

FINAL DEVELOPMENT PLAN APPLICATION

Project/Property Address or Location: 455 Morrison Road		Project Name/Business Name: Moo Moo Express Car Wash	
Parcel ID No.(s): 025-003174-00	Zoning Designation: PUD	Total Acreage: 1.87	
Project Description: Demo exisiting restaurant and construct a new express tunnel car wash and oil change facility			
APPLICANT Name -do <u>not</u> use a business name: Jeffrey Gilger		Applicant Address: 13375 National Rd. SW Etna, OH 43068	
Applicant E-mail: jeff@expresswashconcepts.com		Applicant Phone No.: 614-751-9274	
BUSINESS Name (if applicable): Moo Moo Express Car Wash			
ADDITIONAL CONTACTS: Please list Primary Contact person for Correspondence (please list all applicable contacts)			
Name(s): <i>Lee Wall Chief Financial Officer Frisch's Restaurants, Inc.</i>		Contact Information (phone no./email): <i>(513) 559-5200</i>	
PROPERTY OWNER Name: (if different from Applicant) National Retail Properties LP		Property Owner Contact Information (phone no./email): <i>1-800-666-7348</i>	

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED (see page 2)

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant/Primary Contact Signature: Jeffrey Gilger

I hereby agree to defend, hold harmless, and pay the costs of defending any action brought against the City of Gahanna for any claim, demand, or damages, including reasonable attorneys' fees, arising out of or from the use of the information provided on this application.

Date: 09/25/2020

INTERNAL USE

Zoning File No.

FDP-0117-2021

RECEIVED:

HW

DATE:

3-24-21

PAID:

1000.00

DATE:

3-24-21

AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

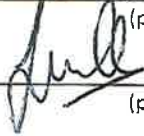
PROPERTY OWNER

IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the ~~property owner~~/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

LEE WALL, CHIEF FINANCIAL OFFICER, FRISCH'S RESTAURANTS, INC.

(property owner name printed)



(property owner signature)

02/25/2021

(date)

Subscribed and sworn to before me on this 25th day of February, 2021.

State of Ohio County of Hamilton

Notary Public Signature:





JENNIFER SMITH
 Notary Public, State of Ohio
 My Commission Expires:
 August 19, 2024

* subject to exceptions and limitations set forth in that certain Affidavit on February 5, 2021 by National Retail Properties, LP.

Applicant/Property Owner/Representative

AGREEMENT TO COMPLY AS APPROVED As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

AUTHORIZATION TO VISIT THE PROPERTY I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described.

APPLICATION SUBMISSION CERTIFICATION I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

Jeffrey Gilger

(applicant/representative/property owner name printed)



(applicant/representative/property owner signature)

3/1/21

(date)

Subscribed and sworn to before me on this 1 day of March, 2021.

State of Ohio County of Licking

Notary Public Signature:





**Moo Moo Express Car Wash - Project Narrative and Conditional Use Statement
Conditional Use Permit Application 5-10-2021 (revised)**

455 Morrison Rd. Gahanna OH

Project Narrative:

Moo Moo Express Car Wash is looking forward to expanding our brand once again in Gahanna Ohio. We currently have 19 facilities in operation in the greater Columbus market. We were voted the #1 Car Wash for the 3rd year in a row in The Columbus Dispatch's Columbus Top Picks.

We are growing our brand's car wash portfolio with great projects including the location delineated on the application presented. Moo Moo Express Car Wash is an exterior express tunnel car wash operation that attracts a regular clientele through our monthly unlimited wash program. We feel that this customer loyalty enhances the relationship with communities by providing a great wash experience while connecting and partnering with local schools and groups for fund raising opportunities and other co-marketing opportunities.

On average, we wash approximately 125,000-150,000 cars annually per location within our 7am – 8pm hours of operations 360 day of the year. Our peak hours of operation are from lunch through the dinner hour with typical peak volumes of +/- 60 car/hour. Additionally, we recycle & filter all of our wash water using only 15-20 gallons of fresh water per car, saving over a 2,000,000 gal. of water per day with all our facilities vs. washing at home.

We look forward to expanding our business and partnering with Gahanna, continuing to be a great asset to the stakeholders of the community.

Project Summary

Moo Moo Car Wash intends to redevelop the vacant Frisch's restaurant site into an express tunnel car wash facility. This site is currently zoned Community Commercial. The express tunnel car wash is a conditional use and as such we are seeking approval for our use. The proposed facility would be developed on the Frisch's property as delineated in our package. The rectangular barn style building will sit perpendicular to Hamilton. The layout features 3 stacking lanes approximately 12ft wide and with 3 pay stations to enhance through-put and reduce stacking. Site ingress access shall be through the existing drives & easements that serve the property.

Conditional Use and Traffic

The car wash should generally not have excess stacking but when we do the long N/S lane will provide additional opportunity as well as the Eastern portion of the site. There will never be cars stopped on Morrison. Peak Wash hour is 100 cars / hour. This is not typical by any means but can happen on a sunny winter day perhaps 5-10 days a year.

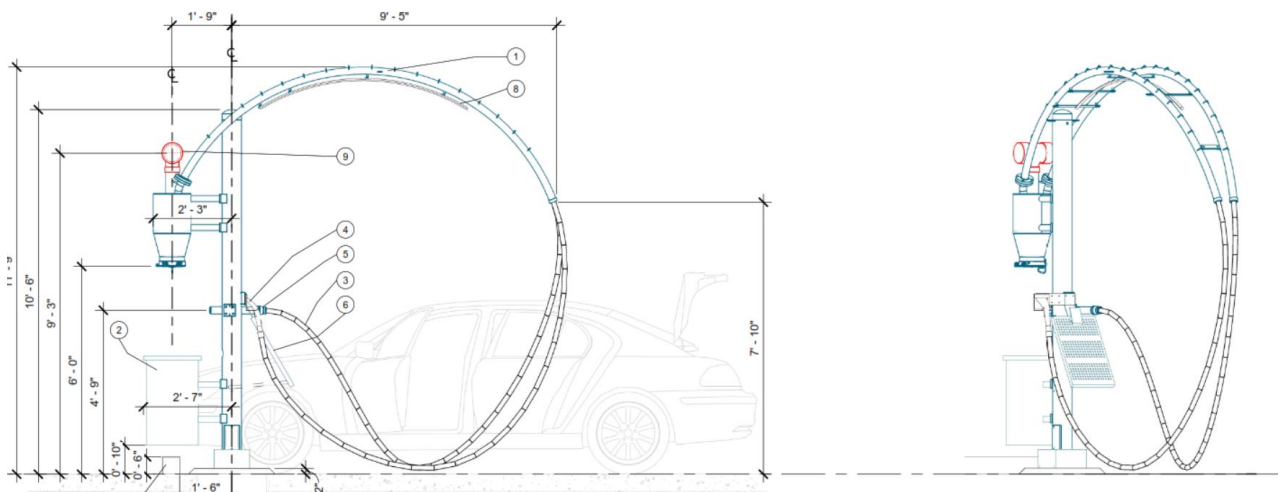
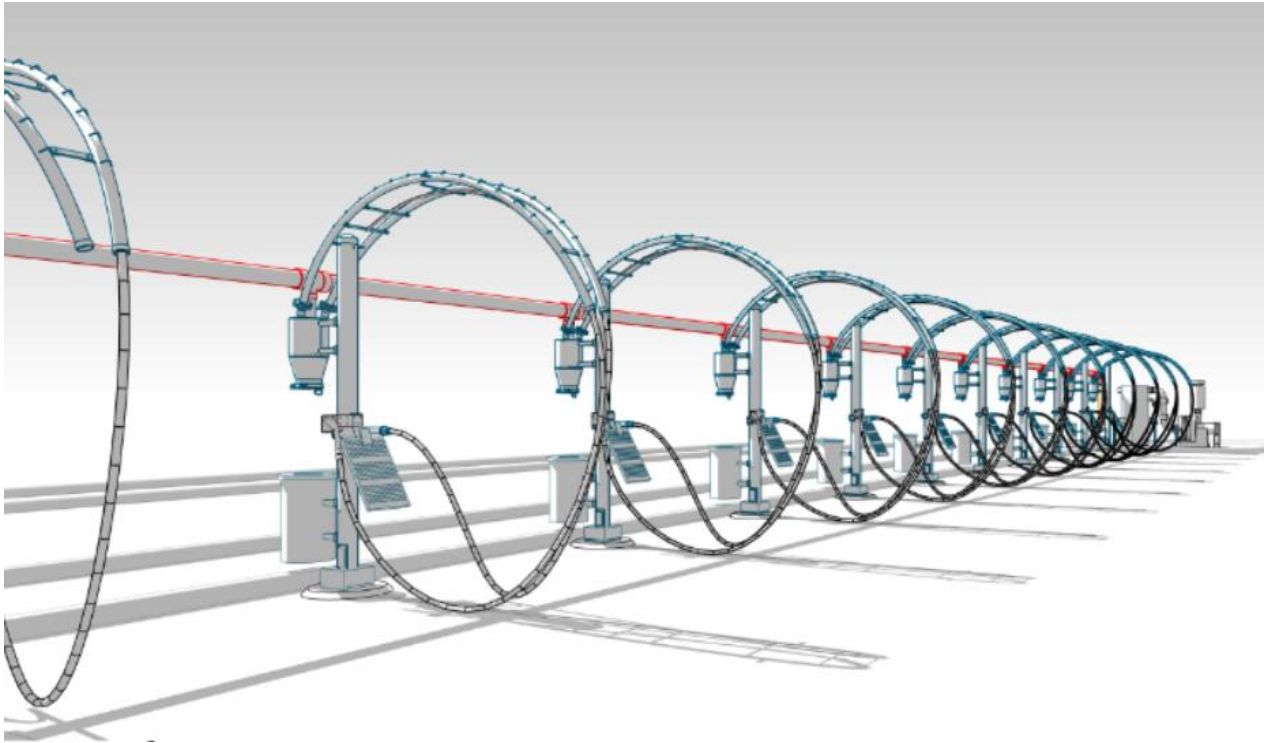
The pay stations are a matter of redundancy for the unexpected times when there could be a software or hardware failure or when customers struggle to conduct the transaction. The VIP lane is an additional RFID reading lane. This insures maximum efficiency for payment processing and reduction of stacking.

We utilize sandwich boards to inform customers of wait times. Again, this is a very infrequent condition that happens between 5-10 days a year or less than 2% of our operating hours.

Moo Moo Express Car Wash - Project Narrative and Conditional Use Statement
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455 Morrison Rd. Gahanna OH

Vacuums will have a Black finish.



Moo Moo Express Car Wash - Project Narrative and Conditional Use Statement
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455 Morrison Rd. Gahanna OH

Architecture:

Building architecture showing materials in character with area development. Our current architecture consists of a Hardie (cement based) board and batten siding with a stone water table with Sherwin Williams Fireweed red as illustrated on rendered elevations herein:

Gable Signage would be at the entrance end at this location facing Hamilton Rd.



Typical Monument Sign:



This is a photo of our monument sign with the gable building sign in the background – we would look to do something similar with the sign base matching the building's water table.

**Moo Moo Express Car Wash - Project Narrative and Conditional Use Statement
Conditional Use Permit Application 5-10-2021 (revised)**

455 Morrison Rd. Gahanna OH

Thank you for the consideration of our request for Conditional Use at this proposed location. We are looking forward to expanding our brand in Gahanna.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Jeffrey Gilger', with a stylized flourish at the end.

Jeffrey Gilger
Partner, V.P. Development

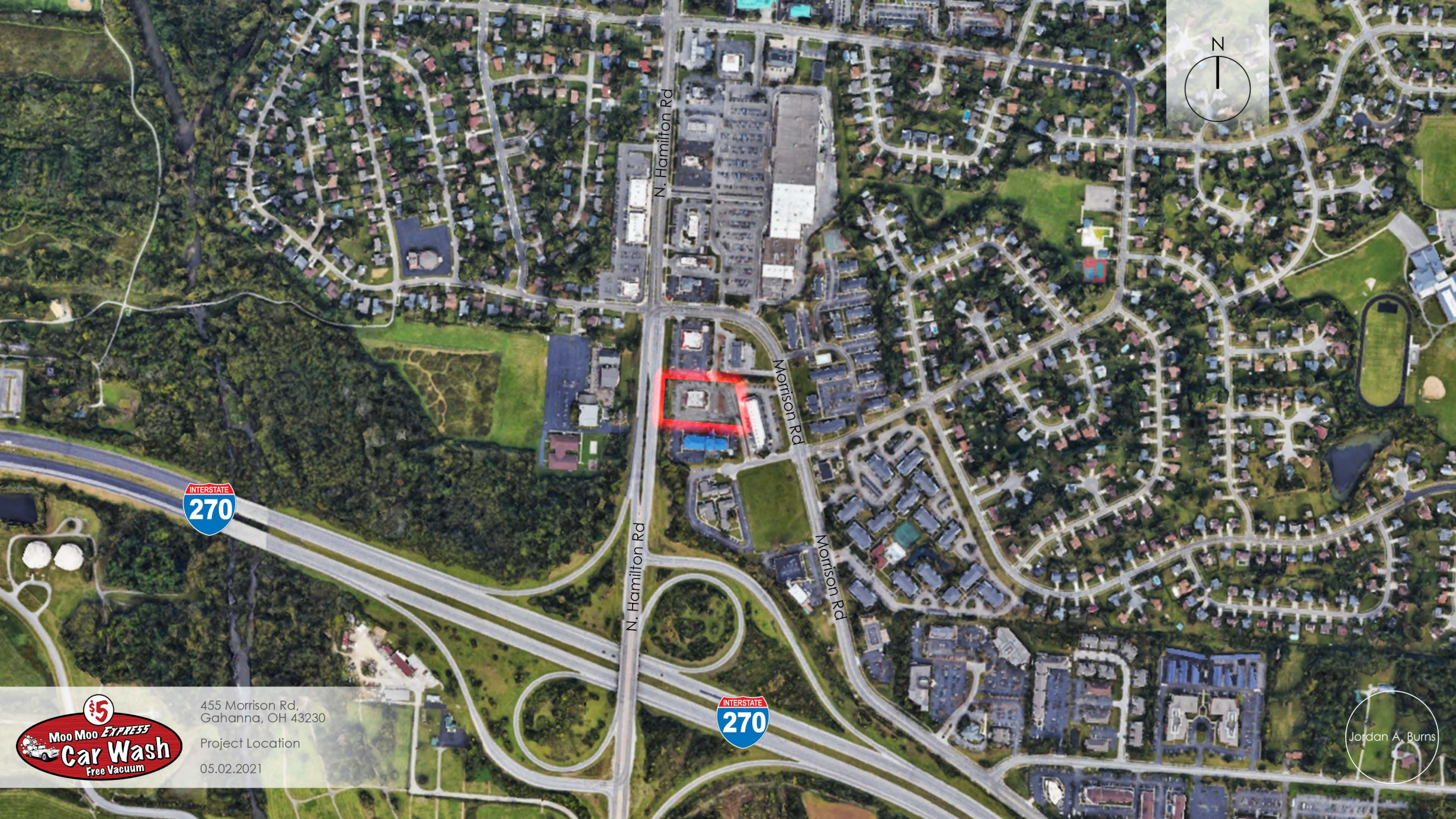


455 Morrison Rd,
Gahanna, OH 43230

New Build Concept
Rendering Package

05.02.2021





455 Morrison Rd,
Gahanna, OH 43230

Project Location

05.02.2021



Jordan A. Burns

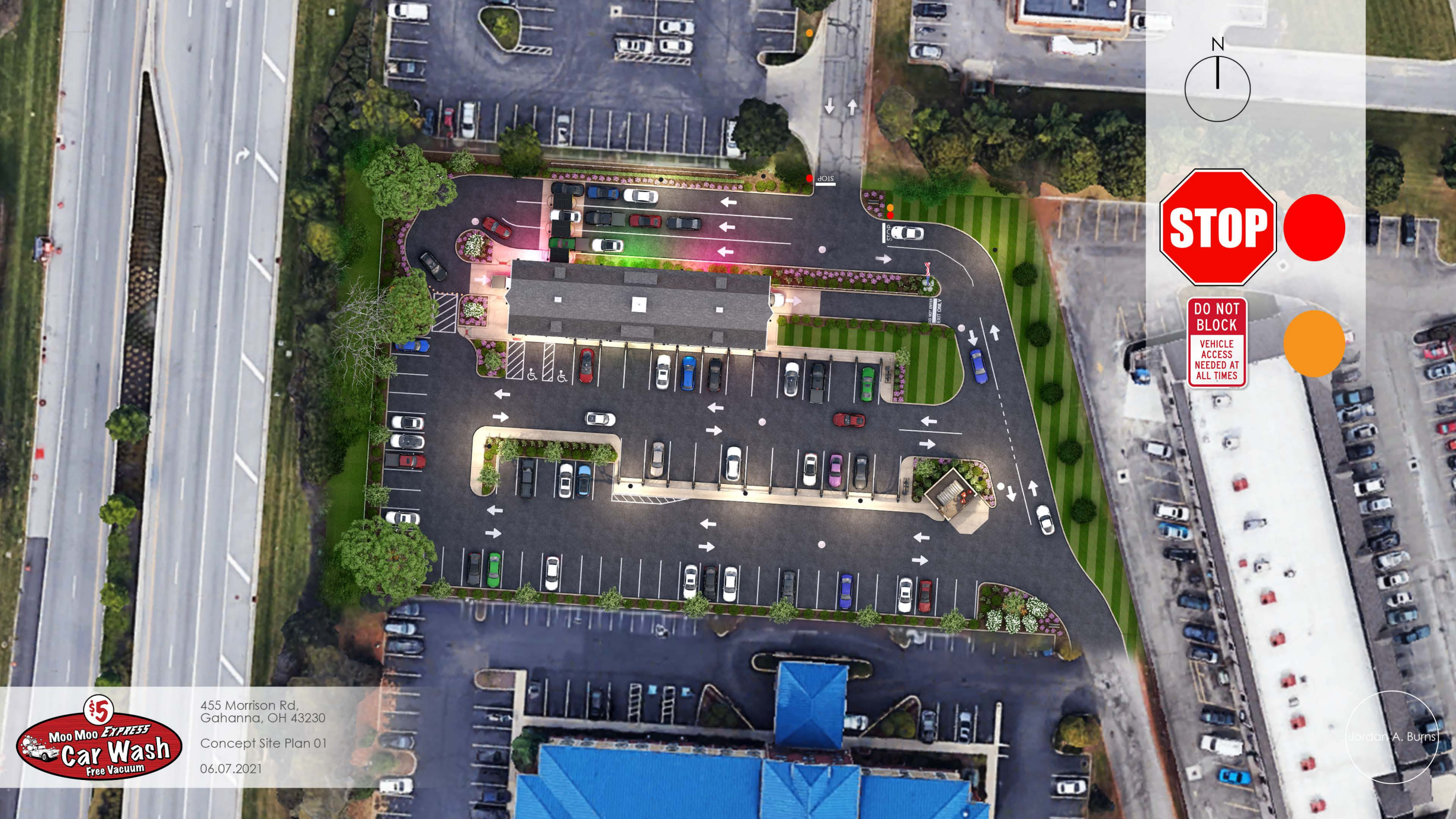


455 Morrison Rd,
Gahanna, OH 43230

Existing Site Plan

05.02.2021

Jordan A. Burns



455 Morrison Rd,
Gahanna, OH 43230
Concept Site Plan 01
06.07.2021

Jordan A. Burns



455 Morrison Rd,
Gahanna, OH 43230
Concept Site Plan 02
05.02.2021

Jordan A. Burns



455 Morrison Rd,
Gahanna, OH 43230
Concept Site Plan 03
05.02.2021

Jordan A. Burns



455 Morrison Rd,
Gahanna, OH 43230

Concept Elev. 01

05.02.2021

Jordan A. Burns



455 Morrison Rd,
Gahanna, OH 43230
Concept Elev. 02
05.02.2021

Jordan A. Burns



455 Morrison Rd,
Gahanna, OH 43230
Concept Elev. 03
05.02.2021

Jordan A. Burns



455 Morrison Rd,
Gahanna, OH 43230
Concept Elev. 04
05.02.2021

Jordan A. Burns



455 Morrison Rd,
Gahanna, OH 43230

Concept Elev. 05

05.02.2021

Jordan A. Burns



455 Morrison Rd,
Gahanna, OH 43230

Concept Elev. 06

05.02.2021

Jordan A. Burns

CITY OF GAHANNA, OHIO

PRIVATE SITE IMPROVEMENTS

MOO MOO EXPRESS CAR WASH

455 MORRISON ROAD

MAY, 2021

SUMMARY OF ESTIMATED QUANTITIES			
SPEC	DESCRIPTION	UNIT	QTY.
202	PAVEMENT REMOVED	SY.	4172
203	EXCAVATION, INCLUDING EMBANKMENT	CY.	1390
204	SUBBASE COMPACTION	SY.	2274
207	DANDY BAG	EA.	6
207	SILT FENCE	LF.	985
207	CONCRETE WASHOUT	EA.	1
304	AGGREGATE BASE	CY.	488
448	ASPHALT CONCRETE SURFACE COURSE	CY.	81.4
448	ASPHALT CONCRETE INTERMEDIATE COURSE	CY.	81.4
603	8" HDPE STORM SEWER PIPE, 707.33, COMPACTED GRANULAR	LF.	63
604	ORIFICE PLATE	EA.	1
604	COLUMBUS 133A CATCH BASIN	EA.	1
608	CONCRETE WALK	SY.	234
806	2" WATER SERVICE, COMPLETE	EA.	1
915	CLEANOUT	EA.	2
918	6" PVC SANITARY SEWER PIPE, 707.45	LF.	84

DEVELOPER:

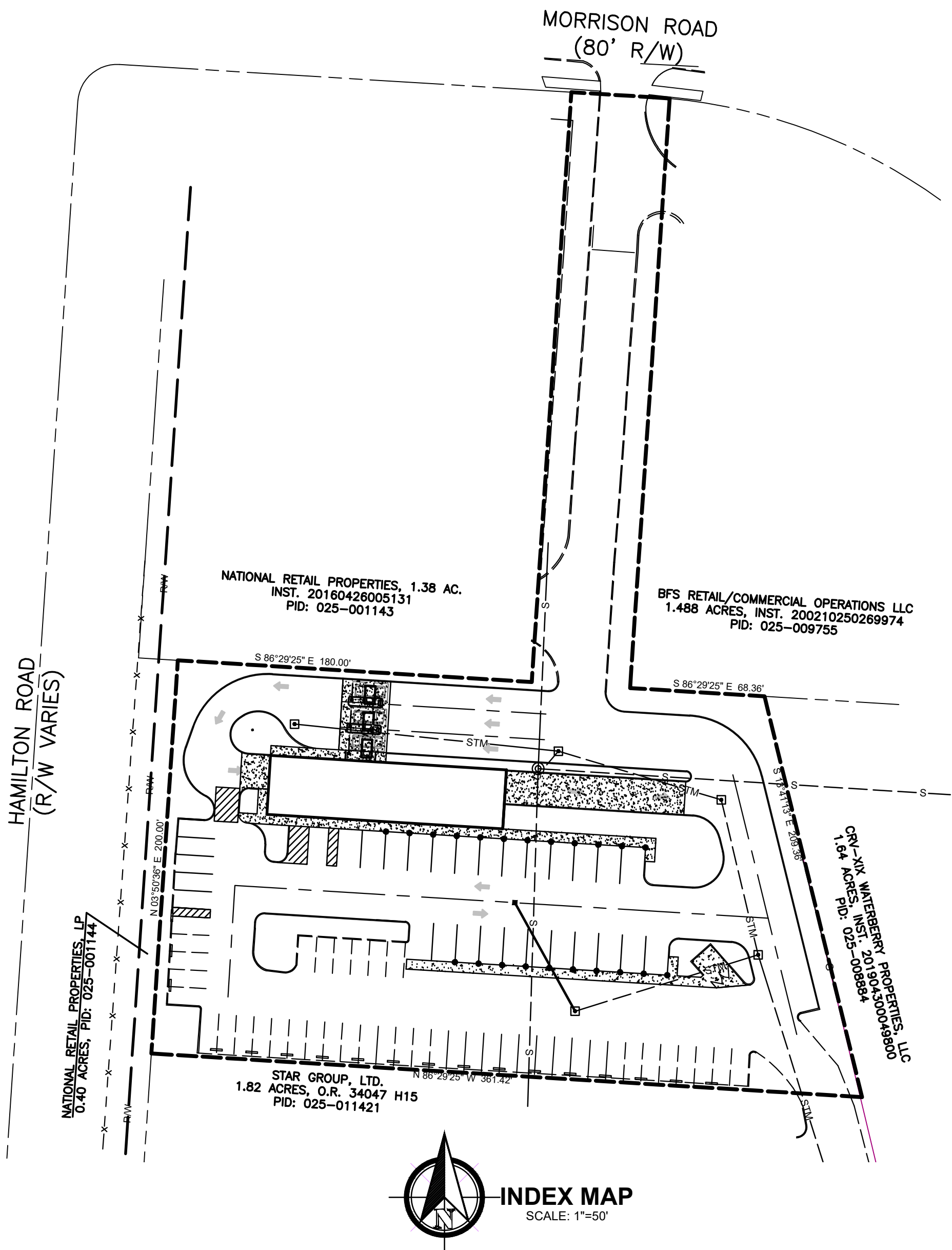
JOHN ROUSH
MOO MOO EXPRESS CAR WASH
13375 NATIONAL ROAD, SUITE C
REYNOLDSBURG, OHIO 43068
PHONE: 614-206-2778
FAX: 614-522-6244
EMAIL: JOHN@MOOMOOCARWASH.COM

BENCH MARKS

SOURCE BENCHMARK: OHIO VRS SOUTH COORDINATE ZONE
COORDINATES BY BASE SETUP.
ELEVATION = 722.32' (NAVD 88).

BM #1
NORTH BOLT ON FIRE HYDRANT LOCATED 1.8'± SOUTH OF THE EDGE
OF PAVEMENT OF MORRISON ROAD AND 4.5'± WEST OF THE WEST
PROPERTY LINE.
ELEVATION = 802.07' (NAVD 88)

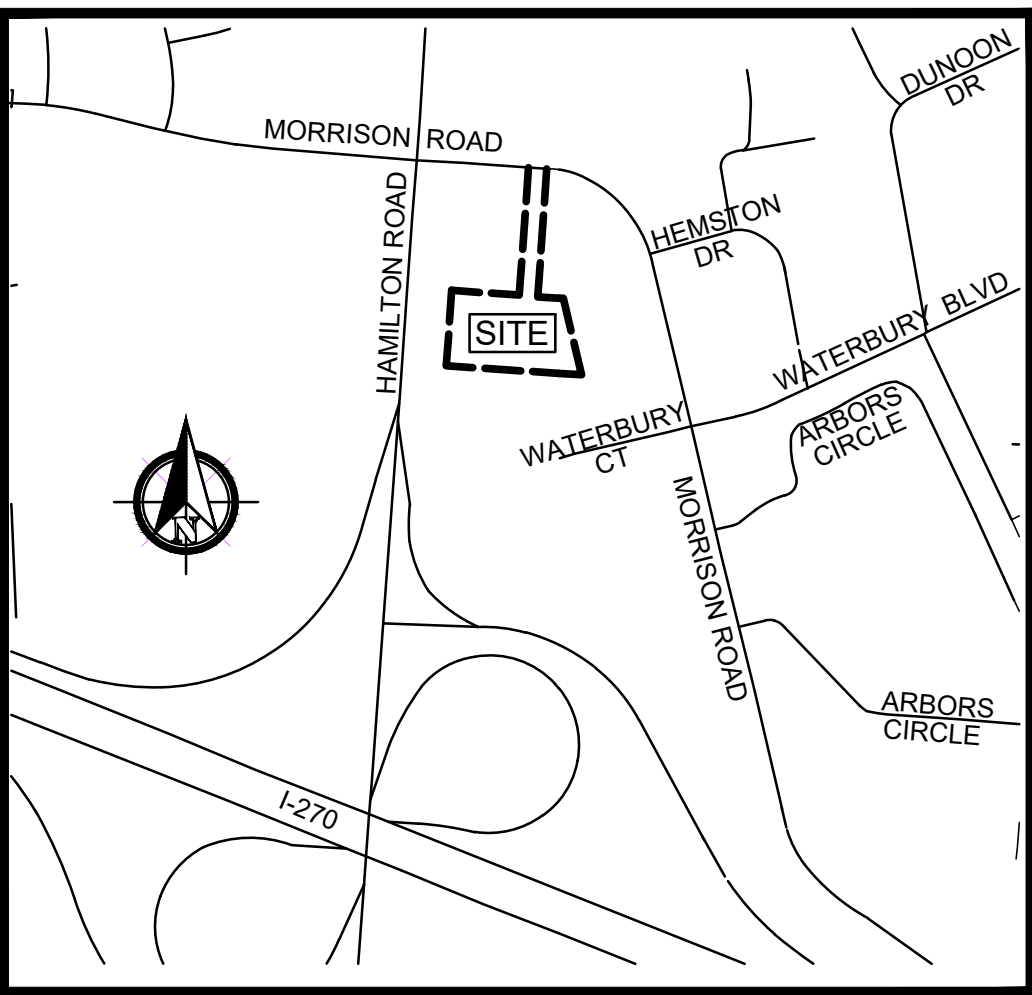
BM#2
TOP OF CASTING OF A CATCH BASIN LOCATED 9.5'± SOUTH OF THE
EDGE OF PAVEMENT AND 183.5'± WEST OF THE EAST PROPERTY LINE.
ELEVATION = 804.75' (NAVD 88)



STANDARD DRAWINGS

THE CITY OF COLUMBUS STANDARD DRAWINGS LISTED
BELOW SHALL BE CONSIDERED A PART OF THIS PLAN.

AA-S133A AA-S145
AA-S141 AA-S149
AA-S150



LOCATION MAP
NO SCALE

SHEET INDEX

1. TITLE SHEET
2. GENERAL NOTES
3. DEMOLITION PLAN
4. SITE DIMENSION/COMPOSITE UTILITY PLAN
5. GRADING, PAVING, & STORM SEWER PLAN (SWP3)
6. STORM SEWER PROFILE AND EROSION CONTROL DETAILS

APPROVALS:

CITY OF GAHANNA

THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF
THIS PROJECT, AND THAT ALL OF THE MINIMUM LOCAL STANDARDS HAVE BEEN MET, INCLUDING
THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN MY OPINION, ARE NEEDED TO PROTECT THE
SAFETY OF THE PUBLIC. ANY VARIANCES TO THE ABOVE STANDARDS ARE CONSISTENT WITH SOUND
ENGINEERING PRACTICES AND ARE NOT DETRIMENTAL TO THE PUBLIC SAFETY AND CONVENIENCE.

CITY ENGINEER, CITY OF GAHANNA, OHIO DATE

WATER RESOURCE ENGINEER, CITY OF GAHANNA, OHIO DATE

DIRECTOR OF PUBLIC SERVICE, CITY OF GAHANNA, OHIO DATE



1-800-362-2764
CALL TWO WORKING DAYS BEFORE YOU DIG
(NON MEMBERS MUST BE CALLED DIRECTLY)

ENGINEER:

STATE OF OHIO
RICKARD
A
SICKER
E-47802
REGISTERED
PROFESSIONAL ENGINEER

RAS CIVIL ENGINEERING, LLC
CIVIL ENGINEERING & SURVEYING SERVICES
P.O. BOX 114 • ARLIN • OHIO • 43002
614-581-8504 • RICK_SICKER@ATT.NET

Rickard A. Sicker 47802
REGISTERED ENGINEER'S
SIGNATURE AND SEAL

05/10/21
DATE

1
6

GENERAL NOTES:

THE CURRENT CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMS) TOGETHER WITH THE REQUIREMENTS OF THE CITY OF GAHANNA, OHIO, SHALL GOVERN MATERIALS AND WORKMANSHIP INVOLVED IN IMPROVEMENTS SHOWN ON THESE PLANS, EXCEPT THOSE SPECIFICATIONS MODIFIED BY THE FOLLOWING SPECIFICATIONS OR CONSTRUCTION DETAILS SET FORTH HEREIN.

ALL WORK IS TO BE ACCEPTABLE TO CITY OF GAHANNA OFFICIALS. NO WORK IS TO COMMENCE UNTIL ARRANGEMENTS HAVE BEEN MADE WITH THE CITY OF GAHANNA ENGINEER FOR INSPECTION.

THE CONTRACTOR SHALL NOTIFY THE CITY OF GAHANNA ENGINEER AT LEAST TWO WORKING DAYS PRIOR TO CONSTRUCTION.

ALL PERTINENT STANDARD CONSTRUCTION DRAWINGS ARE AVAILABLE UPON REQUEST AT THE OFFICE OF THE CITY OF GAHANNA ENGINEERS.

THE DEVELOPER IS TO SCHEDULE A PRE-CONSTRUCTION MEETING ONE BUSINESS WEEK PRIOR TO CONSTRUCTION. THE MEETING SHALL TAKE PLACE AT LEAST ONE BUSINESS WEEK PRIOR TO THE FOLLOWING: SITE CLEARING, MATERIAL DELIVERED ON-SITE, EQUIPMENT ON-SITE AND FIELD OFFICE ON-SITE.

THE DEVELOPER SHALL, PRIOR TO ANY CONSTRUCTION OPERATION, DEPOSIT WITH THE CITY THE TOTAL ESTIMATED COSTS FOR INSPECTION, ADMINISTRATIVE, WATER AND SANITATION FEES.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146.

THE PRICE(S) QUOTED SHALL INCLUDE ALL ITEMS OF LABOR, MATERIALS, TOOLS, EQUIPMENT, INSURANCE AND OTHER COSTS NECESSARY TO FULLY COMPLETE THE WORK PURSUANT TO THE CONTRACT DOCUMENTS. IT IS THE INTENTION OF THE CONTRACT DOCUMENTS TO PROVIDE AND REQUIRE A COMPLETED WORK PROJECT READY FOR OPERATION. ANY WORK ITEMS OMITTED FROM SUCH CONTRACT DOCUMENTS WHICH ARE CLEARLY NECESSARY FOR THE COMPLETION OF SUCH WORK AND ITS APPURTENANCES SHALL BE CONSIDERED A PART OF SUCH WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR CALLED FOR IN THE CONTRACT DOCUMENTS.

ALL FIELD TILE BROKEN DURING EXCAVATION SHALL BE REPLACED WITH PERFORATED PIPE OR CONNECTED TO THE STORM SEWER SYSTEM.

THE CONTRACTOR SHALL REPAIR OR REPLACE ANY OR ALL EXISTING SIGNS, SHRUBS, FENCES, OR OTHER PHYSICAL FEATURES DAMAGED DURING THE EXECUTION OF THIS CONTRACT AT THEIR OWN EXPENSE. ALL REPAIRS SHALL BE TO THE SATISFACTION OF THE OWNER AND THE CITY OF GAHANNA.

THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND GOVERNMENT FEES, LICENSES, AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF IMPROVEMENTS SHOWN ON THESE PLANS.

THE CONTRACTOR SHALL CLEAN ADJACENT STREETS ON A DAILY BASIS IF MUD IS TRACKED FROM VEHICLES VISITING THE SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF ALL TRENCHES WITHIN THE RIGHT-OF-WAY, PUBLIC EASEMENTS AND WITHIN THE WORK LIMITS FOR A PERIOD OF (1) YEAR FROM THE FINAL ACCEPTANCE OF THE WORK, AND SHALL MAKE ANY NECESSARY REPAIRS AT NO COST TO THE OWNER OR CITY OF GAHANNA.

THE CONTRACTOR SHALL CONFINE ACTIVITIES TO THE PROJECT SITE, EXISTING RIGHT-OF-WAYS, TEMPORARY EASEMENTS AND PERMANENT EASEMENTS, AND SHALL NOT ENTER UPON OTHER PROPERTIES WITHOUT WRITTEN PERMISSION OF THE OWNER. SHOULD WATER BE ENCOUNTERED, THE CONTRACTOR SHALL FURNISH AND OPERATE SUITABLE PUMPING EQUIPMENT OF SUCH CAPACITY ADEQUATE TO DEWATER THE TRENCH. THE TRENCH SHALL BE SUFFICIENTLY DEWATERED SO THAT THE PLACEMENT OF BEDDING AND LAYING AND JOINING OF THE PIPE IS MADE IN A TRENCH FREE OF STANDING WATER. THE CONTRACTOR SHALL CONVEY ALL TRENCH WATER TO A NATURAL DRAINAGE CHANNEL OR STORM SEWER WITHOUT CAUSING ANY PROPERTY DAMAGE.

FINAL GRADE ADJACENT TO BUILDING SHALL SLOPE AWAY FROM BUILDING.

DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE ENTIRE SITE.

THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO ENSURE CONSTRUCTION TO PLAN GRADE. THE CONTRACTOR SHALL ENSURE THERE IS A SURVEYOR'S LEVEL AND ROD ON THE PROJECT FOR USE IN PERFORMING GRADE. SEWER LINE STRUCTURES OR PIPES ARE BEING INSTALLED AT PLAN GRADE. THE CONTRACTOR SHALL MAKE THIS EQUIPMENT AVAILABLE FOR AND ASSIST THE CITY INSPECTOR IN PERFORMING GRADE CHECKS WHEN REQUESTED BY THE INSPECTOR. THE INSPECTOR WILL MAKE ALL REASONABLE ATTEMPTS TO CONFINE REQUESTS FOR ASSISTANCE IN PERFORMING GRADE CHECKS TO TIMES CONVENIENT TO THE CONTRACTOR. THESE CHECKS WILL BE PERFORMED TO ENSURE THAT CONSTRUCTION MATCHES PLAN GRADE, AND TO ENSURE THAT ALL EXISTING INVERTS ALONG WITH THE PROPOSED TOP OF CASTING ELEVATIONS ARE VERIFIED PRIOR TO CONSTRUCTION OF THE SEWER.

THE CONTRACTOR SHALL REFERENCE ALL IRON PINS OR MONUMENTS. IF ANY PINS OR MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE ACCURATELY REPLACED BY A REGISTERED SURVEYOR IN THE STATE OF OHIO AT THE COMPLETION OF THE PROJECT.

THE COST OF RELOCATING AND/OR SECURING ANY POWER POLES AS NECESSARY TO COMPLETE THE WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS OF THE CONTRACT.

VERTICAL CONTROL HAS BEEN ESTABLISHED FOR THE PROJECT AS SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SURVEYS TO COMPLETE THE PROJECT INCLUDING REESTABLISHMENT OF CONTROL POINTS, PROJECT LAYOUT AND STAKING OF EASEMENTS.

DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL ADJACENT ROADS AND LANDS.

ANY MODIFICATION TO THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY OF GAHANNA.

ANY REQUIRED RELOCATION, SUPPORT, PROTECTION, RESTORATION, OR ANY OTHER ACTIVITY CONCERNED WITH THE CITY'S STREET LIGHTING SYSTEMS IN THE CONSTRUCTION AREA IS TO BE PERFORMED SOLELY BY THE CITY AT THE EXPENSE OF THE PROJECT. THE CITY SHALL BE NOTIFIED PRIOR TO CONSTRUCTION TO ALLOW FOR ENGINEERING AND RELOCATION OF FACILITIES.

IF ANY ELECTRIC FACILITY BELONGING TO THE CITY IS DAMAGED IN ANY MANNER BY THE CONTRACTOR, ITS AGENTS, SERVANTS, OR EMPLOYEES, THE CITY SHALL MAKE ALL NECESSARY REPAIRS, AND THE EXPENSE OF SUCH REPAIRS AND OTHER RELATED COSTS SHALL BE PAID BY THE CONTRACTOR TO THE CITY.

ALL CURB RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, INCLUDING ALL SUPPLEMENTS IN ACCORDANCE WITH THE CITY OF COLUMBUS STANDARD DRAWING 2319, INCLUDING ALL SUPPLEMENTS AND/OR REPLACEMENTS, CURRENT ON THE DATE OF THE START OF PROJECT CONSTRUCTION. SIDEWALKS SHALL BE CONSTRUCTED WITH A 3/16" PER FOOT (1.56%) CROSS SLOPE.

NO NON-RUBBER TIRED VEHICLES SHALL BE MOVED ON CITY STREETS, EXISTING PRIVATE ROADWAYS, OR PARKING LOTS UNLESS WRITTEN APPROVAL IS GRANTED BY THE APPROPRIATE CITY AUTHORITY OR PROPERTY OWNER. ANY DAMAGE MUST BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY OF GAHANNA AT NO COST TO THE CITY OR PROPERTY OWNER/DEVELOPER.

THE CONTRACTOR SHALL MAKE HIS OWN PROVISIONS TO PROVIDE A SITE STAGING AREA AND JOB TRAILER (IF REQUIRED) FOR THE PROJECT IMPROVEMENTS.

NO NATURAL DRAINAGE COURSES SHALL BE ALTERED AND NO FILL, BUILDINGS OR STRUCTURES SHALL BE PLACED IN IT UNLESS PROVISIONS ARE MADE FOR THE FLOW OF WATER IN A MANNER SATISFACTORY TO THE CITY ENGINEER. AN EASEMENT SHALL BE PROVIDED ON BOTH SIDES OF ANY EXISTING IMPORTANT SURFACE DRAINAGE COURSE ADEQUATE FOR THE PURPOSE OF PROTECTING, WIDENING, DEEPENING, ENCLOSING OR OTHERWISE IMPROVING SUCH STREAM FOR DRAINAGE PURPOSES.

ORANGE CONSTRUCTION FENCING SHALL BE PLACED AROUND THE EXISTING TREES TO BE SAVED AND REMAIN IN PLACE DURING THE DEVELOPMENT CONSTRUCTION. THE LOCATION OF THE FENCING AND ANY CLEARING NECESSARY WILL BE DETERMINED BY THE APPROVED PLANS.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION ON THE PROJECT SITE WHERE AND AS DIRECTED BY THE OWNER/DEVELOPER.

INCONVENIENCE TO THE ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC SHALL BE KEPT TO AN ABSOLUTE MINIMUM. ALL WORK IS TO CONTINUE ON A UNIFORM BASIS AND ON SCHEDULE, PARTICULARLY THE RESTORATION AND CLEAN UP OF DISTURBED AREAS AFTER CONSTRUCTION. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT SOIL TRANSPORT DURING CONSTRUCTION ONTO PUBLIC ROADS. THE CONTRACTOR SHALL CLEAN AND SWEEP STREETS AS DIRECTED BY THE CITY. COST TO INCLUDE IN THE PRICE BID UNDER VARIOUS ITEMS.

AN ENGINEERING REVIEW FEE WILL BE COLLECTED PRIOR TO CONSTRUCTION. THIS FEE WILL INCLUDE AN AS-BUILT SURVEY FEE AND AS-BUILT DEPOSIT. THE AS-BUILT SURVEY FEE IS THE ACTUAL COST OF SURVEY FOR THE CREATION OF AN AS-BUILT PLAN. THE CITY WILL SELECT THE SURVEYOR AND REQUEST A PROPOSAL FOR THIS SURVEY.

AT PROJECT COMPLETION, THE CITY'S SELECTED SURVEYOR WILL PROVIDE THE CITY AND THE DEVELOPER WITH THE FINAL AS-BUILT SURVEY DATA. THE DEVELOPER MAY SELECT AN ENGINEERING FIRM TO PRODUCE THE FINAL AS-BUILT PLANS. IF THE DEVELOPER DOES NOT ELECT TO PRODUCE THE FINAL AS-BUILT PLAN, THE CITY WILL SUE THE AS-BUILT DEPOSIT TO CONTRACT WITH AN ENGINEERING FIRM TO PRODUCE THE FINAL AS-BUILT PLAN.

AT PROJECT COMPLETION, THE DEVELOPER WILL REQUEST A FINAL ENGINEERING INSPECTION. THE CITY OF GAHANNA WILL PRODUCE A PUNCHLIST OF ALL ITEMS THAT WILL NEED TO BE CORRECTED. THESE ITEMS WILL NEED TO BE SATISFACTORILY ADDRESSED BEFORE THE BUILDING DIVISION WILL RELEASE THE FINAL OCCUPANCY PERMIT.

AN AS-BUILT PLAN WILL BE REQUIRED BEFORE ISSUANCE OF A FINAL OCCUPANCY PERMIT. THE AS-BUILT PLAN WILL INCLUDE THE FINAL ELEVATIONS, LOCATIONS, AND INVERTS AND OTHER DATA AS REQUIRED BY THE CITY OF GAHANNA. THIS INFORMATION WILL BE INCLUDED ON THE PLAN SET IN RED TO DENOTE IT IS FINAL AS-BUILT DATA.

UTILITIES:

THE CONTRACTOR SHALL GIVE NOTICE TO THE OHIO UTILITIES PROTECTION SERVICE (PHONE 1-800-362-2764) AND TO THE OWNERS OF THE UTILITY FACILITIES SHOWN ON THE PLAN WHO ARE NOT MEMBERS OF A REGISTERED UTILITY PROTECTION SERVICE. THE ABOVE MENTIONED NOTICE SHALL BE GIVEN AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITY AS REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY.

THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECTS ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL GIVE NOTICE TO OUPS AND OTHER UTILITY OWNERS PER THE GENERAL NOTES.

THE IDENTITY AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS AS ACCURATELY AS PROVIDED BY THE SURVEYOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR DEPTHS OF UNOBTAINED INFORMATION FROM THE APPROVED CONSTRUCTION DRAWINGS. IF DAMAGE IS CAUSED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF THE SAME AND FOR ANY RESULTING CONTINGENT DAMAGE.

WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER THE EXISTING UTILITY IN ADVANCE OF LAYING PIPE IN ORDER THAT THE ENGINEER MAY DETERMINE THE EXACT ELEVATION AND MAKE ANY NECESSARY ADJUSTMENTS.

THE FOLLOWING UTILITIES AND OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT AND ARE REGISTERED MEMBERS OF THE UNDERGROUND UTILITY PROTECTION SERVICE:

UTILITY	OWNER	TELEPHONE	FAX
WATER FACILITIES	CITY OF GAHANNA WATER DIVISION 200 S. HAMILTON RD GAHANNA, OH 43230	(614) 342-4440	(614) 342-4100
SEWER FACILITIES	CITY OF GAHANNA SEWER DIVISION 200 S. HAMILTON RD GAHANNA, OH 43230	(614) 342-4440	(614) 342-4100
ELECTRIC FACILITIES	AMERICAN ELEC. POWER 850 TECH CENTER DR GAHANNA, OH 43230	(614) 883-6811	(614) 883-6868
GAS	COLUMBIA GAS OF OHIO (DISTRIBUTION) ROB CALDWELL 3550 JOHNNY APPLESEED COURT EMAIL: RCALDWELL@MISOURCE.COM COLUMBUS, OH 43231	(614) 818-2104 (614) 370-1906	(614) 460-4265
TELEPHONE	AT&T 150 E. GAY ST COLUMBUS, OH 43212	(800) 660-1000	(614) 223-6296

CONTRACTOR TO COORDINATE WITH GAS, ELECTRIC, CABLE AND TELECOMMUNICATION COMPANIES TO COORDINATE FINAL CONSTRUCTION DETAILS FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL LOCATION OF UTILITY SERVICES INCLUDING ON-SITE GAS, ELECTRIC, CABLE AND TELEPHONE SERVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE ARCHITECT AND THE MECHANICAL ENGINEER FOR THE FINAL LOCATION OF UTILITY SERVICES INTO THE BUILDING.

PLACEMENT OF UTILITY CONDUIT OR SLEEVES FOR GAS, SITE ELECTRIC AND TELECOMMUNICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE PLAN DETAILS SHOWN HEREIN AND IN CONFORMANCE TO THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANIES.

WATER NOTES:

NO WATER SERVICE CONSTRUCTION SHALL BEGIN PRIOR TO FEE PAYMENT AND PERMITS BEING ISSUED BY THE CITY OF GAHANNA.

METER SETTING AND BACKFLOW PREVENTER AS PER THE DIRECTION OF THE CITY OF GAHANNA. METER AND BACKFLOW PREVENTER TO BE SET INSIDE OF BUILDING UNLESS OTHERWISE APPROVED.

ALL WATER LINE MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CURRENT RULES AND REGULATIONS OF THE CITY OF COLUMBUS, DIVISION OF WATER AND THE DIRECTION OF THE CITY OF GAHANNA STAFF.

THE SITE UTILITY CONTRACTOR SHALL CALL THE CITY OF GAHANNA UTILITIES DEPARTMENT FOR INSPECTION OF TAPS, NEW WATER SERVICES, AND FIRE HYDRANTS. CALL (614) 342-4440 24 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION.

WATER MAINS AND FIRE HYDRANT LEADS SHALL BE DUCTILE IRON PIPE, CLASS 53 (AWWA C151) WITH CEMENT MORTAR LINING AND SEAL COAT (AWWA C104) OR PVC, CLASS 150 MEETING AWWA C900. JOINTS SHALL BE RUBBER GASKET PUSH-ON MECHANICAL (AWWA C110).

FIRE HYDRANTS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE AS SHOWN ON THE CITY OF COLUMBUS L-6409 AND L-6637 STANDARD CONSTRUCTION DRAWINGS. FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250 FIRE HYDRANT, AMERICAN DARLING 4-1/2 MK73 - 5, OR APPROVED EQUAL AND PAINTED SOLID RED.

ALL WATER SERVICES SHALL BE INSTALLED IN ACCORDANCE AS SHOWN ON THE CITY OF COLUMBUS L-9901 STANDARD CONSTRUCTION DRAWING. 2 BOLT FULL STAINLESS STEEL SERVICE SADDLES SHALL BE PROVIDED FOR ALL WATER SERVICE TAPS.

ALL GATE VALVES SHALL BE RESILIENT SEAT TYPE MANUFACTURED TO MEET OR EXCEED TO REQUIREMENTS OF ANSI/AWWA C509 OR THE LATEST REVISION.

WATERLINES SHALL BE LAID WITH A MINIMUM OF 4'-5" OF COVER FROM THE FINISHED GRADE TO THE TOP OF THE WATER LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HORIZONTAL AND VERTICAL DEFLECTIONS OR BENDS OF THE WATER LINES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. DEFLECT WATER LINES TO PROVIDE A 1'-6" VERTICAL AND 10'-0" HORIZONTAL CLEARANCE WITH SEWERS.

ALL WATER LINES, INCLUDING MAINS AND SERVICES, SHALL BE TESTED UNDER A MINIMUM HYDROSTATIC TEST OF 150 PSI AND IN ACCORDANCE WITH AWWA C600 AND CITY OF COLUMBUS CMS ITEMS 801.13 AND 801.14. NO PRESSURE TEST SHALL BE PERFORMED IF THE TEMPERATURE IS BELOW FREEZING.

THE CONTRACTOR SHALL SUBMIT TWO (2) COPIES OF THE PLANS, RESULTS OF THE PRESSURE TEST AND A LETTER REQUESTING CHLORINATION TO THE CITY OF GAHANNA. COST OF CHLORINATION SHALL BE INCLUDED IN THE PRICE BID FOR THE WATER LINE ITEMS.

NEW, CLEANED AND REPAIRED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651. THE SPECIFICATIONS SHALL INCLUDE DETAILED PROCEDURES FOR THE ADEQUATE FLUSHING, DISINFECTION, AND MICROBIOLOGICAL TESTING OF ALL WATER MAINS. IN AN EMERGENCY OR UNUSUAL SITUATION, THE DISINFECTION PROCEDURE SHALL BE DISCUSSED WITH THE CITY ENGINEER OR HIS DESIGNER.

ALL WATER MAINS, INCLUDING THOSE NOT DESIGNED TO PROVIDE FIRE PROTECTION, SHALL BE SIZED AFTER A HYDRAULIC ANALYSIS BASED ON FLOW DEMANDS AND PRESSURE REQUIREMENTS. THE SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI AT GROUND LEVEL AT ALL POINTS IN THE DISTRIBUTION SYSTEM UNDER ALL CONDITIONS OF FLOW. THE NORMAL WORKING PRESSURE IN THE DISTRIBUTION SYSTEM SHALL BE AT LEAST 35 PSI AND SHOULD BE APPROXIMATELY 60 TO 80 PSI AND NOT LESS THAN 35 PSI. NO PERSON SHALL INSTALL OR MAINTAIN A WATER SERVICE CONNECTION WHERE A BOOSTER PUMP HAS BEEN INSTALLED.

ALL MECHANICAL JOINTS ARE REQUIRED TO BE MEGALUGGED, CONCRETE BACKING IS STILL REQUIRED. ALL MECHANICAL PIPE DEFLECTIONS ARE REQUIRED TO BE MEGALUGGED, ALL-THREADED, CONCRETE BACKED, AND JOINT RESTRAINTS MAY BE REQUIRED BY THE ENGINEER. THE HYDRANT TEE IS TO BE ALL-THREADED TO THE MAINLINE VALVE FOR FUTURE EXPANSION. 1 FULL STICK OF PIPE (20") IS TO BE LAID BEFORE FOR THE PLUG.

ALL FITTINGS ARE TO BE GPS LOCATED PRIOR TO BACKFILL USING X, Y, AND Z COORDINATES.

ANY WATER USAGE FOR FILLING THE WATER MAIN AND CHLORINATION SHALL GO THROUGH A WATER METER. ANY UNMETERED WATER USE WILL BE CHARGED TO THE CONTRACTOR/DEVELOPER BASED ON FLOW RATE CALCULATIONS.

THE WATER LINE AND SEWER LINE TRENCH UNDER THE INFLUENCE OF PAVEMENT ARE TO BE COMPACTION TESTED.

INSTALL COPPERHEAD® OR EQUAL 12-GAUGE HIGH STRENGTH 452LB BREAK STRENGTH 30 MIL HDPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY TRENCHING METHODS.

INSTALL COPPERHEAD® OR EQUAL 12-GAUGE EXTRA HIGH STRENGTH 1150LB BREAK STRENGTH 45 MIL HDPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY BORING METHODS.

FASTEN WIRE TO PIPE IN TWO PLACES PER PIPE SECTION. EXTEND TRACER WIRE TO GROUND SURFACE AT ALL VALVES AND HYDRANTS. SPICE WIRES USING BURNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.

CONNECT ALL SERVICE LINE WIRES TO MAIN LINE WIRES USING BURNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.

CONTRACTOR SHALL TEST THE CONTINUITY OF ALL WIRE USING A THIRD-PARTY TESTER. CONTRACTOR SHALL CONTACT THE CITY OF GAHANNA DIVISION OF PUBLIC SERVICE AND ENGINEERING A MINIMUM OF 24 HOURS PRIOR TO TEST. TESTER SHALL SEND A SIGNED REPORT TO CITY OF GAHANNA AFFIRMING ALL WIRE HAS CONTINUITY. CONTRACTOR SHALL REPAIR ALL DEFICIENCIES.

SANITARY SEWER NOTES:

ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.

SERVICE RISERS, ITEM 914, SHALL BE INSTALLED WHERE DEPTHS FROM THE WYES TO THE EXISTING OR PROPOSED ELEVATIONS EXCEED 10'. THE TOPS OF RISERS SHALL BE NO MORE THAN +9' BELOW THE EXISTING OR PROPOSED SURFACE ELEVATION, WHICHEVER IS HIGHER.

THE SITE UTILITY CONTRACTOR SHALL CALL THE CITY OF GAHANNA UTILITIES DEPARTMENT FOR INSPECTION OF TAPS, NEW WATER SERVICES, AND FIRE HYDRANTS. CALL (614) 342-4440 24 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION.

A MINIMUM VERTICAL CLEARANCE OF 1.5 FEET SHALL BE PROVIDED BETWEEN THE PROPOSED SANITARY SERVICE AND EXISTING UTILITIES OR STRUCTURES UNLESS OTHERWISE NOTED ON THESE PLANS.

ALL PVC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION IN CONFORMANCE WITH THE REQUIREMENTS OF ITEM 901 OF THE CITY OF COLUMBUS, CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT VERSION.

ALL SANITARY SEWER AND SANITARY SERVICES ARE TO BE MANDREL TESTED, AIR TESTED, CLEANED AND CAMERA INSPECTED.

ALL SANITARY MANHOLES ARE REQUIRED TO PASS A VACUUM TEST PER CITY OF COLUMBUS ITEM 901.20 AND ASTM-C-1244.

PIPE FOR ALL 6" SANITARY SERVICES SHALL BE PVC SEWER PIPE ASTM D-3034, SDR-35. THE SERVICES SHALL BE FIELD TESTED BY THE INFILTRATION, EXFILTRATION OR AIR TEST.

ALL PIPES SHALL BE LAID WITH TYPE 1 GRANULAR MATERIAL BEDDING AND BACKFILL AS SHOWN ON STANDARD CONSTRUCTION CITY OF COLUMBUS AA-S151. INSTALLATION SHALL CONFORM TO CMS SECTION 900.

STORM SEWER NOTES:

ANY PLACEMENT OF STORM SEWERS BENEATH EXISTING OR PROPOSED PAVEMENT SHALL BE BACKFILLED IN ACCORDANCE WITH COLUMBUS CMS ITEM 912, COMPACTED GRANULAR BACKFILL.

ALL PIPES SHALL BE LAID WITH TYPE 1 GRANULAR MATERIAL BEDDING AND BACKFILL AS SHOWN ON STANDARD CONSTRUCTION CITY OF COLUMBUS AA-S151. INSTALLATION SHALL CONFORM TO CMS SECTION 900.

ALL CONCRETE PIPE AND STORM SEWER STRUCTURES SHALL BE STAMPED OR HAVE SUCH IDENTIFICATION NOTING THAT SAID PIPE AND/OR STORM STRUCTURES HAVE BEEN INSPECTED BY THE CITY OF COLUMBUS AND MEETS THEIR SPECIFICATIONS. PIPE AND STRUCTURES WITHOUT PROPER IDENTIFICATION WILL NOT BE PERMITTED FOR INSTALLATION.

ALL CURB INLETS AND MANHOLES SHALL BE CHANNELED AS DIRECTED. THE COST FOR THIS WORK IS TO BE INCLUDED IN THE PRICE BID FOR VARIOUS STORM SEWER ITEMS.

IN CASE OF CONFLICT IN GRADE BETWEEN WATER LINES AND STORM SEWERS, THE WATER LINES SHALL BE LOWERED DURING CONSTRUCTION.

ALL PLASTIC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION IN CONFORMANCE WITH THE REQUIREMENTS OF COLUMBUS CMS ITEM 901.

MAINTENANCE OF TRAFFIC:

ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD) FOR CONSTRUCTION AND MAINTENANCE OPERATIONS. ALL DEVICES SHALL MEET FP-85 REFLECTANCE STANDARDS AND IN FULL COMPLIANCE WITH "QUALITY STANDARDS FOR WORK ZONE TRAFFIC CONTROL DEVICES" PUBLISHED BY ATTSSA. ALL TRAFFIC CONTROL DEVICES MUST MEET NCHRP 350.

STEADY BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT. ALL SIGNS, NINE SQUARE FEET (36" X 36") AND OVER SHALL HAVE YELLOW TYPE "A" LOW INTENSITY FLASHING WARNING LIGHTS AND THREE FLAGS. CONES ARE NOT APPROVED FOR USE AT NIGHT.

THE ROADWAY SHALL NOT BE OPENED TO TRAFFIC UNTIL PERMANENT TRAFFIC CONTROLS ARE IN PLACE OR UNTIL TEMPORARY TRAFFIC CONTROLS APPROVED BY THE INSPECTOR ARE INSTALLED. THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE PREMATURE REMOVAL OF TEMPORARY TRAFFIC CONTROLS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REINSTALLATION AND/OR REPLACEMENT OF ALL PERMANENT TRAFFIC CONTROL DEVICES DAMAGED OR REMOVED DURING THE CONSTRUCTION. PERMANENT TRAFFIC CONTROLS NO LONGER IN CONFLICT WITH TEMPORARY TRAFFIC CONTROLS SHALL BE REPLACED IMMEDIATELY.

ALL PERMANENT TRAFFIC CONTROLS NOT IN CONFLICT WITH THE TEMPORARY TRAFFIC CONTROLS SHALL BE MAINTAINED THROUGHOUT THE PROJECT BY THE CONTRACTOR. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR MISSING, DAMAGED, AND IMPROPERLY PLACED TRAFFIC CONTROL DEVICES.

ALL TRENCHES WITHIN THE ROAD RIGHT-OF-WAY SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL LANES SHALL BE OPEN TO TRAFFIC ON ALL PUBLIC STREETS AND ALLEYS UNLESS OTHERWISE APPROVED BY THE CITY OF GAHANNA.

ANY WORK DONE BY THE CITY INCLUDING INSTALLATION, RELOCATION, REMOVAL AND/OR REPLACEMENT OF PERMANENT TRAFFIC CONTROL DEVICES AS
A RESULT OF WORK DONE BY THE CONTRACTOR OR AS A RESULT OF THE NEGLIGENCE OF THE CONTRACTOR SHALL BE AT THE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFE MOVEMENT OF PEDESTRIANS THROUGH, AROUND AND AWAY FROM THE CONSTRUCTION SITE AS DESIGNATED IN SECTION 60.01 OF THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD).

MAINTENANCE OF TRAFFIC (CONTINUED):

THE SAFETY OF PEDESTRIAN TRAFFIC SHALL BE CONSIDERED AT ALL TIMES IN THE PROVISION OF TRAFFIC CONTROL DEVICES REQUIRED BY THESE PLANS AND NOTES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE LIGHTS, SIGNS, BARRICADES AND OTHER WARNINGS TO PHYSICALLY SEPARATE THE PEDESTRIAN FROM HAZARDS INCIDENTAL TO THE CONSTRUCTION OPERATIONS SUCH AS OPEN EXCAVATIONS, ETC.

STREET LIGHT NOTES:

LED REQUIREMENTS

CORRELATED COLOR TEMPERATURE (CCT) 3000K. ACCEPTABLE LM80 TEST RESULTS SHALL BE PROVIDED.

COLOR RENDERING INDEX (CRI) MINIMUM 70

OPERATING ENVIRONMENT, AMBIENT -40°F TO +400C (-40°F TO +1040°F)

VOLTAGE 480V OR 120V (THE CITY OF GAHANNA USES A 480V OR 120V DISTRIBUTION SYSTEM)

COOLING SYSTEM PASSIVE HEAT SINK WITH NO FANS, PUMPS, OR LIQUIDS, AND SHALL BE RESISTANT TO DEBRIS BUILD UP THAT DOES NOT DEGRADE HEAT DISSIPATION PERFORMANCE.

APPLICATION DESIGNER NOTE:

THE LED COBRA HEAD LUMINAIRE MAY BE USED FOR:

NEW INSTALLATION OF COBRA HEAD LUMINAIRES ON NEWLY PLACED SUPPORTS WHOSE SPACING HAS BEEN DESIGNED SPECIFICALLY FOR THE LUMINAIRE. STREET LIGHT DESIGNS USING PHOTOMETRIC SOFTWARE ARE REQUIRED FOR EACH LUMINAIRE. THE DESIGNER SHALL COMPLY WITH IESNA RP-08 (LATEST VERSION).

REPLACING EXISTING HID LUMINAIRES ON EXISTING POLES WHERE SPACING REMAINS UNCHANGED.

HOUSING

THE HOUSING SHALL BE CONSTRUCTED OF DIE-CAST ALUMINUM AND BE RUST RESISTANT. PAINT FINISH SHALL BE POWDER-COATED GRAY OR AS DIRECTED BY THE CITY OF GAHANNA. THE PAINT FINISH SHALL EXCEED THE CITY OF GAHANNA SPECIFICATION OF PUBLIC SERVICE AND REQUESTING A MINIMUM OF 24 HOURS PRIOR TO TEST. TESTER SHALL SEND A SIGNED REPORT TO CITY OF GAHANNA AFFIRMING ALL WIRE HAS CONTINUITY. CONTRACTOR SHALL REPAIR ALL DEFICIENCIES.

LED POWER SUPPLY / DRIVER

POWER FACTOR, MINIMUM 0.90

DRIVER OUTPUT CURRENT, MA VARIABLE

DIMMING SIGNAL, CONTROL RANGE, VDC 0 TO 10

SURGE PROTECTION DEVICE SHALL COMPLY WITH ANSI C136.37, ANSI/IEEE C62.41.2. EACH SURGE PROTECTION DEVICE SHALL BE INTERNALLY MOUNTED INSIDE HOUSING AND SPECIFIED FOR 480V OR 120V OPERATION WITH A MINIMUM 10 kV/10kA SURGE PROTECTION. THE SURGE PROTECTION DEVICE SHALL BE A UL 1449 3RD EDITION TYPE 4 RECOGNIZED COMPONENT FOR USE IN TYPE 2 LOCATIONS.

LED DRIVER SHALL BE MOUNTED INSIDE THE HOUSING, REPLACEABLE, AND SHALL BE PRE-WIRED TO 480V OR 120V READY FOR INSTALLATION. DRIVER AND LED ARRAYS SHALL BE DESIGNED FOR MULTI-CURRENT INPUT OPERATIONS WITH 0-10V DRIVER ADJUSTABLE OUTPUT. THE LED DRIVER SHALL COMPLY WITH FCC RULES AND REGULATIONS, TITLE 47 CFR PART 15 NON-CONSUMER CLASS. LED DRIVER SHALL TOLERATE SUSTAINED OPEN CIRCUIT AND SHORT CIRCUIT OUTPUT CONDITIONS WITHOUT DAMAGE. LED DRIVER SHALL HAVE AN INDEPENDENTLY VERIFIED AND DOCUMENTED FAILURE RATE OF <0.01% PER 1000 HOURS. WIRING INSIDE THE HOUSING SHALL COMPLY WITH 600V/1050C RATING OR HIGHER. THE LED DRIVER SHALL HAVE A "CLASS A" SOUND RATING. POWER SUPPLY/DRIVER SHALL BE UL RECOGNIZED FOR DRY AND DAMP LOCATIONS. ALL OTHER ELECTRICAL COMPONENTS SHALL BE UL LISTED OR RECOGNIZED FOR WET LOCATIONS. OUTPUT OPERATING FREQUENCY MUST BE > 120HZ AND INPUT OPERATING FREQUENCY OF 60 HZ. THE LED DRIVER SHALL BE ROHS COMPLIANT.

LED MODULE / ARRAY REQUIREMENTS

LED MODULE(S)/ARRAY(S) SHALL DELIVER A MINIMUM OF 70% OF INITIAL LUMENS WHEN INSTALLED FOR 100,000 HOURS AND MEET L70 STANDARDS. LIGHTING DISTRIBUTION SHALL BE IN ACCORDANCE WITH "IESNA LIGHTING DISTRIBUTIONS."

7-PIN PHOTO-ELECTRIC RECEPTACLE

THE LUMINAIRE SHALL BE FURNISHED WITH A 7-PIN PHOTO-ELECTRIC RECEPTACLE INSTALLED IN THE TOP OF THE LUMINAIRE HOUSING. THE RECEPTACLE SHALL BE TWIST LOCK TYPE, AND HAVE THE CAPABILITY TO BE DIRECTIONALLY ADJUSTED. THE 7-PIN PHOTO-ELECTRIC RECEPTACLE SHALL BE SUITABLE FOR OPERATION WITH LED LUMINAIRES, AND CONFORM TO ANSI DESIGN STANDARD C136.10. THE PHOTO-ELECTRIC SOCKET SHALL ACCOMMODATE DIMMING AND/OR AUTOMATION INTEGRATION.

7-PIN LONG LIFE PHOTO CONTROL (AS REQUIRED BY THE ENGINEER)

THE LUMINAIRE SHALL BE SUPPLIED WITH A "LONG LIFE" PHOTO CONTROL THAT SHALL BE SOLID STATE, AND SUITABLE FOR OPERATION WITH 7-PIN PHOTO CONTROL RECEPTACLES AND LED LUMINAIRES. THE PHOTO CONTROL SHALL HAVE A MINIMUM DESIGN LIFE OF 20 YEARS.

SHORTING CAP FOR 7-PIN LED PHOTO-ELECTRIC RECEPTACLE (480 VOLT LUMINAIRE ONLY)

THE LUMINAIRE SHALL BE SUPPLIED WITH A SHORTING CAP SUITABLE FOR OPERATION WITH A 7-PIN LED PHOTO-ELECTRIC RECEPTACLE. THE SHORTING CAP SHALL CONTAIN A GASKET AROUND THE OUTER PERIMETER OF THE CAP FOR PROPER SEALING AGAINST DEBRIS. THE SHORTING CAP SHALL MEET OR EXCEED ANSI DESIGN STANDARD ANSI C136.10

TESTING/CERTIFICATION/STANDARDS/RECOMMENDED PRACTICE SHALL COMPLY WITH CITY OF COLUMBUS STANDARD DRAWING MIS-197.

WARRANTY

THE WARRANTY SHALL PROVIDE FOR THE FULL REPLACEMENT OF THE ENTIRE LUMINAIRE ASSEMBLY, WHICH INCLUDES THE POWER SUPPLIES/DRIVER, DEFECTIVE ELECTRICAL AND NON-ELECTRICAL PARTS, AND LIGHT SOURCE FOR A PERIOD OF TEN (10) YEARS FROM DATE OF ACCEPTANCE. THE LUMINAIRE SHALL BE COVERED FOR PART REPLACEMENT OF DEFECTIVE LUMINAIRES DURING THE WARRANTY PERIOD. NEGLIGIBLE LIGHT OUTPUT FROM MORE THAN 10 PERCENT OF THE LED PACKAGES CONSTITUTES LUMINAIRE FAILURE. LONG-LIFE PHOTOCONTROL SHALL BE COVERED FOR FULL REPLACEMENT FOR A PERIOD OF TEN (10) YEARS FROM THE DATE OF ACCEPTANCE FOR ANY FAILURE AND/OR DEFECT IN WORKMANSHIP.

EXTERNAL LABELING - EXTERNAL LABELS SHALL BE PER ANSI C136.15-2011 (OR LATEST)

SPARE PARTS

THE CONTRACTOR SHALL PROVIDE 3% OF THE CONSTRUCTION QUANTITIES OF THE COMPLETE LUMINAIRE, ROUNDED UP TO THE NEAREST WHOLE NUMBER AND SHALL BE A MINIMUM OF 2 LUMINAIRES - EACH.

ALL SPARE PARTS SHALL BE WARRANTED BY THE PRODUCT MANUFACTURER FOR FORM, FIT, AND FUNCTION AND SHALL BE FULLY COMPATIBLE WITH THE PRODUCT SUPPLIED. IN ADDITION, ALL SPARE PARTS SHALL BE WARRANTED AGAINST FAILURE FOR A PERIOD NOT LESS THAN 10 YEARS.

SPARE PARTS SHALL BE PACKAGED TO PREVENT CORROSION OR DETERIORATION DURING LONG-TERM STORAGE AND DELIVERED UNDAMAGED TO 152 OKLAHOMA AVE, GAHANNA 43230. THE RECEIPT OF DELIVERY SHALL BE CONSIDERED PART OF THE SUBSTANTIAL COMPLETION REQUIREMENT.

ALL PACKAGING SHALL BE CLEARLY LABELED WITH THE PRODUCT MANUFACTURER'S NAME AND PART NUMBER. ELECTRONIC PARTS SHALL BE PACKED IN SEALED PLASTIC WRAPPERS OR HERMETICALLY-SEALED CONTAINERS. DESICCANT-CARTRIDGES SHALL BE INCLUDED IN THE PACKAGING.

REVISIONS

DESCRIPTION

REV# DATE

RAS CIVIL ENGINEERING, LLC

CIVIL ENGINEERING & SURVEYING SERVICES
P.O BOX 114 • AMLIN • OHIO • 43002
614-581-8504 • RICK_STCKER@ATT.NET

GAHANNA, OHIO

MOO MOO EXPRESS CARWASH

455 MORRISON RD

GENERAL NOTES

JOB NO: 20-15

DATE: OCTOBER, 2020

SCALE:
HORIZONTAL: N/A
VERTICAL: N/A

SHEET NO: 2 / 6

DEVELOPER:
JOHN ROUSH
MOO MOO EXPRESS CAR WASH
13375 NATIONAL ROAD, SUITE C
REYNOLDSBURG, OHIO 43068
PHONE: 614-206-2778
FAX: 614-522-6244
EMAIL: JOHN@MOOMOOCARWASH.COM

BUILDING HEIGHT: 31.5'
CURRENT ZONING: C - COMMERCIAL
OWNER: NATIONAL RETAIL PROPERTIES, LP
ZONING ADDRESS: 455 MORRISON ROAD
PARCEL #: 025-003174

TOTAL SITE AREA: 1.82 AC.
TOTAL DISTURBED AREA: 0.67 AC.
PRE-DEVELOPED IMPERVIOUS: 1.32 AC.
POST-DEVELOPED IMPERVIOUS: 1.25 AC.

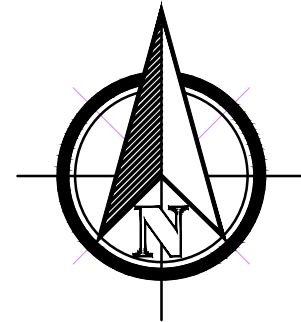
PARKING REQUIREMENTS:
3 SPACES PER BAY OR 1 SPACE PER 100 SF.

CAR WASH: 1 BAY = 1 SPACE

EXISTING REMAINING SPACES: 42 SPACES
NEW PARKING SPACES: 7 SPACES
NEW VACUUM SPACES: 23 SPACES
TOTAL SPACES: 72 SPACES

LANDSCAPING REQUIREMENTS:
5% OF TOTAL AREA OF THE PARKING LOT:
PARKING: 22238 SF X 0.05 = 1112 SF
VACUUM: 9839 SF X 0.05 = 492 SF
TOTAL = 1604 SF

ACTUAL ISLAND AREAS:
LA #1 = 212 SF
LA #2 = 1126 SF
LA #3 = 410 SF
TOTAL = 1748 SF



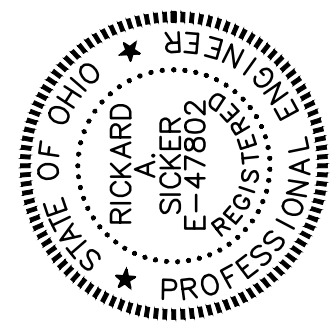
GRAPHIC SCALE
20 10 0 10 20
(IN FEET)
1 inch = 20 ft.

REVISIONS

DESCRIPTION

DATE

REV#



RAS CIVIL ENGINEERING, LLC

CIVIL ENGINEERING & SURVEYING SERVICES
P.O. BOX 114 • AMLIN • OHIO • 43002
614-581-8504 • RICK_STICKER@ATT.NET

05/10/21
DATE
47802
NO.
REGISTERED ENGINEER

GAHANNA, OHIO

MOO MOO EXPRESS CARWASH
455 MORRISON RD

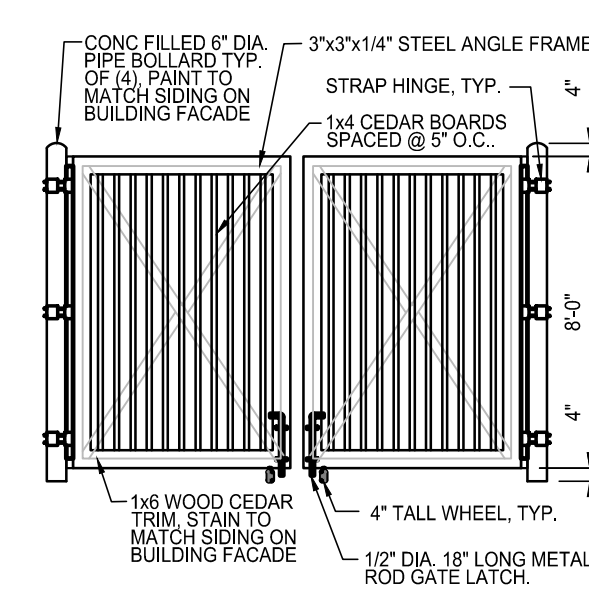
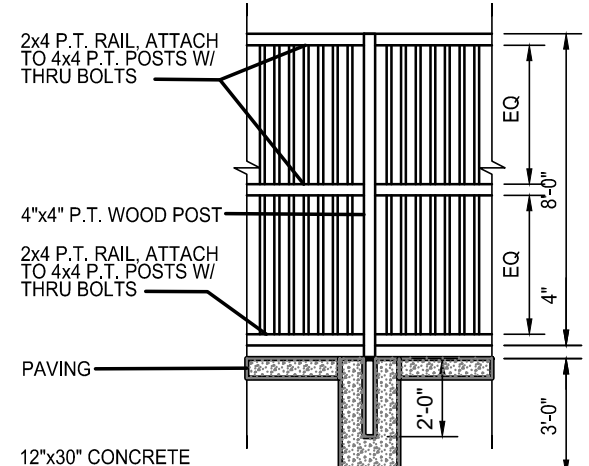
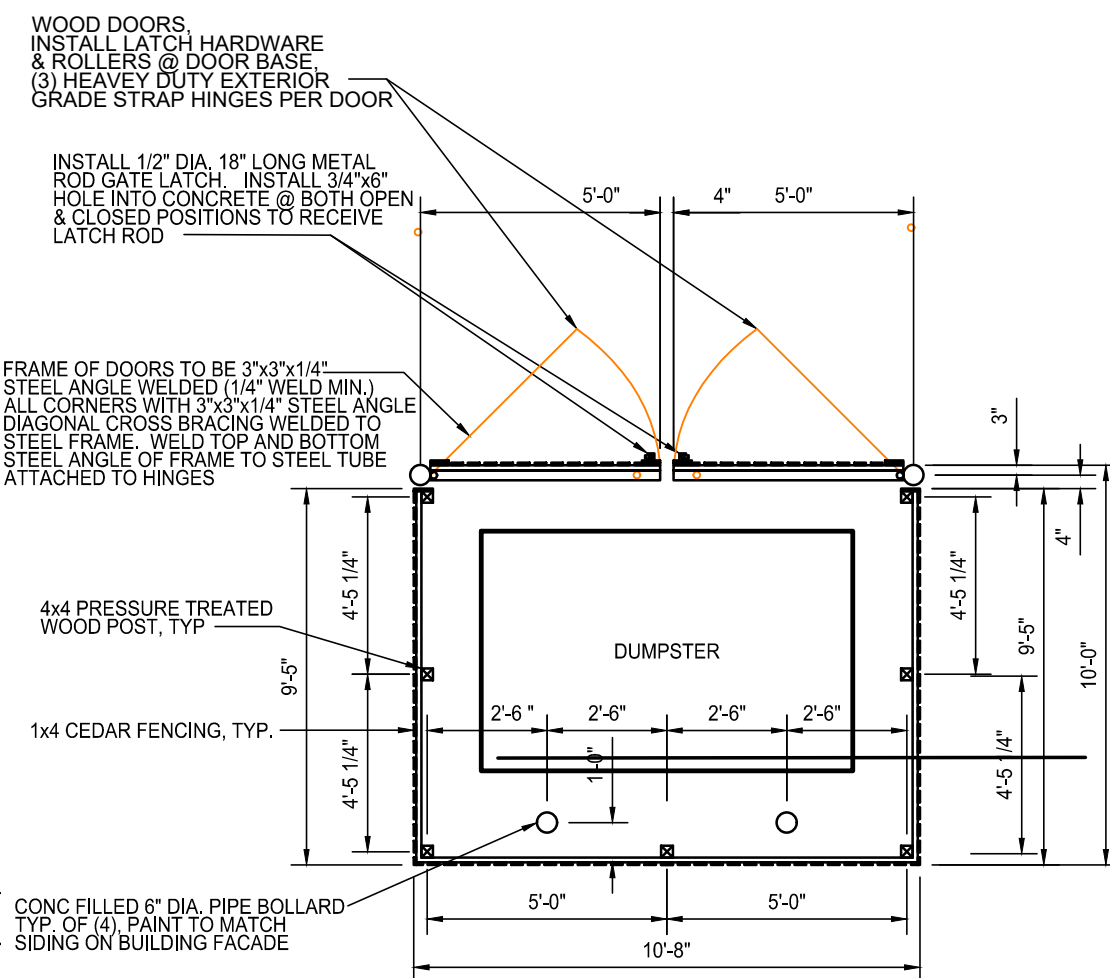
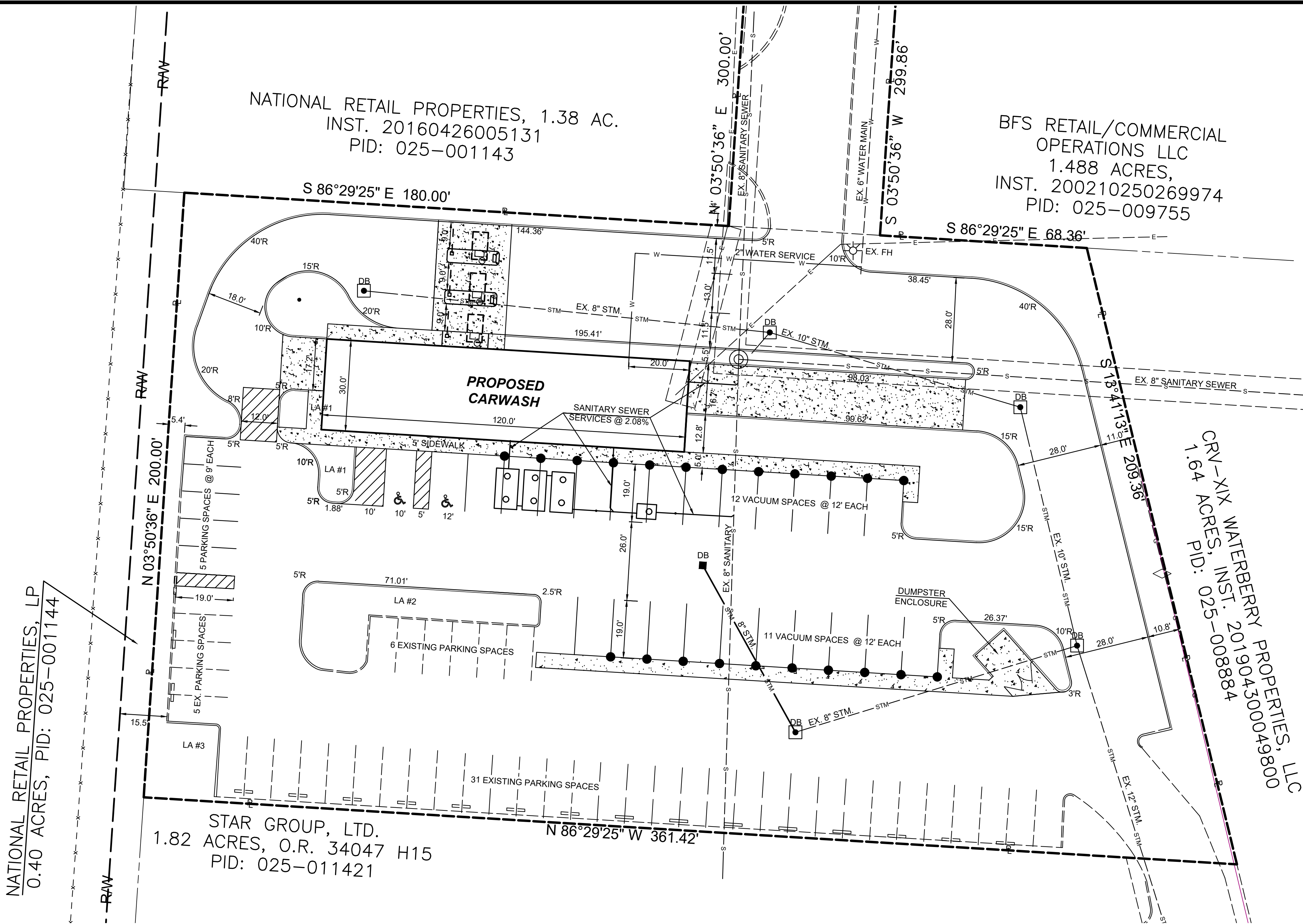
SITE DIMENSION /
COMPOSITE UTILITY PLAN

JOB NO.: 20-15

DATE: SEPTEMBER, 2020

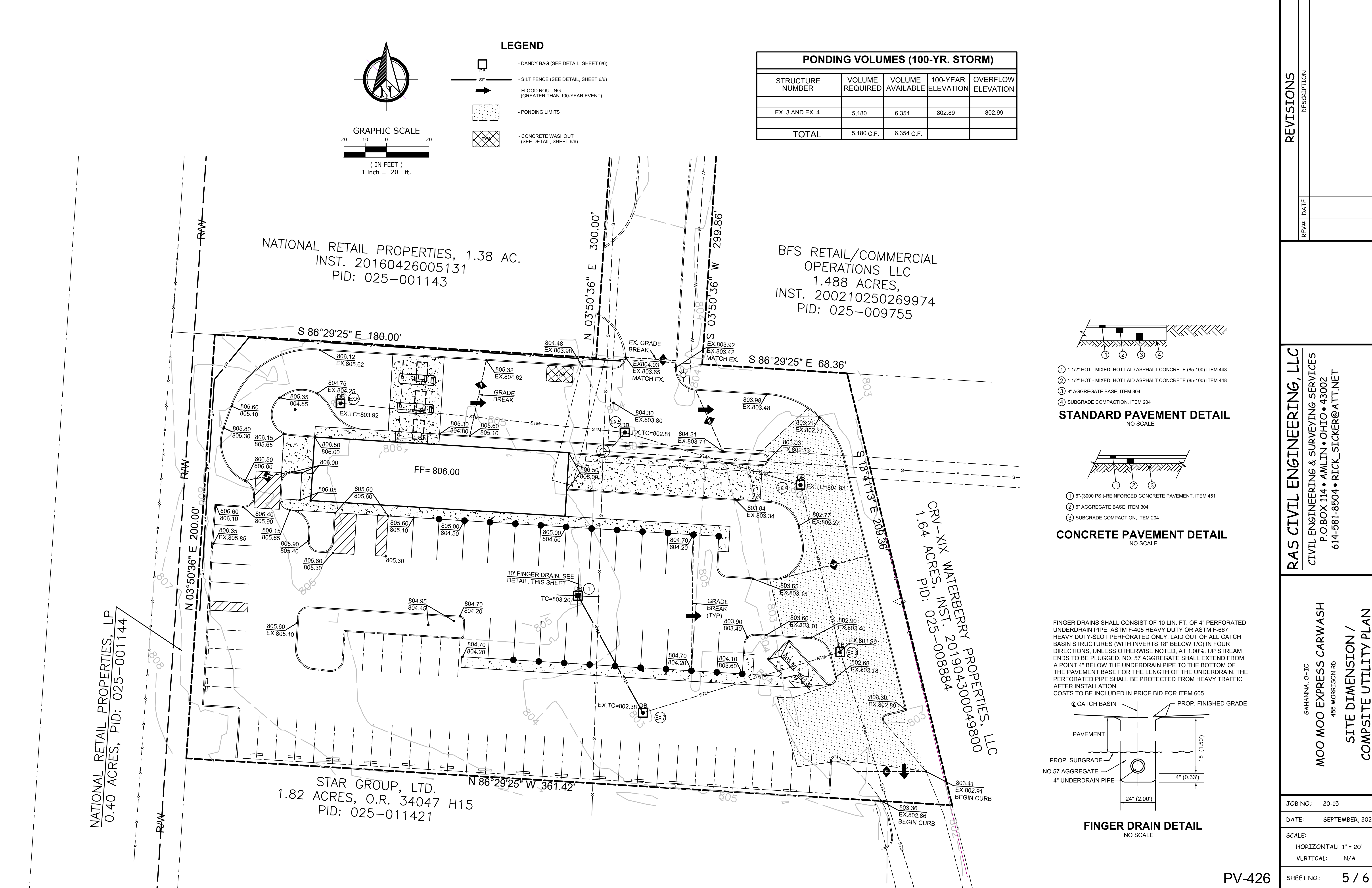
SCALE:
HORIZONTAL: 1" = 20'
VERTICAL: N/A

SHEET NO.: 4 / 6



DUMPSTER SCREENING DETAIL
NO SCALE

PV-426

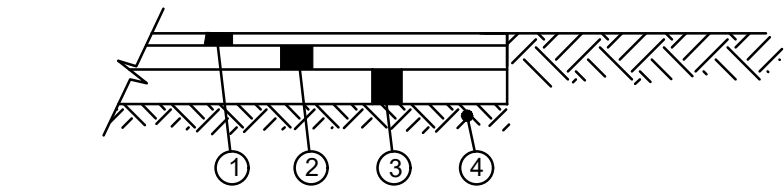


GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

LEGEND

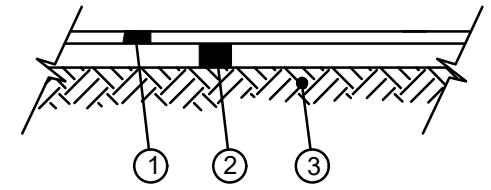
- DANDY BAG (SEE DETAIL, SHEET 6/6)
- SILT FENCE (SEE DETAIL, SHEET 6/6)
- FLOOD ROUTING (GREATER THAN 100-YEAR EVENT)
- PONDING LIMITS
- CONCRETE WASHOUT (SEE DETAIL, SHEET 6/6)

PONDING VOLUMES (100-YR. STORM)				
STRUCTURE NUMBER	VOLUME REQUIRED	VOLUME AVAILABLE	100-YEAR ELEVATION	OVERFLOW ELEVATION
EX. 3 AND EX. 4	5,180	6,354	802.89	802.99
TOTAL	5,180 C.F.	6,354 C.F.		



- ① 1 1/2" HOT - MIXED, HOT LAID ASPHALT CONCRETE (85-100) ITEM 448.
- ② 1 1/2" HOT - MIXED, HOT LAID ASPHALT CONCRETE (85-100) ITEM 448.
- ③ 8" AGGREGATE BASE, ITEM 304
- ④ SUBGRADE COMPACTION, ITEM 204

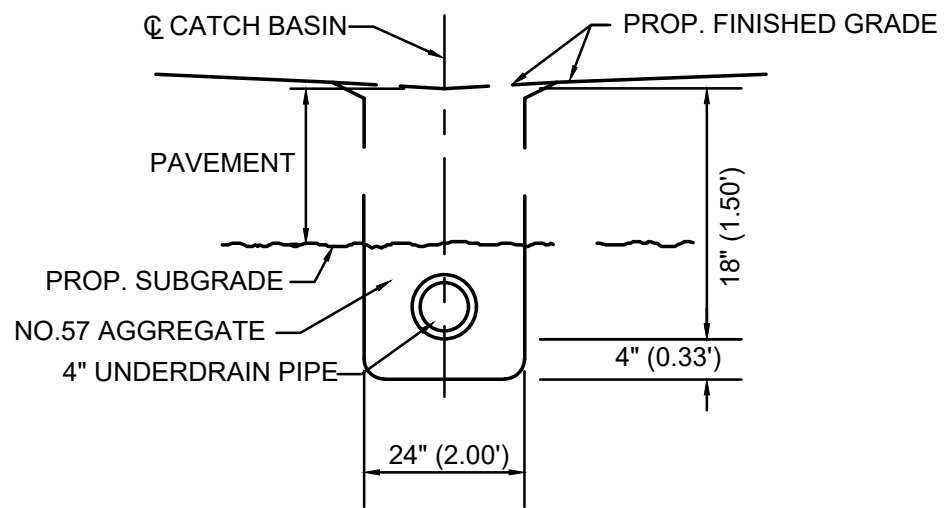
STANDARD PAVEMENT DETAIL
NO SCALE



- ① 6" (3000 PSI)-REINFORCED CONCRETE PAVEMENT, ITEM 451
- ② 6" AGGREGATE BASE, ITEM 304
- ③ SUBGRADE COMPACTION, ITEM 204

CONCRETE PAVEMENT DETAIL
NO SCALE

FINGER DRAINS SHALL CONSIST OF 10 LIN. FT. OF 4" PERFORATED UNDERDRAIN PIPE, ASTM F-405 HEAVY DUTY OR ASTM F-667 HEAVY DUTY SLOT PERFORATED ONLY, LAID OUT OF ALL CATCH BASIN STRUCTURES (WITH INVERTS 18" BELOW T/C) IN FOUR DIRECTIONS, UNLESS OTHERWISE NOTED, AT 1.00% UP STREAM ENDS TO BE PLUGGED. NO. 57 AGGREGATE SHALL EXTEND FROM A POINT 4" BELOW THE UNDERDRAIN PIPE TO THE BOTTOM OF THE PAVEMENT BASE FOR THE LENGTH OF THE UNDERDRAIN. THE PERFORATED PIPE SHALL BE PROTECTED FROM HEAVY TRAFFIC AFTER INSTALLATION. COSTS TO BE INCLUDED IN PRICE BID FOR ITEM 605.



FINGER DRAIN DETAIL
NO SCALE

REVISIONS

REV#	DATE	DESCRIPTION
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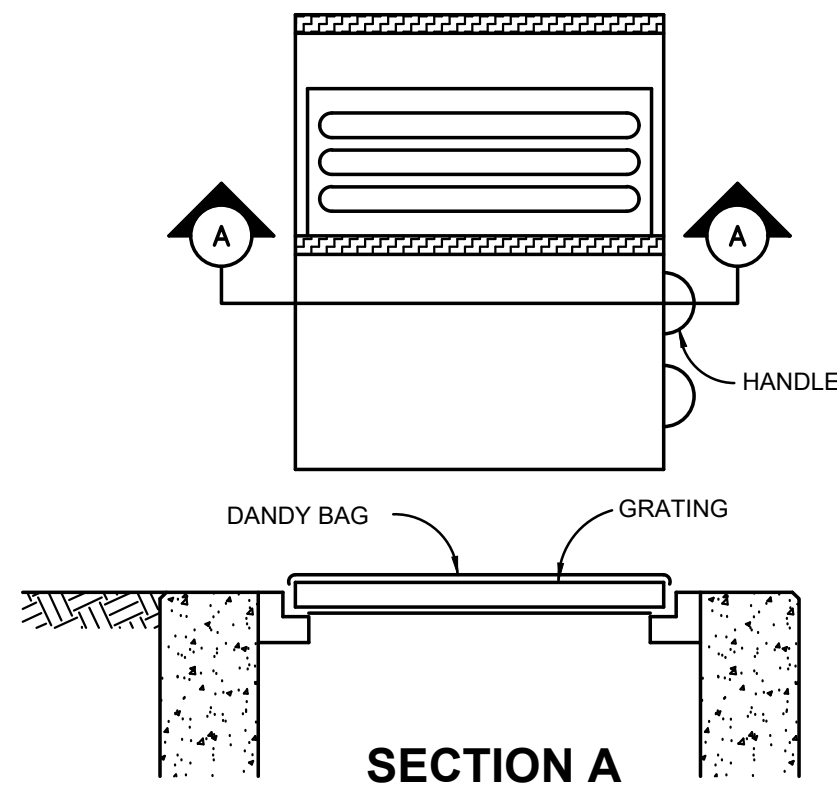
RAS CIVIL ENGINEERING, LLC

CIVIL ENGINEERING & SURVEYING SERVICES
P.O. BOX 114 • ARLIN • OHIO • 43002
614-581-8504 • RICK_SICKER@ATT.NET

MOO MOO EXPRESS CARWASH

GAHANNA, OHIO
455 MORRISON RD
SITE DIMENSION /
COMPOSITE UTILITY PLAN

JOB NO.:	20-15
DATE:	SEPTEMBER, 2020
SCALE:	HORIZONTAL: 1" = 20' VERTICAL: N/A
SHEET NO.:	5 / 6



INSTALLATION: STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. FLIP GRATE OVER SO THAT OPEN END IS UP. TUCK FLAP IN. HOLDING HANDLES. PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT IS VISIBLE.

MAINTENANCE: AFTER SILT HAS DRIED, REMOVE IT FROM THE SURFACE OF DANDY BAG WITH BROOM.

PLACEMENT: ON STRUCTURE NOS. 2, 3, 4, 1, 2, 1, 3, & 1, 4

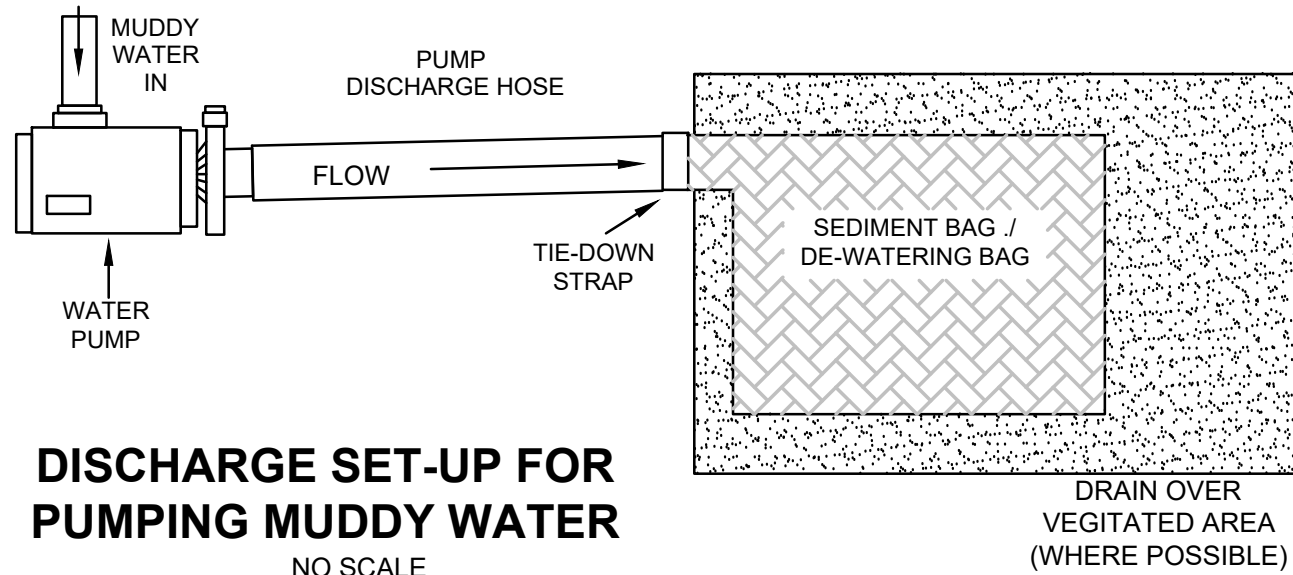
DANDY BAG DETAIL
NO SCALE

NOTICE:

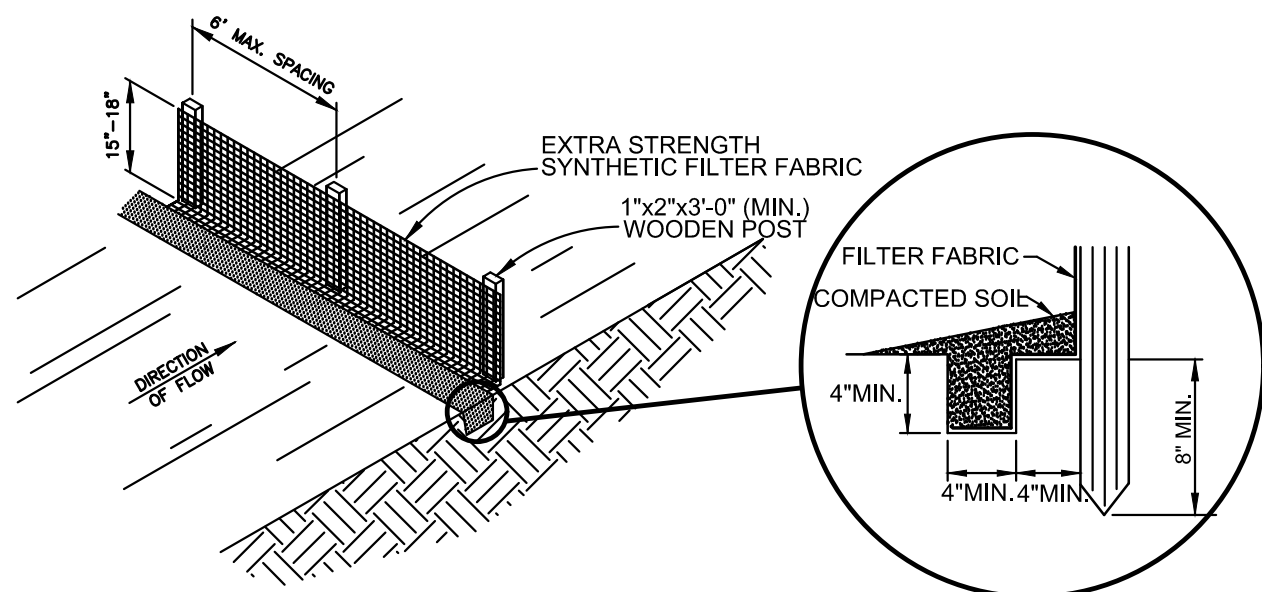
THE PUMPING OR DIRECT DISCHARGE OF SEDIMENT-LADEN (MUDDY) WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF OHIO EPA AND CITY OF COLUMBUS REGULATIONS.

ALL INLETS RECEIVING FLOW FROM RUNOFF, PUMPING ACTIVITIES, OR OTHER DIRECT DISCHARGES SHALL BE FITTED WITH AN INLET PROTECTION DEVICE THAT IS PROPERLY SIZED AND SECURED TO REDUCE THE DISCHARGE OF SEDIMENT INTO THE STORM SEWER SYSTEM AND RECEIVING STREAM. INLET PROTECTION IS REQUIRED ON ALL INLETS RECEIVING DISCHARGE REGARDLESS OF WHETHER OF NOT THE INLET IS TRIBUTARY TO ANY DOWNSTREAM EROSION AND SEDIMENT CONTROLS.

DISCHARGE HOSES USED DURING PUMPING ACTIVITIES SHALL BE FITTED WITH SEDIMENT BAGS THAT ARE PROPERLY SIZED PER MANUFACTURER'S RECOMMENDATIONS REGARDLESS OF WHAT OTHER SEDIMENT CONTROLS ARE IN PLACE FURTHER DOWNSTREAM. SEDIMENT BAGS MUST BE PROPERLY SECURED TO THE DISCHARGE HOSE AND PLACED OVER VEGETATED AREAS, WHERE FEASIBLE, DURING DISCHARGE. SEE DETAIL BELOW OF TYPICAL SEDIMENT BAG INSTALLATION.



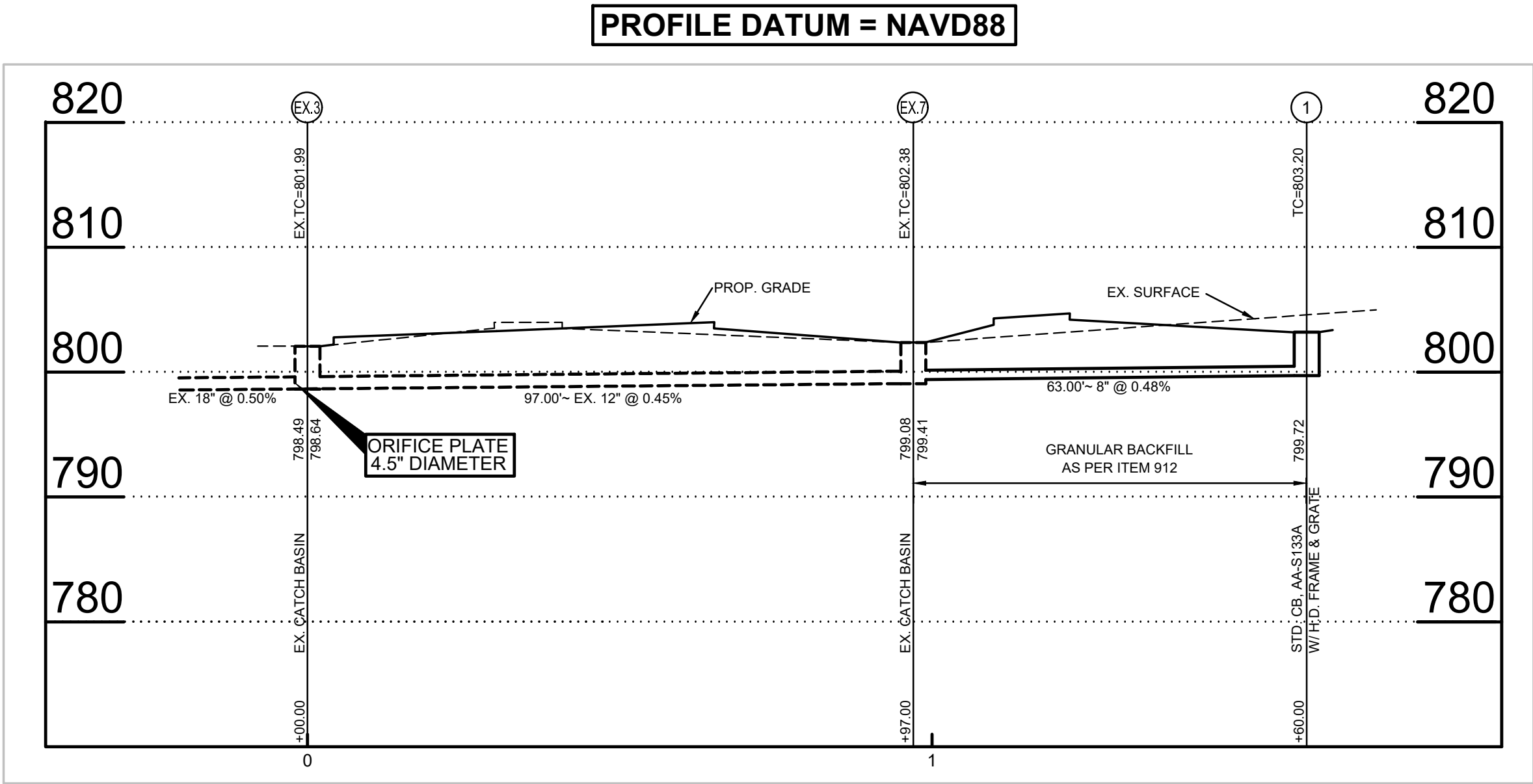
DISCHARGE SET-UP FOR PUMPING MUDDY WATER
NO SCALE



FILTER FABRIC SHALL BE FASTENED TO WOODEN POSTS USING 1/2" HEAVY DUTY STAPLES. FILTER FABRIC SHALL BE PLACED IN A CONTINUOUS ROLL TO MINIMIZE THE OCCURANCE OF JOINTS. WHERE JOINTS CANNOT BE AVOIDED, FABRIC SHALL BE SPLICED TOGETHER AT SUPPORT POSTS, WITH A MINIMUM OF 6-INCH OVERLAP, AND SECURLY SEALED.

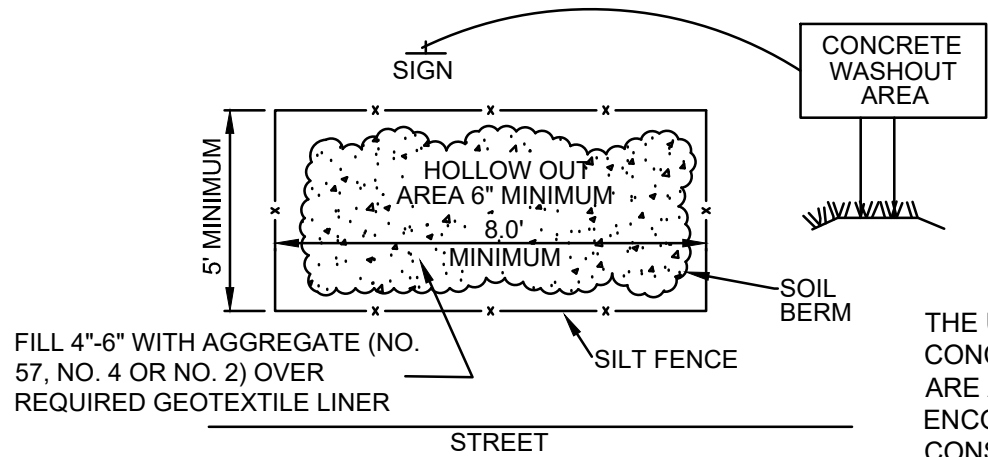
14-GAUGE WIRE FENCE REINFORCEMENT, A MINIMUM OF 18-INCHES IN HEIGHT AND HAVING A MAXIMUM MESH SPACING OF 6 INCHES, MAY BE USED AS A FENCE SUPPORT. IF THE WIRE REINFORCEMENT IS USED, STANDARD STRENGTH SYNTHETIC FILTER FABRIC MAY BE USED AND WOODEN POSTS MAY BE SPACED AT 10-FOOT INTERVALS. THE WIRE REINFORCING SHALL BE BURIED A MINIMUM OF 4 INCHES AND SHALL BE FASTENED TO THE WOODEN POSTS USING 1" HEAVY-DUTY STAPLES.

SILT FENCE DETAIL
NO SCALE



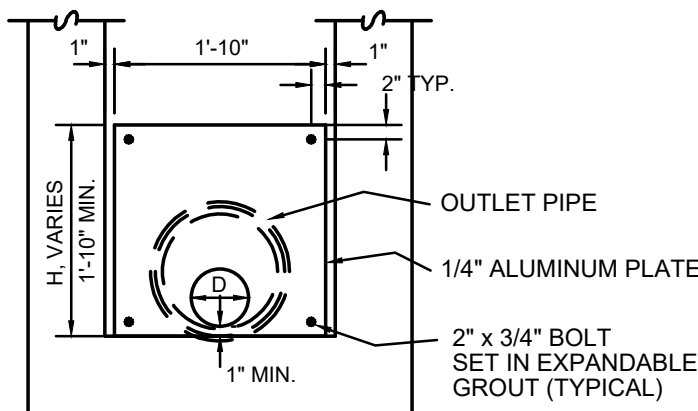
STORM SEWER PROFILES

SCALE: HORIZ: 1" = 20'
VERT: 1" = 10'



CONCRETE WASHOUT AREA
NO SCALE

THE USE OF PORTABLE CONCRETE WASHOUT UNITS ARE APPROVED (AND ENCOURAGED) FOR ALL CONSTRUCTION AREAS IN THE CITY OF COLUMBUS.



ORIFICE PLATE DETAIL
(STR. #3)
NOT TO SCALE

STR. #	D, IN.	H
3	6.00"	1'-10" MIN.

NOTES:
INVERT OF OUTLET PIPE TO BE INSTALLED AT SAME ELEVATION AS BOTTOM OF ORIFICE. ORIFICE PLATE TO BE INSTALLED ON OUTLET PIPE WALL.

REVISIONS

DESCRIPTION

DATE

REV#

RAS CIVIL ENGINEERING, LLC

CIVIL ENGINEERING & SURVEYING SERVICES
P.O. BOX 114 • AMLIN • OHIO • 43002
614-581-8504 • RICK_SICKER@ATT.NET

GAHANNA, OHIO
MOO MOO EXPRESS CARWASH
455 MORRISON RD
STORM SEWER PROFILE & EROSION CONTROL DETAILS

JOB NO.: 20-15

DATE: SEPTEMBER, 2020

SCALE:

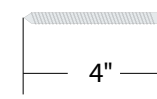
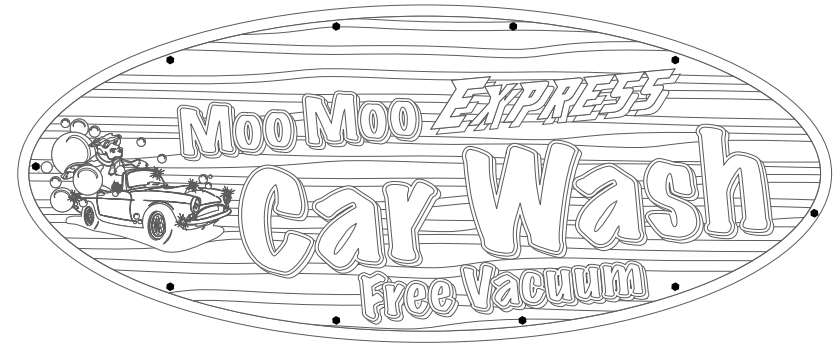
HORIZONTAL: 1" = 20'

VERTICAL: 1" = 10'

SHEET NO.: 6 / 6

Red Barn Images:





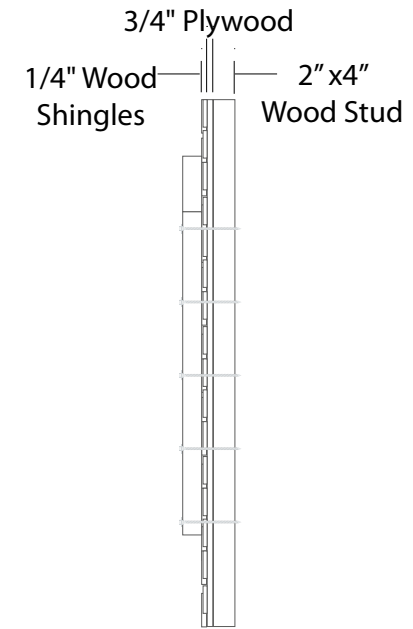
QTY (10) per sign
4" x 1/4" Self Tapping Screws

Non-Illuminated Single Face Wall Signs scale: 1/2"=1'-0"

SIGN: Custom fabricated HDU Panel painted Red Black and White

MOUNTING: Sign to be flush mounted to fascia.

SW 6328 FIREWEED



Cross View NTS



Client: Moo Moo Drawing Date: 09-22-20
Project Name: Gahanna Drawing #: 20-695 SP: JN D: AW



This sign is intended to be installed in accordance of article 600 of the National Electric Code and or other applicable local codes. This includes proper grounding and bonding of the sign.

Copy, colors, size, quantity

APPROVAL:

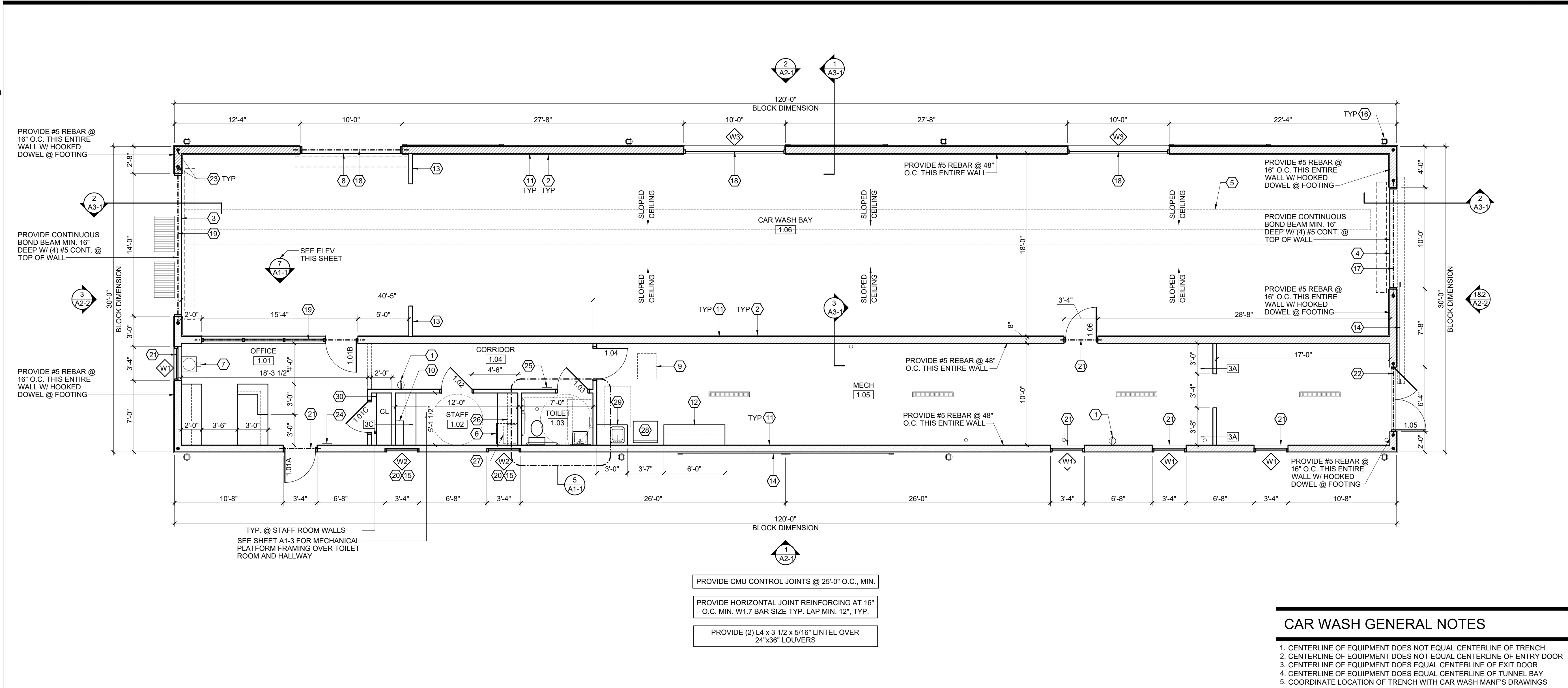
Client Signature: _____ Date: _____

NATIONAL RETAIL PROPERTIES
450 S Orange Avenue, Suite 900
Orlando, FL 32801

CRV-XIX WATERBURY PROPERTIES
PO BOX 2235
Westerville, OH 43086

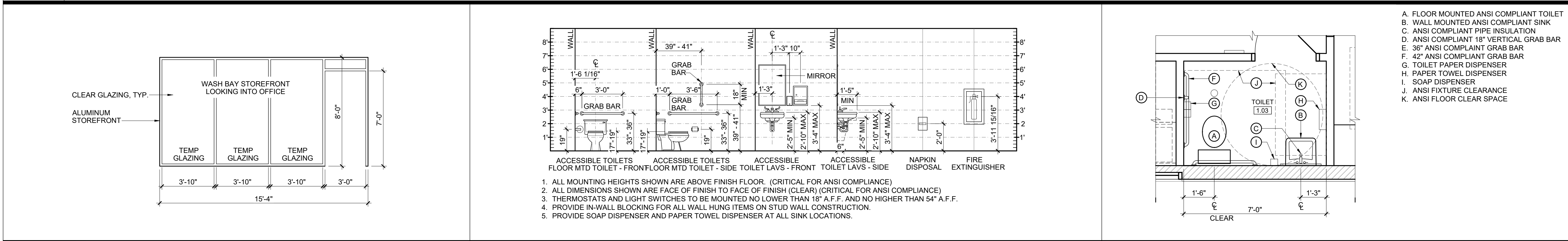
BFS Retail & Commercial Operations
333 E Lake St
Bloomington, IL 60108

STAR GROUP LTD
251 Crossing Creek North
Gahanna, OH 43230



8

FLOOR PLAN



7

INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

SPACE		FLOOR		WALLS				CLG	
NO.	ROOM NAME	MAT	BASE	NORTH	EAST	SOUTH	WEST	MAT	REMARKS
1.01	OFFICE	WD	WD	PT-2	PT-2	PT-2	PT-2	GYP	B&B SIDING WALLS. CEILING = PT-1
1.02	STAFF	WD	VB	PT-3	PT-3	PT-3	PT-3	GYP	CEILING = PT-3
1.03	TOILET	WD	VB	PT-3	PT-3	PT-3	PT-3	GYP	B&B SIDING WALLS. CEILING = PT-3
1.04	CORRIDOR	WD	WD	PT-2	PT-2	PT-2	PT-2	GYP	CEILING = PT-1
1.05	MECHANICAL	EPXY	NO	PT-3	PT-3	PT-3	PT-3	GYP	EPOXY FLOOR & BASE. CEILING = PT-3
1.06	WASH BAY	NO	NO	WL	WL	WL	WL	WL	SLOPED CEILING
FLOORING		BASE		WALLS				CEILING	
CPT	CARPET	VB	VINYL BASE	PT-1	SW 6131 - CHAMOIS	ACT ACOUSTICAL CEILING TILE DW DRYWALL CEILING WL WALL LINER NO NO CEILING			
VCT	VINYL COMP	WD	WOOD BASE	PT-2	SW 6128 - BLONDE				
CT	TILE	CT	CERAMIC TILE	PT-3	WHITE				
WD	SIM WOOD FLR.	EXG	EXG BASE	WC	WALL COVERING				
EPXY	EPOXY	NO	NO BASE	EXG	EXG WALL FINISH	CEILING NOTES DOOR FRAMES AND ACT CEILING COLOR TO MATCH WALL COLOR IN ALL ROOMS. SEE FINISH SCHEDULE			
NO	NO FLOORING			WL	WALL LINER PANEL				
SIM WOOD FLOOR = ALLURE 517115 CINNAMON				BB	BOARD AND BATTEN				
				NO	NO FINISH				

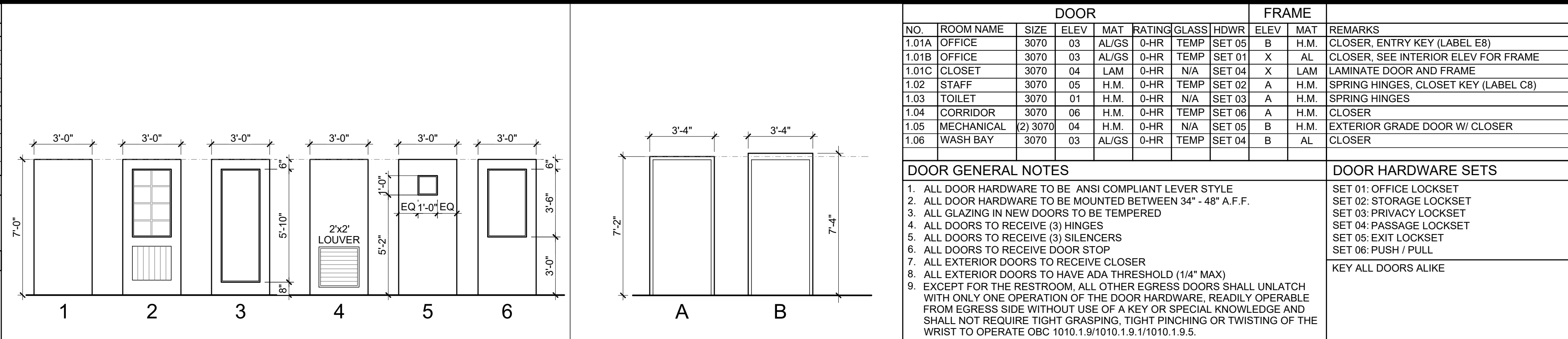
4

ROOM FINISH SCHEDULE

6

ANSI MOUNTING HEIGHTS

SCALE: 1/4" = 1'-0"



3

DOOR ELEVATIONS

2

FRAME ELEVATIONS

1

DOOR SCHEDULE

FLOOR PLAN CODED NOTES

- FIRE EXTINGUISHER: RED ENAMELED FINISH HEAVY DUTY STEEL CYLINDER. UL AND FM APPROVED. ABC MULTI-PURPOSE DRY CHEMICAL. 10 LB CAPACITY UL RATED 4A 60B: C, HOSE TYPE, UPRIGHT, SQUEEZE GRIP OPERATION.
- INTERIOR WALL LINER PANEL BY EXTRUTECH PLASTICS, INC.
- 14'-0" x 8'-0" OVERHEAD DOOR
- 10'-0" x 8'-0" OVERHEAD DOOR
- CAR WASH TRENCH: SEE MANUFACTURER'S DRAWINGS
- UNDER COUNTER REFRIGERATOR
- ANSI COMPLIANT BOTTLED WATER COOLER W/ CUP DISPENSER.
- 10'-0" x 10'-0" OVERHEAD DOOR
- 22"x30" ATTIC ACCESS
- SERVER RACK BY OWNER
- 8" CMU WALL
- TOOL STORAGE
- WIND WALL. VERIFY WITH CAR WASH SUPPLIER
- SLIDING BARN DOOR. SEE EXTERIOR ELEVATIONS
- FALSE WINDOW W/ 4" CMU BEHIND. EXTERIOR SEE ELEVATIONS
- DOWNSPOUT
- W8x18 STEEL BEAM W/ 5/16" PLATE. MIN 8" BEARING EACH END.
- W8x24 STEEL BEAM W/ 5/16" PLATE. MIN 8" BEARING EACH END.
- W8x28 STEEL BEAM W/ 5/16" PLATE. MIN 8" BEARING EACH END.
- (1) L3 1/2" x 3 1/2" x 5/16" STEEL LINTEL
- (2) L3 1/2" x 3 1/2" x 5/16" STEEL LINTEL
- (2) L6" x 4" x 5/16" STEEL LINTEL
- #5 FULL HEIGHT W/ HOOKED DOWEL @ FOOTING
- ANSI COMPLIANT EXIT SIGNAGE. SEE 1/A4-1
- ANSI COMPLIANT SIGNAGE DESIGNATING UNISEX TOILET ROOM
- COFFEE MAKER, SEE INTERIOR ELEVATION
- MICROWAVE, SEE INTERIOR ELEVATION
- STACKABLE WASHER / DRYER
- COMMERCIAL GRADE UTILITY SINK
- 18" DEEP SHELVE W/ BRACKETS AND STANDARDS

PLAN GENERAL NOTES

- ALL DOORS TO BE 6" FROM ADJACENT WALL U.N.O.
- ALL SIGNS THAT DESIGNATE PERMANENT ROOMS AND SPACES SHALL HAVE RAISED AND BRAILED CHARACTERS AND PICTORIAL SYMBOL. SIGNS FINISH AND CONTRAST, AND MOUNTED 60 INCHES ABOVE THE FINISH FLOOR TO CENTERLINE OF THE SIGN AS PER ADAG SECTION 4.1.3(16)(a) AND 4.30.6
- ALL INTERIOR STUD WALLS TO BE WALL TYPE "3B", U.N.O.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL TOILET ROOMS
- ALL WOOD STUDS IN DIRECT CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED

WINDOW TYPES SCHEDULE

#	ASSEMBLY DESCRIPTION	HR	NOTES
W1	3'-4" WIDE x 3'-4" TALL VINYL WINDOW W/ INTERMEDIATE MULLIONS		
W2	3'-4" WIDE x 3'-4" TALL FALSE VINYL WINDOW W/ INTERMEDIATE MULLIONS.		
W3	10'-0" WIDE x 10'-0" TALL ALUMINUM WINDOW. FINISH TO BE ANODIZED ALUMINUM		

WALL TYPES SCHEDULE

#	ASSEMBLY DESCRIPTION	HR	NOTES
3A	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD	RATING: 0 HR	FULL HEIGHT PARTITION. TERMINATE GYPSUM BOARD 6" ABOVE FINISH CEILING. ASSEMBLY THICKNESS = 4 3/4"
3B	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD 3" SOUND BATT	RATING: 0 HR	FULL HEIGHT PARTITION. TERMINATE GYPSUM BOARD 6" ABOVE FINISH CEILING. ASSEMBLY THICKNESS = 4 3/4"
3C	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD 3" SOUND BATT	RATING: 0 HR	FULL HEIGHT PARTITION. TERMINATE GYPSUM BOARD @ BOTTOM OF TRUSSES. ASSEMBLY THICKNESS = 4 3/4"

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

MooMoo EXPRESS CAR WASH

455 MORRISON RD. GAHANNA, OH 43230

S T U D I O S

ARCHITECTURAL DESIGN

614.562.7761 WWW.SBA-STUDIOS.COM

SCALE: 3/16" = 1'-0"

SHEET # / DESCRIPTION

FLOOR PLAN

A1-1

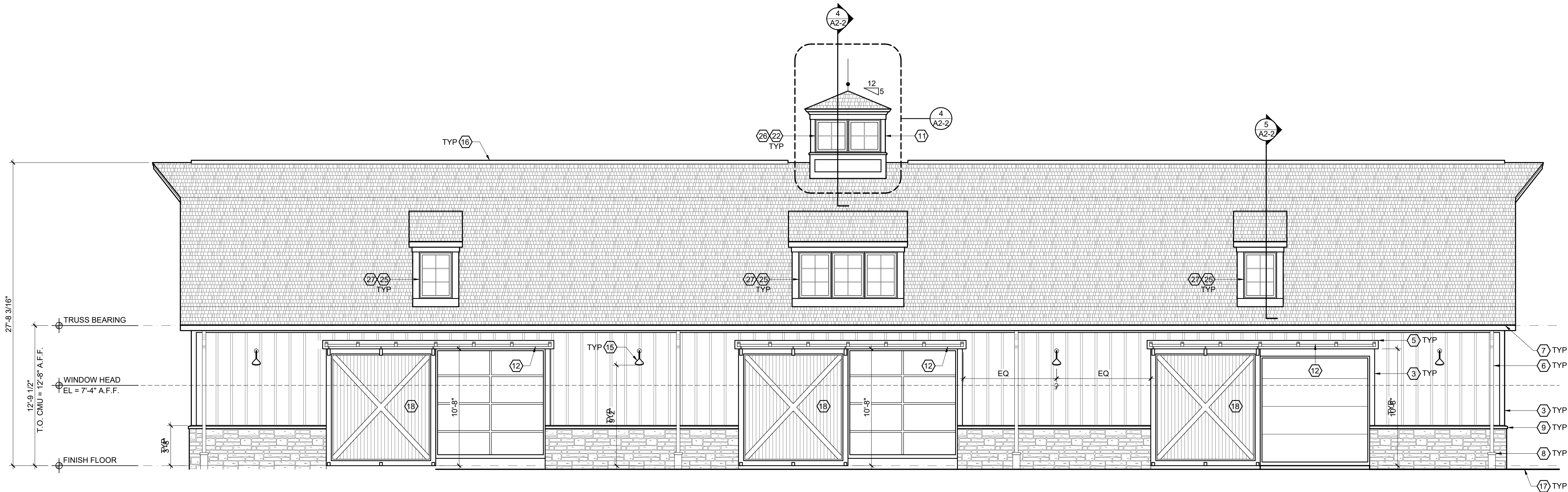
DATE: 09.25.2020

DESIGN REVIEW

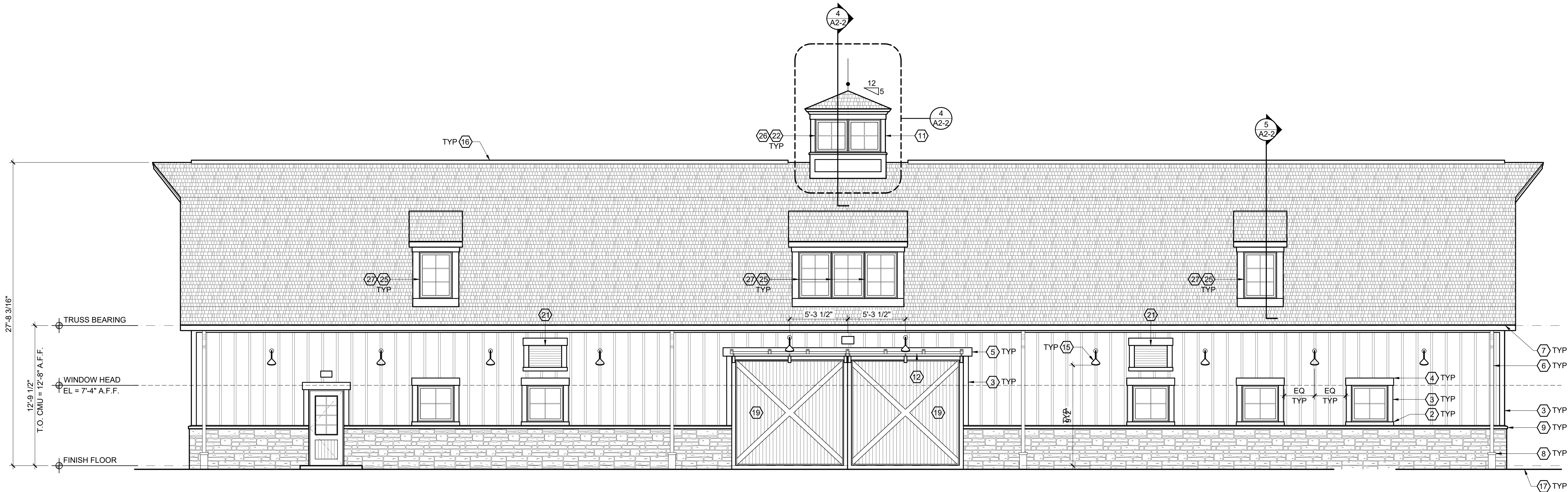
SCOTT S. BAKER, LICENSE #14654

EXPIRATION DATE 12/31/2019

SBA STUDIOS PROJECT # 2020-445



2 SIDE ELEVATION



1 SIDE ELEVATION

ELEVATION CODED NOTES

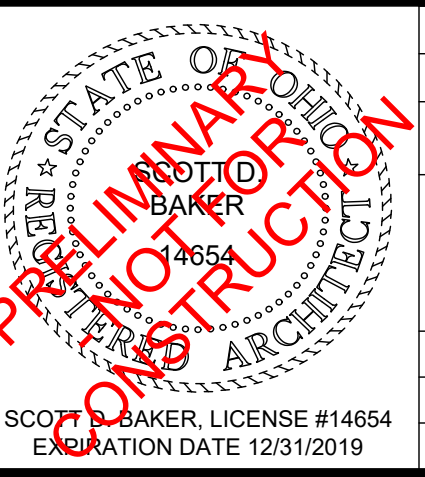
1. 2" HARDIE-TRIM, PAINTED
2. 4" HARDIE-TRIM, PAINTED
3. 6" HARDIE-TRIM, PAINTED
4. 8" HARDIE-TRIM, PAINTED
5. 10" HARDIE-TRIM, PAINTED
6. 6" DIA. ALUMINUM DOWNSPOUT, COLOR TO BE WHITE
7. 6" ALUMINUM GUTTER, COLOR TO BE WHITE
8. DOWNSPOUT BOOT, COLOR TO BE WHITE
9. CULTURED STONE WATER TABLE
10. NOT USED
11. LIGHT MONITOR, SEE DETAIL 4/A2-2
12. DECORATIVE SLIDING BARN DOOR HARDWARE AND TRACK
13. FUNCTIONAL SLIDING BARN DOOR HARDWARE AND TRACK
14. SIGNAGE, BY OWNER
15. EXTERIOR WALL MOUNTED LIGHT FIXTURE
16. CONTINUOUS RIDGE VENT
17. GRADE, COORDINATE W/ CIVIL DRAWINGS
18. FIXED 10'-0" WIDE x 10'-8" TALL BARN DOOR
19. FIXED 10'-8" WIDE x 10'-8" TALL BARN DOOR
20. FUNCTIONAL 10'-8" WIDE x 10'-8" TALL SLIDING BARN DOOR
21. 24"X36" LOUVER
22. 3'-0" x 3'-0" WINDOW, MATCH LOWER WINDOWS
23. 2'-0" WIDE x 3'-0" TALL FALSE BARN DOOR DETAIL
24. 3'-0" WIDE x 5'-0" TALL FALSE BARN DOOR DETAIL
25. 3'-0" x 4'-4" WINDOW, MATCH LOWER WINDOWS
26. CLEAR GLAZING
27. FOGGED GLAZING

ELEVATION MATERIAL LEGEND

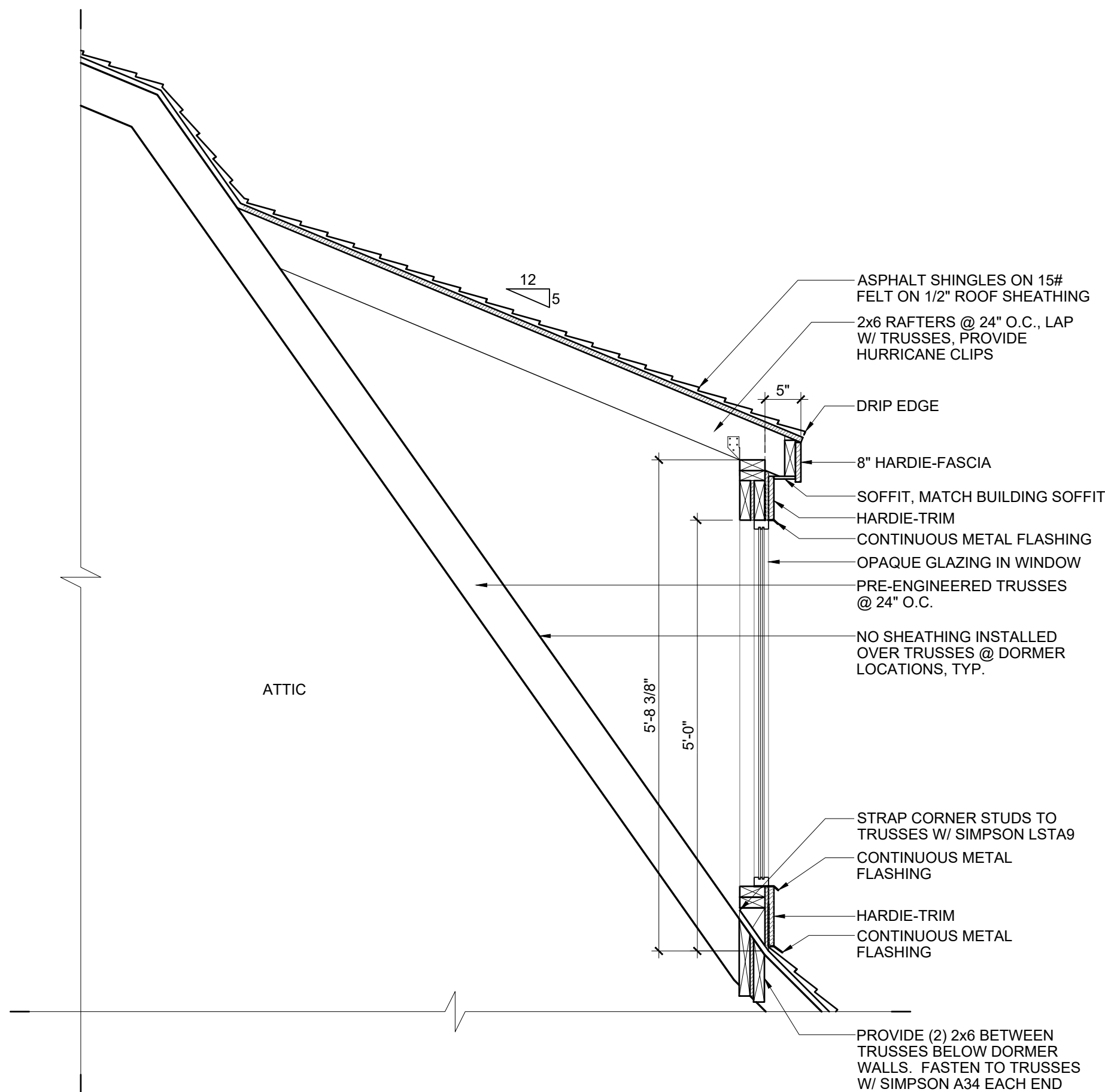
- ASPHALT SHINGLES
GAF - SLATLINE
ENGLISH GREY SLATE
- HARDIE BOARD & BATTEN SIDING
COLOR: SHERWIN WILLIAMS
BURGUNDY (VERIFY WITH OWNER)
- CULTURED STONE:
CENTURION STONE
FIELDSTONE KENTUCKY
- TRIM COLOR: SHERWIN WILLIAMS SW7028 - INCREDIBLE WHITE
SOFFIT / FASCIA COLOR: SHERWIN WILLIAMS SW7028 - INCREDIBLE WHITE
- CULTURED STONE
WATER TABLE

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

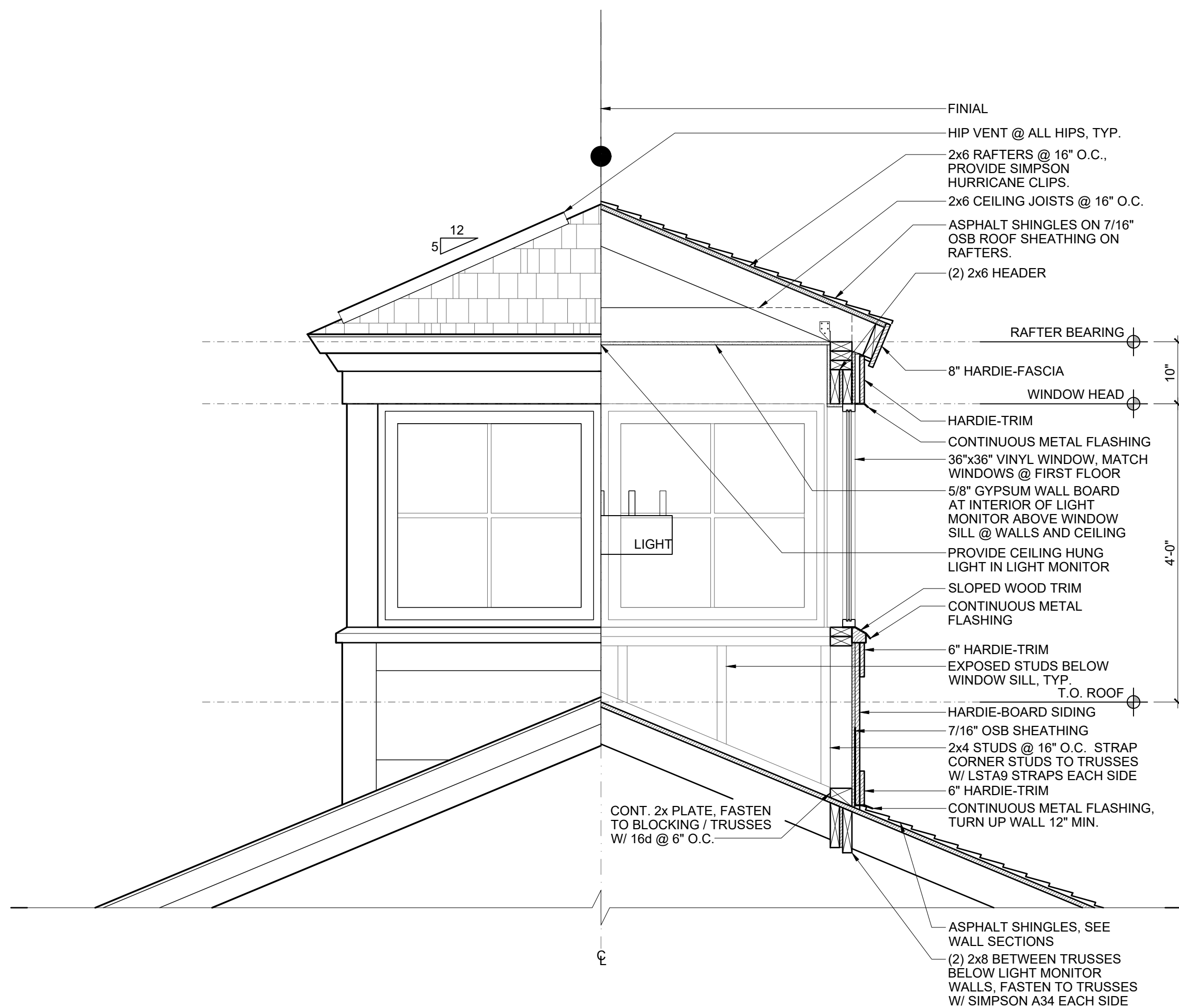
MooMoo EXPRESS CAR WASH
455 MORRISON RD. GAHANNA, OH 43230



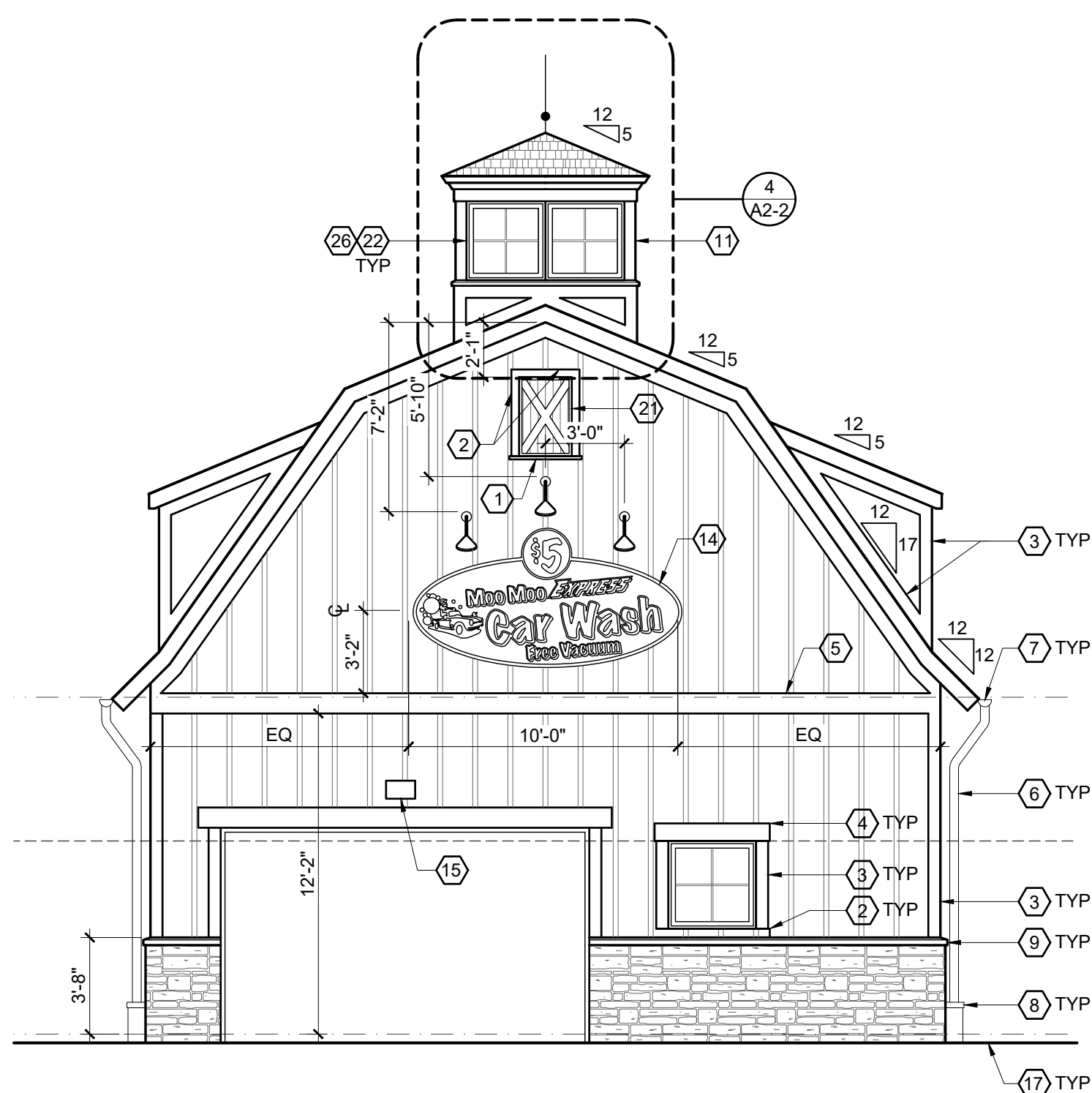
SCALE: 3/16" = 1'-0"
SHEET # / DESCRIPTION
EXTERIOR ELEVATIONS
A2-1
DATE: 09.25.2020
DESIGN REVIEW
SCOTT S. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2019
SBA STUDIOS PROJECT # 2020-445



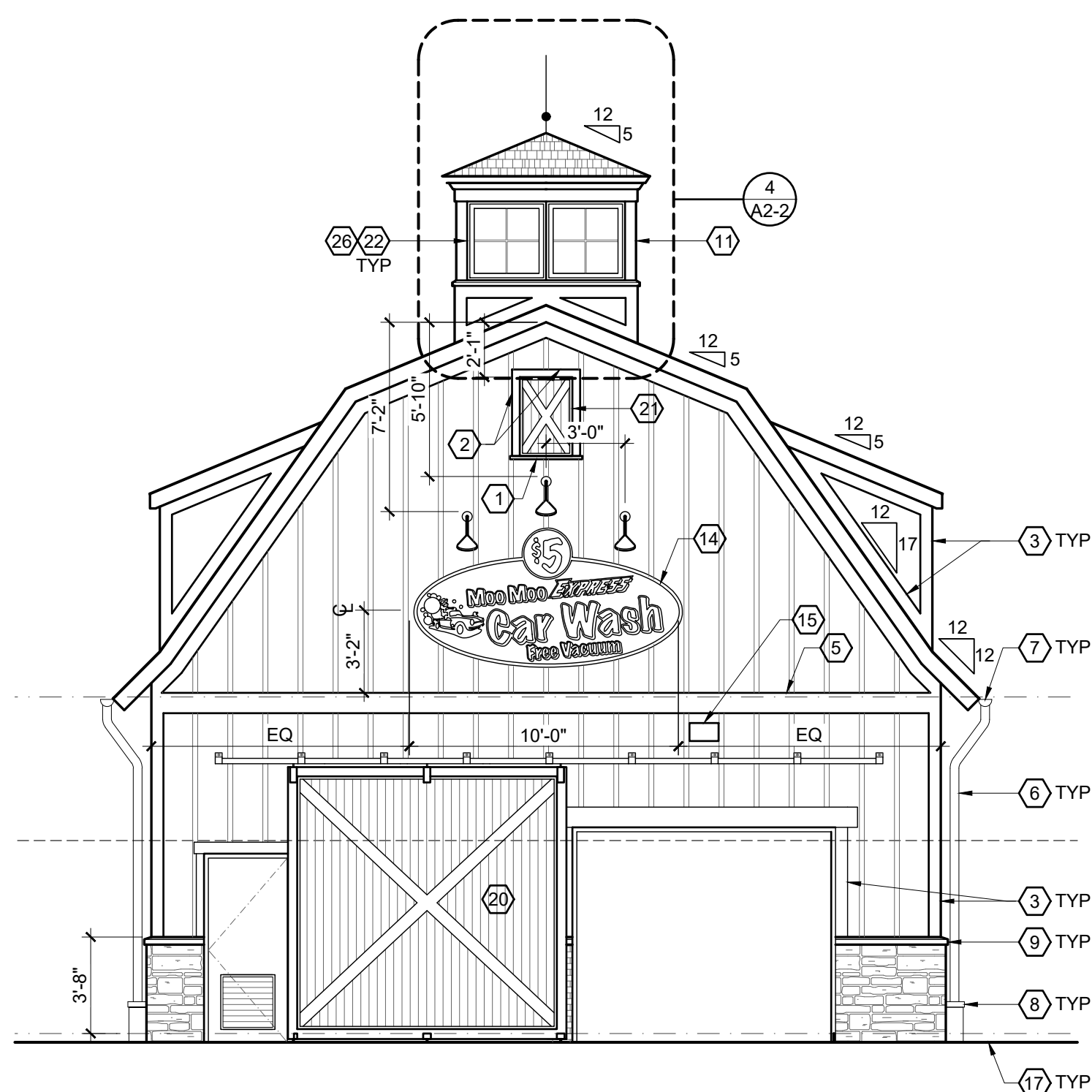
5	DORMER DETAIL
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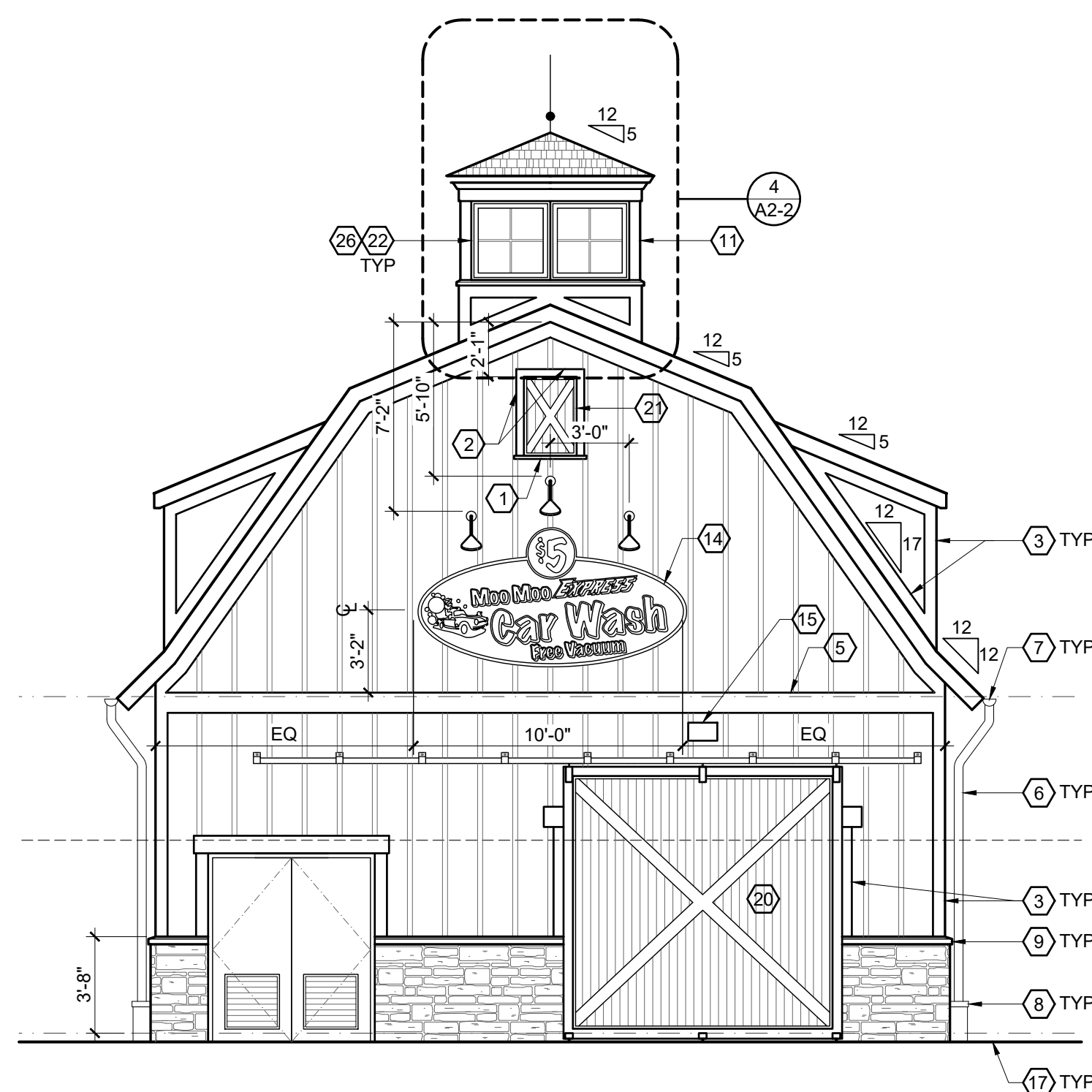
4 LIGHT MONITOR SECTION



3 | ENTRANCE ELEVATION



2	EXIT ELEVATION (OPEN)
---	-----------------------

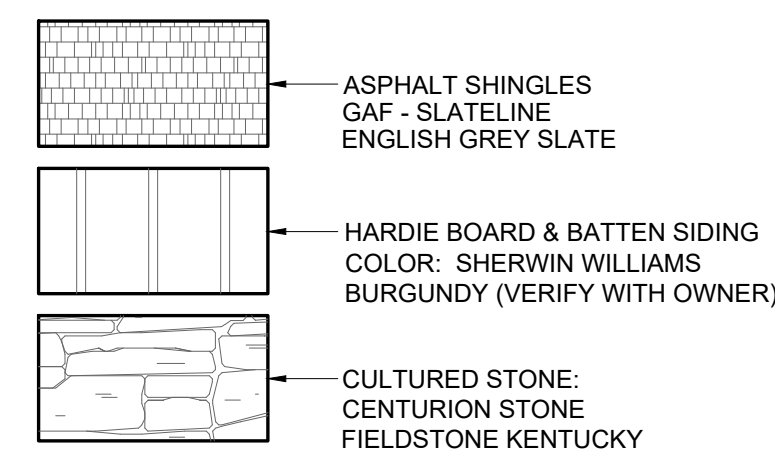


1	EXIT ELEVATION (CLOSED)
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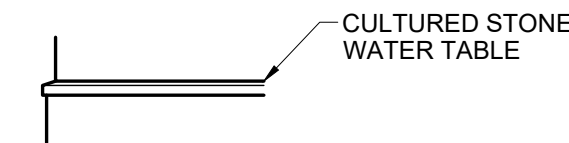
ELEVATION CODED NOTES

1. 2" HARDIE-TRIM, PAINTED
2. 4" HARDIE-TRIM, PAINTED
3. 6" HARDIE-TRIM, PAINTED
4. 8" HARDIE-TRIM, PAINTED
5. 10" HARDIE-TRIM, PAINTED
6. 6" DIA. ALUMINUM DOWNSPOUT, COLOR TO BE WHITE
7. 6" ALUMINUM GUTTER, COLOR TO BE WHITE
8. DOWNSPOUT BOOT, COLOR TO BE WHITE
9. CULTURED STONE WATER TABLE
10. NOT USED
11. LIGHT MONITOR, SEE DETAIL 4A2-2
12. DECORATIVE SLIDING BARN DOOR HARDWARE AND TRACK
13. FUNCTIONAL SLIDING BARN DOOR HARDWARE AND TRACK
14. SIGNAGE, BY OWNER
15. EXTERIOR WALL, PAINTED LIGHT FIXTURE
16. CONTINUOUS RIDGE VENT
17. GRADE, COORDINATE W/ CIVIL DRAWINGS
18. FIXED 10'-0" WIDE X 10'-8" TALL BARN DOOR
19. FIXED 10'-8" WIDE X 10'-8" TALL BARN DOOR
20. FUNCTIONAL 10'-0" WIDE X 10'-8" TALL SLIDING BARN DOOR
21. 24"x36" LOUVER
22. 3'-0" X 3'-0" WINDOW, MATCH LOWER WINDOWS
23. 2'-0" WIDE X 3'-0" TALL FALSE BARN DOOR DETAIL
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25. 3'-0" X 4'-0" WINDOW, MATCH LOWER WINDOWS
26. CLEAR GLAZING
27. FOGGED GLAZING

ELEVATION MATERIAL LEGEND

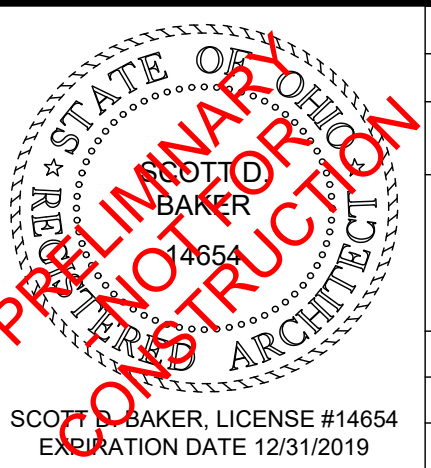


TRIM COLOR: SHERWIN WILLIAMS SW7028 - INCREDIBLE WHITE
SOFFIT / FASCIA COLOR: SHERWIN WILLIAMS SW7028 -
INCREDIBLE WHITE



#	DATE	ISSUED WITH: CHANGE DESCRIPTION

MooMoo EXPRESS CAR WASH
455 MORRISON RD. GAHANNA, OH 43230



SCALE: 3/16" = 1'-0"

SHEET # / DESCRIPTION

EXTERIOR ELEVATION

A2-2

DATE: 09.25.2020

DESIGN REVIEW

SBA STUDIOS PROJECT # 2020-42

AFFIDAVIT

STATE OF FLORIDA :
 : ss
COUNTY OF ORANGE :

The undersigned ("Affiant"), being duly cautioned and sworn, does hereby state as follows:

1. I am the Executive Vice President of President of NNN GP Corp., a Delaware corporation, the general partner of National Retail Properties, LP, a Delaware limited partnership (the "Company"), the owner of certain real property located at 455 Morrison Road, Gahanna, Ohio 43230 (the "Property") and am authorized to make this Affidavit for and on behalf of the Company.
2. The Company leases the Property to Frisch's Restaurants, Inc., an Ohio corporation ("Tenant") pursuant to that certain Unitary Master Lease Agreement dated August 24, 2015, as amended (the "Lease") and Tenant will be acquiring the Property from Landlord pursuant to the terms of the Lease.
3. Tenant and Moo Moo Express Car Wash, LLC, an Ohio limited liability company (the "Applicant") are parties to a certain purchase agreement ("Agreement") where Applicant has the opportunity to conduct certain due diligence in deciding whether to acquire the Property. Applicant's intended use for the Property is an express car wash tunnel and oil change facility ("Intended Use"), and Applicant desires to seek certain governmental approvals from the City of Gahanna ("City") in order to confirm the Intended Use will be permitted upon or after closing on the Property.
4. Company hereby authorizes the Applicant to submit such applications to the City as may be necessary to obtain zoning approval of Applicant's Intended Use of the Property, except that:
 - a. Company does not consent to any action on the part of either the Applicant or the City that would cause the Property to lose its current zoning designation and entitlements at any time before the Property may be sold to Applicant;
 - b. Company reserves the right and authority to withdraw any application submitted by Applicant;
 - c. Company accepts no liability regarding any zoning application which Applicant desires to pursue; and
 - d. Company will not be bound by any agreements made by Applicant.
5. The purpose of this Affidavit is to evidence the Company's authorization of Applicant's zoning application to the City for the Property subject to the exceptions and limitations set forth herein.

Further Affiant sayeth naught.

NATIONAL RETAIL PROPERTIES, LP, ^{RSS}
a Delaware limited partnership [✓]

By: NNN GP Corp., a Delaware corporation,
as general partner

By: Stephen A. Horn, Jr.
Name: Stephen A. Horn, Jr.
Title: Executive Vice President

STATE OF FLORIDA

COUNTY OF ORANGE

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 9th day of February, 2021 by Stephen A. Horn, Jr., as Executive Vice President of NNN GP Corp., a Delaware corporation, as general partner of National Retail Properties, LP, a Delaware limited partnership, on behalf of the partnership. He is personally known to me.

Ivette Cordero
Printed Name: Ivette Cordero
Commission #: _____
My commission expires: _____



Executive Vice President



May 28, 2021

June 7, 2021

Jeffrey Gilger
13375 National Rd
Reynoldsburg, OH 43068

RE: Project 455 Morrison Rd Final Development Plan Comment Letter

Dear Ms. Wicker:

Dear Jeffrey Gilger:

The following comments were generated from the review of the submitted plans and documents for the referenced project. For the next submittal, please provide a disposition of comments, revised plans, and/or other information as requested for further review. The disposition of comments needs to include both the original comment and the appropriate response. If desired, these comments can be emailed. Re-submitted plans that do not include the disposition of comments document will not be reviewed and will be returned to you.

I am responding to the comments in blue font herein – The disposition of comments.

Fire District

1. The fire division has no objection with the final development plan for Moo Moo Express Car Wash. There is adequate water supply for the development. A fire hydrant is located at the north access to the property and a second fire hydrant is located at the south access and Waterbury Court at the southeast corner of the Holiday Inn Express property.
The roadways are of sufficient width to allow for fire apparatus access to the car wash and service station.
2. The Fire division has no objection to Submittal 2 OF Design Review 21. The Fire division stance has not changed.
The plan showed the deletion of the oil change station For Moo Moo Express Car Wash.
There is no change in the water supply or Fire department access requirements. [Acknowledged.](#)

Engineering

3. This project will require a Final Engineering Plan submittal for review. An analysis of the stormwater management requirements will be conducted along with engineering plan.

[Acknowledged.](#)
4. The intersection of Morrison Road and Hamilton Road experiences congestion and vehicle queueing during peak hours. Please provide an estimate of peak hourly trip generation for this use, a more detailed analysis of traffic may be necessary.

Submission #2: Based on the applicants response that this car wash will process 100 cars per hour, the City will require a Traffic Impact Study. Please coordinate with the Engineering Division to define the scope of that study. [After Discussions with john Moorhead the following information was reiterated and attached striping plan showing modified striping is attached.](#)

We “can” process up to 100 cars per hour (this is not typical) - *According to ITE Trip Generation Manual 10th edition, the proposed Moo Moo Car Wash is expected to generate the following trip ends once constructed:*

Land Use 948- Automated Car Wash:

Weekday PM Peak Hour (Peak hour of adjacent street):

78 trip ends (39 enter and 39 exit)

Saturday Peak Hour (Peak Hour of Generator):

41 trip ends (19 enter and 22 exit)

Additionally we have reworked our striping plan and provided signage to assist with traffic way finding on busier days.

Development of this property will obstruct the common access drive joining Morrison and Waterbury. Multiple adjoining properties benefit from this access. The safe operation of Morrison Road also benefits from these property's having access to the traffic signal at Waterbury. Please revise the site plan to maintain this common drive.

After discussions with J.M. we have agreed to consider modification to the Morrison entrance, knowing this entrance is shared by Bob Evans & Firestone. MM's preference would be R & L in and Right only out.

Community Development

5. Please revise the "site development plan" to show the setbacks for the commercial drive next to Bob Evans. Chapter 1153.03 requires a 10' setback or a variance.

5/21/21 - Dimensions are not depicted on the site plan.

Dimensions have been added to the site plan and paving limits have not been changed from original pavement limits.

6. The site data table needs to include additional information such as parking counts, impervious surface, lot coverage, building heights, etc. Please revise accordingly.

5/21/21 - Missing information includes size of building. Parking counts are based on the larger of the number of bays or the size of the building. Parking based on building size is one space per 100 square feet. Please adjust accordingly.

The updated site data table has been included on revised site plan. (attached)

7. Parking spaces are 5.4' from the west property line. A minimum of 10' is required. Please revise accordingly or request a variance.

5/21/21 - Chapter 1167.15(c) allows for a reduced setback when the adjoining properties have a reduced setback. The proposed parking area along the west property line is consistent with the adjacent properties and therefore does not require a variance. [Acknowledged.](#)

Building

8. The buildings and site will be required to comply with the Ohio Building Code. Review for compliance will be performed once construction documents are submitted with a building permit application for plan review. [Noted. Building will comply with OBC.](#)

Parks

9. I see that burning bush has been removed from the species list as requested in my comments. In the planting specs for trees, it says the rootball should be slightly higher than ground level. That should be changed to root flare even with finish grade or ground level.
[Landscape plan has been updated to include more detailed planting diagrams showing root flare even with ground level.](#)

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker
Administrative Assistant

STAFF REPORT

Request Summary

Request for Final Development Plan (FDP), Design Review (DR), and Conditional Use (CU) approval to allow for the development of a Moo Moo Express Car Wash. The proposal is to redevelop the property located at 455 Morrison Rd. The site was previously home to Big Boy Restaurant. The zoning of the site is Planned Unit Development (PUD). PUD is a unique zoning category in that it does not have a list of allowable uses, specific setbacks, or other standards. It instead refers to the standards of “General Commercial Districts”. This means that this request, and other commercial requests within the PUD zoning, must adhere to the uses, setbacks, and other standards of General Commercial Districts.

A car wash is not allowed by right but is permissible with a conditional use. The subject property is in close proximity to other auto uses such as Firestone. In fact, Firestone and other businesses use portions of the subject property for access to Morrison Rd.

A similar request was filed in 2018 except the property was located on Granville St where the Golden Touch Car Wash is located. One of the major differences between the Granville St location and Morrison Rd location is property size. The Morrison Rd property is approximately three times larger than the Granville St property. The additional acreage should help mitigate previously expressed concerns about traffic queuing. The 2018 request was ultimately withdrawn after the property owner backed out of the deal.

Final Development Plan

Planning Commission shall approve an FDP application if the following four conditions are met:

- A. The proposed development meets the applicable development standards of this Zoning Ordinance.
- B. The proposed development is in accord with appropriate plans for the area.
- C. The proposed development would not have undesirable effects on the surrounding area.
- D. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

Design Review

General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect and enhance the physical surroundings of the Design Review District.

Conditional Use

Requests for a conditional use shall be approved if the following four conditions are met:

1. The proposed use is a conditional use of the zoning district and the applicable development standards established in this zoning ordinance are met.
2. The proposed development is in accord with the appropriate plans for the area.
3. The proposed development will not have undesirable effects on the surrounding area.
4. The proposed development will be in keeping with the existing land use character and physical development potential of the area.

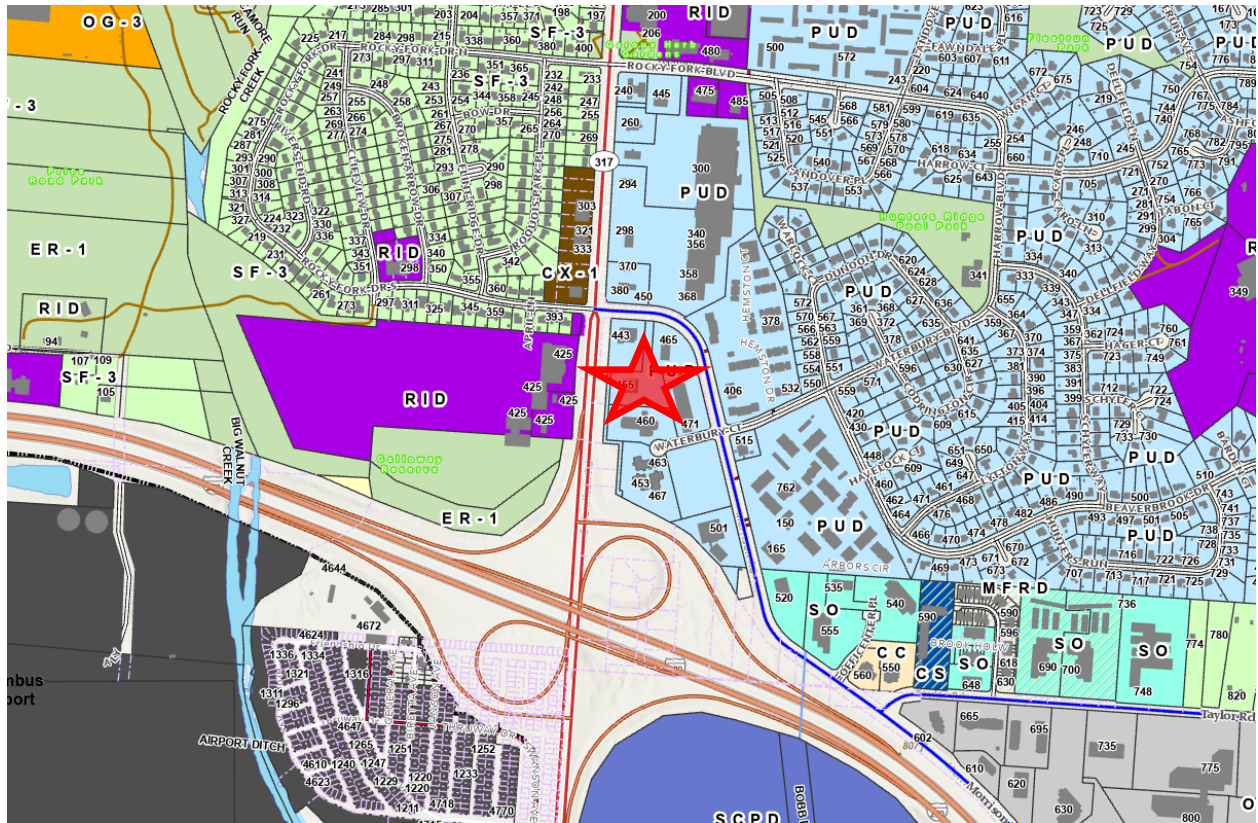
Recommendation

The property is located within the Mixed Use Future Land Use. Mixed Use recommends a variety of commercial uses but doesn't recommend specific uses other than restaurants. It does recommend that buildings are oriented to the street with parking to the side and rear. The majority of parking is located to the sides of the building. Parking oriented towards Hamilton Rd is existing.

The property is also located within the Central Corridors Focus Area in the land use plan. The vision of the Central Corridor is to have a mix of uses that create vibrant districts, have a diverse mix of uses, walkability and a defined street scape. Zoning code changes are also a recommendation of the plan to allow for more mixed use and housing opportunities. The zoning code rewrite will endeavor to accomplish these goals. It is anticipated that new design guidelines will be created as well as refining where and what uses are permissible in the corridor. With emphasis on office, housing, and restaurants while limiting more intense uses such as auto repair and similar uses.

No variances are necessary to approve the project as presented. There were comments from the City Engineer related to access and queuing along the access drive from Morrison Rd to the site. Those concerns have been addressed by modifications to the FDP. Further analysis will occur at time of Engineering plan submittal and the applicant has agreed to adhere to any recommendations that result from those reviews. There are no unresolved staff comments. Staff recommends approval based on consistency with the zoning code and land use plan.

Location/Zoning Map



Respectfully Submitted By:
Michael Blackford, AICP
Director of Planning