

**DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY INFORMATION		
Project/Property Address: <b>789 Science Blvd, Gahanna, Ohio 43230</b>		Project Name/Business Name: <b>Golf Depot Expansion: Parking Lot &amp; New Building</b>
Parcel #: <b>025-013666</b> <b>025-013637; 025-013667</b>	Zoning: <i>(see Map)</i> <b>OCT-L KAW</b> <b>11-7-22</b>	Acreage: <b>73 acres approx.</b>

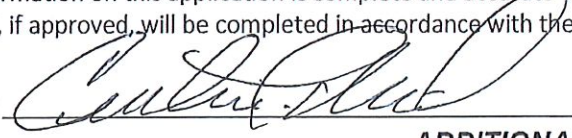
PLAN SPECIFICATIONS	
Application Type: <i>(check all that apply)</i>	<input checked="" type="checkbox"/> Site Plan <input checked="" type="checkbox"/> Landscaping <input checked="" type="checkbox"/> Building Design <input type="checkbox"/> Demolition <i>Olde Gahanna only</i> <input type="checkbox"/> Other
Project Description: <b>Expanded parking; new amenities; new golf related building</b>	

APPLICANT INFORMATION	
Applicant Name <i>(Primary Contact):</i> <b>Curtiss L. Williams, Sr.</b>	Applicant Address: <b>845 Parsons Avenue, Columbus, Ohio 43206</b>
Applicant E-mail: <b>cwilliams@cocic.org</b>	Applicant Phone: <b>614-554-6179 (Cell)</b>
Business Name <i>(if applicable):</i> <b>Central Ohio Community Improvement Corporation (COCIC)</b>	

ADDITIONAL CONTACTS	
*Please list all applicable contacts for correspondence*	
Name(s)	Contact Information (phone/email)
<b>Contractor: Verdantas; Eric Koch</b> <b>Developer: COCIC; Jake Hiestand</b> <b>Developer: COCIC; Hope Paxson</b> <b>Architect: Kay Onwukwe</b>	<b>419-341-2625 (CELL), ekoch@verdantas.com</b> <b>419-680-2357 (CELL), jhiestand@cocic.org</b> <b>614-724-4939 (OFFICE), hpaxson@cocic.org</b> <b>614-332-7754 (CELL), kayonwukwe55@gmail.com</b>
Property Owner Name: <i>(if different from Applicant)</i> <b>Central Ohio Community Improvement Corporation</b>	Property Owner Contact Information (phone no./email): <b>Curtiss Williams, Sr., 614-554-6179, cwilliams@cocic.org</b>

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature:  Date: **11/2/22**

**ADDITIONAL INFORMATION ON NEXT PAGE....**

INTERNAL USE

Zoning File No. **DR-0443-2022**

RECEIVED: **KAW**  
DATE: **11-7-22**

PAID: **200.00**  
DATE: **11-7-22**

Updated Jan 2022

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS - SUBMISSION REQUIREMENTS

TO BE COMPLETED/SUBMITTED BY APPLICANT:	
1.	Review Gahanna Code Section 1197 ( <i>visit <a href="http://www.municode.com">www.municode.com</a></i> )
2.	Materials List ( <i>see page 3</i> ) – <i>does not apply to demolition applicants</i>
3.	Authorization Consent Form Complete & Notarized ( <i>see page 4</i> )
4.	Application & all supporting documents submitted in digital format
5.	Application & all supporting documents submitted in hardcopy format
6.	Application fee paid ( <i>in accordance with the <a href="#">Building &amp; Zoning Fee Schedule</a></i> )
7.	Color rendering(s) of the project in plan/perspective/or elevation
8.	One (1) copy 24"x36" or 11"x17" prints of the plans
<b>Building Construction, Exterior Remodeling, and Additions (Including Parking Lots and Landscaping)</b>	
1.	<b>SITE PLAN</b> that includes the following: ( <i>include: scale, north arrow, &amp; address</i> ) if applicable
-	All property & street pavement lines
-	Property size
-	Proposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent streets
-	Location of all existing and proposed buildings on the site
-	Location of all existing & proposed exterior lighting standards
-	Breakdown of parking spaces required & spaces provided ( <i>see Gahanna Code Section 1163</i> )
-	Provide lot coverage breakdown of building & paved surface areas
2.	<b>LANDSCAPE PLAN</b> (including plant list)
-	Existing landscaping that will be retained & proposed landscaping shall be differentiated & shown on the plan. The type, size, number, & spacing of all plantings & other landscape features must be illustrated
-	Designation of required buffer screens (if any)
-	Interior landscaping breakdown for paved surface ( <i>see Gahanna Code Section 1163</i> )
3.	<b>ELEVATIONS</b> from all sides
-	Fenestration, doorways, & all other projecting & receding elements of the building exterior
4.	<b>LIGHTING STANDARD DRAWING</b> that includes the following: (exterior only)
-	All sizing specifications
-	Information on lighting intensity ( <i>no. of watts, iso foot candle diagram</i> )
-	Materials, colors, & manufacturer's cut sheet
5.	<b>OPTIONAL REQUIREMENTS AT THE DISCRETION OF PLANNING COMMISSION:</b>
-	Scale model
-	Section profiles
-	Perspective drawing
<b>Demolition or Removal of Existing Structures Requirements</b>	
1.	ONE OR MORE OF THE FOLLOWING CONDITIONS MUST EXIST:
-	That the building contains no features of special architecture or is not a historical building or culturally significant or is not consistent in design & style with other structures within the district
-	That there exists no viable economic use for the building in its current state or as it might be restored or that there is not a feasible and prudent alternative to demolition and that the approval of the demolition is necessary for the preservation and enjoyment of substantial property rights
-	That the applicant has a definite plan for redevelopment of the site which meets the standards of this Code and the proposed redevelopment will not materially affect adversely the health or safety of persons residing or working in the district where the demolition will occur and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood



DEPARTMENT OF PLANNING

### AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

PROPERTY OWNER

#### IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

CURTIS L. WILLIAMS

(property owner name printed)

[Signature]

(property owner signature)

11/2/22  
(date)

Subscribed and sworn to before me on this 2<sup>nd</sup> day of November, 2022.

State of Ohio County of Franklin

Notary Public Signature: Jacob Hiestand



JACOB JOSEPH HIESTAND  
Notary Public  
State of Ohio  
My Comm. Expires  
July 25, 2026

Applicant/Property Owner/Representative

**AGREEMENT TO COMPLY AS APPROVED** As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

**AUTHORIZATION TO VISIT THE PROPERTY** I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described.

**APPLICATION SUBMISSION CERTIFICATION** I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

Hope Paxson

(applicant/representative/property owner name printed)

Hope Paxson

(applicant/representative/property owner signature)

11.2.2022

(date)

Subscribed and sworn to before me on this 2<sup>nd</sup> day of November, 2022.

State of Ohio County of Franklin

Notary Public Signature: Jacob Hiestand



JACOB JOSEPH HIESTAND  
Notary Public  
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## MATERIAL LIST

*NOT REQUIRED FOR DEMOLITION APPLICANTS*

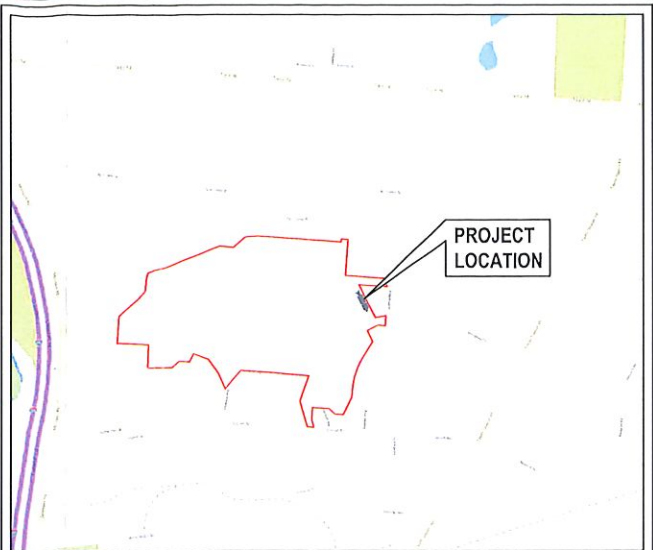
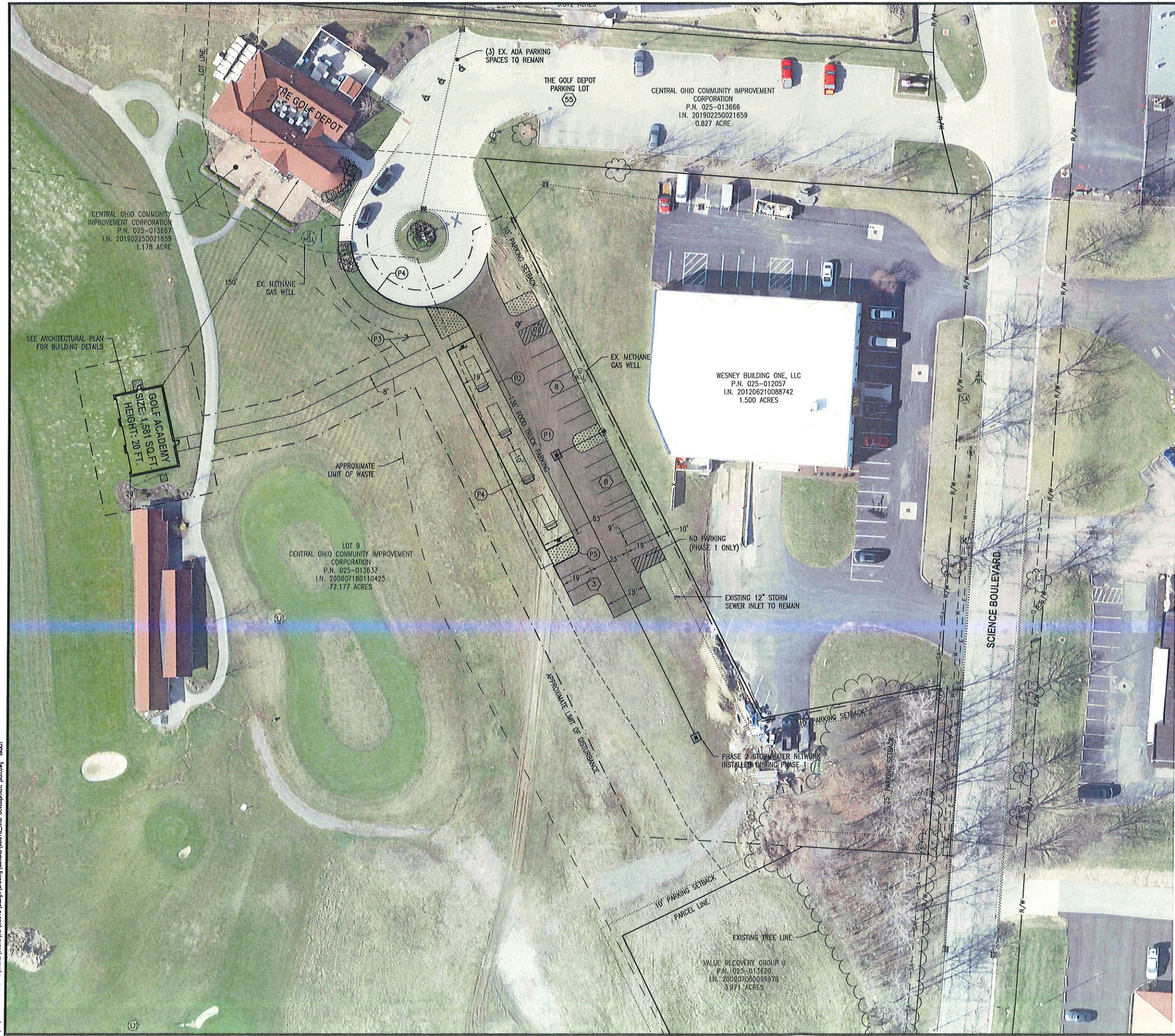
Item	Manufacturer Name	Color Name	Color Number
Awnings			
Brick			
Gutters and Downspouts			
Lighting			
Roofing	MS Colorfast 45	RED	24
Siding	MS Colorfast 45	POLAR WHITE	80
Signs			
Stucco			
Trim			
Windows			

**THIS FORM IS AVAILABLE TO BE SUBMITTED ONLINE: [www.gahanna.gov](http://www.gahanna.gov)**

### PLEASE NOTE:

- The Public Hearing will not occur until the City of Gahanna reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.
- The application expires if no action is taken 6 months from the date of the last staff comment letter.

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**LOCATION MAP**  
NOT TO SCALE

**SITE INFORMATION:**

**PROPERTY OWNER:** CENTRAL OHIO COMMUNITY IMPROVEMENT CORPORATION  
845 PARSONS AVE  
COLUMBUS, OHIO 43206

**APPLICANT:** CENTRAL OHIO COMMUNITY IMPROVEMENT CORPORATION  
845 PARSONS AVE  
COLUMBUS, OHIO 43206

**ENGINEER & SURVEYOR:** HULL & ASSOCIATES, LLC  
6397 EMERALD PARKWAY, SUITE 200  
DUBLIN, OHIO 43016

**EXISTING SITE ACREAGE:** 74.18 ACRES  
**PROPOSED SITE ACREAGE:** 1.38± ACRES

**ZONING:** OFFICE, COMMERCE AND TECHNOLOGY DISTRICT (OCT)

**PROPOSED USE:** FOOD SERVICES, RECREATION

**PARKING SPACES:** DRIVING RANGE: 48 TEES, 2 EMPLOYEES = 50 REQUIRED SPACES  
CARRYOUT/DELIVERY, GOLF DEPOT: 4,698 SQ.FT. = 19 REQUIRED SPACES  
CARRYOUT/DELIVERY, FOOD TRUCKS: 616 SQ.FT. = 3 REQUIRED SPACES  
TOTAL REQUIRED PARKING: 72

PROVIDED: 19 PROPOSED, 74 TOTAL  
PROPOSED ADA PARKING SPACES REQUIRED: 3  
PROPOSED ADA PARKING SPACES PROVIDED: 4 (1 PROPOSED, 3 EXISTING)

**LOT COVERAGE:**

LOT AREA	74.18 AC
EX. IMPERVIOUS - BUILDING	0.26 AC
EX. IMPERVIOUS - PARKING/WALK	0.95 AC
EX. AREA UNCOVERED	72.97 AC
PR. IMPERVIOUS - BUILDING	0.04 AC
PR. IMPERVIOUS - PARKING/WALK	0.35 AC
TOTAL IMPERVIOUS - BUILDING	0.30 AC
TOTAL IMPERVIOUS - PARKING/WALK	1.30 AC
TOTAL AREA UNCOVERED	72.59 AC

**LEGEND**

- STANDARD DUTY ASPHALT PAVEMENT (P1)
- CONCRETE PAVEMENT (P2)
- CONCRETE SIDEWALK (P3)
- COMBINED CONCRETE CURB & SIDEWALK (P4)
- STRAIGHT 18" CURB (P5)
- HANDICAP PARKING STRIPING (P6)
- PARKING COUNT
- LANDSCAPING (SEE LANDSCAPE PLAN)
- FOOD TRUCK (21.5' x 7')
- ELECTRIC/WATER PEDESTAL & BOLLARD

**STORMWATER MANAGEMENT NOTE:**  
PERMANENT STORMWATER MANAGEMENT FOR WATER QUALITY AND QUANTITY CONTROL WILL BE ACCOMMODATED BY A REGIONAL RETENTION BASIN LOCATED NORTH OF THE PROPERTY.

HORIZONTAL SCALE  
IN FEET

0 30 60

REV. BY	DATE	PLAN ISSUE/REVISION	NO.
EJK	05/07/21	ADDRESS CITY COMMENTS	1
EJK	06/16/21	ADDRESS CITY COMMENTS	2

REV. BY	DATE	PLAN ISSUE/REVISION	NO.
EJK	05/07/21	ADDRESS CITY COMMENTS	1
MJB	06/16/21	ADDRESS CITY COMMENTS	2

Hull & Associates, LLC  
6397 Emerald Parkway  
Dublin, OH 43016  
Tel: (614) 750-8070  
Fax: (614) 750-8070  
www.hullinc.com

HULL

Environment / Energy / Infrastructure

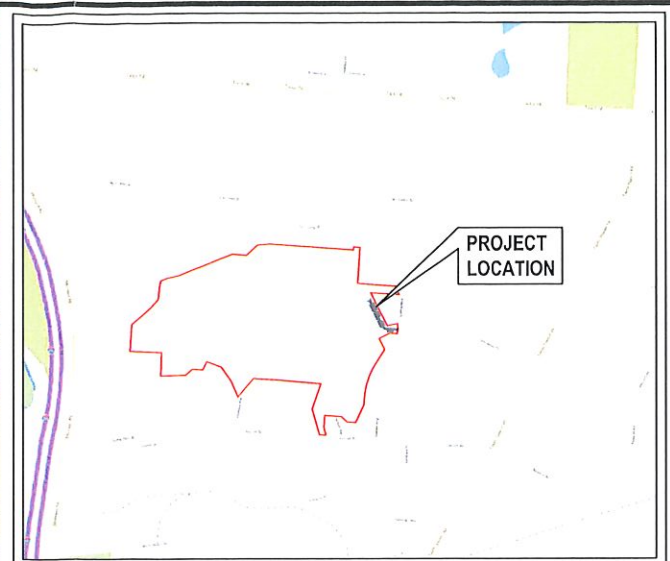
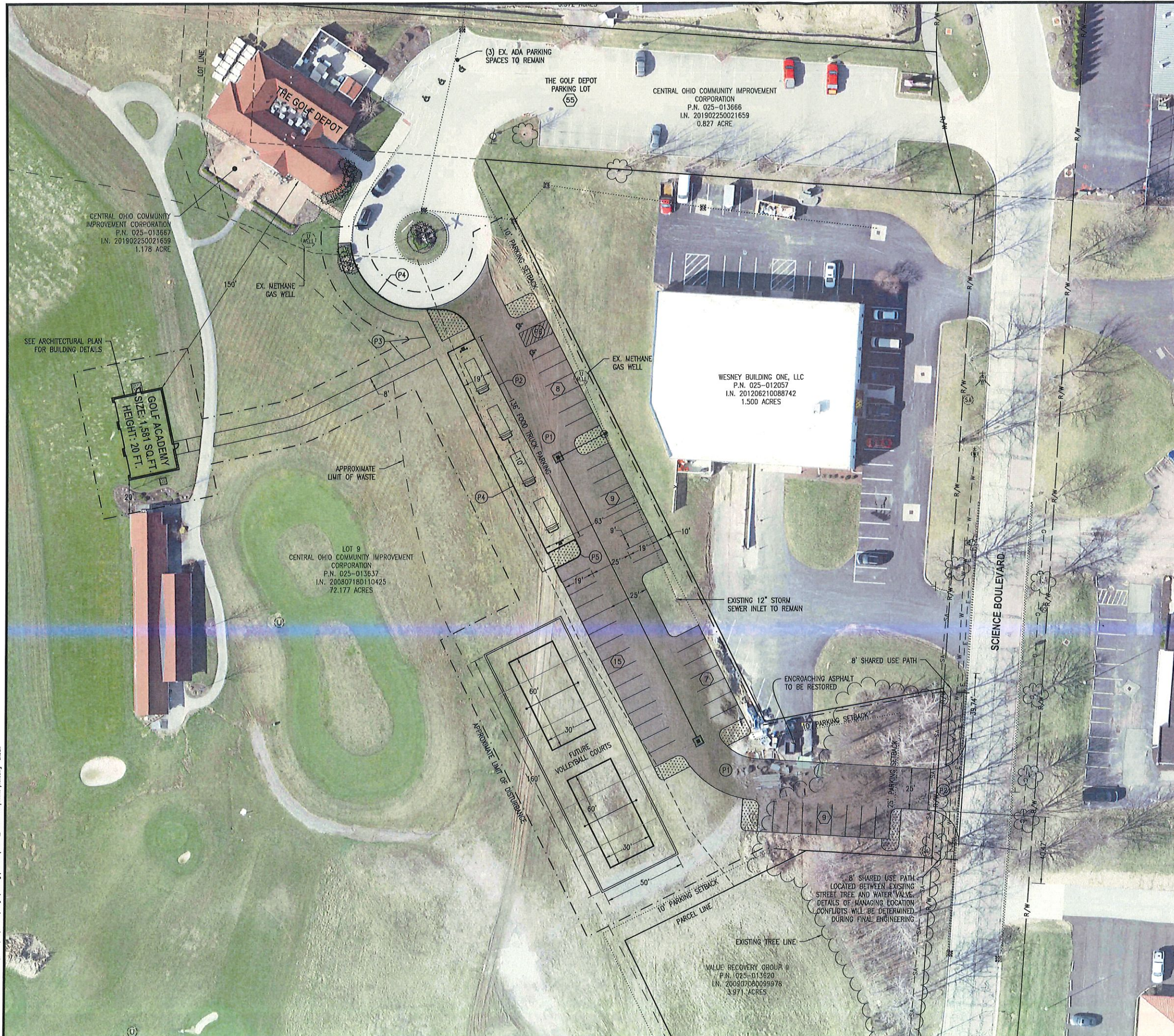
THE GOLF DEPOT  
FOOD TRUCK VENUE

PHASE 1 - FINAL DEVELOPMENT PLAN

JOB NUMBER:  
**OC1018**

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PROVIDED: 48 PROPOSED, 103 TOTAL  
PROPOSED ADA PARKING SPACES REQUIRED: 5  
PROPOSED ADA PARKING SPACES PROVIDED: 5 (2 PROPOSED, 3 EXISTING)

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PR. IMPERVIOUS - BUILDING	0.04 AC
PR. IMPERVIOUS - PARKING/WALK	0.62 AC
TOTAL IMPERVIOUS - BUILDING	0.30 AC
TOTAL IMPERVIOUS - PARKING/WALK	1.57 AC
TOTAL AREA UNCOVERED	72.31 AC

**LEGEND**

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HORIZONTAL SCALE  
IN FEET

NO.	REV. BY	DATE	PLAN ISSUE/REVISION
1	EJK	05/07/21	ADDRESS CITY COMMENTS
2	EJK	06/16/21	ADDRESS CITY COMMENTS
			DATE
			06/16/2021

Environment / Energy / Infrastructure

**THE GOLF DEPOT  
FOOD TRUCK VENUE  
PHASE 2 - FINAL DEVELOPMENT PLAN**

JOB NUMBER: <b>OCI018</b>	<b>C2.0</b>
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# HAMMOND GOLF TRAINING ACADEMY

789 SCIENCE BLVD  
GAHANNA, OHIO 43230

PREPARED FOR:

## COCIC - FRANKLIN COUNTY LAND BANK

THE LAND BANK CENTER  
845 PARSONS AVE  
COLUMBUS, OHIO 43206  
CURTISS L. WILLIAMS Sr.  
PRESIDENT | CEO

PREPARED BY:

DESIGN ARCHITECT AND ARCHITECT OF RECORD

### KAY ONWUKWE

ARCHITECT NO. 10456

MECHANICAL | ELECTRICAL | PLUMBING CONSULTANT  
KRAMER ENGINEERS

394 OAK STREET  
COLUMBUS, OHIO 43215  
P. 614.233.6911 F. 614.233.6914  
kramerengineers.com

CIVIL | STRUCTURAL CONSULTANT  
HULL & ASSOCIATES INC  
6397 EMERALD PARKWAY, SUITE 200  
DUBLIN, OHIO 43016  
P. 614.362.6964  
Email.com

COST ESTIMATING CONSULTANT  
VELOCITY CONSTRUCTION  
399 VENTURE DRIVE STE - E  
LEWIS CENTER, OHIO 43035  
P. 614.783.1059  
shaun@velocityconstcorp.com

PRE-ENGINEERED METAL BUILDING SUPPLIER  
TALMAC CONSTRUCTION LTD  
P. O. BOX 100  
DOVER, OHIO 44622  
P. 330.401.7295  
daria@talmacconstruction.com

LOCATION MAP



VICINITY MAP



DESIGN DEVELOPMENT 100% SUBMISSION

05 / 19 / 2021





# CODE SUMMARY

**BUILDING INFORMATION**  
 PROJECT NAME: **GOLF TRAINING ACADEMY**  
 PROJECT OWNER: **COCCO - FRANKLIN COUNTY LAND BANK**  
 PROJECT ADDRESS: **704 SCIENCE BLVD SAHANNA, OHIO 45230**

**DESCRIPTION OF WORK**  
 THIS IS A PRE-ENGINEERED METAL BUILDING. IT IS A 16000 SQ FT BUILDING FOR GOLF TRAINING AND OTHER GOLF RELATED LESSONS. IT IS UTILITARIAN BUILDING DESIGNED TO BE IN CONTEXT WITH THE SITE.

**SITE INFORMATION**  
 SAHANNA  
 SITE AREA - WITHIN THE SAHANNA PARKING REQUIREMENT.

**BUILDING CODE**  
 OHIO BUILDING CODE 20

**A. USE & OCCUPANCY CLASSIFICATION CHAPTER 3**  
 SECTION 304.4 BUSINESS GROUP B 304.4 BUSINESS GROUP B

**B. GENERAL BUILDING HEIGHTS & AREAS CHAPTER 5**  
 TABLE 504.4 OCCUPANCY CLASSIFICATION TYPE OF CONSTRUCTION

OCCUPANCY CLASSIFICATION	TYPE OF CONSTRUCTION
B	V-B

ALLOWABLE BUILDING AREA: 9,000 SQ.FT  
 ACTUAL BUILDING AREA: 1501 SQ.FT

**C. TYPE OF CONSTRUCTION CHAPTER 6**  
 TABLE 601 FIRE RESISTANCE RATING BUILDING ELEMENT TYPE V-B

BUILDING ELEMENT	TYPE V-B
PRIMARY STRUCTURE	0
BEARING WALLS	0
EXTERIOR NON-BEARING WALLS	0
INTERIOR	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0

TABLE 602 FIRE RESISTANCE REQUIREMENTS FOR EXTERIOR WALLS  
 FIRE SEPARATION DISTANCE TYPE OF CONSTRUCTION OCCUPANCY  
 10' x 150' V-B 0

**FIRE PROTECTION SYSTEMS CHAPTER 9**  
 SECTION 906.1 PORTABLE FIRE EXTINGUISHERS 2 PROVIDED - SEE FLOOR PLAN.

TABLE 1004.1.1 MINIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

USE	ALLOWANCE
OFFICE/RECEIVING	5
CLUB FILLING BAY	5
TEACHING BAY #1	5
TEACHING BAY #2	5
PUTTING STUDIO	5
TOTAL	15

**MEANS OF EGRESS CHAPTER 10**  
 TABLE 1004.1.2 OCCUPANT LOAD FACTOR BUSINESS AREAS 100 GROSS

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR
EDUCATIONAL	50 NET
SHOPS AND OTHER VOCATIONAL ROOM AREAS	50 NET

NUMBER OF EXITS AND EXIT ACCESS DOORWAYS: 2  
 TABLE 1006.2.1 SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY. OCCUPANT MAXIMUM OCCUPANT MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE LOAD OF SPACE WITH OUT SPRINKLER SYSTEM

SPACE	MAXIMUM OCCUPANT	MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE
B	15	-

TABLE 1006.3.1 MINIMUM NUMBER OF EXITS OR ACCESS TO EXITS PER STORY  
 OCCUPANCY LOAD PER STORY MINIMUM NUMBER OF EXITS OR ACCESS TO EXITS FROM STORY NUMBER OF EXITS PROVIDED

OCCUPANCY LOAD PER STORY	MINIMUM NUMBER OF EXITS OR ACCESS TO EXITS FROM STORY	NUMBER OF EXITS PROVIDED
1-500	2	2

**ACCESSIBILITY CHAPTER**  
 SECTION 1104.1 SITE ARRIVAL POINTS  
 SECTION 1105.1 PUBLIC ENTRANCE  
 SECTION 1104.5 DRINKING FOUNTAIN (DUAL UNIT)

# ABBREVIATIONS

ABV	above	R/W	row	CR	chromium (plated)
ADP	above finished floor	HVL	hatched	CIR	circle
ADU	above unoccupied ceiling	HIT	hatched	CMC	conduit/cable
ACTL	access floor	HLK	hatched	CLM	clearance
AP	access panel	HKL	hatched	CLD	closure
AC	accessory	ID	inside	CLN	column
ACT	accessory table	IW	inside wall	CONC	concrete
AND	and/or	HOI	hazardous	CNC	concrete masonry unit
AIR	airline	DRS	door	CNVY	conveyance
AIR	airline	DRG	door	CNFI	conduit, finished
AGG	aggregate	HLDG	holding	CFMR	conformal film
AST	as shown	HLS	hatched	CLL	concrete floor tile
ALT	alternating	HLD	holding		
ALUM	aluminum	CAD	cabinet		
ANF	anchor, anchorage	CPJ	copied		
AD	above	CMT	concrete		
ANGD	angled	CT	cable		
APPHN	apprehension	CPC	concrete pipe connector		
APRM	appliance	CST	cable		
AD	above	CU	cable		
ANSI	ANSI	CA	cable		
ACTO	automatic	CU	cable		
HP	hull	CA	cable		
BNMT	beam	CA	cable		
HP	hull	CA	cable		
HPD	hull	CA	cable		
HT	hull	CA	cable		
DN	down	CA	cable		
DL	down	CA	cable		

# GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE LATEST EDITIONS OF THE CONSTRUCTION BUILDING CODE, THE NATIONAL ELECTRICAL CODE, THE NATIONAL PLUMBING CODE, AND ALL OTHER NATIONAL, STATE AND LOCAL CODES. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MEASUREMENTS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE MEASUREMENTS AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT.
2. THE CONTRACTOR SHALL BE FAMILIAR WITH THE ENTIRE SCOPE OF THE PROJECT AND SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THAT OF THE OTHER CONTRACTORS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES IN THE VICINITY OF THE PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES AT LEAST 7 DAYS BEFORE ANY EXCAVATION OR UNDERGROUND WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THESE PERMITS ARE NOT TO BE CONSIDERED AS PART OF THE CONTRACT.
5. ALL MEASUREMENTS AND EXCAVATION WORK IS TO BE PERFORMED WITHOUT CAUSING DAMAGE TO ADJACENT PROPERTY OR UTILITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THESE PERMITS ARE NOT TO BE CONSIDERED AS PART OF THE CONTRACT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THESE PERMITS ARE NOT TO BE CONSIDERED AS PART OF THE CONTRACT.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THESE PERMITS ARE NOT TO BE CONSIDERED AS PART OF THE CONTRACT.
11. WHEN AN EXISTING UTILITY SURVEY IS UNAVAILABLE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A SURVEY FROM THE UTILITY COMPANY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THESE PERMITS ARE NOT TO BE CONSIDERED AS PART OF THE CONTRACT.
13. REFER TO ELECTRICAL, HVAC, AND MECHANICAL DRAWINGS FOR ADDITIONAL ASSOCIATED PERMITS AND EXCAVATION WORK. THESE GENERAL NOTES SHALL APPLY TO THE WORK OF ALL GENERAL CONTRACTORS AS MAY BE PERTINENT.
14. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, INDUSTRY STANDARDS, AND ALL REQUIREMENTS FOR THE TYPE OF WORK TO BE PERFORMED. COORDINATE ALL WORK WITH ALL PARTIES THAT MAY BE AFFECTED BY IT.

# LIFE SAFETY PLAN



**OCCUPANT LOAD CALCULATIONS PER OBC TABLE 1004.1.1 AND PROGRAMMED OCCUPANT LOAD**

RM. NUMBER	ROOM NAME	ACTUAL SQ. FT.	CODE REQUIRED OCC. LOAD	ACTUAL OCC. LOAD	REMARKS
100	GREETING	157			
101	R-ROOM	75			
102	TEACHING BAY #2	272			
102A	TEACHING BAY #1	272			
102B	CLUB FITTING BAY	300			
103	PUTTING STUDIO	174			
103A	STORE	27			
103B	MECH	36			

**PROJECTIONS**

- PLANNING
- PROGRAMMING
- PRELIMINARY DESIGN
- DESIGN DEVELOPMENT
- CONSTRUCTION DOCUMENTS
- PERMITS
- CONSTRUCTION
- POST-CONSTRUCTION

PREPARED BY: [Signature]

DATE: 05/19/2021

**CODED NOTES**

1. PBR metal by PEMB.
2. 1" insulated glass in aluminum frame window by PEMB.
3. Insulated overhead garage door with vision glass by PEMB.
4. Eggsum wallboard wall.
5. Fabric curtain hang from structure above.
6. Hollow metal door with door stop.
7. Concrete stoop.
8. Concrete equipment pad - see civil engineering drawings.
9. Polish concrete floor.
10. Vinyl composite tile (VCT).
11. Water closet.
12. Lavatory.
13. Mirror (2'-6"x4'-0").
14. Soap dispenser.
15. Electric hand dryer.
16. Waste.
17. Grab bar.
18. Toilet paper holder.
19. Paper towel dispenser.
20. Metal siding.
21. Halopack light fixture - see electric drawings.
22. Downspout by PEMB.
23. 6" Aluminum divider by PEMB.
24. Metal roof by PEMB.
25. Handicap push button @ 2'-10".
26. Emergency exit sign.
27. Wall mounted fire extinguisher.
28. Hose bibb at 1st Floor.
29. Concrete splash block (12"x24")
30. Soffit @ 7'-2".
31. Snow reception guard.
32. Janitor's floor sink.
33. Floor drain - see plumbing engineering drawings.
34. Dual-unit drinking fountain - see plumbing drawings.
35. 4" vinyl base.
36. FRP panel.

**LEGEND**

PEMB - Pre-Engineered Metal Building Supplier

**GENERAL NOTES**

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**PROJECT NAME**  
 HARMON HUBBLE TRAINING ALUMNEY  
 HARMON HUBBLE

**OWNER**  
 CIVIL - FRANKLIN COUNTY LANDBANK  
 100 W. MAIN ST. SUITE 200  
 COLUMBUS, MISSOURI 64601  
 (503) 253-1111

**DESIGN ARCHITECT, ARCHITECT OF RECORD**  
 KAY GANZ & CO.  
 100 W. MAIN ST. SUITE 200  
 COLUMBUS, MISSOURI 64601  
 (503) 253-1111

**MECHANICAL (ELECTRICAL) PLUMBING**  
 GRAMM ENGINEERS  
 100 W. MAIN ST. SUITE 200  
 COLUMBUS, MISSOURI 64601  
 (503) 253-1111

**CIVIL/STRUCTURAL - CONSULTANTS**  
 HULL & ASSOCIATES INC.  
 100 W. MAIN ST. SUITE 200  
 COLUMBUS, MISSOURI 64601  
 (503) 253-1111

**COST ESTIMATING CONSULTANT**  
 VELOCITY CONSULTING  
 100 W. MAIN ST. SUITE 200  
 COLUMBUS, MISSOURI 64601  
 (503) 253-1111

**PRE-ENGINEERED METAL BUILDING SUPPLIER**  
 PALMAC CONSTRUCTION LTD.  
 100 W. MAIN ST. SUITE 200  
 COLUMBUS, MISSOURI 64601  
 (503) 253-1111

**INDICATORS**

PH	PA	CAD
XX	XX	XX

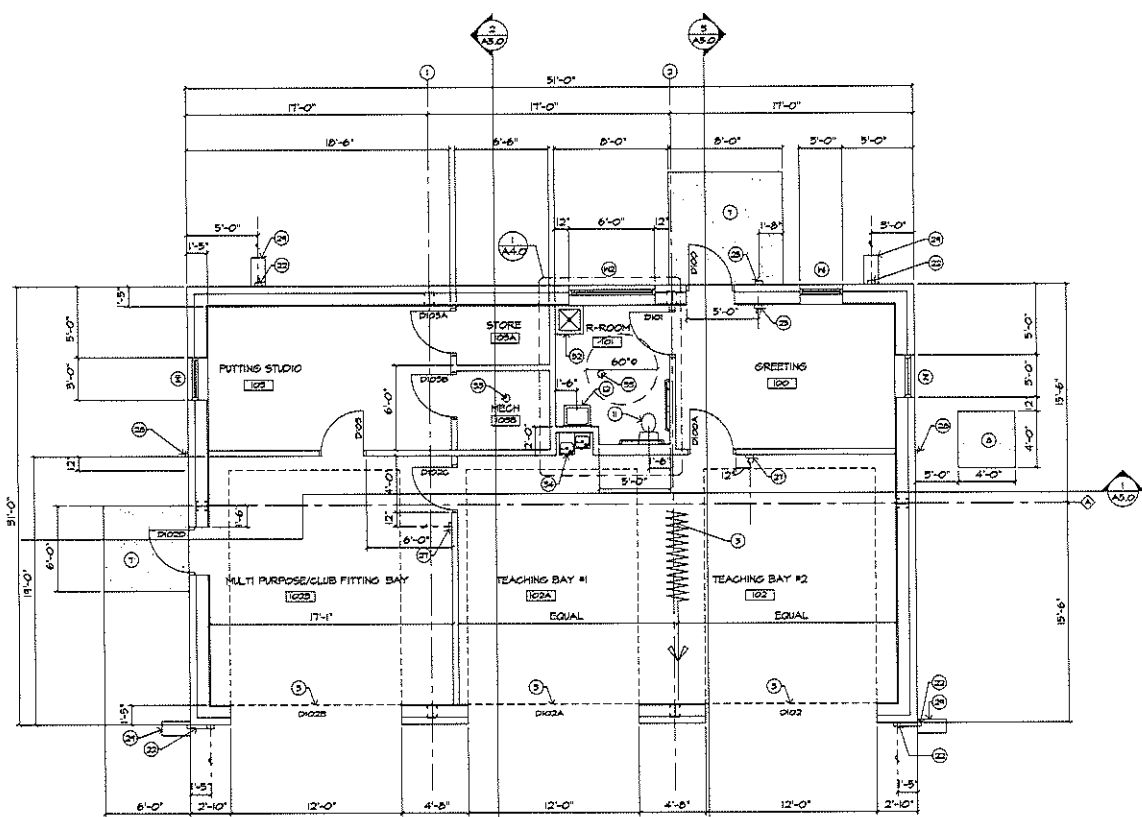
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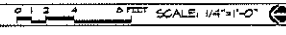
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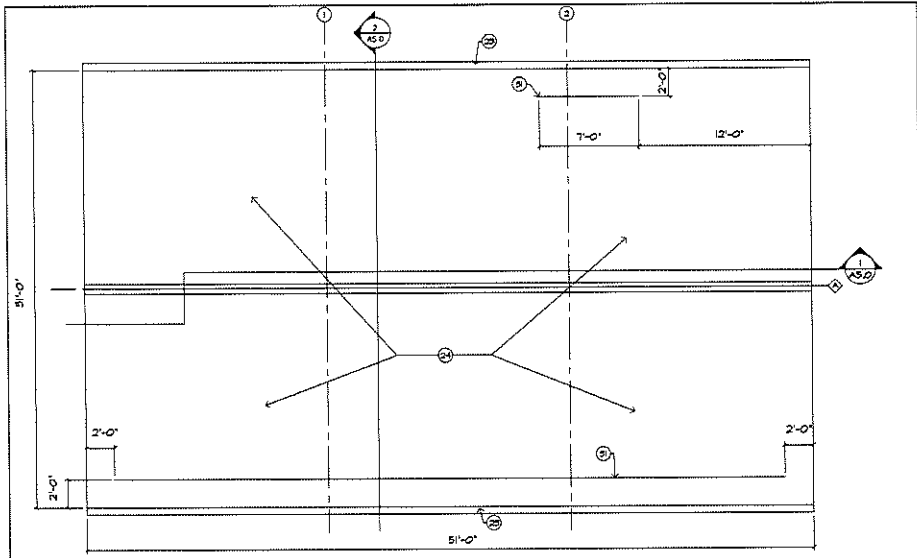
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 A1.0

**DATE**  
 05/19/2021



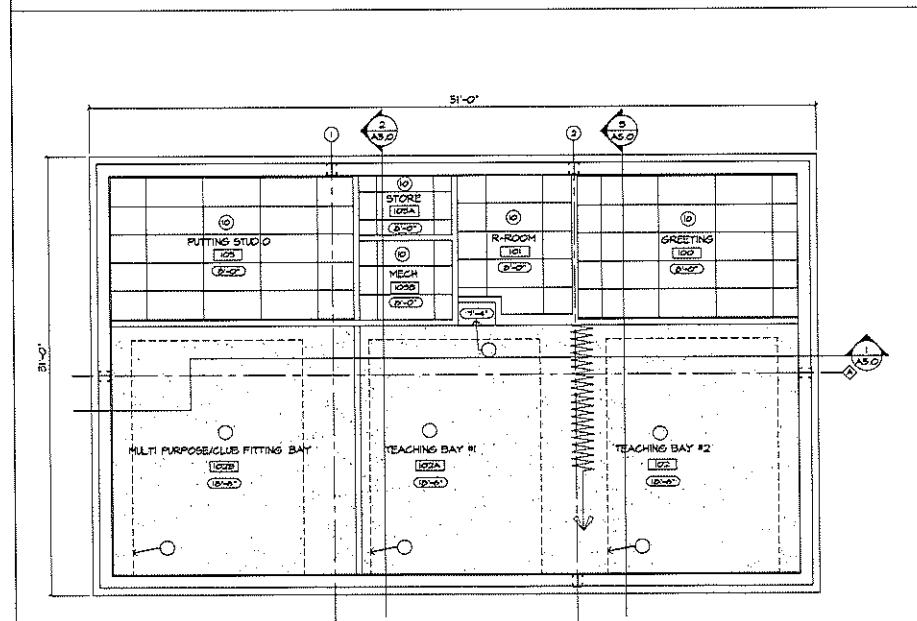
FLOOR PLAN





2 ROOF PLAN

0 1 2 4 8 FEET SCALE: 1/4"=1'-0"



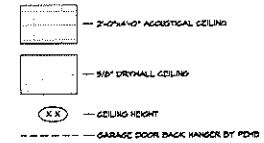
1 CEILING PLAN

0 1 2 4 8 FEET SCALE: 1/4"=1'-0"

**COVER NOTES**

1. FRP metal by PEMB.
2. 1" insulated glass in aluminum frame window by PEMB.
3. Insulated overhead garage door with vision glass by PEMB.
4. Gypsum wallboard wall.
5. Fabric curtain hung from structure above.
6. Hollow metal door with door stop.
7. Concrete stoop.
8. Concrete equipment pad - see civil engineering drawings.
9. Polish concrete floor.
10. Vinyl composite tile (VCT).
11. Water closet.
12. Lavatory.
13. Mirror (2'-6"x4'-0").
14. Soap dispenser.
15. Electric hand dryer.
16. Plastic.
17. Grab bar.
18. Toilet paper holder.
19. Paper towel dispenser.
20. Metal slings.
21. Halopack light fixture - see electric drawings.
22. Downspout by PEMB.
23. 6" Aluminum Gutter by PEMB.
24. Metal roof by PEMB.
25. Handicap push button @ 2'-10".
26. Emergency exit sign.
27. Wall mounted fire extinguisher.
28. Hose pipe at 7'-6" Finish Floor.
29. Concrete splash block (12"x24").
30. Soffit @ 7'-2".
31. Snow retention guard.
32. Janitor's floor sink.
33. Floor drain - see plumbing engineering drawings.
34. Dual-unit drinking fountain - see plumbing drawings.
35. 4" vinyl base.
36. FRP panel.

**CEILING LEGEND**



**GENERAL NOTES**

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**PROJECT NAME**  
 HANDED LEFT TRAINING CENTER

**OWNER**  
 CUCK - FRANKLIN COUNTY LAND BANK

**DESIGN ARCHITECT & ARCHITECT OF RECORD**  
 KAY ENGINEERING  
 1000 N. GULF BLVD. SUITE 100  
 JACKSON, MISSISSIPPI 39201  
 PHONE: 601.955.1234

**Mechanical/Electrical/Plumbing**  
 MECHANICAL/ELECTRICAL/PLUMBING  
 1000 N. GULF BLVD. SUITE 100  
 JACKSON, MISSISSIPPI 39201  
 PHONE: 601.955.1234

**Structural & Architectural**  
 STRUCTURAL & ARCHITECTURAL  
 1000 N. GULF BLVD. SUITE 100  
 JACKSON, MISSISSIPPI 39201  
 PHONE: 601.955.1234

**ESTIMATING CONSULTANT**  
 ESTIMATING CONSULTANT  
 1000 N. GULF BLVD. SUITE 100  
 JACKSON, MISSISSIPPI 39201  
 PHONE: 601.955.1234

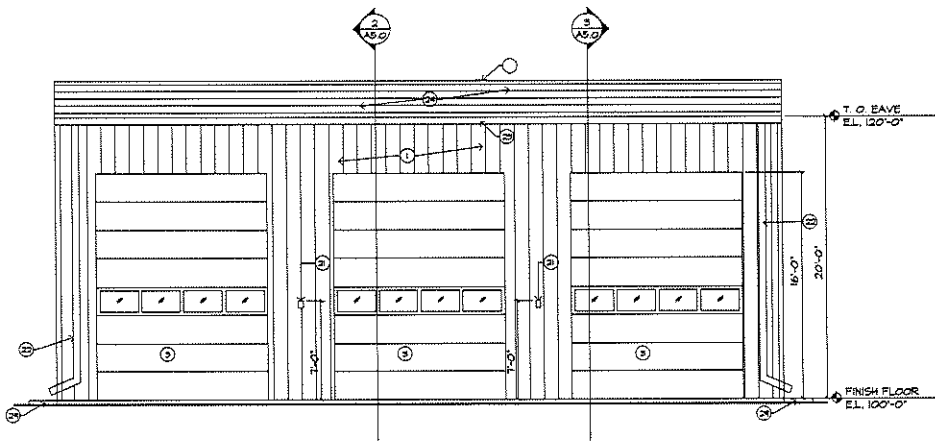
**PRE-ENGINEERED METAL BUILDING SUPPLIER**  
 PALMCO CONSTRUCTION LTD  
 1000 N. GULF BLVD. SUITE 100  
 JACKSON, MISSISSIPPI 39201  
 PHONE: 601.955.1234

**PROJECT STATUS**

PLANNING	XX	XX	XX
PROBLEMS	XX	XX	XX
CONSTRUCTION	XX	XX	XX
OPERATION	XX	XX	XX
MAINTENANCE	XX	XX	XX
REPAIRS	XX	XX	XX
RENOVATION	XX	XX	XX
DEMOLITION	XX	XX	XX

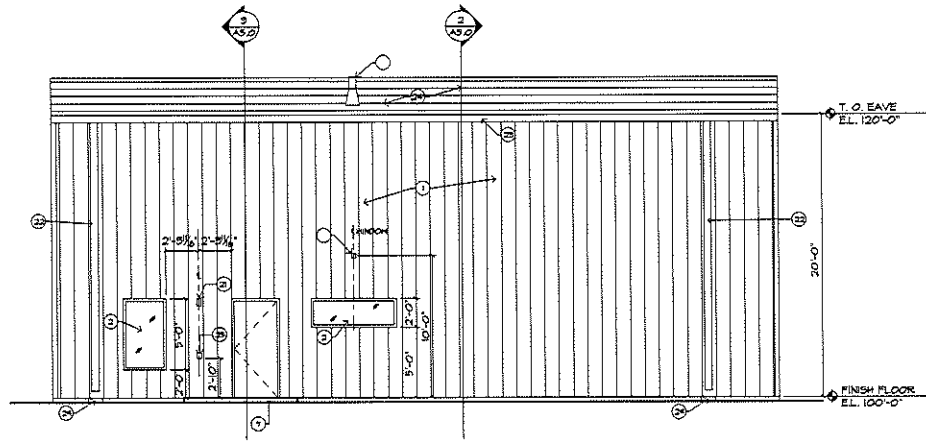
**PROJECT NUMBER**  
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**DATE**  
 05/19/2021



2 WEST ELEVATION

0 2 4 6 FEET SCALE: 1/4"=1'-0"



1 EAST ELEVATION

0 2 4 6 FEET SCALE: 1/4"=1'-0"

**COVERED NOTES**

1. PBR metal by PEMB.
2. 1" insulated glass in aluminum frame window by PEMB.
3. Insulated overhead garage door with vision glass by PEMB.
4. Gypsum wallboard wall.
5. Fabric curtain hung from structure above.
6. Hollow metal door with door stop.
7. Concrete stoop.
8. Concrete equipment pad - see civil engineering drawings.
9. Polish concrete floor.
10. Vinyl composite tile (VCT).
11. Water closet.
12. Lavatory.
13. Mirror (2'-6" x 4'-0").
14. Soap dispenser.
15. Electric hand dryer.
16. Plasto.
17. Grate bar.
18. Toilet paper holder.
19. Paper towel dispenser.
20. Metal sliding.
21. Hallpack light fixture - see electric drawings.
22. Downspout by PEMB.
23. 6" Aluminum gutter by PEMB.
24. Metal roof by PEMB.
25. Handicap push button @ 2'-10".
26. Emergency exit sign.
27. Wall mounted fire extinguisher.
28. Hose bibb on 1'-6" Finish Floor.
29. Concrete splash block (2' x 24").
30. Soffit @ 7'-2".
31. Snow retention guard.
32. Janitor's floor sink.
33. Floor drain - see plumbing engineering drawings.
34. Dual-unit drinking fountain - see plumbing drawings.
35. 4" vinyl base.
36. FRP panel.

**LEGEND**

PEMB - Pre-Engineered Metal Building Supplier

**GENERAL NOTES**

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**PROJECT NAME**  
 HAZARDOUS WASTE TRAINING ACADEMY  
 PROJECT NO. 100110

**OWNER**  
 CURE-FRANKLIN COUNTY, LANBANE  
 1000 W. WASHINGTON STREET  
 WASHINGTON, MO  
 64785-0001  
 660-339-2200

**DESIGN ARCHITECT & ARCHITECT OF RECORD**  
 SCAT CONSTRUCTION  
 1000 W. WASHINGTON STREET  
 WASHINGTON, MO  
 64785-0001  
 660-339-2200

**Mechanical, Electrical, Plumbing**  
 BREKNER ENGINEERS  
 1000 W. WASHINGTON STREET  
 WASHINGTON, MO  
 64785-0001  
 660-339-2200

**CIVIL STRUCTURAL & ARCHITECTS**  
 HILL & ASSOCIATES, INC.  
 1000 W. WASHINGTON STREET  
 WASHINGTON, MO  
 64785-0001  
 660-339-2200

**COST ESTIMATING CONSULTANT**  
 SELECTS CONSULTING  
 1000 W. WASHINGTON STREET  
 WASHINGTON, MO  
 64785-0001  
 660-339-2200

**PRE-ENGINEERED METAL BUILDING SUPPLIER**  
 PEMB CONSTRUCTION LTD.  
 P.O. BOX 300  
 WASHINGTON, MO  
 64785-0001  
 660-339-2200

**PROJECT STATUS**

PLANNING	PA	CD
PERMITTING	XX	XX
DESIGN DEVELOPMENT	XX	XX
CONSTRUCTION DOCUMENTS		
ISSUE FOR BIDDING		
RECORD DOCUMENTS		
NOT FOR CONSTRUCTION		

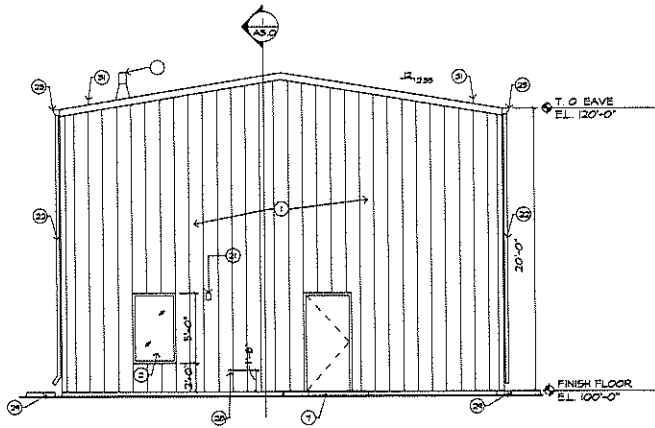
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**SHEET TITLE**  
 EXTERIOR ELEVATIONS

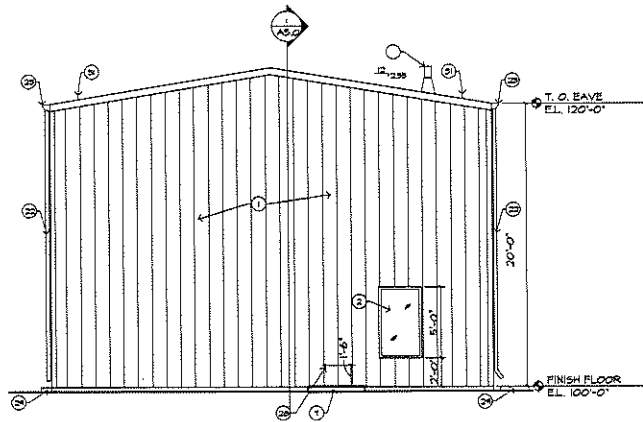
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 A3.0

**DATE** 05/19/2021



2 NORTH ELEVATION

0 1 2 4 8 FEET SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION

0 1 2 4 8 FEET SCALE: 1/4"=1'-0"

**CODED NOTES**

1. PDR metal by PEMB.
2. 1" Insulated glass in aluminum frame window by PEMB.
3. Insulated overhead garage door with vision glass by PEMB.
4. Gypsum wallboard wall.
5. Fabric curtain hung from structure above.
6. Hollow metal door with door stop.
7. Concrete sleep.
8. Concrete equipment pad - see civil engineering drawings.
9. Polish concrete floor.
10. Vinyl composite tile (VCT).
11. Water closet.
12. Lavatory.
13. Mirror (2'-6"x4'-0").
14. Soap dispenser.
15. Electric hand dryer.
16. Plasto.
17. Grab bar.
18. Toilet paper holder.
19. Paper towel dispenser.
20. Metal siding.
21. Halopack light fixture - see electric drawings.
22. Downspout by PEMB.
23. 6" Aluminum Gutter by PEMB.
24. Metal roof by PEMB.
25. Handicap push button @ 2'-10".
26. Emergency exit sign.
27. Wall mounted fire extinguisher.
28. Hose bibb at 1'-6" Finish Floor.
29. Concrete splash block (12"x24")
30. Soffit @ 1'-2".
31. Snow retention guard.
32. Janitor's floor sink.
33. Floor drain - see plumbing engineering drawings.
34. Dual-unit drinking fountain - see plumbing drawings.
35. 4" vinyl base.
36. FRP panel.

**LEGEND**

PEMB - Pre-Engineered Metal Building Supplier

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 PROJECT: 2021-01-15  
 DRAWING: 2021-01-15  
 SHEET: 2021-01-15  
 SCALE: 2021-01-15

**PROJECT NAME**  
 HANDBOOK TRAINING ALIEMENT  
 PROJECT LOCATION

**OWNER**  
 CACR - FRANKLIN COUNTY LAND BANK  
 100 LANTANA DRIVE  
 WASHINGTON, VA  
 22186-1000  
 (540) 528-1000

**DESIGN ARCHITECT & ARCHITECT OF RECORD**  
 EAST LOWRY INC.  
 1000 WEST STREET  
 WASHINGTON, VA  
 22186-1000

**MECHANICAL/ELECTRICAL/PLUMBING ENGINEER**  
 TRIPLE STREET  
 WASHINGTON, VA  
 22186-1000

**CIVIL/STRUCTURAL CONSULTANTS**  
 HULL & ANGLADE INC.  
 1000 WEST STREET  
 WASHINGTON, VA  
 22186-1000

**SOFT ESTIMATING CONSULTANT**  
 SLD CITY CONSTRUCTION  
 1000 WEST STREET  
 WASHINGTON, VA  
 22186-1000

**PRE-ENGINEERED METAL BUILDING SUPPLIER**  
 T&M MAC CONSTRUCTION LTD.  
 1000 WEST STREET  
 WASHINGTON, VA  
 22186-1000

**PROJECT STATUS**

- PLANNING
- PERMITTING
- ARCHITECT DESIGN
- ENGINEER DESIGN
- CONTRACT AGREEMENTS
- BIDDING
- PRELIMINARY
- NOT FOR CONSTRUCTION

REV      DATE

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SHEET NAME

**EXTERIOR ELEVATIONS**

SHEET NUMBER

A3.1

DATE 05/19/2021

**GENERAL NOTES**

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**CODED NOTES**

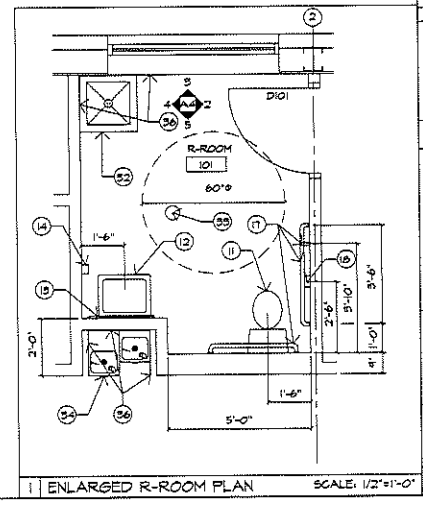
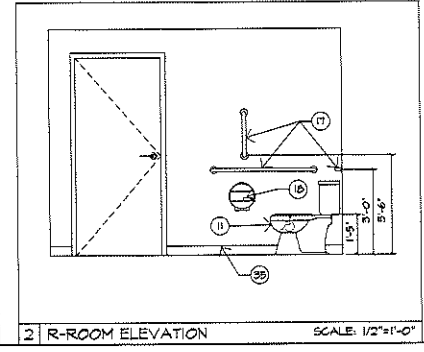
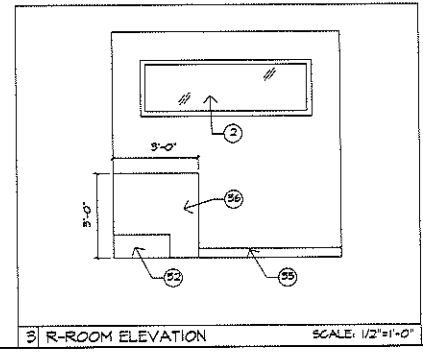
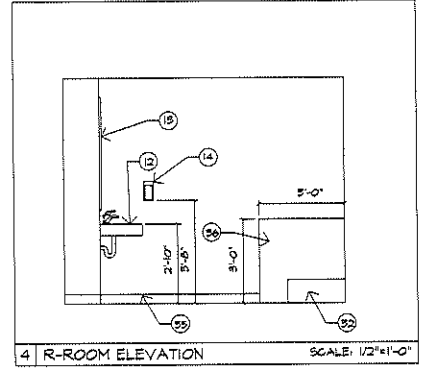
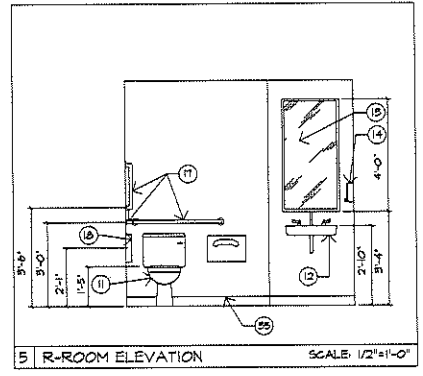
1. PBR metal by PE#B.
2. 1" Insulated glass in aluminum frame window by PE#B.
3. Insulated overhead garage door with vision glass by PE#B.
4. Gypsum wallboard wall.
5. Fabric curtain hung from structure above.
6. Hollow metal door with door stop.
7. Concrete stoop.
8. Concrete equipment pad - see civil engineering drawings.
9. Polish concrete floor.
10. Vinyl composite tile (VCT).
11. Water closet.
12. Lavatory.
13. Mirror (2'-6"x4'-0").
14. Soap dispenser.
15. Electric hand dryer.
16. Niche.
17. Grab bar.
18. Toilet paper holder.
19. Paper towel dispenser.
20. Niche siding.
21. Wallpack light fixture - see electric drawings.
22. Downspout by PE#B.
23. 6" Aluminum gutter by PE#B.
24. Metal roof by PE#B.
25. Handicap push button @ 2'-10".
26. Emergency exit sign.
27. Wall mounted fire extinguisher.
28. Noise baffle at 1'-6" Finish Floor.
29. Concrete splash block (12"x24").
30. Soffit @ 1'-2".
31. Snow retention guard.
32. Janitor's floor sink.
33. Floor drain - see plumbing engineering drawings.
34. Dual-unit drinking fountain - see plumbing drawings.
35. 4" vinyl base.
36. FRP panel.

**LEGEND**

PE#B - Pre-Engineered Metal Building Supplier

**GENERAL NOTES**

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PROJECT TITLE: HANSHURST TRAINING ACADEMY

OWNER: CLACK COUNTY LAND BANK

DESIGN ARCHITECT & ARCHITECT OF RECORD: KAY GENSLER ARCHITECTS

MECHANICAL/ELECTRICAL/PLUMBING ENGINEER: JAMES A. HENNING

CIVIL/STRUCTURAL CONSULTANTS: HULL & ASSOCIATES

CONTRACTING CONSULTANT: VELOCITY CONSTRUCTION

PRE-ENGINEERED METAL BUILDING SUPPLIER: PALMAC CONSTRUCTION LTD.

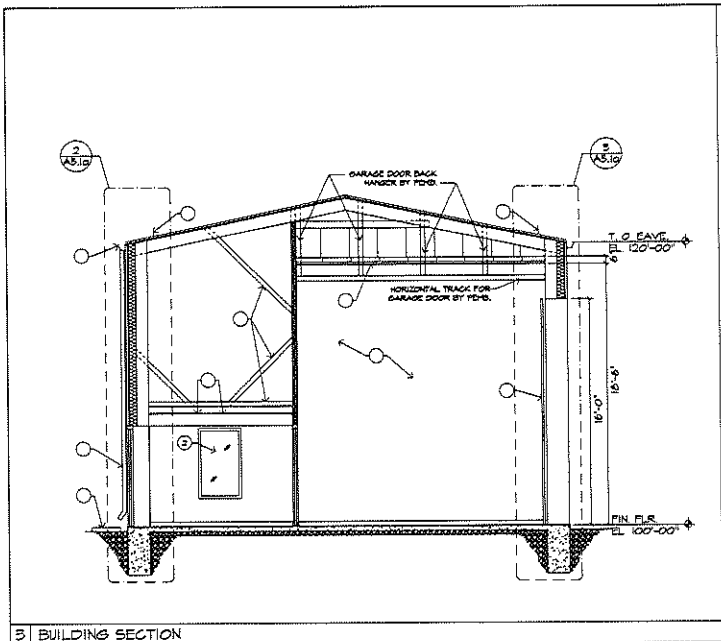
PROJECT STATUS:

- PLANNING
- PRELIMINARY
- ARCHITECTURAL DESIGN
- DESIGN DEVELOPMENT
- CONSTRUCTION DOCUMENTS
- CONTRACT ADMINISTRATION
- RECORD DOCUMENTS
- NOT FOR CONSTRUCTION

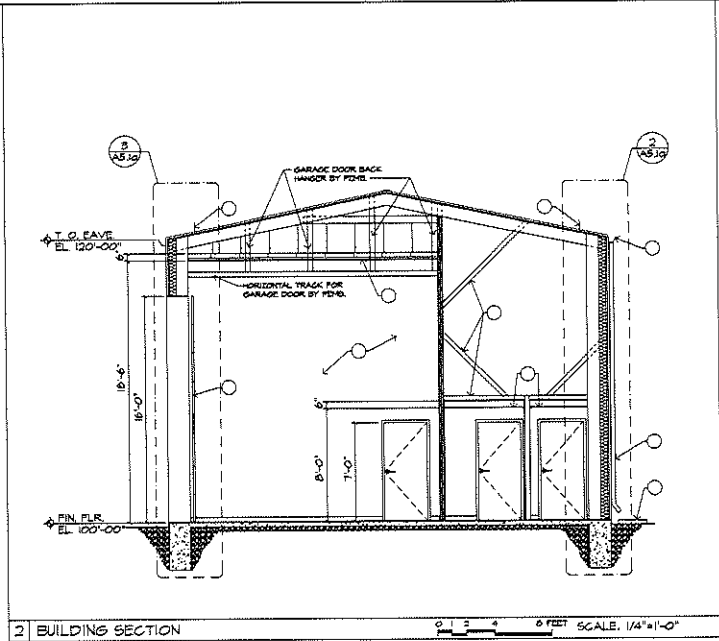
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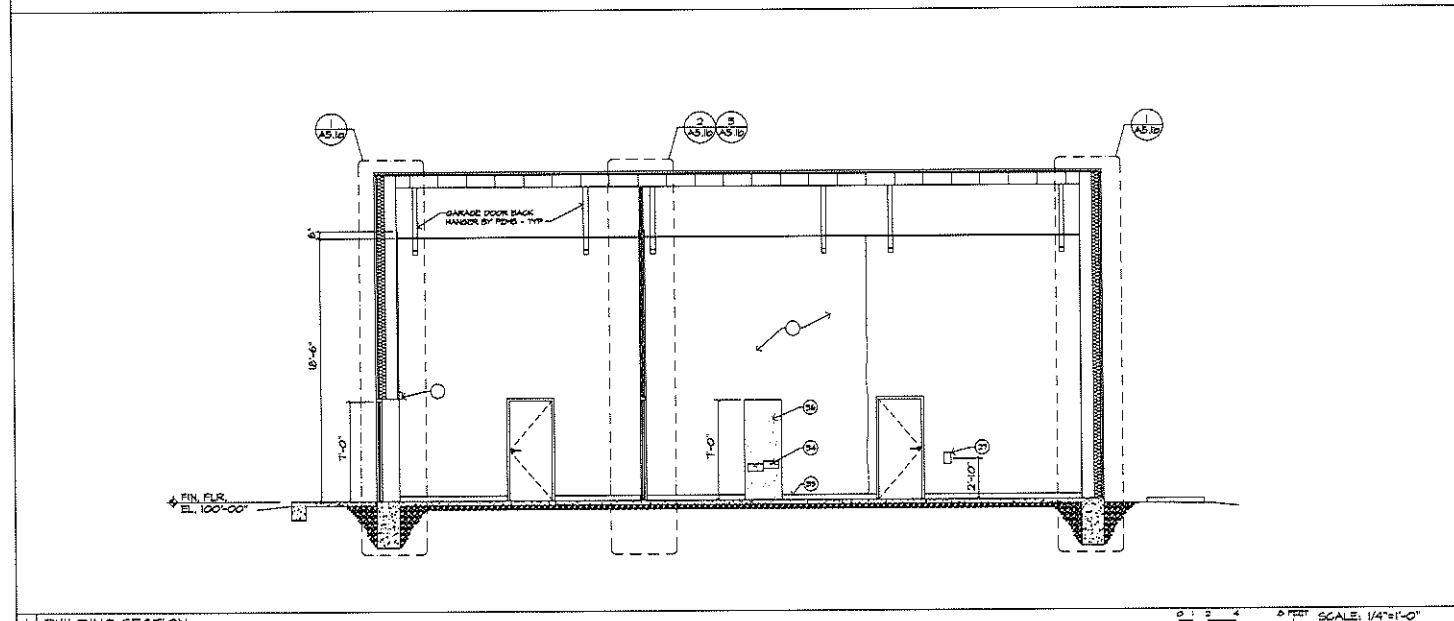
DATE: 05/19/2021



3 BUILDING SECTION



2 BUILDING SECTION



1 BUILDING SECTION

**CODED NOTES**

1. PBR metal by PEMB.
2. 1" insulated glass in aluminum frame window by PEMB.
3. Insulated overhead garage door with vision glass by PEMB.
4. Gypsum wallboard wall.
5. Fabric curtain hung from structure above.
6. Hollow metal door with door stop.
7. Concrete stoop.
8. Concrete equipment pad - see civil engineering drawings.
9. Polish concrete floor.
10. Vinyl composite tile (VCT).
11. Water closet.
12. Lavatory.
13. Mirror (2'-6"x4'-0").
14. Soap dispenser.
15. Electric hand dryer.
16. Niche.
17. Grab bar.
18. Toilet paper holder.
19. Paper towel dispenser.
20. Metal siding.
21. Halopack light fixture - see electric drawings.
22. Downspout by PEMB.
23. 6" Aluminum gutter by PEMB.
24. Metal roof by PEMB.
25. Handicap push button @ 2'-10".
26. Emergency exit sign.
27. Wall mounted fire extinguisher.
28. Niche above 1'-6" Finish Floor.
29. Concrete splash block (12"x24")
30. Soffit @ 7'-2".
31. Snow retention guard.
32. Janitor's floor sink.
33. Floor drain - see plumbing engineering drawings.
34. Dual-unit drinking fountain - see plumbing drawings.
35. 4" vinyl base.
36. FRP panel.

**LEGEND**

PEMB - Pre-Engineered Metal Building Supplier

**GENERAL NOTES**

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**PROJECT NAME**  
 HAMMILL ELEMENTARY TRAINING ACADEMY  
 200 W. 10TH ST. S.W.  
 OKLAHOMA CITY, OKLAHOMA 73101

**OWNER**  
 STATE - FRANKLIN COUNTY LAND BANK  
 100 N. W. 10TH ST.  
 OKLAHOMA CITY, OKLAHOMA 73101  
 PHONE: 405.505.2200

**DESIGN ARCHITECT, ARCHITECT OF RECORD**  
 CAY TROWBRIDGE  
 1234 N. W. 10TH ST.  
 OKLAHOMA CITY, OKLAHOMA 73101  
 PHONE: 405.505.2200

**MECHANICAL/ELECTRICAL/PLUMBING**  
 KEAMER ENGINEERS  
 1234 N. W. 10TH ST.  
 OKLAHOMA CITY, OKLAHOMA 73101  
 PHONE: 405.505.2200

**CIVIL/STRUCTURAL/CONSULTANTS**  
 HELL & ANGELOTTI INC.  
 100 N. W. 10TH ST. SUITE 200  
 OKLAHOMA CITY, OKLAHOMA 73101  
 PHONE: 405.505.2200

**FAST ESTIMATING CONSULTANT**  
 SILEOITY CONSTRUCTION  
 1234 N. W. 10TH ST.  
 OKLAHOMA CITY, OKLAHOMA 73101  
 PHONE: 405.505.2200

**PRE-ENGINEERED METAL BUILDING SUPPLIER**  
 T&M MAC CONSTRUCTION LTD.  
 1234 N. W. 10TH ST.  
 OKLAHOMA CITY, OKLAHOMA 73101  
 PHONE: 405.505.2200

**PROJECT DATES**

	PL	PA	C&M
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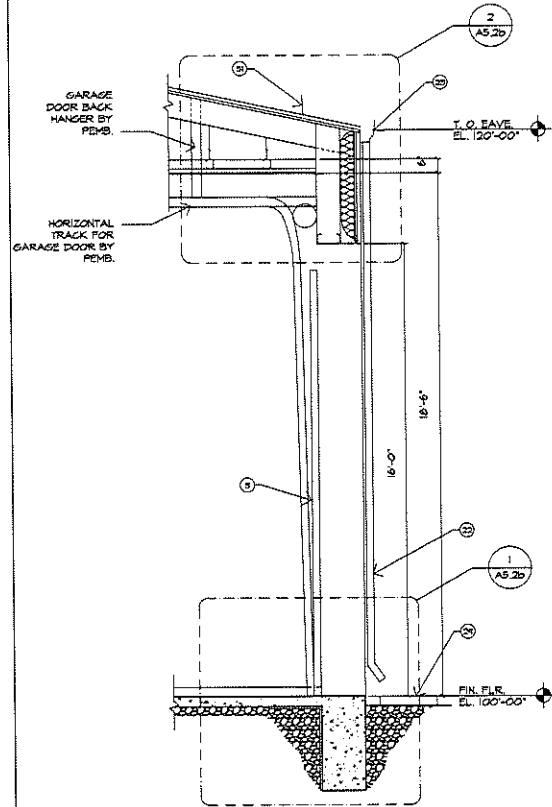
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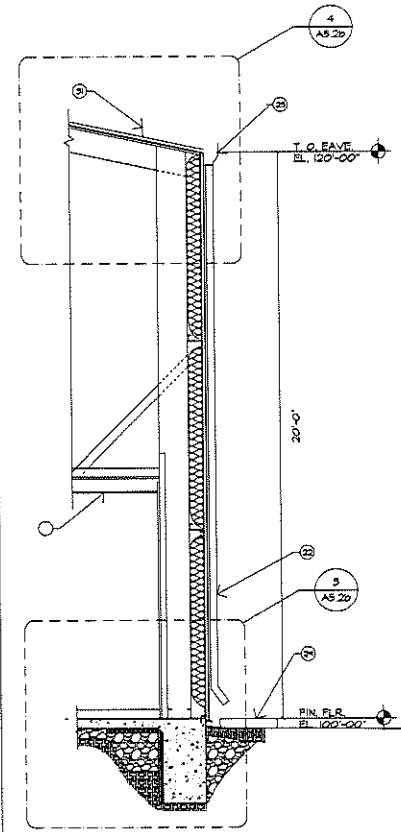
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 BUILDING SECTIONS

**SHEET NUMBER**  
 A5.0

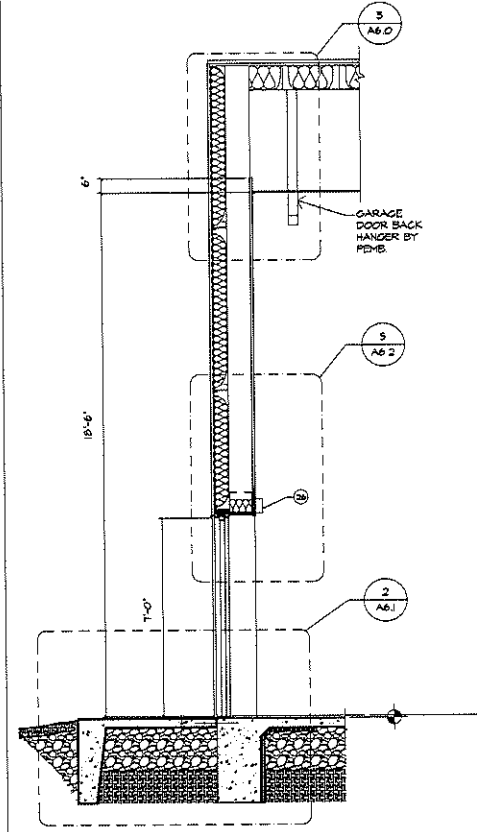
**DATE**  
 05/19/2021



3 WALL SECTION SCALE: 1/2"=1'-0"



2 WALL SECTION SCALE: 1/2"=1'-0"



1 WALL SECTION SCALE: 1/2"=1'-0"

COORDINATED NOTES

1. PBR metal by PEMB.
2. 1" Insulated glass in aluminum frame window by PEMB.
3. Insulated overhead garage door with vision glass by PEMB.
4. Gypsum wallboard wall.
5. Fabric curtain hung from structure above.
6. Hollow metal door with door stop.
7. Concrete stoop.
8. Concrete equipment pad - see civil engineering drawings.
9. Polish concrete floor.
10. Vinyl composite tile (VCT).
11. Water closet.
12. Lavatory.
13. Mirror (2'-6" x 4'-0").
14. Soap dispenser.
15. Electric hand dryer.
16. Hooks.
17. Grab bar.
18. Toilet paper holder.
19. Paper towel dispenser.
20. Metal siding.
21. Wallpack light fixture - see electric drawings.
22. Downspout by PEMB.
23. 6" Aluminum Extrusion by PEMB.
24. Metal roof by PEMB.
25. Handicap push button @ 2'-10".
26. Emergency exit sign.
27. Wall mounted fire extinguisher.
28. Nose bump at 1'-6" Finish Floor.
29. Concrete splash block (12"x24")
30. Soffit @ 1'-2".
31. Snow retention guard.
32. Janitor's floor sink.
33. Floor drain - see plumbing engineering drawings.
34. Dual-unit drinking fountain - see plumbing drawings.
35. 4" vinyl base.
36. FRP panel.

LEGEND

PEMB = Pre-Engineered Metal Building Supplier

GENERAL NOTES

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COPYRIGHT  
 PROJECT NO. 2020-001  
 PROJECT NAME  
 DRAWN BY  
 CHECKED BY  
 DATE  
 SCALE

PROJECT NAME  
 EASTMAN ENGINEERING TRAINING ACADEMY  
 1000 HUNTERS LANE  
 WILSONVILLE, OR 97158

OWNER  
 CHIEF, FRANKLIN COUNTY LAND BANK  
 300 S. BROADWAY  
 WILSONVILLE, OR 97158  
 TEL: 503.263.1234  
 FAX: 503.263.1234

DESIGN ARCHITECT & ARCHITECT OF RECORD  
 EAY ENGINEERING  
 1000 HUNTERS LANE  
 WILSONVILLE, OR 97158  
 TEL: 503.263.1234  
 FAX: 503.263.1234

MECHANICAL/ELECTRICAL/PLUMBING  
 MECHANICAL ENGINEER  
 EAY ENGINEERING  
 1000 HUNTERS LANE  
 WILSONVILLE, OR 97158  
 TEL: 503.263.1234  
 FAX: 503.263.1234

CIVIL/STRUCTURAL - CONSULTANTS  
 MECHANICAL ENGINEER  
 EAY ENGINEERING  
 1000 HUNTERS LANE  
 WILSONVILLE, OR 97158  
 TEL: 503.263.1234  
 FAX: 503.263.1234

SOUP ESTIMATING CONSULTANT  
 MECHANICAL ENGINEER  
 EAY ENGINEERING  
 1000 HUNTERS LANE  
 WILSONVILLE, OR 97158  
 TEL: 503.263.1234  
 FAX: 503.263.1234

PRE-ENGINEERED METAL BUILDING SUPPLIER  
 PALMAC CONSTRUCTION LTD.  
 1000 HUNTERS LANE  
 WILSONVILLE, OR 97158  
 TEL: 503.263.1234  
 FAX: 503.263.1234

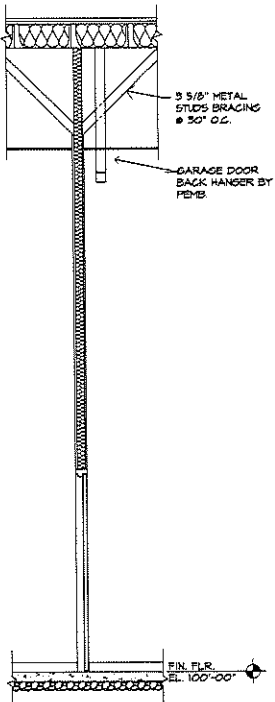
PROJECT STATUS			
○	PLANNING		
○	PROGRAMMING		
○	SCHEMATIC DESIGN		
○	DESIGN DEVELOPMENT		
○	CONSTRUCTION DOCUMENTS		
○	ISSUANCE		
○	RECORD DOCUMENTS		
○	NOT YET COMPLETED		

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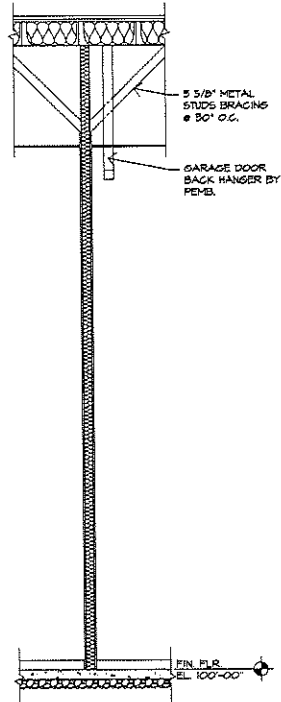
PROJECT NAME  
 EASTMAN ENGINEERING TRAINING ACADEMY  
 1000 HUNTERS LANE  
 WILSONVILLE, OR 97158

WALL SECTIONS  
 SHEET NUMBER  
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 DATE  
 05/19/2021

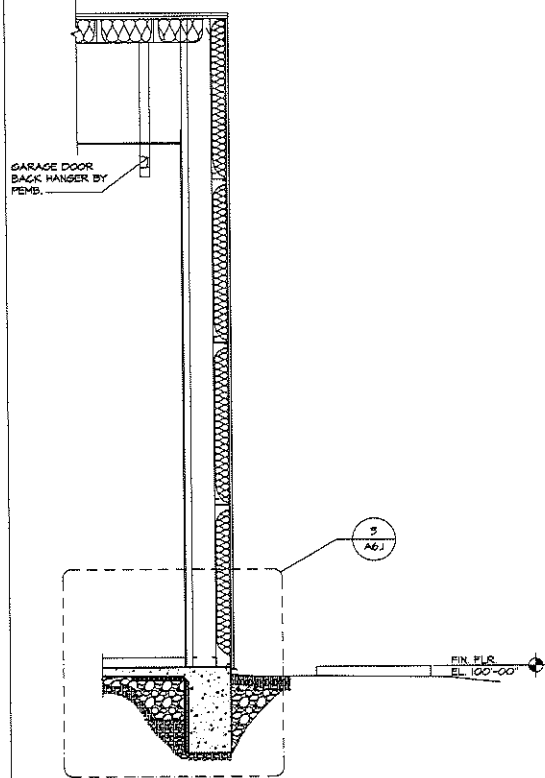




3 | WALL SECTION SCALE: 1/2"=1'-0"



2 | WALL SECTION SCALE: 1/2"=1'-0"



1 | WALL SECTION SCALE: 1/2"=1'-0"

**GENERAL NOTES**

1. PBR metal by PEMB.
2. 1" insulated glass in aluminum frame window by PEMB.
3. Insulated overhead garage door with vision glass by PEMB.
4. Gypsum wallboard wall.
5. Fabric curtain hung from structure above.
6. Hollow metal door with door stop.
7. Concrete stoop.
8. Concrete equipment pad - see civil engineering drawings.
9. Polish concrete floor.
10. Vinyl composite tile (VCT).
11. Water closet.
12. Lavatory.
13. Mirror (2'-6 1/2" x 0').
14. Soap dispenser.
15. Electric hand dryer.
16. Plaste.
17. Grab bar.
18. Toilet paper holder.
19. Paper towel dispenser.
20. Metal sliding.
21. Mailbox light fixture - see electric drawings.
22. Downspout by PEMB.
23. 6" Aluminum gutter by PEMB.
24. Metal roof by PEMB.
25. Handicap push button @ 2'-10".
26. Emergency exit sign.
27. Wall mounted fire extinguisher.
28. Hose bibb on 1'-6" Finish Floor.
29. Concrete splash block (12"x24")
30. Soffit @ 1'-2".
31. Snow retention guard.
32. Janitor's floor sink.
33. Floor drain - see plumbing engineering drawings.
34. Dual-unit drinking fountain - see plumbing drawings.
35. 4" vinyl base.
36. FRP panel.

**LEGEND**

PEMB - Pre-Engineered Metal Building Supplier

**GENERAL NOTES**

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 THE ARCHITECTURE CONSULTANTS PARTNERSHIP  
 100 WEST 17TH AVENUE, SUITE 1000  
 DENVER, COLORADO 80202  
 PHONE: 303.733.1000  
 FAX: 303.733.1001

**PROJECT NAME**  
 HANSHON GRAY TRAINING ACADEMY  
 100 WEST 17TH AVENUE  
 DENVER, CO 80202

**OWNER**  
 CACIC - HANSHON GRAY LAND BANK  
 100 WEST 17TH AVENUE  
 DENVER, CO 80202  
 PHONE: 303.733.1000  
 FAX: 303.733.1001

**DESIGN ARCHITECT & ARCHITECT OF RECORD**  
 CACI CONSULTANTS  
 100 WEST 17TH AVENUE  
 DENVER, CO 80202  
 PHONE: 303.733.1000

**MECHANICAL/ELECTRICAL/PLUMBING**  
 EXAMER ENGINEERS  
 100 WEST 17TH AVENUE  
 DENVER, CO 80202  
 PHONE: 303.733.1000

**CIVIL/STRUCTURAL CONSULTANTS**  
 HULL & ASSOCIATES, INC.  
 100 WEST 17TH AVENUE, SUITE 1000  
 DENVER, CO 80202  
 PHONE: 303.733.1000

**SOIL ESTIMATING CONSULTANT**  
 VELOCITY CONSTRUCTION  
 100 WEST 17TH AVENUE, SUITE 1000  
 DENVER, CO 80202  
 PHONE: 303.733.1000

**PRE-ENGINEERED METAL BUILDING SUPPLIER**  
 TALMAC CONSTRUCTION, LTD.  
 P.O. BOX 100  
 DENVER, COLORADO 80202  
 PHONE: 303.733.1000

**PROJECT STATUS**

PLANNING  
 PROGRAMMING  
 SCHEDULE PREPARED  
 DESIGN DEVELOPMENT  
 CONSTRUCTION DOCUMENTS  
 BIDDING  
 NEGOTIATED  
 NOT FOR CONSTRUCTION

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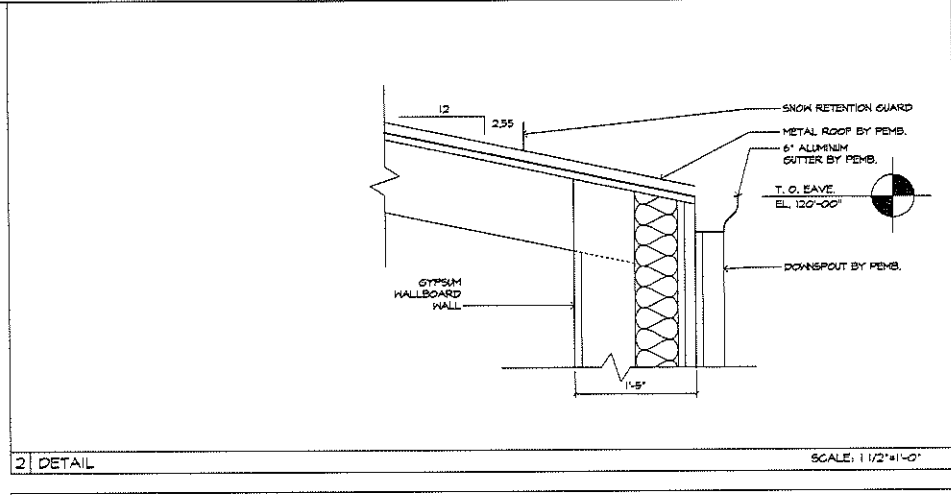
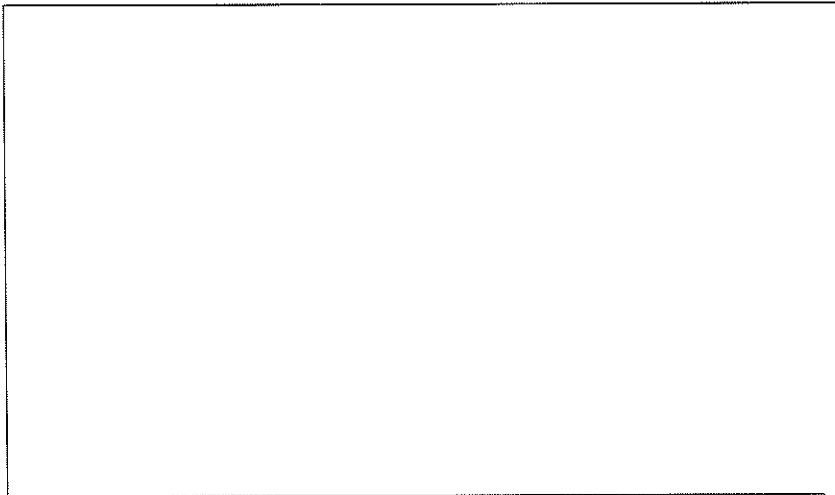
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**SHEET NAME**  
 WALL SECTIONS

**SHEET NUMBER**  
 A5.2

**DATE**  
 05/19/2021



2 | DETAIL

SCALE: 1/2"=1'-0"

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**PROJECT NAME**  
 HARMANBERGER TRAINING ACADEMY  
 20 WINTER ST  
 CHARLESTON, WV 25301

**OWNER**  
 STATE - FRANKLIN COUNTY LAND BANK  
 100 W. MAIN ST.  
 CHARLESTON, WV 25301

**DESIGN ARCHITECT & ARCHITECT OF RECORD**  
 CAY CONNORS  
 1200 W. MARKET ST.  
 CHARLESTON, WV 25301  
 PHONE: 304-763-2222

**Mechanical/Electrical/Plumbing**  
 DECKER INDUSTRIES  
 100 W. MARKET ST.  
 CHARLESTON, WV 25301  
 PHONE: 304-763-2222

**CIVIL/STRUCTURAL - CONSULTANTS**  
 HULL & ASSOCIATES INC.  
 100 W. MARKET ST.  
 CHARLESTON, WV 25301  
 PHONE: 304-763-2222

**COST ESTIMATING CONSULTANT**  
 VELOCITY CONSTRUCTION  
 100 W. MARKET ST.  
 CHARLESTON, WV 25301  
 PHONE: 304-763-2222

**PRE-ENGINEERED METAL BUILDING SUPPLIER**  
 PALMCO CONSTRUCTION LTD.  
 2111 W. 10TH AVE.  
 BOULDER, CO 80502  
 PHONE: 303-440-1100

- PROJECT STATUS**
- PLANNING
  - PROGRAMMING
  - ARCHITECTURE DESIGN
  - DESIGN DEVELOPMENT
  - CONSTRUCTION DOCUMENTS
  - BIDDING
  - RECORD DOCUMENTS
  - NOT FOR CONSTRUCTION

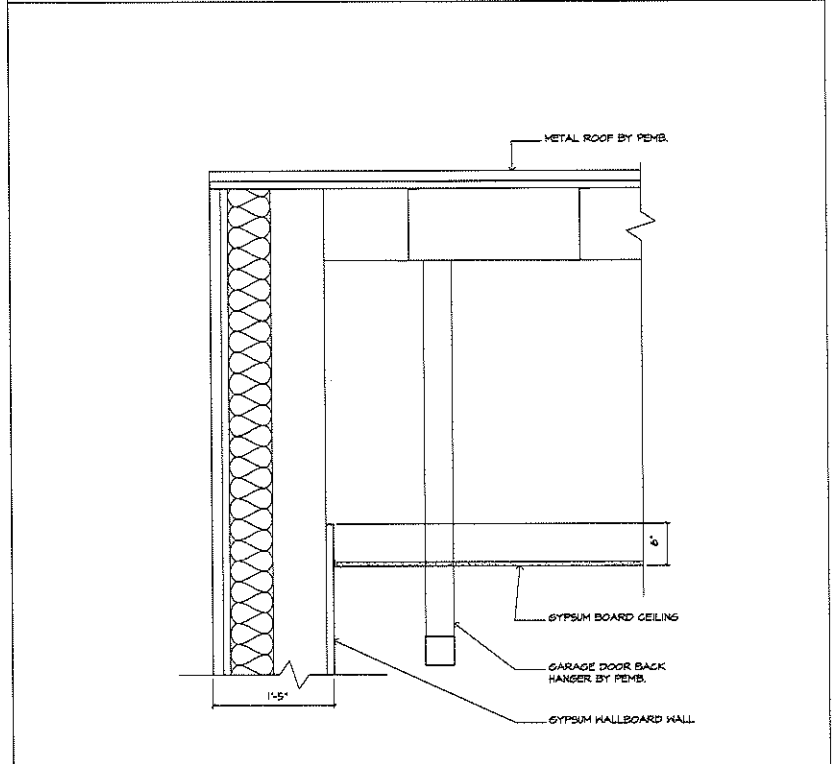
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**SHEET NAME**  
 DETAILS

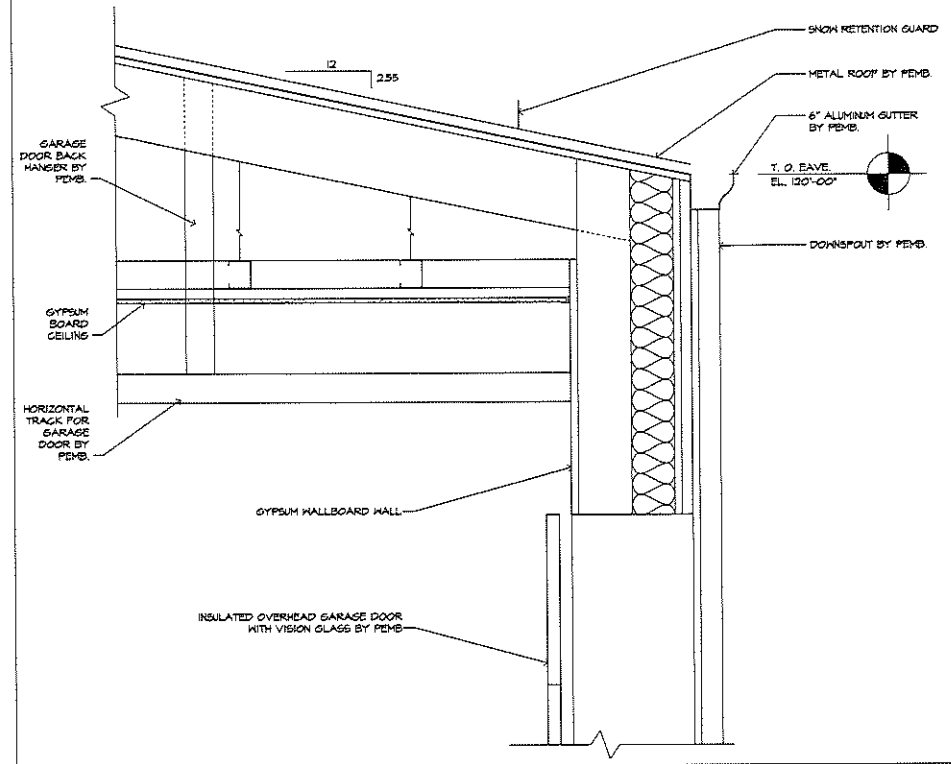
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 A6.0

**DATE** 05/19/2021



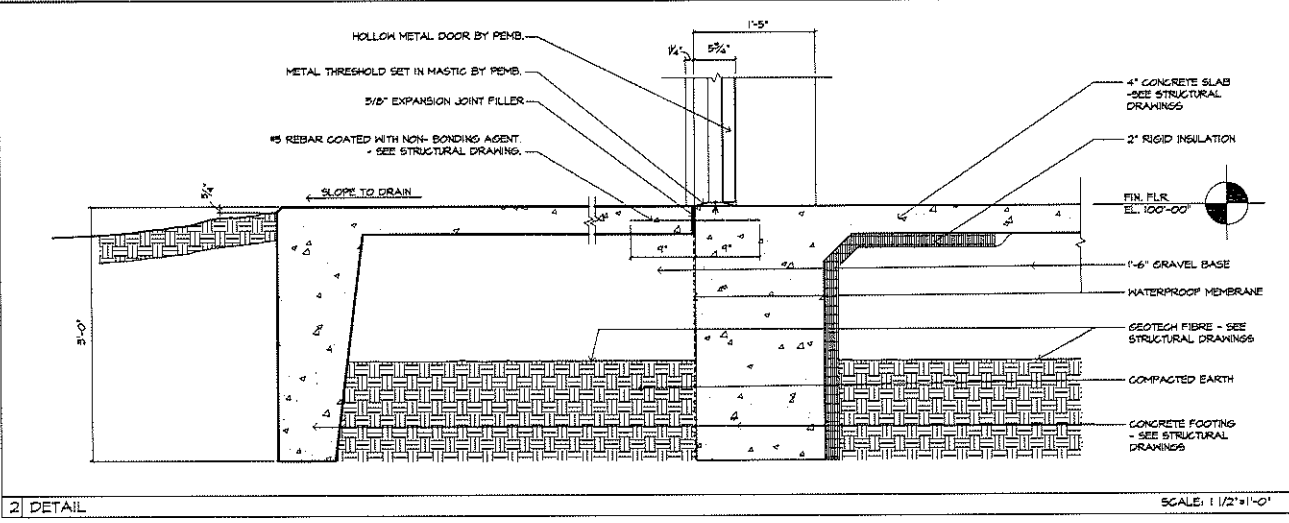
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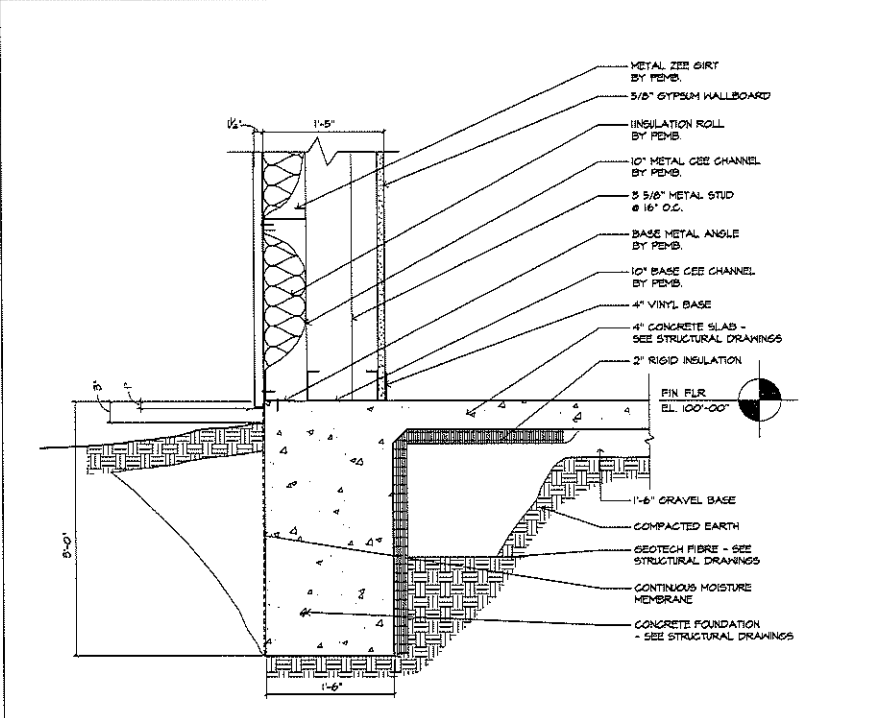
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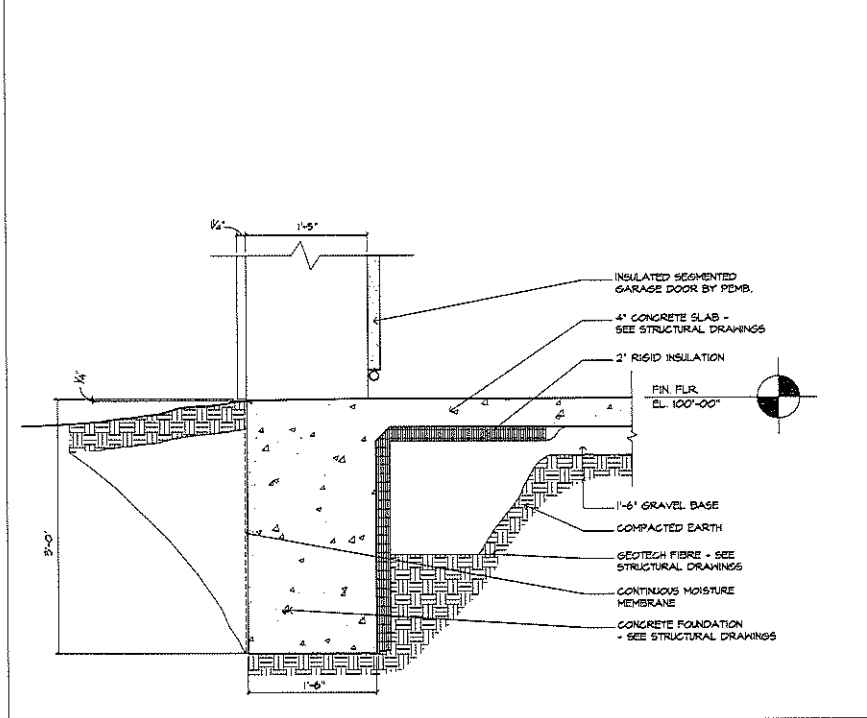
2 DETAIL

SCALE: 1/2"=1'-0"



3 DETAIL

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1 DETAIL

SCALE: 1/2"=1'-0"

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**PROJECT NAME**  
 HANCOCK HALL TRAINING ACADEMY  
 1000 W. 10TH ST.  
 HANCOCK, MI 48734

**OWNER**  
 CLACK - FRANKLIN COUNTY LAND BANK  
 1000 W. 10TH ST.  
 HANCOCK, MI 48734

**DESIGN ARCHITECT & ARCHITECT OF RECORD**  
 KAY ENGINEERS  
 1000 W. 10TH ST.  
 HANCOCK, MI 48734

**MECHANICAL/ELECTRICAL/PLUMBING ENGINEERS**  
 KRUMHOLTZ ENGINEERS  
 1000 W. 10TH ST.  
 HANCOCK, MI 48734

**CIVIL/STRUCTURAL - CONSULTANTS**  
 HELL & ASSOCIATES INC.  
 1000 W. 10TH ST.  
 HANCOCK, MI 48734

**COST ESTIMATING CONSULTANT**  
 VELOCITY CONSTRUCTION  
 1000 W. 10TH ST.  
 HANCOCK, MI 48734

**PRE-ENGINEERED METAL BUILDING SUPPLIER**  
 PALMAC CONSTRUCTION LTD.  
 1000 W. 10TH ST.  
 HANCOCK, MI 48734

**PROJECT STATUS**

PLANNING  
 PRELIMINARY  
 ARCHITECTURAL DESIGN  
 DESIGN DEVELOPMENT  
 PERMIT APPLICATIONS  
 BIDDING  
 RECORD DOCUMENTS  
 NOT FOR CONSTRUCTION

REV	BY	DATE	DESCRIPTION
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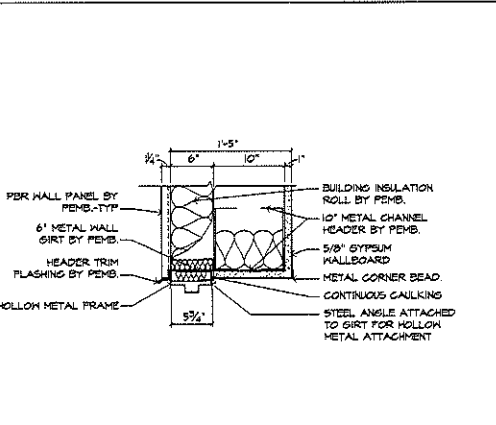
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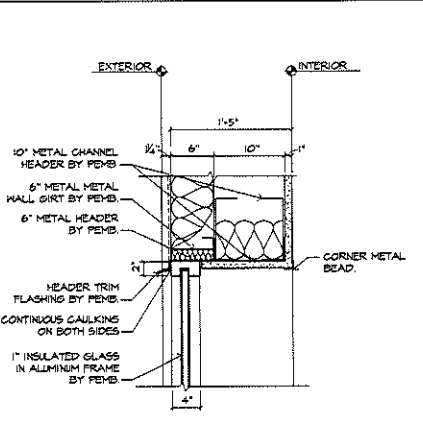
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**SHEET NUMBER**  
 A6.1

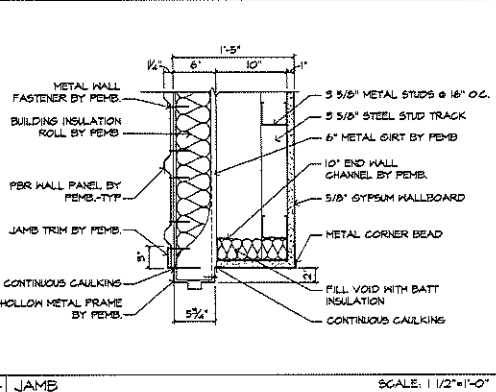
**DATE**  
 05/19/2021



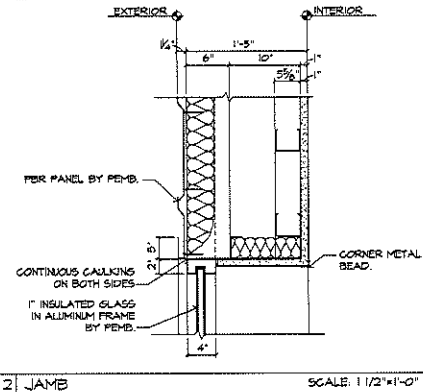
5 HEAD SCALE: 1/2"=1'-0"



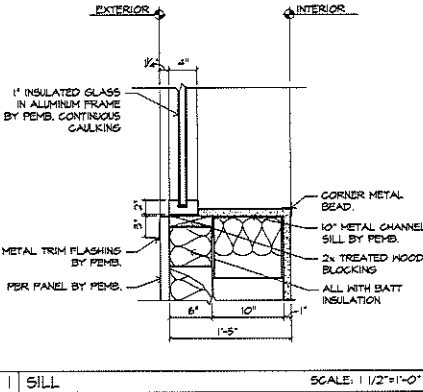
3 HEAD SCALE: 1/2"=1'-0"



4 JAMB SCALE: 1/2"=1'-0"



2 JAMB SCALE: 1/2"=1'-0"



1 SILL SCALE: 1/2"=1'-0"

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 TRAINING CENTER

PROJECT NAME  
 HARLAND/GULF TRAINING ACADEMY  
 2000 HARLAND BLVD  
 LUBBOCK, TEXAS 79401

OWNER  
 CACE - FRANKLIN COUNTY LAND BANK  
 2000 HARLAND BLVD  
 LUBBOCK, TEXAS 79401  
 (806) 793-1111

DESIGN ARCHITECT & ARCHITECT OF RECORD  
 CAY CONSTRUCTION  
 3010 W. UNIVERSITY  
 LUBBOCK, TEXAS 79409  
 (806) 793-2025

MECHANICAL/ELECTRICAL/PLUMBING  
 LEANER ENGINEERS  
 3010 W. UNIVERSITY  
 LUBBOCK, TEXAS 79409  
 (806) 793-2025

GEOTECHNICAL CONSULTANTS  
 HILL & ASSOCIATES, INC.  
 3010 W. UNIVERSITY  
 LUBBOCK, TEXAS 79409  
 (806) 793-2025

CONSTRUCTIVE CONSULTANT  
 VECOV CONSTRUCTION  
 3010 W. UNIVERSITY  
 LUBBOCK, TEXAS 79409  
 (806) 793-2025

PRE-ENGINEERED METAL BUILDING SUPPLIER  
 PALMAC CONSTRUCTION LTD  
 3010 W. UNIVERSITY  
 LUBBOCK, TEXAS 79409  
 (806) 793-2025

PROJECT DATA  
 PLANNING  
 PROGRAMMING  
 SCHEMATIC DESIGN  
 DESIGN DEVELOPMENT  
 CONTRACT DOCUMENTS  
 BIDDING  
 RECORD DOCUMENTS  
 WITH CONSTRUCTION

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SHEET NAME  
 DETAILS

SHEET NUMBER  
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DATE  
 05/19/2021

ROOM FINISH SCHEDULE																				
ROOM NO	ROOM NAME	FLOOR		BASE		HM DOOR		HM FRAME		WALLS				CEILING		COUNTER		CASEWORK		REMARKS
		MATERIAL	COLOR	MATERIAL	COLOR	COLOR	COLOR	MATERIAL	COLOR	MATERIAL	COLOR	MATERIAL	COLOR	MATERIAL	COLOR	MATERIAL	COLOR	MATERIAL	COLOR	
		NORTH		EAST		SOUTH		WEST												
100	GREETING	VCT		VB		PT	PT	PT	PT	PT	PT	PT	PT	PT	ACT					SEE NOTES
101	R-ROOM	VCT		VB		PT	PT	PT	PT	PT	PT	PT	PT	PT	ACT					
102	TEACHING BAY #2	SC		VB		PT	PT	PT	PT	PT	PT	PT	PT	PT	GWB					
102A	TEACHING BAY #1	SC		VB		PT	PT	PT	PT	PT	PT	PT	PT	PT	GWB					
102B	CLUB FITTING BAY	SC		VB		PT	PT	PT	PT	PT	PT	PT	PT	PT	GWB					
103	PUTTING STUDIO	VCT		VB		PT	PT	PT	PT	PT	PT	PT	PT	PT	ACT					
103A	STORE	VCT		VB		PT	PT	PT	PT	PT	PT	PT	PT	PT	ACT					SEE NOTES
103B	MECH	SC		VB		PT	PT	PT	PT	PT	PT	PT	PT	PT	ACT					

2 | ROOM FINISH SCHEDULE

FINISH MATERIAL AND COLOUR SCHEDULE					
ITEM NAME	FINISH CODE	MANUFACTURER	PRODUCT No.	COLOUR	REMARKS
WALL FINISHES (WALLS, ROOF, Etc)					
METAL PANEL		MS COLORFAST 45		POLAR WHITE (80)	BY PEMB
METAL ROOF		MS COLORFAST 45		RED (24)	BY PEMB
GUTTER/ DOWNSPOUT		MS COLORFAST 45		POLAR WHITE (80)	BY PEMB
WALLS					
PAINT - SATIN	PT-1	SHERWIN WILLIAMS			
PAINT - SEMI GLOSS	PT-2	SHERWIN WILLIAMS			
PAINT - EXPOXY	PT-3	SHERWIN WILLIAMS			ALL INTERIOR HM DOORS AND FRAMES
BASE	V-1	JOHNSONITE			
FLOOR					
TILE-VCT	T-1	TARKETT			
SEAL CONCRETE	SC				
CEILING					
ACL CEL TILE	ACT			WHITE	
1/2" GYP WALLBOARD	GWB			PT-	
FLOOR FINISHES					

1 | FINISH MATERIAL COLOUR SCHEDULE

FINISH MATERIAL AND COLOUR SCHEDULE					
ITEM NAME	FINISH CODE	MANUFACTURER	PRODUCT No.	COLOUR	REMARKS
FLOOR FINISHES					
MISCELLANEOUS					

MATERIAL LEGEND	
MATERIALS	ABBREVIATION
SEALED CONCRETE	SC
VINYL BASE	VB
VINYL COMPOSITION TILE	VCT
PAINT - SATIN	PT - SATIN
PAINT - SEMI GLOSS	PT - SEMI
PAINT - EXPOXY	PT - EXPOXY
PAINT - SCRUBABLE	PT - EXPOXY
DRY EDGING	EB
ACOUSTICAL CEILING-TYPE A	ACT
CURICLE CURTAIN-TYPE I	CC

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PROJECT NAME: HARRISON COURT TRAINING ACADEMY  
 7500 BAYVIEW AVENUE  
 MISSISSAUGA, ONTARIO L4R 1A5

OWNER: CLACK - PEAKVIEW INVENTORY LAND BANK  
 100 HARRISON COURT  
 MISSISSAUGA, ONTARIO L4R 1A5  
 TEL: 905.876.1111  
 FAX: 905.876.1112

DESIGN ARCHITECT & ARCHITECT OF RECORD: ICAD CONSULTING  
 100 HARRISON COURT  
 MISSISSAUGA, ONTARIO L4R 1A5  
 TEL: 905.876.1111  
 FAX: 905.876.1112

Mechanical/Electrical/Plumbing: KRAMER CONSULTING  
 100 HARRISON COURT  
 MISSISSAUGA, ONTARIO L4R 1A5  
 TEL: 905.876.1111  
 FAX: 905.876.1112

Civil/Structural - Consultants: BELL & ASSOCIATES INC.  
 100 HARRISON COURT  
 MISSISSAUGA, ONTARIO L4R 1A5  
 TEL: 905.876.1111  
 FAX: 905.876.1112

COST ESTIMATING CONSULTANT: VELOCITY CONSTRUCTION  
 100 HARRISON COURT  
 MISSISSAUGA, ONTARIO L4R 1A5  
 TEL: 905.876.1111  
 FAX: 905.876.1112

PRE-ENGINEERED METAL BUILDING SUPPLIER: TALMAC CONSTRUCTION LTD.  
 100 HARRISON COURT  
 MISSISSAUGA, ONTARIO L4R 1A5  
 TEL: 905.876.1111  
 FAX: 905.876.1112

PROJECT STATUS:  
 PLANNING  
 PRELIMINARY  
 PRELIMINARY DESIGN  
 DESIGN DEVELOPMENT  
 CONSTRUCTION DOCUMENTS  
 BIDDING  
 RECORD DRAWINGS  
 NOT FOR CONSTRUCTION

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REVISION NUMBER:  
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PROJECT NAME:  
 ROOM FINISH PLAN

PROJECT NUMBER:  
 A-7.0

DATE:  
 05/19/2021

- LEGEND**
- Aluminum
  - Hollow Metal
  - Window
  - Garage Door

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**PROJECT NAME**  
 HARBINGERS LANE TRAMPING ARCHERY  
 1400 HARBINGERS LANE  
 HANCOCK, NH 03041

**OWNER**  
 STATE OF NEW HAMPSHIRE  
 100 WATER STREET  
 CONDO UNIT 101  
 PORTSMOUTH, NH 03801

**DESIGN ARCHITECT & ARCHITECT OF RECORD**  
 KAY GRUNDY  
 1000 BROADWAY  
 PORTSMOUTH, NH 03801  
 PHONE: 603-271-2777

**MECHANICAL/ELECTRICAL/PLUMBING**  
 KRAMER ENGINEERS  
 1000 BROADWAY  
 PORTSMOUTH, NH 03801  
 PHONE: 603-271-2777

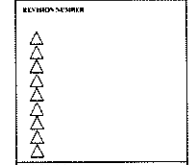
**CIVIL/STRUCTURAL - CONSULTANTS**  
 HULL & ASSOCIATES INC.  
 1000 BROADWAY, SUITE 101  
 PORTSMOUTH, NH 03801  
 PHONE: 603-271-2777

**SOFT ESTIMATING CONSULTANT**  
 VELOCITY CONSTRUCTION  
 1000 BROADWAY, SUITE 101  
 PORTSMOUTH, NH 03801  
 PHONE: 603-271-2777

**PRE-ENGINEERED METAL BUILDING SUPPLIER**  
 TALLMAGE CONSTRUCTION LTD.  
 211 BUCKINGHAM  
 PORTSMOUTH, NH 03801  
 PHONE: 603-271-2777

- PROJECT STATUS**
- PLANNING
  - PROGRAMMING
  - SCHEMATIC DESIGN
  - DESIGN DEVELOPMENT
  - CONTRACT DOCUMENTS
  - BIDDING
  - RECORD DOCUMENTS
  - NOT FOR CONSTRUCTION

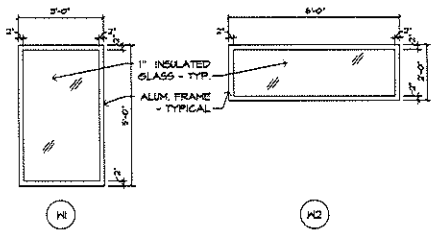
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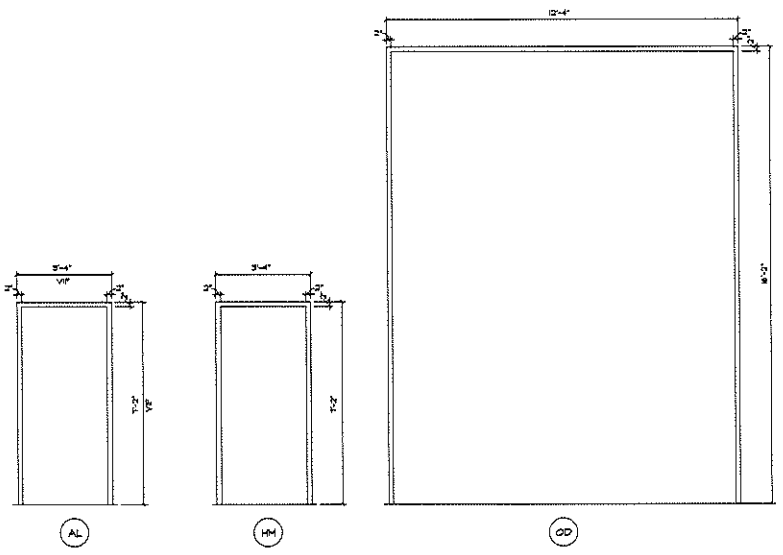
**SHEET NAME**  
 WINDOW ELEVATIONS  
 DOOR &  
 FRAME TYPES.

**SHEET NUMBER**  
 A8.0

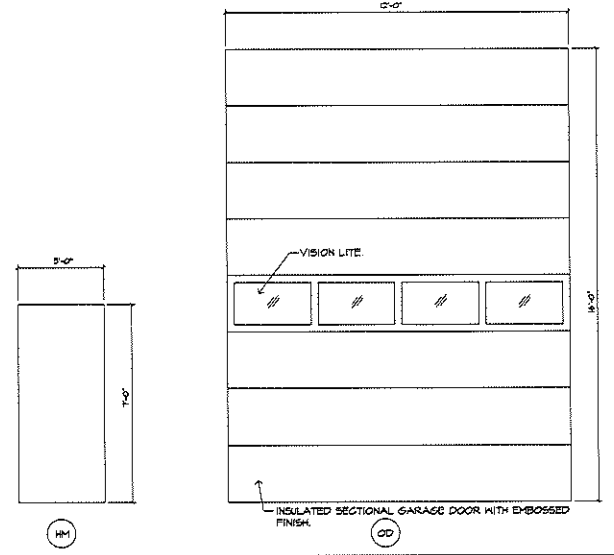
**DATE** 05/19/2021



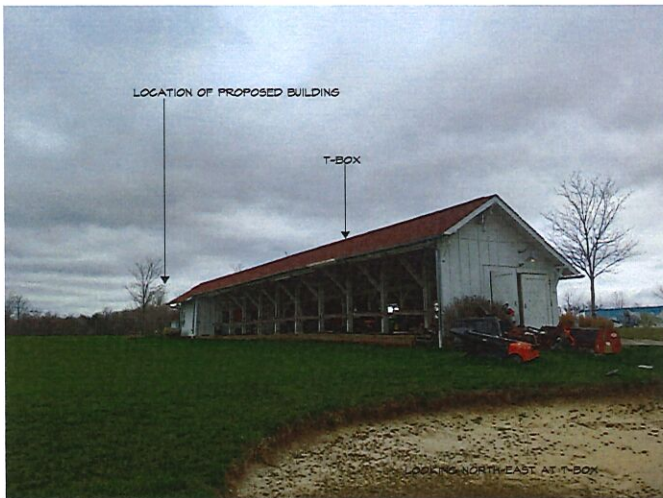
3 WINDOW ELEVATIONS SCALE: 1/2"=1'-0"



2 DOOR FRAMES SCALE: 1/2"=1'-0"



1 DOOR TYPES SCALE: 1/2"=1'-0"



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**PROJECT NAME**  
 HANDBOND GOLF TRAINING ACADEMY  
 100 LANTANA CENTER  
 HANDBOND, MISSISSIPPI 39236

**OWNER**  
 COCKE - FRANKLIN COUNTY LAND BANK  
 100 LANTANA CENTER  
 HANDBOND, MISSISSIPPI 39236  
 PHONE: 601.784.2525

**DESIGN ARCHITECT & ARCHITECT OF RECORD**  
 KAY GOWEN  
 4010 BLOUNT STREET  
 JACKSON, MISSISSIPPI 39204  
 PHONE: 601.784.2525

**MECHANICAL | ELECTRICAL | PLUMBING**  
 GRAMER ENGINEERS  
 1000 W. STATE STREET  
 JACKSON, MISSISSIPPI 39201  
 PHONE: 601.784.1800

**CIVIL | STRUCTURAL - CONSULTANTS**  
 HULL & ASSOCIATES INC.  
 1007 S. WALTON PARKWAY, SUITE 200  
 JACKSON, MISSISSIPPI 39204  
 PHONE: 601.921.0800

**SOFT ESTIMATING CONSULTANT**  
 VELOCITY CONSTRUCTION  
 100 W. WALTON PARKWAY, SUITE 200  
 JACKSON, MISSISSIPPI 39204  
 PHONE: 601.784.1800

**PRE-ENGINEERED METAL BUILDING SUPPLIER**  
 TALMAC CONSTRUCTION LTD.  
 P.O. BOX 100  
 100 W. WALTON PARKWAY  
 JACKSON, MISSISSIPPI 39204  
 PHONE: 601.921.0800

- PROJECT STATUS**
- PLANNING
  - PROGRAMMING
  - PRELIMINARY DESIGN
  - DESIGN DEVELOPMENT
  - CONSTRUCTION DOCUMENTS
  - BIDDING
  - RECORD DOCUMENTS
  - NOT FOR CONSTRUCTION

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**SHEET NAME**  
 SITE PICTURES

**SHEET NUMBER**  
 A-9.0

**DATE** 05/19/2021



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**PROJECT NAME**  
 HANDBOND GOLF TRAINING ACADEMY  
 300 HANDBOND BLVD  
 GAITHERSBURG, MD 20878

**OWNER**  
 CUCIC - FRANKLIN COUNTY LAND BANK  
 1000 JEFFERSON CENTER  
 100 JEFFERSON AVE  
 FREDERICK, MD 21701  
 TEL: 301.251.1000  
 WWW.CUCIC.COM

**DESIGN ARCHITECT & ARCHITECT OF RECORD**  
 KAY OSWATZKE  
 4000 WINDY HILL  
 1000 WINDY HILL RD  
 FREDERICK, MD 21701  
 PHONE: 301.793.7200

**MECHANICAL | ELECTRICAL | PLUMBING**  
 KRAMER ENGINEERS  
 1000 WINDY HILL  
 1000 WINDY HILL RD  
 FREDERICK, MD 21701  
 PHONE: 301.793.7200

**CIVIL | STRUCTURAL - CONSULTANTS**  
 HULL & ASSOCIATES INC  
 4007 PARKWAY PARKWAY, W320 700  
 BETHESDA, MD 20814  
 PHONE: 301.984.0800

**COST ESTIMATING CONSULTANT**  
 VELOCITY CONSTRUCTION  
 100 VELOCITY DRIVE, 110-11  
 GAITHERSBURG, MD 20878  
 PHONE: 301.793.1000

**PRE-ENGINEERED METAL BUILDING SUPPLIER**  
 TALMAC CONSTRUCTION LTD.  
 P.O. BOX 100  
 GAITHERSBURG, MD 20878  
 PHONE: 301.984.1000

- PROJECT STATUS**
- PLANNING
  - PROGRAMMING
  - SCHEMATIC DESIGN
  - DESIGN DEVELOPMENT
  - CONSTRUCTION DOCUMENTS
  - REVISION
  - RECORD DOCUMENTS
  - NOT FOR CONSTRUCTION

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**SHEET NAME**  
 RENDERING

**SHEET NUMBER**  
 A-10.0

**DATE** 05/19/2021

1 | VIEW LOOKING EAST

SCALE: N.T.S





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**PROJECT NAME**  
 HAMMOND GOLF TRAINING ACADEMY  
 700 WINDY HILL DR  
 LANSING, MI 48106

**OWNER**  
 CUCIC - FRANKLIN COUNTY LAND BANK  
 100 LANSING CENTER  
 48106-1000  
 TEL: (313) 487-1200  
 WWW.CUCIC.COM

**DESIGN ARCHITECT & ARCHITECT OF RECORD**  
 KAY DONOVAN  
 ARCHITECTURE  
 100 WINDY HILL DRIVE  
 LANSING, MI 48106  
 PHONE: 313.781.2020

**MECHANICAL | ELECTRICAL | PLUMBING**  
 KRAMER ENGINEERS  
 100 WINDY HILL DRIVE  
 LANSING, MI 48106  
 PHONE: 313.487.4000

**CIVIL | STRUCTURAL - CONSULTANTS**  
 HILL & ASSOCIATES INC  
 4007 FARM ROAD PARKWAY, SUITE 200  
 BIRMINGHAM, AL 35242  
 PHONE: 313.962.6900

**EST. ESTIMATING CONSULTANT**  
 VELOCITY CONSTRUCTION  
 100 WINDY HILL DRIVE, SUITE 200  
 LANSING, MI 48106  
 PHONE: 313.781.1000

**PRE-ENGINEERED METAL BUILDING SUPPLIER**  
 TALMAC CONSTRUCTION LTD.  
 P.O. BOX 100  
 BIRMINGHAM, AL 35202  
 PHONE: 205.991.1200

**PROJECT STATUS**

- PLANNING
- PROGRAMMING
- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- CONSTRUCTION DOCUMENTS
- REVISIONS
- RECORD DOCUMENTS
- NOT FOR CONSTRUCTION

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**REVISION NUMBER**

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**SHEET NAME**  
 RENDERING

**SHEET NUMBER**  
 A-11.0

**DATE** 05/19/2021

1 | VIEW LOOKING WEST

SCALE: N.T.S.

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**PROJECT NAME**  
 GOLF TRAINING ACADEMY  
 (03/25/2021)

**OWNER**  
 GOLF TRAINING ACADEMY  
 (03/25/2021)

**DESIGN ARCHITECT & ARCHITECT OF RECORD**  
 SLS (OWNERS)  
 (03/25/2021)  
 100-000-0000-0000  
 PHONE: 414 942 2021

**MECHANICAL/ELECTRICAL/PLUMBING ENGINEERS**  
 KENNEDY ENGINEERS  
 3341 Oak Street  
 Milwaukee, WI 53212  
 (414) 481-4444  
 www.kennedyengineers.com

**PROJECT STATUS**

○ PLANNING  
 ○ PROGRAMMING  
 ○ SCHEMATIC DESIGN  
 ○ DESIGN DEVELOPMENT  
 ○ CONSTRUCTION DOCUMENTS  
 ○ REVISIONS  
 ○ RECORD DOCUMENTS  
 ○ NOT FOR CONSTRUCTION

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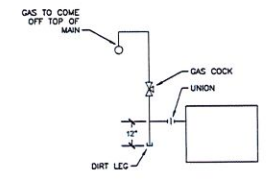
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**SHEET NAME**  
 SANITARY,  
 WATER AND  
 GAS PLANS,  
 NOTES

**SHEET NUMBER**  
 P1

**DATE** 03/25/2021



**GAS CONNECTION DETAIL**  
 SCALE: NTS

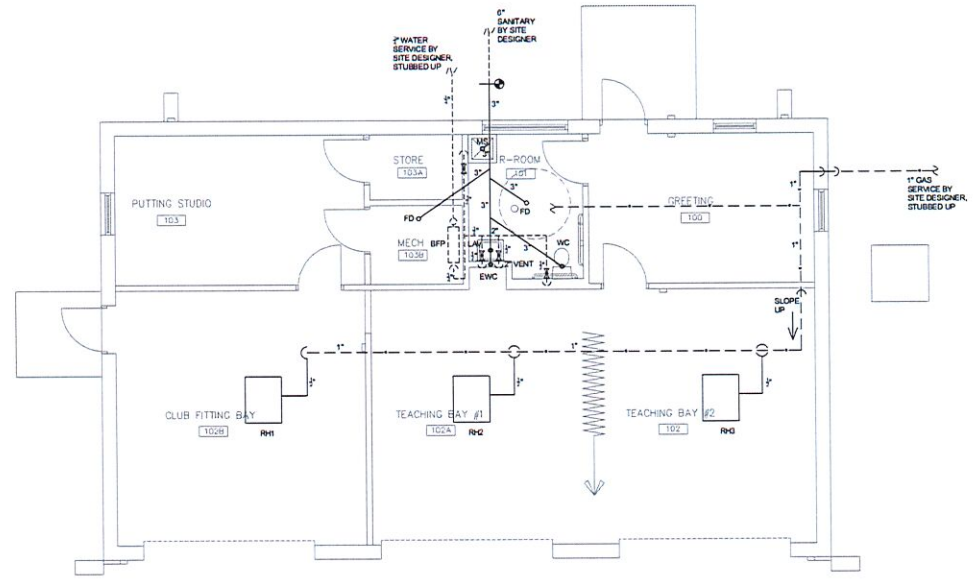
**CODED NOTES**

1. ---

- PLUMBING GENERAL NOTES**
- ALL DOMESTIC WATER PIPING SHALL BE HARD DRAWN COPPER TYPE "L" WITH SOLDERED OR PRESS FITTINGS ABOVE GRADE AND SOFT DRAWN COPPER TYPE "K" WITH BRAZED FITTINGS IN SIZES 1/2" - 2" AND DUCTILE IRON WITH PLANGED FITTINGS IN SIZES 2" AND LARGER BELOW GRADE. EXTERIOR WATER LINES SHALL HAVE A MINIMUM 48" OF COVER.
  - SANITARY WASTE AND VENT PIPING SHALL BE CAST IRON "NO HUB" PIPING OR PVC PIPING ALL AS APPROVED BY THE LOCAL AUTHORITY. INSTALL AND TEST ALL SANITARY WASTE AND VENT PIPING IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES. ALL SANITARY WASTE AND VENT PIPING IN PLENUMS SHALL BE CAST IRON.
  - COMPLETELY FLUSH AND STERILIZE ALL DOMESTIC WATER PIPING PER OPC SECTION 610 AND PER THE LOCAL COUNTY HEALTH DEPARTMENT REQUIREMENTS. DOMESTIC WATER PIPING SHALL BE PRESURE TESTED PER OPC SECTION 612.
  - GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL PIPE OR CSST. INSTALL AND TEST PER GAS COMPANY REQUIREMENTS AND PER ALL LOCAL, STATE AND FEDERAL CODES. INSTALL FULL SIZE DIRT LEG AND GAS COCK AT EACH APPLIANCE.
  - PROVIDE CHROMED COPPER SUPPLIES WITH STOP AND CHROME PLATED BRASS ESCUTCHEON PLATES AT WALL PENETRATIONS FOR ALL FIXTURES WITH EXPOSED SUPPLIES.
  - PROVIDE 1-1/4" CHROME PLATED CAST BRASS TAIL PIECE AND TRAP WITH CLEANOUT PLUG, CHROME PLATED COPPER SUPPLIES WITH STOP, CHROME PLATED BRASS ESCUTCHEON PLATES AT WALL PENETRATIONS FOR ALL SINKS AND LAVATORIES.
  - AT ADA SINKS AND LAVATORIES INSTALL OFFSET TRAP FOR HANDICAP ACCESS WITH TRAP POSITIONED AGAINST BACK WALL AND INSULATE TRAP AND SUPPLIES PER ADA GUIDELINES.
  - IT IS THE INTENT THAT THE CONTRACTOR PROVIDE COMPLETE SANITARY, WATER AND GAS PIPING SYSTEMS WITH ALL NECESSARY APPURTENANCES IN CONFORMANCE WITH ALL APPLICABLE ORDINANCES. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SUCH SYSTEM WHETHER ALL REQUIRED WORK IS INDICATED IN THE CONTRACT DOCUMENTS OR NOT.
  - DRAWINGS ARE SCHEMATIC IN NATURE AND CONTRACTOR IS RESPONSIBLE FOR FIELD COORDINATING AND ROUTING OF ALL PIPING ETC. WITH RESPECT TO EXISTING CONDITIONS. NEW CONSTRUCTION, ETC. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL OFFSETS, JOGS, TRANSITIONS, CORE DRILLS, WALL CUTS, LINTELS AND OTHER NECESSARY FITTINGS TO INSTALL WORK. WORK WHICH HAS BEEN INSTALLED AND HAS NOT BEEN COORDINATED WITH OTHER TRADES AND HAS TO BE RELOCATED SHALL BE DONE SO AT THE EXPENSE OF THIS CONTRACTOR.
  - CONTRACTOR IS TO SEAL ALL PENETRATIONS THROUGH EXTERIOR WALLS WEATHER TIGHT AND RODENT PROOF.
  - CONTRACTOR SHALL OBTAIN A COMPLETE SET OF PLANS AND BE FAMILIAR WITH THE ENTIRE PROJECT IN ORDER TO UNDERSTAND THE COMPLETE SCOPE OF THE PROJECT.
  - RUN TRAP PRIMERS TO ALL FLOOR DRAINS.

**PLUMBING SYMBOLS & ABBREVIATIONS**

SYMBOL	DESCRIPTION
DCW	DOMESTIC COLD WATER
DHW	DOMESTIC HOT WATER
SAN	SANITARY
V	VENT
AW	AIR ADMITTANCE VALVE
G	GAS
FD	FLOOR DRAIN
CO	CLEAN OUT
ECO	EXTERIOR CLEAN OUT
DM	BALL VALVE
GC	GAS COCK
RV	RELIEF VALVE
UN	UNION
GR	GAS REGULATOR
H	HOSE BIB / WALL HYDRANT
CE	CONNECT TO EXISTING



**PLUMBING, GAS PLANS**  
 SCALE: 1/4" = 1'-0"



**DUCTLESS SPLIT SYSTEM SCHEDULE**

- HP-1 DUCTLESS SPLIT SYSTEM OUTDOOR UNIT TO BE 2 TON MITSUBISHI MODEL MU2-SDXNA, 23.2 MBH COOLING, 26.5 MBH HEATING @ 47°F, 14.3 MBH HEATING @ 17°F, 2401, 22 MCA, 25 MOCP. PROVIDE WITH 2 INDOOR WALL MOUNT UNITS PER WM-1 SPECIFIED BELOW.
- WM-1 DUCTLESS SPLIT SYSTEM INDOOR WALL MOUNT UNIT TO BE 1 TON MITSUBISHI MODEL MS2-FS12NA, 12.8 MBH COOLING, 12.3 MBH HEATING, 2401, 1586 FLA, 1 MCA. INDOOR UNIT POWERED FROM OUTDOOR UNIT PER MANUFACTURER'S INSTRUCTIONS. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT AS SHOWN.
- HP-2 DUCTLESS SPLIT SYSTEM OUTDOOR UNIT TO BE 3 TON MITSUBISHI MODEL MU2-SDXNA, 33.2 MBH COOLING, 36.2 MBH HEATING @ 47°F, 21.8 MBH HEATING @ 17°F, 2401, 21 MCA, 25 MOCP. PROVIDE WITH 1 INDOOR WALL MOUNT UNIT PER WM-2 SPECIFIED BELOW.
- WM-2 DUCTLESS SPLIT SYSTEM INDOOR WALL MOUNT UNIT TO BE 1 TON MITSUBISHI MODEL MS2-SDXNA, 12.8 MBH COOLING, 12.3 MBH HEATING, 2401, 1,676 FLA, 1 MCA. INDOOR UNIT POWERED FROM OUTDOOR UNIT PER MANUFACTURER'S INSTRUCTIONS. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT AS SHOWN.

**EXHAUST FAN SCHEDULE**

- EF-1 CEILING EXHAUST FAN GREEN-ECK MODEL SP-A70, 74 CFM @ 0.12" ESP, 120V OPERATION, 11W. PROVIDE WITH WHITE CEILING GRILLE AND BACKDRAFT DAMPER.

**COVE HEATER SCHEDULE**

- CH-1 750W COVE HEATER BERKO MODEL HCC27512C, 120V OPERATION. PROVIDE WITH INTEGRAL THERMOSTAT.

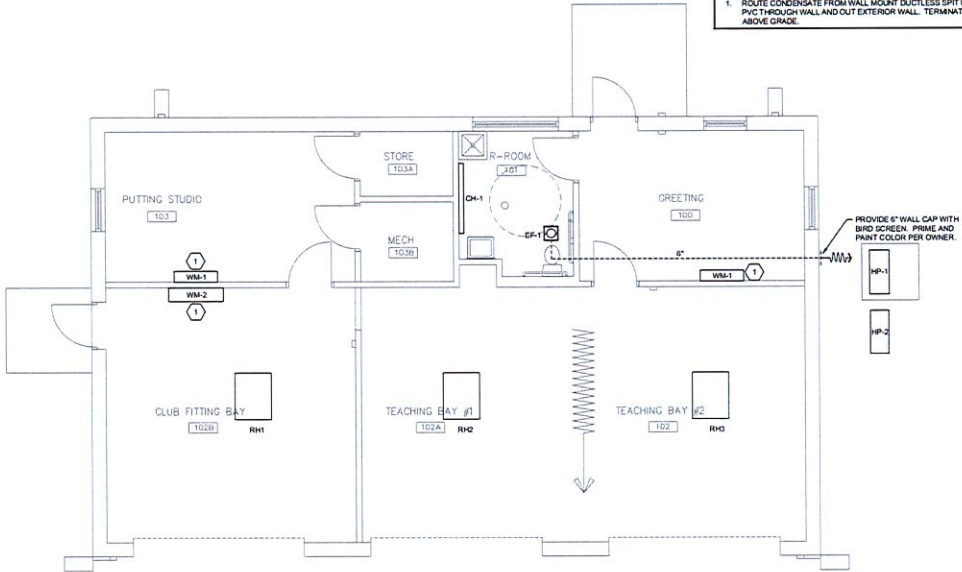
**RADIANT HEATER SCHEDULE**

- RH RE-VERBER-RAY NATURAL GAS DR SERIES, MODEL DR-55, 55,000 BTUH, 22X19X15" MOUNT AT 14.5 AFF, 7" H" GAS PRESSURE, 275V/50/1PH, 120 VOLT POWER & THERMOSTAT, SUSPENDING WITH CHAIN MOUNTS PER MFG. AT 20°-35° ANGLE.

**CODED NOTES**

- 1. ROUTE CONDENSATE FROM WALL MOUNT DUCTLESS SPLIT UNIT IN 1" PVC THROUGH WALL AND OUT EXTERIOR WALL. TERMINATE AT 15" ABOVE GRADE.

- HVAC GENERAL NOTES**
1. CONTRACTOR SHALL INSTALL ALL EQUIPMENT PER ALL LOCAL, STATE AND FEDERAL CODES, PER THE RECOMMENDATIONS OF THE MANUFACTURER AND PER ALL APPLICABLE GUIDELINES OF SMACNA AND ASHRAE.
  2. COORDINATE ALL EQUIPMENT LOCATIONS IN THE FIELD WITH THE GENERAL CONTRACTOR AND ALL OTHER TRADES. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF EQUIPMENT AND MATERIALS THAT HAS NOT BEEN SO COORDINATED AND CAUSES CONFLICTS.
  3. PROVIDE COMPLETE START-UP AND TESTING OF EQUIPMENT.
  4. HVAC CONTRACTOR RESPONSIBLE FOR CUTTING AND PATCHING OF ALL PENETRATIONS: ROOF, CEILING, FLOORS, WALLS, ETC.
  5. HVAC CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING COMPLETE SYSTEMS OF HVAC EQUIPMENT.
  6. PROVIDE A ONE YEAR WARRANTY ON LABOR AND MATERIAL.



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**PROJECT NAME**  
 GOLF TRAINING ACADEMY  
 (SHEET NO. 010)

**OWNER**  
 GOLF TRAINING ACADEMY  
 (SHEET NO. 010)

**DESIGN ARCHITECT & ARCHITECT OF RECORD**  
 S.V. O'NEAL, INC.  
 100 N. HARRIS AVENUE  
 HOUSTON, TEXAS 77002



**PROJECT STATUS**

PLANNING	PROGRAMMING	SCHEMATIC DESIGN	DESIGN DEVELOPMENT	CONSTRUCTION DOCUMENTS	REVISION	NOT FOR CONSTRUCTION
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REV	DATE	BY	CHKD
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**REVISION NUMBER**

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**SHEET NAME**  
 HVAC PLAN, NOTES

**SHEET NUMBER**  
H1

**DATE** 03/25/2021

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**PROJECT NAME**  
 GOLF TRAINING ACADEMY  
 GOLFANA, MISSOURI

**OWNER**  
 GOLF TRAINING ACADEMY  
 GOLFANA, MISSOURI

**DESIGN ARCHITECT & ARCHITECT OF RECORD**  
 KAY OWENS INC.  
 615 HUNTER STREET  
 ST. LOUIS, MISSOURI 63102  
 PHONE: 314.742.5000

**KRAMER ENGINEERS**  
 ELECTRICAL/MECHANICAL ENGINEERING  
 204 DICK CEMETERY ROAD  
 ST. LOUIS, MISSOURI 63118  
 PHONE: 314.232.9111  
 FAX: 314.232.9111

**PROJECT STATUS**

PLANNING  
 PROGRAMMING  
 SCHEMATIC DESIGN  
 DESIGN DEVELOPMENT  
 CONSTRUCTION DOCUMENTS  
 REVISIONS  
 RECORD DOCUMENTS  
 NOT FOR CONSTRUCTION

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**REVISION NUMBER**

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**SHEET NAME**  
 LIGHTING AND POWER PLANS, NOTES

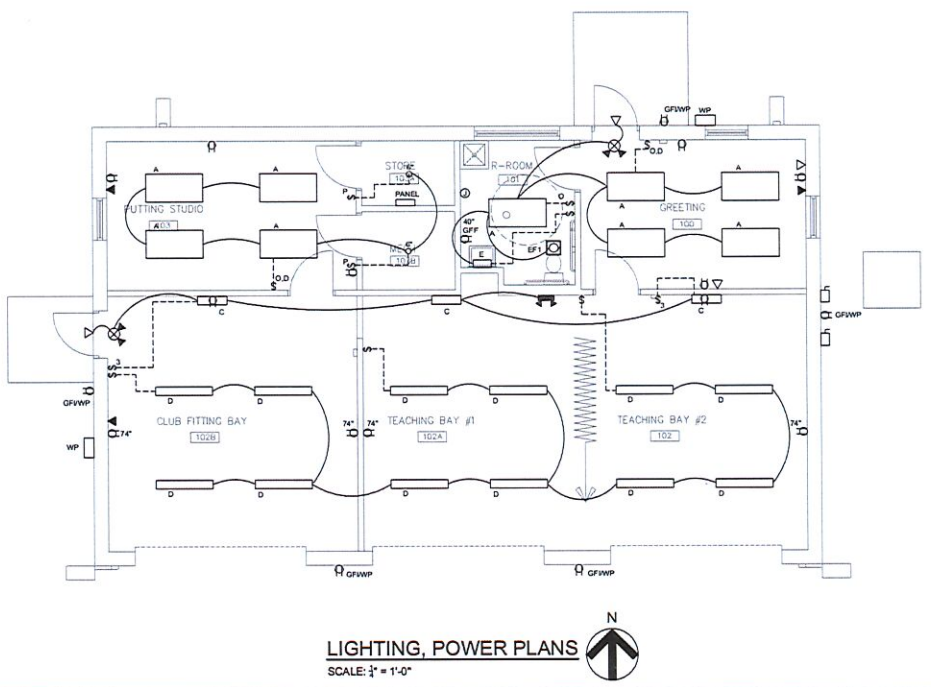
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**DATE**  
 03/25/2021

**ELECTRICAL SYMBOLS & ABBREVIATIONS**

SYMBOL	DESCRIPTION
□	DUPLEX RECEPTACLE
□	DOUBLE DUPLEX RECEPTACLE
●	SPECIAL POWER REQUIRED
□	JUNCTION BOX
□	DISCONNECT SWITCH
WP	WATER PROOF
GFI	GROUND FAULT INTERRUPTER
M	MOTOR
1/1'	HOT, NEUTRAL, GROUND
GRD	GROUND
C	CONDUIT
NL	NIGHT LIGHT
S	TOGGLE SWITCH (SPST)
S	THREE-WAY SWITCH
⊖	DIMMER SWITCH
⊖	CEILING OCCUPANCY SENSOR
⊖	CEILING VACANCY SENSOR
◁ DATA	SINGLE GANG BOX W/ 2-PC STUBBED ABOVE CEILING W/ PULL STRING, DATA CABLE AND DEVICES BY OTHERS
◁ AV	SINGLE GANG BOX W/ 2-PC STUBBED ABOVE CEILING W/ PULL STRING, W/ CABLES AND DEVICES BY OTHERS
◁ (R)	TELEPHONE JACKS (R) = NUMBER OF JACKS
◁ (R)	PHONE / DATA JACK (CAT5 HOMERUN) (R) = NUMBER OF PHONE / DATA JACKS
◁ (R)	DATA JACK (CAT5 HOMERUN) (R) = NUMBER OF DATA JACKS
⚡	GROUNDING ROD

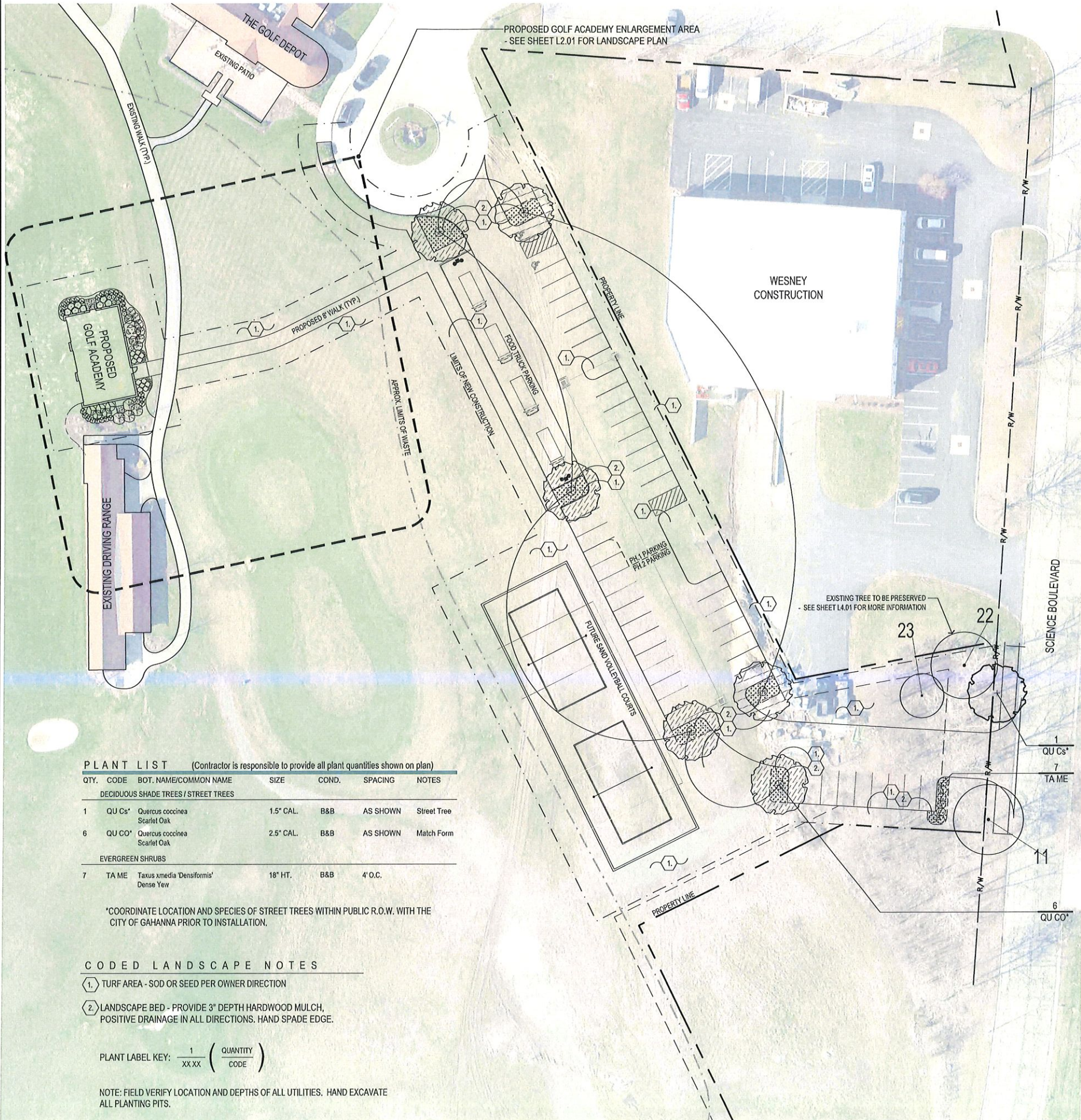
- ELECTRICAL GENERAL NOTES**
- ALL ELECTRICAL WORK SHALL BE PER ALL STATE AND LOCAL CODES AND THE NEC.
  - ALL WIRING SHALL BE COPPER, STRANDED, THIN OR THIN, #12 AND MINIMUM SIZE.
  - ACCEPTABLE WIRING METHODS: MC CABLE, AND COPPER WIRE IN EMT CONDUIT OR RIGID CONDUIT WHERE NOTED. WIRING TYPES MAY BE USED AS LONG AS THEY MEET THE NEC AND ARE INSTALLED PER CODE. MC CABLE OR FLEX CONDUIT MAY BE USED FOR FINAL CONNECTIONS FOR CHAIN MOUNTED OR RECESSED FIXTURES. REFER TO DRAWINGS FOR OTHER DETAILS ON WIRING/CONDUIT METHODS.
  - EXTERIOR WIRING SHALL BE RUN IN HEAVY WEIGHT GALVANIZED STEEL CONDUIT FOR RISERS AND BELOW GRADE IN SCHEDULE 40 PVC ELECTRICAL CONDUIT.
  - CARRY A GROUND WIRE WITH ALL CIRCUITS. SHARED NEUTRALS ARE NOT ACCEPTABLE. NO DOUBLE CONNECTED CIRCUIT BREAKERS ARE PERMITTED.
  - PANEL BOARDS TO BE BOLT ON TYPE NO OR LOAD CENTERS AS NOTED ON THE PLANS WITH COPPER BUSSES, GROUND BUS, AND NEUTRAL BUS.
  - PROVIDE LABELS AND TAGS FOR ALL PANEL BOARDS AND DISTRIBUTION EQUIPMENT. PROVIDE TYPED DIRECTORY FOR ALL PANEL BOARDS.
  - WIRE ALL EXIT AND EMERGENCY LIGHTS ON LOCAL LIGHTING CIRCUIT WITH HOT WIRE AHEAD OF SWITCHING OR LIGHTING CONTROLS.
  - SWITCHES AND RECEPTACLES SHALL BE SPEC GRADE, WHITE, RECEPTACLES TO BE 20 AMP, 125 VOLT RATED.
  - MOUNT ALL CONTROLS AND DEVICES AT HEIGHTS PER ADA. SWITCHES, CONTROLS, THERMOSTATS, PHONES: 48" TO TOP; RECEPTACLES: 18" AFF UNLESS NOTED OTHERWISE ON DRAWINGS.
  - RECESSED BOXES IN GENERAL TO BE STAMPED STEEL TYPE. RECESSED BOXES USED FOR RIGID WIRING SYSTEMS MAY BE THE PLASTIC TYPE. EXPOSED BOXES IN UNFINISHED SPACES TO BE STAMPED STEEL TYPE WITH STAMPED STEEL COVER PLATES. INTERIOR SURFACE MOUNTED BOXES OTHER THAN WIREMOLD TYPE BOXES SHALL BE CAST METAL TYPE WITH THREADED HUBS. EXTERIOR BOXES TO BE CAST METAL TYPE WITH THREADED HUBS AND WATER TIGHT COVER PLATES.
  - SEAL ALL UNDERGROUND CONDUITS WHICH ENTER A BUILDING WATER TIGHT PER THE NEC.
  - GROUNDING: GROUND SERVICE ENTRY PER THE NEC INCLUDING BONDING TO GROUND ROD, WATER SERVICE, BUILDING STEEL (IF EXISTING OR INSTALLED) AND FOOTER REBAR (IF INSTALLED). RUN GROUND WIRES WITH ALL WIRING RUNS.
  - PROVIDE A FULL YEAR WARRANTY ON LABOR AND MATERIALS.



**CODED NOTES**

1. -

9/18/2021 10:28 AM z:\p\planning and design\2021\09\18\2021\0918\01\010101\the golf depot site landscape plan



**PLANT LIST** (Contractor is responsible to provide all plant quantities shown on plan)

QTY.	CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
<b>DECIDUOUS SHADE TREES / STREET TREES</b>						
1	QU Cs*	Quercus coccinea Scarlet Oak	1.5" CAL.	B&B	AS SHOWN	Street Tree
6	QU CO*	Quercus coccinea Scarlet Oak	2.5" CAL.	B&B	AS SHOWN	Match Form
<b>EVERGREEN SHRUBS</b>						
7	TA ME	Taxus xmedia 'Densiformis' Dense Yew	18" HT.	B&B	4' O.C.	

\*COORDINATE LOCATION AND SPECIES OF STREET TREES WITHIN PUBLIC R.O.W. WITH THE CITY OF GAHANNA PRIOR TO INSTALLATION.

**CODED LANDSCAPE NOTES**

- ① TURF AREA - SOD OR SEED PER OWNER DIRECTION
- ② LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH, POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

PLANT LABEL KEY:  $\frac{1}{XX XX} \left( \frac{QUANTITY}{CODE} \right)$

NOTE: FIELD VERIFY LOCATION AND DEPTHS OF ALL UTILITIES. HAND EXCAVATE ALL PLANTING PITS.

**913 - LANDSCAPING REQUIREMENTS**

**913.10 - Street Tree Planting Requirements**

	REQUIRED	PROVIDED (PHASE I)	PROVIDED (PHASE II)
913.10(e) STREET TREE	<p>(e)</p> <p>45' MIN./50' MAX. SPACING FOR LARGE TREES 35' MIN./40' MAX. SPACING FOR MEDIUM TREES 25' MIN./30' MAX. SPACING FOR SMALL TREES</p> <p>THE TRUNK CALIPER MEASURED AT SIX INCHES ABOVE GROUND FOR ALL STREET TREES SHALL BE NO LESS THAN ONE AND ONE-HALF INCHES AND NO LONGER THAN TWO AND ONE-HALF INCHES</p>	TWO LARGE TREES AT 1-1/2" CAL. MIN FOR ±17' OF STREET FRONTAGE (EXCLUDING DRIVEWAY)	1 EXISTING STREET TREE (#1) AT 19" CALIPER, AND ONE NEW STREET TREE* PLANTING AT 1-1/2" CAL.  *COORDINATE LOCATION AND SPECIES WITH THE CITY OF GAHANNA PRIOR TO INSTALLATION.

**914 - TREE PRESERVATION, PLANTING, AND REPLACEMENT**

**914.05 - Minimum Trees Required**

	REQUIRED	PROVIDED (PHASE I)	PROVIDED (PHASE II)
914.05(a)(1) IMPERVIOUS AREA TREE	<p>(a)(1)</p> <p>ALL PROJECTS FOR WHICH AN FDP IS REQUIRED IN WHICH THERE ARE NEW STRUCTURES, PARKING AREAS, LOADING AREAS, OR OTHER IMPERVIOUS SURFACES SHALL PLANT A MINIMUM OF ONE SHADE TREE CALIPER INCH* PER 1,000 S.F. OF IMPERVIOUS SURFACE.</p> <p>*NEW TREE PLANTINGS SHALL BE NO LESS THAN 1-1/2" CAL. AND NO LARGER THAN 2-1/2". PROTECTED TREES AND PREFERRED TREE SPECIES THAT ARE PRESERVED ONSITE MAY BE SUBSTITUTED FOR THE REQUIREMENTS ABOVE</p>	28 SHADE TREE CALIPER INCHES FOR ±28,345 S.F. OF NEW IMPERVIOUS SURFACE.	23 INCHES OF SHADE TREE CALIPER PROVIDED WITH 18 INCHES OF PRESERVED EXISTING TREE #22, AND 2 TREE PLANTINGS TOTALING 5" PROVIDED BY 2 2.5" CALIPER TREES FOR ±16,902 S.F. OF PHASE I NEW IMPERVIOUS SURFACE.
		28 INCHES OF SHADE TREE CALIPER PROVIDED WITH 18 INCHES OF PRESERVED EXISTING TREE #22, AND 4 TREE PLANTINGS TOTALING 10" PROVIDED BY 4 2.5" CALIPER TREES FOR ±28,345 S.F. OF PROJECT TOTAL NEW IMPERVIOUS SURFACE. (SUM OF PHASES I&II)	

**1155 - OCT OFFICE, COMMERCE AND TECHNOLOGY DISTRICT**

**1155.06 - Landscaping and Screening**

	REQUIRED	PROVIDED (PHASE I)	PROVIDED (PHASE II)
1155.06(g)(1) PARKING LOT SCREENING SHRUB	<p>(g) SCREENING REQUIRED</p> <p>(1) PARKING LOT SCREENING. ALL PARKING AND VEHICULAR USE AREAS ADJACENT TO ANY PUBLIC RIGHT-OF-WAY SHALL BE SCREENED FROM VIEW BY USE OF AN EVERGREEN HEDGE, MASONRY WALL (BRICK OR STONE), MOUND, OR COMBINATION THEREOF TO A HEIGHT OF 3'</p>	3' MIN. HT. SCREEN	3' MIN. HT. EVERGREEN HEDGE  *18" IN AVG. HT. WHEN PLANTED, AND SHALL CONFORM TO THE OPACITY AND OTHER REG.S WITH 4 YEARS)

**CENTRAL PARK OF GAHANNA, LIMITED OVERLAY TEXT (L,M-1)**

**6 - Landscaping and Screening**

	REQUIRED	PROVIDED (PHASE I)	PROVIDED (PHASE II)
6 A. 1. a. LANDSCAPING AREA	<b>A. INTERIOR PARKING LOT STANDARDS</b>		
6 A. 1. c. PARKING LOT TREE	<p>1. LANDSCAPING IN PARKING AREAS SHALL BE DISPERSED THROUGHOUT THE PENINSULAS AND ISLANDS. THE MINIMUM PARKING ISLAND SIZE SHALL BE 180 SQUARE FEET.</p> <p>a. THE REQUIRED AMOUNT OF INTERIOR LANDSCAPING AREA SHALL BE FIVE PERCENT (5%) OF THE TOTAL AREA OF THE PARKING LOT PAVEMENT.</p> <p>c. ONE TREE PER 1,000 SQUARE FEET OF REQUIRED LANDSCAPE AREA OR PORTION THEREOF SHALL BE REQUIRED. THE MINIMUM CALIPER OF SUCH TREES SHALL BE 2".</p>	1,166 S.F. (5%) OF INTERIOR LANDSCAPING AREA FOR ± 23,319 S.F. OF PARKING LOT PAVEMENT	651 S.F. (5.5%) OF INTERIOR LANDSCAPING AREA FOR ± 11,875 S.F. OF PHASE I PARKING LOT PAVEMENT.
		TWO 2" CAL. TREES FOR 1,166 S.F. OF REQUIRED LANDSCAPE AREA	ONE 2.5" CAL. TREE FOR 594 S.F. OF PHASE I REQUIRED LANDSCAPE AREA
			TWO 2.5" CAL. TREES FOR 1,166 S.F. OF REQUIRED LANDSCAPE AREA (SUM OF PHASES I & II)
6 A'. 1. a. BUILDING FOUNDATION SHRUBS/PERENNIALS	<b>A'. BUILDING LANDSCAPING</b>		
6 A'. 2. a. I. INTERIOR TREE	<p>1. FOUNDATION PLANTING REQUIRED</p> <p>a. FOR ALL BUILDINGS A MINIMUM OF 5 SHRUBS AND 2 FLOWERING PERENNIALS SHALL BE PROVIDED FOR EACH 10 LINEAR FEET OF BUILDING ELEVATION.</p> <p>2. INTERIOR TREES REQUIRED. ALL BUILDINGS WILL PROVIDE A MINIMUM TREE PLANTING WITH THE INTERIOR OF THE SITE TO HELP PROVIDE SHADE AND INCREASE AESTHETIC VALUE</p> <p>a. I. FOR BUILDINGS HAVING A 20,000 SQUARE FOOT FOOTPRINT OR LESS - THE PROPERTY OWNER SHALL PROVIDE A TOTAL OF 1" IN TREE CALIPER PER 1,000 SQUARE FEET OF BUILDING FOOTPRINT (OR FRACTION THEREOF). THE MINIMUM CALIPER OF SUCH TREES SHALL BE 2".</p> <p>e. TO ENCOURAGE THE PRESERVATION OF EXISTING TREES THE DEVELOPER MAY COUNT EXISTING TREES TOWARD THIS REQUIREMENT.</p>	65 SHRUBS AND 26 FLOWERING PERENNIALS FOR ± 128 L.F. OF NEW BUILDING PERIMETER (EXCLUDING OVERHEAD DOORS)	65 SHRUBS AND 26 FLOWERING PERENNIALS FOR ± 128 L.F. OF NEW BUILDING PERIMETER (EXCLUDING OVERHEAD DOORS)
		2" IN TREE CALIPER FOR ±1,581 S.F. OF BUILDING FOOTPRINT	12 INCHES OF PRESERVED EXISTING TREE #23 APPLIED TO 6 A'. 2. a. I. REQUIREMENTS. SEE SHEET L4.01 FOR MORE INFORMATION.

HORIZONTAL SCALE  
IN FEET  
0 30 60

DRAWN	PEM	CHECKED	DATE	NO.			
			06/18/2021				

PLAN ISSUE/REVISION

**G2** PLANNING + DESIGN

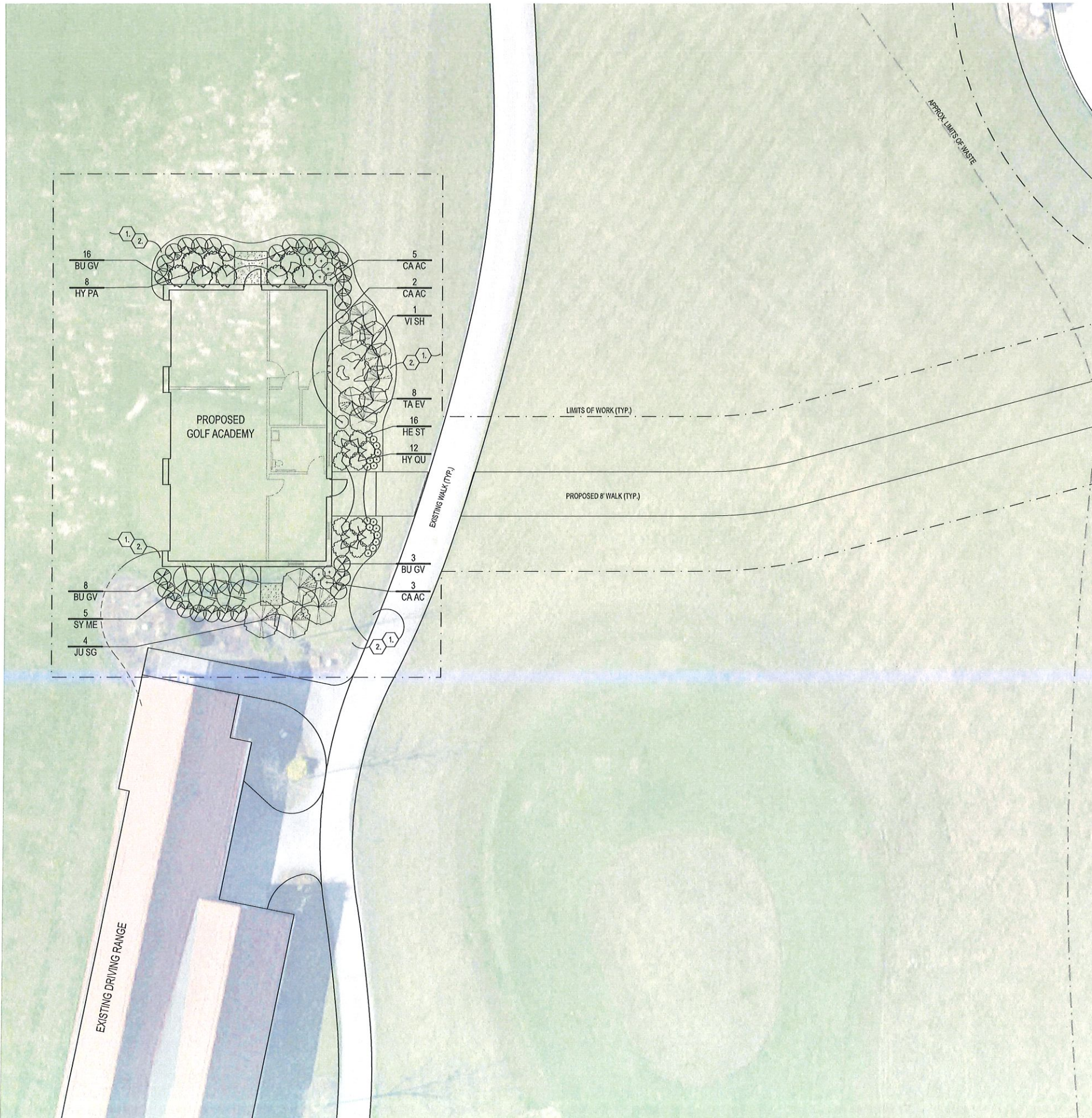
205 W. MARKET STREET, SUITE 200  
COLUMBIANA, OH 43085

**THE GOLF DEPOT  
FOOD TRUCK VENUE  
SITE LANDSCAPE PLAN**

JOB NUMBER:  
OC1018

**L1.01**

0/10/2021 10:28 AM z:\p\planning and design\g2\projects\lva\2020\golf depot food truck\lva\21010\_lva\_golf depot food truck\lva.dwg pld



**PLANT LIST** (Contractor is responsible to provide all plant quantities shown on plan)

QTY.	CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
<b>EVERGREEN SHRUBS</b>						
27	BU GV	Buxus x 'Green Velvet' Green Velvet Boxwood	15-18" HT.	#3 Cont.	30" O.C.	
4	JU SG	Juniperus chinensis 'Sea Green' Sea Green Juniper	24" HT.	#5 Cont.	PER PLAN	
8	TA EV	Taxus x media 'Everlow' Everlow Yew	15-18" HT.	#3 Cont.	PER PLAN	
<b>FLOWERING / DECIDUOUS SHRUBS</b>						
8	HY PA	Hydrangea paniculata 'Jane' Little Lime Hydrangea	18-24" HT.	#3 Cont.	PER PLAN	
12	HY QU	Hydrangea quercifolia 'Munchkin' Munchkin Oakleaf Hydrangea	15-18" HT.	#2 Cont.	PER PLAN	
1	VI SH	Viburnum plicatum l. tomentosum 'Shasta' Shasta Doublefile Viburnum	24-30" HT.	#5 Cont.	PER PLAN	
5	SY ME	Syringa meyeri 'Palibin' Palibin Dwarf Korean Lilac	24-30" HT.	#5 Cont.	PER PLAN	
<b>PERENNIALS/ORNAMENTAL GRASSES</b>						
16	HE ST	Hemerocallis 'Stella d'Oro' Stella d'Oro Daylily		#1 Cont.	PER PLAN	
10	CA AC	Calamagrostis acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass		#2 Cont.	PER PLAN	

**C O D E D   L A N D S C A P E   N O T E S**

- ① TURF AREA - SOD OR SEED PER OWNER DIRECTION
- ② LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH, POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

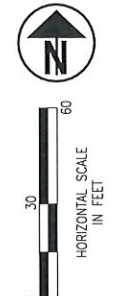
PLANT LABEL KEY:  $\frac{1}{XX\ XX} \left( \begin{matrix} \text{QUANTITY} \\ \text{CODE} \end{matrix} \right)$

NOTE: FIELD VERIFY LOCATION AND DEPTHS OF ALL UTILITIES. HAND EXCAVATE ALL PLANTING PITS.

**CENTRAL PARK OF GAHANNA, LIMITED OVERLAY TEXT (L.M-1)**

**6 - Landscaping and Screening**

	REQUIRED	PROVIDED (PHASE I)
<p><b>6 A<sup>2</sup>. 1. a. BUILDING FOUNDATION SHRUBS/PERENNIALS</b></p> <p><b>6 A<sup>2</sup>. 2. a. I. INTERIOR TREE</b></p>	<p><b>A<sup>2</sup>. BUILDING LANDSCAPING</b></p> <p><b>1. FOUNDATION PLANTING REQUIRED</b> a. FOR ALL BUILDINGS A MINIMUM OF 5 SHRUBS AND 2 FLOWERING PERENNIALS SHALL BE PROVIDED FOR EACH 10 LINEAR FEET OF BUILDING ELEVATION.</p> <p><b>2. INTERIOR TREES REQUIRED.</b> ALL BUILDINGS WILL PROVIDE A MINIMUM TREE PLANTING WITH THE INTERIOR OF THE SITE TO HELP PROVIDE SHADE AND INCREASE AESTHETIC VALUE a. I. FOR BUILDINGS HAVING A 20,000 SQUARE FOOT FOOTPRINT OR LESS - THE PROPERTY OWNER SHALL PROVIDE A TOTAL OF 1" IN TREE CALIPER PER 1,000 SQUARE FEET OF BUILDING FOOTPRINT (OR FRACTION THEREOF). THE MINIMUM CALIPER OF SUCH TREES SHALL BE 2". b. TO ENCOURAGE THE PRESERVATION OF EXISTING TREES THE DEVELOPER MAY COUNT EXISTING TREES TOWARD THIS REQUIREMENT.</p>	<p>65 SHRUBS AND 26 FLOWERING PERENNIALS FOR ± 128 L.F. OF NEW BUILDING PERIMETER (EXCLUDING OVERHEAD DOORS)</p> <p>2" IN TREE CALIPER FOR ±1,581 S.F. OF BUILDING FOOTPRINT</p> <p>65 SHRUBS AND 26 FLOWERING PERENNIALS FOR ± 128 L.F. OF NEW BUILDING PERIMETER (EXCLUDING OVERHEAD DOORS)</p> <p>12 INCHES OF PRESERVED EXISTING TREE #3 APPLIED TO 6 A<sup>2</sup>. 2. a. I. REQUIREMENTS. SEE SHEET L4.01 FOR MORE INFORMATION.</p>



NO.	DATE	PLAN ISSUE/REVISION	DRAWN	CHECKED	DATE
			PEM		08/18/2021



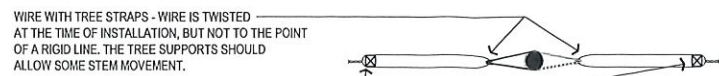
**THE GOLF DEPOT  
FOOD TRUCK VENUE  
GOLF ACADEMY ENLARG. L.S. PLAN**

JOB NUMBER:  
**OC1018**

**L2.01**

**GENERAL NOTES**

- CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH DRAWINGS FOR ALL DIVISIONS OF WORK.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PROJECT SITE PRIOR TO BIDDING THE WORK.
- THE BASE MAPPING/SURVEY WAS PROVIDED BY "HULL & ASSOCIATES, INC." CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WITH WORK.
- CONTACT OHIO UTILITY PROTECTION SERVICE (OUPS) 1-800-362-2764 AND ALL LOCAL UTILITY SERVICES FOR UTILITY LOCATIONS PRIOR TO COMMENCING WITH WORK.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCING WITH WORK.
- THE CONTRACTOR SHALL COORDINATE ALL WORK AND BE RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCE AND PROCEDURES OF WORK.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZED LOCAL PRACTICES.
- CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THE DRAWINGS AS WELL AS ANY DISCOVERED DURING THE CONSTRUCTION PROCESS.
- CONTRACTOR SHALL COORDINATE ACCESS AND STAGING AREAS WITH THE OWNER'S REPRESENTATIVE.
- THE LIMIT OF CONSTRUCTION LINE SHOWN DEFINES THE LIMITS OF WORK IN THIS CONTRACT. THERE MAY BE INSTANCES WHERE EROSION PROTECTION DEVICES AND UTILITY SYSTEMS EXTEND BEYOND THE PROJECT LIMITS LINE IN ORDER TO SUCCESSFULLY COMPLETE OPERATIONS AND/OR TIE INTO ADJACENT SYSTEMS.
- THE CONTRACTOR SHALL KEEP ALL DRAINAGE FACILITIES AFFECTED BY HIS CONSTRUCTION OPERATIONS CLEAN AND FULLY OPERATIONAL AT ALL TIMES.
- MAINTAIN ALL EXISTING EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCE, ORANGE GEO FENCE AND/OR OTHER MEASURES) DURING CONSTRUCTION. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO MINIMIZE ADVERSE IMPACTS TO THE ADJACENT WATER BODIES, SURFACES AND STORM SEWERS ACCORDING TO ALL APPLICABLE FEDERAL/STATE LAWS AND REGULATIONS.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WITH WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS. NO WORK SHALL BE DONE IN AREAS WHERE SUCH DISCREPANCIES EXIST. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- REPORT ALL EXISTING DAMAGE OF EXISTING SITE IMPROVEMENTS TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT DAMAGE.
- CONTRACTOR SHALL PROTECT, BY WHATEVER MEANS NECESSARY, THE EXISTING SITE IMPROVEMENTS TO REMAIN. ALL DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST TO THE OWNER. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF ANY DAMAGE OCCURS.
- ALL AREAS WITHIN THE DRILINES OF EXISTING TREES SHALL REMAIN FREE OF CONSTRUCTION MATERIALS, DEBRIS, VEHICLES AND FOOT TRAFFIC AT ALL TIMES. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING, BARRICADES AND/OR OTHER SUITABLE GUARDS OUTSIDE DRIP LINE (OUTSIDE PERIMETER OF BRANCHES) TO PROTECT TREES AND PLANT MATERIAL TO REMAIN. NO WORK SHALL BE PERFORMED WITHIN THE DRILINE OF EXISTING TREES UNLESS INDICATED. ALL WORK INDICATED TO BE PERFORMED WITHIN THE DRILINE OF TREES SHALL BE DONE BY HAND AND CARE SHALL BE TAKEN TO MINIMIZE DISTURBANCE TO THE TREE ROOTS.
- CONTRACTORS SHALL COORDINATE ALL WORK WITH RELATED TRADES AND THE GENERAL CONSTRUCTION OF THE PROJECT SO AS NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS OR THE CONTRACTORS OWN WORK.
- EACH CONTRACTOR SHALL VERIFY THE CONDITION AND COMPLETENESS OF ALL WORK PERFORMED BY OTHERS IN RELATION TO HIS/HER PROJECT WORK RESPONSIBILITIES INCLUDING THE CHECKING OF EXISTING ELEVATIONS OR STRUCTURES PRIOR TO INITIATING CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE IF ANY SITE CONDITIONS ARE INCOMPLETE, MISSING OR DAMAGED.
- ALL CONSTRUCTION DEBRIS AND REMOVED ITEMS SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- NOTIFY OWNER'S REPRESENTATIVE 72 HOURS IN ADVANCE OF ANY PLANNED UTILITY INTERRUPTION.
- CONTRACTOR SHALL CLEAN THE WORK AREAS AT THE END OF EACH WORKING DAY. ALL MATERIALS, PRODUCTS AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION.
- THE PLANS ASSUME THAT THE LAYOUT AND STAKING WILL BE ACCOMPLISHED USING TOTAL STATIONING / DIGITAL METHODS. ANY INFORMATION PROVIDED IS INTENDED TO SUPPORT INFORMATION ALREADY CONTAINED IN CAD FILES USED FOR DOCUMENTING LAYOUT AND STAKING. CAD FILES DELINEATING ALL GRADING AND HARDSCAPE ELEMENTS SHOWN IN THESE PLANS CAN BE PROVIDED TO THE CONTRACTOR UPON REQUEST.
- CONTRACTOR SHALL EMPLOY SKILLED PERSONNEL AND USE EQUIPMENT NECESSARY TO ENSURE THAT ALL WORK IS PROFESSIONALLY AND PROPERLY INSTALLED AND IN FULL COMPLIANCE WITH THE PLANS AND DETAILS.
- CONTRACTOR SHALL COMPLY WITH STATE AND LOCAL LAWS AND REGULATIONS REGARDING NOTIFICATION OF EXISTING GAS AND OIL PIPELINE COMPANY OWNERS. EVIDENCE OF SUCH NOTICE SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WITH WORK.



2' X 2' X 8' OPPOSING WOOD STAKES IN LINE WITH PREVAILING SUMMER WIND

**STAKING PLAN DETAIL**

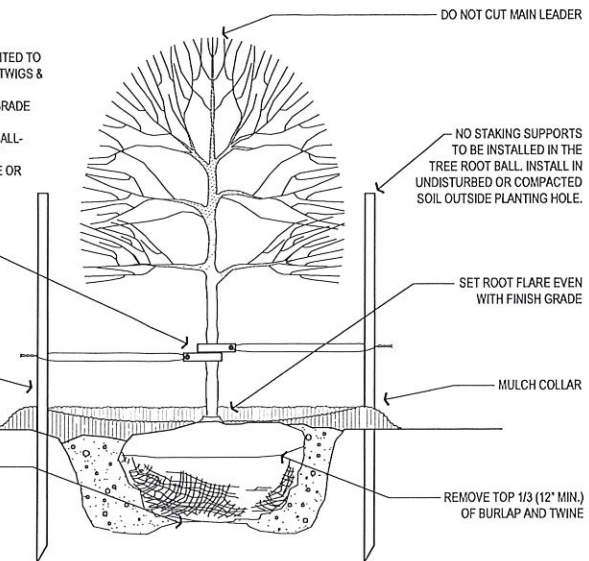
NOTES:  
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. PLANT TREES AND EVERGREENS SO THE ROOT FLARE IS 2'-3" ABOVE FINISH GRADE

\*DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS

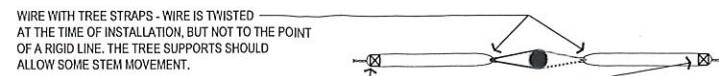
WIRE WITH TREE STRAPS. TWO STRAPS PER TREE. ATTACH 1/3 OF THE DISTANCE FROM GROUND TO FIRST BRANCH - SEE PLAN DETAIL ABOVE

2' X 2' X 8' WOOD STAKE - SEE PLAN DETAIL ABOVE

SET ROOT BALL ON RAISED PEDESTAL OF COMPACTED OR UNDISTURBED SOIL - ADJUST AS NECESSARY TO ENSURE THAT ROOT FLARE IS NOT BELOW FINISH GRADE.



**A DECIDUOUS TREE**  
SCALE: 1/2" = 1'-0"



2' X 2' X 8' OPPOSING WOOD STAKES IN LINE WITH PREVAILING SUMMER WIND

**STAKING PLAN DETAIL**

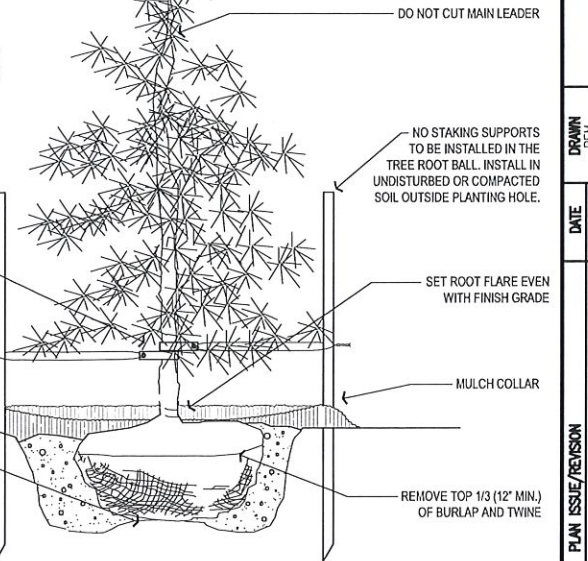
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THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. PLANT TREES AND EVERGREENS SO THE ROOT FLARE IS 2'-3" ABOVE FINISH GRADE

\*DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS

WIRE WITH TREE STRAPS. TWO STRAPS PER TREE, ATTACH AT 1/3 THE HEIGHT OF TREE

2' X 2' X 8' WOOD STAKE - SEE PLAN DETAIL ABOVE

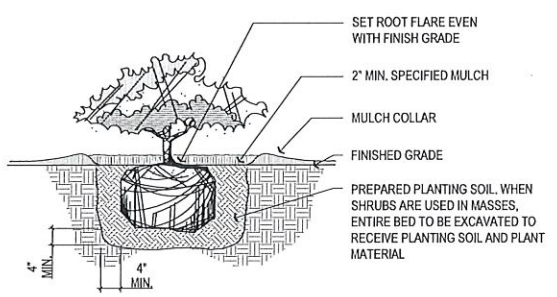
SET ROOT BALL ON RAISED PEDESTAL OF COMPACTED OR UNDISTURBED SOIL - ADJUST AS NECESSARY TO ENSURE THAT ROOT FLARE IS NOT BELOW FINISH GRADE.



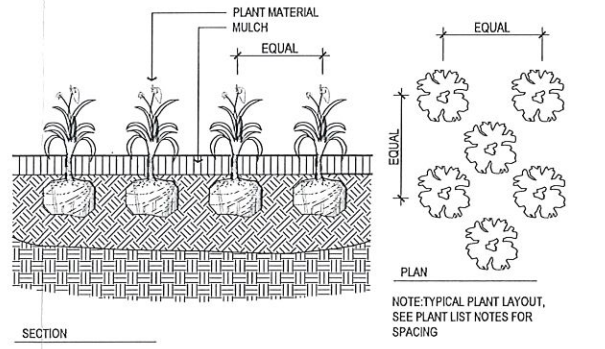
**B EVERGREEN TREE**  
SCALE: 1/2" = 1'-0"

**LANDSCAPE NOTES**

- STAKE ALL BED LINES AND TREE LOCATIONS FOR THE LANDSCAPE ARCHITECT'S REVIEW PRIOR TO INSTALLATION. ALL PLANTING PROCEDURES ARE SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT AND THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES FOUND AT NO ADDITIONAL COST TO THE OWNER.
- SECURE PLANT MATERIAL AS SPECIFIED ON PLANS. IN THE EVENT THAT PLANT MATERIALS SPECIFIED ARE NOT AVAILABLE, CONTACT LANDSCAPE ARCHITECT FOR APPROVED SUBSTITUTIONS. NO SUBSTITUTIONS FOR PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.
- VERIFY THAT ALL PLANTING PRODUCTS, PLANT MATERIAL, AND PLANT QUANTITIES DELIVERED TO THE SITE MATCH WHAT IS INDICATED ON THE PLANS AND SPECIFICATIONS.
- PROTECT ALL PLANT MATERIAL DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS, TRUNKS, BRANCHES AND THE DESICCATION OF LEAVES. PROTECT ALL PLANT MATERIAL DURING SHIPPING WITH SHADE CLOTH OR SHIP WITH ENCLOSED TRANSPORT. MAINTAIN PROTECTIONS AND HEALTH OF PLANT MATERIAL STORED ON SITE. HANDLE ALL TREES WITH NYLON STRAPS. NO CHAINS OR CABLES WILL BE ALLOWED. REMOVE UNACCEPTABLE PLANT MATERIAL IMMEDIATELY FROM THE SITE.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL FORMED, TRUE TO SPECIES, HARDENED OFF WITH VIGOROUS ROOT SYSTEMS, FULL CROWN AND CANOPIES, AND FREE FROM DISEASE, PESTS AND INSECTS, AND DEFECTS SUCH AS KNOTS, SUN SCALD, WINDBURN, LEAF DIS-COLORATION, IRREGULAR BRANCHING OR INJURIES.
- ALL ROOT BALLS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK".
- ALL PLANT MATERIAL DELIVERED TO THE SITE IS SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT BEFORE, DURING AND AFTER INSTALLATION.
- PROVIDE PLANT SAMPLES OR PHOTOGRAPHS OF EACH PLANT SPECIFIED TO THE LANDSCAPE ARCHITECT FOR COMPLIANCE REVIEW PRIOR TO INSTALLATION.
- TEST FILL ALL TREE AND PLANTING PITS WITH WATER, PRIOR TO PLANTING, TO ASSURE PROPER SOIL PERCOLATION. PITS WHICH DO NOT ADEQUATELY DRAIN SHALL BE FURTHER EXCAVATED TO A DEPTH SUFFICIENT FOR DRAINAGE TO OCCUR AND/OR BACKFILLED WITH SUITABLE DRAINAGE GRAVEL. NO ALLOWANCES SHALL BE MADE FOR PLANT MATERIAL LOSS DUE TO IMPROPER DRAINAGE. CONTRACTOR SHALL REPLACE LOST PLANT MATERIAL WITH SAME SIZE AND SPECIES AT NO ADDITIONAL COST TO OWNER.
- ALL PLANT MATERIALS, INCLUDING RELOCATED PLANT MATERIAL, SHALL BE PLANTED IN A PROFESSIONAL MANNER TYPICAL TO THE INDUSTRY STANDARDS OF THE AREA TO ASSURE COMPLETE SURVIVABILITY OF ALL INSTALLED PLANT MATERIALS AS WELL AS TO PROVIDE AN AESTHETICALLY APPROVED PROJECT. CONTRACTOR SHALL REFER TO THE PLANTING DETAILS FOR MINIMUM SIZE AND WIDTH OF PLANTING PITS AND BEDS, GUYING AND STAKING, MULCHING, AND OTHER PLANTING REQUIREMENTS.
- ALL PLANTING AREAS SHALL BE WEED FREE PRIOR TO PLANTING INSTALLATION.
- REMOVE ALL PLANTING AND LANDSCAPE DEBRIS FROM THE PROJECT SITE AND SWEEP AND WASH CLEAN ALL PAVED AND FINISHED SURFACES AFFECTED BY THE LANDSCAPE INSTALLATION.
- REFER TO GENERAL NOTES FOR ADDITIONAL INSTRUCTIONS.



**C SHRUB**  
SCALE: 1/2" = 1'-0"



**D PERENNIALS & GROUNDCOVERS**  
SCALE: 1" = 1'-0"

NO.	DATE	PLAN ISSUE/REVISION	DRAWN	CHECKED	DATE
			PEM		06/18/2021

**G2**  
PLANNING + DESIGN  
707 W. ROAD STREET, 3RD FLOOR  
COLUMBUS, OH 43215

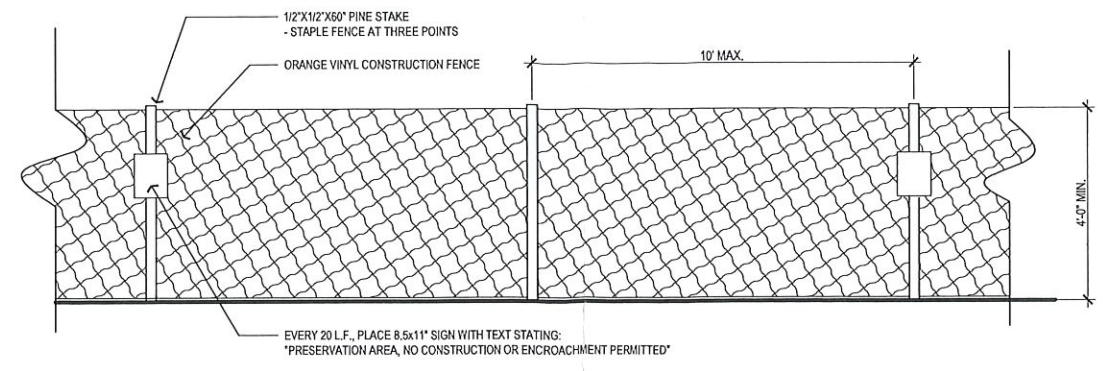
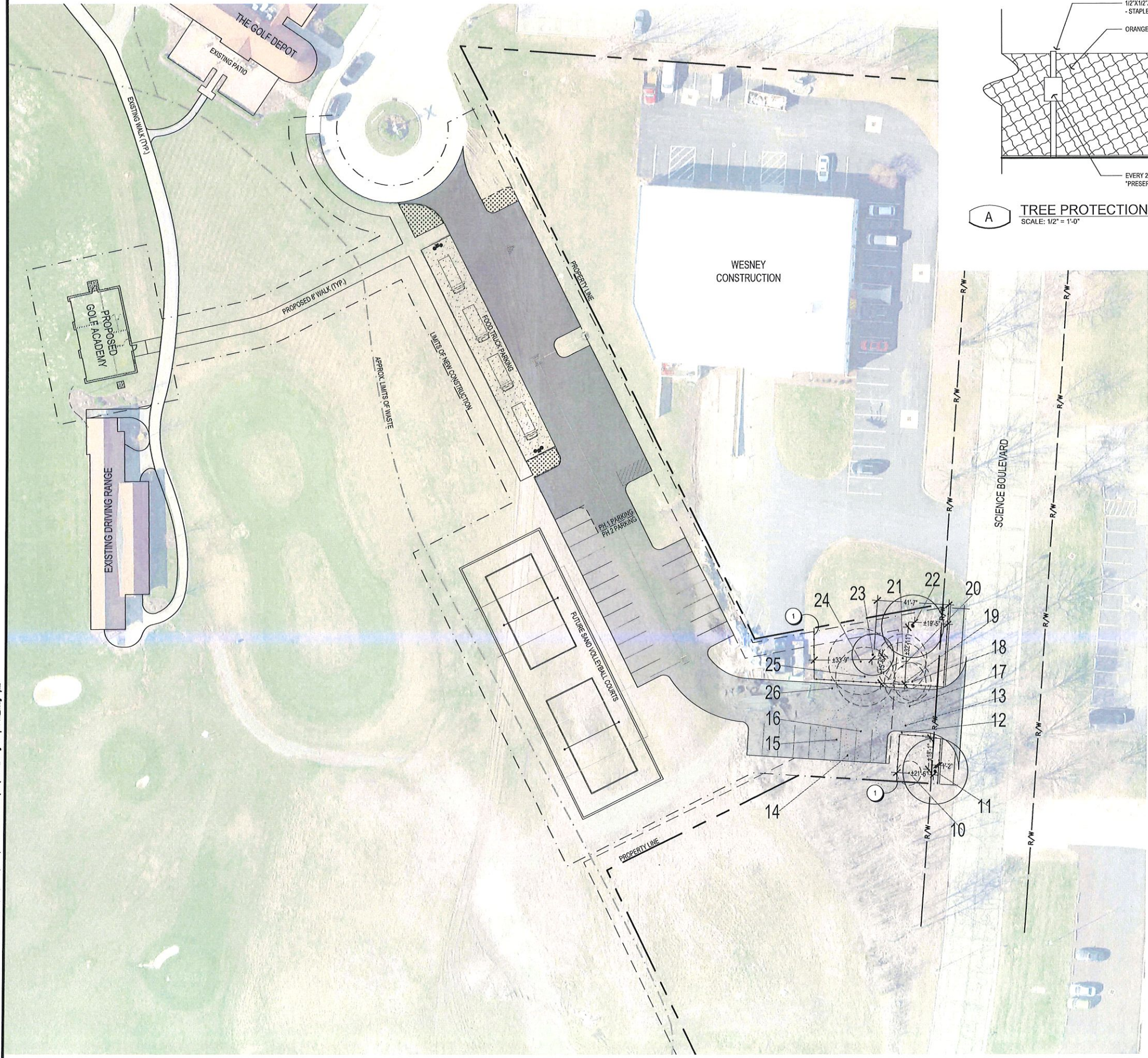
**THE GOLF DEPOT  
FOOD TRUCK VENUE  
LANDSCAPE DETAILS**

JOB NUMBER:  
OCIO18

**L3.01**

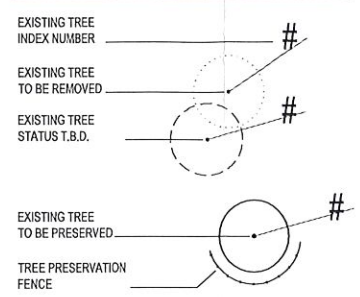
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9/10/2021 10:39 AM z:\p\planning and design\g2 projects\hwy 200\golf depot food truck venue\l4.01\l4.01 tree pres. plan\l4.01 tree pres. plan.dwg



**A** TREE PROTECTION FENCE  
SCALE: 1/2" = 1'-0"

**TREE PRESERVATION KEY**



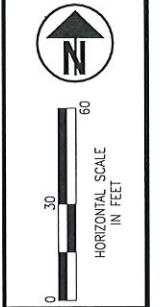
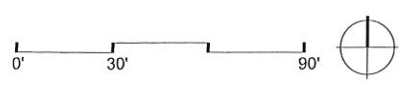
**CODED LAYOUT & MATERIALS NOTES**

KEY	ITEM	REFERENCE	NOTES
1	TREE PROTECTION FENCE	A L4.01	SEE DETAIL A, THIS SHEET

**EXISTING TREE INDEX**

TREE #	SIZE	SPECIES	CONDITION	STATUS
1	NOT USED	NOT USED	NOT USED	NOT USED
2	NOT USED	NOT USED	NOT USED	NOT USED
3	NOT USED	NOT USED	NOT USED	NOT USED
4	NOT USED	NOT USED	NOT USED	NOT USED
5	NOT USED	NOT USED	NOT USED	NOT USED
6	NOT USED	NOT USED	NOT USED	NOT USED
7	NOT USED	NOT USED	NOT USED	NOT USED
8	NOT USED	NOT USED	NOT USED	NOT USED
9	NOT USED	NOT USED	NOT USED	NOT USED
10	7	COTTONWOOD	FAIR	T.B.D.
11	19	OAK	GOOD	OFF-SITE (ST. TREE)
12	32	COTTONWOOD	GOOD	REMOVE
13	17	COTTONWOOD	POOR	REMOVE
14	6	MAPLE	FAIR	REMOVE
15	13	OAK	GOOD	REMOVE
16	18	MAPLE	GOOD	REMOVE
17	10	COTTONWOOD	FAIR	REMOVE
18	11	CHERRY	GOOD	T.B.D.
19	12	COTTONWOOD	GOOD	T.B.D.
20	14	COTTONWOOD	GOOD	T.B.D.
21	14	COTTONWOOD	GOOD	T.B.D.
22	18	COTTONWOOD	GOOD	PRESERVE
23	12	CHERRY	GOOD	PRESERVE
24	19	OAK	GOOD	T.B.D.
25	17	OAK	GOOD	T.B.D.
26	13	BLACK LOCUST	GOOD	T.B.D.

TREE PRESERVATION CREDIT CALCULATIONS			
	INCHES PRESERVED	CATEGORY CREDIT	SUBTOTAL CREDIT
D.B.H. OF PRESERVED TREES			
6"-19" (1 inch credit) 1 inch preserved	30	1X	30
≥20" (1.5" inch credit) 1 inch preserved	0	1.5X	0
≥20" Preferred Species (2" inch credit) 1 inch preserved	0	2X	0
<b>TOTAL PRESERVED INCHES CREDIT</b>			<b>30</b>



NO.	PLAN ISSUE/REVISION	DATE	DRAWN PEM	CHECKED	DATE
					06/18/2021



**THE GOLF DEPOT  
FOOD TRUCK VENUE  
TREE PRESERVATION PLAN**

JOB NUMBER:  
OCIO18

**L4.01**



# OWP-FC-116-LED

LED Slimline Full Cut-Off Wall Pack Series

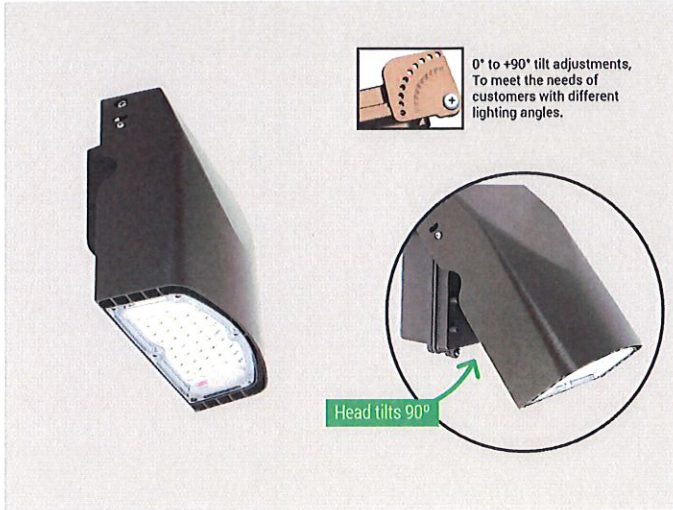
up to 40 Wattage / up to 5000 Lumens

Catalog Number:

Project Name:

Note:

Type:



### APPLICATIONS:

Slim wall pack is available in two sizes for a variety of applications including building perimeter, entrances, stairways and security lighting. OWP series of luminaries provides a low-profile architectural style with the power of bright, energy efficient LEDs. It has a rugged aluminum construction with multi-mount capabilities. 0° to +90° tilt adjustments. For a building that has a modern or futuristic look.

### FEATURES:

#### Construction

Sealed die-casting profile for outdoor applications. Suitable for applications requiring 3G testing prescribed by ANSI C136.31.

#### Optics

Light engines are available in standard 3000K/4000 K and 5000 K (70 CRI) configurations. Scalable Lumen Packages from 3,500 to 5000 Lumens. UV coated at lens provide outstanding performance, uniformity and glare control.

#### Electrical

Standard drivers feature electronic universal voltage (120-277V 50/60Hz) operation. Greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments.

#### Lifespan

Estimated 50,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

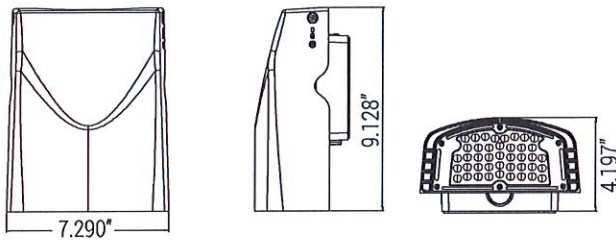
#### Warranty

Five-year warranty.

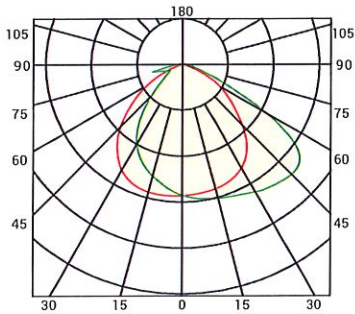
#### Applications

Security, pathway and perimeter lighting, Building entryways and walkways.

### DIMENSION:



### PHOTOMETRIC:



### SPECIFICATIONS:

<b>LUMENS</b>	1500 / 3500 / 5000 lumens
<b>WATTAGE</b>	12W / 27W / 40W
<b>CCT</b>	30K, 40K, 50K
<b>CRI</b>	70
<b>DIMMING</b>	0-10V Dimming
<b>LIGHT EFFICIENCY</b>	128 lumens/watt
<b>VOLTAGE</b>	120-277 VAC
<b>POWER FREQUENCY</b>	50/60 Hz
<b>FINISH</b>	Bronze, Black, White
<b>APPLICABLE ENVIRONMENT</b>	Dry/Damp/Wet location
<b>WORKING TEMPERATURE</b>	-40°C to 45°C



Ordering Guide > Example: OWP-FC-116-LED-5000L-MVOLT-40K-BZ

OWP-FC-116-LED						
<b>SERIES</b>	<b>PERFORMANCE</b>	<b>DIMMING</b>	<b>VOLTAGE</b>	<b>CCT</b>	<b>FINISH</b>	<b>ACCESSORIES</b>
OWP-FC-116-LED	1500L - 1500 lumens 3500L - 3500 lumens 5000L - 5000 lumens	DIM10 - 0-10V dimming	MVOLT - 120/277V	30K - 3000K 40K - 4000K 50K - 5000K	BZ - Bronze BK - Black WH - White	WPPHC - Photocell



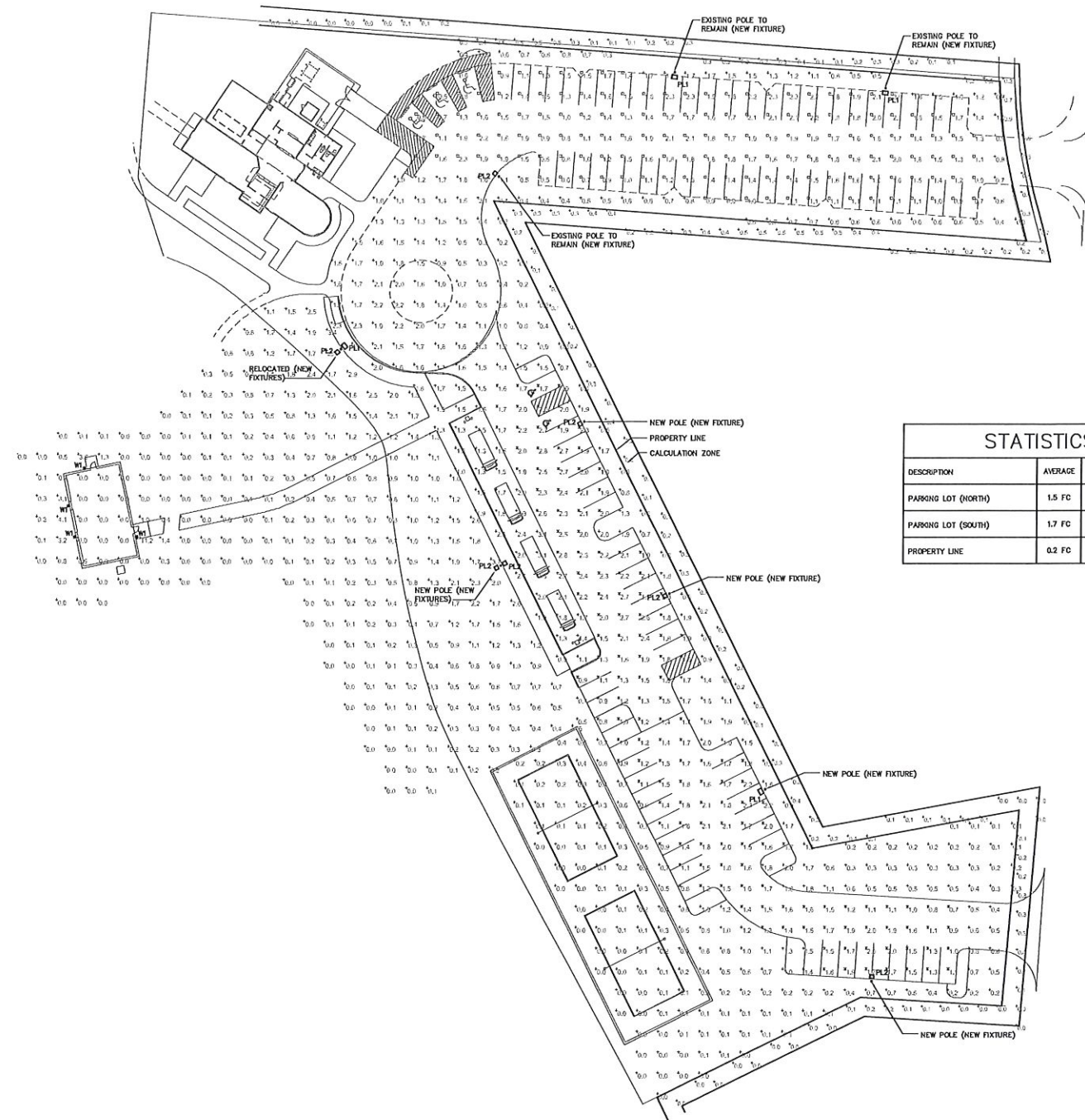
Submittal form is available @ [www.oraclelighting.com](http://www.oraclelighting.com)  
Tel: 323-888-1973 • Fax: 323-888-1977

Specifications and Dimensions subject to change without notice.

Issued-B1118-Rev. 1



FIXTURE SCHEDULE					
FIXTURE NUMBER	DESCRIPTION	MANUFACTURER (EQUALS)	CATALOG NUMBER	LAMPS NUMBER	REMARKS
PL1	POLE MOUNTED LIGHTING FIXTURE 4000K COLOR TEMPERATURE TYPE IV WIDE DISTRIBUTION	MCGRAW-EDISON	GLEON-SAS-A-740-U-14M-XX-HSS	(1) 162W LED (INCLUDED)	
PL2	POLE MOUNTED LIGHTING FIXTURE 4000K COLOR TEMPERATURE TYPE II ROADWAY DISTRIBUTION	MCGRAW-EDISON	GLEON-SAS-A-740-U-13M-XX-HSS	(1) 96W LED (INCLUDED)	
POLE	POLE 30'-0" SQUARE STRAIGHT STEEL	SPALDING (KIM, GARCOO, BEACON)	SSS-30-50-7	-	FOR USE WITH PL1 THRU PL2 WHERE NEW POLE IS CALLED OUT
W1	WALL MOUNTED LIGHTING FIXTURE 3000K COLOR TEMPERATURE 1500 LUMENS	ORACLE LIGHTING	OWP-FC-116-LED	(1) 12.4W LED (INCLUDED)	



STATISTICS			
DESCRIPTION	AVERAGE	MINIMUM	MAXIMUM
PARKING LOT (NORTH)	1.5 FC	0.5 FC	2.3 FC
PARKING LOT (SOUTH)	1.7 FC	0.7 FC	2.6 FC
PROPERTY LINE	0.2 FC	0.0 FC	0.9 FC

SITE ELECTRICAL PLAN  
SCALE: 1/30"=1'-0"



**McGraw-Edison** GLEON Galleon

**GLEON Galleon**  
Area / Site Luminaire

Typical Applications:  
Outdoor Parking Lots • Walkways • Sidewalks • Driveways

**Product Certifications**  
UL, ENEC, CE, FCC, RoHS, REACH, IEC, VDE, TUV, SAA, CCC, CB, ENEC, CE, FCC, RoHS, REACH, IEC, VDE, TUV, SAA, CCC, CB

**Product Features**  
• Energy Performance Data  
• Control Options

**Quick Facts**  
• Luminaire packages range from 4200 - 80300 (40W - 640W)  
• Efficiency up to 158 lumens per watt

**Dimensional Details**

Model	Height	Width	Depth	Weight
14	15.1 FT	7	10	15.5 LB
24	21.5 FT	7	10	15.5 LB
34	27.9 FT	7	10	15.5 LB
44	34.3 FT	7	10	15.5 LB

COOPER Lighting Solutions

**McGraw-Edison** GLEON Galleon

**GLEON Galleon**  
Area / Site Luminaire

**Ordering Information**  
BINARY NUMBER: BLEN 8442-56-16-T01-04

**Product Specifications**

**Luminaire's Minimum Required Security Device Technology Option (MRO or SLD)**

COOPER Lighting Solutions

**McGraw-Edison** GLEON Galleon

**Mounting Details**

**Optical Distributions**

**Product Specifications**

**Energy and Performance Data**

Model	Height	Width	Depth	Weight
14	15.1 FT	7	10	15.5 LB
24	21.5 FT	7	10	15.5 LB
34	27.9 FT	7	10	15.5 LB
44	34.3 FT	7	10	15.5 LB

COOPER Lighting Solutions

**McGraw-Edison** GLEON Galleon

**Optical Distributions**

**Product Specifications**

**Energy and Performance Data**

Model	Height	Width	Depth	Weight
14	15.1 FT	7	10	15.5 LB
24	21.5 FT	7	10	15.5 LB
34	27.9 FT	7	10	15.5 LB
44	34.3 FT	7	10	15.5 LB

COOPER Lighting Solutions

**McGraw-Edison** GLEON Galleon

**Control Options**

**Photometric Data**

**Energy and Performance Data**

Model	Height	Width	Depth	Weight
14	15.1 FT	7	10	15.5 LB
24	21.5 FT	7	10	15.5 LB
34	27.9 FT	7	10	15.5 LB
44	34.3 FT	7	10	15.5 LB

COOPER Lighting Solutions

**McGraw-Edison** GLEON Galleon

**Control Options**

**Photometric Data**

**Energy and Performance Data**

Model	Height	Width	Depth	Weight
14	15.1 FT	7	10	15.5 LB
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34	27.9 FT	7	10	15.5 LB
44	34.3 FT	7	10	15.5 LB

COOPER Lighting Solutions

**PRATER ENGINEERING ASSOCIATES, INC.**  
CONSULTING ENGINEERS

6130 Wilshire Road  
BIRMINGHAM, OHIO 43016  
praterengineering.com

**PROJECT TITLE**  
GOLF DEPOT

**HAMMOND GOLF TRAINING ACADEMY  
SITE LIGHTING IMPROVEMENTS**  
789 SCIENCE BLVD., GAHANNA, OHIO 43230

**PROJECT TITLE**  
GOLF DEPOT  
SITE LIGHTING PHOTOMETRICS

**CADD#:** E1-21099.DWG

**PROJECT NUMBER**  
21099

**drawn** N.ZORTMAN  
**designed** N.ZORTMAN  
**checked** D.POWELL, P.E.

**issued for** date

sheet

**E1**

## STAFF REPORT

### Request Summary

The applicant has resubmitted the previously denied design review application for improvements at the Golf Depot. The application materials are the same as the previous submittal except for a revised application and owners' authorization. Three applications for the project were submitted to Planning Commission in August 2021. A final development plan (FDP) and variance application were approved. The design review application was denied. Planning Commission requested additional architectural details for the accessory golf building.

Since the meeting, the applicants have moved forward with permitting elements of the project not related to the design review. Construction has not yet started. The applicants also looked in to adding architectural elements to the proposed golf accessory building. They have stated to staff that the cost of improvements makes the accessory building portion of the project not cost feasible. Therefore, they have resubmitted the 2021 application and respectfully request approval.



Location of the proposed accessory building.  
Building is over 500 feet from Science Blvd.



Design Review Criteria

General review criteria for Design Review applications include the following:



DEPARTMENT OF PLANNING

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect and enhance the physical surroundings of the Design Review District.

Staff Comments

Staff recommends approval. The building appears to be in character with existing buildings on the property. Visual impact of the building should be minimal as it sits over 500 feet from Science Blvd. If there are concerns about the visual impact, Planning Commission could require plantings around the perimeter of the structure to soften the appearance.

Respectfully Submitted By:  
Michael Blackford, AICP

## STAFF REPORT

### Request Summary

Three applications have been submitted to allow for expansion of activities for the Golf Depot. Proposed improvements include parking, food trucks, and a new golf academy building. The project is anticipated to be constructed in two phases. The first phase consists of the golf academy building, food truck parking, and a portion of the parking lot. The second phase consists of volleyball courts and additional parking.

The property is zoned Office, Commerce, and Technology (L-OCT) with an overlay. The overlay was adopted in 2009 and included most of the properties in and around Tech Center Dr and Science Blvd. The overlay contains very specific standards for building design and materials. These standards do not appear to have taken in consideration accessory buildings, utilitarian buildings, or existing buildings/development. The standards require a high level of fenestration, glazing, and other elements that are logical on large scale new projects but make constructing accessory structures impractical. Variances to some of these standards have been requested.

A design review application has been submitted with details regarding landscaping, lighting, building materials, building colors, etc. The proposed building design requires variance approval. Other elements, such as landscaping, meet code requirements. The proposed building may not meet the strict standards of the overlay, but is consistent with existing buildings on the site.

### Proposed



### Final Development Plan

Planning Commission shall approve an FDP application if the following four conditions are met:

- A. The proposed development meets the applicable development standards of this Zoning Ordinance.
- B. The proposed development is in accord with appropriate plans for the area.
- C. The proposed development would not have undesirable effects on the surrounding area.
- D. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

### Design Review

General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect and enhance the physical surroundings of the Design Review District.

### Variance

The overlay text requires a minimum amount of glass, brick, and stone on the façade of all buildings. These requirements are unique to the overlay and not the zoning code. Meaning, if the same development was occurring on the east side of Science Blvd, the proposed building materials and design would meet code requirements and a variance would not be necessary.

Planning Commission shall not grant a variance unless it finds that all of the following conditions apply:

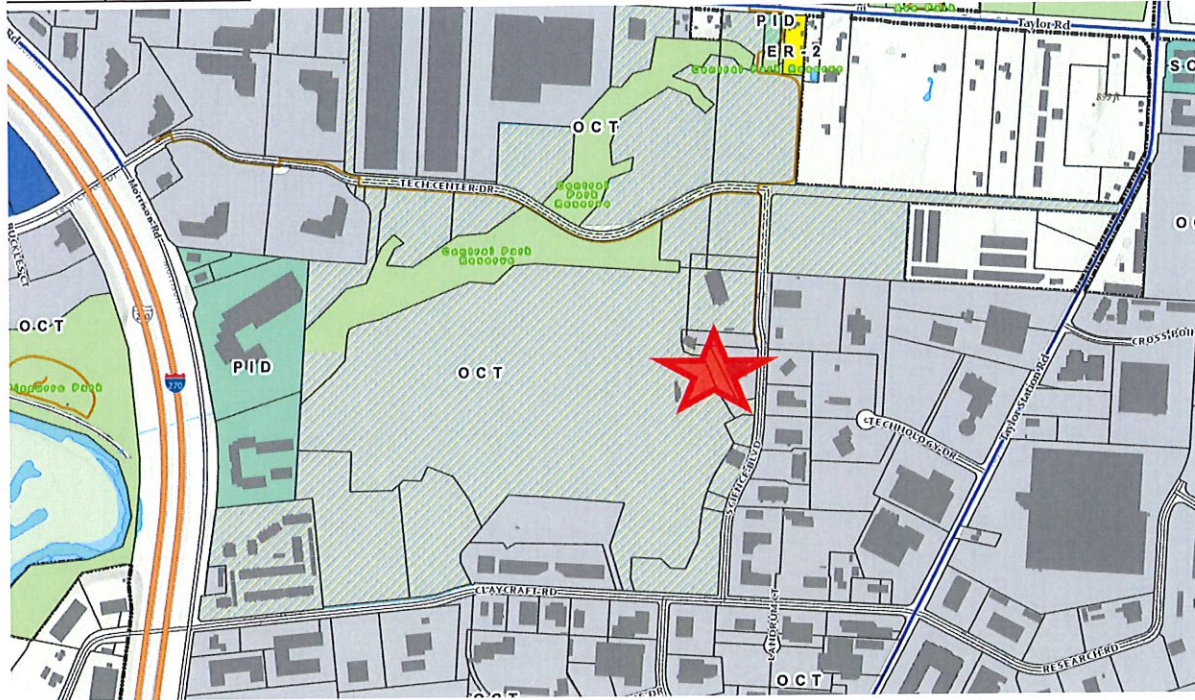
- a) There are special circumstances or conditions applying to the land, building or use referred to in the application.
- b) The granting of the variance is necessary for the preservation and enjoyment of substantial property rights.
- c) The granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the proposed use and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood.

### Recommendation

Staff recommends approval of the applications as submitted. The proposed development is allowable by right, consistent and in character with existing development. Staff would like to note that the variance request is similar to other variances granted from the overlay.



Location/Zoning Map



Respectfully Submitted By:  
Michael Blackford, AICP  
Director of Planning