



ZONING DIVISION  
 200 S. Hamilton Road  
 Gahanna, Ohio 43230  
 614-342-4025  
 zoning@gahanna.gov  
 www.gahanna.gov

**DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION**

PLEASE NOTE: This application is not to be considered complete until all documents are received and approved by the Planning & Zoning Administrator.

Project/Property Address or Location: 213 Camrose Ct.		Project Name/Business Name (if applicable): Parking Lot Replacement	
Parcel ID No.(s): 025-006520	Current Zoning: PUD	Total Acreage: 34.397	
Please check all that apply:			
SITE PLAN <input checked="" type="checkbox"/>	LANDSCAPING <input type="checkbox"/>	BUILDING DESIGN <input type="checkbox"/>	DEMOLITION <input type="checkbox"/> <small>only applicable to Code Chapter 1150, Old Gahanna</small>
SIGNAGE - please use the Permanent Sign Permit Application			
Additional Information (if applicable):			
APPLICANT Name (primary contact) -do not use a business name: Alan Little		Applicant Address: 200 S. Hamilton Rd Gahanna Oh 43230	
Applicant E-mail: alan.little@gahanna.gov		Applicant Phone No.: 614-302-0291	
BUSINESS Name (if applicable): City of Gahanna			
ATTORNEY/AGENT Name:		Attorney/Agent Address:	
Attorney/Agent E-Mail:		Attorney/Agent Phone No.:	
ADDITIONAL CONTACTS (please list all applicable contacts)			
Name(s):		Contact Information (phone no./email):	
Contractor TBD by Public Bid Process			
Developer			
Architect			
PROPERTY OWNER Name: (if different from Applicant) City of Gahanna		Property Owner Contact Information (phone no./email):	

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED (see page 2 & 3)

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature: Alan Little Digitally signed by Alan Little  
 DN: cn=Alan Little, c=US, o=City of Gahanna, ou=Parks & Recreation, email=alan.little@gahanna.gov  
 Date: 2021.12.27 08:43:08 -0500' Date: \_\_\_\_\_

**THIS FORM IS AVAILABLE TO BE SUBMITTED ONLINE: [www.gahanna.gov](http://www.gahanna.gov)**

INTERNAL USE

Zoning File No. DR-0673-2021  
 PC Meeting Date: \_\_\_\_\_  
 PC File No. \_\_\_\_\_

RECEIVED: KAW  
 DATE: 12-28-21

PAID: N/A  
 DATE: 12-28-21  
 CHECK#: \_\_\_\_\_

<b>MATERIAL LIST</b> <i>NOT REQUIRED FOR DEMOLITION</i>			
ITEM	MATERIAL TYPE	COLOR NAME	COLOR NUMBER
Facade	Please See	Attached	Renderings
Facade			
Facade			
Awnings			
Lighting			
Roofing			
Trim			
Other (please specify)			
Other (please specify)			
Other (please specify)			

**PLEASE NOTE:**

The Public Hearing will not occur until the City of Gahanna reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.

## AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

**PROPERTY OWNER**

**IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION**

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

Laurie A. Judwin, Mayor, City of Gahanna  
 (property owner name printed)

Laurie A. Judwin 12.28.21  
 (property owner signature) (date)

Subscribed and sworn to before me on this 28<sup>th</sup> day of December, 2021

State of Ohio County of Franklin

Notary Public Signature: Nancy Ballenger



**Applicant/Property Owner/Representative**

**AGREEMENT TO COMPLY AS APPROVED** As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

**AUTHORIZATION TO VISIT THE PROPERTY** I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described.

**APPLICATION SUBMISSION CERTIFICATION** I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

\_\_\_\_\_  
 (applicant/representative/property owner name printed)

[Signature] 12-30-21  
 (applicant/representative/property owner signature) (date)

Subscribed and sworn to before me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

State of \_\_\_\_\_ County of \_\_\_\_\_

Notary Public Signature: \_\_\_\_\_

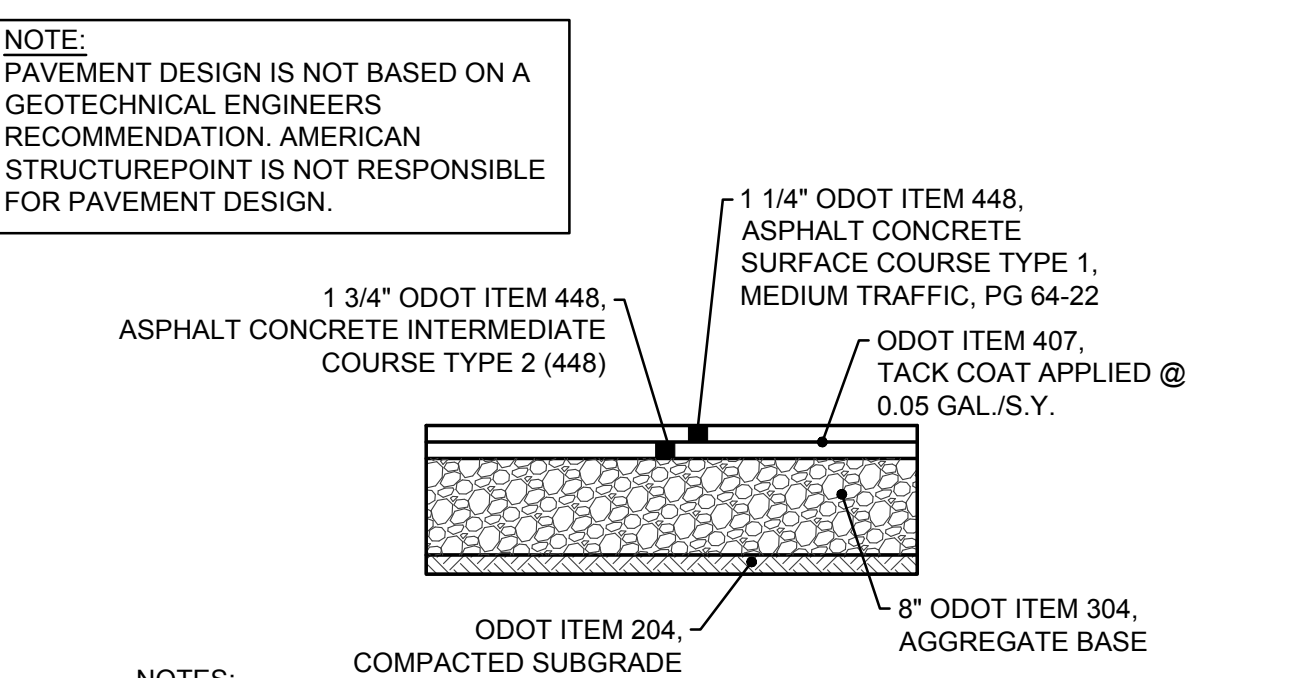
Stamp or Seal



**GENERAL NOTES**

- THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS, AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.
- SPECIFICATIONS - PERFORM ALL WORK IN ACCORDANCE WITH CITY, CITY OF COLUMBUS, AND OHIO DEPARTMENT OF TRANSPORTATION (ODOT) MATERIAL SPECIFICATIONS AND STANDARD CONSTRUCTION DRAWINGS, INCLUDING ALL SUPPLEMENTS THERETO. IN CASE OF DISCREPANCY BETWEEN CITY AND ODOT REQUIREMENTS AND PROJECT SPECIFICATIONS, THE MORE STRICT SPECIFICATION SHALL APPLY. WHEREVER THE WORDS "STATE," "DEPARTMENT," OR "DEPUTY DIRECTOR" OCCUR, IT IS TO MEAN THE OWNER. WHEREVER THE WORD "ENGINEER" OCCURS, IT IS TO MEAN AMERICAN STRUCTUREPOINT, INC.  
  
THIS PROJECT IS TO BE BID AND ADMINISTERED AS A LUMP SUM PROJECT. ALL REFERENCES TO UNIT PRICES AND METHODS OF MEASUREMENT FOR THE PURPOSE OF PAYMENT SHALL BE DISREGARDED.
- IT IS THE CONTRACTORS RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. CONTACT OUPS UTILITY LOCATING SERVICE TO FIELD LOCATE EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
- BENCHMARKS - THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, SURVEY MONUMENTS, PROPERTY CORNERS, REFERENCE POINTS, AND STAKES. ANY BENCHMARK, PROPERTY CORNER, OR SURVEY MARKER DAMAGED OR DISTURBED BY THE CONTRACTOR SHALL BE RESET BY AN OHIO REGISTERED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146.
- PERMITS & LICENSES - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND LICENSES NEEDED FOR THE CONSTRUCTION OF THIS PROJECT.
- SAW-CUT - ALL EXISTING PAVEMENTS, WALKWAYS, CURBS, ETC. SHALL BE SAW-CUT BEFORE REMOVAL. IF DURING CONSTRUCTION, THE PAVEMENT, WALKWAY, CURB, ETC. IS DAMAGED BEYOND THE ORIGINAL SAW-CUT, THE DAMAGED AREA SHALL BE RE-CUT TO NEAT LINES, AS DIRECTED BY THE ENGINEER. SAW-CUT SHALL BE PERFORMED ALONG EXISTING JOINTS WHERE POSSIBLE. WHENEVER PORTIONS OF EXISTING PAVEMENT OR CURB ARE TO BE REMOVED ALLOWING PORTIONS OF THE PAVEMENT TO REMAIN, THE CONTRACTOR SHALL SAW-CUT THE ASPHALT OR CONCRETE PRIOR TO REMOVAL.
- NON-RUBBER Tired VEHICLES - NO NON-RUBBER Tired VEHICLES SHALL BE MOVED ON EXISTING PAVEMENT TO REMAIN. EXCEPTIONS MAY BE GRANTED BY THE OWNER WHERE SHORT DISTANCES AND SPECIAL CIRCUMSTANCES ARE INVOLVED. GRANTING OF EXCEPTIONS MUST BE IN WRITING AND ANY RESULTING DAMAGE MUST BE REPAIRED TO THE SATISFACTION OF THE OWNER.
- CLEAN-UP - IT IS THE INTENT OF THE OWNER TO KEEP INCONVENIENCE TO THE SURROUNDING PROPERTIES TO AN ABSOLUTE MINIMUM. ALL WORK PRESCRIBED AND DESCRIBED IN THESE PLANS AND SPECIFICATIONS IS SITUATED IN IMPROVEMENT AREAS. ALL WORK IS TO CONTINUE ON A UNIFORM BASIS AND ON SCHEDULE, PARTICULARLY THE RESTORATION AND CLEANUP OF DISTURBED AREAS AFTER CONSTRUCTION. ALL DEBRIS, RUBBLE, UNSUITABLE MATERIALS, AND ITEMS NOT SALVAGED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF PROPERLY ACCORDING TO LOCAL CODES. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION AND ELEVATION. ANY DIRT, SEDIMENT OR MUD DEPOSITED ON CITY STREETS ON OR OFF THE PROJECT SITE SHALL IMMEDIATELY BE CLEANED BY THE CONTRACTOR. THE CONTRACTOR IS REQUIRED TO PERFORM WEEKLY STREET CLEANING THROUGHOUT THE DURATION OF THE PROJECT. THIS MAY INCLUDE REMOVAL BY SWEEPING, POWER CLEANING, OR MANUAL METHODS. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED BEFORE CONSTRUCTION. DRAINAGE DITCHES OR WATERCOURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADES AND CROSS-SECTIONS THAT EXISTED BEFORE CONSTRUCTION.
- ADDITIONAL COMPENSATION - THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, SERVICES, AND RELATED ACCESSORIES FOR A COMPLETE PROJECT AS SHOWN AND DESCRIBED IN THE PLANS AND SPECIFICATIONS. SUBMISSIONS OF A BID SHALL BE CONSIDERED EVIDENCE THAT THE BIDDER IS SATISFIED WITH THE PLANS AND CONDITIONS AS SHOWN. NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR COMPLIANCE WITH THE PLANS, SPECIFICATIONS, OR SPECIAL PROVISIONS.
- SANITARY FACILITIES - THE CONTRACTOR SHALL FURNISH AND MAINTAIN SANITARY CONVENIENCE FACILITIES FOR THE WORKERS AND INSPECTORS FOR THE DURATION OF THE WORK.
- STORAGE OF EQUIPMENT AND MATERIALS - ALL MATERIALS, INCLUDING PIPE, SHALL BE STORED IN AREAS TO MINIMIZE INCONVENIENCE AND LOSS OF USE TO OWNER PROPERTY. STORAGE EQUIPMENT, DURING NON-WORKING HOURS, SHALL ALSO COMPLY WITH THIS REQUIREMENT. COMPLIANCE WITH THIS REQUIREMENT ALONG WITH ADDITIONAL PROVISIONS OF THE CONTRACT SPECIFICATIONS SHALL NOT IN ANY WAY RELIEVE THE CONTRACTOR OF THIS LEGAL RESPONSIBILITIES OR LIABILITIES FOR THE SAFETY OF THE PUBLIC. THE CONTRACTOR SHALL RECEIVE OWNER APPROVAL OF STORAGE AREAS PRIOR TO CONSTRUCTION.
- CONTRACTOR LAYDOWN AREAS - CONTRACTOR STAGING, LAYDOWN, AND TRAILER AREAS WILL BE PROVIDED AT THE PROJECT SITE. COORDINATE EXACT LOCATION WITH THE OWNER. PROTECTION OF LAYDOWN AREAS AND STAGING AREAS ARE AS DEEMED NECESSARY BY THE CONTRACTOR. PROVIDE ORANGE CONSTRUCTION FENCE AROUND ALL LAYDOWN AREAS. ALL LAYDOWN AREAS AND STAGING AREAS SHALL BE RESTORED TO ORIGINAL CONDITION PRIOR TO ACCEPTANCE BY THE OWNER.
- CONSTRUCTION PRACTICES - BEST CONSTRUCTION PRACTICES ARE TO BE IMPLEMENTED TO MINIMIZE WATER QUALITY IMPACTS. A SPILL CONTAINMENT KIT IS TO BE MAINTAINED ON-SITE THROUGHOUT CONSTRUCTION ACTIVITIES. SPILLS OF FUELS, OILS, CHEMICALS, OR OTHER MATERIALS WHICH COULD POSE A THREAT TO GROUNDWATER SHALL BE CLEANED UP IMMEDIATELY. IF THE SPILL IS A REPORTABLE AMOUNT (25 GALLONS OR MORE) THE LOCAL FIRE DEPARTMENT IS TO BE CONTACTED. PROVIDE SECONDARY CONTAINMENT OF ANY TEMPORARY FUEL STORAGE TANK AND/OR EQUIPMENT THAT HAS POTENTIAL FOR CAUSING A SPILL.
- TESTING - REFER TO PROJECT MANUAL FOR TESTING AND INSPECTION REQUIREMENTS.
- UTILITY PROTECTION - THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THE PLAN ARE OBTAINED FROM A TOPOGRAPHIC SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHOWN. THE CONTRACTOR SHALL EXPOSE UTILITIES AND STRUCTURES PRIOR TO THE CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION. ANY DEVIATIONS FROM THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY, SUCH THAT, ANY MODIFICATIONS TO THE PROPOSED DESIGN CAN BE MADE. POTHOLES AND/OR EXCAVATIONS SHALL BE USED WHERE NECESSARY AND AS APPROVED BY THE OWNER. ITEMS SHALL BE EXPOSED SUFFICIENTLY IN ADVANCE TO MAINTAIN THE PROJECT SCHEDULE.

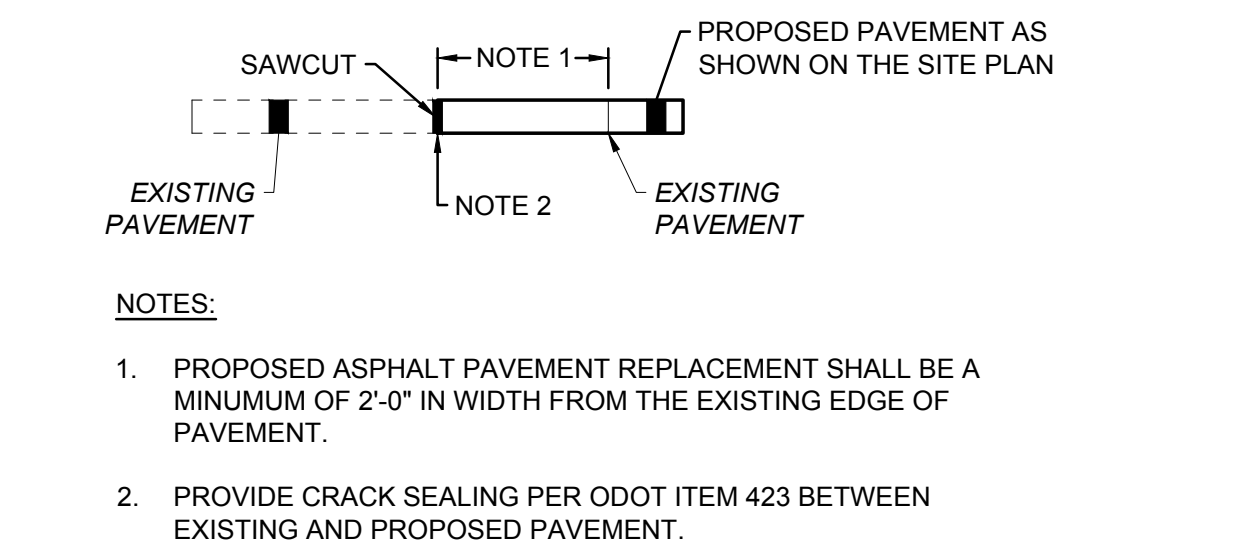
- THE CONTRACTOR SHALL CALL, TOLL FREE, THE OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 72 HOURS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND LINES.
- MECHANICAL DIGGING EQUIPMENT SHALL NOT BE USED FOR EXPOSING ANY UNDERGROUND UTILITY. ONLY HAND TOOLS MAY BE USED TO UNCOVER THE UTILITY AND THE UTILITY COMPANY SHALL BE NOTIFIED AND HAVE A REPRESENTATIVE PRESENT WHEN THE UTILITY IS EXPOSED.
- LOCATE EXISTING UNDERGROUND UTILITIES IN THE AREAS OF THE WORK. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF PROTECTING DURING EXCAVATION OPERATIONS. SHOULD UNCHARTED OR INCORRECTLY CHARTED PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS.
- CONTRACTOR SHALL SUPPORT ALL EXISTING UTILITIES TRAVERSING THROUGH THE EXCAVATION. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED OUTSIDE OF THE PROJECT AREA, EXCEPT WHEN PERMITTED IN WRITING BY THE AFFECTED PARTY AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.
- COOPERATE WITH THE OWNER AND THE PUBLIC UTILITY COMPANIES IN KEEPING THEIR RESPECTIVE SERVICES AND FACILITIES IN OPERATION. REPAIR DAMAGED UTILITIES TO THE SATISFACTION OF THE UTILITY OWNER.
- CONTRACTOR SHALL INSTALL A CONSTRUCTION FENCE, AS NECESSARY, TO KEEP ALL PEDESTRIANS SAFELY AWAY FROM WORK. FENCE SHALL BE 6' HIGH CHAIN LINK FENCE WITH GROUND MOUNTED POSTS OR TEMPORARY POSTS SECURELY ANCHORED.
  - ALL EXCAVATION, CONSTRUCTION, AND BACKFILL TO BE CONSTRUCTED UNDER THIS CONTRACT SHALL BE CONSTRUCTED UNDER DRY CONDITIONS. THE CONTRACTOR SHALL MAINTAIN ALL EXCAVATIONS IN A DE-WATERED, WORKABLE CONDITION, AND PROPER DE-WATERING MEASURES SHALL BE TAKEN AS DICTATED BY FIELD CONDITIONS. THE DISCHARGE OF SEDIMENT LADEN WATERS INTO ANY PUBLIC WATERCOURSE IS STRICTLY PROHIBITED. ALL SEDIMENTS MUST BE REMOVED PRIOR TO DISCHARGE.
  - HAZARDOUS MATERIALS - THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ENGINEER AND THE OWNER'S REPRESENTATIVE, ANY MATERIAL ENCOUNTERED DURING EXECUTION OF THE WORK THAT THE CONTRACTOR SUSPECTS IS HAZARDOUS.
  - SUBGRADE - REFER TO PROJECT GEOTECHNICAL REPORT REGARDING SUBGRADE RECOMMENDATIONS FOR THE PROJECT SITE.
  - OPEN TRENCH EXCAVATION - SLOUGHING AND CAVING OF EXCAVATIONS SHOULD BE ANTICIPATED WHERE SATURATED WEAK SOILS ARE ENCOUNTERED OR WHERE GRANULAR SEAMS AND LAYERS ARE ENCOUNTERED. GRANULAR MATERIALS MUST BE PLACED WITH CARE TO ENDANGERING THE CONSTRUCTION WORKERS. THEREFORE, IN ACCORDANCE WITH THE OSHA TRENCH/EXCAVATION REGULATIONS (OSHA 29 CFR PART 1926), FOR ANY EXCAVATIONS EXCEEDING A DEPTH OF 6 FEET IN WHICH WORKERS WILL BE ENTERING THE EXCAVATION/TRENCH, THE EXCAVATION SIDES MUST BE BRACED OR SLOPED TO THE REQUIRED MAXIMUM INCLINATION OR FLATTER (BASED ON THE SOIL TYPE AND STRENGTH).
- ANY EXCAVATION INSTALLED USING AN OPEN TRENCH CONSTRUCTION METHOD COULD POTENTIALLY CAUSE DAMAGE TO EXISTING UNDERGROUND UTILITIES, STRUCTURES, OR PAVEMENT CURRENTLY LOCATED IN THE VICINITY OF THE PROPOSED UTILITY ALIGNMENT AND POSITIONED AT HIGHER ELEVATIONS THAN THE PLANNED EXCAVATION DEPTH. THIS WOULD APPLY TO EITHER THE TYPICAL OPEN CUT TRENCH THAT HAS NEAR VERTICAL SIDES OR A TRENCH BOX. THEREFORE, THE LATERAL DISTANCE, DEPTH OF THE EXISTING UTILITY, AND THE PLANNED EXCAVATION DEPTH MUST BE KNOWN TO DETERMINE WHETHER ADJACENT UNDERGROUND UTILITIES COULD BE AFFECTED BY THE EXCAVATION. THE RISK OF LATERAL MOVEMENT WITHIN THE INFLUENCE ZONE INCREASES WITH BOTH THE LENGTH OF THE EXCAVATION AND THE TIME THE TRENCH REMAINS OPEN.
- WHERE BRACED EXCAVATIONS ARE REQUIRED, TRENCH EXCAVATIONS SHALL BE DIRECTLY BRACED AT THE TIME OF THE EXCAVATION. THE BRACING MUST BE DESIGNED AS A RIGID SYSTEM WITHOUT DEFLECTION ALONG ITS ENTIRETY, CONSTRUCTED "TIGHT" AGAINST THE RETAINED SOIL. THE BRACING SYSTEM CANNOT BE INSTALLED AFTER THE EXCAVATION IS MADE.
- TRENCH BACKFILL - TRENCH COMPACTED BACKFILL SHALL BE PER ODOT ITEM 611 & 638.08. COMPACTED GRANULAR MATERIAL IS REQUIRED IN ALL TRENCHES UNDER PAVEMENT AREAS (DRIVEWAYS, STREETS, SIDEWALKS, ETC.) OR WHERE THE FRONT FACE OF TRENCHES PARALLELS THE PAVEMENT. ARE WITHIN 36" OF THE FACE OF CURB OR EDGE OF PAVEMENT. UNLESS SHOWN OTHERWISE ON THE PLANS, THE MATERIAL WILL EXTEND Laterally 36" BEYOND THE FACE OF CURB OR EDGE OF PAVEMENT FROM TRENCHES WHICH CROSS THE PAVEMENT. AT ALL POINTS OF CROSSING WATER MAINS OR OTHER SEWERS, THE BACKFILL SHALL BE OF GRANULAR MATERIAL BETWEEN THE DEEPER AND SHALLOWER PIPES.
  - PLAN CHANGES - GRADES AND ELEVATIONS SHOWN ON THE PLANS SHALL NOT BE REVISED UNDER ANY CIRCUMSTANCES WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE ENGINEER. INVERT ELEVATIONS SHALL NOT DEVIATE FROM PLAN ELEVATION BY MORE THAN 0.05 FOOT. FAILING TO MEET THE ABOVE REQUIREMENTS ARE CAUSE FOR REJECTION OF THE AFFECTED SECTION OF SEWER.



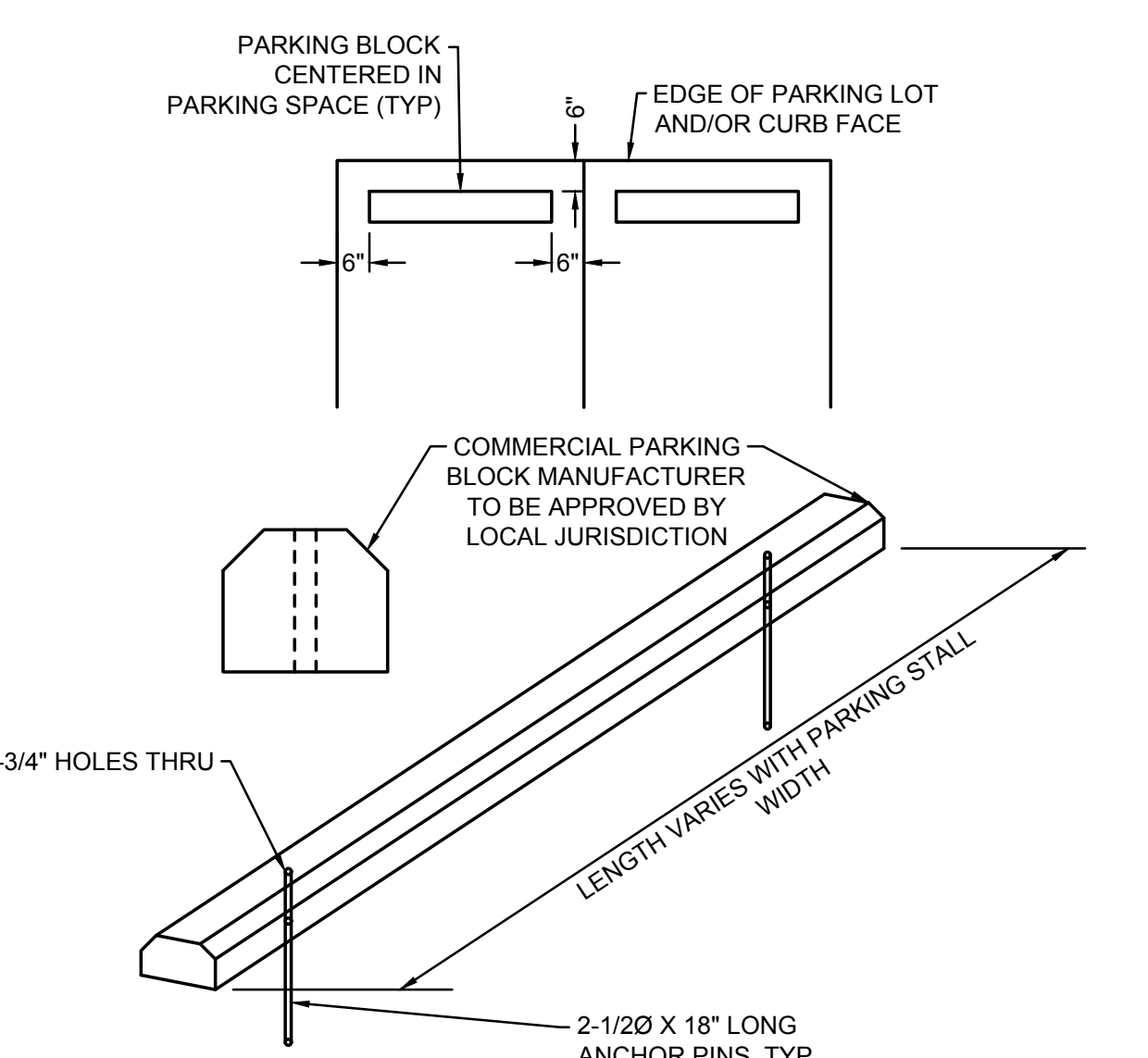
- NOTES:**
- COMPOSE HOT MIX ASPHALT MIXTURE WITH AGGREGATE AND ASPHALT BINDER MEETING ODOT 401 REQUIREMENTS.
  - SUBMIT AN APPROVED JOB MIX FORMULA INCLUDING MIX TYPE PROPOSED FOR USE, AGGREGATE SOURCE, TYPE, AND GRADATION, PERCENT OF ASPHALT BINDER, AND UNIT WEIGHT OF THE MIXTURE.
  - OBTAIN JOB MIX FORMULA APPROVAL BY PROVIDING A PREVIOUSLY ODOT APPROVED FORMULA OR CONTRACT AN INDEPENDENT TESTING AGENCY TO PROVIDE TESTING AND WRITTEN APPROVAL OF THE FORMULA. THE AGENCY PERFORMING THE TESTING MUST BE LEVEL III BITUMINOUS CONCRETE APPROVED BY ODOT.

**A LIGHT DUTY ASPHALT PAVEMENT**  
NOT TO SCALE

- UTILITY**
- OBTAIN ALL PERMITS AND PAY ALL FEES NECESSARY TO COMPLETE THE WORK AS SHOWN.
  - SUPPORT AND PROTECT ALL UTILITIES EXPOSED DURING EXCAVATION AND TRENCHING.
  - THE CONTRACTOR SHALL GIVE NOTICE OF INTENT TO CONSTRUCT TO OHIO UTILITIES PROTECTION SERVICE (TELEPHONE NUMBER 800-362-2764), PRODUCER'S UNDERGROUND PROTECTION SERVICE (TELEPHONE NUMBER 614-587-0486), AND TO OWNERS OF UNDERGROUND UTILITIES THAT ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE. NOTICE SHALL BE GIVEN AT LEAST 2 WORKING DAYS BEFORE START OF CONSTRUCTION.
  - THE IDENTITY AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UNDERGROUND UTILITY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR DEPTHS OF UNDERGROUND FACILITIES SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. IF DAMAGE IS CAUSED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF THE SAME AND FOR ANY RESULTING CONTINGENT DAMAGE.
- IF IT IS DETERMINED THAT THE ELEVATION OF THE EXISTING CONDUIT, OR EXISTING APPURTENANCE TO BE CONNECTED, DIFFERS FROM THE PLAN ELEVATION OR RESULTS IN A CHANGE IN THE PLAN CONDUIT SLOPE, THE ENGINEER SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED CONDUIT WHICH WILL BE AFFECTED BY THE VARIANCE IN THE EXISTING ELEVATIONS.
- CONTRACTORS SHALL COORDINATE ALL WORK WITH GAS, ELECTRIC, TELEVISION, AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
  - ALL AREAS DISTURBED BY UTILITY CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL SAW-CUT EXISTING PAVEMENT AT LIMITS OF REMOVAL. PAVEMENT AND CURB REPLACEMENT SHALL CONFORM TO LOCAL AUTHORITY CONSTRUCTION STANDARDS.
  - ALL SIGNS, POLES, BENCHES, FLOWER BEDS, BRICK PAVERS AND ANY OTHER SITE FEATURE REQUIRING REMOVAL DUE TO CONSTRUCTION ACTIVITIES SHALL BE STORED ON-SITE AND RE-INSTALLED BY THE CONTRACTOR UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
  - ALL UTILITIES SHALL BE INSPECTED AND APPROVED PRIOR TO BACKFILLING.
  - MAINTAIN MINIMUM 30" COVER OVER ALL GAS LINES
  - GAS TAP, SERVICE LINE, CURB BOX, AND METER SETTING BY UTILITY PROVIDER. SITE CONTRACTOR TO PROVIDE AND INSTALL GAS SERVICE LINE FROM METER SETTING TO A POINT 5'-0" OUTSIDE OF BUILDING. PLUMBING CONTRACTOR TO INSTALL SERVICE LINE FROM 5'-0" OUTSIDE OF BUILDING FACE TO GAS SERVICE FOR BUILDING. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.



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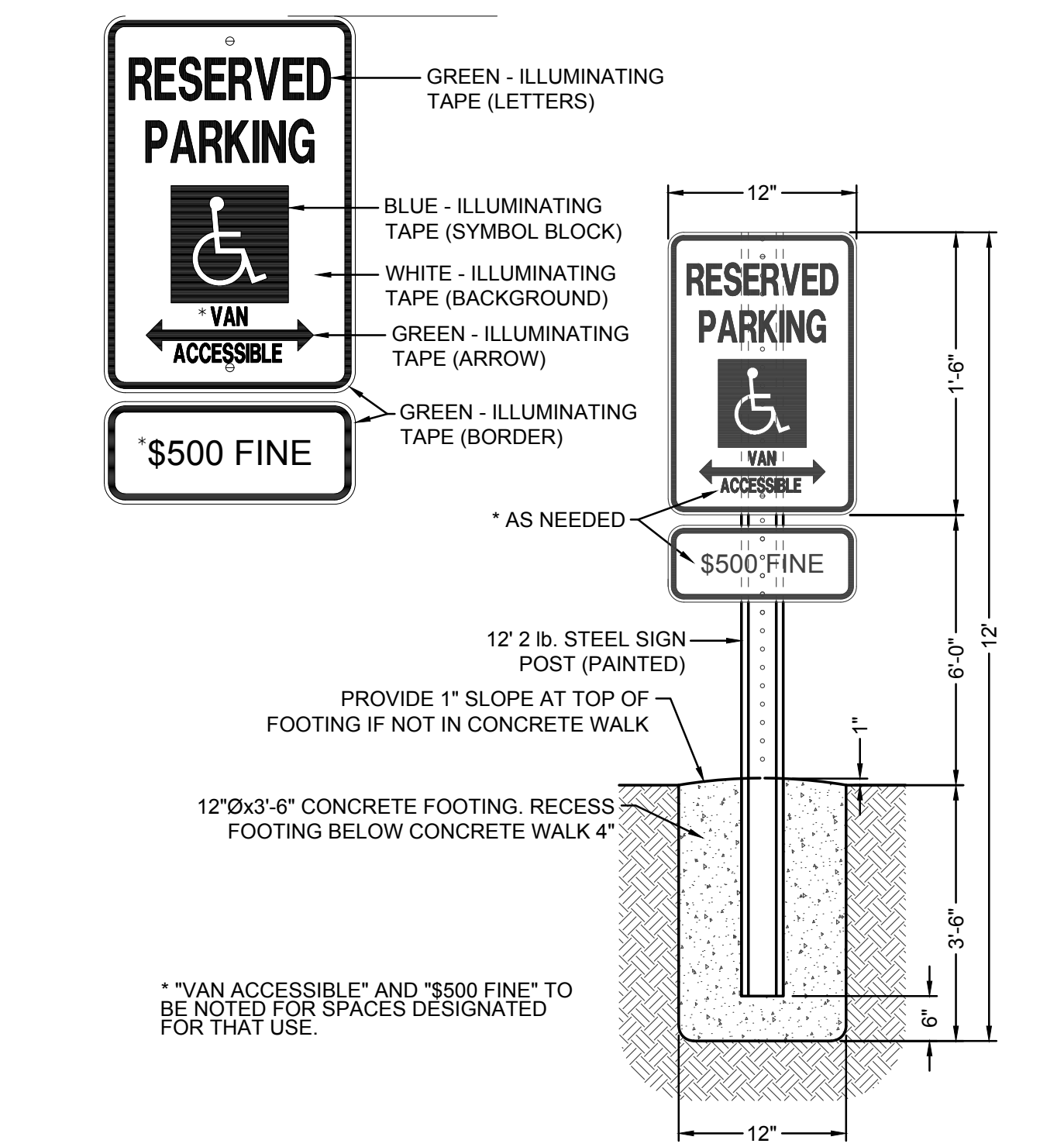
**C PARKING BLOCK**  
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**CITY OF GAHANNA APPROVAL**


THE SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE PURPOSE AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.

CITY ENGINEER CITY OF GAHANNA, OHIO	DATE
WATER RESOURCES ENGINEER CITY OF GAHANNA, OHIO	DATE
DIRECTOR OF PUBLIC SERVICE CITY OF GAHANNA, OHIO	DATE
DIRECTOR OF FINANCE CITY OF GAHANNA	DATE
MAYOR CITY OF GAHANNA	DATE



**D ADA ACCESSIBLE PARKING SIGN**  
NOT TO SCALE

PLOT SCALE: 1:1 EDIT DATE: 11/16/21 - 11:32 AM EDITED BY: GBANKER DRAWING FILE: 0:002100687D.DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\WOODSIDE\002100687D.CE.GEN.DWG

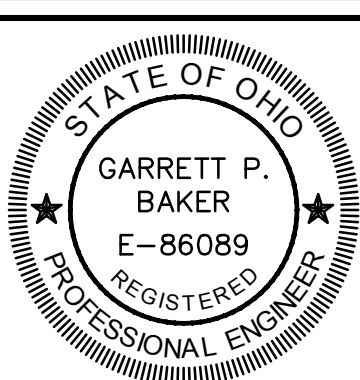


2550 Corporate Exchange Dr., Ste 300 | Columbus, Ohio 43221  
TEL: 614.961.1226  
www.structurepoint.com

CONSTRUCTION DOCUMENTS FOR  
**WOODSIDE GREEN PARK  
PARKING LOT IMPROVEMENTS**  
GAHANNA, FRANKLIN COUNTY, OHIO

**GENERAL NOTES  
& DETAILS**

REVISIONS	DATE	DESCRIPTION



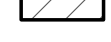


DATE: 11/16/2021  
DRAWN BY: GPB  
CHECKED BY: DSM  
JOB NUMBER: 2021.00697




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PLOT SCALE: 1:1 EDIT DATE: 10/19/21 - 1:24 PM EDITED BY: PTATARKOV DRAWING FILE: C:\2021\00697.D DRAWINGS\CIVIL\CONSTRUCTION\DOCUMENTS\WOODSIDE\2021\_00697\_CE\_DEMO.DWG









**DEMOLITION LEGEND**

-  ASPHALT PAVEMENT TO BE REMOVED
-  SAWCUT EXISTING ASPHALT MIN. 2'
-  TREELINE REMOVAL LIMITS

**CODED NOTES**



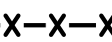

-  REMOVE SIGN
-  REMOVE TREE
-  REMOVE LOG

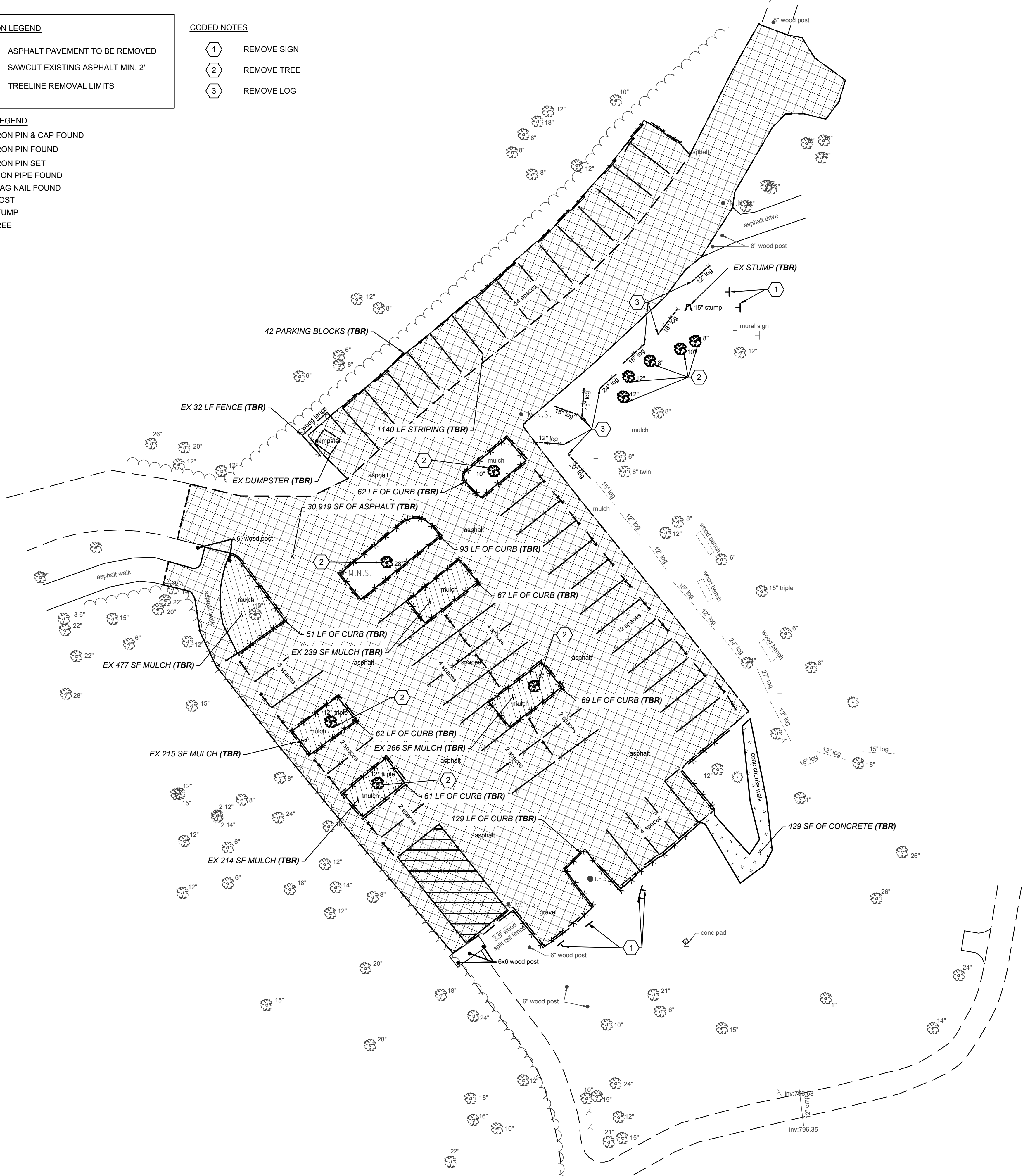
**EXISTING LEGEND**

-  IRON PIN & CAP FOUND
-  IRON PIN FOUND
-  IRON PIN SET
-  IRON PIPE FOUND
-  MAG NAIL FOUND
-  POST
-  STUMP
-  TREE



**DEMOLITION LEGEND**

- TBR TO BE REMOVED
-  ASPHALT PAVEMENT TO BE REMOVED
-  CONCRETE PAVEMENT TO BE REMOVED
-  ITEM TO BE REMOVED
-  TREE TO BE REMOVED



**DEMOLITION NOTES:**

1. CONFIRM EXISTING CONDITIONS PRIOR TO BEGINNING WORK.
2. ALL CLEARING, GRUBBING, AND RELATED ACTIVITIES SHALL CONFORM TO ODOT ITEM 201. DISPOSE OF TREES OFF SITE.
3. ALL TREES, SAPLINGS, CROPS, GRASS, OR MONUMENTS LOCATED WITHIN THE WORK AREA WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS ARE TO BE PRESERVED, UNLESS NOTED TO BE REMOVED OR UNLESS APPROVAL TO REMOVE IS GIVEN IN WRITING BY THE ENGINEER. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY CLAIM FROM DAMAGE TO TREES, SAPLINGS, CROPS, OR GRASSES WHICH MAY OCCUR AS THE RESULT OF THE CONSTRUCTION OPERATIONS, DAMAGE TO SIGNS, FENCES, LAWN AREAS, HEDGES, FLOWERS, SHRUBBERY, ETC. AS A RESULT OF THE CONSTRUCTION SHALL BE RESTORED IN LIKE KIND AND CHARACTER TO THE SATISFACTION OF THE ENGINEER.
4. REMOVE ALL ON-GRADE SITE FEATURES WITHIN THE AREA OF WORK INCLUDING: SIDEWALKS, CURBS, CONCRETE FOUNDATIONS, CONCRETE AND ASPHALT PAVEMENT.
5. SAW-CUT, FULL DEPTH, EXISTING ASPHALT PAVEMENT AND CONCRETE CURB WHERE NEW WORK ABUTS EXISTING CONSTRUCTION. USE CARE TO SAW-CUT NEAT STRAIGHT LINES. WHEN SAW-CUTTING EXISTING CONCRETE, CUT ALONG EXISTING JOINT LINES WHEREVER POSSIBLE.
6. CONTRACTOR SHALL USE CAUTION TO PROTECT EXISTING SITE FEATURES TO REMAIN. REPLACE ANY DAMAGE AT NO COST TO THE OWNER.
7. LEGALLY DISPOSE OF ALL CONSTRUCTION DEBRIS OFF-SITE IN ACCORDANCE WITH LOCAL CODES. NO ON-SITE BURNING.
8. USE ALL MEANS NECESSARY TO CONTROL DUST ON-SITE AND PREVENT TRACKING SOIL OFF-SITE.

CONSTRUCTION DOCUMENTS  
FOR  
**WOODSIDE GREEN PARK  
PARKING LOT IMPROVEMENTS**  
GAHANNA, FRANKLIN COUNTY, OHIO  
**EXISTING CONDITIONS &  
DEMOLITION PLAN**

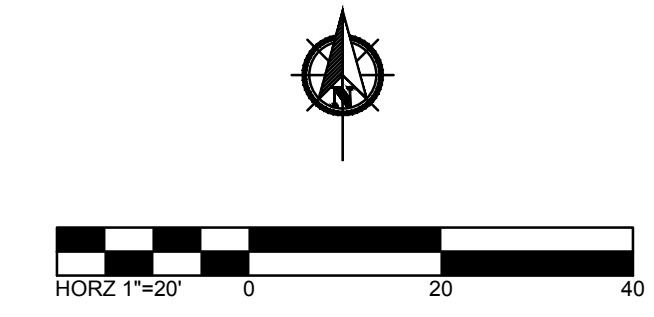
REVISIONS	DATE	SHEET NO.	DESCRIPTION

DATE:	11/16/2021
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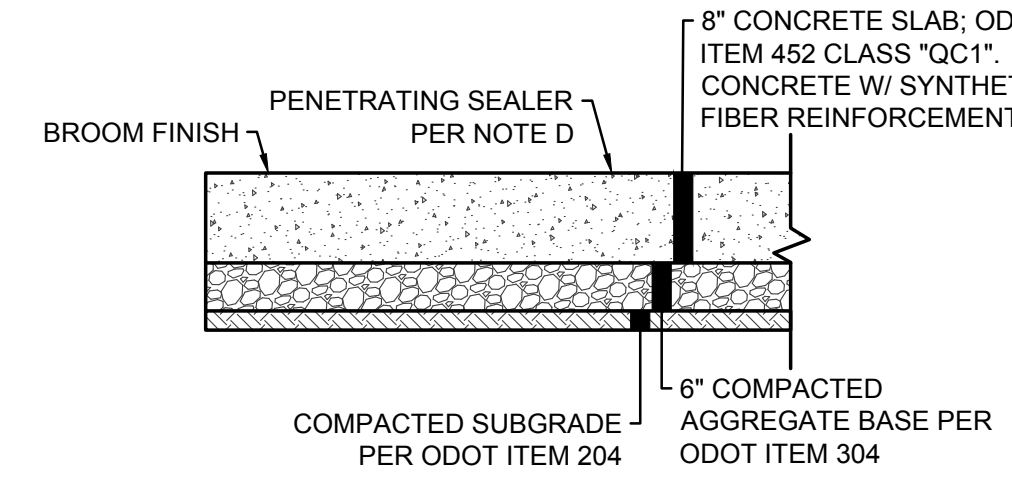
**AMERICAN STRUCTUREPOINT INC.**  
2550 Corporate Exchange Dr., Ste. 300 | Columbus, Ohio 43231  
TEL: 614.761.1226  
www.structurepoint.com

PLOT SCALE: 1:1 EDIT DATE: 12/23/21 - 11:35 AM EDITED BY: AHODGE DRAWING FILE: O:\2021\00697.D DRAWING CIVIL\CONSTRUCTION DOCUMENTS\WOODSIDE\2021\_00697\_DE\_LOC.DWG

SITE LEGEND	
	PARKING BLOCK
	SIGN
	LIGHT DUTY ASPHALT PAVEMENT
	SHARED USE PATH
	HEAVY DUTY ASPHALT PAVEMENT



SITE DATA	
SITE ZONING:	PUD
EXISTING PARKING SPACES:	55 SPACES (INCLUDING 2 ADA SPACES)
PROPOSED PARKING SPACES:	77 SPACES (INCLUDING 4 ADA SPACES)

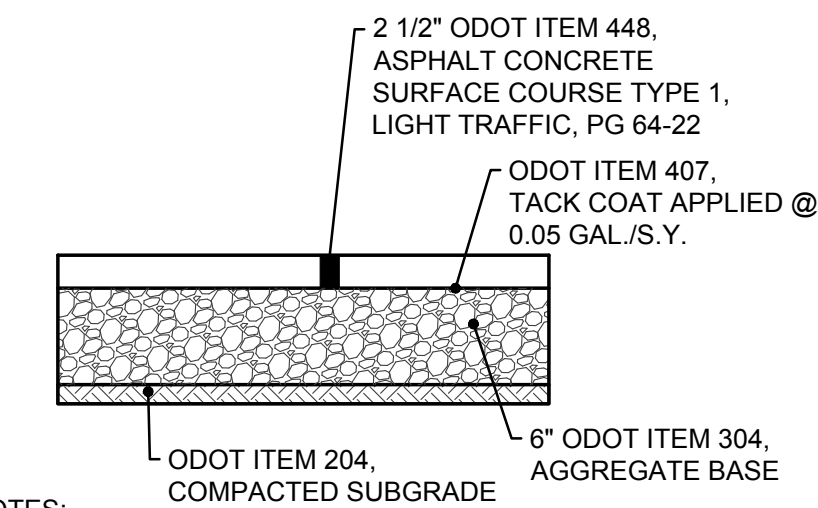


NOTE:  
PAVEMENT DESIGN IS NOT BASED ON A GEOTECHNICAL ENGINEERS RECOMMENDATION. AMERICAN STRUCTUREPOINT IS NOT RESPONSIBLE FOR PAVEMENT DESIGN.

**NOTES:**

- PROVIDE PROPORTIONING REQUIREMENTS FOR PORTLAND CEMENT CONCRETE MIX DESIGNS, MIXING, AND CONTROLS PER ODOT ITEM 499.
  - SYNTHETIC FIBER REINFORCEMENT: ASTM C1116. ACCEPTABLE PRODUCTS INCLUDE, BUT ARE NOT LIMITED TO:
    - A. NYCON NYLON FIBERS
    - B. FORTA NYLO-MONO NYLON FIBERS
    - C. FIBERMESH FIBERMIX STEALTH POLYPROPYLENE FIBERS
    - D. GRACE POLYPROPYLENE FIBERS
    - E. TUFF STRAND OR APPROVED EQUAL
- SYNTHETIC FIBER REINFORCEMENT SHALL BE USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. DOSAGE RATE SHALL BE AS RECOMMENDED BY THE MANUFACTURER, BUT NOT LESS THAN 1 POUND PER CUBIC YARD.
- DISSIPATING CURING COMPOUND: COMPLY WITH ASTM C309, TYPE 1, CLASS A OR B (CLEAR), EXCEPT MOISTURE LOSS NOT TO EXCEED 0.40 KG/SQ M. IN 72 HOURS. COMPOUND SHALL COMPLY WITH EPA'S VOC REQUIREMENTS. APPLY AT THE MANUFACTURER'S WRITTEN RECOMMENDED APPLICATION RATE. COMPLETELY REMOVE CURING COMPOUND PRIOR TO THE APPLICATION OF PENETRATIONS SEALER.
  - PENETRATING SEALER: ACCEPTABLE PRODUCTS INCLUDE, BUT ARE NOT LIMITED TO:
    - A. L&M CONSTRUCTION CHEMICALS - AQUAPEL PLUS
    - B. PROSOCO - SALTGUARD WB
    - C. PROTECTOSIL - CHEM-TRETE 40 VOC
    - D. LYMTAL INTERNATIONAL - ISO-FLEX 618-50 WB
    - E. BASF - MASTER PROTECT H 400
    - F. TEX-COTE - RAINSTOPPER RS1500

**E HEAVY DUTY CONCRETE PAVEMENT**  
NOT TO SCALE



NOTE:  
PAVEMENT DESIGN IS NOT BASED ON A GEOTECHNICAL ENGINEERS RECOMMENDATION. AMERICAN STRUCTUREPOINT IS NOT RESPONSIBLE FOR PAVEMENT DESIGN.

**NOTES:**

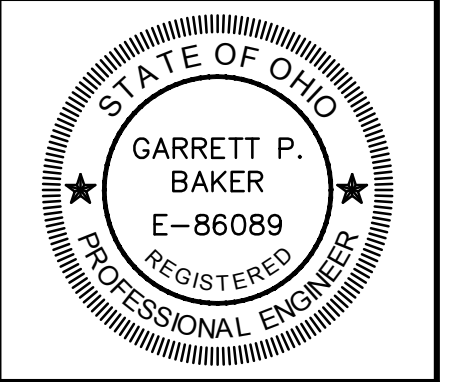
- COMPOSE HOT MIX ASPHALT MIXTURE WITH AGGREGATE AND ASPHALT BINDER MEETING ODOT 401 REQUIREMENTS.
- SUBMIT AN APPROVED JOB MIX FORMULA INCLUDING MIX TYPE PROPOSED FOR USE, AGGREGATE SOURCE, TYPE, AND GRADATION, PERCENT OF ASPHALT BINDER, AND UNIT WEIGHT OF THE MIXTURE.
- OBTAIN JOB MIX FORMULA APPROVAL BY PROVIDING A PREVIOUSLY ODOT APPROVED FORMULA OR CONTRACT AN INDEPENDENT TESTING AGENCY TO PROVIDE TESTING AND WRITTEN APPROVAL OF THE FORMULA. THE AGENCY PERFORMING THE TESTING MUST BE LEVEL III BITUMINOUS CONCRETE APPROVED BY ODOT.

**F SHARED USE PATH**  
NOT TO SCALE



CONSTRUCTION DOCUMENTS FOR  
**WOODSIDE GREEN PARK  
PARKING LOT IMPROVEMENTS**  
GAHANNA, FRANKLIN COUNTY, OHIO  
**LOCATION PLAN**

REVISIONS	DATE	SHEET NO.	DESCRIPTION

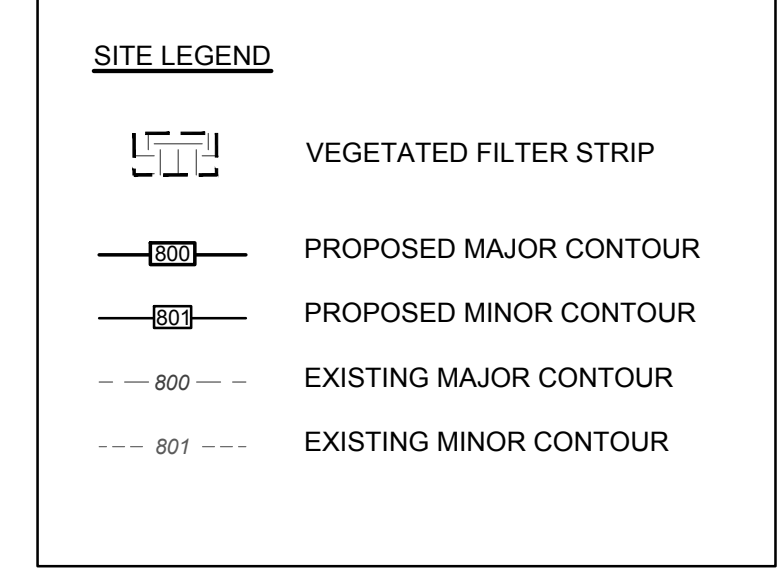
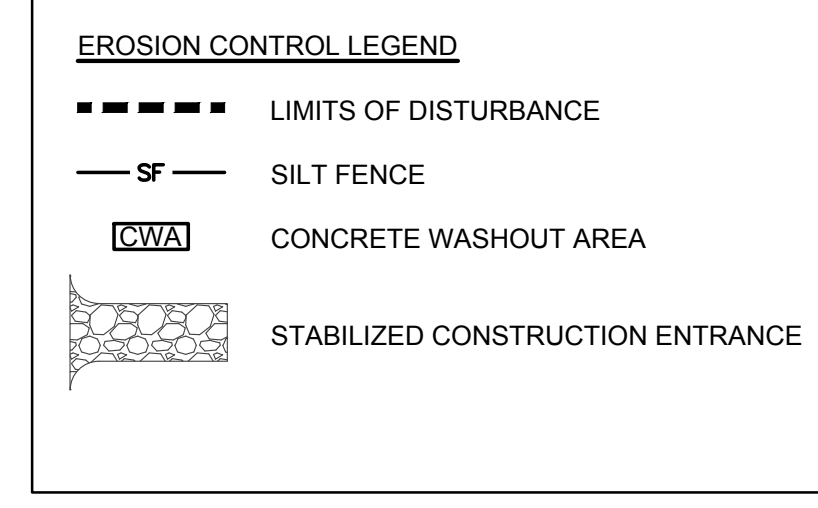
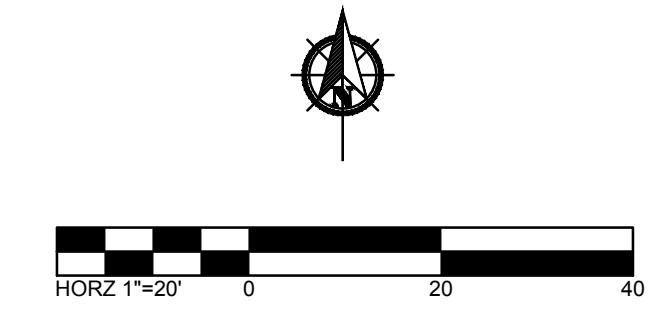
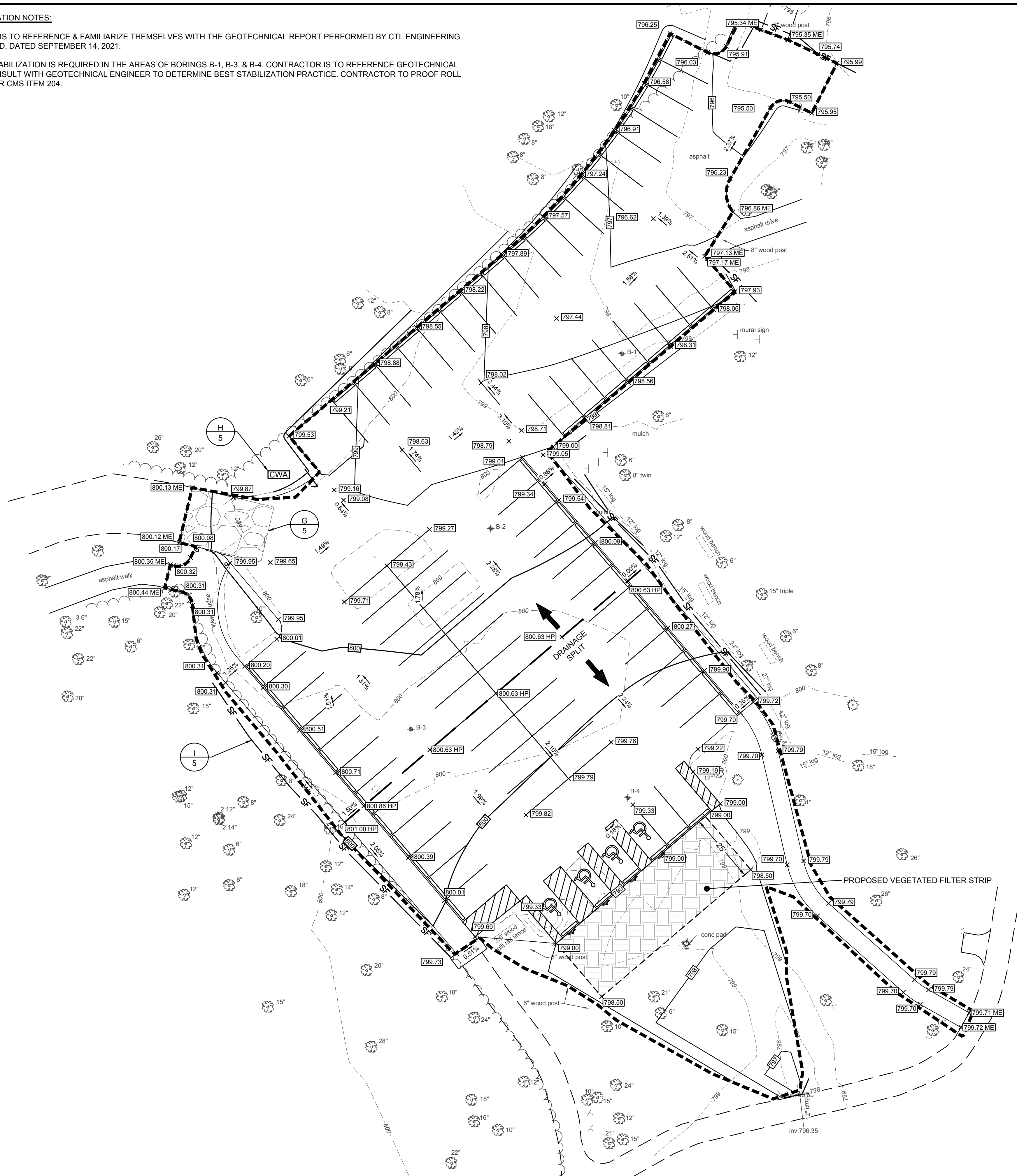


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**SOIL STABILIZATION NOTES:**

CONTRACTOR IS TO REFERENCE & FAMILIARIZE THEMSELVES WITH THE GEOTECHNICAL REPORT PERFORMED BY CTL ENGINEERING INCORPORATED, DATED SEPTEMBER 14, 2021.

SUBGRADE STABILIZATION IS REQUIRED IN THE AREAS OF BORINGS B-1, B-3, & B-4. CONTRACTOR IS TO REFERENCE GEOTECHNICAL REPORT & CONSULT WITH GEOTECHNICAL ENGINEER TO DETERMINE BEST STABILIZATION PRACTICE. CONTRACTOR TO PROOF ROLL SUBGRADE PER CMS ITEM 204.



REFER TO SHEET 5 FOR EROSION CONTROL DETAILS

77 TOTAL PARKING SPACES

**EARTHWORK & GRADING NOTES:**

- NO CONSTRUCTION WORK WILL BE PERMITTED WITHOUT APPROVED PLANS AND INSPECTION.
- ALL PAVEMENT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION AT FACE OF CURB UNLESS OTHERWISE NOTED. ALL DIMENSIONS AND COORDINATES ARE TO FACE OF CURB OR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.
- ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE CORRECTED AND RESTORED, AT NO COST TO THE OWNER, AS SOON AS PERMISSION IS GRANTED FROM THE ADJACENT PROPERTY OWNER(S).
- SOIL EROSION AND SEDIMENTATION BMP MEASURES SHALL BE INSTALLED PRIOR TO START OF ANY CONSTRUCTION AND SHALL BE MAINTAINED AT ALL TIMES UNTIL CONSTRUCTION HAS BEEN COMPLETED, INCLUDING ALL GRASS BEING WELL ESTABLISHED AND/OR PERMANENT EROSION AND SEDIMENTATION BMP MEASURES IN PLACE. ALL BMP MEASURES SHALL BE TO THE SATISFACTION OF THE LOCAL AUTHORITY AND OHIO EPA.
- USE ALL MEANS NECESSARY TO CONTROL DUST ON THE SITE AND PREVENT TRACKING SOIL OFF-SITE. CONTRACTOR SHALL, AT THE END OF EACH WORKING DAY, CLEAN ALL DIRT AND SEDIMENT TRACKED ONTO THE STREETS.
- CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING TOPSOIL THROUGHOUT THE SITE PRIOR TO EXCAVATION. UPON COMPLETION OF FINAL GRADING, PROVIDE MINIMUM 6" OF TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION, INCLUDING LAYDOWN AREAS AND TRAILER LOCATIONS, IF LOCATED OUTSIDE THE GRADING/SEEDING LIMITS.
- EXCAVATION AND EMBANKMENT SHALL COMPLY WITH ODOT ITEM 203 AND LOCAL AUTHORITY REQUIREMENTS.
- THE CONTRACTOR'S BID SHALL BE COMPREHENSIVE AND INCLUDE ALL LABOR AND EQUIPMENT TO COMPLETE ALL EXCAVATION, FILL AND GRADING IN ACCORDANCE WITH THE APPROVED ENGINEERING PLANS AND SPECIFICATIONS.
- EXCAVATION AND EMBANKMENT QUANTITIES DO NOT INCLUDE ANY PROVISION FOR UNDERCUTTING, FOOTINGS, OR UNSUITABLE MATERIAL.
- ALL FIELD TILE BROKEN OR ENCOUNTERED DURING EXCAVATION SHALL BE REPLACED OR REPAIRED AND CONNECTED TO THE PUBLIC STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER. THE COST OF THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE INTENT IS TO STRIP AND SALVAGE TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE, IF APPROVED BY THE LANDSCAPE ARCHITECT AND/OR SPECIFICATIONS. TOPSOIL - AFTER COMPACTION - SHALL BE RE-SPREAD PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE PROVIDING THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE, AS NOTED ABOVE.
- AFTER THE TOPSOIL IS REMOVED, PROOFROLL THE PAVEMENT AND BUILDING AREA SUBGRADES TO BE FILLED PER ODOT ITEM 204. SOFT AREAS SHOULD BE UNDERCUT AND STABILIZED PRIOR TO FILLING OPERATIONS. RELATIVE DEPTH OF UNDERCUT WILL BE DETERMINED WHEN SOFT AREAS ARE DISCOVERED. THE TESTING AGENCY SHALL DETERMINE THE DEPTH AND EXTENT OF THE UNDERCUT.
- BACKFILL WITHIN A 1:1 INFLUENCE LINE OF EXISTING STRUCTURES (HOUSES, GARAGES, ETC.) OR PUBLIC INFRASTRUCTURE (PAVEMENT, CURBS, SIDEWALKS, BIKE PATHS, ETC.) SHALL BE COMPACTED GRANULAR BACKFILL OF THE STANDARD SPECIFICATIONS OR FLOWABLE CDF, TYPE II ACCORDING TO ODOT ITEM 613. ITEM 911 OF THE STANDARD SPECIFICATIONS SHALL BE USED ELSEWHERE.
- ALL WET OR OTHERWISE UNSUITABLE SOILS MUST BE STABILIZED PRIOR TO PAVEMENT CONSTRUCTION. THIS MAY BE ACCOMPLISHED BY DRYING, REMOVAL & REPLACEMENT, DRYING & RE-COMPACTION, OR SOIL TREATMENT (LIME/CEMENT). MEANS AND METHODS SHALL BE DETERMINED BY OWNER'S TESTING AGENCY.
- EXPOSE UTILITIES PRIOR TO BEGINNING WORK ON THAT UTILITY TO DETERMINE EFFECTS ON THE PROPOSED ALIGNMENT AND PROFILE. REPORT ELEVATION AND LOCATION TO THE ENGINEER IN ORDER THAT ANY CORRECTIONS TO THE ELEVATION AND LOCATION CAN BE MADE.
- HANDICAP PARKING AREAS SHALL NOT HAVE SLOPES IN ANY DIRECTION THAT EXCEED 2%.
- ALL EXISTING VALVES, MANHOLES, AND OTHER APPURTENANCES TO REMAIN LOCATED WITHIN THE WORK LIMITS SHALL BE ADJUSTED TO FINISHED GRADE.
- MAXIMUM FINISH SLOPES SHALL BE 4:1, UNLESS OTHERWISE NOTED. FOR SLOPES 3:1 OR GREATER PROVIDE EROSION CONTROL MATTING PER ODOT ITEM 671 OR AS OTHERWISE PROVIDED ON THE PLANS.

**EARTHWORK NOTES:**

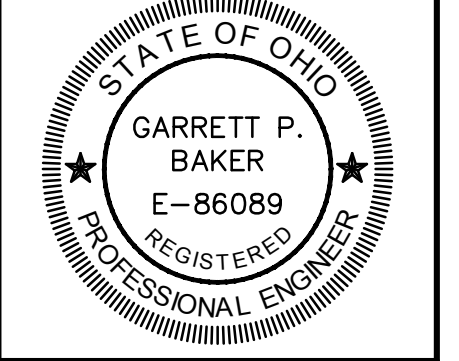
- EXCAVATE AND REMOVE UNSUITABLE MATERIAL AS DEFINED IN THE GEOTECHNICAL ENGINEERING REPORT, OF WHICH SHALL BE CONSIDERED A PART OF THESE CONTRACT DOCUMENTS:
- STRIP AND STOCKPILE EXISTING TOPSOIL WITHIN GRADING/SEEDING LIMITS. FINAL STOCKPILE LOCATION TO BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE OWNER.
  - SUBSEQUENT TO TOPSOIL REMOVAL, BENEATH PAVEMENT AREAS AND PROPOSED BUILDING PAD, PROOF-ROLL EXPOSED SUBGRADE WITH A FULLY-LOADED, TANDEM-AXLE DUMP TRUCK (OR EQUIVALENT) TO IDENTIFY POTENTIAL UNSUITABLE AND UNSTABLE SUBGRADE AREAS. IN LOCATIONS WHERE PROOF-ROLLING HAS FAILED, SOILS SHALL BE DISKED, DRIED AND RECOMPACTED, OR UNDERCUT AND REPLACED WITH COMPACTED ENGINEERED FILL, OR OTHERWISE IMPROVED AS DETERMINED BY THE TESTING AGENCY. IN AREAS WHERE OVER EXCAVATION HAS BEEN CHOSEN TO IMPROVE SUBGRADE, STOCKPILE OVER EXCAVATED SOILS FOR REUSE AS ENGINEERED FILL OR AS GENERAL SITE FILL IN LANDSCAPING AREAS. IF SUBGRADE AREAS STILL DO NOT MEET THE APPROVAL OF THE ENGINEER, CHEMICAL STABILIZATION WILL BE USED IN AREAS AS DIRECTED BY THE ENGINEER.

PLOT SCALE: 1"=20' DATE: 12/23/21 12:33 PM EDITED BY: AHODGE DRAWING FILE: C:\2021\100697.D DRAWINGSCIVIL\CONSTRUCTION DOCUMENTS\WOODSIDE\2021\_0697\_CE\_GRD.DWG



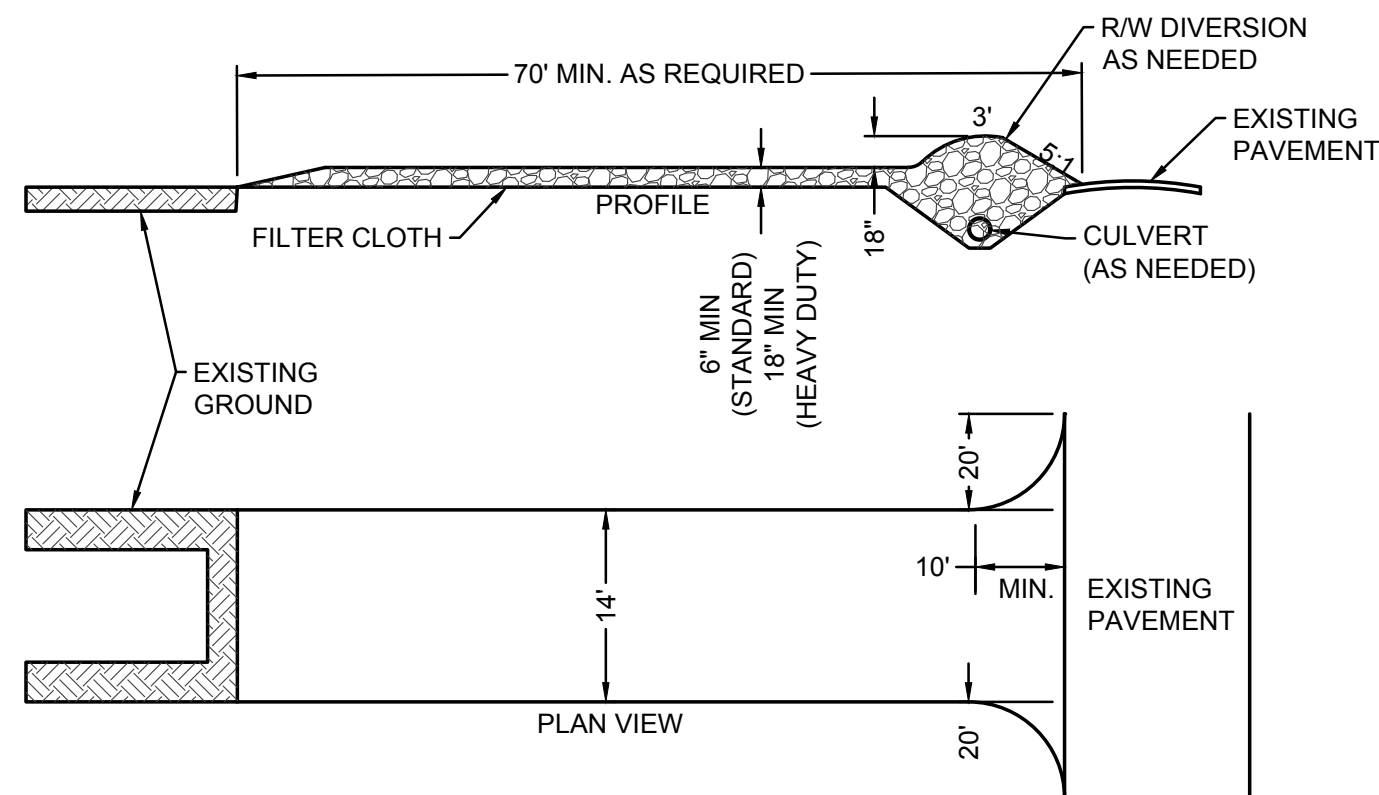
CONSTRUCTION DOCUMENTS FOR  
**WOODSIDE GREEN PARK  
 PARKING LOT IMPROVEMENTS**  
 GAHANNA, FRANKLIN COUNTY, OHIO  
**GRADING, UTILITY, &  
 EROSION CONTROL PLAN**

REVISIONS	DATE	SHEET NO.	DESCRIPTION



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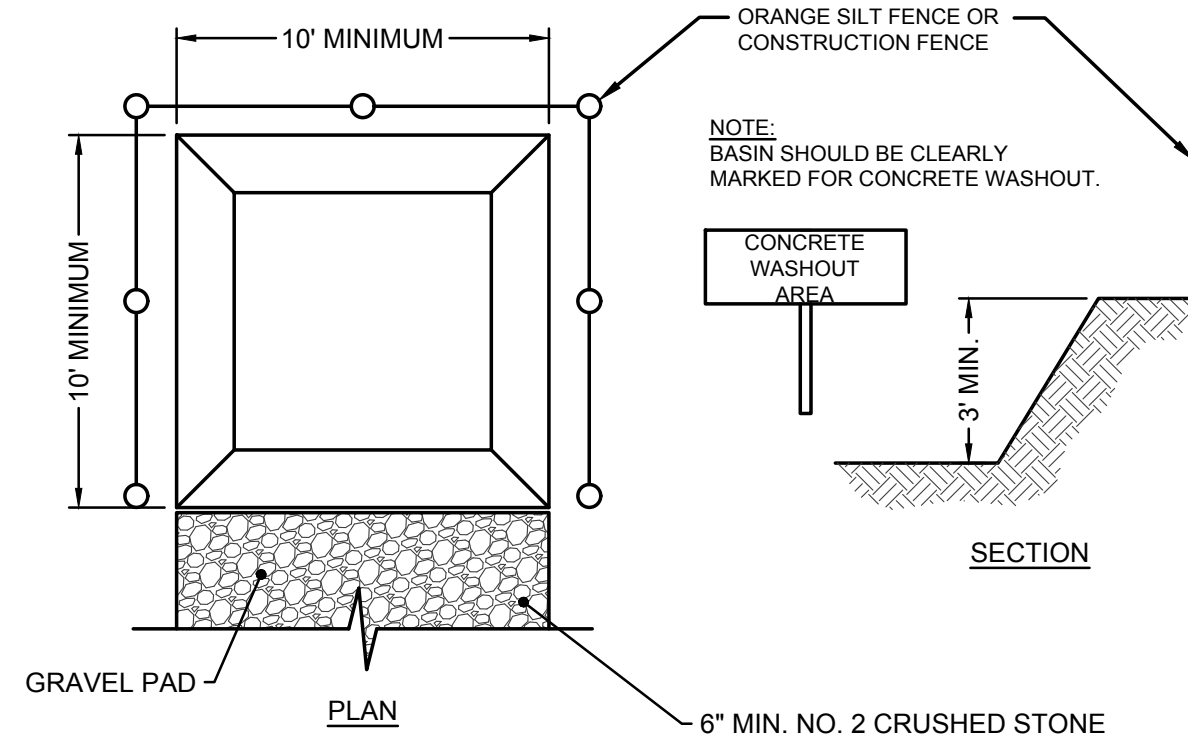
**CONSTRUCTION SPECIFICATIONS:**

1. STONE SIZE—ODOT # 2 (1.5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH—THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT. (EXCEPTION: APPLY 30 FT. MINIMUM TO SINGLE RESIDENCE LOTS).
3. THICKNESS -THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
4. WIDTH -THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS
5. GEOTEXTILE -A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL BE COMPOSED OF STRONG ROT-PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:

GEOTEXTILE SPECIFICATION FOR CONSTRUCTION ENTRANCE	
MINIMUM TENSILE STRENGTH	200 lbs
MINIMUM PUNCTURE STRENGTH	80 psi
MINIMUM TEAR STRENGTH	50 lbs
MINIMUM BURST STRENGTH	320 psi
MINIMUM ELONGATION	20%
EQUIVALENT OPENING SIZE	EOS<0.6 mm
PERMITIVITY	1x10 <sup>-3</sup> cm/sec

6. TIMING—THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICABLE BEFORE MAJOR GRADING ACTIVITIES.
7. CULVERT -A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
8. WATER BAR -A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
9. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR PREVENT FLOWING SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
10. CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION-SITE SHALL BE RESTRICTED FROM MUDDY AREAS. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
11. REMOVAL—THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED OR REPLACED WITH A PERMANENT ROADWAY OR ENTRANCE.

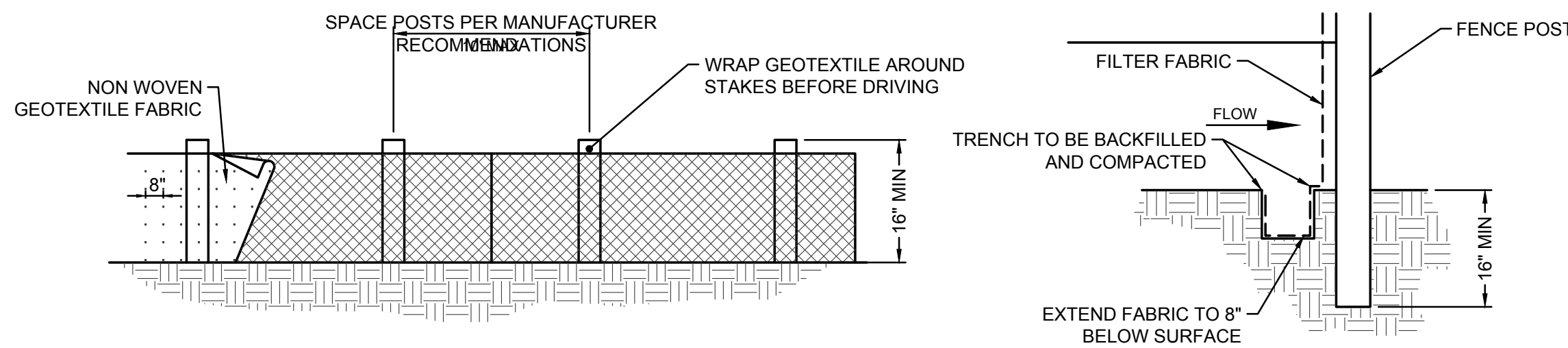
**G CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**NOTE:**

1. ACTUAL LAYOUT DETERMINED IN THE FIELD, BY CONTRACTOR.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

**H CONCRETE WASHOUT AREA**  
NOT TO SCALE



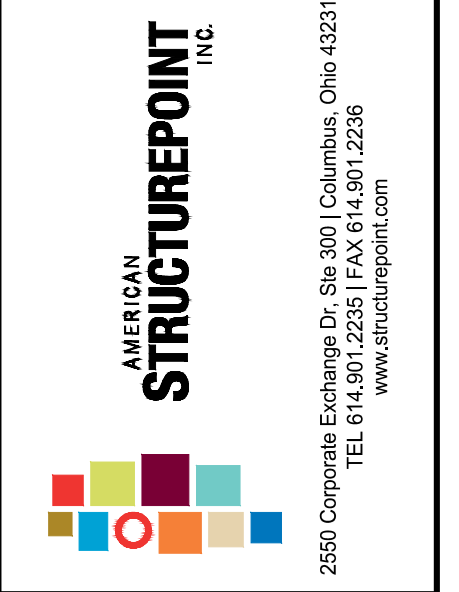
**NOTES:**

1. FENCE POST SHALL BE A MINIMUM LENGTH OF 32 INCHES LONG PLUS BURIAL DEPTH, COMPOSED OF NOMINAL DIMENSIONED 2x2 INCH HARDWOOD OF SOUND QUALITY. ALTERNATELY POST MATERIAL SHALL BE STEEL OR SYNTHETIC AND SHALL BE OF SUFFICIENT STRENGTH TO RESIST DAMAGE DURING INSTALLATION, TO SUPPORT APPLIED LOADS, AND SO THE GEOTEXTILE CAN BE ADEQUATELY SECURED TO POST
2. FABRIC SHALL BE A NEEDLE PUNCHED NON-WOVEN GEOTEXTILE FABRIC CONSISTING OF STRONG, ROT RESISTANT, MATERIALS RESISTANT TO DETERIORATION FROM ULTRAVIOLET AND HEAT EXPOSURE.
3. MINIMUM 8\"/>

6. SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
7. SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY HALF THE HEIGHT OF THE SILT FENCE.

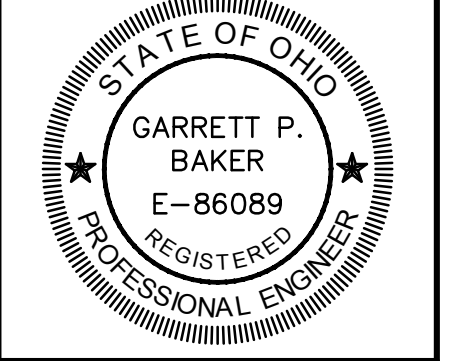
MINIMUM CRITERIA FOR SILT FENCE FABRIC (ODOT, 2002)		
MINIMUM TENSILE STRENGTH	120 lbs (535 N)	ASTM D 4632
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4632
MINIMUM PUNCTURE STRENGTH	50 lbs (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 lbs (180 N)	ASTM D 4533
APPARENT OPENING SIZE	≤ 0.84 mm	ASTM D 4751
MINIMUM PERMITIVITY	1x10 <sup>-2</sup> sec. <sup>-1</sup>	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM D 4355

**I SILT FENCE**  
NOT TO SCALE



CONSTRUCTION DOCUMENTS  
FOR  
**WOODSIDE GREEN PARK  
PARKING LOT IMPROVEMENTS**  
GAHANNA, FRANKLIN COUNTY, OHIO  
**EROSION & SEDIMENT  
CONTROL NOTES**

REVISIONS	DATE	SHEET NO.	DESCRIPTION



DATE:	11/16/2021
DRAWN BY:	GPB
CHECKED BY:	DSM
JOB NUMBER:	2021.00697

PLOT SCALE: 1:1; EDIT DATE: 12/23/21 - 12:33 PM; EDITED BY: AHODGE; DRAWING FILE: O:\2021\00697.D; DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\WOODSIDE\2021\_00697\_CE\_GRD.DWG



June 7, 2022

City of Gahanna

RE: Project 213 Camrose Ct Design Review/C of A

Dear City of Gahanna:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

**Development Engineer**

1. A final engineering plan review will be required following approval of the Design Review(DR). Engineering plan review can be concurrent with the DR process if requested. Concurrent review may expedite the project.
2. The proposed improvements are located in a regulatory FEMA floodway. An approved floodplain use permit demonstrating no change in the base flood elevation will be required prior to construction.

**Fire District**

3. The Fire Division has no objection to the parking lot replacement project. The roadway width exceeds the required width of 20 feet and is acceptable to the fire division.

**Parks**

4. No Comment Per Julie Predieri

**Building**

5. The project will be required to comply with the Ohio Building Code.

If you have any comments or questions, please contact me at [kelly.wicker@gahanna.gov](mailto:kelly.wicker@gahanna.gov) or (614) 342-4025.

Sincerely,

Kelly Wicker  
Planning and Zoning Coordinator



## STAFF REPORT

### Request Summary

The City of Gahanna is proposing parking and landscaping alterations to the Woodside Green parking lot located at 213 Camrose Court. The property is zoned PUD – Planned Unit Development and is subject to the Design Review requirements in Section 1197.09(e) of the zoning code which only states that “the Planning Commission may wish to concentrate on demanding more open space and buffer zones between differing land uses. These design attributes should be evaluated by the Planning Commission on a case-by-case basis.”

The City proposes to restripe the entire parking lot, remove and replace required parking lot trees, and to increase the number of parking spaces from 49 to 76. Due to the extent of the parking lot alterations, the current zoning code requirements apply. The only variance requested is from Section 1163.08(h) which requires a ten-foot wide island for every two rows of parking.

### Design Review

General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment;
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District;
- Contribute to the continuing economic and community vitality of the Design Review District; and
- Maintain, protect and enhance the physical surroundings of the Design Review District.

### Variance

The following variances have been requested to the zoning code:

- 1) 1163.08(h) – To not provide the required 10-foot wide landscaped island between two rows of parking spaces. This would only apply to the two rows parking in the middle of the lot.
  - a) Code requires that a 10-foot wide island for every two rows of parking is provided. The island shall have a minimum three-foot high screen between the two rows of parking. The screen may be comprised of mounding, evergreen planting or a combination thereof.

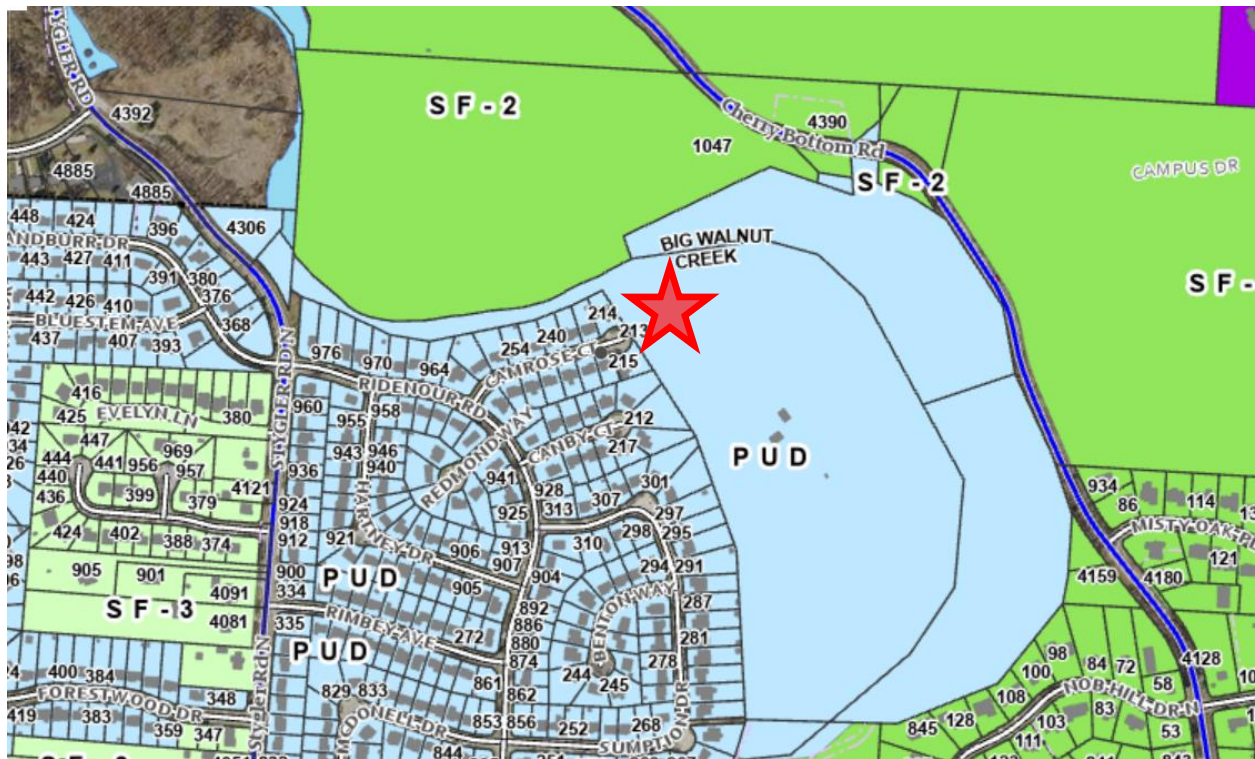
Planning Commission shall not grant a variance unless it finds that all the following conditions apply:

- a) There are special circumstances or conditions applying to the land, building or use referred to in the application.
- b) The granting of the variance is necessary for the preservation and enjoyment of substantial property rights.
- c) The granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the proposed use and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood.

Staff Comments

The proposed parking lot alterations will not negatively affect the surrounding area or neighboring properties. The additional parking will allow additional residents to travel to and use the Woodside Green Park's facilities. The proposed plan meets all other parking and landscaping zoning requirements including the minimum amount of landscaped area and shade trees.

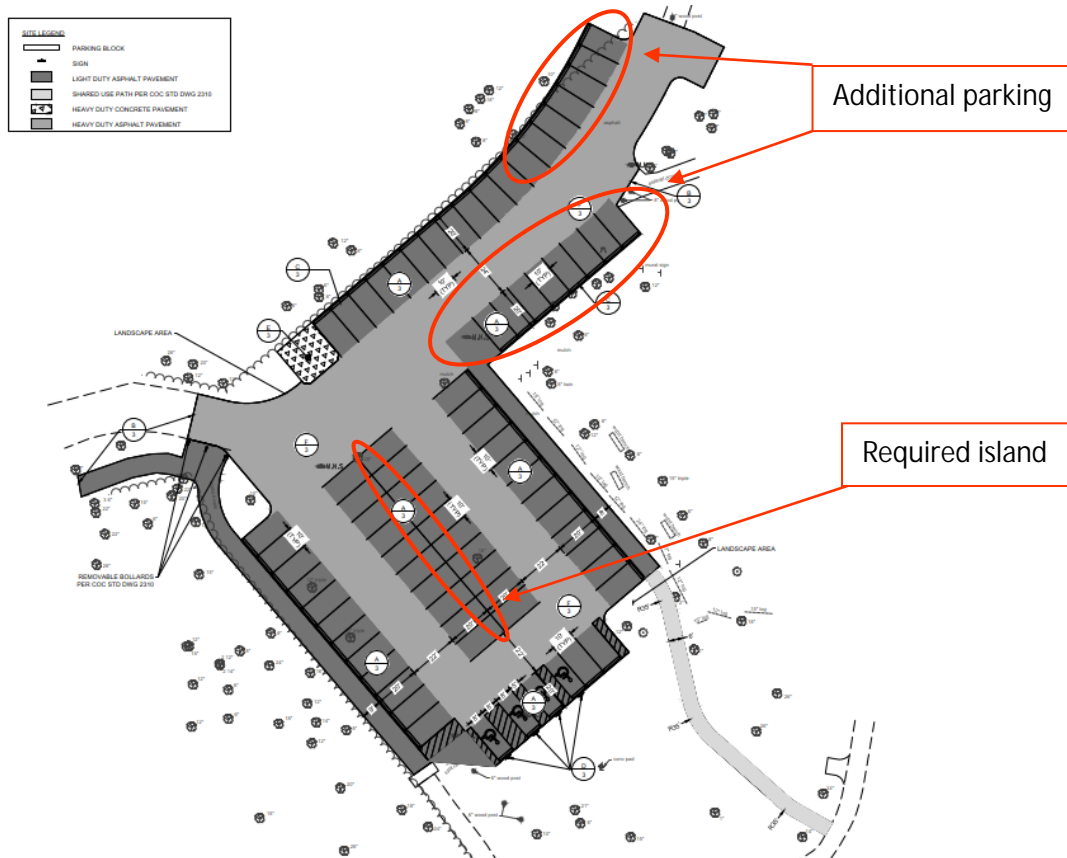
Location/Zoning Map:



Existing parking lot:



Proposed Plan:



Respectfully Submitted By:  
Zack Cowan, AICP