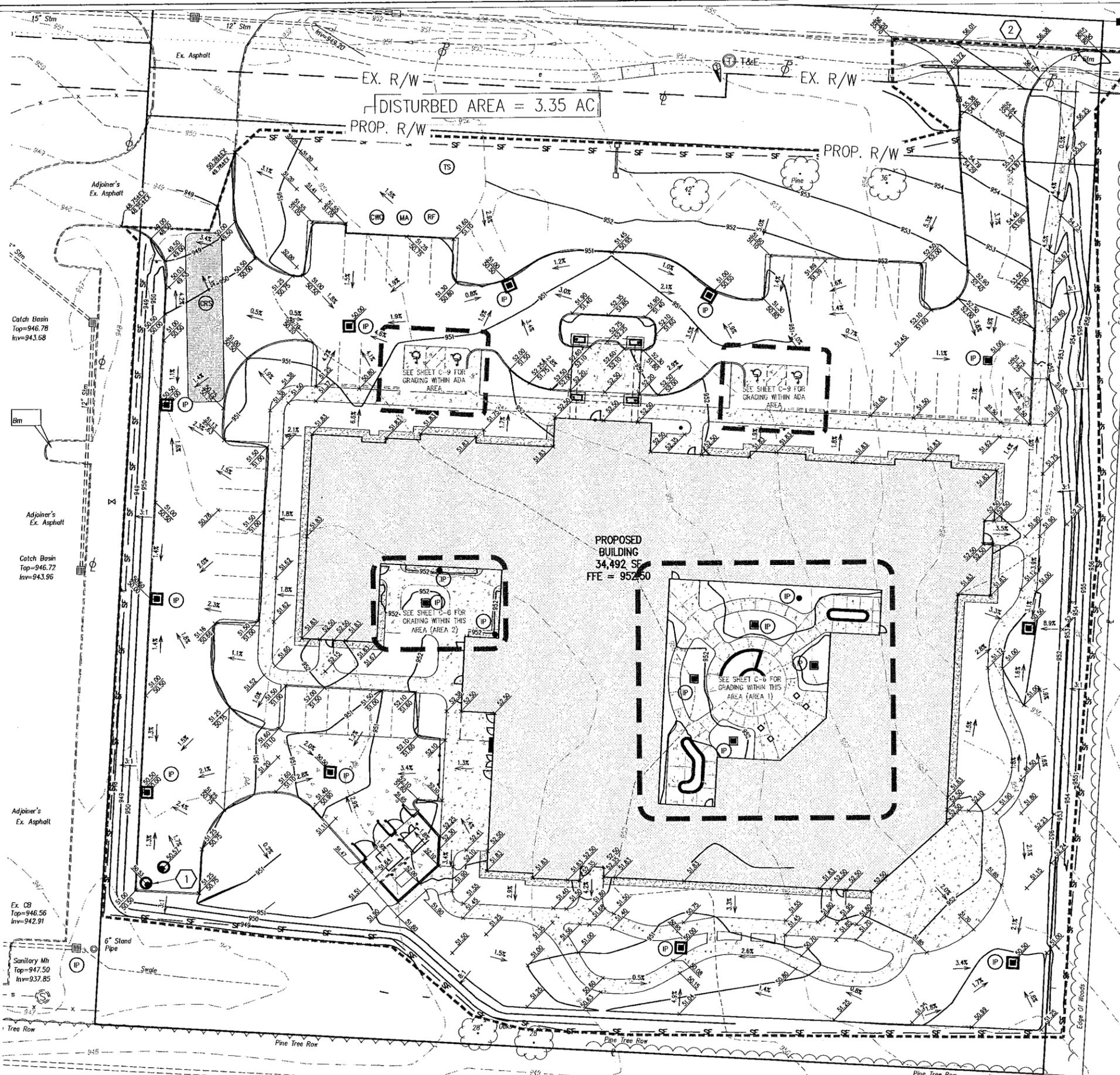
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wohlwend engineering group

4216 KARG INDUSTRIAL PKWY
 KENT, OH 44240
 (330) 673-2400

JOB NO.
20150040

SHEET: C-4



BENCHMARK
 0' IN OPEN, TOP OF EXISTING FIRE HYDRANT LOCATED WEST OF WESTERLY PROPERTY LINE
 ELEVATION = 951.15

SWP3 LEGEND

- 1076— PROPOSED CONTOUR
- - -1076- - EXISTING CONTOUR
- SF SILT FENCE
- IP INLET PROTECTION
- CWC TEMPORARY CONCRETE WASH OUT
- CRS CONSTRUCTION ENTRANCE
- RF REFUELING AREA
- TS TOPSOIL STOCKPILE
- MA CHEMICAL MIXING AREA
- ■ ■ ■ ■ LIMITS OF EARTH DISTURBING ACTIVITIES

KEYED NOTES

- 1 - CONTRACTOR SHALL PROTECT WQ UNIT FROM EXCESS SEDIMENT IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AT ALL TIMES DURING CONSTRUCTION UNTIL ALL UPSLOPE AREAS HAVE BEEN STABILIZED.
- 2 - CONTRACTOR SHALL ADJUST TO GRADE/COORDINATE ADJUSTMENT TO GRADE OF ALL VALVE BOXES, UTILITY COVERS, GRATES, ETC THAT ARE TO REMAIN.

NOTE:
 EXISTING INFORMATION ALONG THE SOUTH SIDE OF MORSE ROAD WAS TAKEN FROM THE CITY OF GAHANNA'S "MORSE ROAD SOUTH SIDE IMPROVEMENTS" PLANS. CONSTRUCTION OF THESE IMPROVEMENTS WAS NOT COMPLETE AT THE TIME OF PREPARATION OF THIS SET OF PLANS. ALL EXISTING INFORMATION (IE, FINAL STRUCTURE LOCATIONS, ELEVATIONS, ETC.) IN THE MORSE ROAD ROW MUST BE FIELD VERIFIED BY THE CONTRACTOR DURING PERFORMANCE OF THE WORK, AND ADJUSTMENTS MADE TO MATCH EXISTING CONDITIONS.

GRADING NOTES

1. ALL EARTHWORK TO CONFORM TO DDOT ITEM 203 AND TO BE PERFORMED IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEERS REPORT BY TERRACON DATED 04/06/2015. ALL EARTHWORK IN AREAS BEARING THE PROPOSED BUILDING TO BE SUPERVISED AND DIRECTED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF OHIO. CONTRACTOR SHALL REVIEW GEOTECHNICAL REPORT TO ASCERTAIN THE AMOUNT OF ANY UNDERCUTTING REQUIRED TO CONSTRUCT THE SITE.
2. ADJUST TO GRADE/COORD. ADJUSTMENT TO GRADE OF ALL COVERS, GRATES, UTILITY BOXES ETC. TO REMAIN.
3. ALL SIDEWALKS SHALL HAVE A MAX. LONGITUDINAL SLOPE OF NOT MORE THAN 5% AND A MAX. CROSS-SLOPE OF NOT MORE THAN 2%.

SWPPP NOTES

1. THIS PROJECT CONSISTS OF THE CONSTRUCTING A PROPOSED MEMORY CARE FACILITY AND ASSOCIATED PARKING.
2. ALL RUNOFF FROM THIS SITE DRAINS TO AN EXISTING STORM SEWER ON THE WEST ADJOINER'S PROPERTY AS SHOWN.
3. ALL CONSTRUCTION RUNOFF FROM THIS SITE SHALL BE DIRECTED TOWARD THE TEMPORARY EROSION CONTROL MEASURES UNTIL THE SITE IS STABILIZED.
4. ALL BORROW MATERIAL MUST COME FROM A PERMITTED SITE AND ALL SPOIL MATERIAL MUST BE DELIVERED TO A PERMITTED SITE. A "PERMITTED SITE" IS A SITE COVERED BY AN OHIO EPA NOI PERMIT.
5. THE NON-DETENTION STORM SEWERS HAVE BEEN SIZED TO CONVEY THE 100-YR FLOOD ROUTE TO THE DETENTION PIPES.
6. THE PROPOSED WQV FOR THIS SITE WILL BE TREATED BY A PROPOSED WQ CHAMBER (SEE DETAIL SHEET C-10). ALL STORMWATER QUANTITY MANAGEMENT IS HANDLED IN THE PROPOSED UNDERGROUND PIPE DETENTION SYSTEM. SEE SHEETS C-3, C-4 & C-10 FOR DETAILS.
7. ALL SOILS ON THIS SITE ARE BENNINGTON SILT LOAM, 2-6% SLOPES HSG TYPE C.

2 WORKING DAYS BEFORE YOU DIG

CALL TOLL FREE: 811

OHIO UTILITY PROTECTION SERVICE

SURVEY PERFORMED BY:
 CAMPBELL & ASSOCIATES, INC.
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 www.campbellandass.com

GRADING PLAN AND SWP3

GAHANNA ALZHEIMER SPECIAL CARE CENTER
 5195-5221 MORSE ROAD
 CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

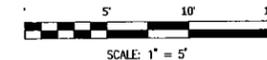
Date: 09-21-2015	Revisions	Date
Drawn By: JUF	REV. PER CITY	10-28-2015
Checked By: MJW		

wohlwend engineering group

4216 KARG INDUSTRIAL PKWY
 KENT, OH 44240
 (330) 673-2400

JOB NO.
20150040

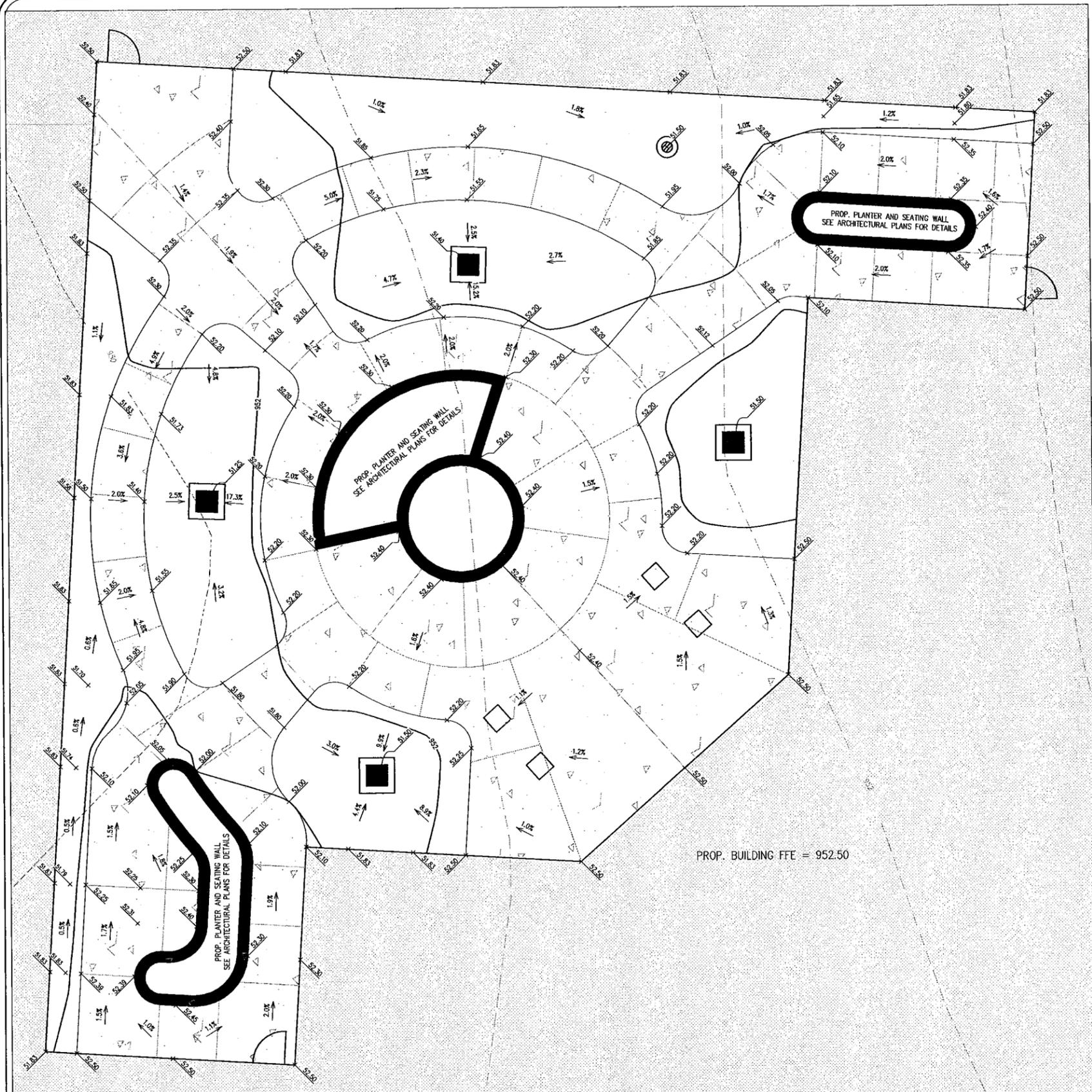
SHEET: C-5



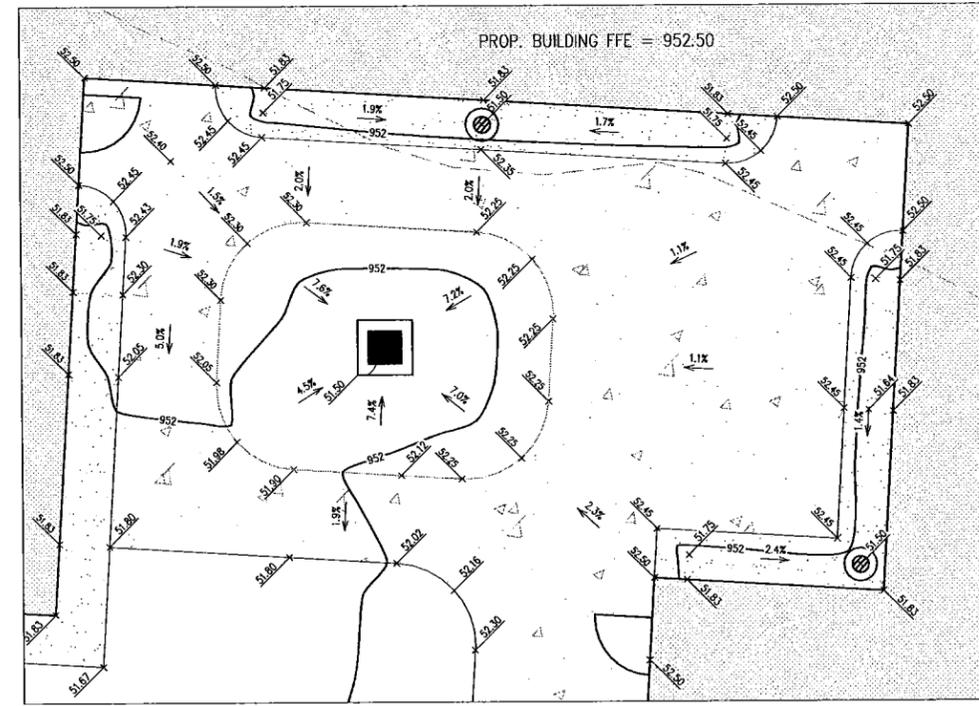
BENCHMARK
0" IN OPEN, TOP OF EXISTING FIRE HYDRANT LOCATED WEST OF WESTERLY PROPERTY LINE
ELEVATION = 951.15

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AREA 1



AREA 2

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(330) 945-4117
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GRADING DETAILS
GAHANNA ALZHEIMER SPECIAL CARE CENTER
5195-5221 MORSE ROAD
CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

Date:	Revisions	Date
09-21-2015	REV. PER CITY	10-28-2015
Drawn By: JJF		
Checked By: MJW		

wohlwend
engineering group

4216 KARG INDUSTRIAL PKWY
KENT, OH 44240
(330) 673-2400

JOB NO.
20150040

SHEET: C-6

TEMPORARY SEEDING SPECIES SELECTION			
SEEDING DATES	SPECIES	LB/1000 FT ²	PER ACRE
MARCH 1 TO AUGUST 15	OATS	3	4 BUSHEL
	TALL FESCUE	1	40 LB.
	ANNUAL RYEGRASS	1	40 LB.
AUGUST 16 TO NOVEMBER 1	PERENNIAL RYEGRASS	1	40 LB.
	TALL FESCUE	1	40 LB.
	ANNUAL RYEGRASS	1	40 LB.
	WHEAT	3	2 BUSHEL
	TALL FESCUE	1	40 LB.
NOVEMBER 1 TO SPRING SEEDING	PERENNIAL RYEGRASS	1	40 LB.
	TALL FESCUE	1	40 LB.
	ANNUAL RYEGRASS	1	40 LB.

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

- STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSION AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION SITE.
- TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 14 DAYS OR MORE. THESE AREAS SHOULD BE SEED AS SOON AS POSSIBLE AFTER GRADING OR SHALL BE SEED WITHIN 7 DAYS. SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS.
- THE SEEDBED SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. HOWEVER, TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.

- SOIL AMENDMENTS—APPLICATIONS OF TEMPORARY VEGETATION SHALL ESTABLISH ADEQUATE STRANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. SOIL TESTS SHOULD BE TAKEN ON THE SITE TO PREDICT THE NEED FOR LIME AND FERTILIZER.
- SEEDING METHOD—SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

MULCHING TEMPORARY SEEDING

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM CONDITIONS AND ON VERY FLAT AREAS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
- MATERIALS
 - STRAW—IF STRAW IS USED, IT SHALL BE UNROTATED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1000 SQ.-FT. SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION.
 - HYDROSEEDERS—IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2000 LB./AC. OR 45 LB./1000 SQ. FT.
 - OTHER—OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS/AC.

- STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS:
 - MECHANICAL—A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY, BE LEFT LONGER THAN 6 IN.
 - MULCH NETTINGS—NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES.
 - EX ASPHALT EMULSION—EX ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER OR AT THE RATE OF 160 GAL./AC.
 - SYNTHETIC BINDERS—SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSEAL TERRA TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
 - WOOD CELLULOSE FIBER—WOOD CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB./AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./GAL.

PERMANENT SEEDING			
SEED MIX	SEEDING RATE		NOTES:
	LB./AC.	LB./1000 FT ²	
GENERAL USE			
CREEPING RED FESCUE	20-40	1/2-1	
DOMESTIC RYEGRASS	10-20	1/4-1/2	
KENTUCKY BLUEGRASS	10-20	1/4-1/2	
TALL FESCUE	40	1	
DMRF FESCUE	40	1	
STEEP BANKS OR CUT SLOPES			
TALL FESCUE	40	1	
CROWN VETCH	10	1/4	DO NOT SEED LATER THAN AUGUST
TALL FESCUE	20	1/2	
FLAT PEA	20	1/2	DO NOT SEED LATER THAN AUGUST
TALL FESCUE	20	1/2	
ROAD DITCHES AND SWALES			
TALL FESCUE	40	1	
DMRF FESCUE	90	2 1/4	
KENTUCKY BLUEGRASS	5		
LAWNS			
KENTUCKY BLUEGRASS	60	1 1/2	
PERENNIAL RYEGRASS	60	1 1/2	
KENTUCKY BLUEGRASS	60	1 1/2	
CREEPING RED FESCUE	60	1 1/2	FOR SHADED AREAS

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

SOIL PREPARATION

- A SUBROLLER, PLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. (MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY.) SUBROLLING SHOULD BE DONE WHEN THE SOIL MOISTURE IS LOW ENOUGH TO ALLOW THE SOIL TO CRACK OR FRACTURE. SUBROLLING SHALL NOT BE DONE ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
- THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION AND SEEDING.
- RESOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION.

DORMANT SEEDINGS

- SEEDINGS SHALL NOT BE PLANTED FROM OCTOBER 1 THROUGH NOVEMBER 20. DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURVIVE THE WINTER.
- THE FOLLOWING METHODS MAY BE USED FOR "DORMANT SEEDING":
 - FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOVEMBER 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
 - FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZER, APPLY THE SELECTED SEED MIXTURE, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
 - APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) ON A FIRM, MOIST SEEDBED.
 - IF FEASIBLE EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND, SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHERE FEASIBLE.

SEEDING DATES AND SOIL CONDITIONS

SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. THESE SEEDING DATES ARE IDEAL BUT, WITH THE USE OF ADDITIONAL

GENERAL

- SEDIMENT PONDS/TRAPS AND PERIMETER CONTROLS SHALL BE IMPLEMENTED AS A FIRST STEP OF GRADING WITHIN 7 DAYS FROM THE START OF GRUBBING AND SHALL CONTINUE TO FUNCTION UNTIL UPLAND AREAS HAVE BEEN STABILIZED.
- DISTURBED AREAS MORE THAN 50 FT FROM A STREAM WHICH WILL REMAIN UNWORKED FOR A PERIOD OF 21 DAYS OR MORE, SHALL BE STABILIZED WITH SEEDING AND MULCHING OR OTHER OTHER APPROPRIATE MEANS WITHIN 7 DAYS.
- DISTURBED AREAS WITHIN 50 FT OF A STREAM WHICH WILL REMAIN UNWORKED FOR A PERIOD OF 21 DAYS OR MORE, SHALL BE STABILIZED WITH SEEDING AND MULCHING OR OTHER OTHER APPROPRIATE MEANS WITHIN 7 DAYS.
- DITCHES WITH GRADES GREATER THAN 1.5% SHALL HAVE EROSION CONTROL BANKS/WATERS INSTALLED AS PART OF STABILIZATION MEASURES.
- EROSION CONTROL BANKETS SHALL BE USED TO AD IN VEGETATION ESTABLISHMENT ON ALL DISTURBED SLOPES GREATER THAN 6%.
- SLOPES OF THE ROADS AND DRIVES SHALL BE SEED AND BLANKETED IMMEDIATELY UPON THEIR COMPLETION.
- OFF-SITE VEHICLE TRACKING SEDIMENT SHALL BE MINIMIZED. CONSTRUCTION VEHICLES ARE LIMITED TO THE CONSTRUCTION ACCESS ROAD(S) NOTED ON PLAN.

- ALL EROSION AND SEDIMENTATION CONTROL PRACTICES MUST MEET THE STANDARDS AND SPECIFICATIONS OF THE OHIO'S RAINWATER AND LAND DEVELOPMENT MANUAL (2006 EDITION).
- OTHER EROSION AND SEDIMENT CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS.
- EROSION AND SEDIMENT CONTROL PRACTICES NOT ALREADY SPECIFIED ON THIS PLAN MAY BE NECESSARY DUE TO UNFORESEEN ENVIRONMENTAL CONDITIONS AND/OR CHANGES IN DRAINAGE PATTERN CAUSED BY EARTH-MOVING ACTIVITY.

MULCHING TEMPORARY SEEDING

- STRAW MULCH ANCHORING METHODS
 - STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.
 - MECHANICAL—A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY, BE LEFT LONGER THAN 6 IN.
 - MULCH NETTINGS—NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES.
 - EX ASPHALT EMULSION—EX ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER OR AT THE RATE OF 160 GAL./AC.
 - SYNTHETIC BINDERS—SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSEAL TERRA TACK, OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
 - WOOD CELLULOSE FIBER—WOOD CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB./AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./100 GAL. OF WOOD CELLULOSE FIBER.

IRRIGATION

- PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY OR HOT WEATHER OR ON ADVERSE SITE CONDITIONS AS NEEDED FOR ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH.
- EXCESSIVE IRRIGATION RATES SHALL BE AVOIDED AND IRRIGATION MONITORED TO PREVENT EROSION AND DAMAGE FROM RUNOFF.

GENERAL NOTES

WINTERIZATION

ANY DISTURBED AREA THAT IS NOT GOING TO BE WORKED FOR 21 DAYS OR MORE MUST BE SEED AND MULCHED BY NOVEMBER 1 OR MUST HAVE DORMANT SEEDING OR MULCH COVER APPLIED BETWEEN NOVEMBER 1 AND MARCH 1.

MULCHING

1. MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT AREAS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION. DORMANT SEEDING SHALL BE MULCHED.

MATERIALS

1. STRAW—IF STRAW IS TO BE USED IT SHALL BE UNROTATED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1000 SQ.-FT. SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION.

2. HYDROSEEDERS—IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2000 LB./AC. OR 46 LB./1000 SQ. FT.

3. OTHER—OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS/AC.

STRAW MULCH ANCHORING METHODS

STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.

MECHANICAL—A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY, BE LEFT LONGER THAN 6 IN.

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STRAW—IF STRAW IS USED, IT SHALL BE UNROTATED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1000 SQ.-FT. SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION.

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STRAW—IF STRAW IS USED, IT SHALL BE UNROTATED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1000 SQ.-FT. SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION.

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NON-SEDIMENT POLLUTANT CONTROLS

- Construction personnel, including subcontractors who may use or handle hazardous or toxic materials, shall be made aware of the following general guidelines regarding disposal and handling of hazardous and construction wastes:
 - Prevent spills
 - Use products up
 - Follow label directions for disposal
 - Remove lids from empty bottles and cans when disposing in trash
 - Recycle wastes whenever possible

- Containers shall be provided for the proper collection of all waste material including construction debris, trash, petroleum products and any hazardous materials used on-site. Containers shall be covered and not leaking. All waste material shall be disposed of at facilities approved for that material. Construction Demolition and Debris (CD&D) waste must be disposed of at an Ohio EPA approved CD&D landfill.

- No construction related waste materials are to be buried on-site. By exception, clean oil (bricks, hardened concrete, etc.) may be utilized in a way which does not encroach upon natural wetlands, streams or floodplains or result in the contamination of waters of the state.

- Handling Construction Chemicals. Mixing, pumping, transferring or other handling of construction chemicals such as fertilizer, lime, Ex. Asphalt, concrete drying compounds, and all other potentially hazardous materials shall be performed in an area away from any watercourse, ditch or storm drain.

- Equipment Fueling and Maintenance, oil changing, etc., shall be performed away from watercourses, ditches or storm drains, in an area designated for that purpose. The designated area shall be equipped for recycling oil and catching spills. Secondary containment shall be provided for all fuel oil storage tanks. These areas must be inspected every seven days and within 24 hrs. of a 0.5 inch or greater rain event. To ensure there are no exposed materials which would contaminate storm water. Site operators must be aware that Spill Prevention Control and Countermeasures (SPCC) requirements may apply. An SPCC plan is required for sites with one single above ground tank of 660 gallons or more, accumulative above ground storage of 1330 gallons or more, or 42,000 gallons of underground storage. Contaminated soils must be disposed of in accordance with Item 8.

- Concrete Wash Water shall not be allowed to flow to streams, ditches, storm drains, or any other water conveyance. A sump or pit with no potential for discharge shall be constructed if needed to contain concrete wash water. Field tile or other subsurface drainage structures within 10 ft. of the sump shall be cut and plugged. For

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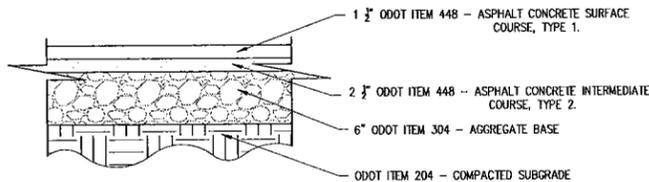
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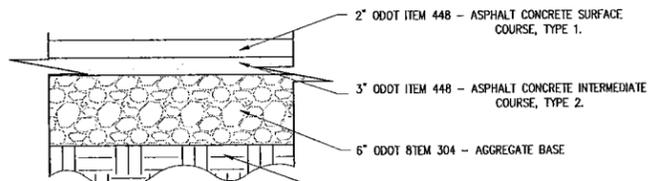
small projects, truck chutes may be rinsed away from any water conveyances.

GENERAL NOTES

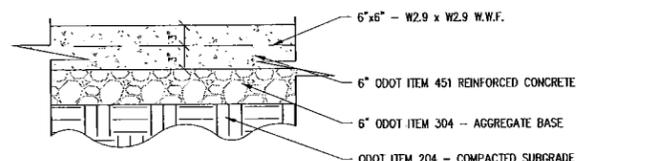
- LOCAL GOVERNMENT REQUIREMENTS TOGETHER WITH THE LATEST EDITION OF THE STATE OF OHIO, DEPT. OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMS) SHALL GOVERN ALL CONSTRUCTION ITEMS THAT ARE A PART OF THIS PLAN UNLESS OTHERWISE NOTED. IF THERE ARE ANY DISCREPANCIES, THE CITY REQUIREMENTS SHALL GOVERN. ALL FIELD TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (MATERIAL COMPOSITION, MATERIAL COMPACTION, CONCRETE TESTING, ETC.).
- ANY MODIFICATION TO THE SPECIFICATIONS OR CHANGES TO THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
- THE CONTRACTOR AND SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTOR TO MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, PRIOR TO CONSTRUCTION.
- EXISTING UTILITIES SHOWN ARE FROM BEST AVAILABLE RECORDS AND FIELD INVESTIGATION, AND ARE NOT NECESSARILY COMPLETE OR EXACT. THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THIS SET OF PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION, AND SHALL MAKE ADJUSTMENTS IN ELEVATIONS TO PROVIDE SUFFICIENT CLEARANCE BETWEEN THE PROPOSED AND EXISTING UTILITIES. THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) THREE WORKING DAYS PRIOR TO WORK.
- ANY PROPERTY CORNER PINS OR PERMANENT SURVEY MARKINGS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A REGISTERED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- THE TRACKING AND/OR DEBRIS UPON STREETS IS PROHIBITED AND ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR. IF THE CONTRACTOR FAILS TO KEEP THE WORK AREA CLEAN OF DEBRIS, OR FAILS TO CLEAN MUD OR DIRT OFF OF STREETS, THE CITY MAY TAKE ACTION AND ASSESS THE DEVELOPER FOR THE COSTS THAT ARE INCURRED.
- NO NON-CURBED VEHICLES SHALL BE MOVED ON STREETS, EXCEPTIONS MAY BE GRANTED WHERE SHORT DISTANCES AND SPECIAL CIRCUMSTANCES ARE INVOLVED. GRANTING OF EXCEPTIONS MUST BE IN WRITING AND ANY RESULTING DAMAGE MUST BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING MAIL SERVICE IN THE CONSTRUCTION AREA.
- ALL ITEMS OF WORK CALLED FOR ON THESE PLANS BY SPECIFIC METHOD OF PAYMENT IS PROVIDED SHALL BE PERFORMED BY THE CONTRACTOR AND THE COST OF SAME SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN THE VICINITY OF EXISTING TREES TO REMAIN. TAKING ALL MEASURES POSSIBLE TO PROTECT AND PRESERVE THEM. THE CONTRACTOR SHALL BE GOVERNED BY THE PROVISIONS OF HIS CONTRACT WITH THE OWNER.
- ALL FIELD THE BROKEN DURING EXCAVATION SHALL BE REPLACED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE CITY ENGINEER.
- APPROVAL OF THESE PLANS IS CONTINGENT ON ALL EASEMENTS REQUIRED FOR THE CONSTRUCTION OF THE WORK BEING SECURED AND SUBMITTED TO THE CITY FOR RECORDING PRIOR TO COMMENCEMENT OF THE WORK, AND NO WORK WHICH REQUIRES AN EASEMENT WILL BE ALLOWED TO PROCEED UNTIL THIS HAS BEEN DONE.
- ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED, AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES PART 7 CONSTRUCTION AND MAINTENANCE. OPERATIONS, COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 25 SOUTH FRONT STREET, COLUMBUS, OHIO 43215.
- STEADY-BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES DURING AND SIMILAR TRAFFIC DEVICES IN USE AT NIGHT. CONES ARE NOT PERMITTED TO BE USED FOR NIGHT WORK.
- ALL TREES SHALL BE BACKFILLED OR SECURELY PLACED DURING NON WORKING HOURS.
- ACCESS TO ALL ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.
- ALL AREAS WITHIN THE PUBLIC RIGHT-OF-WAY THAT ARE DISTURBED BY THIS PROJECT SHALL BE RESTORED TO ORIGINAL, OR BETTER CONDITION, PER CMS ITEM 859 (SEEDING AND MULCHING) OR OTHER APPLICABLE SPECIFICATIONS.
- AT ALL UTILITY CROSSINGS WHERE THE EXISTING UTILITY IS EXPOSED IN THE TRENCH, THE BACKFILL SHALL CONSIST OF COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH CMS ITEM 603 BETWEEN THE DEEPER AND SMALLER PIPE. WHERE PROPOSED UTILITIES OR SERVICES CROSS PROPOSED OR EXISTING PAVEMENT AREAS, BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH CMS ITEM 803 EXTENDING AT LEAST 3 FEET BEYOND THE BACK OF CURB OR EDGE OF PAVEMENT. COST IS TO BE INCLUDED IN THE PRICE BID FOR RELATED PIPE.
- IN THE EVENT EXCAVATION FOR THE STREET IS FROM 0' TO 6' BELOW THAT CALLED FOR ON THE PLANS, THE CONTRACTOR SHALL REPLACE THIS EXCESS EXCAVATED MATERIAL WITH ITEM 304 AGGREGATE, AND SHALL BE PAID FOR BY THE CONTRACTOR.
- CURB INLETS, MANHOLES, AND CATCH BASINS SHALL BE CHANNELLED AS DIRECTED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADEQUATELY BARRICADE THE STREET IN THE VICINITY OF ALL EXPANSION JOINTS UNTIL SUCH TIME AS THE STREET IS OPEN TO TRAFFIC.
- WHERE NECESSARY TO INCLUDE PAVEMENTS OR DRIVE THE PAVEMENT SHALL BE SAW CUT IN NEAT, STRAIGHT LINES. THE DEPTH OF SAW CUT SHALL BE AT LEAST 2 INCHES.
- THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR CONSEQUENCES OF CONSTRUCTION. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR SAFETY ON THE JOB SITE, OR FOR FALLING BY THE CONTRACTOR TO PERFORM WORK ACCORDING TO CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL RESTRICT CONSTRUCTION ACTIVITY TO PUBLIC RIGHT-OF-WAY AND AREAS DEFINED AS PERMANENT AND/OR TEMPORARY CONSTRUCTION EASEMENTS.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAT EXISTED BEFORE CONSTRUCTION. DRAINAGE DITCHES OR WATER COURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADES AND CROSS SECTIONS THAT EXISTED BEFORE CONSTRUCTION.
- ALL SIGNS, LANDSCAPING, STRUCTURES, OR OTHER APPURTENANCES DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER. THE COST OF SUCH WORK SHALL BE PAID FOR BY THE CONTRACTOR.
- PERMITS TO CONSTRUCT IN THE RIGHT-OF-WAY OF EXISTING STREETS MUST BE OBTAINED FROM THE CITY BEFORE COMMENCING CONSTRUCTION. WHEN OPEN-CUTTING OF EXISTING PAVEMENT IS PERMITTED, CONTROLLED DENSITY BACKFILL MAY BE USED IN PLACE OF COMPACTED GRANULAR BACKFILL. EX. ASPHALT SURFACES SHALL BE HEAT WELDED.
- WHEN UNKNOWN OR INCORRECTLY LOCATED UNDERGROUND UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE CITY ENGINEER.
- BEFORE RELOCATING ANY MANHOLES, THE CONTRACTOR SHALL CONTACT THE U.S. POSTAL SERVICE AND RELOCATE MANHOLES ACCORDING TO THE REQUIREMENTS OF THE POSTAL SERVICE.
- ALL BENCHMARKS ARE BASED ON UNITED STATES GEOLOGICAL SURVEY (USGS) DATUM.
- CONTRACTOR AND OWNER SHALL ENSURE FIRE DEPARTMENT ACCESS AND WATER SUPPLY TO THE TEMPORARY AND PERMANENT FACILITIES AT ALL TIMES DURING CONSTRUCTION.



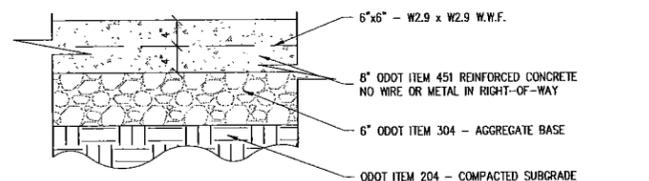
LIGHT DUTY ASPHALT DETAIL
SCALE: NOT TO SCALE



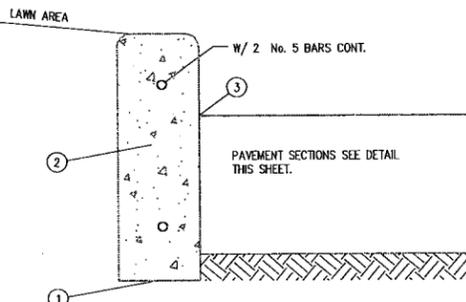
HEAVY DUTY ASPHALT DETAIL
SCALE: NOT TO SCALE



LIGHT DUTY CONCRETE DETAIL
SCALE: NOT TO SCALE

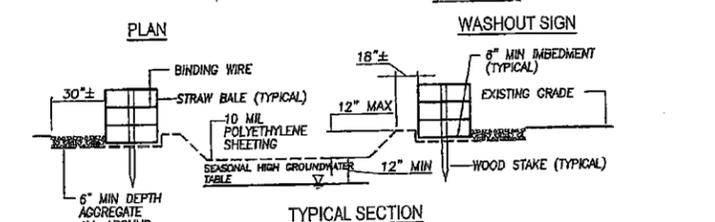
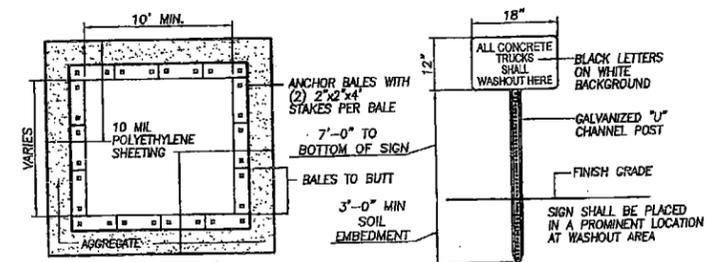


HEAVY DUTY CONCRETE DETAIL
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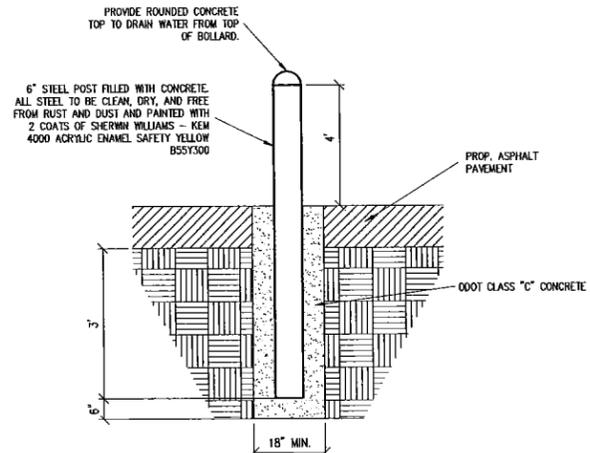
6"X18" CURB DETAIL
NOT TO SCALE

ODOT ITEM	DESCRIPTION
1 - 204	COMPACTED SUBGRADE
2 - 609	CONCRETE CURB TYPE 6 PER ODOT STD DWG BP-51, WITH 2 NO. 5 BARS AS SHOWN.
3 - 1/2"	EXPANSION MATERIAL IF PAVEMENT SECTION IS CONCRETE.

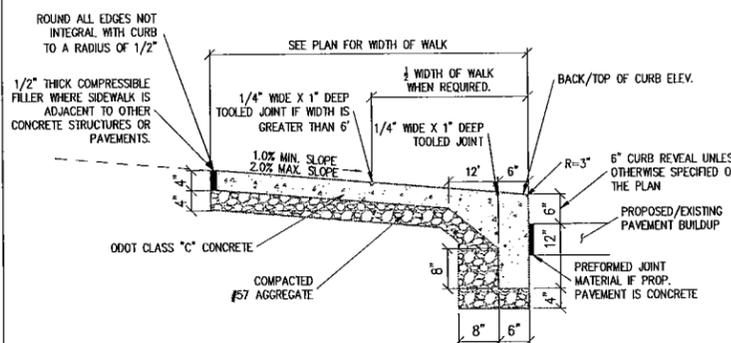


- NOTES:**
- CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
 - CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
 - WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
 - WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
 - ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
 - AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

CONCRETE WASHOUT AREA

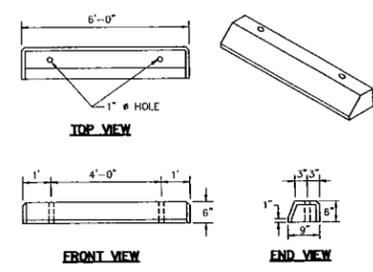


BOLLARD DETAIL
SCALE: NOT TO SCALE



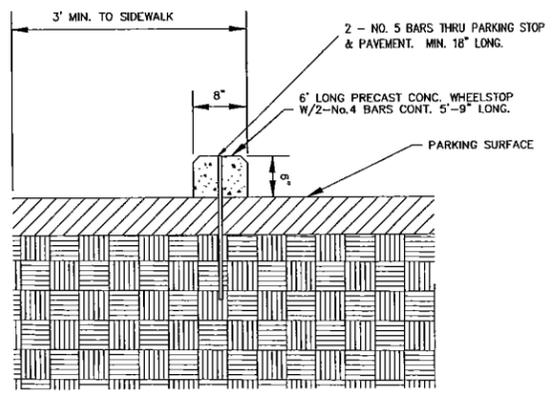
- NOTES:**
- PROVIDE 1/4" WIDE BY 1" DEEP CONTRACTION JOINTS PERPENDICULAR TO FACE CURB AT REGULAR 6' SPACING. ADJUST SPACING OF JOINTS AT END OF SIDEWALK RUN TO CREATE A UNIFORM APPEARANCE IN JOINT SPACING.
 - PROVIDE SIDEWALK SURFACES WITH A TEXTURED BROOM FINISH APPLIED PERPENDICULAR TO FACE OF CURB. FINISH CURBED PORTION WITH A SMOOTH FLOAT FINISH.

INTEGRAL CONCRETE CURB AND WALK DETAIL
NOT TO SCALE

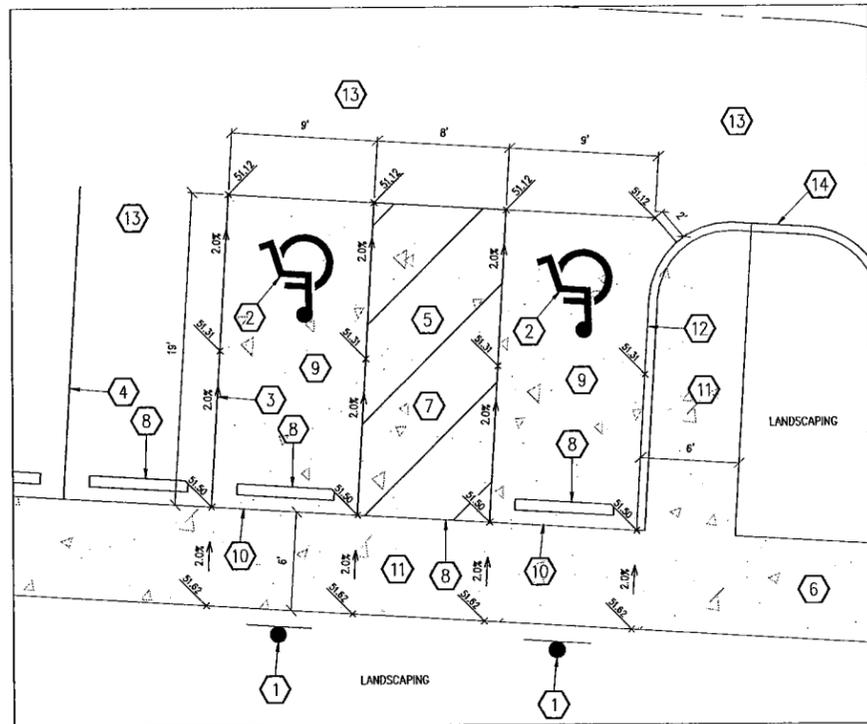


- NOTES:**
- THE TOP AND ALL EXPOSED FACE SURFACES TO 1" BELOW GUTTER LINE SHALL HAVE A SPONGE FLOAT SURFACE.
 - ALL EXPOSED EDGES SHALL HAVE A 1/4" CHAMFER.
 - PRECAST CONCRETE CAR STOPS INCLUDE FURNISHING AND DRIVING 3/4" x 18" STEEL RODS.

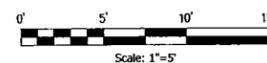
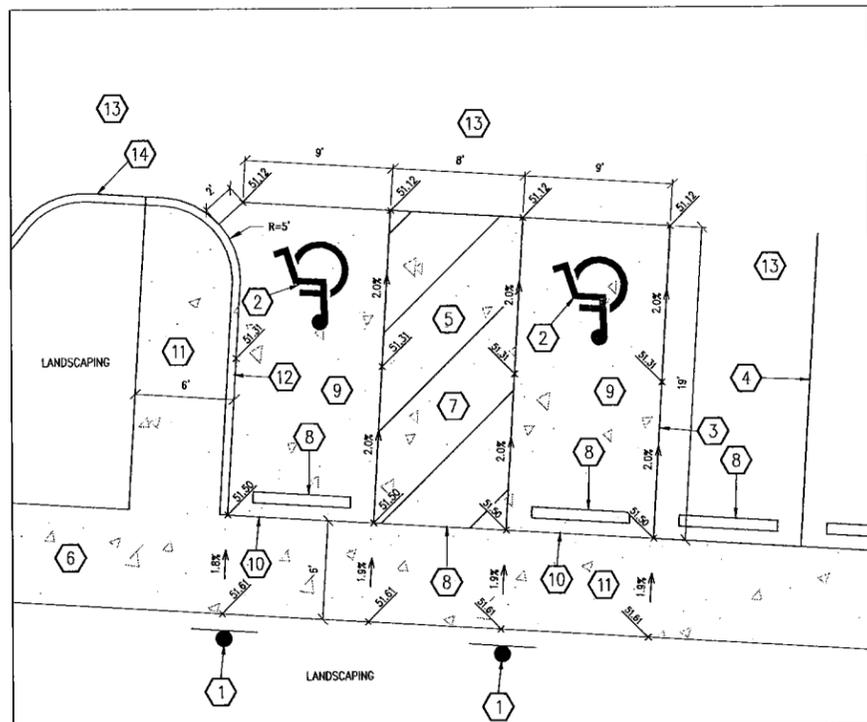
CONCRETE PARKING STOP DETAIL
N.T.S.



CONSTRUCTION NOTES AND DETAILS		
GAHANNA ALZHEIMER SPECIAL CARE CENTER 5195-5221 MORSE ROAD CITY OF GAHANNA, FRANKLIN COUNTY, OHIO		
Date: 09-21-2015	Revisions REV. PER CITY	Date 10-28-2015
Drawn By: JJF		
Checked By: MJW		
		JOB NO. 20150040 SHEET: C-8
4216 KARG INDUSTRIAL PKWY KENT, OH 44240 (330) 673-2400		



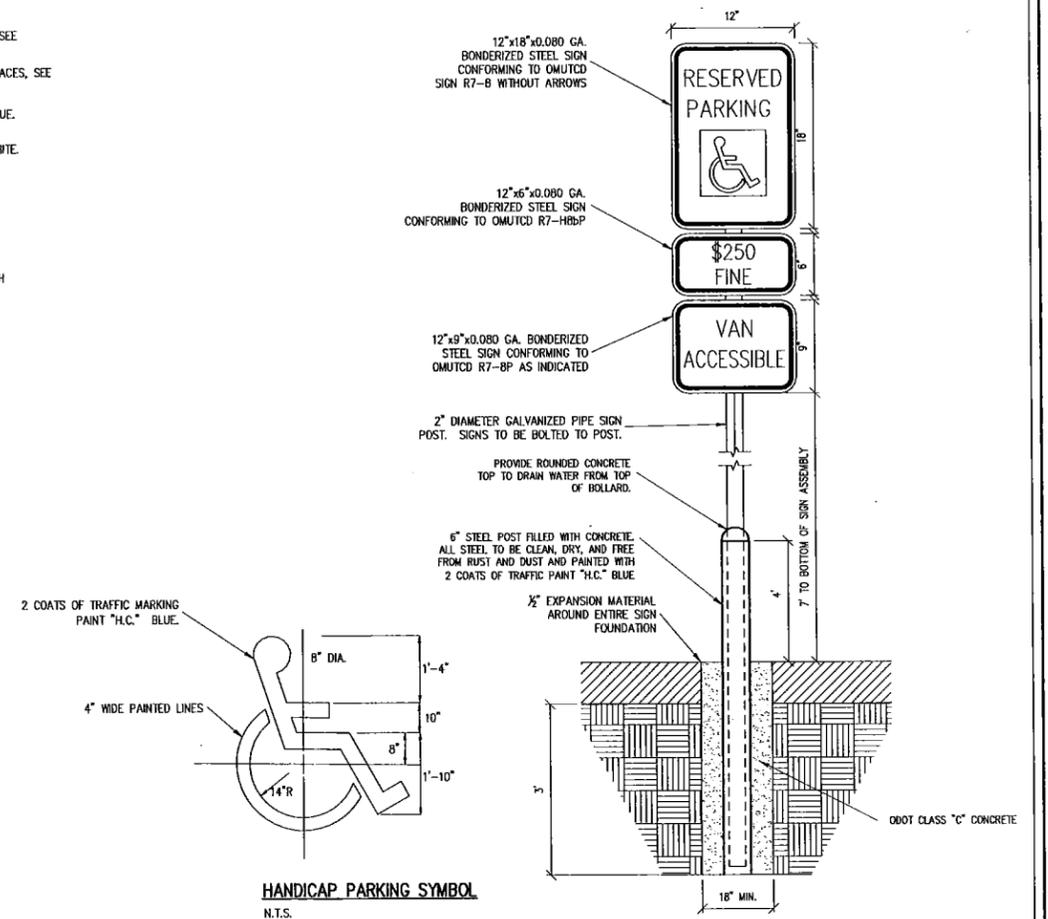
WEST ADA PARKING AREA



EAST ADA PARKING AREA

KEYED NOTES

- 1 - INSTALL HANDICAP SIGN WITH VAN ACCESSIBLE SIGNS, TYPICAL 4 PLACES. SEE DETAIL THIS SHEET.
- 2 - INSTALL HANDICAP PAVEMENT MARKING, PER ODOT ITEM 642 TYPICAL 4 PLACES, SEE DETAIL THIS SHEET.
- 3 - PAVEMENT STRIPING - 4" WIDE PER ODOT ITEM 642, COLOR SHALL BE BLUE.
- 4 - PAVEMENT STRIPING - 4" WIDE PER ODOT ITEM 642, COLOR SHALL BE WHITE.
- 5 - PAVEMENT ISLAND STRIPING - PER ODOT ITEM 642, COLOR SHALL BE BLUE. PROVIDE PERIMETER STRIPING THAT IS 4" AND PROVIDE ISLAND STRIPING THAT IS 4" WIDE AND 24" O.C. AT AN ANGLE OF 45 DEGREES FROM FACE OF BUILDING OR CURB AS APPLICABLE.
- 6 - INSTALL CONCRETE SIDEWALK PER ODOT ITEM 608. PROVIDE 4" OF ODOT CLASS "OC-1" CONCRETE OVER 4" OF COMPACTED 304 AGGREGATE BASE. WHEN SIDEWALK ABUTS ADJACENT PAVEMENT, SIDEWALK TO BE FLUSH WITH PAVEMENT.
- 7 - ADA PARKING AREA, NO PAVEMENT OR SIDEWALK SLOPE TO EXCEED A 2.0% MAX. SLOPE IN ANY DIRECTION.
- 8 - INSTALL PROPOSED PARKING STOP PER DETAIL SHEET C-8.
- 9 - INSTALL LIGHT DUTY CONCRETE PAVEMENT, PER DETAIL SHEET C-8.
- 10 - INSTALL 1/2" EXPANSION MATERIAL BETWEEN PROPOSED SIDEWALK AND CONCRETE PAVEMENT.
- 11 - PROPOSED INTEGRAL CONCRETE CURB AND WALK, PER DETAIL SHEET C-8.
- 12 - TAPER CURB REVEAL FROM 6" TO 0" IN 19'.
- 13 - INSTALL ASPHALT PAVEMENT, SEE SHEET C-2 FOR FURTHER DETAILS.
- 14 - INSTALL 6" X 18" CONCRETE CURB PER DETAIL SHEET C-8.



HANDICAP PARKING SYMBOL
N.T.S.

HANDICAP SIGN DETAIL
N.T.S.

CONSTRUCTION NOTES AND DETAILS

GAHANNA ALZHEIMER SPECIAL CARE CENTER
5195-5221 MORSE ROAD
CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

Date:	Revisions	Date
09-21-2015	REV. PER CITY	10-28-2015
Drawn By: JJF		
Checked By: MJW		

wohlwend
engineering group

4216 KARG INDUSTRIAL PKWY
KENT, OH 44240
(330) 673-2400

JOB NO.
20150040

SHEET: C-9

VORTSENTRY HS DESIGN NOTES

PERMITS RATED TREATMENT CAPACITY IS SHOWN IN THE TABLE BELOW, OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY VARIES. CONTACT YOUR CONTECH REPRESENTATIVE FOR ADDITIONAL INFORMATION.
THE STANDARD SOLID COVER CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW.

VORTSENTRY HS GENERAL INFORMATION														
Model	Manhole Diameter (ID)	Total Treatment Flow Rate		Typical Total Distance Rim to Outside Bottom		Typical Distance Rim to Invert		Typical Depth Below Invert (inside)		Approximate Minimum Distance Rim to Invert		Maximum Pipe Diameter (ID)		
		FT	m	FT	m	FT	m	FT	m	FT	m			
HS38	3	900	0.55	15.6	10.16	3.10	4.06	1.24	5.58	1702	3.00	0.91	18	450
HS48	4	1200	1.20	34.0	13.25	4.04	6.00	1.83	6.75	2097	4.00	1.22	24	600
HS60	5	1500	2.20	62.3	15.13	4.61	6.50	1.98	7.56	2426	4.62	1.47	30	750
HS72	6	1800	3.70	104.8	16.56	5.05	6.75	2.08	9.15	2788	5.58	1.70	36	900
HS84	7	2100	5.80	158.6	18.85	5.75	7.75	2.38	10.35	3156	6.00	1.82	42	1050
HS96	8	2400	8.10	229.4	20.87	6.30	8.50	2.59	11.54	3518	6.91	2.11	48	1200

PLAN VIEW B-B

SECTION A-A

FRAME AND COVER (DIAMETER VARIES) N.T.S.

FRAME AND GRATE (24" SQUARE) N.T.S.

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS)			
PEAK FLOW RATE (CFS)			
RETURN PERIOD OF PEAK FLOW (HRS)			
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
OUTLET PIPE			
RIM ELEVATION			
ANTI-FLOTATION BALLAST	WIDTH	HEIGHT	
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
- VORTSENTRY HS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO H20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE VORTSENTRY HS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

VORTSENTRY HS STANDARD DETAIL

OUTLET STRUCTURE (17-OS) (ODOT NO. 3 MANHOLE) N.T.S.

TOP = 950.56
100 YR WS ELEV. = 949.63
INVERT 6" STM = 947.50
INVERT 6" STM = 943.45
36" STM Ø 0.10%
INV 943.45
BOTTOM 941.45
2' SWAMP
12" STM TO WO UNIT
12"x12" TEE
6"x12" OFFSET REDUCER

SECTION VIEW

END OF LINE

YARD INLET DETAILS N.T.S.

EAST JORDAN IRON WORKS DRAINAGE GRATE NO. 6206 OR APPROVED EQUAL
8" HDPE
45° BEND
STEEL PLATE COVER
GRADE
10" PIPE WITH BELL

18-WQ UNIT N.T.S.

INSTALLATION NOTES:
DO NOT PLACE WATER QUALITY UNIT INTO SERVICE UNTIL ALL UPSTREAM AREAS HAVE BEEN STABILIZED.

CATCH BASIN FINGER DRAIN DETAIL
NOT TO SCALE

SEWER TRENCH DETAIL
NOT TO SCALE

BACKFILL NOTES:

- BACKFILL UNDER PAVEMENTS SHALL BE ODOT 304 AGGREGATE BASE UP TO THE TOP OF SUBGRADE.
- BACKFILL UNDER NON-PAVEMENT AREAS SHALL CONFORM TO ODOT ITEM 203. MATERIAL EXCAVATED FROM TRENCHES MAY BE USED PROVIDED IT CONFORMED TO ODOT ITEM 203.

UTILITY CLEANOUT N.T.S.

PROPOSED PAVEMENT
ODOT ITEM 304
6.0'
VARIES
24"
5.5'
6"
NO. 57 WASHED AGGREGATE GRAVEL OR APPROVED EQUAL
FILTER FABRIC WITH MIN. 6" FABRIC OVERLAP CENTERED ON TOP
36" PERFORATED HDPE PIPES CONFORMING TO ODOT 707.33
CLEANOUT WITH PLUG
45° BEND
WYE
MAIN PIPE - SIZE PER PLOT OR PIPING PLAN
CLEANOUT PLUG
CONCRETE COLLAR
PAVING
ZURN OR JOSAM HEAVY-DUTY TRAFFIC RATED, COATED CAST IRON CLEANOUT FOR 6" PIPE WITH ROUND BRONZE OR CAST IRON CAP. ADJUST TO MEET FINISHED PAVEMENT ELEVATION.
2'-0" PREFERRED
45° BEND
6" LONG PIPE
WYE
MAIN RUN - SIZE PER PLOT OR PIPING PLAN
PLUG
WYE
SECTION

UNPAVED AREA SECTION

STEEL PLATE COVER
GRADE
10" PIPE WITH BELL
UNPAVED AREA SECTION

CONSTRUCTION NOTES AND DETAILS

GAHANNA ALZHEIMER SPECIAL CARE CENTER
5195-5221 MORSE ROAD
CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

Date: 09-21-2015	Revisions	Date
Drawn By: JUF	REV. PER CITY	10-28-2015
Checked By: MJW		

4216 KARG INDUSTRIAL PKWY
KENT, OH 44240
(330) 673-2400

JOB NO.
20150040



CITY OF GAHANNA

STAFF COMMENTS

Project Name: Gahanna Alzheimer Special Care Center
Project Address: 5195-5221 Morse Rd

Planning and Development

The applicant is requesting Final Development Plan, Variance, and Design Review approval for a new 66 bed memory care facility. The facility is located on 3.4 acres of property zoned Suburban Office (SO). Nursing and personal care facilities are a permitted use within the SO zone district. Adjacent properties are developed with a mix of uses which includes office, multifamily, and vacant/undeveloped.

The property is located within the North Triangle Concept Plan. The Plan recommends a 150' open space corridor measured from the centerline of Morse Road. Permitted uses within the open space corridor includes landscaping and signage. The applicant proposes a setback of approximately 100'. This is consistent with the adjacent office development to the west and is similar to other recent approvals in the surrounding area.

The Plan also recommends that direct access to Morse Road be limited to intervals no less than 600'. The site has approximately 410' of frontage with two access points proposed. The western most access is shared with the adjacent office facility. It appears that both access points are necessary in order to promote efficient traffic circulation.

It should be noted that the North Triangle Concept Plan is meant to guide decisions. It does not mandate the above mentioned recommendations. The Plan was adopted in 1997. Since that time, the properties within the north triangle have developed significantly different than what was anticipated. Most notably, access roads within this area did not develop as the Plan recommended. For this reason, in part, staff has no objection to the applicant's request for two access points on Morse Road. The other factor to consider is the use of the properties to the east. One property is owned by the applicant and the other is a several acres tract of undeveloped land. The location of the proposed access points does not appear to cause any traffic related issues. Additionally, the proposed use, memory care, does not generate a significant amount of traffic. It is estimated that a 66 bed facility would generate approximately 281 trips per day.



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The North Triangle Concept Plan proposed a network of internal roads that would have minimized the need for individual access points, however, properties did not develop as anticipated.

FDP

A Final Development Plan (FDP) should encourage orderly development and be designed in a manner that is keeping with the overall character of the community. The corridor in which the request is located has experienced a substantial amount of development in the past decade. The corridor is developed with a mix of office, multifamily residential, and senior living facilities. The proposed use is permitted by the zoning and is configured in a manner that is reminiscent of other developments in the area.

Four factors to consider when evaluating an FDP include the following:

1. The proposed development meets the applicable development standards for the zoning code.

Staff is of the opinion that the request meets the development standards of the zoning code with the exception of the variance requests. All other standards have been met.

2. The proposed development is in accord with appropriate plans for the area.

The development is located within the boundaries of the North Triangle Concept Plan. The request varies from some of the recommendations of the Plan in that a 100' open space corridor has been provided along Morse Road and access is proposed at intervals less than 600'. It should be noted that the Plan dates back to 1997. Since that time the area has developed in ways inconsistent with the recommendations of the Plan. Staff recommends approval of the request as submitted as it meets the intent of the Plan's recommendations.

3. The proposed development would not have an undesirable effect on the surrounding area.



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It is staff's opinion that the request would not have an undesirable effect on the surrounding area. The request, if approved, will create new jobs, investment in the area, and is a use which is underrepresented in the community. Studies have shown that central Ohio needs additional senior housing, assisted living, and similar facilities in the region. The region's population is projected to grow by 500,000 people over the next 35 years with the most growth occurring in the 65 or older age group.

4. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

The development is of a similar size, scale, and appearance as other recent developments in the area. Because of the nature of the use and height of the building, it will be less intense and create less of an impact than other uses in the area.

Variance

A variance to the setback requirement adjacent to residential zoned property has been requested. The property to the south is developed with multifamily residential, the property to the east is zoned multifamily but not developed. Additionally, the property to the east is also owned by the applicant. A setback of no less than 69.9' is proposed along the southern property line. The Code requires a setback of 76'. The existing multifamily units are approximately 20' from the property. Creating a structure to structure setback of approximately 90'. A setback of no less than 33.5' is provided along the eastern property line. The Code requires 52'.

Conditions for approval of a variance include the following:

1. There are special circumstances or conditions applying to the land, building, or use.

Staff believes that a special circumstance exists as the eastern property is zoned residential, however, it is owned by the applicant and too narrow to be developed. If the property were not designated residential on the zoning map then a 10' setback would be required. The reduced setback along the rear property appears justified as the open space corridor along Morse Road makes a significant portion of the property unusable. The proposed use is low intensity and similar in nature to multifamily, thus eliminating any possible compatibility issues caused by the reduced setback.

2. Granting the variance is necessary for the preservation and enjoyment of property rights.

Granting the requested variance will allow for the site to develop at an intensity appropriate for the area. The project could build a two story building, however, this would cause an unsafe condition for the residents of the facility. Additionally, the extra building height could create a



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visual impact to neighbors and the drive sequence along Morse Road greater than the proposed one story building.

3. Granting the application will not adversely affect the health, safety, and welfare of the neighborhood.

The variances, if granted, would not create an unsafe condition. Approving the request would in fact avoid creating potential safety issues for future residents of the facility by allowing the facility to remain at a single story.

Design Review

The primary purpose of design review is to create a design environment that enhances the community through architecture and exterior appearance. Local concerns, economic feasibility and the existing design environment should be a part of the evaluation and approval process.

Applications for design review shall meet the following criteria:

1. Stylistically compatible with other new, renovated, and existing structures in the district in order to maintain design continuity.
2. Contribute to the improvement and upgrading of the architectural and design character of the District.
3. Contribute to the continuing economic and community vitality of the District.
4. Maintain, protect and enhance the physical surroundings of the District.

In keeping with the residential feel of the surrounding area, the applicant proposes to use brick accents and neutral siding (see images below). Design Review District 3, where the site is located, promotes the use of brick as a way of adding visual interest.



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Rendering



Brick Accents (Belcrest 550)



Siding

SW 7533
Khaki Shade

Interior / Exterior

Locator Number: 285-C6

Trim

SW 7535
Sandy Ridge

Interior / Exterior

Locator Number: 284-C6



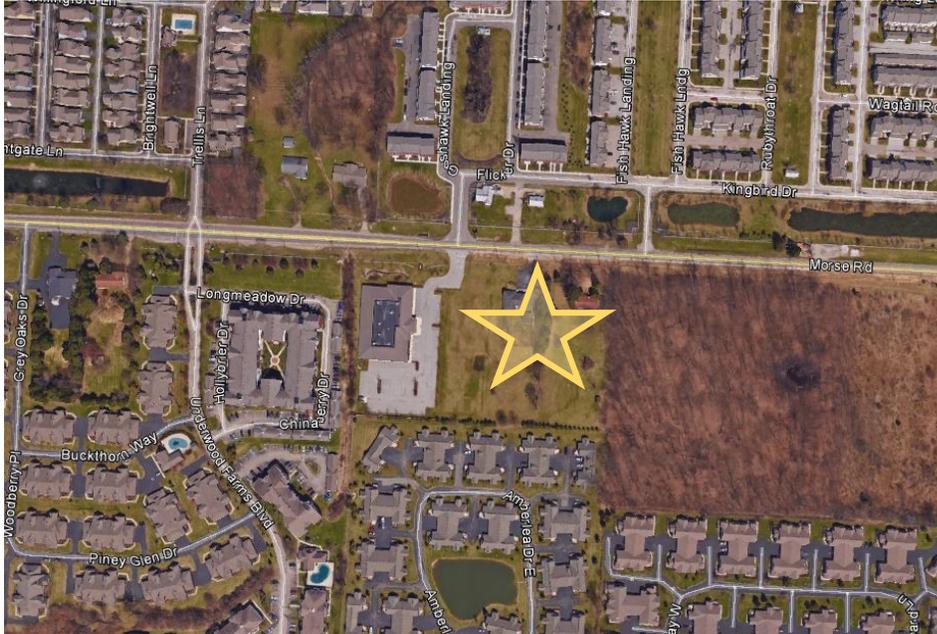
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Aerial Map



Zoning Map



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Future Land Use Map



Subject property and surrounding properties are designated Office on Future Land Use Map

Respectfully Submitted By:
Michael Blackford, AICP
Deputy Director, Planning and Development





CITY OF GAHANNA

STAFF COMMENTS

Project Name: Gahanna Alzheimer Special Care Center
Project Address: 5195-5221 Morse Rd.

This project is proposed for the 3.418 acres currently owned by Mike Pierce, zoned SO (Suburban Office and Institutional). Planned is a 34,492 sq ft building which will house 66 residents, with 31 staff members providing 24 hour care.

The building and parking setbacks have been sited to closely mimic those of the medical building to the west, and preserve the Open Space Corridor of the North Triangle Plan. There will be a shared drive with the medical building to the west, as well as an ingress/egress at the eastern portion of the property.

A 6' privacy fence is proposed for the southeast portion of the property as well as along the west portion of the property to provide security to the residents.

Jefferson Township will have the fire department jurisdiction on this site.

Respectfully Submitted By:

BONNIE GARD

Planning & Zoning Administrator
Department of Planning & Development
Division of Building & Zoning



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CITY OF GAHANNA

STAFF COMMENTS (Revised 20151102)

Project Name: Gahanna Alzheimer Special Care Center
Project Address: 5195-5221 Morse Rd

General Comments

- A formal final engineering plan review will be performed following approval of the Final Development Plan.

Site Access

- Information provided by the developer shows that the development will not generate more than 100 vehicle trips in the peak hour, or more than 1,000 total trips in a 24 hour period, thus will not require a Traffic Impact Study.
- A right turn lane warrant analysis shall be performed for the existing shared use entrance.
- The proposed site plans shall be coordinated with the Morse Road improvements currently under construction.
- The dedication of the additional right-of-way shall be dedicated to the City of Gahanna as part of the Final Engineering Plan review process.

Sanitary Sewer

- There is an existing 8 inch sanitary sewer manhole located near the southwest corner of the site that can be accessed to provide sanitary sewer service for the development.

Water Service

- There is an existing 8 inch water line located in an easement running along the south side of the site. This line can be tapped to provide service to the development for both domestic and fire suppression.
- Check with Jefferson Township Fire Department to verify that the existing hydrant located just west of the site and the Columbus hydrants along Morse Road provide adequate fire protection.

Stormwater Management

- It appears storm water detention and water quality requirements will be addressed with parking lot detention and a water quality (WQ) unit. Detention and water quality treatment design to be per City of Gahanna standards, Codified Ordinances Chapter 1193.



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- We recommend that consideration be given to incorporating green infrastructure best management practices (BMP's) for detention and water quality measures.
- Erosion Control design and Post Construction Runoff Control to be per City of Gahanna (Chapter 1195) and Franklin Soil and Water Conservation District requirements.

Respectfully Submitted By: Robert S. Priestas



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STAFF COMMENTS

Project Name: Gahanna Alzheimer Special Care Center
Project Address: 5195-5221 Morse Rd.

There are no unique environmental concerns with this site. A roadside drainage channel occurs at the front of the property, but no other channels exists on this parcel. A drainage area to the south of the property abutting Amberleigh was constructed during the construction of Amberleigh and conveys surface drainage to the west. There is no defined bed, bank, or channel to define an open system.

The proposed stormwater controls would appear to be adequate based on the methodology cited and will provide some infiltration of stormwater before discharge. The Bennington B soils on this site have a perched water table 0.5-1.5 ft. below the surface Nov. through May. It is likely the system will discharge groundwater during these months.

Respectfully Submitted By: Dave Reutter FSWCD



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STAFF COMMENTS

Project Name: Gahanna Alzheimer Special Care Center

Project Address: 5195-5221 Morse Rd

1. Minimum 26' wide access road (east entrance)
2. Minimum 26' wide access road in front of building
3. West access road heavy duty pavement starting at road
4. FDC sign (with arrow) posted on West side of property indicating location of FDC
5. Addition fire hydrant required to achieve fire flow (see fire code official for location)
6. Turing performance analysis for ladder truck (Northwest corner of parking lot)

Specs of Ladder Truck

Curb to Curb 39' 8"

Wall to Wall 47' 4"

Inside Turn 24' 1"

Respectfully Submitted By:

Chad Mast
Fire Prevention Bureau
Jefferson Township Fire
614-588-5880



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CITY OF GAHANNA

STAFF COMMENTS

Project Name: Gahanna Alzheimer Special Care Center
Project Address: 5195-5221 Morse Rd

No comments on the general layout of the project.

Respectfully Submitted By:

*Kenneth W. Fultz
Chief Building Official*



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STAFF COMMENTS

Project Name: Gahanna Alzheimer Special Care Center
Project Address: 5195-5221 Morse Rd

No Comment

Respectfully Submitted By:

Troy Euton, Director P&R



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