

File No. \_\_\_\_\_  
Supersedes File No.(s) \_\_\_\_\_  
Scheduled Public Hearing Date: \_\_\_\_\_

Fee: 208.00  
or none \_\_\_\_\_

Check or Receipt#: 328  
Initials: SW  
Date Received 5/11/14

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
DESIGN REVIEW  
CITY OF GAHANNA PLANNING COMMISSION**

**\*Required Information**

\*Site Address 1601 Eastgate Pkwy, Gahanna, OH  
\*Parcel ID# 025-012947 \*Zoning District OCT  
\*Business Name Favazzo Auto Warehouse \*Contact Joe Favazzo  
\*Business Owner Name Joe Favazzo \*Phone# 614-314-4902  
\*Business Address 1645 Eagle Glen Dr, Blacklick, OH 43004  
\*Applicant Name Jeremy Fry, P.E. \*Applicant Email cypress.eng@gmail.com  
\*Applicant Full Address 9049 Dover Road, Apple Creek, OH 44606  
\*Applicant Phone# 330-698-7373 / 330-317-5064 Applicant Fax# 330-698-2295  
\*Designer/ Architect/ Engineer Cypress Engineering (Jeremy Fry, P.E.)  
\*Address 9049 Dover Road Phone 330-698-7373  
\*City/ State/ Zip Apple Creek, OH 44606 Fax 330-698-2295  
\*D/A/E Representative Jeremy Fry, P.E. Title owner/member  
\*Design Review of: Site Plan  Landscaping  Building Design  Signage \_\_\_\_\_ Other \_\_\_\_\_  
\*Special Information Regarding the Property and its Proposed Use: \_\_\_\_\_

**Submission Requirements**

- (1) Applicant is required to complete the checklist on the following pages.
- (2) Fee: \$50.00 for review plus \$.01 per square foot.
- (3) Eleven copies of plans: Two (2) copies of 24x36 (folded, **not rolled**, to 8 1/2 x 11 inch size prior to submission) & nine (9) 11x17.
- (4) Submit one (1) reduced drawing suitable to an 8 1/2 x 11 inch size.
- (5) Submit one (1) color rendering of the project in plan/ perspective/ or elevation, mounted on 18 x 24 inch size foam core, gator board or other acceptable material.
- (6) Submit a detailed list of materials.

\*Note: This application will not officially be accepted until **all** items listed above have been received.

\*\*Note: Planning Commission members and/or City Staff may visit the property prior to the hearing to review the application.

\*Applicant's Signature \_\_\_\_\_

\*Date 5/11/16

**APPROVAL**

In accordance with Sections 1197.05 of the Codified Ordinances of Gahanna, this certifies that this project, as stated above, has been approved by the Gahanna Planning Commission on \_\_\_\_\_. The applicant shall comply with any conditions approved by the Commission, and shall comply with all building and zoning regulations now in force.

Conditions: \_\_\_\_\_

Planning & Zoning Administrator

Date

Note: All correspondence will be to applicant above unless otherwise stated.

Revised April 2012



14. Provide interior landscaping breakdown for paved surface (5% of paved surface required to be landscaped with one (1) tree per 100 square feet, see COG 1163)

14. \_\_\_\_\_ ✓

15. Provide lot coverage breakdown of building and paved surface areas.

15. \_\_\_\_\_ ✓

B. Elevations. Complete elevation from all sides of all proposed construction labeled North, South, East and West and related elevations of existing structures (if any) are required containing the following information:

- 1. Scale;
- 2. Changes in ground elevation;
- 3. All signs to be mounted on the elevations;
- 4. Designation of the kind, color, and texture of all primary materials to be used;
- 5. Fenestration, doorways, and all other projecting and receding elements of the building exterior.

1. \_\_\_\_\_ ✓

2. \_\_\_\_\_

3. \_\_\_\_\_

4. \_\_\_\_\_ ✓

5. \_\_\_\_\_

5. \_\_\_\_\_ ✓

C. Optional requirements at discretion of Planning Commission.

- 1. Scale model.
- 2. Section Profiles.
- 3. Perspective drawing.

1. \_\_\_\_\_

2. \_\_\_\_\_

3. \_\_\_\_\_

D. Material Samples. Material samples are required for all exterior materials. For presentation purposes, a narrative description is required for Planning Commission file.

D. \_\_\_\_\_ *at mtg*

E. Lighting Standard Drawing. A scaled drawing of the proposed lighting standard(s) is required and should contain the following information:

- 1. All size specifications;
- 2. Information on lighting intensity (number of watts, isofootcandle diagram, etc., at least 1/2 foot candles required);
- 3. Materials, colors, and manufacturer's cut sheet;
- 4. Ground or wall anchorage details.

1. \_\_\_\_\_ ✓

2. \_\_\_\_\_

3. \_\_\_\_\_

4. \_\_\_\_\_

# MATERIAL LIST

Item	Manufacturer Name	Color Name	Color Number
Awnings	N/A		
Brick	N/A		
Gutters and Downspouts	Matteo Aluminum	Light Gray	
Lighting	Lithonia Lighting	—	
Roofing	Northstar Metals	Light Gray	
Siding	Northstar Metals	Polar White	
Signs	N/A	—	
Stucco	N/A	—	
Trim	Northstar Metals	Light Gray	
Windows	Yoder Window	White Vinyl	



M. Kirby

## BUILDING CODE INFORMATION

USE GROUP	S-1	2011 OBC DATA
CONSTRUCTION TYPE	5B, UNPROTECTED	
DESCRIPTION	NEW PRIVATE AUTO WAREHOUSE	
<b>GENERAL BUILDING HEIGHTS &amp; AREAS (per table 503.0)</b>		
ALLOWABLE NEW ADDITION AREA		
HEIGHT	40 FT, 1 STORY	HEIGHT 28 FT, 1 STORY
AREA PER TABLE 503	9,000 SQ FT	AREA
FRONTAGE AREA INCREASE PER 506.1 & 506.2 (equation 5-1, 5-2)		
PERMETER USED = 344 FT, W = 30 FT, P = 418 FT		
I = 0.57 A = 9,000 + 5192.3 SQ FT		
NEW ALLOWABLE AREA = 14,192.31 SQ FT		
STORAGE AREA ONE (calculation above)	9,756 SQ FT	
STORAGE AREA TWO	6,048 SQ FT	
TOTAL COMBINED BUILDINGS	15,804 SQ FT	

<b>VENTILATION REQUIREMENTS</b>	
NATURAL VENTILATION PROVIDED PER SECTION 1203.4.1	
REQUIRED VENTILATION ADDITION (4% of floor area)	ACTUAL
633.6 SQ. FT.	1027 SQ. FT.
NO MECHANICAL VENTILATION REQUIRED	

<b>OCCUPANT LOAD</b>		
OCCUPANT LOAD PER SECTION 1004.1.1		
	CALCULATED	ACTUAL
STORAGE AREA (500 GROSS)	16	16
BUILDING TOTAL		16

**PROJECT SCOPE**  
THIS IS A NEW 15,804 SQ FT PRIVATE AUTO WAREHOUSE. THIS BUILDING IS FOR PRIVATE AUTO STORAGE. THE BUILDING IS DIVIDED WITH A 3 HR FIREWALL.

## DESIGN LOAD INFORMATION

<b>ROOF DESIGN LOADS</b>	
STORAGE AREA	
TOP CHORD / RAFTER	5 PSF
BOTTOM CHORD / CEILING JOIST	5 PSF
<b>FLOOR DESIGN LOADS</b>	
STORAGE LIVE LOAD	125 PSF
<b>SNOW DESIGN LOADS</b>	
SNOW DRIFTING IS BEING CONSIDERED IN THIS DESIGN	
SNOW DESIGN DATA:	
GROUND SNOW LOAD, P <sub>g</sub>	25 PSF
FLAT ROOF SNOW LOAD, P <sub>f</sub>	20 PSF
SNOW EXPOSURE FACTOR, C <sub>e</sub>	1.0
SNOW LOAD IMPORTANCE FACTOR, I <sub>s</sub>	1.0
THERMAL FACTOR, C <sub>t</sub>	1.0
<b>WIND DESIGN DATA</b>	
BASIC WIND SPEED	90 MPH
WIND IMPORTANCE FACTOR, I <sub>w</sub>	1.0
BUILDING CATEGORY	II
WIND EXPOSURE	B
WIND PRESSURE:	
MWFRS	20 PSF
COMPONENT & CLADDING	30 PSF
<b>SOIL BEARING PRESSURE (assumed)</b>	
SOIL PRESSURE	2,000 LBS.
<b>SEISMIC DESIGN INFORMATION</b>	
IMPORTANCE FACTOR	1.0
SEISMIC USE GROUP	I
MAPPED SPECTRAL RESPONSE COEFFICIENTS:	
S <sub>s</sub>	= 0.150
S <sub>1</sub>	= 0.050
S <sub>D5</sub>	= 0.160
S <sub>D1</sub>	= 0.080
SITE CLASS	D
SEISMIC DESIGN CATEGORY	B
SEISMIC RESPONSE COEFFICIENT, C <sub>s</sub>	0.025
RESPONSE MODIFICATION FACTOR, R	6-1/2
DESIGN BASE SHEAR	3,600 LBS
ANALYSIS PROCEDURE: SIMPLIFIED ANALYTICAL PROCEDURE	

## GENERAL NOTES - 2011 OBC

ALL REFERENCES IN THIS SECTION ARE IN ACCORDANCE WITH THE OHIO BUILDING CODE (OBC) 2011 EDITION. ALL AREAS OF THIS BUILDING ARE TO MEET OR EXCEED THE STANDARDS REQUIRED THEREIN.

GENERAL CONTRACTOR SHALL VERIFY ALL JOBSITE CONDITIONS, BUILDING LINES, ELEVATIONS AND/OR DIMENSIONS AS SHOWN ON THE DRAWINGS RELATED TO ARCHITECTURAL, STRUCTURAL DETAIL, MECHANICAL, PLUMBING AND/OR ELECTRICAL DRAWINGS. ANY ERRORS OR DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER BEFORE COMMENCING WORK.

ALL WOOD CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS OF THE OBC 2014 EDITION, CHAPTER 6 - TABLE 601, AND CHAPTER 23.

ALL CONCRETE MATERIALS AND WORKMANSHIP, PLAIN AND REINFORCED SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 19 2011 OBC AND ACI-318.

ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2014 EDITION OF THE NEC (NATIONAL ELECTRIC CODE) AND ALL OTHER APPLICABLE NATIONAL, STATE AND LOCAL REQUIREMENTS.

ALL MECHANICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2011 OBC, CHAPTER 28, AND ALL OTHER APPLICABLE NATIONAL, STATE AND LOCAL REQUIREMENTS.

ALL PLUMBING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2011 OBC, CHAPTER 29, AND ALL OTHER APPLICABLE NATIONAL, STATE AND LOCAL REQUIREMENTS.

THE ENGINEER CERTIFIES THAT THIS DESIGN IS IN ACCORDANCE WITH CURRENT APPLICABLE CODES AND SPECIFICATIONS. RESPONSIBILITY TO FOLLOW THIS DESIGN IS THAT OF THE CONTRACTOR'S. ENGINEER WILL TAKE NO RESPONSIBILITY FOR CONTRACTOR'S FAILURE TO CONFORM TO THE DRAWINGS AND SPECIFICATIONS.

THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER COMPLETION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION.

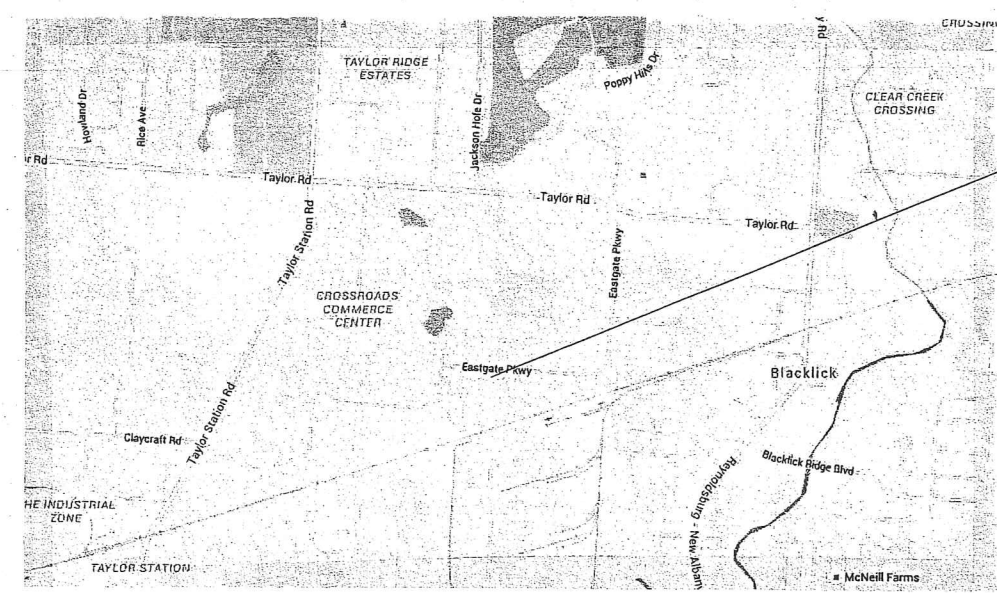
THESE DRAWINGS DO NOT PROVIDE THE NECESSARY INSTRUCTIONS, PROCEDURES, AND/OR REGULATIONS FOR CONSTRUCTION SAFETY. GENERAL JOBSITE SAFETY, EQUIPMENT USE AND PROCEDURES, CARE OF PERSONAL PROPERTY DURING CONSTRUCTION. COMPLIANCE WITH LOCAL SAFETY REGULATIONS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER.

# FAVAZZO AUTO WAREHOUSE

1601 Eastgate Parkway  
Gahanna, Ohio 43230

**KM Builders**  
330.857.0471  
5358 Kidron Road  
Apple Creek, OH 44606

## SITE LOCATION MAP



## DOCUMENT INDEX

1. COVER SHEET
2. SITE PLAN
3. FOUNDATION PLAN
4. FLOOR PLAN
5. ELEVATIONS (EAST & WEST)
6. ELEVATIONS (NORTH & SOUTH)
7. CROSS SECTION DETAILS
8. ROOF FRAMING PLAN
9. ELECTRICAL PLAN
10. PLUMBING PLAN
11. HVAC PLAN

**CYPRESS ENGINEERING**  
Jeremy Fry, P.E.  
9049 Dover Road  
Apple Creek, OH 44606  
(330) 698-7373  
cypress.eng@gmail.com

JOB NUMBER	FA-1616
DATE	4/08/16
COVER SHEET	1

Ohio Utilities Protection Service

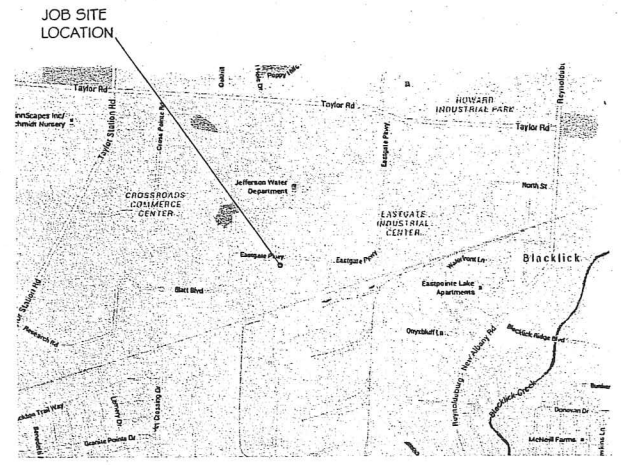
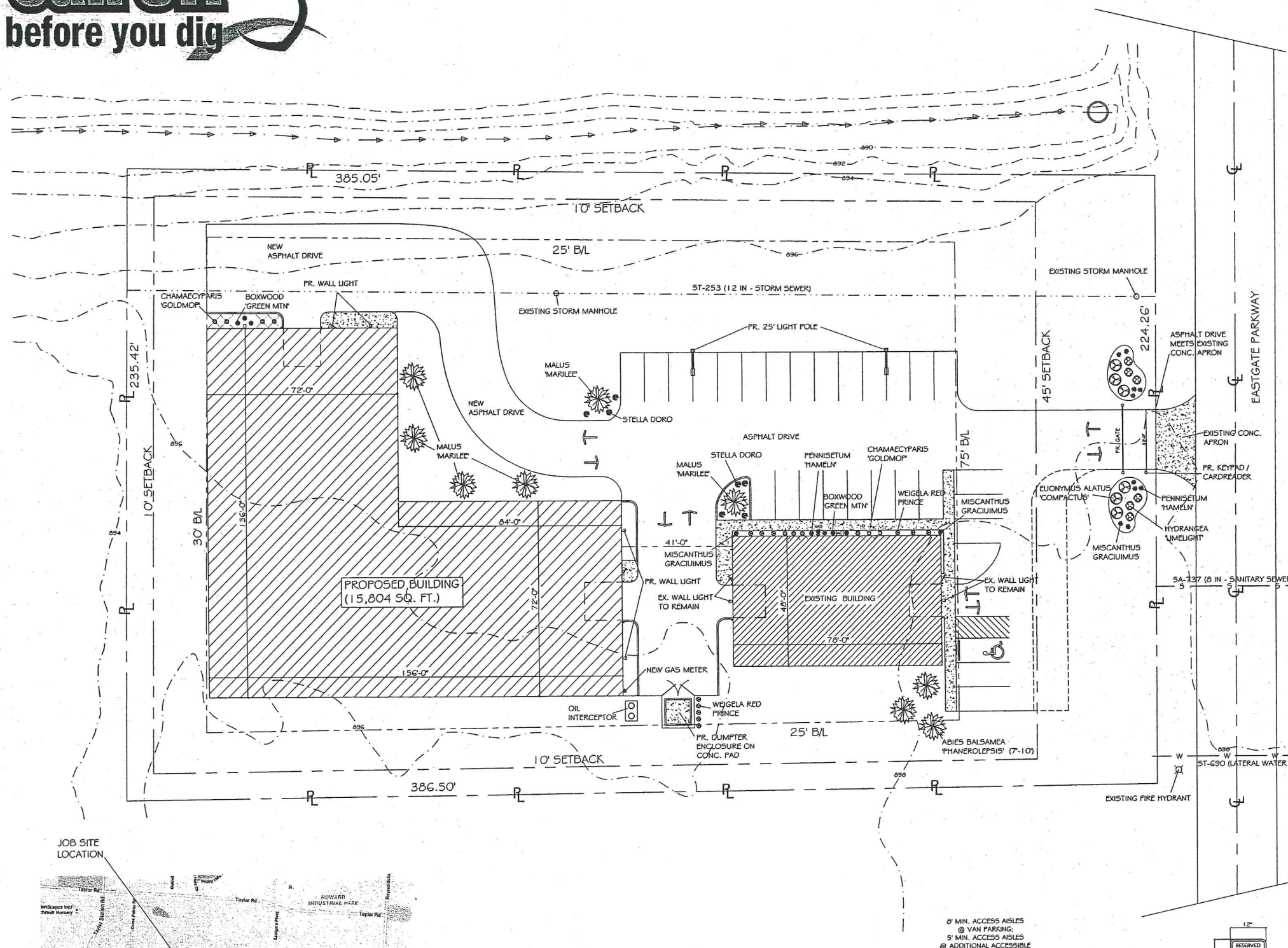


### DEVELOPMENT PLAN CRITERIA

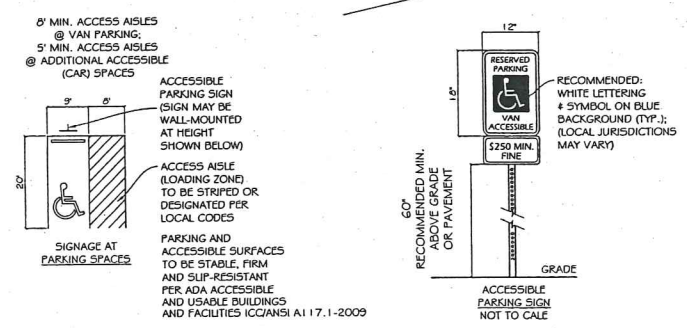
ZONING DISTRICT:		SITE DATA:	
OCT			
<b>APPLICABLE CODES</b>			
FIRE		2011 OHIO FIRE CODE	
<b>LOT COVERAGE</b>			
TRACT GROSS SQ FT		88,688 SQ FT (2.036 +/- ACRES)	
TOTAL BUILDING AREA		19,548 SQ FT	
EXISTING		3,744 SQ FT	
PROPOSED		15,804 SQ FT	
UNCOVERED LAND		57,652 SQ FT	
PROPOSED LOT COVERAGE		31,036 SQ FT	
<b>PARKING</b>			
SPACES REQD PER SQ FT		1 PER 1,000 SQ FT	
PARKING LOT AREA		11,488 SQ FT	
PARKING SPACES REQD		20	
PARKING SPACES PROPOSED		28 INCLUDING 1 HC SPACE	
<b>LANDSCAPE</b>			
INTERIOR LANDSCAPE AREA REQD		5% OF PARKING AREA (575 SQ FT)	
INTERIOR LANDSCAPE AREA PROVIDED		750 SQ FT	
PAVEMENT PROPOSED		11,488 SQ FT	
# OF 2" CALIFER TREES REQUIRED		1 PER 100 SQ FT LANDSCAPE AREA	
# OF 2" CALIFER TREES PROVIDED		8	
<b>STRUCTURE</b>			
NEW BUILDING HEIGHT		23'-4"	
<b>LIGHTING</b>			
SEE PLAN FOR LIGHTING DIAGRAM (MIN. 1/2 FOOT CANDLE ILLUMINATION)			
SEE SHEET 9 FOR LIGHTING SPEC.			
<b>CONTIGUOUS PROPERTY OWNERS / ADDRESSES</b>			
G4N ENTERPRISE, LTD. 1176 POPPY HILLS DR. BLACKLICK, OH 43004	FRANKLIN STEEL CO. 1385 BLATT BLVD. BLACKLICK, OH 43004		
CITY OF GAHANNA 200 S. HAMILTON RD. COLUMBUS, OH 43230	1650 EASTGATE PKWY, LLC. 8101 CORPORATE BLVD. PLAIN CITY, OH 43064		
ONE ROLLINS PLZ BOX 1719 WILMINGTON, DE 19899	EASTGATE PKWY. PROPERTIES LLC. 2560 E. PHILADELPHIA ST. ONTARIO, CA 91761		
<b>PROPERTY OWNER &amp; SURVEYOR'S NAME &amp; ADDRESSES</b>			
OWNER NAME:	OWNER ADDRESS:	JOE FAVAZZO 1645 EAGLE GLEN DR. BLACKLICK, OH 43004	
SURVEYOR NAME:	SURVEYOR ADDRESS:	EMH&T 5500 NEW ALBANY RD. COLUMBUS, OH 43054	
<b>NOTE:</b> SURVEY WAS PREVIOUSLY SUBMITTED TO CITY OF GAHANNA (2013)			



# New Private Auto Warehouse FAVAZZO AUTO WAREHOUSE



**SITE PLAN**  
SCALE: 1" = 20'-0"



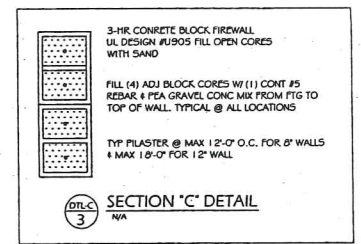
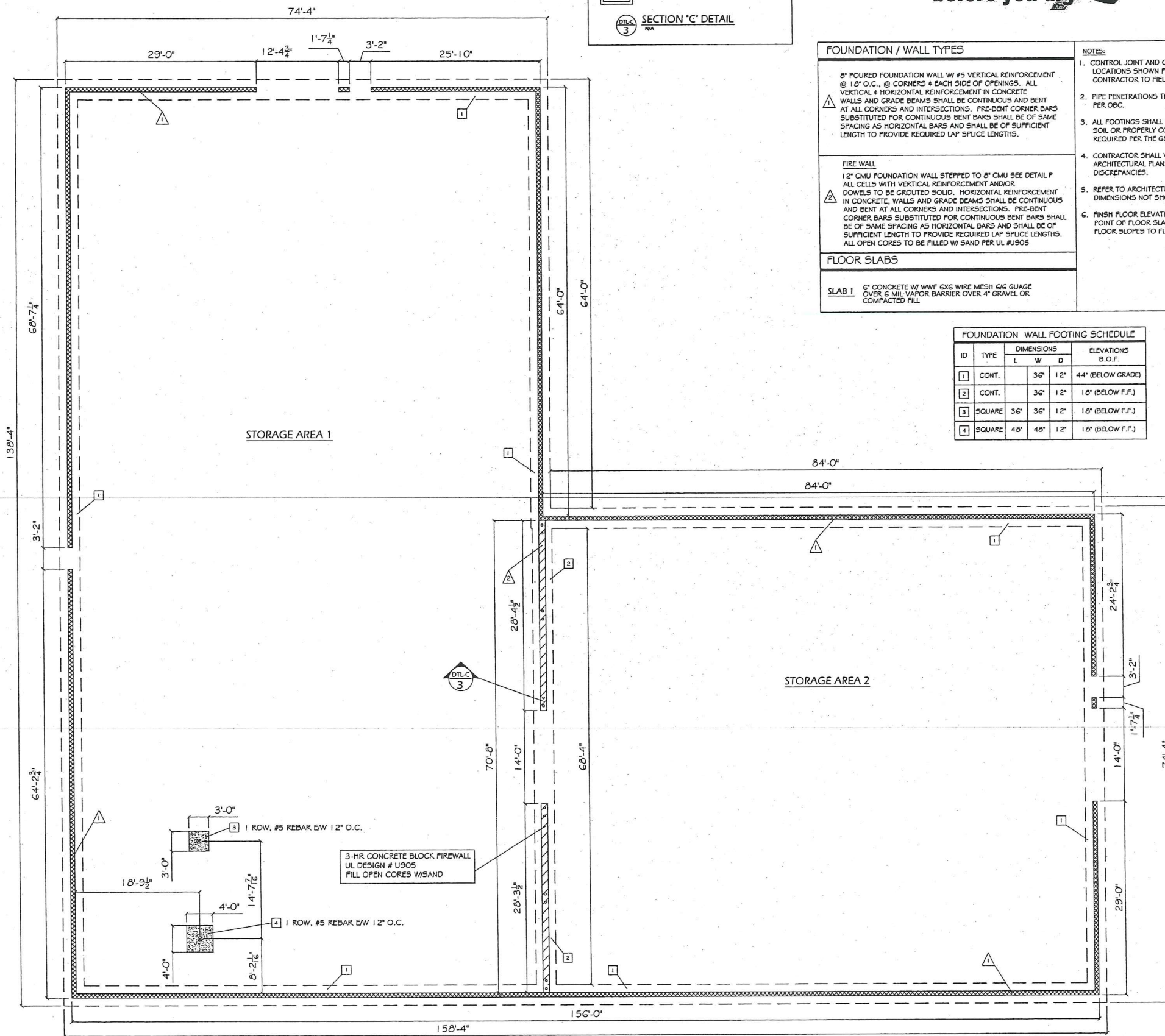
JOB NUMBER	FA-1616
DATE	4/08/16
SITE PLAN	<b>2</b>

## FOUNDATION NOTES

- ALL FOOTINGS SHALL BE ESTABLISHED ON PROPERLY UNDISTURBED SOIL OR PROPERLY COMPACTED ENGINEERED FILL IN ACCORDANCE WITH CHAPTER 18 OF THE OBC, 2011 EDITION.
- ALL FOUNDATION BEARING AND FILL MATERIALS SHALL BE INSPECTED AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO PLACING CONCRETE.
- EXCAVATION, GRADING AND FILL/BACKFILL SHALL BE IN ACCORDANCE WITH SECTION 1803, OBC. ALL FILL AND BACKFILL MATERIALS SHALL BE NON COHESIVE SOILS COMPACTED TO 95% MAXIMUM DENSITY PER ASTM D 1557 METHOD. THE UPPER 6" OF SUB GRADE SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED.
- NO SOILS REPORT WAS AVAILABLE AT THE TIME OF PREPARATION OF THESE DRAWINGS. SHOULD ANY CONDITIONS BE ENCOUNTERED THAT ARE UNUSUAL OR DO NOT GIVE ASSUMED BEARING CAPACITIES, THE OWNER SHALL BE NOTIFIED AND WORK SHALL CEASE. WORK SHALL NOT RESUME UNTIL THE OWNER'S ENGINEER EVALUATES THE EXCAVATION AND GIVES WRITTEN NOTICE TO RESUME FOUNDATION WORK.
- ASSUMED MINIMUM ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF BASED ON SILTY SAND IN ACCORDANCE WITH SECTION 1804.2, OBC.
- ALL ORGANIC TOP SOILS SHALL BE STRIPPED FROM THE AREA UPON WHICH THE PROPOSED STRUCTURE IS TO BE LOCATED.
- ALL EXCAVATION FOR STRUCTURES SHALL BE KEPT DEWATERED UNTIL BACKFILL IS IN PLACE. EXCAVATION FOR STRUCTURES SHALL INCLUDE ALL NECESSARY SHEETING AND SHORING.
- WHERE THE FOUNDATION IS OVER EXCAVATED, REMOVE ALL DISTURBED FOUNDATION SOIL AND REPLACE WITH GRANULAR MATERIAL PROPERLY COMPACTED AS DIRECTED.

## CONCRETE NOTES

- ALL READY MIX CONCRETE SHALL CONFORM TO ASTM C 94.
- ALL REINFORCING STEEL SHALL BE PLACED IN CONFORMANCE WITH THE LATEST EDITION OF "THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION", PUBLISHED BY C.R.S.I.
- ALL REINFORCING BARS, DOWELS, ANCHOR BOLTS AND OTHER INSERTS SHALL BE SECURED IN POSITION PRIOR TO PLACING OF CONCRETE.
- ALL HORIZONTAL BARS IN CONCRETE, WALLS AND GRADE BEAMS SHALL BE CONTINUOUS AND BENT AT ALL CORNERS AND INTERSECTIONS. PRE-BENT CORNER BARS SUBSTITUTED FOR CONTINUOUS BENT BARS SHALL BE OF SAME SPACING AS HORIZONTAL BARS AND SHALL BE OF SUFFICIENT LENGTH TO PROVIDE REQUIRED LAP SPLICE LENGTHS.
- DETAILING, BENDING AND PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH LATEST EDITION OF THE ACI CODE.
- ALL CONCRETE FORM WORK SHALL BE ADEQUATELY TIED TOGETHER AND BRACED TO FORM TRUE LINES, SQUARE CORNERS AND PLUMB WALLS.
- ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL CONFORM TO CHAPTER 19 OF THE OBC 2011 EDITION.
- MIX DESIGN SHALL BE BASED ON PERFORMANCE TEST AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AND GENERAL CONTRACTOR.
- USE AIR-ENTRAINED CONCRETE FOR ALL AREAS EXPOSED TO WEATHER.
- ALL CONCRETE SHALL DEVELOP THE FOLLOWING COMPRESSIVE STRENGTHS AT 28 DAYS (U.N.O.):  
 CONCRETE FOUNDATION AND WALLS = 3,000 PSI  
 CONCRETE SLABS = 3,500 PSI
- NO CONCRETE SHALL BE POURED SUBJECT TO FREEZING CONDITIONS OR ON FROZEN GROUND.
- LOCATE ALL SLEEVES, OPENINGS, EMBEDDED ITEMS, ETC., WHICH ARE INDICATED ON ALL DESIGN DRAWINGS. CHECK WITH OTHER TRADES TO VERIFY THAT ALL SLEEVES, OPENINGS AND EMBEDDED ITEMS ARE IN PLACE AND LOCATED CORRECTLY PRIOR TO PLACING OF CONCRETE.
- REFER TO ARCHITECTURAL DRAWINGS FOR MOLDS, GROOVES, ORNAMENTS OR ACCESSORIES REQUIRED TO BE CAST IN CONCRETE AND FOR LOCATIONS OF FLOOR FINISHES AND SLAB DEPRESSIONS.
- FOOTINGS SHALL BE LOCATED ON THE CENTER LINE OF WALLS, PIERS, OR COLUMNS, UNLESS NOTED OTHERWISE.
- PROCEDURES FOR PLACEMENT OF CONCRETE SHALL BE IN STRICT CONFORMANCE WITH ACI 304, "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE."
- BEAMS AND SLABS SHALL BE POURED MONOLITHICALLY, SO THAT NO HORIZONTAL CONSTRUCTION JOINTS ARE PROVIDED.
- PIPE MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN. SLEEVES SHALL BE WRAPPED WITH EXPANSION JOINT FILLER MATERIAL TO ALLOW CONCRETE TO CURE WITHOUT RESTRAINT. PIPES OR CONDUITS EXCEEDING ONE THIRD THE SLAB OR WALL THICKNESS SHALL NOT BE IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED. SEE MECHANICAL AND/OR ELECTRICAL DRAWINGS FOR LOCATIONS OF SLEEVES, ACCESSORIES, ETC.
- CONCRETE SLABS ON GRADE SHALL BE POURED ON COMPACTED SUB GRADE OR UNDISTURBED SOIL. SLAB SURFACES SHALL BE SMOOTH AND LEVEL OR SHALL HAVE SMOOTH EVEN SLOPE. CONCRETE FINISH SHALL BE SMOOTH FOR INTERIOR FLOOR SLABS AND BROOMED FOR EXTERIOR WALKS.
- THE SURFACE OF ALL CONSTRUCTION JOINTS SHALL BE CLEANED TO REMOVE ALL DUST, CHIPS OR OTHER FOREIGN MATTER PRIOR TO PLACING THE ADJACENT CONCRETE.
- SLAB CONTROL JOINTS SHALL BE INSTALLED WITH JOINT FORMERS WHEN THE SLAB IS POURED, OR SAWCUT AS SOON AS THE CONCRETE WILL ALLOW WITHOUT DAMAGE.



Ohio Utilities Protection Service  
**Call 811**  
 before you dig

FOUNDATION / WALL TYPES		NOTES:
6" POURED FOUNDATION WALL W/ #5 VERTICAL REINFORCEMENT @ 18" O.C., @ CORNERS & EACH SIDE OF OPENINGS. ALL VERTICAL & HORIZONTAL REINFORCEMENT IN CONCRETE WALLS AND GRADE BEAMS SHALL BE CONTINUOUS AND BENT AT ALL CORNERS AND INTERSECTIONS. PRE-BENT CORNER BARS SUBSTITUTED FOR CONTINUOUS BENT BARS SHALL BE OF SAME SPACING AS HORIZONTAL BARS AND SHALL BE OF SUFFICIENT LENGTH TO PROVIDE REQUIRED LAP SPLICE LENGTHS.		1. CONTROL JOINT AND CONSTRUCTION JOINT LOCATIONS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO FIELD LOCATE AS REQUIRED.
12" CMU FOUNDATION WALL STEPPED TO 8" CMU SEE DETAIL P ALL CELLS WITH VERTICAL REINFORCEMENT AND/OR DOWELS TO BE GROUTED SOLID. HORIZONTAL REINFORCEMENT IN CONCRETE WALLS AND GRADE BEAMS SHALL BE CONTINUOUS AND BENT AT ALL CORNERS AND INTERSECTIONS. PRE-BENT CORNER BARS SUBSTITUTED FOR CONTINUOUS BENT BARS SHALL BE OF SAME SPACING AS HORIZONTAL BARS AND SHALL BE OF SUFFICIENT LENGTH TO PROVIDE REQUIRED LAP SPLICE LENGTHS. ALL OPEN CORES TO BE FILLED W/ SAND PER UL #905		2. PIPE PENETRATIONS THROUGH FOUNDATION PER OBC.
		3. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR PROPERLY COMPACTED FILL, AS REQUIRED PER THE GENERAL NOTES.
		4. CONTRACTOR SHALL VERIFY DIMENSIONS WITH ARCHITECTURAL PLANS. NOTIFY ENGINEER OF DISCREPANCIES.
		5. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
		6. FINISH FLOOR ELEVATION REFERS TO HIGH POINT OF FLOOR SLAB WHEN CONCRETE SLAB FLOOR SLOPES TO FLOOR DRAINS.
FLOOR SLABS		
SLAB 1	6" CONCRETE W/ WWF 6X6 WIRE MESH 6/6 GAUGE OVER 6 MIL VAPOR BARRIER OVER 4" GRAVEL OR COMPACTED FILL	

FOUNDATION WALL FOOTING SCHEDULE					
ID	TYPE	DIMENSIONS			ELEVATIONS B.O.F.
		L	W	D	
1	CONT.	36"	12"	44"	(BELOW GRADE)
2	CONT.	36"	12"	18"	(BELOW F.F.)
3	SQUARE	36"	36"	12"	18"
4	SQUARE	48"	48"	12"	18"

**FOUNDATION PLAN**  
 SCALE: 1/8" = 1'-0"



New Private Auto Warehouse  
**FAVAZZO AUTO WAREHOUSE**

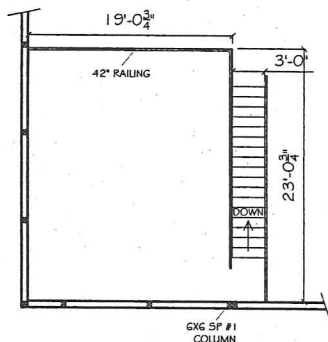
JOB NUMBER	FA-1616
DATE	4/08/16
FOUNDATION	<b>3</b>



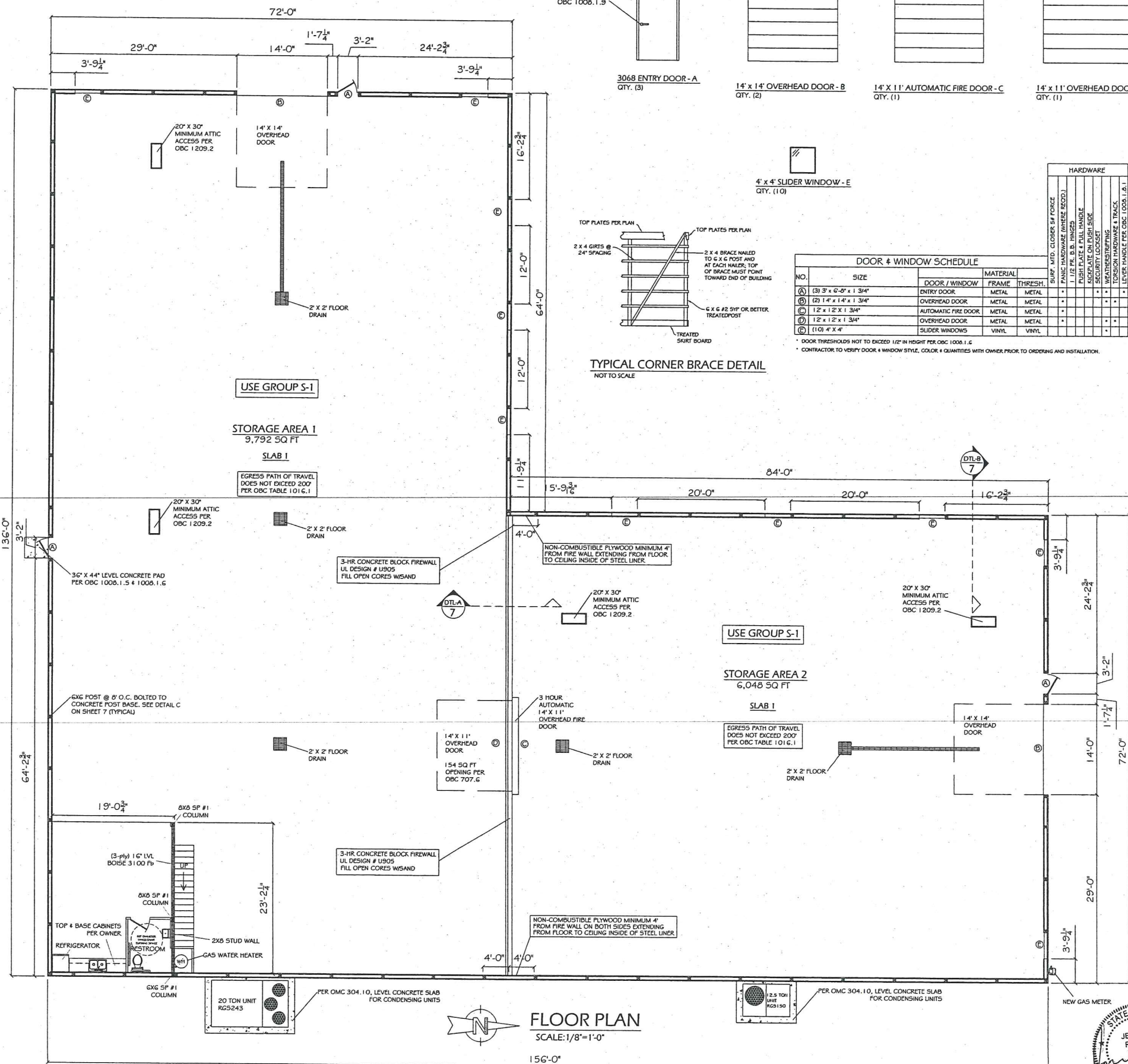


**WOOD FRAMING NOTES**

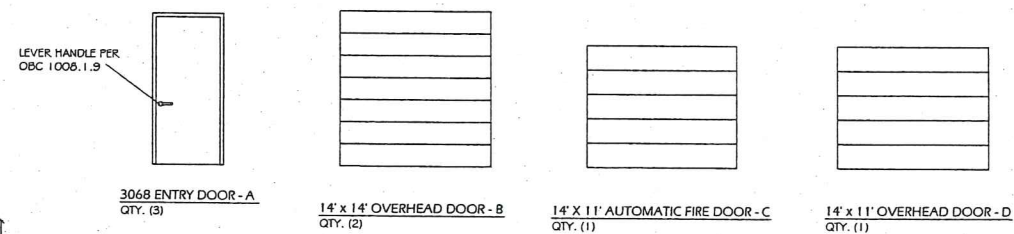
- ALL WOOD CONSTRUCTION SHALL BE DESIGNED, FURNISHED, AND ERECTED IN ACCORDANCE WITH N.D.S. AND THE LATEST EDITION OF THE AITC TIMBER CONSTRUCTION MANUAL.
- ALL LUMBER SHALL BE MINIMUM NO. 1 / NO. 2 SPF UNLESS INDICATED.
- ALL WOOD IN CONTACT WITH CONCRETE, MASONRY OR GROUND SHALL BE SOUTHERN PINE, PRESSURE TREATED FOR DECAY. RETENTION SHALL BE PER MANUFACTURERS SPECIFICATIONS FOR THE PARTICULAR USE.
- ALL FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE GALVANIZED WITH A MINIMUM G185 COATING.
- ALL PLYWOOD DESIGNATED ON THE STRUCTURAL DRAWINGS SHALL BE DOUGLAS FIR, CONFORMING TO THE LATEST NATIONAL BUREAU OF STANDARDS "U.S. PRODUCT STANDARDS PS 1". PLYWOOD SHALL BE GRADE STAMPED CDX WITH EXTERIOR GLUE AND PANEL INDEX 24/16, UNLESS NOTED OTHERWISE.
- STRUCTURAL PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS 1-83. STRUCTURAL USE PANELS SHALL CONFORM TO NER-108 (APA PRF-108). A.P.A. GRADE STAMP SHALL BE PROVIDED ON ALL SHEATHING. ROOF AND FLOOR SHEATHING AND SHEAR WALL PANELS SHALL BE IN PLACE AND INSPECTED BY THE BUILDING OFFICIAL PRIOR TO COVERING. INSTALL WITH FACE GRAIN ACROSS SUPPORTS EXCEPT WHERE NOTED ON PLANS OR DETAILS. PROVIDE GAPS AS SPECIFIED BY A.P.A.
- PLYWOOD SHALL BE A.P.A. PERFORMANCE STAMPED, AS SPECIFIED ABOVE, GRADE STAMPED C-D, EXPOSURE.
- ALL GLUE LAMINATED MEMBERS AS SHOWN ON PLANS SHALL BE IN ACCORDANCE WITH A.N.S.I. A190.1, A.I.T.C. OR A.P.A. INSPECTION CERTIFICATES SHALL BE FURNISHED WITH EACH BEAM. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW. GLUE LAMINATED MEMBERS SHALL BE OF INDUSTRIAL APPEARANCE WITH EXTERIOR GLUE.
- NO WOOD MEMBER SHALL BE CUT, NOTCHED OR BORED, EXCEPT AS DETAILED OR PERMITTED BY THIS CODE.
- ALL TOPS OF COLUMNS AND WALLS SHALL BE ADEQUATELY BRACED UNTIL THE ROOF SHEATHING IS COMPLETELY NAILED IN PLACE.
- MAXIMUM STUD HEIGHT AND SPACING PER TABLE 2308.9.1, OBC 2011 EDITION.  
MAXIMUM CEILING JOIST SPANS SHALL BE PER OBC SPAN TABLES. PROVIDE BLOCKING AT 8'-0" O.C.
- BUILDING DEPARTMENT INSPECTION OF THE ROOF AND FLOOR SYSTEMS IS REQUIRED PRIOR TO PLACING ANY MATERIAL ON OR SUSPENDING ANY LOADS FROM THE ROOF OR FLOOR SYSTEMS.
- FRAMING HARDWARE SHALL BE SIMPSON "STRONG TIE" OR EQUAL. U.N.O. SUBSTITUTIONS SHALL BEAR I.C.B.O. APPROVAL. ALL FLUSH WOOD TO WOOD CONNECTORS SHALL BE MADE WITH "SIMPSON" METAL HANGERS AS FOLLOWS, UNLESS NOTED OTHERWISE:  
2 X 4, 6 AND 8 MEMBERS = "U" SERIES  
2 X 10, 12, 14, AND 16 MEMBERS = "HU" SERIES  
4 X 4 AND LARGER = "HUTP" SERIES  
POST TO BEAM MEMBERS = "PC" SERIES
- FASTENING - UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE QUANTITY AND SIZE OF FASTENERS CONNECTING WOOD FRAME MEMBERS TOGETHER AND SHEATHING MATERIALS TO WOOD FRAME MEMBERS SHALL NOT BE LESS THAN THAT SPECIFIED IN THE OBC 2011 TABLE 2304.9.1, AND PER MANUFACTURERS SPECIFICATIONS.  
A. ALL NAILS EXPOSED TO THE WEATHER SHALL BE GALVANIZED.  
B. TOE NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES TO THE PIECE SURFACE AND BE STARTED AT 1/3 THE LENGTH OF THE NAIL FROM THE EDGE OF THE PIECE.  
C. WOOD SCREWS SHALL BE IN CONFORMANCE WITH A.N.S.I. B18.6.1.
- BOLTS AND LAG SCREWS SHALL CONFORM TO A.N.S.I. B18.2.1. ALL BOLTS THROUGH WOOD SHALL HAVE STANDARD CUT WASHERS EXCEPT WHERE METAL SIDE PLATES ARE SPECIFIED. BOLT HOLES SHALL BE BORED 1/32" TO 1/16" LARGER THAN THE BOLT DIAMETER, UNLESS NOTED OTHERWISE. ALL BOLTS SHALL BE RETIGHTENED PRIOR TO APPLICATION OF PLASTER, PLYWOOD, ETC.



**LOFT PLAN**  
SCALE: 1/8"=1'-0"



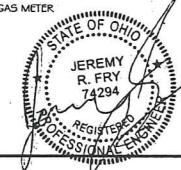
**FLOOR PLAN**  
SCALE: 1/8"=1'-0"  
156'-0"

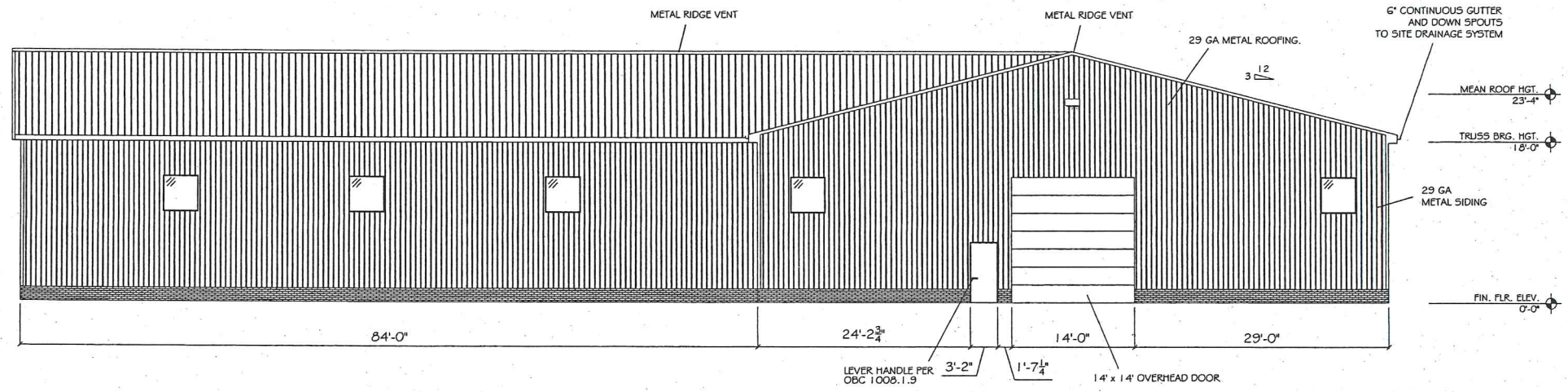


**DOOR & WINDOW SCHEDULE**

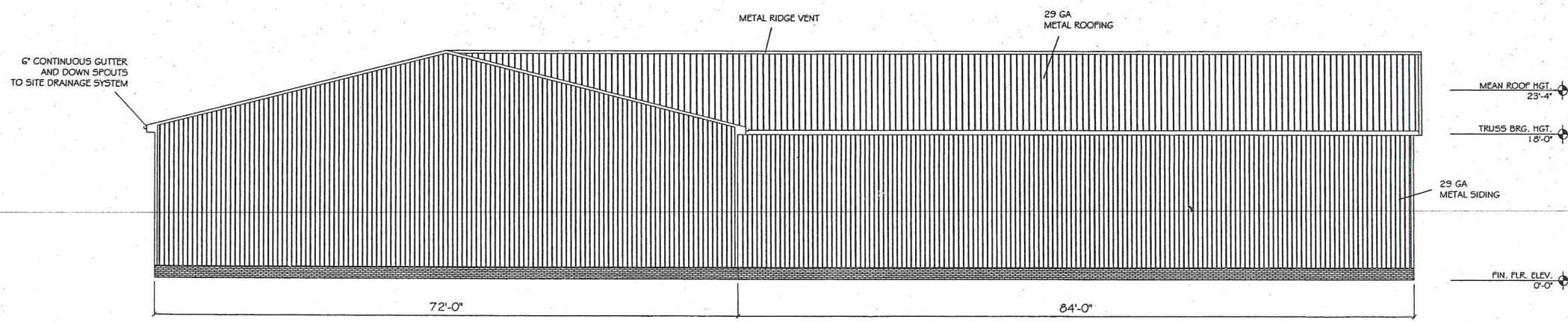
NO.	SIZE	DOOR / WINDOW	MATERIAL	FRAME	THRESH.	SLIP. WTD. CLOSER BY FORCE	PANIC HARDWARE (WHERE REQ'D)	1/2" PK. B. TRINGS	1/2" PK. B. TRINGS	SECURITY LOCKSET	WEATHERSTRIPPING	TENSION HARDWARE & TRACKS	LEVER HANDLE PER OBC 1008.1.6.1
(A)	(3) 3' x 6'-0" x 1' 3/4"	ENTRY DOOR	METAL	METAL									
(B)	(2) 14' x 14' x 1' 3/4"	OVERHEAD DOOR	METAL	METAL									
(C)	(1) 14' x 11' x 1' 3/4"	AUTOMATIC FIRE DOOR	METAL	METAL									
(D)	(1) 14' x 11' x 1' 3/4"	OVERHEAD DOOR	METAL	METAL									
(E)	(10) 4' x 4'	SLIDER WINDOWS	VINYL	VINYL									

\* DOOR THRESHOLDS NOT TO EXCEED 1/2" IN HEIGHT PER OBC 1008.1.6  
\* CONTRACTOR TO VERIFY DOOR & WINDOW STYLE, COLOR & QUANTITIES WITH OWNER PRIOR TO ORDERING AND INSTALLATION.



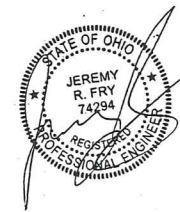


**WEST BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"

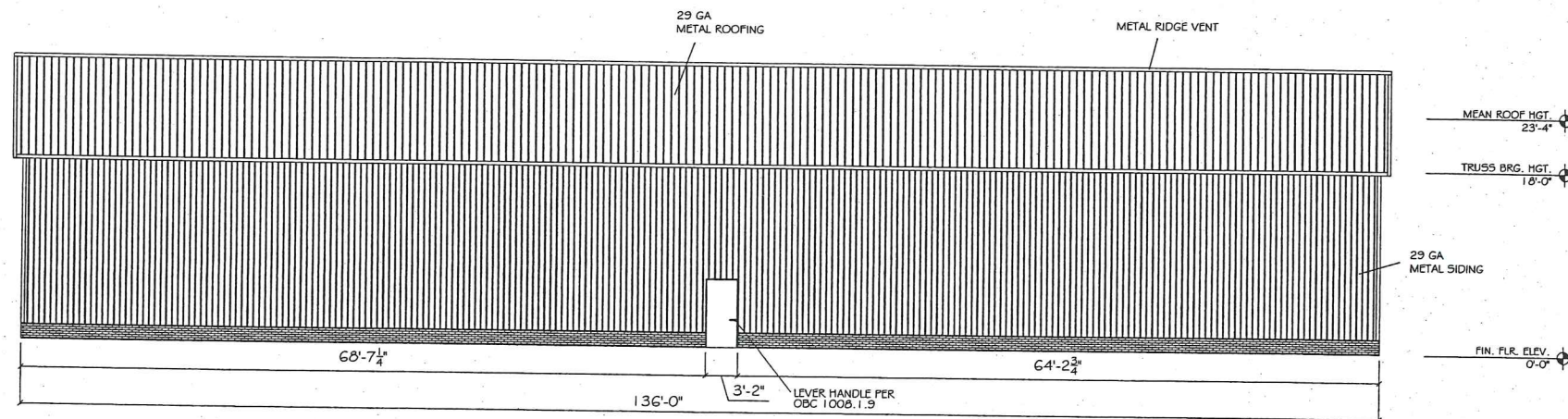


**EAST BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"

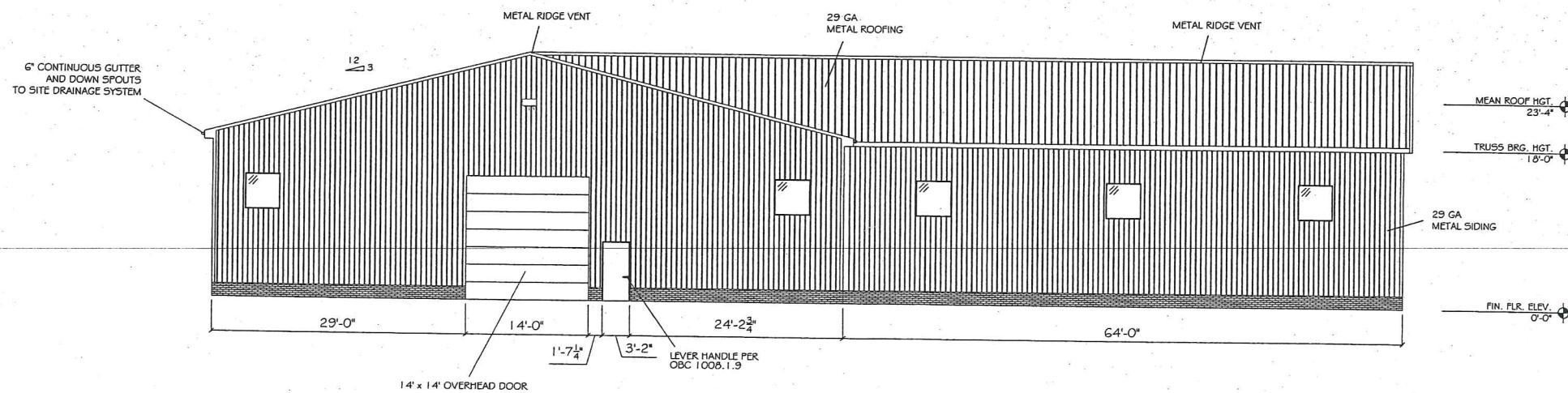
New Private Auto Warehouse  
**FAVAZZO AUTO WAREHOUSE**



JOB NUMBER	FA-1616
DATE	4/08/16
ELEVATIONS	<b>5</b>



**SOUTH BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"

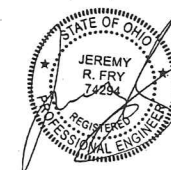


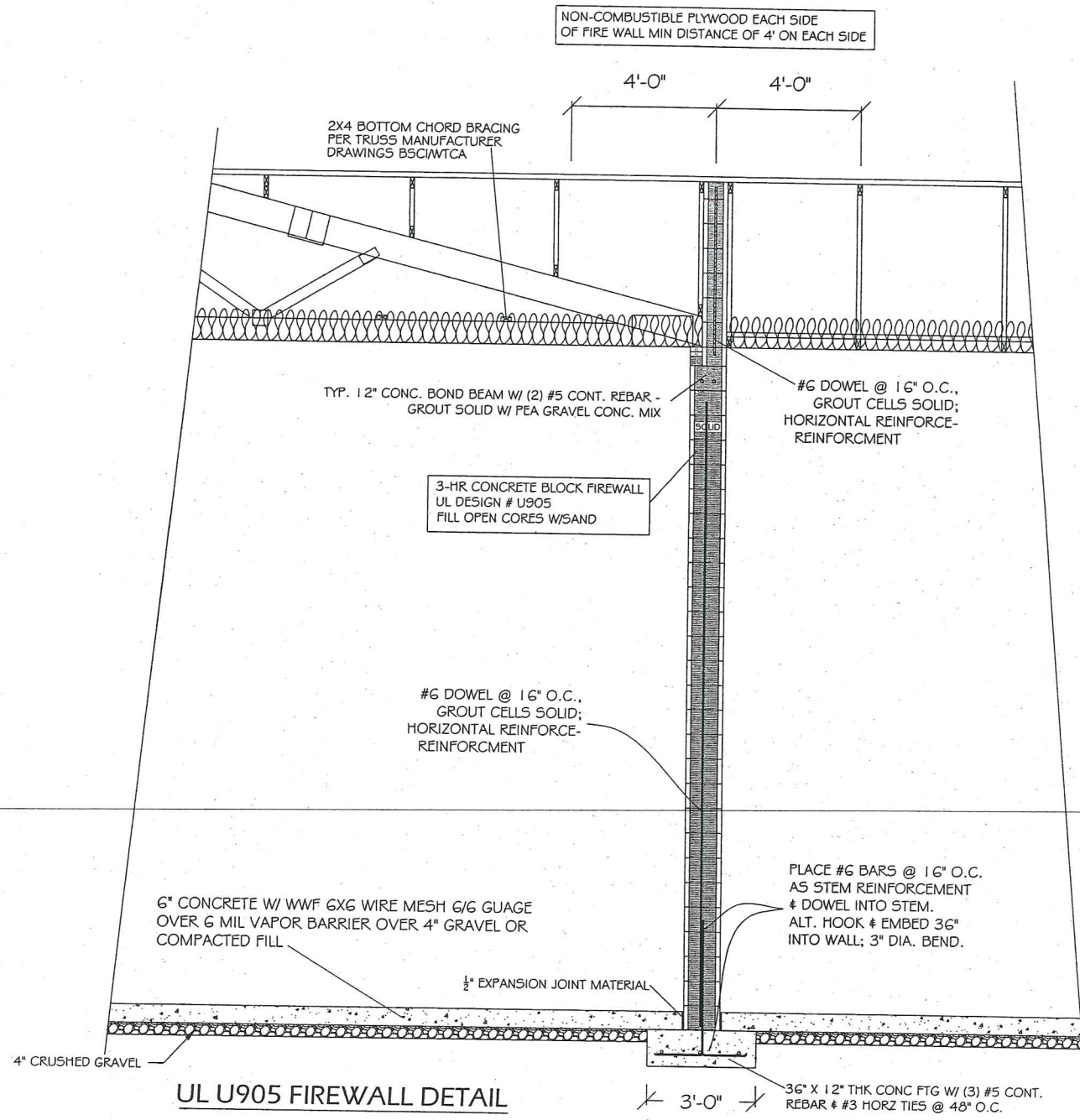
**NORTH BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"

New Private Auto Warehouse  
**FAVAZZO AUTO WAREHOUSE**

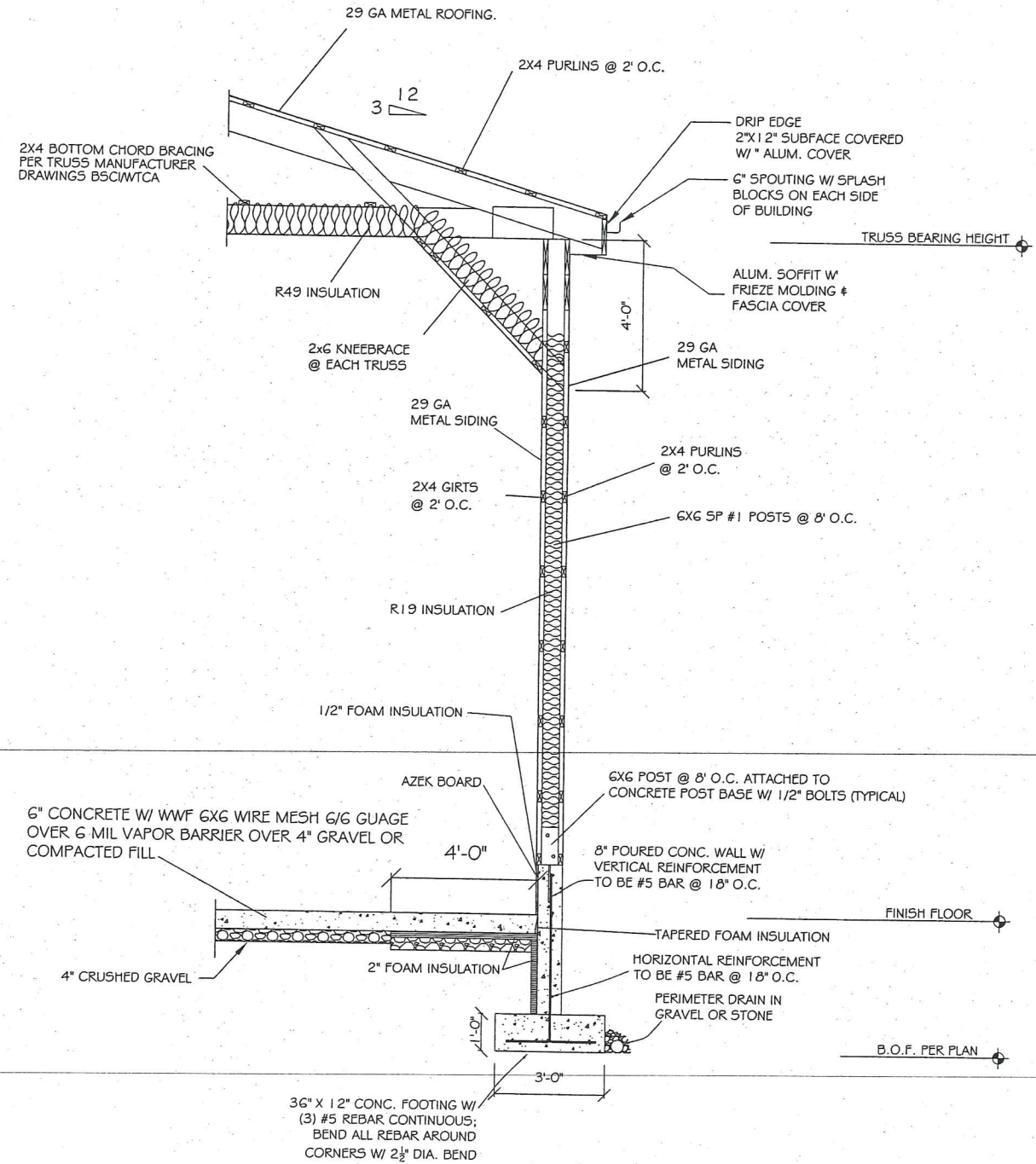
JOB NUMBER  
FA-1616  
DATE  
4/08/16

ELEVATIONS  
**6**

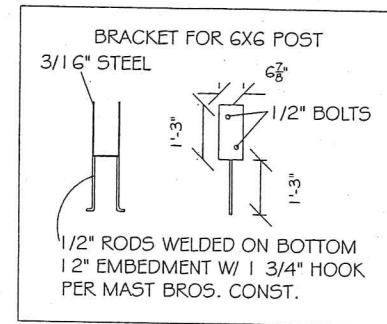




DTL-A  
7  
SECTION "A" DETAIL  
SCALE: 1/2" = 1'-0"



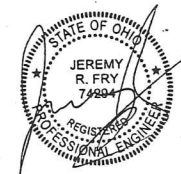
DTL-B  
7  
TYPICAL WALL SECTION / FOUNDATION DETAIL  
SCALE: 1/2" = 1'-0"

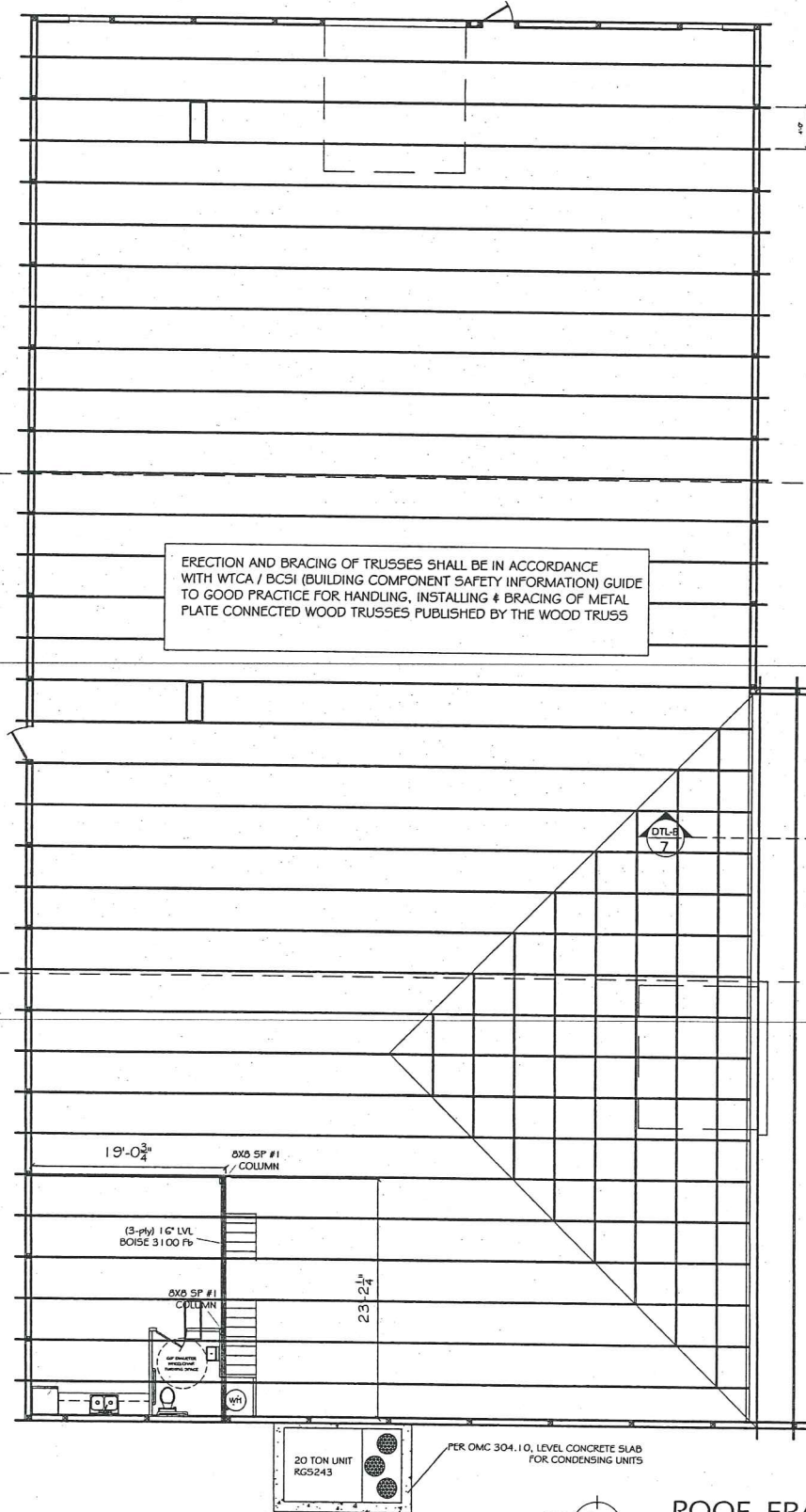


DTL-C  
7  
POST BASE CONNECTION DETAIL  
SCALE: 1/2" = 1'-0"

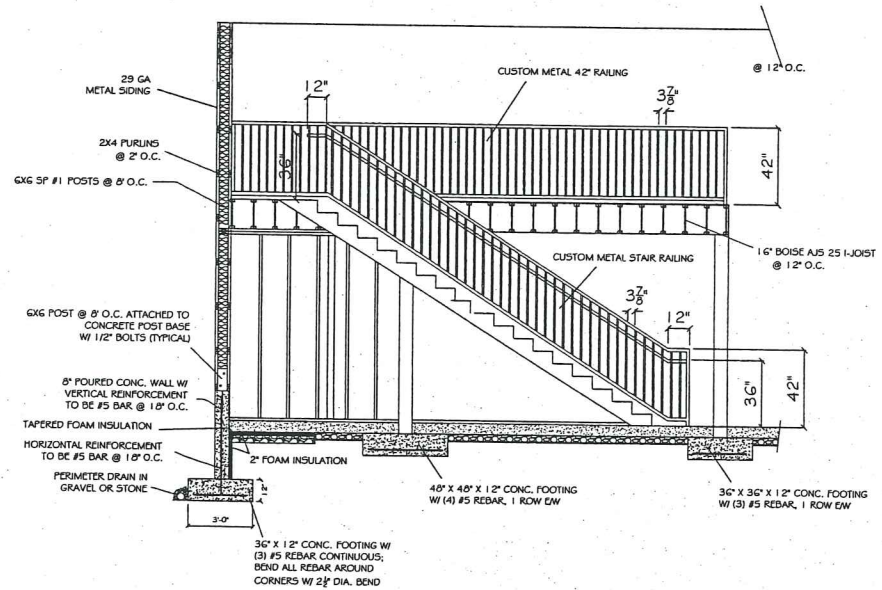
New Private Auto Warehouse  
**FAVAZZO AUTO WAREHOUSE**

JOB NUMBER	FA-1616
DATE	4/08/16
SECTIONS	<b>7</b>





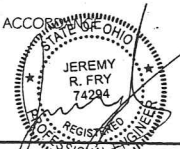
**ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"



**LOFT FRAMING / STAIRWAY DETAIL**  
SCALE: 1/8" = 1'-0"

**TRUSS FRAMING NOTES**

1. ALL ENGINEERED TRUSS DESIGNS SHALL BEAR THE NAME AND SEAL AND/OR REGISTRATION NUMBER OF A LICENSED PROFESSIONAL ENGINEER.
2. COPIES OF THE TRUSS DESIGNS AND/ OR SHOP DRAWINGS SHALL BE SUBMITTED TO THE PROJECT ENGINEER OF RECORD FOR APPROVAL PRIOR TO THE FABRICATION OF ANY COMPONENTS.
3. THE DESIGN AND FABRICATION CRITERIA OF ALL WOOD TRUSSES SHALL CONFORM TO ANSI/TPI 1-2002 AND THE NATIONAL DESIGN SPECIFICATIONS, SPECIFICALLY "NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENINGS" BY THE NATIONAL FOREST PRODUCTS ASSOCIATION INSTITUTE OF TIMBER CONSTRUCTION (LATEST REVISION), AND "DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES", BY THE TRUSS PLATE INSTITUTE (LATEST REVISION), THE SAME AS IF THOSE SPECIFICATIONS AND ALL THEIR REFERENCES WERE SET OUT IN FULL HEREIN.
4. TRUSS SHOP DRAWINGS SHALL INDICATE THE MINIMUM INFORMATION INCLUDED IN ANSI/TPI-1-2002 INCLUDING THE REQUIRED LOCATION OF PERMANENT WEB BRACING. TRUSS DESIGNS SHALL CONTAIN THE FOLLOWING DESIGN AND FABRICATION DATA:
  - A. DESIGN LOADINGS OF TRUSSES AND ALLOWABLE STRESS INCREASE; FORCE ANALYSIS OR BAR FORCES IN EACH MEMBER.
  - B. LUMBER SPECIFICATIONS: PITCH, SPAN, AND SPACING OF TRUSSES; SPECIES AND STRESS GRADES OF LUMBER TO BE USED AS MEMBERS
  - C. METAL CONNECTORS: GAUGE THICKNESS, NOMINAL SIZES AND LOCATIONS OF CONNECTORS AT ALL JOINTS.
  - D. TRUSS BEARING SUPPORTS:
    - 1.) SIZES AND LOCATION, TYPE(S)
    - 2.) TRUSS-TO-TRUSS AND TRUSS-TO-BEAM CONNECTIONS SHALL BE SPECIFIED BY THE TRUSS DESIGN ENGINEER
  - E. PERMANENT BRACING AND/OR BRIDGING - AS REQUIRED TO PREVENT COMPRESSION BUCKLING OF INDIVIDUAL TRUSS MEMBERS ONLY:
    - 1.) PERMANENT TOP CHORD BRACING SHALL BE ACCOMPLISHED WITH SHEATHING OR PROPERLY ATTACHED PURLINS AND METAL ROOFING.
    - 2.) PERMANENT BOTTOM CHORD BRACING SHALL BE ACCOMPLISHED WITH:
      - a.) RIGID CEILING DIRECTLY APPLIED OR
      - b.) PROPERLY ATTACHED LATERAL BRACES, NOT TO EXCEED 10'-0";
      - c.) LATERAL BRACING SHALL BE RESTRAINED AT EACH END
    - 3.) PERMANENT WEB BRACING:
      - a.) LATERAL BRACING SHALL BE LOCATED AS SPECIFIED BY THE TRUSS DESIGNER AND SHOWN ON THE ENGINEERED TRUSS DRAWINGS.
      - b.) DIAGONAL BRACING, FASTENED TO THE SAME MEMBERS AS THE LATERAL BRACING, BUT ON THE OPPOSITE EDGE, TO BE SPACED NOT MORE THAN 20'-0" BETWEEN BRACING EXTREMITIES OVER THE LENGTH OF THE BUILDING.
    - 4.) ALL BRACING MEMBERS ARE TO BE OF MINIMUM 2x4 LUMBER AND FASTENED WITH A MINIMUM OF TWO 16d NAILS IN EACH TRUSS UNLESS OTHERWISE SPECIFIED.
    - 5.) T-BRACES MAY BE USED IN PLACE OF LATERAL AND DIAGONAL BRACES. T-BRACES SHALL BE 2x4 IF ONE LATERAL BRACE IS REQUIRED, OR 2x6 IF TWO LATERAL BRACES ARE REQUIRED. A T-BRACE MUST RUN THE FULL LENGTH OF A WEB AND BE NAILED AT 12 INCHES ON CENTER.
  - F. ERECTION AND BRACING OF TRUSSES SHALL BE IN ACCORDANCE WITH WTCA SUMMARY SHEET PUBLISHED BY THE WOOD TRUSS COUNCIL OF AMERICA.



**ELECTRICAL NOTES**

- ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), AND ALL OTHER APPLICABLE NATIONAL, STATE AND LOCAL REQUIREMENTS.
  - ELECTRICAL AND HVAC WORK SHALL BE COMPLETED BY AN INDIVIDUAL OR BUSINESS THAT IS LICENSED BY THE OHIO CONSTRUCTION INDUSTRY LICENSING BOARD AS REQUIRED BY OBC-4740 AND OAC-4141:16.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN WORKING ORDER BEARING THE "UL" OR EQUIVALENT LABEL WHENEVER SUCH STANDARDS HAVE BEEN ESTABLISHED.
- CONDUIT OR MC CABLE TO BE USED WHERE WIRING IS EXPOSED. TYPE NM WIRING TO BE USED WHERE WIRING IS NOT EXPOSED AND IS PROTECTED WITH A THERMAL BARRIER HAVING A MINIMUM 15 MINUTE FINISH RATING. ALL UNDERGROUND CONDUCTORS SHALL BE AC OR MC CABLE. ALL MATERIALS IN OPEN SPACE ABOVE CEILINGS TO BE PLENUM RATED.
- EXHAUST FANS IN RESTROOMS ARE TO BE SWITCHED WITH ROOM LIGHTS
- PANELS AND ELECTRICAL EQUIPMENT CLEARANCES SHALL BE IN ACCORDANCE WITH SECTION 110-26 OF THE NEC
- ALL GROUNDING SHALL BE IN ACCORDANCE WITH ARTICLE 250 OF THE NEC.
- ALL TYPE NM WIRING OR CONDUIT AND PANEL CIRCUIT PROTECTION SHALL BE SIZED FOR THE CONNECTING LOADS PER THE NATIONAL ELECTRICAL CODE, TABLE 310-16.
- DISCONNECTS ARE TO BE SUPPLIED TO ALL MOTORIZED EQUIPMENT
- ALL OUTSIDE SWITCHES AND RECEPTACLES SHALL BE WATERPROOF
- LIGHTING IS REQUIRED IN ALL MEANS OF EGRESS, INCLUDING EXIT DISCHARGE, DURING ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
- EXIT SIGNS ARE SELF ILLUMINATING PHOTOLUMINESCENT AND SHALL COMPLY WITH THE LOCATION, SIZE, COLOR ILLUMINATION AND POWER SOURCE REQUIREMENTS OF OBC 2011, SECTION 1011.
- THE AREA WHERE EACH SIGN IS LOCATED AND SHALL BE CONNECTED AHEAD OF ANY LOCAL SWITCHES, COMPLYING WITH OBC SECTIONS 1011 AND 2702.0, AND NEC 700-12 (E).
- ALL CONDUCTORS ARE TO BE COPPER.
- ALL REINFORCING REBARS, EXCLUDING EXISTING BUILDINGS, NOT LESS THAN 1/2" DIA. AND 20 FEET IN LENGTH LOCATED NEAR THE BOTTOM OF THE CONCRETE FOOTING OR FOUNDATION THAT IS IN DIRECT CONTACT WITH THE EARTH SHALL BE GROUNDED OR BONDED INTO THE BUILDING GROUNDING ELECTRODE SYSTEM IN ACCORDANCE WITH ARTICLE 250.52.(A),(3) NEC 2005. THE SIZE OF GROUNDING ELECTRODE CONDUCTOR SHALL COMPLY WITH ARTICLE 250.66.(B) NEC 2005. METHODS OF GROUNDING AND BONDING CONDUCTOR CONNECTION AND MATERIALS USED SHALL BE LISTED FOR GROUNDING OR BONDING USE IN ACCORDANCE WITH ARTICLE 250.70 NEC 2014.
- THIS DRAWING IS GENERAL IN NATURE AND THE INTENT IS TO PROVIDE A COMPLETE, SAFE AND SATISFACTORY ELECTRICAL SYSTEM. ITEMS NOT SHOWN OR MENTIONED, BUT NECESSARY FOR SUCH AN INSTALLATION ARE TO BE INCLUDED, PER OBC SECTION 2702.0 AND APPLICABLE SECTIONS OF THE NEC.

**400 AMP MDP (MAIN - W/200 AMP BREAKER)  
200 AMP 108/240 V 3-PHASE PANEL**

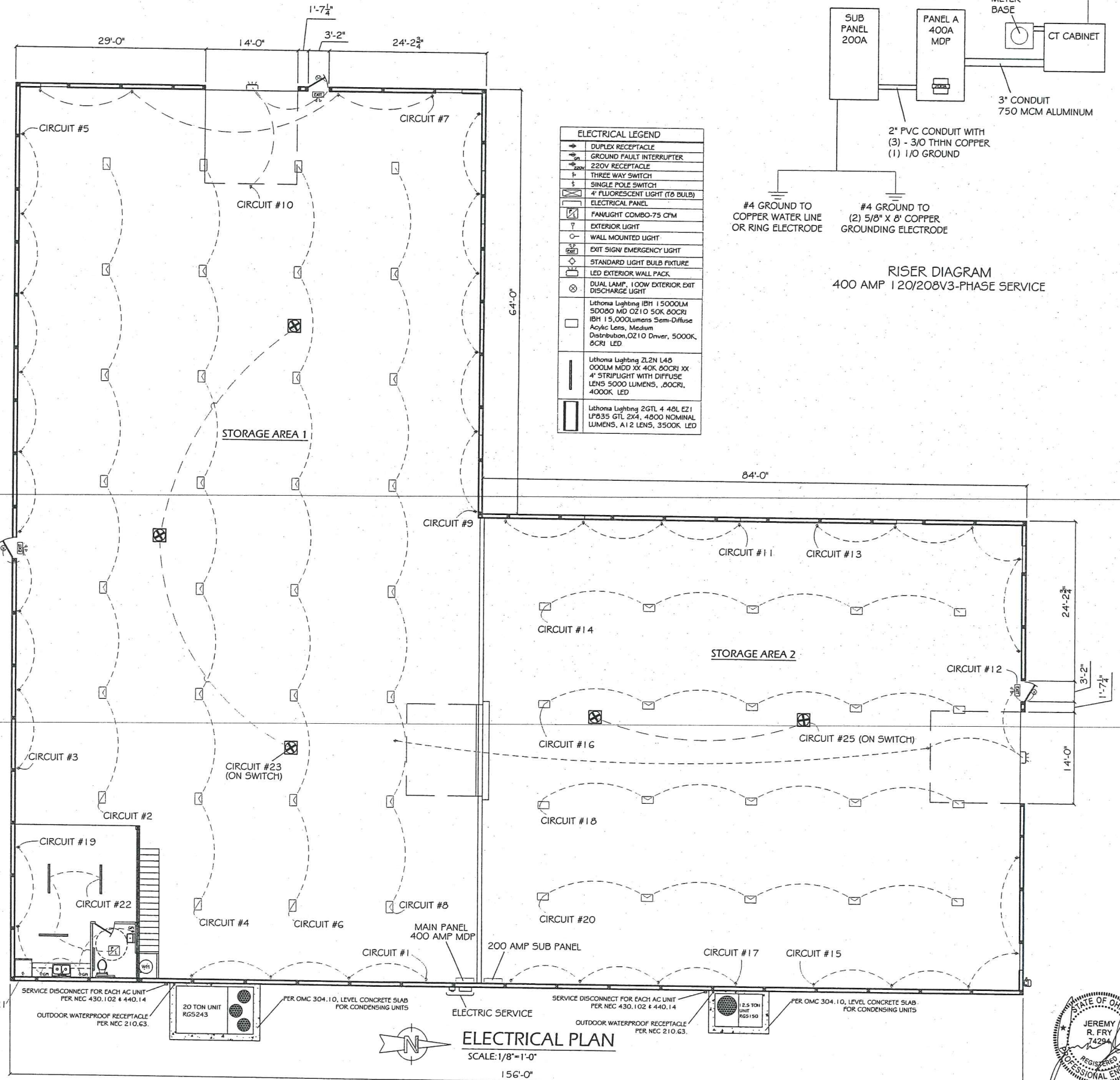
DESCRIPTION	WATTS	GA.	CIR. NO.	AMP	DESCRIPTION	WATTS	GA.	CIR. NO.	AMP
MAIN AREA LIGHTING (STORAGE 1)	1200	12	2	20	RECEPTACLES (STORAGE 1)	600	12	1	20
MAIN AREA LIGHTING (STORAGE 1)	1200	12	4	20	RECEPTACLES (STORAGE 1)	1000	12	3	20
MAIN AREA LIGHTING (STORAGE 1)	1200	12	6	20	RECEPTACLES (STORAGE 1)	1200	12	5	20
MAIN AREA LIGHTING (STORAGE 1)	1200	12	8	20	RECEPTACLES (STORAGE 1)	600	12	7	20
EXTERIOR / EMRG. EXIT / OH DOOR	600	12	10	20	RECEPTACLES (STORAGE 1)	1200	12	9	20
EXTERIOR / EMRG. EXIT / OH DOOR	500	12	12	20	RECEPTACLES (STORAGE 2)	600	12	11	20
MAIN AREA LIGHTING (STORAGE 2)	750	12	14	20	RECEPTACLES (STORAGE 2)	1000	12	13	20
MAIN AREA LIGHTING (STORAGE 2)	750	12	16	20	RECEPTACLES (STORAGE 2)	1000	12	15	20
MAIN AREA LIGHTING (STORAGE 2)	750	12	18	20	RECEPTACLES (STORAGE 2)	800	12	17	20
MAIN AREA LIGHTING (STORAGE 2)	750	12	20	20	UNDER LOFT RECEPTACLES	1000	12	19	20
UNDER LOFT LIGHTING / RESTROOM	350	12	22	20	REFRIGERATOR	1000	12	21	20
			24		ATTIC FANS (STORAGE AREA #1)	300	12	23	20
			26		ATTIC FANS (STORAGE AREA #2)	200	12	25	20
			28					27	
			30					29	

WATTS: 9,550      TOTAL WATTS: 20,150      WATTS: 10,600  
TOTAL AMPS: 83.95

**SUB PANEL  
200 AMP 108/240 V 3-PHASE MAIN PANEL**

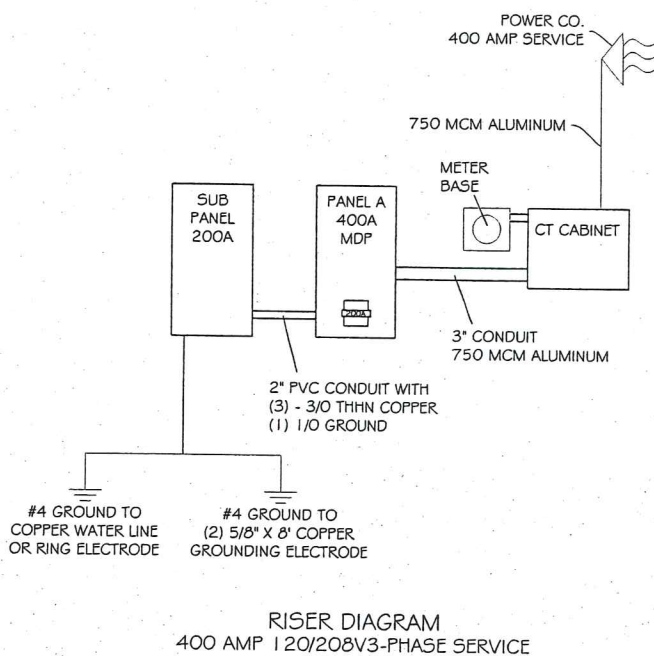
DESCRIPTION	WATTS	GA.	CIR. NO.	AMP	DESCRIPTION	WATTS	GA.	CIR. NO.	AMP
			2	20				1	20
			4	20				3	20
			6	20				5	20
			8	20				7	20
			10	20				9	20
			12	20				11	20
			14	20				13	20
			16	20				15	20
			18	20				17	20
			20	20				19	20
			22	20				21	20
			24	20				23	20
			26	20				25	20
			28	20				27	20
			30	20				29	20
12.5 TON HVAC RTU #1	11264	6	28	60				27	60
			30	150				29	150
								#1	24700
									20 TON HVAC RTU #2

WATTS: 11,264      TOTAL WATTS: 35,964      WATTS: 24,700  
TOTAL AMPS: 173.0



**ELECTRICAL LEGEND**

- ⊞ DUPLEX RECEPTACLE
- ⊞ GROUND FAULT INTERRUPTER
- ⊞ 220V RECEPTACLE
- ⊞ SINGLE POLE SWITCH
- ⊞ 4' FLUORESCENT LIGHT (8 BULB)
- ⊞ ELECTRICAL PANEL
- ⊞ FAN/LIGHT COMBO-75 CFM
- ⊞ EXTERIOR LIGHT
- ⊞ WALL MOUNTED LIGHT
- ⊞ EXIT SIGN EMERGENCY LIGHT
- ⊞ STANDARD LIGHT BULB FIXTURE
- ⊞ LED EXTERIOR WALL PACK
- ⊞ DUAL LAMP, 100W EXTERIOR EXIT DISCHARGE LIGHT
- ⊞ Lithonia Lighting IBH 15000LM 50080 MD 0210 50K 60CRI IBH 15,000 Lumens Semi-Diffuse Acrylic Lens, Medium Distribution, 0210 Driver, 5000K, 60RI LED
- ⊞ Lithonia Lighting ZL2N L45 000LM MDD XX 40K 60CRI XX 4' STRIPLIGHT WITH DIFFUSE LENS 5000 LUMENS, 60CRI, 4000K LED
- ⊞ Lithonia Lighting 2GLT 4 40L E21 LP935 GTL 2X4, 4800 NOMINAL LUMENS, A12 LENS, 3500K LED



**New Private Auto Warehouse  
FAVAZZO AUTO WAREHOUSE**

JOB NUMBER  
**FA-1616**

DATE  
**4/08/16**

**ELECTRICAL**

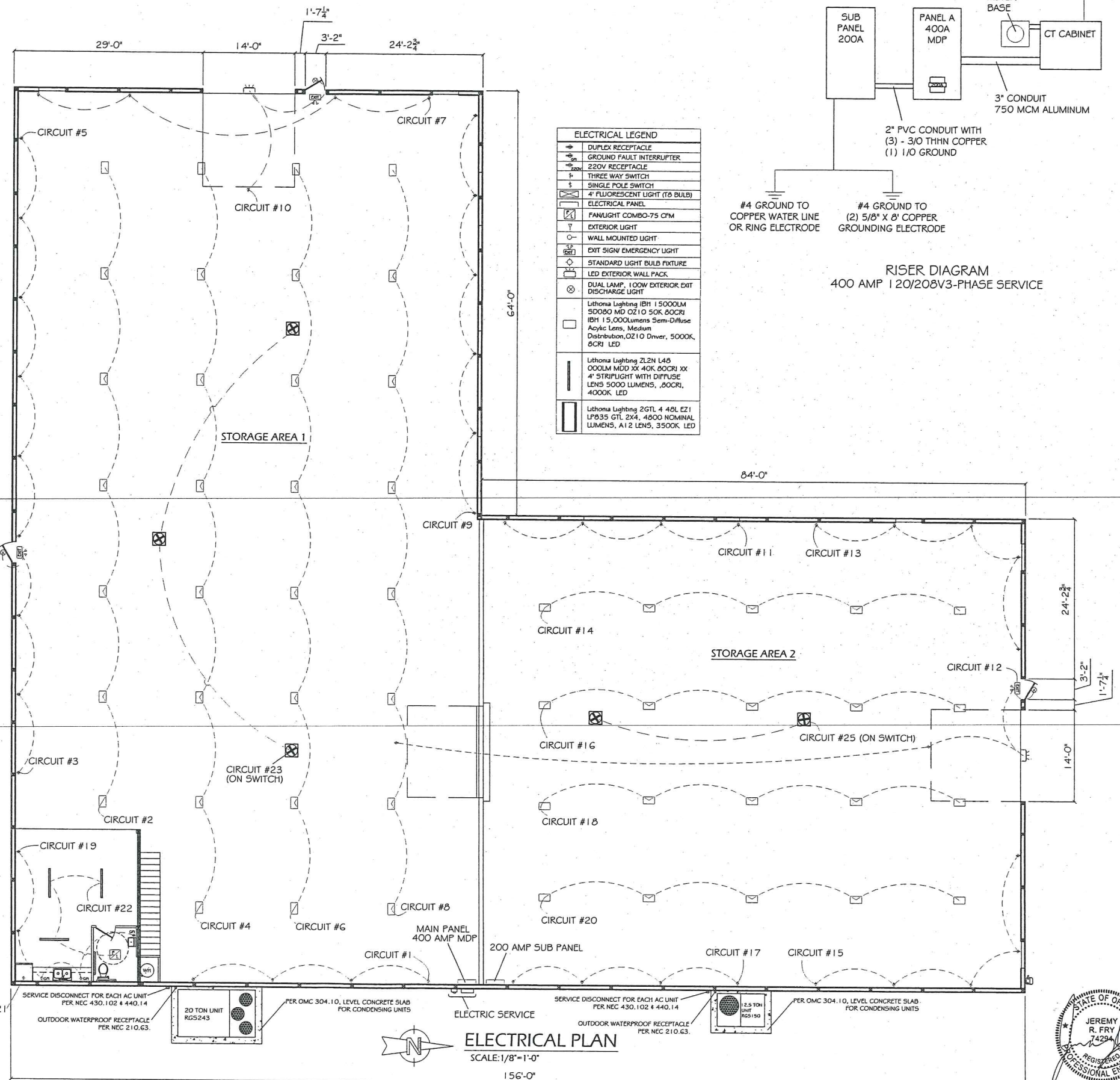
**9**



**ELECTRICAL PLAN**  
SCALE: 1/8"=1'-0"  
156'-0"

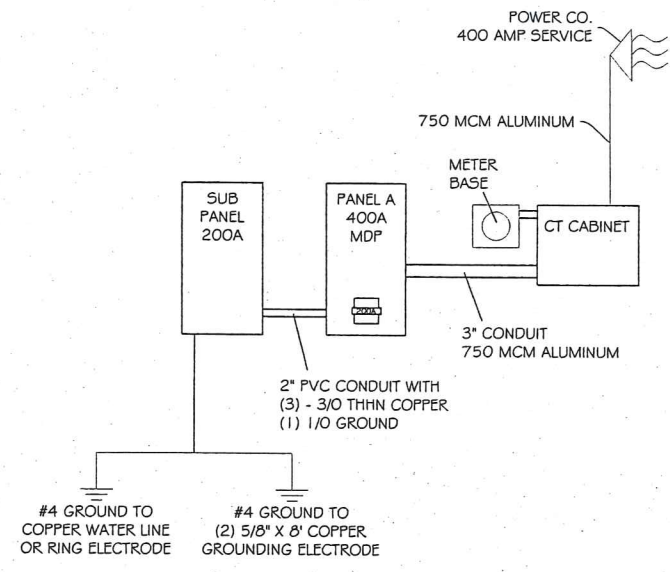
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- EXHAUST FANS IN RESTROOMS ARE TO BE SWITCHED WITH ROOM LIGHTS
- PANELS AND ELECTRICAL EQUIPMENT CLEARANCES SHALL BE IN ACCORDANCE WITH SECTION 110-26 OF THE NEC
- ALL GROUNDING SHALL BE IN ACCORDANCE WITH ARTICLE 250 OF THE NEC.
- ALL TYPE NM WIRING OR CONDUIT AND PANEL CIRCUIT PROTECTION SHALL BE SIZED FOR THE CONNECTING LOADS PER THE NATIONAL ELECTRICAL CODE, TABLE 310-16.
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- ALL OUTSIDE SWITCHES AND RECEPTACLES SHALL BE WATERPROOF
- LIGHTING IS REQUIRED IN ALL MEANS OF EGRESS, INCLUDING EXIT DISCHARGE, DURING ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
- EXIT SIGNS ARE SELF ILLUMINATING PHOTOLUMINESCENT AND SHALL COMPLY WITH THE LOCATION, SIZE, COLOR ILLUMINATION AND POWER SOURCE REQUIREMENTS OF OBC 2011, SECTION 101.1.
- THE AREA WHERE EACH SIGN IS LOCATED AND SHALL BE CONNECTED AHEAD OF ANY LOCAL SWITCHES, COMPLYING WITH OBC SECTIONS 101.1 AND 2702.0, AND NEC 700-12 (E).
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- ALL REINFORCING REBARS, EXCLUDING EXISTING BUILDINGS, NOT LESS THAN 1/2" DIA. AND 20 FEET IN LENGTH LOCATED NEAR THE BOTTOM OF THE CONCRETE FOOTING OR FOUNDATION THAT IS IN DIRECT CONTACT WITH THE EARTH SHALL BE GROUNDING OR BONDED INTO THE BUILDING GROUNDING ELECTRODE SYSTEM IN ACCORDANCE WITH ARTICLE 250.52 (A), (3) NEC 2005. THE SIZE OF GROUNDING ELECTRODE CONDUCTOR SHALL COMPLY WITH ARTICLE 250.66 (B) NEC 2005. METHODS OF GROUNDING AND BONDING CONDUCTOR CONNECTION AND MATERIALS USED SHALL BE LISTED FOR GROUNDING OR BONDING USE IN ACCORDANCE WITH ARTICLE 250.70 NEC 2014.
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**ELECTRICAL LEGEND**

⊕	DUPLEX RECEPTACLE
⊕	GROUND FAULT INTERRUPTER
⊕	220V RECEPTACLE
⊕	THREE WAY SWITCH
⊕	SINGLE POLE SWITCH
⊕	4' FLUORESCENT LIGHT (8 BULB)
⊕	ELECTRICAL PANEL
⊕	FANLIGHT COMBO-75 CFM
⊕	EXTERIOR LIGHT
⊕	WALL MOUNTED LIGHT
⊕	EXIT SIGN/ EMERGENCY LIGHT
⊕	STANDARD LIGHT BULB FIXTURE
⊕	LED EXTERIOR WALL PACK
⊕	DUAL LAMP, 1'00W EXTERIOR EXIT DISCHARGE LIGHT
⊕	Lithonia Lighting IBH 15000LM 50080 MD OZ 10 50K 60CRI IBH 15,000Lumens Semi-Diffuse Acrylic Lens, Medium Distribution, OZ 10 Driver, 5000K, 6CRI LED
⊕	Lithonia Lighting ZL2N L45 000LM MDD XX 40K 60CRI XX 4' STRIPLIGHT WITH DIFFUSE LENS 5000 LUMENS, 60CRI, 4000K LED
⊕	Lithonia Lighting 2GTL 4 40L E21 LP835 GTL E24, 4800 NOMINAL LUMENS, A12 LENS, 3500K LED



**RISER DIAGRAM**  
400 AMP 120/208V3-PHASE SERVICE

**400 AMP MDP (MAIN - W/200 AMP BREAKER)**  
200 AMP 108/240 V 3-PHASE PANEL

DESCRIPTION	WATTS	GA.	CIR. NO.	AMP	AMP	CIR. NO.	GA.	WATTS	DESCRIPTION
MAIN AREA LIGHTING (STORAGE 1)	1200	12	2	20	20	1	12	600	RECEPTACLES (STORAGE 1)
MAIN AREA LIGHTING (STORAGE 1)	1200	12	4	20	20	3	12	1000	RECEPTACLES (STORAGE 1)
MAIN AREA LIGHTING (STORAGE 1)	1200	12	6	20	20	5	12	1200	RECEPTACLES (STORAGE 1)
MAIN AREA LIGHTING (STORAGE 1)	1200	12	8	20	20	7	12	600	RECEPTACLES (STORAGE 1)
EXTERIOR / EMRG. EXIT / OH DOOR	600	12	10	20	20	9	12	1200	RECEPTACLES (STORAGE 1)
EXTERIOR / EMRG. EXIT / OH DOOR	600	12	12	20	20	11	12	600	RECEPTACLES (STORAGE 2)
MAIN AREA LIGHTING (STORAGE 2)	750	12	14	20	20	13	12	1000	RECEPTACLES (STORAGE 2)
MAIN AREA LIGHTING (STORAGE 2)	750	12	16	20	20	15	12	1000	RECEPTACLES (STORAGE 2)
MAIN AREA LIGHTING (STORAGE 2)	750	12	18	20	20	17	12	600	RECEPTACLES (STORAGE 2)
MAIN AREA LIGHTING (STORAGE 2)	750	12	20	20	20	19	12	1000	UNDER LOFT RECEPTACLES
UNDER LOFT LIGHTING / RESTROOM	350	12	22	20	20	21	12	1000	REFRIGERATOR
			24		20	23	12	300	ATTIC FANS (STORAGE AREA #1)
			26		20	25	12	200	ATTIC FANS (STORAGE AREA #2)
			28			27			
			30			29			

WATTS: 9,550      TOTAL WATTS: 20,150  
TOTAL AMPS: 63.95

**SUB PANEL**  
200 AMP 108/240 V 3-PHASE MAIN PANEL

DESCRIPTION	WATTS	GA.	CIR. NO.	AMP	AMP	CIR. NO.	GA.	WATTS	DESCRIPTION
			2	20	20	1			
			4	20	20	3			
			6	20	20	5			
			8	20	20	7			
			10	20	20	9			
			12	20	20	11			
			14	20	20	13			
			16	20	20	15			
			18	20	20	17			
			20	20	20	19			
			22	20	20	21			
			24	20	20	23			
			26	20	20	25			
1.25 TON HVAC RTU #1	11264	6	26	60	150	27	#1	24700	20 TON HVAC RTU #2
			30			29			

WATTS: 11,264      TOTAL WATTS: 35,964  
TOTAL AMPS: 173.0



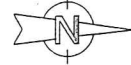
**New Private Auto Warehouse**  
**FAVAZZO AUTO WAREHOUSE**

JOB NUMBER  
**FA-1616**

DATE  
**4/08/16**

**ELECTRICAL**

**9**



**ELECTRICAL PLAN**  
SCALE: 1/8"=1'-0"  
156'-0"

**PLUMBING NOTES**

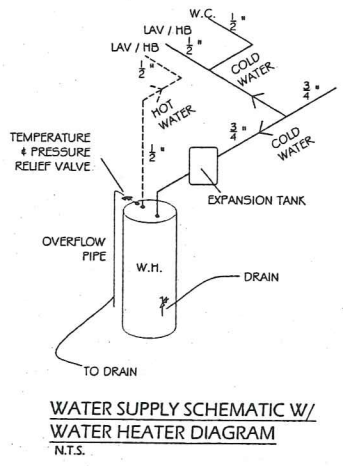
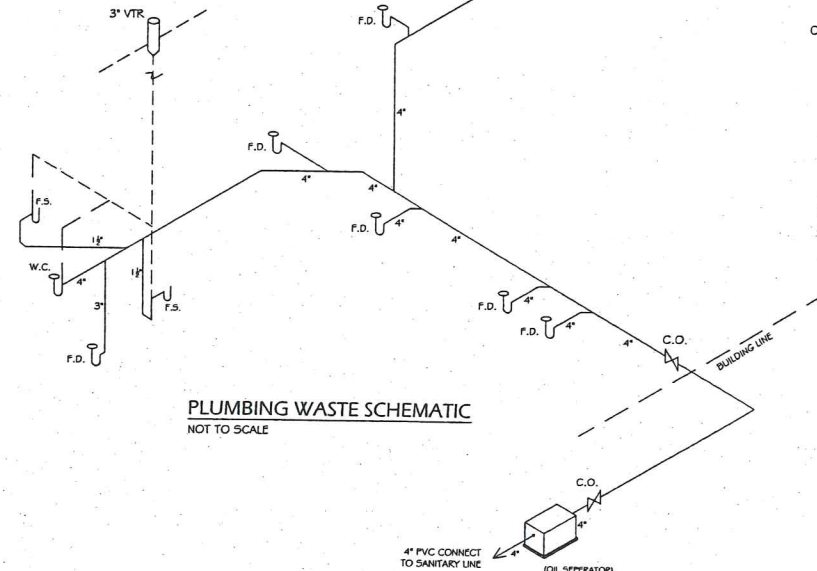
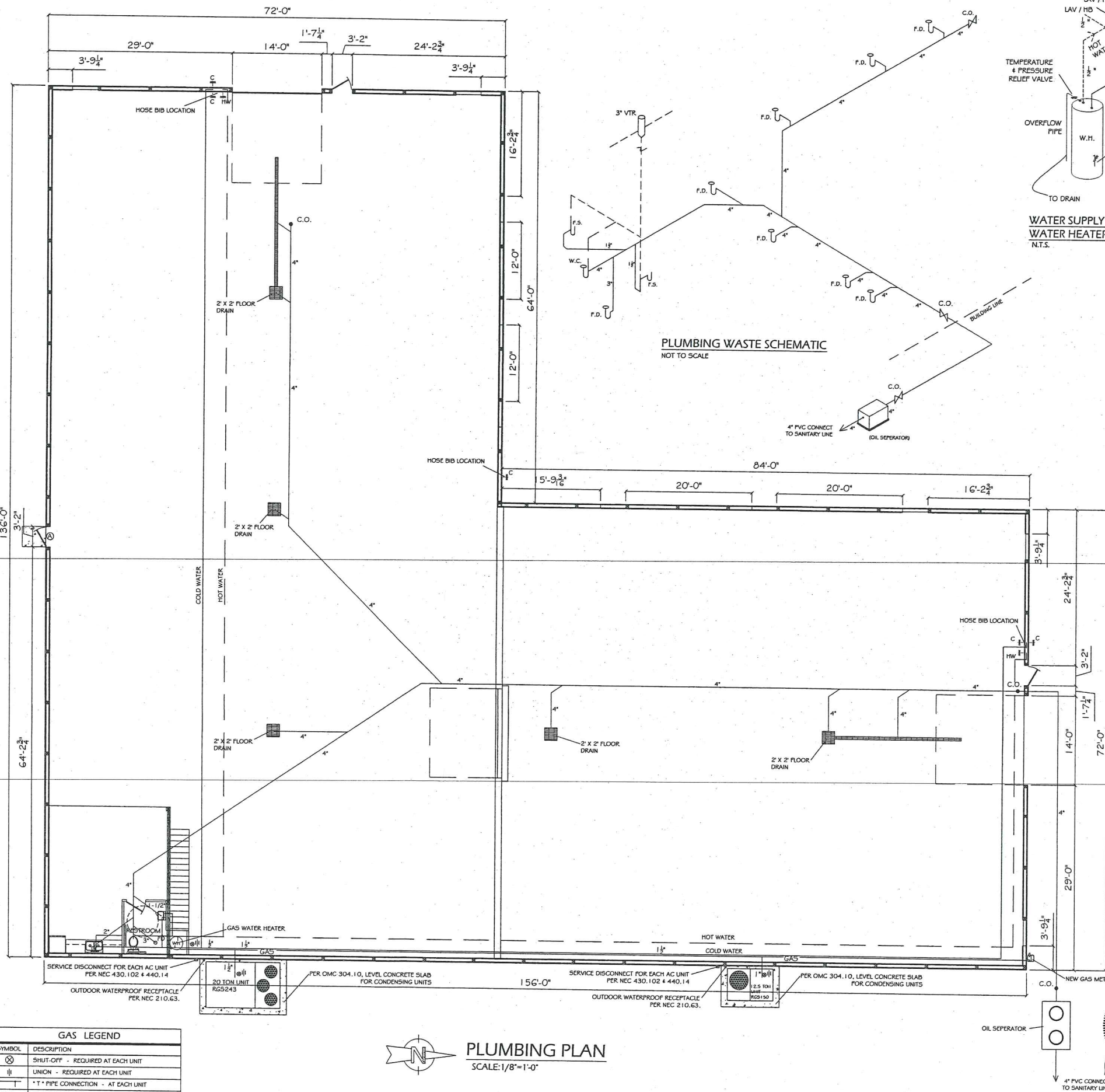
- PLUMBING EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH ITS UNDERWRITERS APPROVAL, THE MANUFACTURERS' RECOMMENDATIONS AND SPECIFICATIONS, GOOD ENGINEERING PRACTICES, AND ALL LOCAL AND STATE CODES (REFER TO CHAPTER 29 OBC).
- WATER SERVICE PIPE AND FITTINGS SHALL CONFORM TO NSF G1 AND SHALL CONFORM TO ONE OF THE MATERIAL STANDARDS LISTED IN TABLES 605.3 AND 605.5 OF THE OHIO PLUMBING CODE, 2011 EDITION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
  - COPPER OR COPPER-ALLOY PIPE, TUBING & FITTINGS;
  - CROSS-LINKED POLYETHYLENE (PEX) PLASTIC TUBING & FITTINGS FOR PEX PLASTIC TUBING;
  - ACRYLONITRILE BUTADIENE STYRENE (ABS) PLASTIC PIPE & ABS PLASTIC FITTINGS;
  - POLYVINYL CHLORIDE (PVC) PLASTIC SCHEDULE 40 PIPE & PVC PLASTIC FITTINGS;
  - OTHER APPROVED MATERIALS AS LISTED IN THE TABLES NOTED ABOVE MAY BE SUBSTITUTED UPON REVIEW AND APPROVAL BY THE BUILDING DESIGNER.
- WATER DISTRIBUTION PIPE SHALL CONFORM TO NSF G1 AND SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 605.4, O.P.C., 2011 EDITION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
  - COPPER OR COPPER-ALLOY PIPE OR TUBING;
  - CROSS-LINKED POLYETHYLENE (PEX) PLASTIC TUBING;
  - CHLORINATED POLYVINYL CHLORIDE (CPVC) PLASTIC PIPE AND TUBING;
  - OTHER APPROVED MATERIALS AS LISTED IN THE TABLES NOTED ABOVE MAY BE SUBSTITUTED UPON REVIEW AND APPROVAL BY THE BUILDING DESIGNER.
- DOMESTIC WATER INSULATION: 1" THICK OWENS-CORNING 25 AS/JSSL HEAVY DENSITY PIPE INSULATION.
- ALL GAS PIPING TO BE BLACK STEEL PIPE THREADED AND COUPLED; COMPLY WITH OMC 2011.
- ALL PLUMBING FIXTURES SHALL BE INSTALLED WITH SUPPLY SHUTOFF VALVES. EACH GAS APPLIANCE SHALL BE INSTALLED WITH A SHUTOFF VALVE.
- VALVES IN WATER PIPING SHALL BE BALL VALVES WITH BRONZE BODY SOLDERED ENDS, MINIMUM 150 POUNDS SWF. VALVES IN GAS PIPING SHALL BE AGA APPROVED SQUARE HEAD PLUG TYPE WITH LEVER HANDLE ADAPTER FOR GAS SERVICE.
- SOIL, WASTE, VENT AND DRAIN PIPING (UNDERGROUND & ABOVE GROUND INTERIOR) AND FITTINGS SHALL CONFORM TO ONE OF THE MATERIAL STANDARDS LISTED IN TABLES 702.1, 702.2 AND 702.4 OF THE O.P.C., 2011 EDITION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
  - POLYVINYL CHLORIDE (PVC) PIPES & PVC PIPE FITTINGS;
  - ACRYLONITRILE BUTADIENE STYRENE (ABS) PLASTIC PIPE & ABS PIPE FITTINGS;
  - OTHER APPROVED MATERIALS AS LISTED IN THE TABLES NOTED ABOVE MAY BE SUBSTITUTED UPON REVIEW AND APPROVAL BY THE BUILDING DESIGNER.
  - ABS OR PVC MATERIALS MAY NOT BE USED IN PLENUM SPACE.
- WHERE PLUMBING PIPING PASSES THROUGH CONCRETE PROVIDE MACHINE CUT STEEL PIPE SLEEVE 1" LARGER THAN OUTLINE DIAMETER OF PIPE. WHERE FLOORS ARE CORED DRILLED, STEEL SLEEVES ARE NOT REQUIRED. SEAL OPENINGS TO MAINTAIN THE INTEGRITY.
- WHERE ANY MATERIALS ARE INSTALLED THROUGH A FIRE BARRIER OR FIRE SEPARATION WALL OR FLOOR / CEILING ASSEMBLY, FIRE CAULK AROUND PENETRATION TO MAINTAIN FIRE RATING.
- PROVIDE ALL INSERTS AND SUPPORTS TO PROPERLY SUPPORT AND RETAIN PIPING TO CONTROL EXPANSION, ANCHORAGE, DRAINAGE, AND PREVENT SWAY AND VIBRATION.
- RUN ALL PIPING AS DIRECT AS POSSIBLE. ACTUAL LOCATION OF DRAIN, SOIL AND WASTE PIPING SHALL MEET THE VARIOUS BUILDING CONDITIONS. PERFORM ANY WORK NECESSARY TO CONCEAL PIPING OR CLEAR PIPING AND DUCTWORK OF OTHER TRADES.
- PROVIDE ALL STOPS, TRAPS, ESCUTCHEONS, BACKFLOW PREVENTERS, CARRIER, ETC. REQUIRED FOR A COMPLETE SYSTEM.
  - EACH FIXTURE TRAP SHALL HAVE A LIQUID SEAL OF NOT LESS THAN 2 INCHES (51 MM) AND NOT MORE THAN 4 INCHES (102 MM) PER SECTION 1002.4 O.P.C.
  - A TRAP SEAL PRIMER VALVE IS NOT REQUIRED WHERE A FIXTURE TRAP IS SUPPLIED WITH WATER ON A REGULAR BASIS PER EXCEPTION, SECTION 1002.4 O.P.C. ROOM FLOORS WHERE FLOOR DRAINS ARE LOCATED ARE TO BE MOPPED REGULARLY.
- HORIZONTAL PLUMBING WASTE LINES TO SLOPE 1/4 INCH PER FOOT; WASTE LINES 3 TO 6 INCHES IN DIAMETER MAY SLOPE MIN. 1/8 INCH PER FOOT PER TABLE 704.1, OHIO PLUMBING CODE, 2011 EDITION.
- PLUMBING CONTRACTOR TO VERIFY SEWER/SEPTIC LOCATION, SITE ELEVATIONS AND LOCAL CODES AND REVISE AS REQUIRED FOR THE PLUMBING PERMIT AND CERTIFICATES OF INSPECTION.

**GAS NOTES**

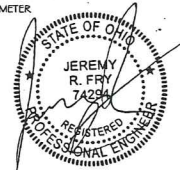
- APPLIANCES AND EQUIPMENT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MECHANICAL CODE AND THE INTERNATIONAL FUEL GAS CODE (REFER TO CHAPTER 28 OBC), AND ALL APPLICABLE STATE AND LOCAL CODES.
- ALL GAS PIPING TO BE BLACK STEEL PIPE THREADED AND COUPLED; MUST COMPLY WITH OMC 2011.
- EACH GAS PIPING RUN SHALL BE INSTALLED WITH A SHUTOFF VALVE.
- RUN ALL PIPING AS DIRECT AS POSSIBLE. ACTUAL LOCATION OF PIPING SHALL MEET THE VARIOUS BUILDING CONDITIONS. PERFORM WORK NECESSARY TO CONCEAL PIPING OR CLEAR PIPING AND DUCTWORK OF OTHER TRADES.
- PROVIDE ALL INSERTS AND SUPPORTS TO PROPERLY SUPPORT AND RETAIN PIPING TO CONTROL EXPANSION, ANCHORAGE, DRAINAGE, AND PREVENT SWAY AND VIBRATION.
- WHERE ANY MATERIALS ARE INSTALLED THROUGH A FIRE BARRIER OR FIRE SEPARATION WALL OR FLOOR / CEILING ASSEMBLY, FIRE CAULK AROUND PENETRATION TO MAINTAIN FIRE RATING.
- VALVES IN GAS PIPING SHALL BE AGA APPROVED SQUARE HEAD PLUG TYPE WITH LEVER HANDLE ADAPTER FOR GAS SERVICE.
- WHERE PLUMBING PIPING PASSES THROUGH CONCRETE PROVIDE MACHINE CUT STEEL PIPE SLEEVE 1" LARGER THAN OUTLINE DIAMETER OF PIPE. WHERE FLOORS ARE CORED DRILLED, STEEL SLEEVES ARE NOT REQUIRED. SEAL OPENINGS TO MAINTAIN THE INTEGRITY.
- CONTRACTOR TO VERIFY EQUIPMENT SPECIFICATIONS AND INSTALLATION MEET ALL CURRENT APPLICABLE STATE & LOCAL CODES, AND CURRENT NFPA CODES.

PLUMBING FIXTURES	
SYMBOL	DESCRIPTION
	GAS WATER HEATER;
	HAND SINK, TO BE SELECTED BY OWNER.
	FOOD PREP SINK, S.S.
	SERVICE TUB SINK.
	WATER CLOSET, TO BE SELECTED BY OWNER.
	APPROVED FLOOR DRAIN WITH TRAP PRIMERS
	HOSE BID

GAS LEGEND	
SYMBOL	DESCRIPTION
	SHUT-OFF - REQUIRED AT EACH UNIT
	UNION - REQUIRED AT EACH UNIT
	T PIPE CONNECTION - AT EACH UNIT
	BLACK STEEL PIPE



**PLUMBING PLAN**  
SCALE: 1/8"=1'-0"



**New Private Auto Warehouse**  
**FAVAZZO AUTO WAREHOUSE**

JOB NUMBER  
**FA-1616**

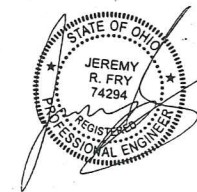
DATE  
**4/08/16**

PLUMBING  
**10**



New Private Auto Warehouse  
**FAVAZZO AUTO WAREHOUSE**

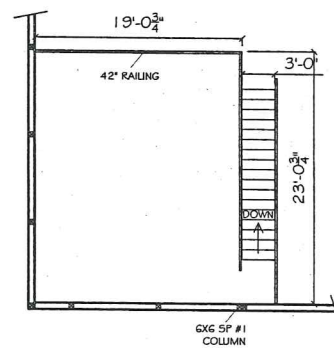
JOB NUMBER  
FA-1616  
DATE  
4/08/16  
HVAC PLAN  
**11**



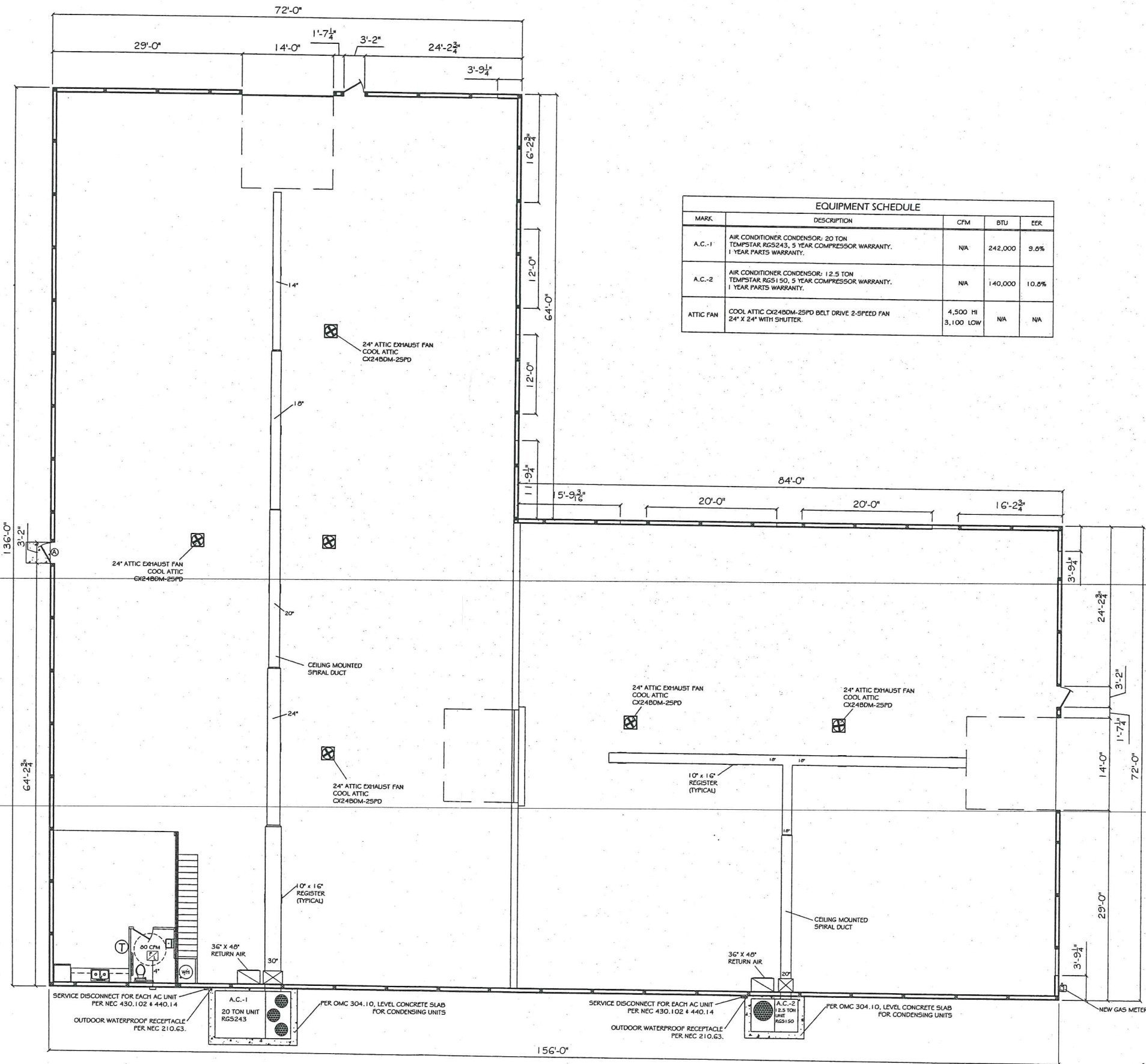
**MECHANICAL NOTES**

- THE MINIMUM VENTILATION AIR REQUIRED SHALL BE DETERMINED BASED ON THE OCCUPANT LOAD PER TABLE 403.3 OMC 201.1 AND USE OF THE BUILDING, SECTION 403.3 OMC 201.1 AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD MECHANICAL CODE.
- VENTILATION AIR SHALL COMPLY WITH ALL APPLICABLE CODES FOR FRESH AIR, FILTERING, RECIRCULATION AND CFM.
- MECHANICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH ITS UNDERWRITER APPROVAL, THE MANUFACTURER RECOMMENDATIONS, SPECIFICATIONS AND GOOD ENGINEERING PRACTICES.
- THE AIR EXHAUSTED FROM THE TOILET ROOMS SHALL BE DUCTED TO THE OUTDOORS.
- WHERE MECHANICAL VENTILATION IS PROVIDED, THE SYSTEM SHALL HAVE THE CAPABILITY TO PROVIDE THE REQUIRED RATE OF VENTILATION AIR CONTINUOUSLY DURING THE PERIOD THE BUILDING IS OCCUPIED, PER OMC 201.2 SECTION 403.3, UNLESS OTHERWISE STATED IN OTHER PROVISIONS OF THE CODE, OR IN ACCORDANCE WITH ASHRAE 62 PER SECTION 403.3 EXCEPTION 2.
- ALL GALVANIZED STEEL DUCTWORK SHALL BE LOCK FORMING QUALITY AND OF GAUGES IN ACCORDANCE WITH THE DUCT MANUAL FOR SHEET METAL CONSTRUCTION PUBLISHED BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.
- ALL SUPPLY AIR DUCTWORK IN ATTIC AREAS SHALL BE INSULATED WITH 1" THICK, 3/4 LB. DENSITY BLANKET FLEXIBLE DUCT INSULATION WITH GLASS FIBER REINFORCED FOIL FACED FLAME RESISTANT KRAFT PAPER VAPOR BARRIER FACING. SEAL JOINTS WITH 3" WIDE FOIL REINFORCED KRAFT TAPE. INSTALL INSULATION AS RECOMMENDED BY MANUFACTURER. THERMAL INSULATING TO MEET OR EXCEED THE REQUIREMENTS OF ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES.
- DIFFUSERS, REGISTERS AND LOUVERS SHALL BE AS PER MODEL AND SIZE INDICATED ON THE DRAWINGS. PROVIDE FIRE DAMPERS CONFORMING TO NFPA 90A AS REQUIRED BY GOVERNING CODES. INSTALL FIRE DAMPERS WITH ANY AND ALL ITEMS THAT PENETRATE A RATED WALL OR CEILING.
- COORDINATE ALL WORK WITH THE ELECTRICAL AND PLUMBING CONTRACTOR(S).
- ADJUST ALL CONTROLS AND EQUIPMENT FOR PROPER OPERATION; LUBRICATE AND CLEAN ALL EQUIPMENT PRIOR TO ACCEPTANCE OF THE BUILDING OWNER.
- FURNISH OWNER WITH ALL OPERATING MANUALS AND MAINTANCE INSTRUCTIONS FOR EQUIPMENT INSTALLED.

MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
	SUPPLY AIR DUCTS
	RETURN AIR DUCTS
	SUPPLY AIR GRILLS
	RETURN AIR GRILLS
	24 VOLT DIGITAL THERMOSTAT
	RESTROOM EXHAUST FAN, 100 CFM; INTERLOCK TO LIGHT SWITCH
	DUCT SMOKE DETECTOR AS REQUIRED FOR AIR DISTRIBUTION SYSTEMS WITH NO SYSTEM GREATER THAN 2000 CFM.



**LOFT PLAN**  
SCALE: 1/8"=1'-0"



EQUIPMENT SCHEDULE				
MARK	DESCRIPTION	CFM	BTU	EER
A.C.-1	AIR CONDITIONER CONDENSOR: 20 TON TEMPSTAR RGS243, 5 YEAR COMPRESSOR WARRANTY, 1 YEAR PARTS WARRANTY.	N/A	242,000	9.6%
A.C.-2	AIR CONDITIONER CONDENSOR: 2.5 TON TEMPSTAR RGS150, 5 YEAR COMPRESSOR WARRANTY, 1 YEAR PARTS WARRANTY.	N/A	140,000	10.6%
ATTIC FAN	COOL ATTIC CX24BDM-25PD BELT DRIVE 2-SPEED FAN 24" X 24" WITH SHUTTER.	4,500 HI 3,100 LOW	N/A	N/A

**HVAC PLAN**  
SCALE: 1/8"=1'-0"



## CITY OF GAHANNA

### STAFF COMMENTS

Project Name: Favazzo Auto  
Project Address: 1601 Eastgate Pkwy

#### Planning and Development

The subject property is not identified as a Target Site within the 2015 Economic Development Strategy as it is partially developed. Generally speaking, the Strategy identifies this portion of the City (Priority Development Area #5 as being appropriate for industrial uses at an intensity of roughly 15,000 square feet per acre. The proposed use, warehousing for automobiles, is permissible by the future land use, Industrial and the zoning, Office, Commerce, and Technology.

#### FDP/DR Criteria

Planning Commission shall approve an application for Final Development Plan if the following four conditions are met:

1. The proposed development meets the applicable development standards of this Zoning Ordinance.
2. The proposed development is in accord with appropriate plans for the area.
3. The proposed development would not have undesirable effects on the surrounding area.
4. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

*The proposed use is consistent with the land use and the zoning. Warehousing and similar industrial uses are prevalent in this area of the City. It is Planning & Development staff's opinion that the request meets the four conditions for approval.*

Planning Commission shall approve an application for Certificate of Appropriateness if it determines the proposal meets the following criteria:

1. Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
2. Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.



"HERB CAPITAL OF OHIO"

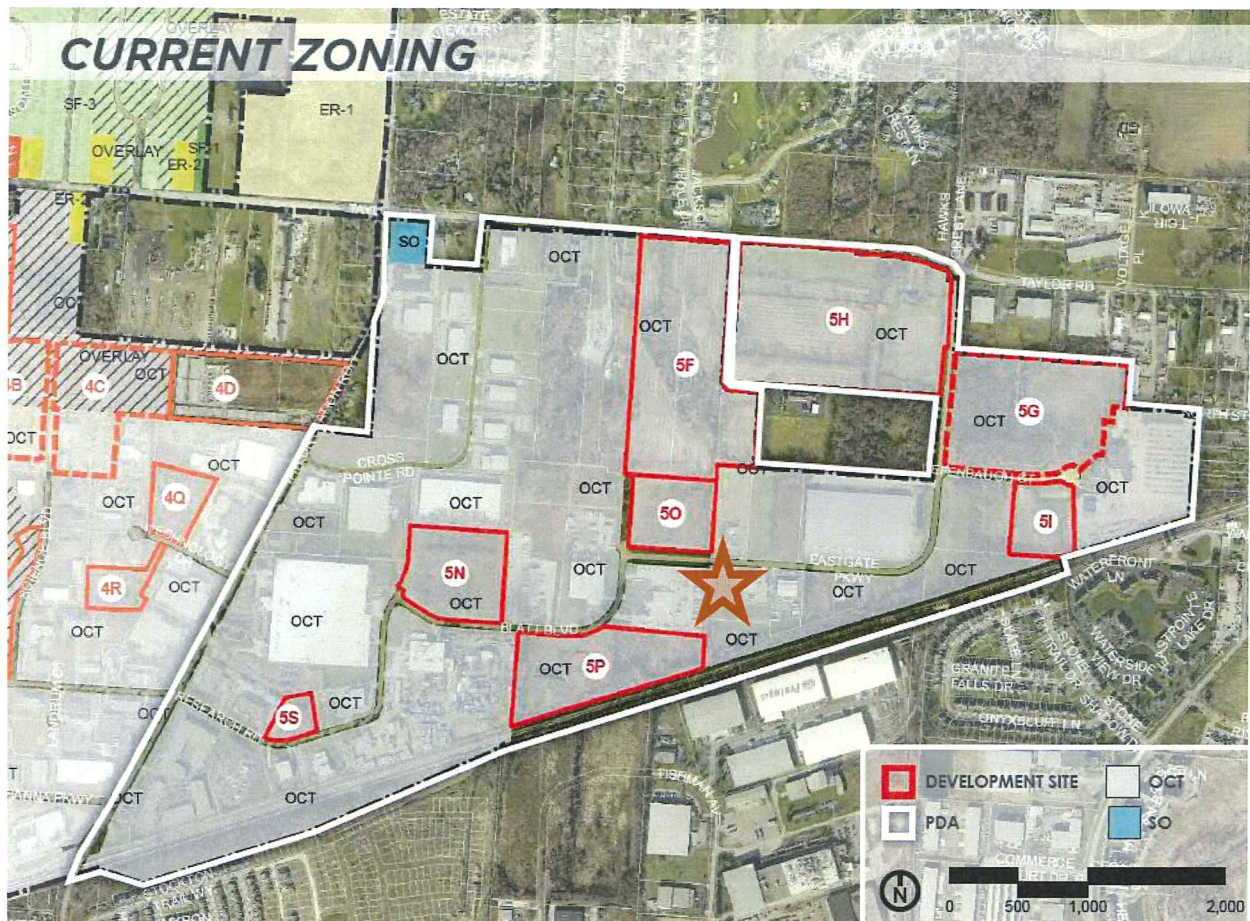


# CITY OF GAHANNA

3. Contribute to the continuing economic and community vitality of the Design Review District.
4. Maintain, protect and enhance the physical surroundings of the Design Review District.

*In addition to the new structure, the plan also calls for the existing building's roof to be changed from red to silver. This will be consistent with the new structure and should improve the overall appearance of the property. It is Planning & Development staff's opinion that the request meets the four conditions for approval.*

## PDA Map



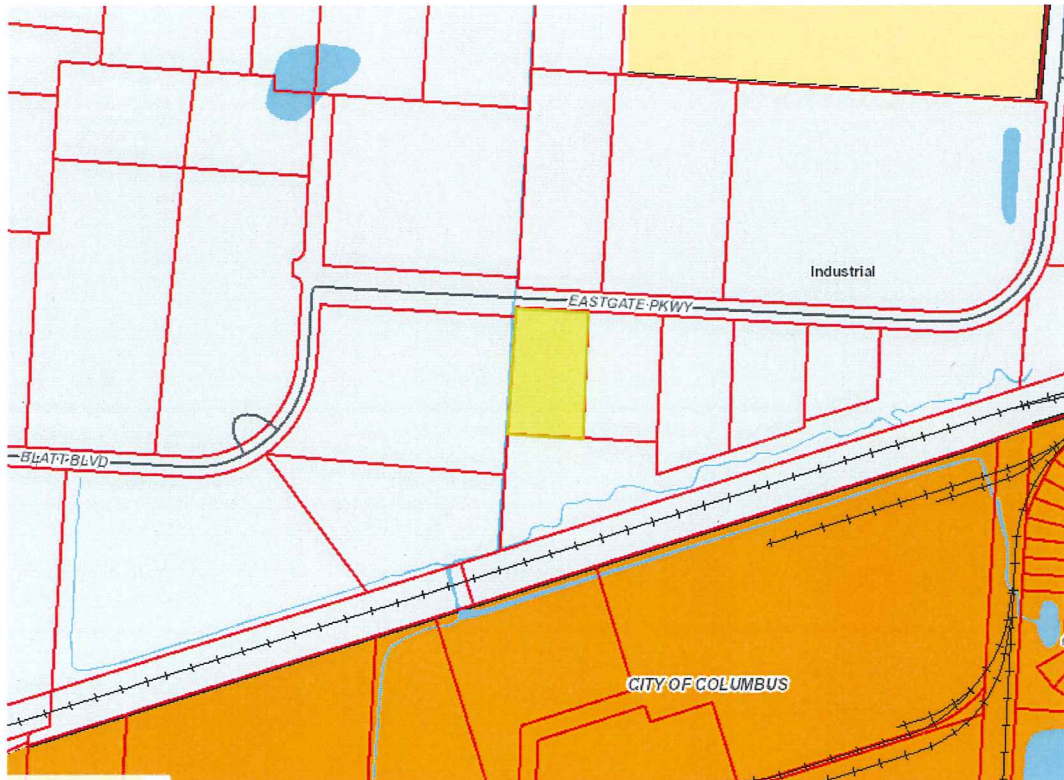
"HERB CAPITAL OF OHIO"

200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230  
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV



# CITY OF GAHANNA

## Future Land Use Map



Respectfully Submitted By:  
Michael Blackford, AICP  
Deputy Director of Planning & Development





## CITY OF GAHANNA

### STAFF COMMENTS

Project Name: Favazzo Auto  
Project Address: 1601 Eastgate Pkwy

The applicant seeks approval of a Final Development Plan and a Certificate of Appropriateness for this site. A new 15,804 sq ft building is proposed for the site to accompany the existing 3,774 sq ft building. Building setbacks and parking setbacks have been met. Number of parking stalls required has been met.

The building materials will mimic the existing building materials. The roof of the existing building will be painted gray to match the proposed building roof. Two new 25' light poles will be added along with four new wall packs. Eight new trees will be added to the site along with new entryway planting beds.

Respectfully Submitted By:

**BONNIE GARD**

Planning & Zoning Administrator  
Department of Public Service  
Division of Building & Zoning



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## CITY OF GAHANNA

### STAFF COMMENTS

Project Name: Favazzo Auto  
Project Address: 1601 Eastgate Parkway

#### General:

1. A detailed engineering plan review will be required if the final development plan is approved by Planning Commission.

#### Site Access:

1. The current curb cut on Eastgate Parkway will be utilized for site access. The owner/developer shall coordinate with the Fire Department to verify whether or not the existing drive width is sufficient for emergency access.

#### Stormwater Management:

1. Stormwater Management shall be provided in accordance to City Code and the direction of the City Engineer. Regional detention is provided for this parcel via the existing regional detention basins. If the project disturbs more than one acre of earth, water quality will have to be addressed as part of the final engineering plans. The system will be reviewed for conformance to City Code during the final engineering plan review.
2. Erosion and Sedimentation control measures shall be provided per City Code 1195 and meet Franklin Soil and Water Conservation District requirements.

#### Sanitary Sewer:

1. The site is currently tied into sanitary sewer, however, if revisions to the existing sanitary service are made, they shall be detailed in the final engineering plans for review and comment.



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## CITY OF GAHANNA

### Water:

1. The property is currently served by an existing  $\frac{3}{4}$ " inch domestic service. If revisions to the existing water service are made, they shall be detailed in the final engineering plans for review and comment.
2. Verify with the Fire Department to see if there is the need for additional fire hydrants.

Respectfully Submitted By: Robert S. Priestas, P.E.



"HERB CAPITAL OF OHIO"

200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230  
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV



**Mifflin Township Division of Fire**  
**Fire Inspection Bureau**  
 485 Rocky Fork Blvd., Gahanna, OH 43230  
 Phone: (614) 471-0542

**PLAN REVIEW**

---

<b>Occupant Name:</b>	Favazzo Auto	<b>Inspection Date:</b>	5/25/2016
<b>Address:</b>	1601 EASTGATE Parkway	<b>Inspection Type:</b>	Plan Review
<b>Suite:</b>		<b>Inspected By:</b>	Steve Welsh (614) 679-4078 welshs@mifflin-oh.gov
<b>City:</b>	GAHANNA		

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**OH Fire Codes 2011**

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**Chapter 5 Fire service features**

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503.1 Where required.

*Fire apparatus access roads shall be provided and maintained in accordance with paragraphs (C)(1)(a) (503.1.1) to (C)(1)(c)(503.1.3) of this rule.*

---

503.1.1 Fire Apparatus Access Roads

*Buildings and facilities.*

*Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction which are not readily accessible from a public and/or private street. The fire apparatus access road shall comply with the requirements of this paragraph and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.*

*Exception: The fire code official is authorized to increase the dimension of 150 feet (45 720 mm) where:*

*1. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with paragraph (C)(3)(a)(i)(903.3.1.1), (C)(3)(a)(ii)(903.3.1.2) or (C)(3)(a)(iii)(903.3.1.3) of rule 1301:7-7-09 of the Administrative Code.*

*2. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.*

*3. There are not more than two Group R-3 or Group U occupancies.*

---

503.2 Specifications.

*Fire apparatus access roads shall be installed and arranged in accordance with paragraphs (C)(2)(a) (503.2.1) to (C)(2)(h)(503.2.8) of this rule.*

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503.2.1 Access roads - width of not less than 20 feet



*Dimensions.*

*Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with paragraph (C)(6)(503.6) of this rule, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).*

**ACTION REQUIRED: The entrance lane from Eastgate Parkway shall have a width of not less than 20 feet to accommodate any incoming fire apparatus.**

---

## 503.2.2 Authority.

*The fire code official shall have the authority to require an increase in the minimum access widths where they are inadequate for fire or rescue operations.*

---

## 503.2.3 Surface.

*Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.*

**ACTION REQUIRED: The fire department access road shall be constructed to accommodate a 75000 lb piece of fire apparatus.**

---

## 503.2.4 Turning radius.

*The required turning radius of a fire apparatus access road shall be determined by the fire code official.*

**ACTION REQUIRED: A turning performance analysis shall be provided from the fire apparatus manufacturer.**

---

## 503.2.5 Dead ends.

*Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus.*

---

## 503.2.6 Bridges and elevated surfaces.

*Where a bridge or an elevated surface is part of a fire apparatus access road, the bridge shall be constructed and maintained in accordance with AASHTO HB-17 as listed in rule 1301:7-7-47 of the Administrative Code. Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits shall be posted at both entrances to bridges when required by the fire code official. Where elevated surfaces designed for emergency vehicle use are adjacent to surfaces which are not designed for such use, approved barriers, approved signs or both shall be installed and maintained when required by the fire code official.*

---

## 503.2.7 Grade.

*The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus.*

---

## 503.2.8 Angles of approach and departure.

*The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire department's apparatus.*

---

## 503.3 Marking.

*Where required by the fire code official, approved signs or other approved notices or markings that include the words "NO PARKING-FIRE LANE" shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.*

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## 503.4 Obstruction of fire apparatus access roads.

*Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in paragraph (C)(2)(a)(503.2.1) of this rule shall be maintained at all times.*

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**Inspector Comments:** These changes shall be required since a second building is proposed for the property. The existing building was considered readily accessible.

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The inspector will return on or after: **5/26/2016**

Note: All violations identified in this fire inspection report shall be corrected immediately. The "inspector will return" noted above is only a guideline indicating approximately when we will return for a re-inspection to verify compliance with those items identified herein.

Construction of a structure subject to Section 104.2.2 shall be in compliance with the provisions of the Ohio Fire Code.

**Inspector:**

~~Steve Welsh  
4875  
5/25/2016 6:55:31 AM~~  
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Steve Welsh  
5/25/2016



CITY OF GAHANNA

STAFF COMMENTS

Project Name: Favazzo Auto  
Project Address: 1601 Eastgate Pkwy

In Regard to the proposed expansion of the Favazzo Auto Warehouse, the police department defers to the fire department on the either option of: "Click to Enter" for both police and fire to have access or "Knox Box" for Fire only access.

Respectfully Submitted By:  
Dennis Murphy  
Chief of Police

