



CITY OF GAHANNA

DEPARTMENT OF PUBLIC SERVICE AND ENGINEERING

ZONING DIVISION
200 S. Hamilton Road
Gahanna, Ohio 43230
614-342-4025
zoning@gahanna.gov
www.gahanna.gov

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION

PLEASE NOTE: This application is not to be considered complete until all documents are received and approved by the Planning & Zoning Administrator.

Project/Property Address or Location: 359 Agler Rd. Gahanna, Ohio 43230		Project Name/Business Name (if applicable): McDonald's	
Parcel ID No.(s): 025-001112-00	Current Zoning: Community Commercial Dist.	Total Acreage: .621 acres	
Please check all that apply:			
SITE PLAN <input checked="" type="checkbox"/>	LANDSCAPING <input type="checkbox"/>	BUILDING DESIGN <input checked="" type="checkbox"/>	DEMOLITION <input type="checkbox"/> <small>only applicable to Code Chapter 1150, Olde Gahanna</small>
SIGNAGE - please use the Permanent Sign Permit Application			
Additional Information (if applicable):			
APPLICANT Name (primary contact) -do not use a business name: Rebecca Green, Permit Solutions, Inc.		Applicant Address: 175 S. Third St., Suite 170, Columbus, OH 43215	
Applicant E-mail: rgreen@permitsolutionsohio.com		Applicant Phone No.: 614/496-4220	
BUSINESS Name (if applicable): Permit Solutions, Inc.			
ATTORNEY/AGENT Name:		Attorney/Agent Address:	
Attorney/Agent E-Mail:		Attorney/Agent Phone No.:	
ADDITIONAL CONTACTS (please list all applicable contacts)			
Name(s): Contractor TBD Developer Architect		Contact Information (phone no./email):	
PROPERTY OWNER Name: (if different from Applicant) McDonalds Corp.		Property Owner Contact Information (phone no./email): Jacob Alber, jalber@us.mcd.com	

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED (see page 2 & 3)

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature: Rebecca Green, Permit Solutions, Inc. Digitally signed by Rebecca Green, Permit Solutions, Inc. Date: 2018.05.04 10:07:55 -04'00' Date: 5-4-18

THIS FORM IS AVAILABLE TO BE SUBMITTED ONLINE: www.gahanna.gov

INTERNAL USE

Zoning File No.	<u>DR-111-2018</u>
PC Meeting Date:	_____
PC File No.	_____

RECEIVED:	<u>KAW</u>
DATE:	<u>5-11-18</u>

PAID:	<u>\$ 50.84</u>
DATE:	<u>5-11-18</u>
CHECK#:	<u>2309/2312</u>



CITY OF GAHANNA

DEPARTMENT OF PUBLIC SERVICE AND ENGINEERING

ZONING DIVISION
 200 S. Hamilton Road
 Gahanna, Ohio 43230
 614-342-4025
 zoning@gahanna.gov
 www.gahanna.gov

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION-SUBMISSION REQUIREMENTS

PLEASE NOTE: This application is not to be considered complete until all documents are received and approved by the Planning & Zoning Administrator.

STAFF USE - INTAKE	TO BE COMPLETED/SUBMITTED BY THE APPLICANT:	APPLICANT		STAFF USE	
		YES	N/A	YES	N/A
	1. Review Gahanna Code Section 1197 (visit www.municode.com)				
	2. Pre-application conference with staff				
	3. Materials List (see page 3) – does not apply to demolition applicants				
	4. Authorization Consent Form Complete & Notarized (see page 4) *To be submitted				
	5. Application & all supporting documents submitted in digital format				
	6. Application & all supporting documents submitted in hardcopy format				
	7. Application fee paid (in accordance with the Building & Zoning Fee Schedule)				
PLEASE CONTINUE TO THE APPROPRIATE SECTION OF REQUIREMENTS FOR YOUR PROJECT					
NOTE: All Plans must be submitted in 8.5x11", 11x17", or 24x36" (folded, not rolled, to 8.5x11")					
SITE PLAN / LANDSCAPING / BUILDING DESIGN REQUIREMENTS					
GENERAL REQUIREMENTS					
	1. One 24"x36" & One 11"x17" prints of the plans				
	2. Color photographs illustrating the site, buildings, & other existing features as well as adjacent properties (identify photograph location)				
	3. A list of all samples to include color names & PMS #'s (required for all exterior materials) – please bring samples to meeting(s)				
	4. Color rendering(s) of the project in plan/perspective/or elevation				
BUILDING CONSTRUCTION, EXTERIOR REMODELING, & ADDITIONS (INCLUDING PARKING LOTS & LANDSCAPING)					
	1. SITE PLAN that includes the following: (include: scale, north arrow, & address)				
	- All property & street pavement lines				
	- Gross area of tract stated in square feet				
	- Proposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent streets. Delineate traffic flow with directional arrows & indicate location of direction signs or other motorist's aids (if any)				
	- Location of all existing and proposed buildings on the site				
	- Location of all existing (to remain) & proposed lighting standards				
	- Breakdown of parking spaces required & spaces provided (see Gahanna Code Section 1163)				
	- Provide lot coverage breakdown of building & paved surface areas				
	2. LANDSCAPE PLAN (including plant list)				
	- Existing landscaping that will be retained & proposed landscaping shall be differentiated & shown on the plan. The type, size, number, & spacing of all plantings & other landscape features must be illustrated				
	- Location of all isolated existing trees having a diameter of six"+; (tree masses may be shown with a diagrammatic outline & a written inventory of individual trees exceeding 6" in caliper)				
	- Designation of required buffer screens (if any) between parking area & adjacent property				
	- Interior landscaping breakdown for paved surface (see Gahanna Code Section 1163)				
	3. ELEVATIONS from all sides & related elevations of any existing structures that includes the following: (include: scale, north arrow, & address) * To be submitted				
	- Exterior materials identified				
	- Fenestration, doorways, & all other projecting & receding elements of the building exterior				
	4. LIGHTING STANDARD DRAWING that includes the following: (scaled drawing)				
	- All sizing specifications				
	- Information on lighting intensity (no. of watts, isofootcandle diagram, at least ½ ft. candles req.)				
	- Materials, colors, & manufacturer's cut sheet				
	- Ground or wall anchorage details				
CONTINUE TO PAGE 3					



CITY OF GAHANNA

DEPARTMENT OF PUBLIC SERVICE AND ENGINEERING

ZONING DIVISION
 200 S. Hamilton Road
 Gahanna, Ohio 43230
 614-342-4025
 zoning@gahanna.gov
 www.gahanna.gov

	5. OPTIONAL REQUIREMENTS AT THE DISCRETION OF PLANNING COMMISSION: - Scale model - Section profiles - Perspective drawing				
DEMOLITION OR REMOVAL OF EXISTING STRUCTURES REQUIREMENTS					
	1. ONE OR MORE OF THE FOLLOWING CONDITIONS MUST EXIST:				
	- That the building contains no features of special architecture or is not a historical building or culturally significant or is not consistent in design & style with other structures within the district				
	- That there exists no viable economic use for the building in its current state or as it might be restored or that there is not a feasible and prudent alternative to demolition and that the approval of the demolition is necessary for the preservation and enjoyment of substantial property rights				
	- That the applicant has a definite plan for redevelopment of the site which meets the standards of this Code and the proposed redevelopment will not materially affect adversely the health or safety of persons residing or working in the district where the demolition will occur and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood				

MATERIAL LIST

NOT REQUIRED FOR DEMOLITION APPLICANTS

Item	Manufacturer Name	Color Name	Color Number
Awnings			
Brick			
Gutters and Downspouts			
Lighting			
Roofing			
Siding			
Signs			
Stucco			
Trim			
Windows			

THIS FORM IS AVAILABLE TO BE SUBMITTED ONLINE: www.gahanna.gov

AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

AUTHORIZATION FOR OWNER'S APPLICANT OR REPRESENTATIVE(S) *If the applicant is not the property owner, this section must be completed & notarized.*

I, Mark Hertel, McDonald's Corp., the owner or authorized owner's representative of the subject property listed on this application, hereby authorize Rebecca Green, Permit Solutions to act as my applicant or representative(s) in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature: [Signature] Date: 5/03/18

AUTHORIZATION TO VISIT THE PROPERTY

I, Mark Hertel, McDonald's Corp., the owner or authorized owner's representative of the subject property listed on this application, hereby authorize City representatives to visit, photograph and post notice (if applicable) on the property as described in this application.

Property Owner Signature: [Signature] Date: 5/03/18

NOTARY

Subscribed and sworn to before me on this 3 day of MAY

State of Ohio County of Franklin

Notary Public Signature: [Signature]



ROBERT B. COTNER
NOTARY PUBLIC
STATE OF OHIO
Recorded in
Franklin County
My Comm. Exp. 9/29/2020

AGREEMENT TO COMPLY AS APPROVED

I, Rebecca Green, Permit Solutions, Inc, the applicant of the subject property listed on this application, hereby agree that the project will be completed as approved and any proposed changes to the approved plans shall be submitted for review and approval to the Zoning Division staff.

Applicant Signature: [Signature] Date: 5/7/18

NOTARY

Subscribed and sworn to before me on this 7th day of May, 2018

State of Ohio County of Franklin

Notary Public Signature: [Signature]



Jill A. Webb
Notary Public, State of Ohio
My Commission Expires 07-08-2020



CITY OF GAHANNA

DEPARTMENT OF PUBLIC SERVICE AND ENGINEERING

ZONING DIVISION
200 S. Hamilton Road
Gahanna, Ohio 43230
614-342-4025
zoning@gahanna.gov
www.gahanna.gov

APPLICATION ACCEPTANCE

INTERNAL USE

This application has been reviewed and is considered complete and is hereby accepted by the Zoning Division of the City of Gahanna and shall be:

- Forwarded to the City of Gahanna Planning Commission for consideration.
- Forwarded to Administration for consideration.

Planning & Zoning Administrator Signature: *Mark Burford* Date: 5/22/18

APPROVAL BY THE PLANNING & ZONING ADMINISTRATOR

In accordance with the Codified Ordinances of the City of Gahanna, Ohio, I hereby certify that this project, as stated above, was approved by the Planning & Zoning Administrator on _____. The applicant shall comply with any conditions approved by the Planning & Zoning Administrator and shall comply with all building, zoning and landscaping regulations of the City of Gahanna.

INTERNAL USE

Planning & Zoning Administrator Signature: _____ Date: _____

Chief Building Official Signature: _____ Date: _____

Director of Public Service Signature: _____ Date: _____

City Engineer Signature: _____ Date: _____

This application will be forwarded to Planning Commission read by title at the first regular meeting of Planning Commission following approval by the Planning & Zoning Administrator.



P.O. BOX 307774
COLUMBUS, OH 43230
(330) 524-3113
WWW.PERMITSOLUTIONSOHIO.COM

City of Gahanna
200 S. Hamilton Rd
Gahanna OH 43230

May 2018

**RE: McDonald's
359 Agler Rd.
Gahanna, Ohio 43230**

Provide lot coverage breakdown of building & paved surface areas:

Total Site Area:	27,039 S.F.
Pre Developed Impervious:	19,077 S.F.
Post Developed Impervious:	19,630 S.F. (72.5%)

Pre Development Building Area:	855 S.F.
Proposed Addition:	<u>84 S.F.</u>
Post Development Building Area:	950 S.F.

Post Development Parking Spaces:	
Standard	8
Handicap	<u>1</u>
Total	9

Parking Required by §1163.02(a):	
Standard	4-6

Rebecca Green
Permit Solutions, Inc.
rgreen@permitsolutionsohio@gmail.com



View from Stygler



View from Agler



View of Northeast corner of Building



McDonald's
CLASSIC

COY 3570

Enter

welcome to the new
\$1 Dollar Menu
Coca-Cola

All Day Breakfast
Extra Value Meals

New Starting the Following All Day Breakfast Menu
• Hotcakes
• Hotcakes w/Maple Syrup
• Sausage Burritos
• Chicken
• Chicken w/Hot Brown
• Potatoes
• Sausage Biscuits
• Sausage McMuffin
• Sausage McCroissant
• Chicken McCroissant
• Chicken Biscuits
*Not Available in Certain Markets
© 2014 McDonald's

View of Building Facing 62



NON-DRIVE THRU ELEVATION



DRIVE THRU ELEVATION



FRONT ELEVATION



REAR ELEVATION



METAL CANOPY WRAP
CITYSCAPE



BENJAMIN MOORE -
IRON MOUNTAIN
2134-30



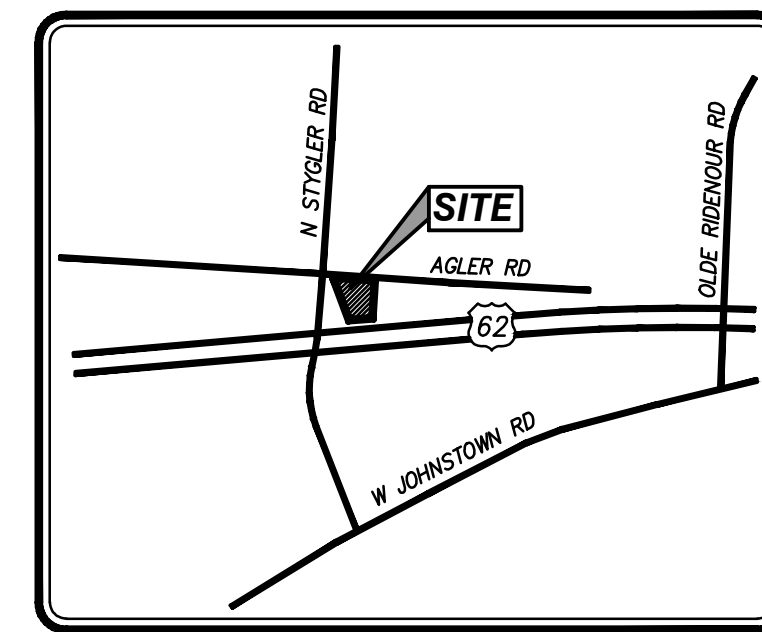
ACCENT TILE:
EUROWEST eWOOD
EBONY



ALPOLIC COMPOSITE
PANELS
RON RED



GOLD



LOCATION MAP
NOT TO SCALE

PROPOSED PAVEMENT MARKINGS

(SEE SHEET SD-1 FOR DETAILS)

- (A) DIRECTIONAL ARROW (WHITE)
- (B) "DRIVE THRU" W/ ARROW (YELLOW)
- (C) ROUND CIRCLE (DIRECTIONAL ARROW) (YELLOW)
- (D) "THANK YOU" (YELLOW)

ALL EXISTING PAVEMENT MARKINGS ARE TO REMAIN UNLESS OTHERWISE NOTED

"PULL FORWARD" PARKING

- 1 PROPOSED YELLOW STRIPING
- 2 PROPOSED DESIGNATED "PULL FORWARD" SPACES
- 3 PROPOSED IN GROUND "RESERVED" SIGN POST (SEE DETAIL SHEET SD-2)

PLAN DESIGNER

SITESOURCE CONSULTANTS, INC.
4254 TULLER ROAD
DUBLIN, OHIO 43017
PHONE: 614-581-8504
FAX: 614-761-0717
EMAIL: ras_sitesource@ameritech.net

DEVELOPER

MCDONALD'S USA, LLC
2 EASTON OVAL, SUITE 200
COLUMBUS, OHIO 43219
AREA CONSTRUCTION MANAGER: CHARLES PEPERAK
PHONE: (412) 582-1330
EMAIL: chuck.peperak@us.mcd.com

GENERAL NOTES

THE CITY OF GAHANNA, THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION, THE OHIO ENVIRONMENTAL PROTECTION AGENCY, AND AMERICAN WATER WORKS ASSOCIATION STANDARDS AND SPECIFICATIONS SHALL GOVERN ALL MATERIAL AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN IN THESE PLANS.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION NOT SPECIFIED HEREIN, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

ANY MODIFICATIONS OR CHANGES TO THE WORK AS SHOWN ON THE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY ENGINEER.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND VERIFY THE EXTENT OF THE WORK TO BE PERFORMED PRIOR TO MAKING HIS BID. THIS IS ESPECIALLY TRUE WITH REGARD TO ANY REMOVAL ITEMS.

THE CONTRACTOR SHALL REPAIR OR REPLACE ANY AND ALL EXISTING WORK DAMAGED DURING OR DUE TO THE EXECUTION OF THIS CONTRACT TO EQUAL OR BETTER CONDITION PRIOR TO THE DAMAGE, AT HIS OWN EXPENSE. ALL SAID WORK TO BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE DEVELOPER'S ENGINEER AND CITY ENGINEER. ANY DAMAGE TO OTHER UTILITIES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE APPROPRIATE UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.

DIMENSIONS ARE TO FACE OF CURB AND/OR EXTERIOR OF BUILDING UNLESS OTHERWISE NOTED.

ALL SIDEWALKS & HANDICAP RAMPS SHALL BE BUILT TO ADA STANDARDS. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

ALL ROADWAY AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF LOCAL AND/OR STATE GOVERNING AGENCY.

ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL AND/OR GOVERNING AGENCY REGULATIONS AND SPECIFICATIONS.

SITE KEYNOTES

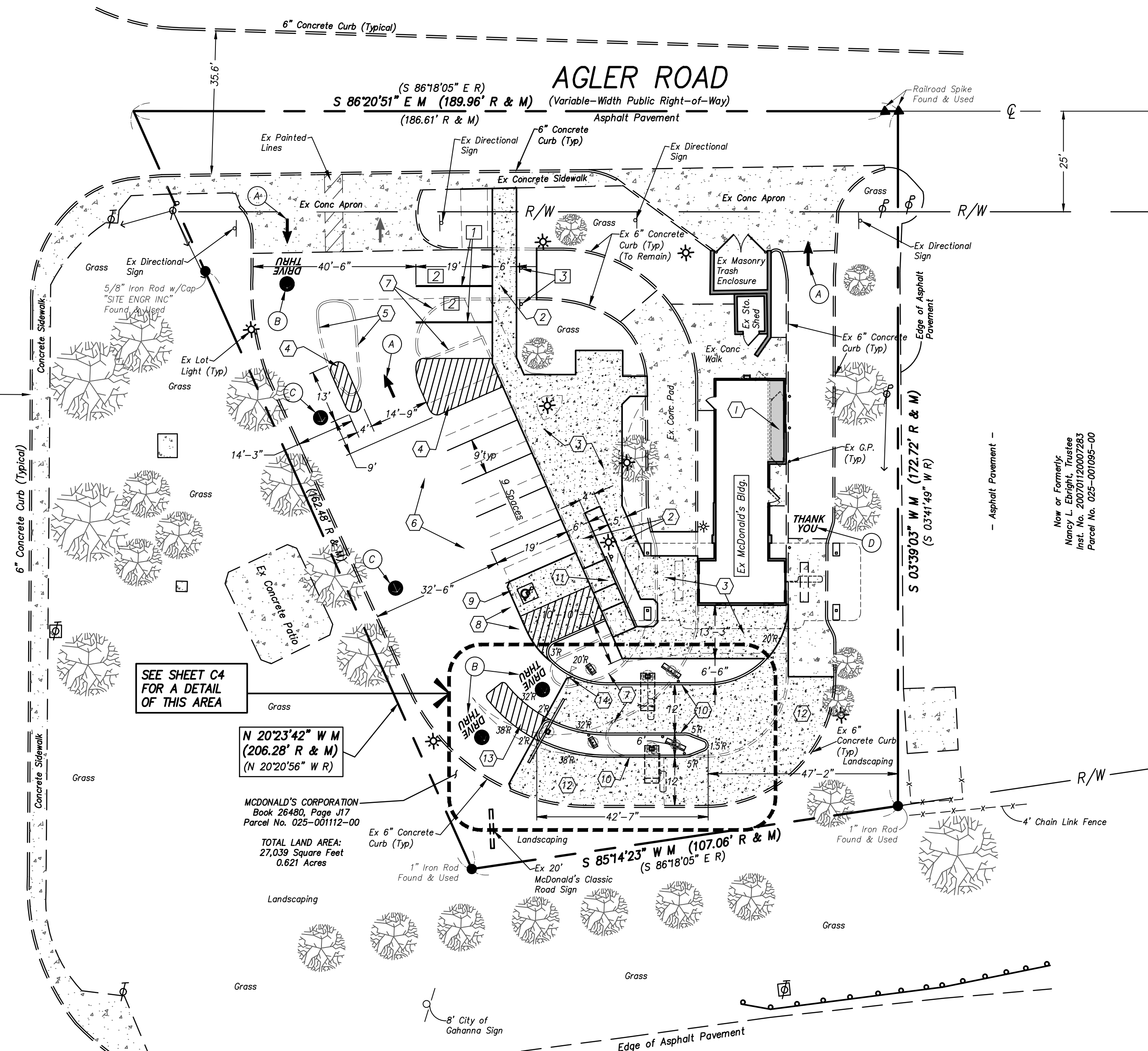
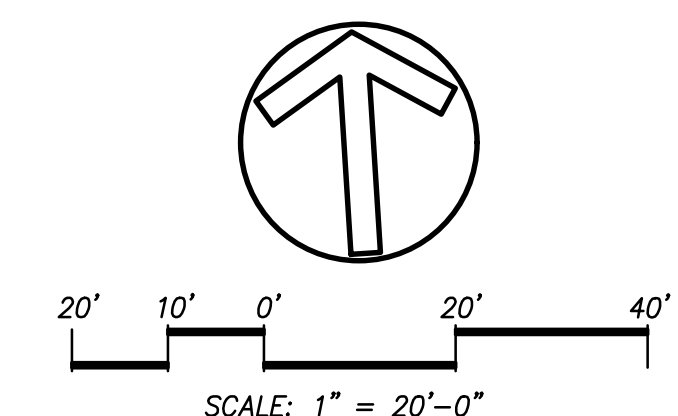
- 1 PROPOSED BUILDING ADDITION (SHOWN SHADED) (SEE ARCHITECTURAL DRAWINGS)
- 2 PROPOSED CONCRETE WALK (SEE DETAIL SHEET SD-1)
- 3 PROPOSED CONCRETE PATIO (SEE SECTION SHEET SD-1)
- 4 PROPOSED PAINTED LINES (WHITE)
- 5 EXISTING CONCRETE CURBED ISLAND TO BE REMOVED
- 6 RE-STRIPE ENTIRE ROW OF PARKING AS SHOWN
- 7 EXISTING CONCRETE CURBS TO BE REMOVED
- 8 PROPOSED H/C PARKING (SEE DETAIL SHEET SD-1)
- 9 PROPOSED CONCRETE PAD (SEE SECTION THIS SHEET)
- 10 PROPOSED 6" x 18" CONCRETE CURB (SEE DETAIL SHEET SD-1)
- 11 PROPOSED PARALLEL CURB (DOUBLE) (SEE DETAIL SHEET SD-1)
- 12 PROPOSED DRIVE THRU LANE CONCRETE PAD (SEE SECTION THIS SHEET)
- 13 PROPOSED PAINTED LINES (YELLOW)
- 14 EXISTING FLAG POLE TO BE REMOVED

SITE SUMMARY

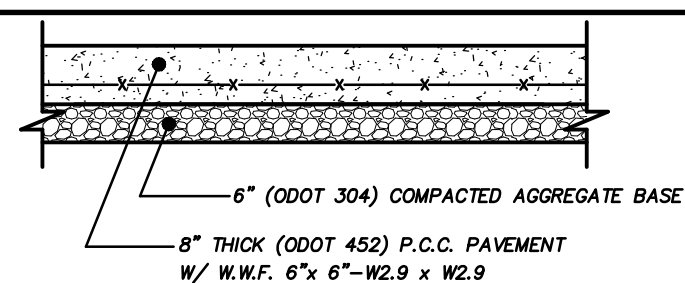
LOT ACREAGE: 0.621 ACRES (27,039 S.F.)
EXISTING ZONING: COMMUNITY COMMERCIAL DISTRICT
USE: RESTAURANT
SETBACKS:
FRONT SETBACK: 60'
REAR SETBACK: 10'
SIDE SETBACKS: 10'
BUILDING SIZE:
EXISTING BUILDING 866 S.F.
PROPOSED ADDITIONS 84 S.F.
TOTAL 950 S.F.

PARKING SPACES PROVIDED (PROPOSED)

STANDARD SPACES 8 SPACES
HANDICAP 1 SPACES
TOTAL 9 SPACES

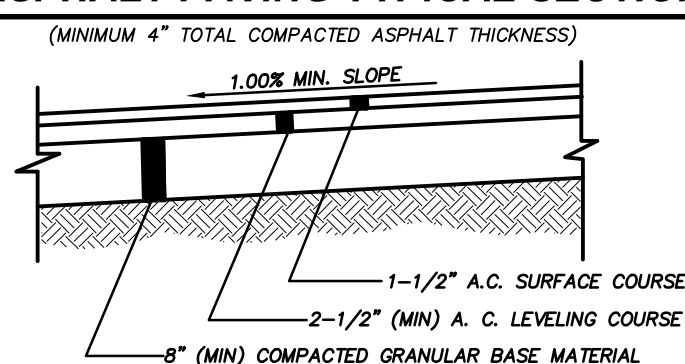


CONCRETE PAVEMENT TYPICAL SECTION



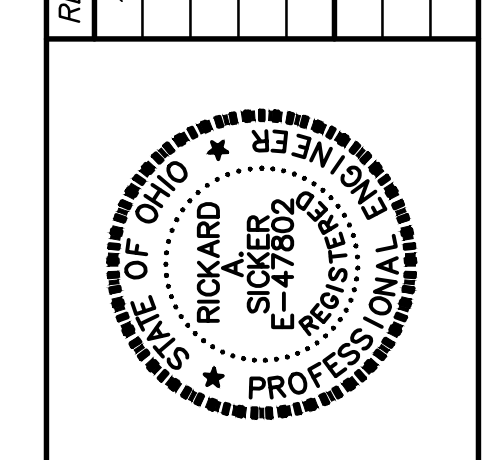
NOTES: CONTROL JOINTS 12'-0" O.C.
APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT

ASPHALT PAVING TYPICAL SECTION



NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, G.C. WILL BE CHARGED.

REV	DATE	DESCRIPTION
X	X	
X	X	



SiteSource Consultants, Inc.
4254 Tuller Road • Dublin, Ohio 43017
Phone: 614-718-9633 • Fax: 614-761-0717
Email: sitesource@ameritech.net

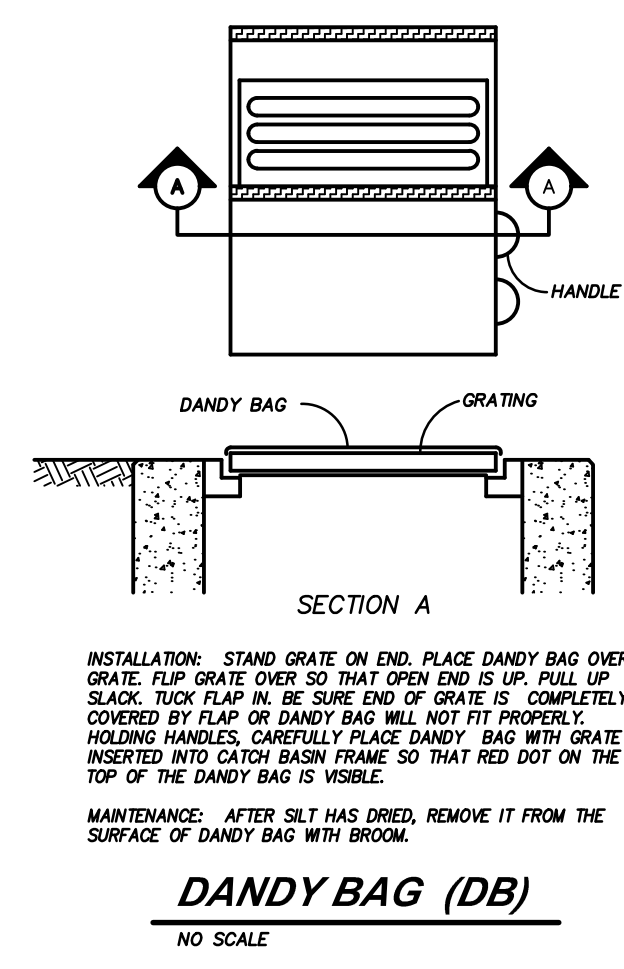
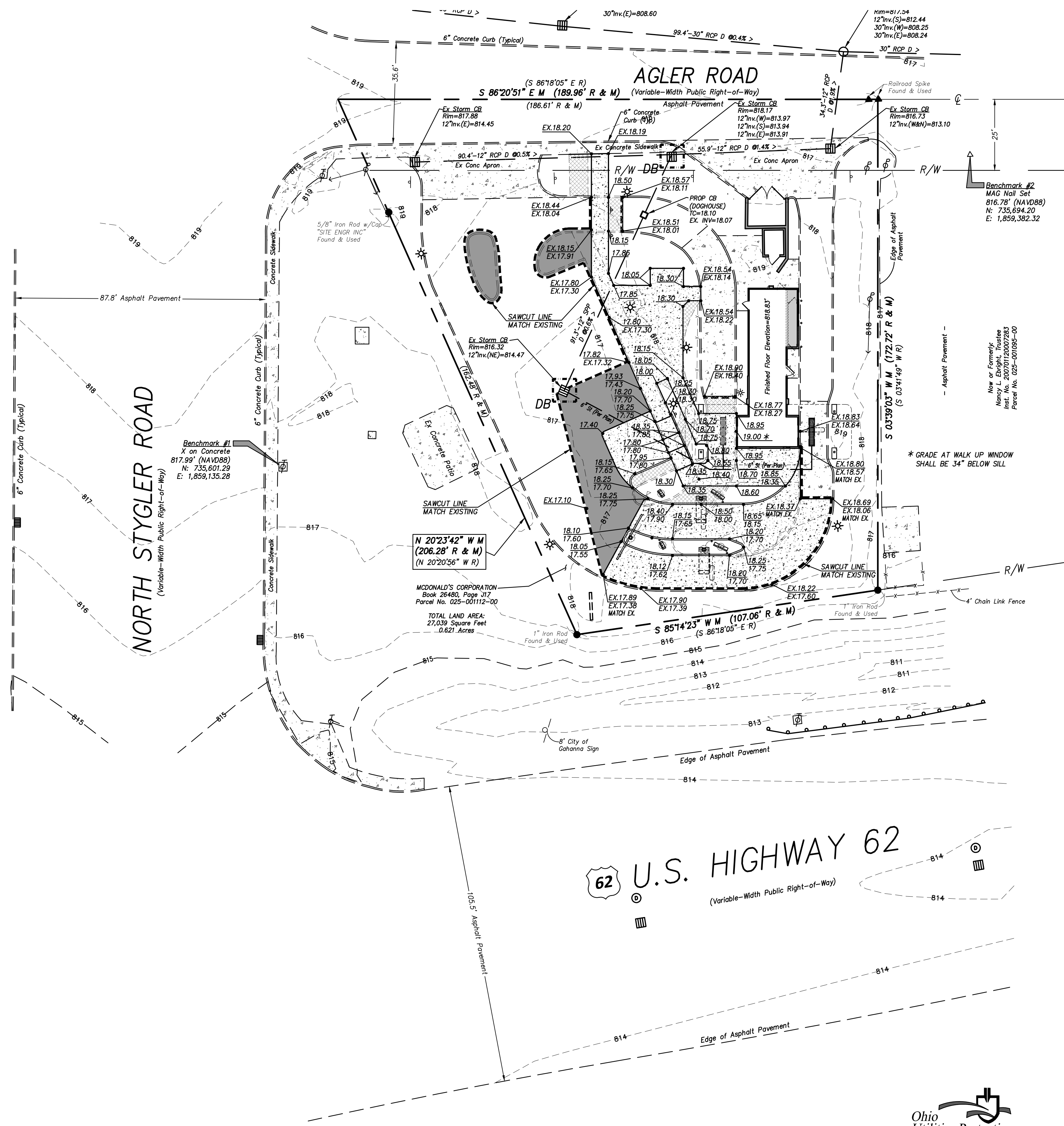
Richard A. Lippert 47802 4/26/18
REGISTERED ENGINEER

L/C # 34-1253

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PROPOSED MCDONALD'S RESTAURANT REMODEL AT:
359 AGLER ROAD
GAHANNA, OHIO

JOB NO. SS018-507
DATE: APRIL 2018
SITE PLAN
SHEET: C1



GRADING NOTES

BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY NORTH COAST GEOMATICS DATED MARCH 2018.

THE PROPOSED PAVEMENT AND WALK AREAS SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION. THE CONTRACTOR MAY NEED TO REPAIR ADDITIONAL PAVEMENT AREAS DUE TO MEANS AND METHODS OF REMOVAL OF EXISTING ITEMS AS SHOWN ON PAGE C1. ADDITIONAL PAVEMENT/CURB WORK DUE TO EXTENTS OF DEMO OR REPAIR WORK SHALL BE INCLUDED AS PART OF THE CONTRACTORS SCOPE OF WORK.

ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.

FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.

ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.

ALL GRADES SHOWN ON H/C PARKING AREAS MUST BE MAINTAINED.
 PARKING-1:50 (2%) SLOPE MAX. IN ALL DIRECTIONS
 ACCESS ROUTE- 1:20 (5%) RUNNING SLOPE MAX.
 1:50 (2%) CROSS SLOPE MAX.

THE CONTRACTOR SHALL INSTALL NECESSARY TRAFFIC CONTROL SAFETY BARRICADES, LIGHTING AND OTHER REQUIRED CONTROL MEASURES TO SECURE THE WORK AREA FROM EXISTING TRAFFIC AND TO ASSURE PUBLIC SAFETY.

PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. ALL CURB TERMINATIONS ARE TO BE TAPERED TO GRADE.

EROSION CONTROL MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR DURING CONSTRUCTION TO PROTECT CATCH BASINS AND CURB INLETS FROM SILT, MUD, AND DEBRIS.

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X UNSHADED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 39049C0194K, WITH A DATE OF IDENTIFICATION OF JUNE 17, 2008, FOR COMMUNITY NO. 390171, IN FRANKLIN COUNTY, STATE OF OHIO, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.

DEMOLITION NOTES

ALL CONTRACTORS SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS AS THEY RELATE TO THE REQUIREMENTS OF DEMOLITION WORK AND NEW WORK SHOWN ON THESE DRAWINGS AND IN MCDONALD'S SPECIFICATIONS.

CONTRACTORS SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND QUANTITIES OF EXISTING MATERIALS PRIOR TO PROCEEDING WITH WORK AND CONTACT MCDONALD'S CONSTRUCTION REPRESENTATIVE IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.

ALL EXISTING INFRASTRUCTURE WHICH IS TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND NEW WORK.

CONTRACTOR SHALL REFER TO ALL DRAWINGS AND SPECIFICATIONS AND BECOME FAMILIAR WITH THE ENTIRE SCOPE OF WORK TO THE EXTENT THAT THEIR WORK AFFECTS OR IS AFFECTED BY OTHER CONTRACTORS WORK.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED, THE CONTRACTOR SHALL BE REQUIRED TO FURNISH SUCH EQUIPMENT. THE COST OF PROTECTING THE UTILITIES FROM DAMAGE AND FURNISHING SPECIAL EQUIPMENT SHALL BE INCLUDED IN THE BID.

PRIOR TO PAVEMENT REMOVAL, THE CONTRACTOR SHALL SAWCUT THE EXISTING PAVEMENT TO PROVIDE A SOUND AND CLEAN EDGE ON THE PAVEMENT THAT IS REMAINING.

PRIOR TO CONCRETE AND WALK REMOVAL, THE CONTRACTOR SHALL SAWCUT EXISTING CONCRETE AT THE NEAREST CONTROL JOINT TO PROVIDE A SOUND CLEAN EDGE.

THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE ON THE SITE AT ALL TIMES DURING DEMOLITION. MAINTENANCE OF DRAINAGE SHALL NOT BE MEASURED FOR PAYMENT BUT WILL BE INCIDENTAL TO OTHER ITEMS.


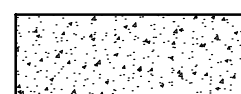


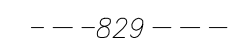
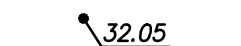
UNLESS OTHERWISE NOTED, ALL SALVAGEABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR.

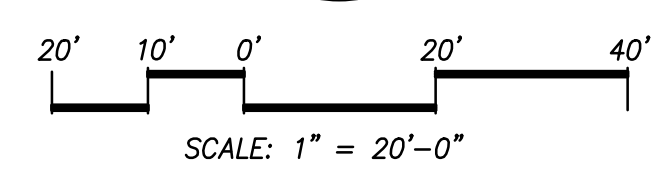
ALL WASTE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. NO DISPOSAL ON SITE SHALL BE PERMITTED.

ALL EROSION CONTROL TO BE INSTALLED PRIOR TO BEGINNING DEMOLITION WORK AND LEFT IN PLACE FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROLS AND ALL EROSION CONTROL INSPECTIONS.

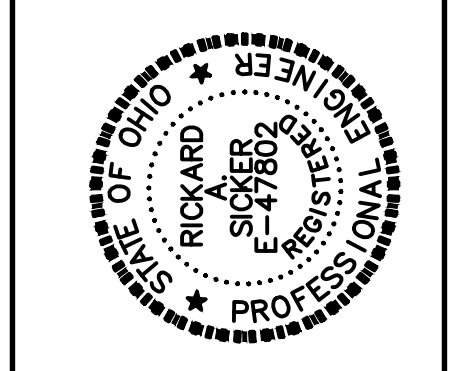
THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ANY RIGHT-OF-WAY MARKERS. IN THE EVENT THAT A MARKER IS DESTROYED OR DISTURBED, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE WITH LOCAL AGENCIES FOR THE REPAIR OR REPLACEMENT OF SAID MARKERS.

LEGEND

-  EXISTING PAVEMENT/WALK TO BE REMOVED
-  PROPOSED CONCRETE PAVEMENT/WALK, SEE DETAIL SHEETS C-1 & SD-1 (REMOVE EXISTING PAVEMENT AS NEEDED)
-  PROPOSED ASPHALT PAVEMENT, SEE DETAIL SHEET SD-1 (REMOVE EXISTING PAVEMENT AS NEEDED)
-  DANDY BAG, SEE DETAIL THIS SHEET
-  EXISTING CONTOUR
-  PROPOSED SPOT ELEVATION



REV	DATE	DESCRIPTION
A	11/18/18	REVISED SPOT ELEVATIONS PER UPDATED TOPOG SURVEY



SiteSource Consultants, Inc.
 4254 Tuller Road • Dublin, Ohio 43017
 Phone: 614-718-9633 • Fax: 614-718-0717
 Email: sitesource@ameritech.net

Richard S. Slocum
 REGISTERED ENGINEER

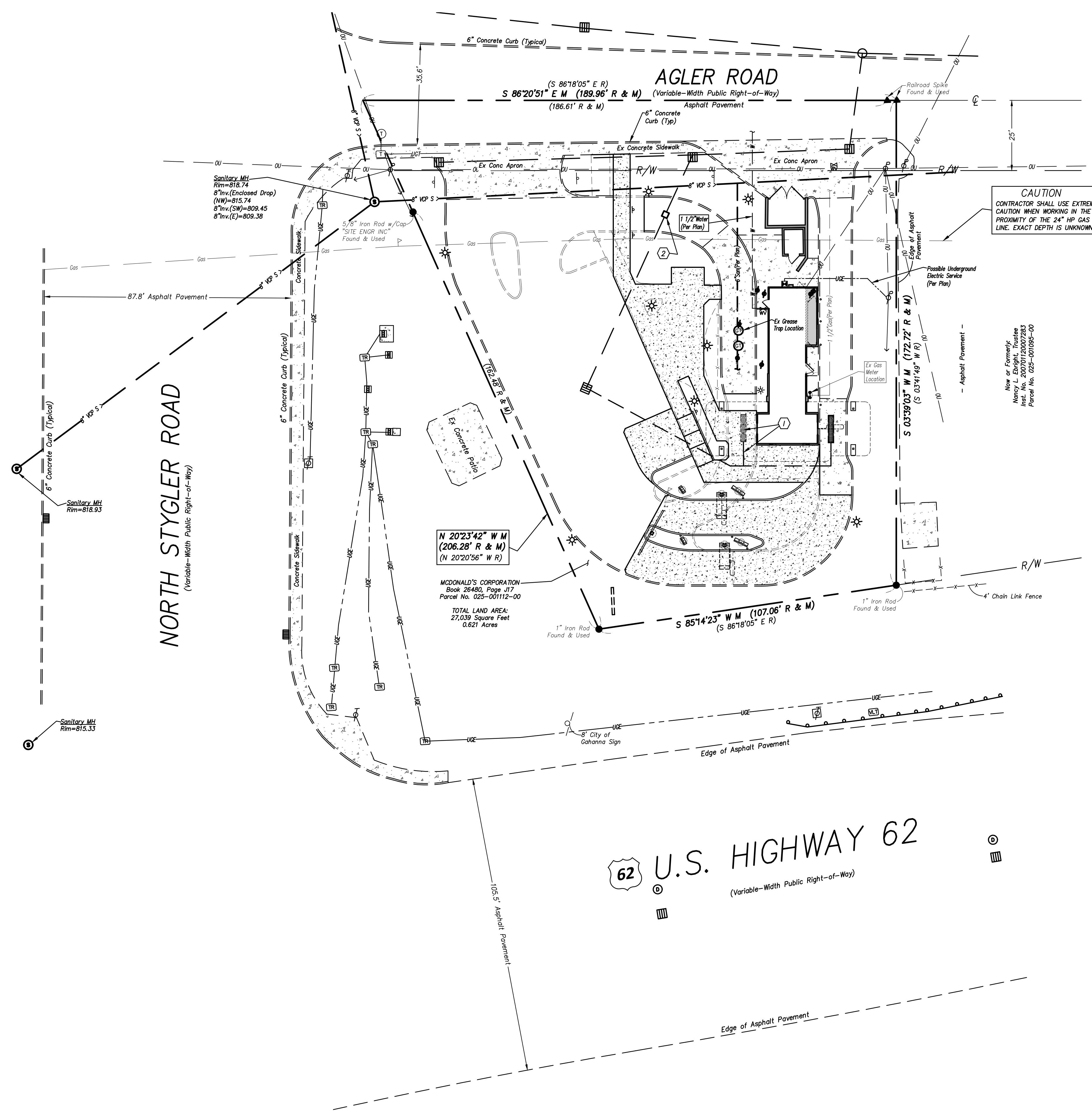
L/C # 34-1253

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PROPOSED MCDONALD'S RESTAURANT REMODEL AT:
 359 AGLER ROAD
 GAHANNA, OHIO

JOB NO. SS018-507
 DATE: MARCH 2018
GRADING PLAN
SHEET: C2

Ohio Utilities Protection Service
Call Before You Dig
 1-800-362-2764
CALL TWO WORKING DAYS BEFORE YOU DIG (NON MEMBERS MUST BE CALLED DIRECTLY)



GENERAL NOTES

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. THE CONTRACTOR IS DIRECTED TO CONTACT THE OHIO UTILITIES PROTECTION SERVICE, O.U.P.S., AT 1 (800) 362-2764 AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS (i.e. INVERTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS) IN THE FIELD PRIOR TO COMMENCEMENT OF UTILITY WORK. REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE.

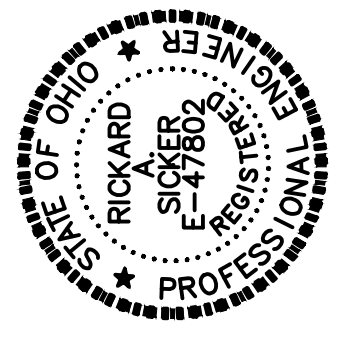
THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, AND SHALL TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTORS EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.

CAUTION
CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING IN THE PROXIMITY OF THE 24" HP GAS LINE. EXACT DEPTH IS UNKNOWN.

SITE KEYNOTES

- 1 EXISTING TRENCH DRAIN. REMOVE EXISTING GRATE. FILL AND PLUG EXISTING 6" STORM SEWER LINE
- 2 ADD CATCH BASIN OVER EXISTING STORM SEWER. FOR ELEVATIONS SEE SHEET C2

REV	DATE	DESCRIPTION
X	X	
X	X	



SiteSource Consultants, Inc.
4254 Tuller Road • Dublin, Ohio 43017
Phone: 614-718-9633 • Fax: 614-761-0717
Email: sitesource@ameritech.net

Richard A. Scher
REGISTERED ENGINEER

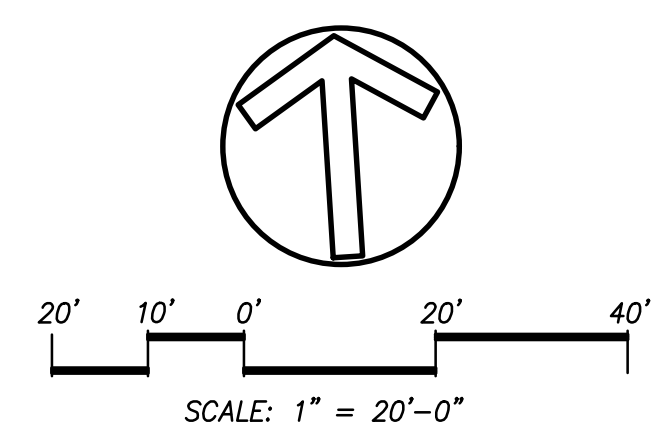
L/C # 34-1253

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PROPOSED MCDONALD'S RESTAURANT REMODEL AT:
359 AGLER ROAD
GAHANNA, OHIO

JOB NO. SS018-507
DATE: MARCH 2018
UTILITY PLAN
SHEET: C3

Ohio Utilities Protection Service
Call Before You Dig
1-800-362-2764
CALL TWO WORKING DAYS BEFORE YOU DIG (NON MEMBERS MUST BE CALLED DIRECTLY)



SIDE BY SIDE DRIVE THRU NOTES

CURBING:

DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0". LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0".

THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0".

PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER).

THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45'. THE LENGTH OF THE ISLAND FROM THE COD ALLOWS FOR THREE CARS IN THE SECONDARY LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMMITMENT POINT.

ENTRANCE LANE ENTERING THE SIDE BY SIDE DRIVE-THRU IS TO BE 14'-0" MIN.

THE RADIUS FOR THE ISLAND TIP SHALL BE 1'-6".

PAVEMENT MARKINGS:

6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE. LANE STARTS AT DRIVE-THRU ENTRANCE WHERE "McDONALD'S GATEWAY" SIGN IS LOCATED.

DOUBLE-HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7'-0" SHAFT, 7'-0" ARROW STEM AND 3'-0" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE.

MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH COD SIMULTANEOUSLY MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0" AND OFFSETTING THE OUTER LANE STRIPING 8'-0". AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE.

THE WORDS "THANK YOU" ARE TO BE PLACED 8" FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU".

THE 8" YELLOW STRIPE IS TO BE PLACED 40'-0" FROM THE CENTER LINE OF THE OPEN PRESENT WINDOW AND IS FOR PARKING CARS THAT ARE WAITING FOR ORDERS.

A CIRCLE DIRECTIONAL ARROW CENTERED ABOVE THE WORD "DRIVE THRU" USED TO INDICATE THE DRIVE THRU ENTRY POINT.

EQUIPMENT POSITIONING FOR PRIMARY LANE:

MIN. 60'-0" (+5', 60'-65') LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE COD FACE AND THE CENTER LINE OF THE OPEN ORDER BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20'-0" INCREMENTS (±5' FOR 80', 100', AND 120') TO A MAX OF 120'. 100'-0" IS OPTIMAL.

THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION IS TO BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE COD FOUNDATION.

THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° TO 35° ANGLE (35° PREFERRED) FROM A CAR POSITIONED AT THE COD AND WITH 100% VISIBILITY.

AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.

A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB.

AUGER "McDONALD'S GATEWAY" SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.

THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY COD MUST BE 15'-0". THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE.

THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY COD.

EQUIPMENT POSITIONING FOR SECONDARY LANE:

TO POSITION THE SECONDARY COD, DRAW AN ARC WITH A 14' RADIUS THAT IS CENTERED FROM THE MIDPOINT OF THE ISLAND TIP. THEN OFFSET THE FACE OF THE CURB BY 24" TO DETERMINE THE LOCATION OF CENTER OF FOUNDATION OF THE SECONDARY COD.

WHEN THE SECONDARY COD IS LOCATED AT 14'-0" FROM THE TIP OF THE CURBED ISLAND, THE LOOP DETECTOR IS TO BE 2'-0" FORWARD OF THE COD CENTER LINE WITH THE LOOP FACING FORWARD AND THE DETECTOR LOOP PERPENDICULAR TO THE SECONDARY COD WHEN POSSIBLE.

THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM CENTER OF THE COD FOUNDATION WITH THE END CAP OF THE SECONDARY MENU BOARD NOT BE LESS THAN 12" FROM FACE OF CURB.

AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.

SIDE BY SIDE DRIVE-THRU PRE-BROWSE BOARDS:

PRE-BROWSE BOARD MUST BE 18"-24" FROM FACE OF CURB. THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD.

PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB. THE DISTANCE BETWEEN THE SECONDARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE COD FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD (PREFERRED 35°).

DETECTOR LOOP:

DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENTER BOOTHS.

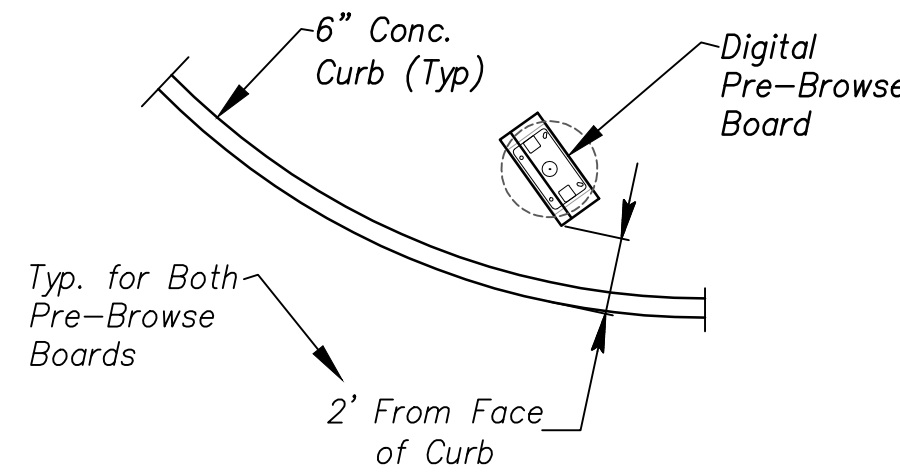
GENERAL NOTES

1. DUE TO THE EXACT GEOMETRY REQUIRED FOR THE EFFICIENT OPERATION OF THIS DRIVE-THRU LAYOUT, IT IS RECOMMENDED THAT ALL DRIVE-THRU EQUIPMENT AND PAVEMENT IMPROVEMENTS TO BE FIELD LOCATED BY A LICENSED SURVEYOR.
2. THE PLACEMENT OF THE CODs AND ANY ADDITIONAL EQUIPMENT SHOULD BE SUCH THAT IT PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.
3. CONTRACTOR TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR, CONTENT SUPPLIER AND THE SIGN SUPPLIER.
4. SEE SITE DETAILS FOR DETECTOR LOOP INFORMATION, LOW VOLTAGE CONDUIT DIAGRAM AND DRIVE THRU POWER DIAGRAM; VENDOR'S SPECIFICATIONS SHALL GOVERN UPON ANY DISCREPANCIES.
5. CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
6. CONTRACTOR SHALL VERIFY CONDUIT SIZES REQUIRED BY VEHICLE LOOP DETECTOR SUPPLIER.
7. SIGNAGE MANUFACTURER TO PROVIDE FOOTING ANCHORS & TEMPLATES TO G.C. PRIOR TO FOUNDATION POURING.
8. ALL DRIVE THRU EQUIPMENT SUPPLIED BY MCDONALDS APPROVED SUPPLIERS.
9. SEE ADDITIONAL SHEETS FOR FOUNDATION DETAILS.
10. ALL DIMENSIONS SHOWN ARE TO THE CENTER OF THE FOUNDATION.

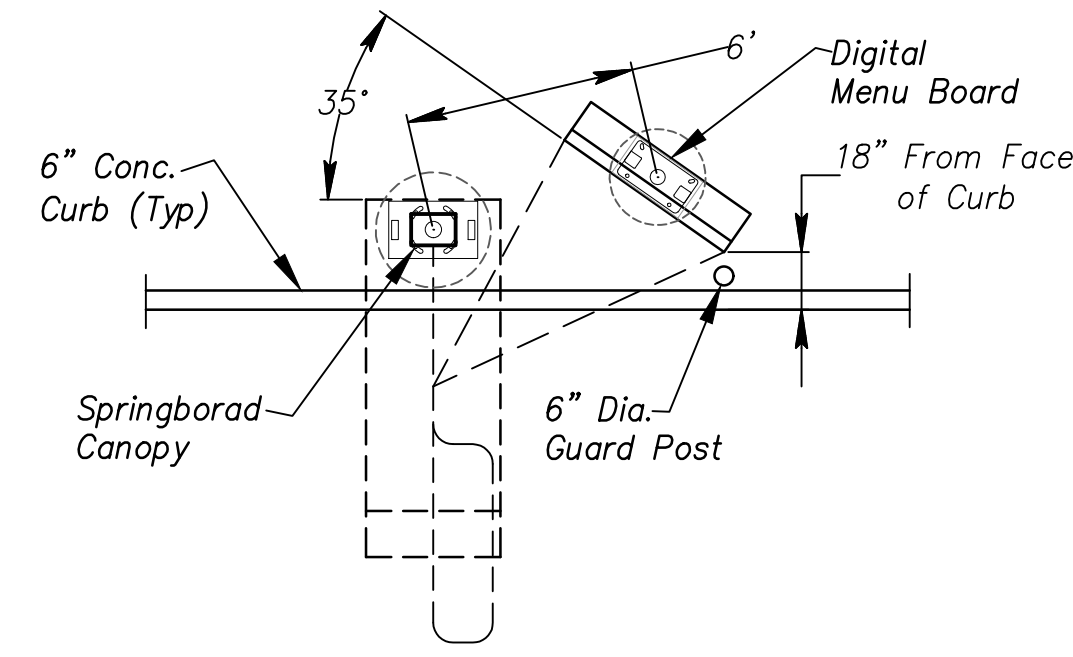
KEY NOTES

- ① PROPOSED DIGITAL MENU BOARD (PRIMARY)
- ② PROPOSED SLIM SPRINGBOARD "ORDER HERE" CANOPY & DETECTOR LOOP (PRIMARY)
- ③ PROPOSED DIGITAL PRE-BROWSE BOARD (PRIMARY)
- ④ PROPOSED DIGITAL MENU BOARD (SECONDARY)
- ⑤ PROPOSED SLIM SPRINGBOARD "ORDER HERE" CANOPY & DETECTOR LOOP (SECONDARY)
- ⑥ PROPOSED DIGITAL PRE-BROWSE BOARD (SECONDARY)
- ⑦ PROPOSED DOUBLE WELCOME POINT GATEWAY PYLON W/ "ANY LANE ANY TIME" FACE
- ⑧ PROPOSED 6" DIA. GUARD POST (SEE DETAIL SHEET SD-2)

- Ⓐ PROPOSED 6" CONC. CURB
- Ⓑ EXISTING LOT LIGHT POLE
- Ⓒ EXISTING 6" CONC. CURB



PRE-BROWSE BOARD
NO SCALE

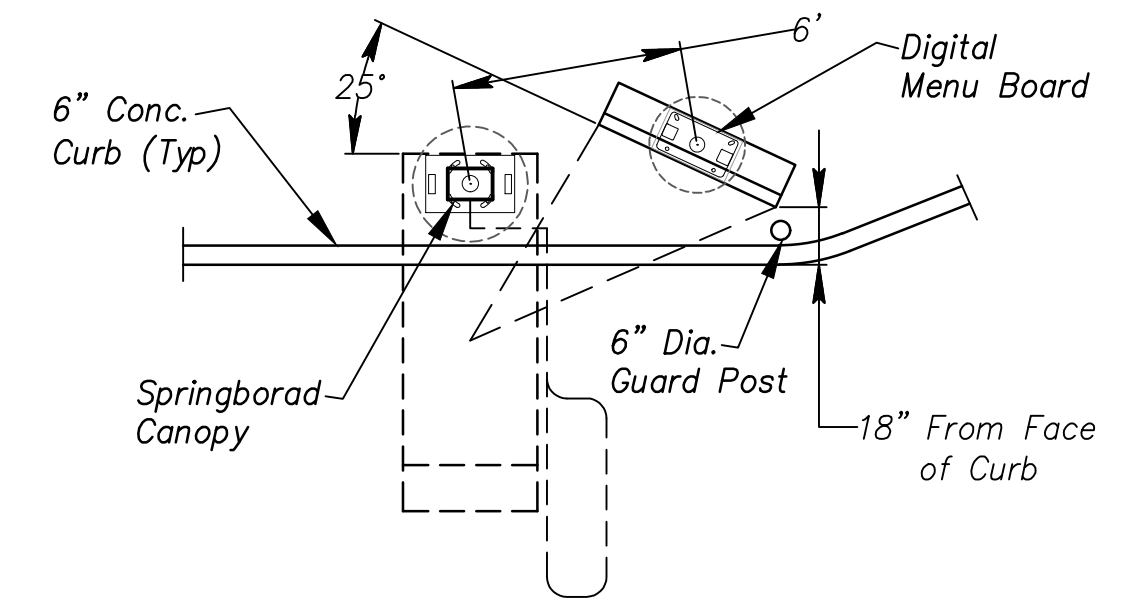


THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION IS TO BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE COD FOUNDATION.

THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° TO 35° ANGLE (35° PREFERRED) FROM A CAR POSITIONED AT THE COD AND WITH 100% VISIBILITY.

PRIMARY LANE

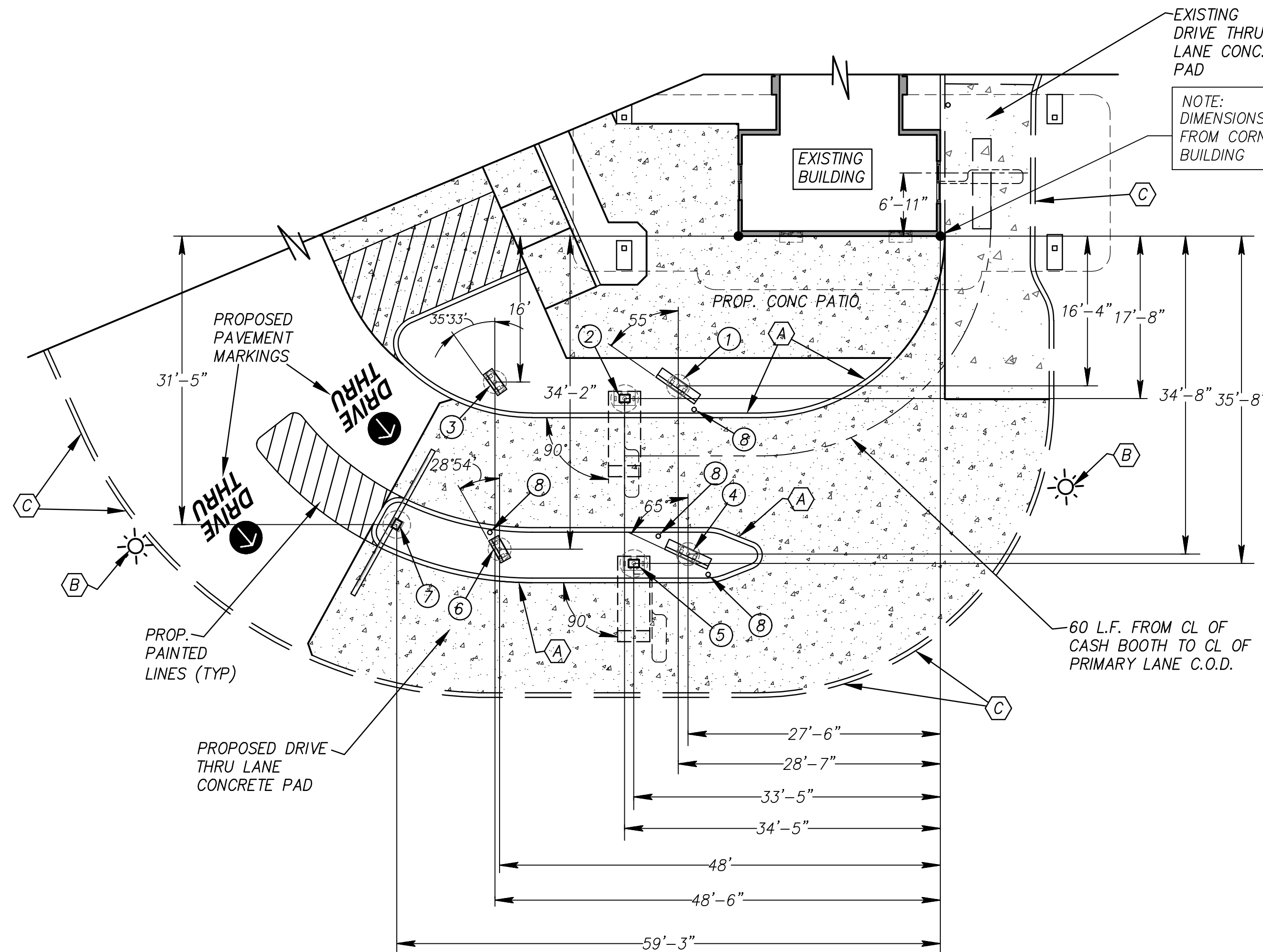
NO SCALE



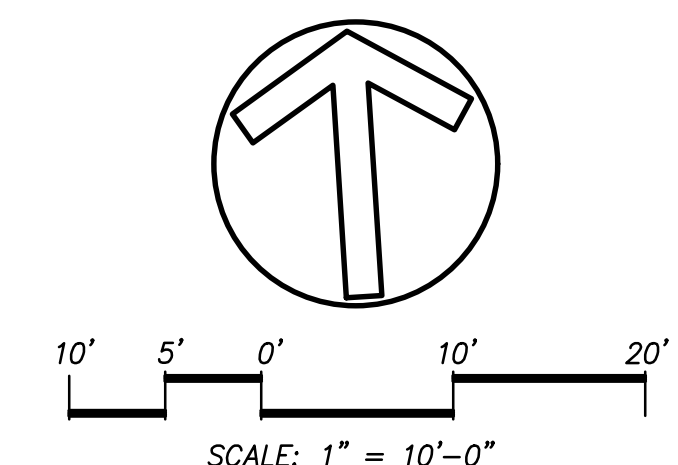
THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM CENTER OF THE COD FOUNDATION WITH THE END CAP OF THE SECONDARY MENU BOARD NOT BE LESS THAN 12" FROM FACE OF CURB (18" PREFERRED).

SECONDARY LANE

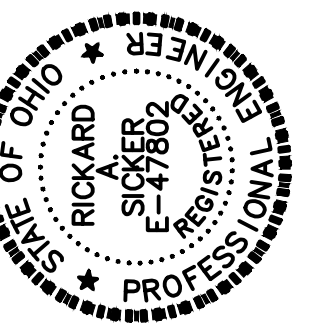
NO SCALE



REAR DRIVE THRU AREA DETAIL



REV	DATE	DESCRIPTION	BY
A	X		X
X			



SiteSource Consultants, Inc.
4254 Tuller Road • Dublin, Ohio 43017
Phone: 614-718-9633 • Fax: 614-761-0717
Email: sitesource@ameritech.net
Rickard, R. L. 47802 4/26/18
REGISTERED ENGINEER

L/C # 34-1381

McDonald's
4300 DRIVE
OAK BROOK, ILLINOIS 60521
THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
OHIO REGION 2 EAST OVAL SUITE 200, COLUMBUS, OH 43219 614/418-1300
ADDRESS: 359 AGLER ROAD, GAHANNA, OHIO

JOB NO. SS018-507

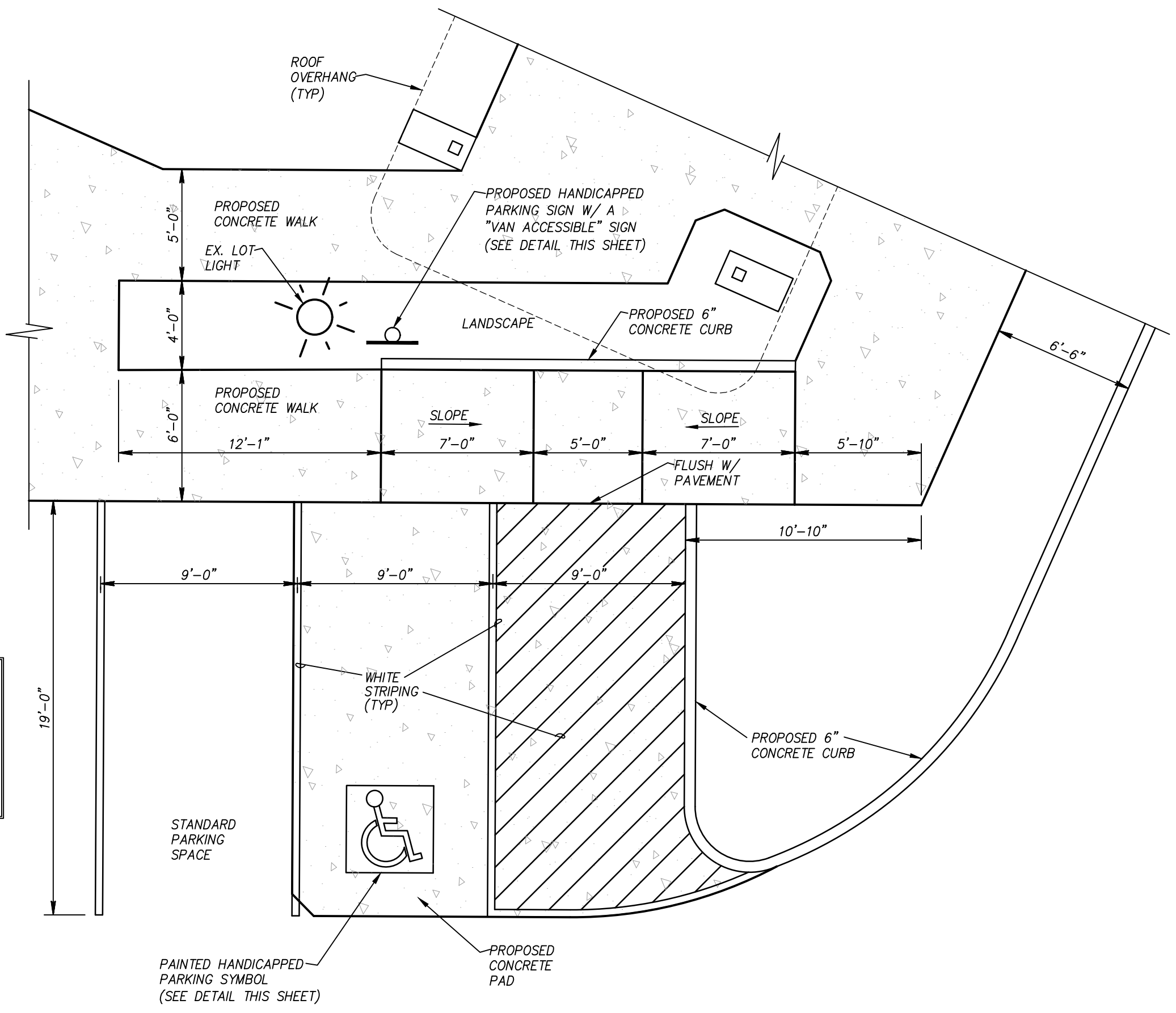
DATE: APRIL 2018

DRIVE THRU AREA DETAIL

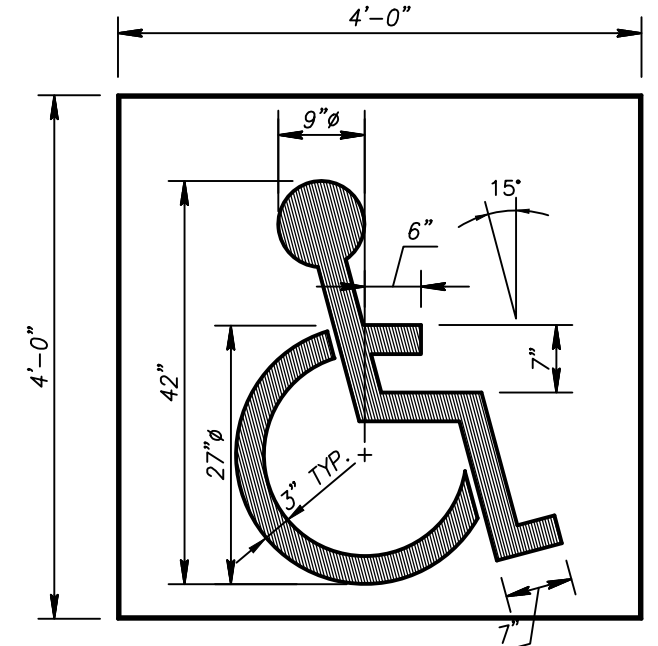
SHEET: C4

SEE SHEET C2 FOR PROPOSED GRADE ELEVATIONS

- NOTE:
1. ALL H/C PARKING AREAS MUST HAVE A 1:50 (2%) SLOPE MAX. IN ALL DIRECTIONS.
 2. ACCESS ROUTES MUST HAVE A 1:20 (5%) RUNNING SLOPE MAX. & A 1:50 (2%) CROSS SLOPE MAX.

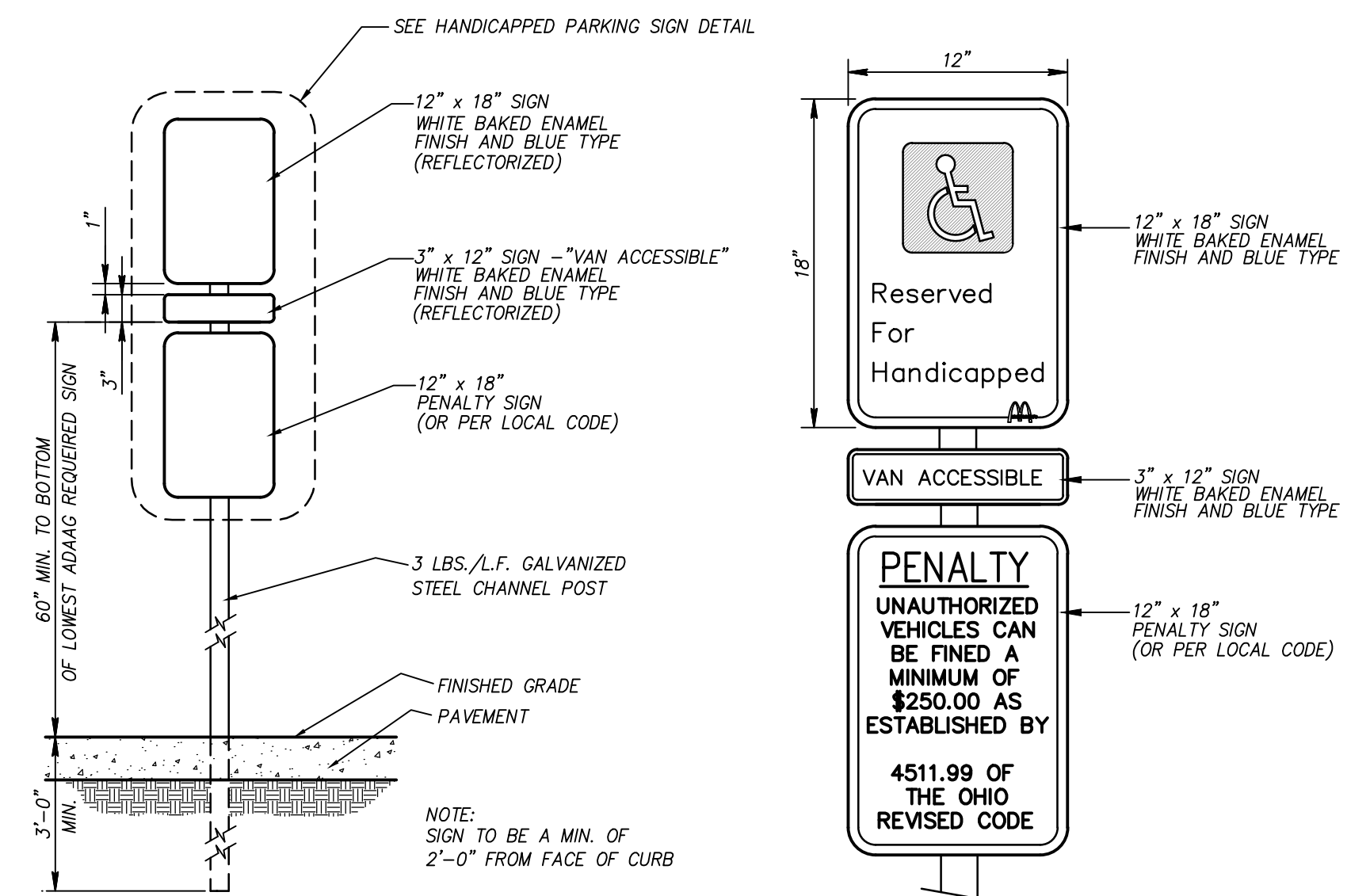


HANDICAPPED STALL MARKING
SCALE: NOT TO SCALE

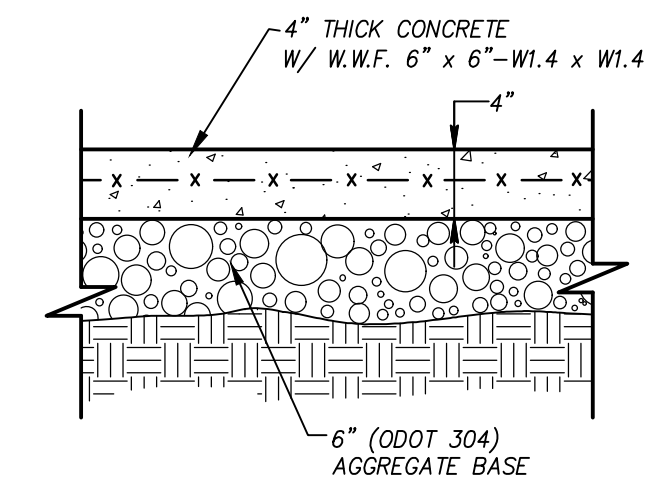


PAINTED HANDICAPPED PARKING SYMBOL
SCALE: NOT TO SCALE

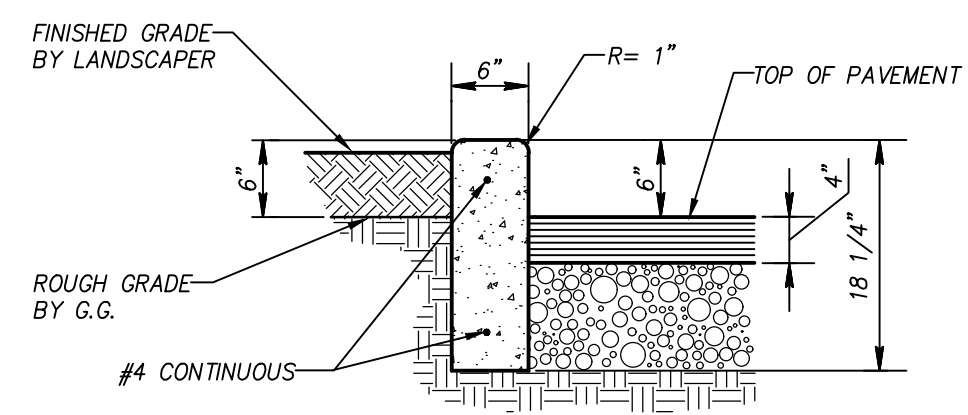
- NOTE:
1. USE PAINT WHICH CONTRASTS WITH BACKGROUND
 2. THIS SIGN TO BE FURNISHED AND INSTALLED BY G.C.



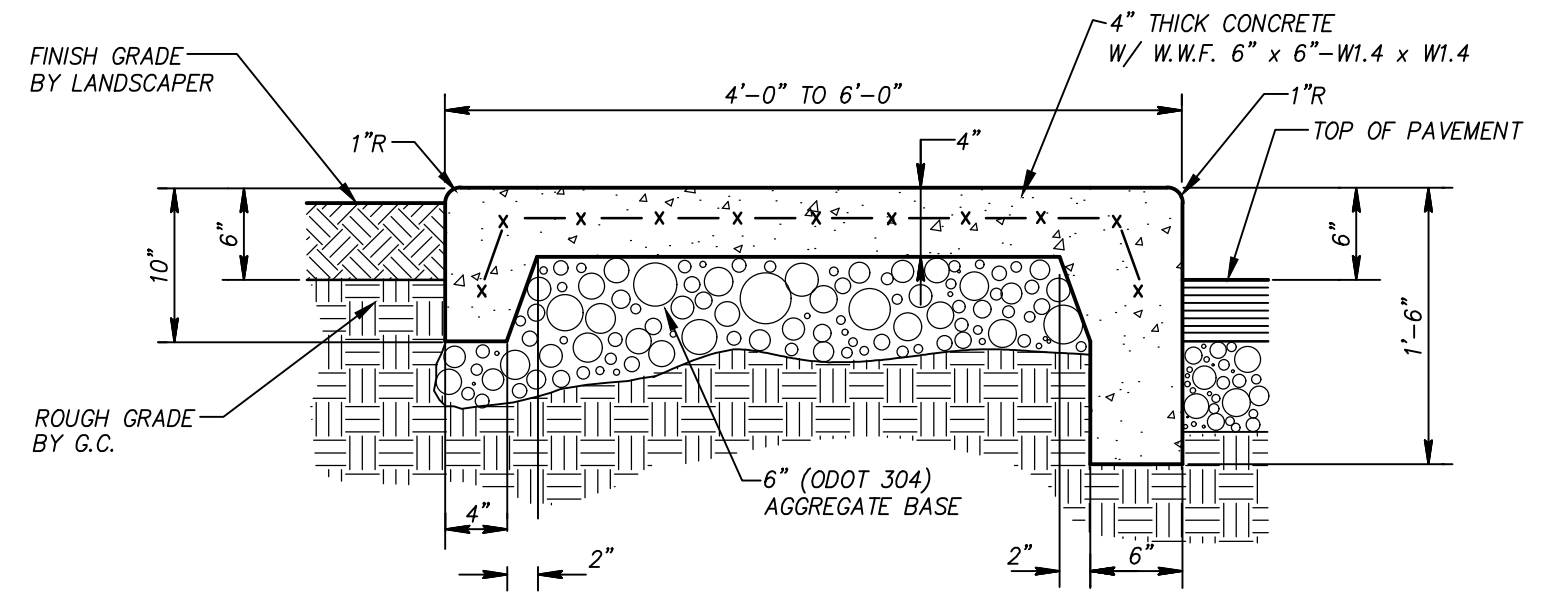
HANDICAPPED PARKING SIGN SCALE: NOT TO SCALE
HANDICAPPED PARKING SIGN DETAIL SCALE: NOT TO SCALE



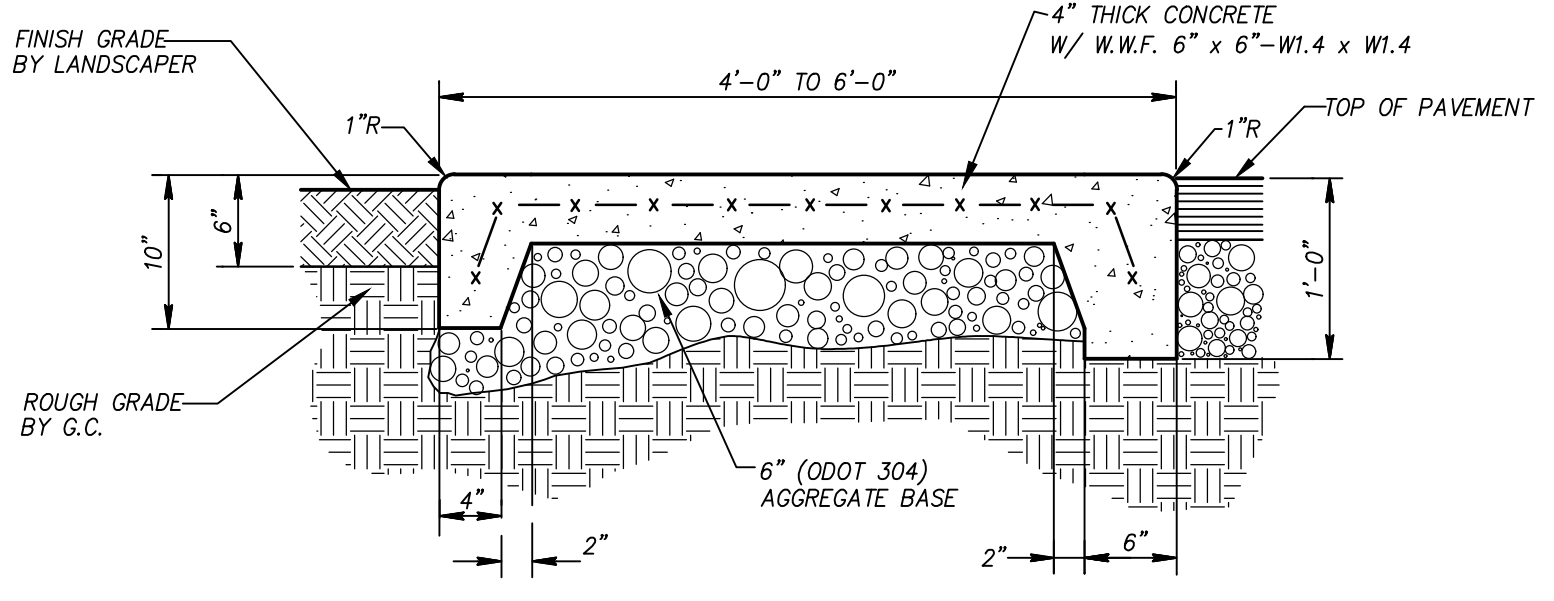
CONCRETE PATIO SECTION
SCALE: 1" = 1'-0"



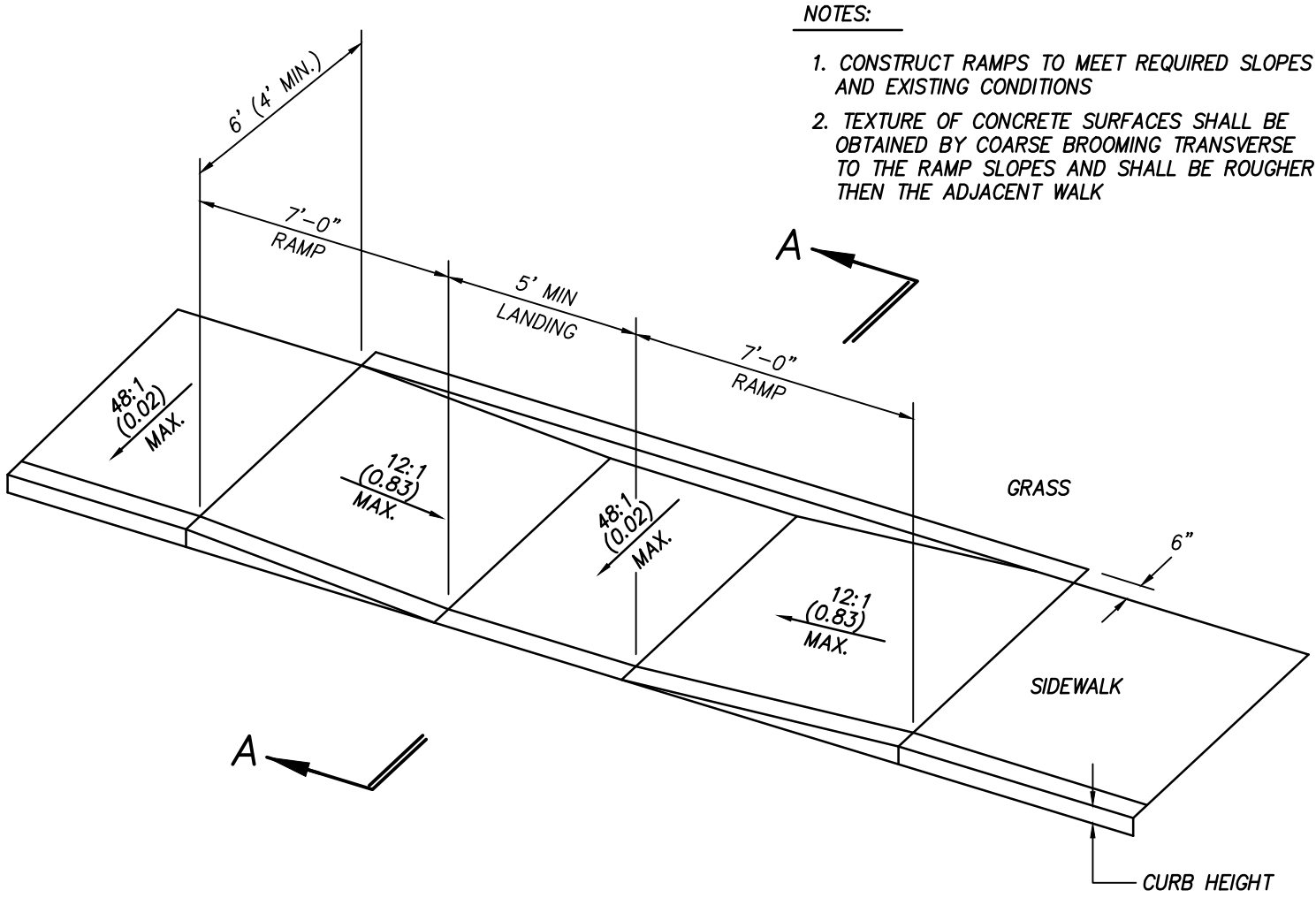
6" X 18" CONCRETE CURB
SCALE: NOT TO SCALE



4" TO 6" SIDEWALK
SCALE: NOT TO SCALE

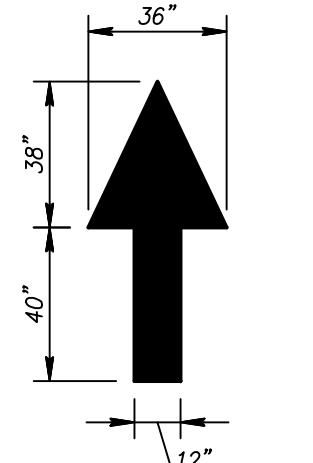


4" TO 6" FLUSH SIDEWALK
SCALE: NOT TO SCALE

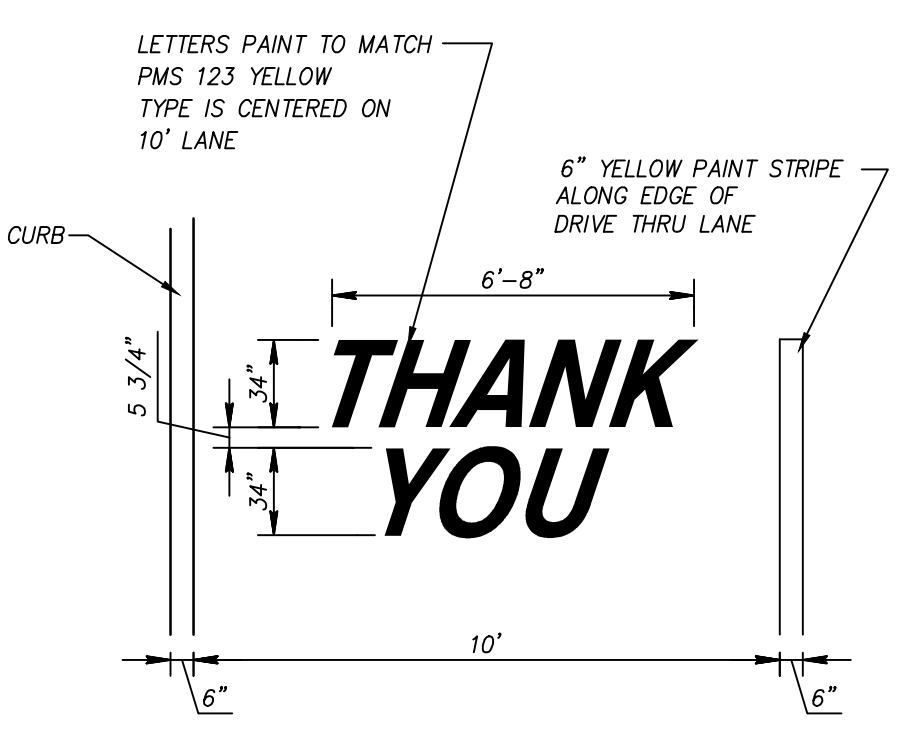


PARALLEL CURB RAMP DETAIL (DOUBLE)
SCALE: 1/4" = 1'-0"

- NOTES:
1. CONSTRUCT RAMP TO MEET REQUIRED SLOPES AND EXISTING CONDITIONS
 2. TEXTURE OF CONCRETE SURFACES SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE RAMP SLOPES AND SHALL BE ROUGHER THEN THE ADJACENT WALK



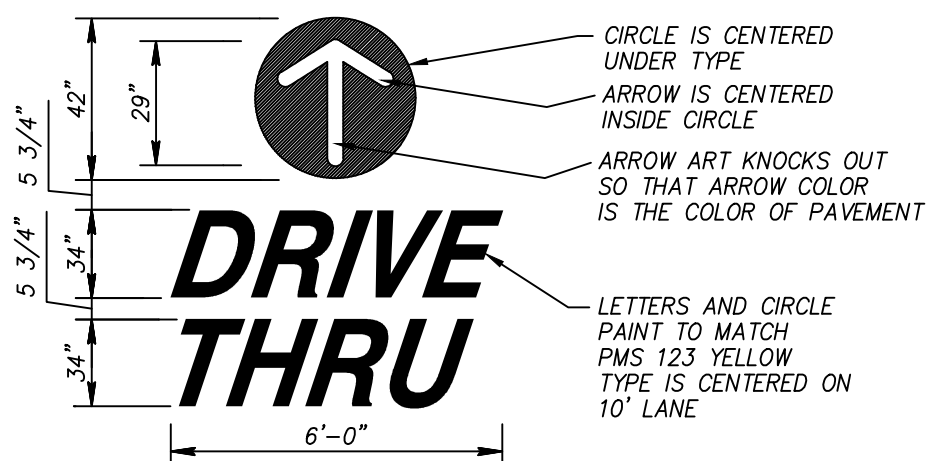
DIRECTIONAL ARROW
SCALE: NOT TO SCALE



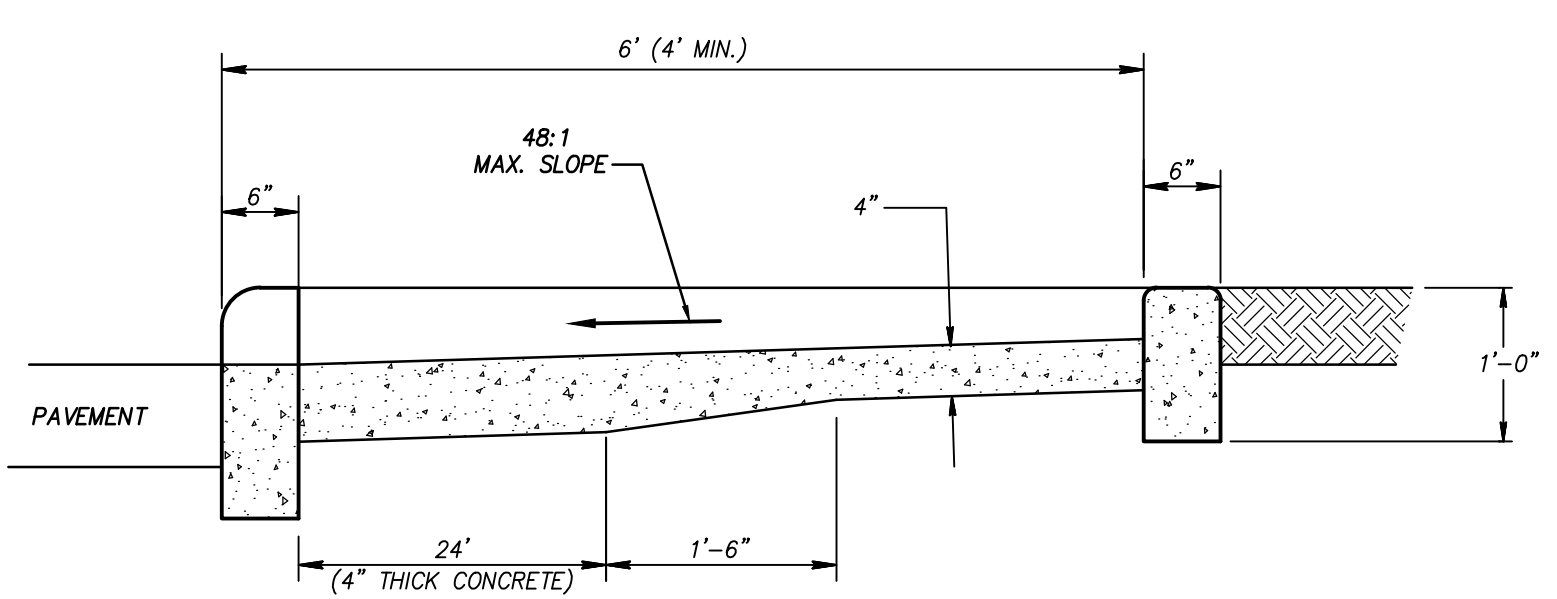
END OF PATH THANK YOU
SCALE: NOT TO SCALE

PAVEMENT MARKING STENCIL KIT FROM: PAVEMENT STENCIL CO. P.O. BOX 915755 LONGWOOD, FL 32791 800-250-5547 407-339-9342 (FAX)

PAVEMENT MARKINGS
SCALE: NOT TO SCALE



DRIVE THRU WITH ARROW
SCALE: NOT TO SCALE



SECTION "A" - "A"
SCALE: 1" = 1'-0"

REV	DATE	DESCRIPTION
X	X	X
X	X	X
X	X	X

ISSUED FOR BIDS AND PERMITS

2/6/2018

REGISTERED ENGINEER

47802 4/26/18

DATE

SiteSource Consultants, Inc.
4254 T. Miller Road • Dublin, Ohio 43017
Phone: 614.881.3333 Fax: 614.881.4077
Email: sitesources@ameritech.net

McDonald's
1600C DRIVE
OAK BROOK, ILLINOIS 60021

THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

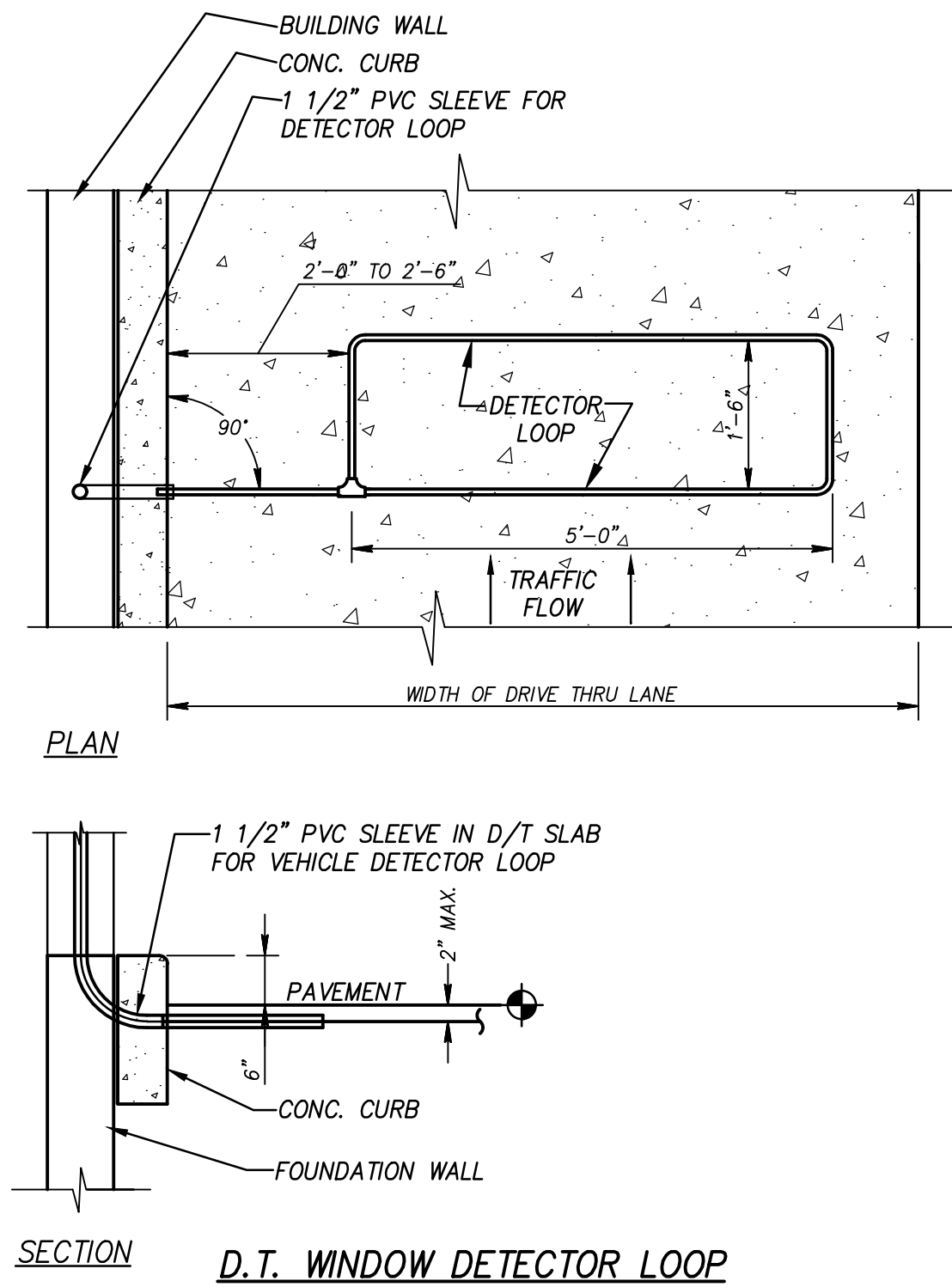
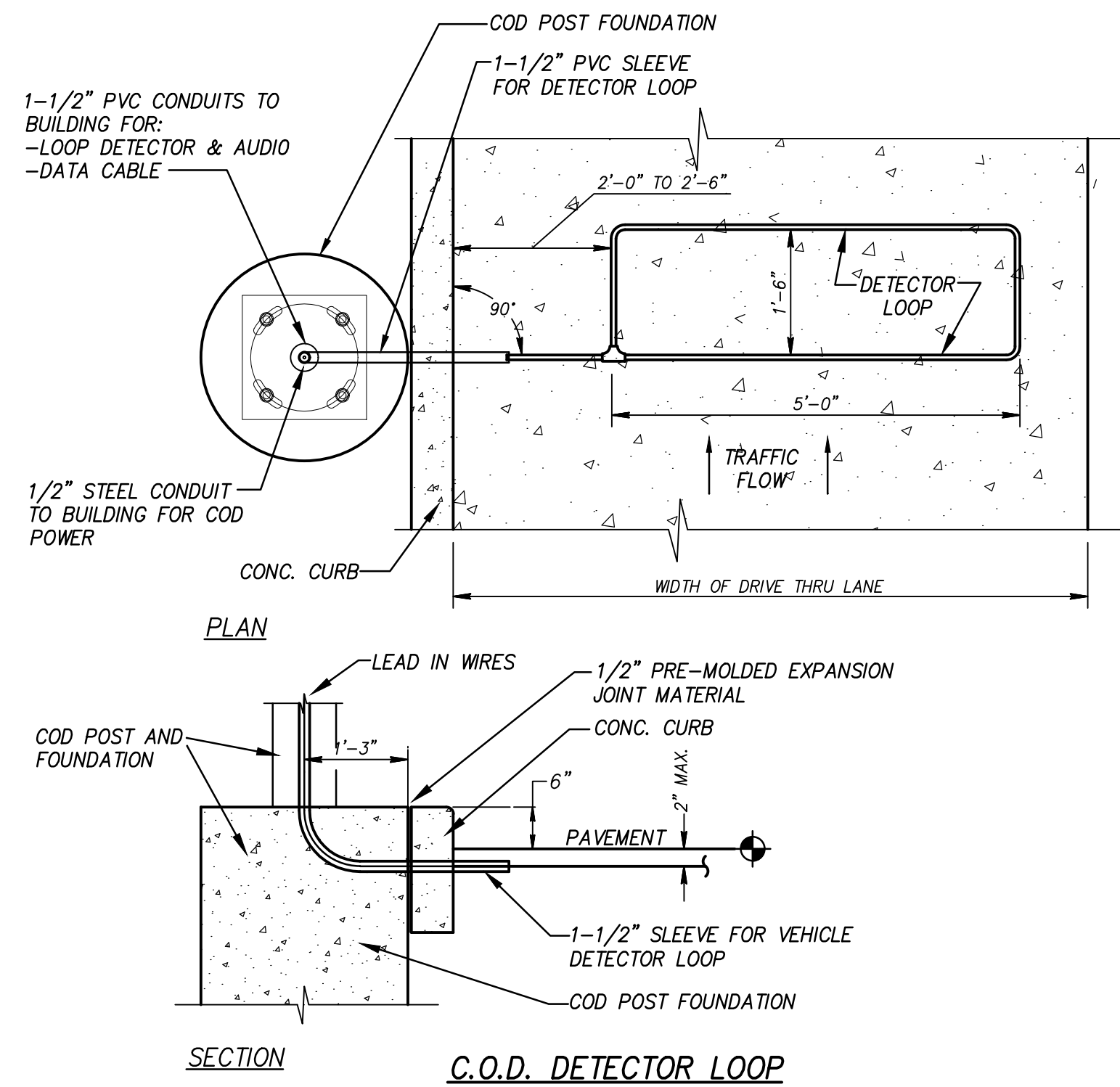
OHIO REGION 2 EASTN OVAL, SUITE 200, COLUMBUS, OH 43219 (614)418-3300

JOB NO. SS018-507

DATE: APRIL 2018

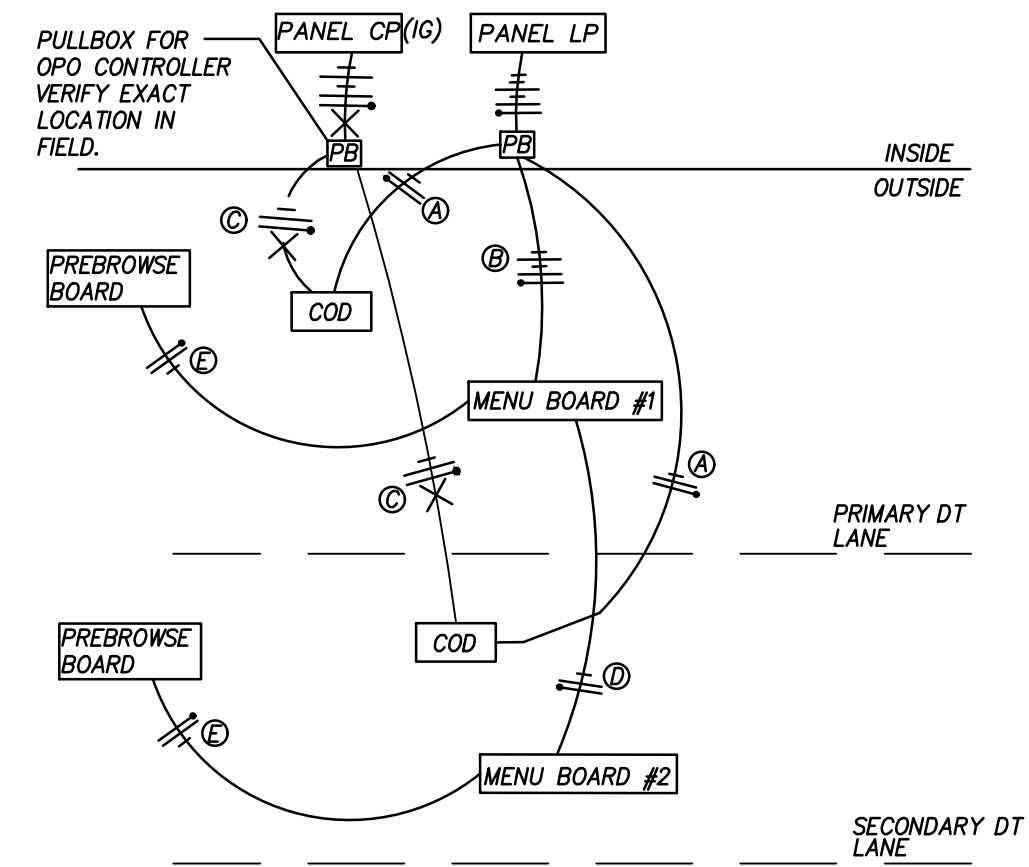
SITE DETAILS

SD-1



DETECTOR LOOPS DETAILS
SCALE: NOT TO SCALE

- NOTES**
1. VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
 2. CENTER VEHICLE DETECTOR LOOP IN DRIVE THRU LANE & INSTALL PER MANUFACTURER RECOMMENDATIONS.
 3. SEE CIVIL DRAWINGS FOR DIMENSIONS OF DRIVE THRU LANE CONCRETE PAD FOR DETECTOR LOOP
 4. NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
 5. DETECTOR LOOP MANUFACTURERS: DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWING COMPANIES OR EQUAL
3M: 1-800-328-0033
HME: 1-800-848-4468
 6. DETECTOR LOOP MATERIAL:
PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
 7. DETECTOR LOOP CONSTRUCTION:
FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PIGTAILED AS DETAILED.



- A 2#12 & 1#12 GND. TO LP-1 FOR COD CANOPY LIGHTING.
- B 4#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- C 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO COD'S. EACH COD SHALL BE ON ITS OWN SEPARATE CIRCUIT.
- D 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- E 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO FOR PRESELL BOARDS AND MEDIA PLAYER.

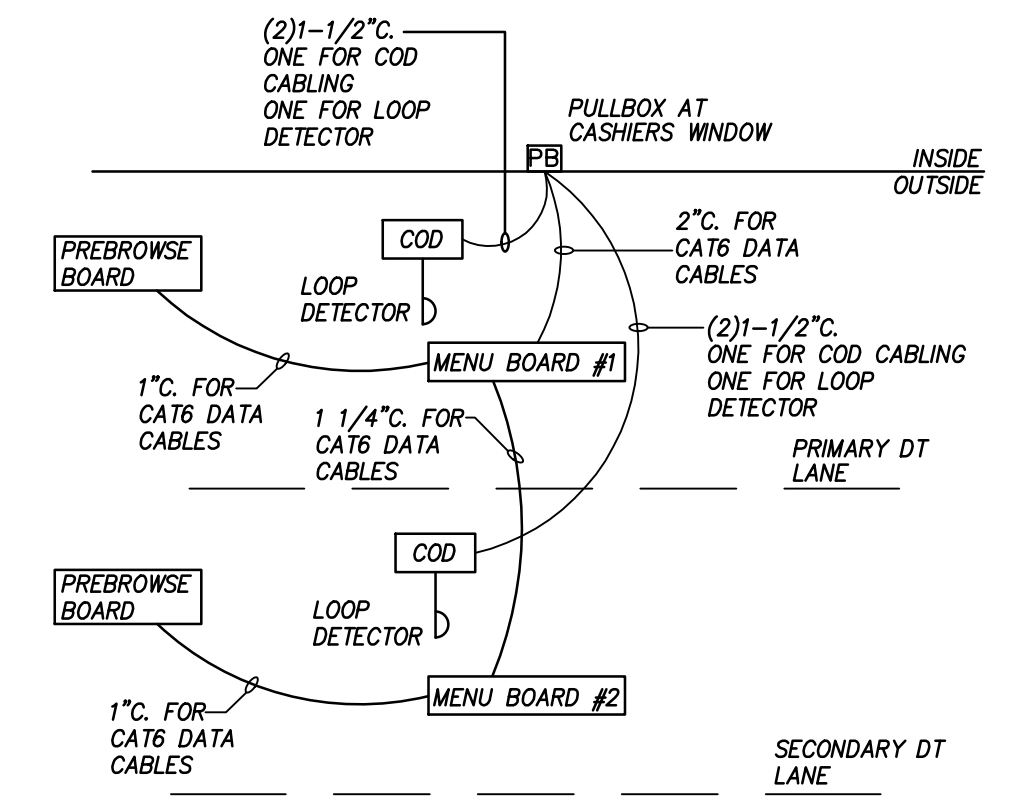
NOTE:
* VERIFY EXACT CIRCUITS & QUANTITIES OF CIRCUITS WITH PANEL SCHEDULES AND MANUFACTURERS INSTALLATION INSTRUCTIONS.

FOR EXISTING LOCATIONS:
* VERIFY EXISTING CP PANEL HAS AMPACITY AND SUFFICIENT SPARES/SPACE FOR TWO (2) NEW 20A/1P CIRCUITS. UPGRADE CP PANEL TO 42 CIRCUITS IF NECESSARY.

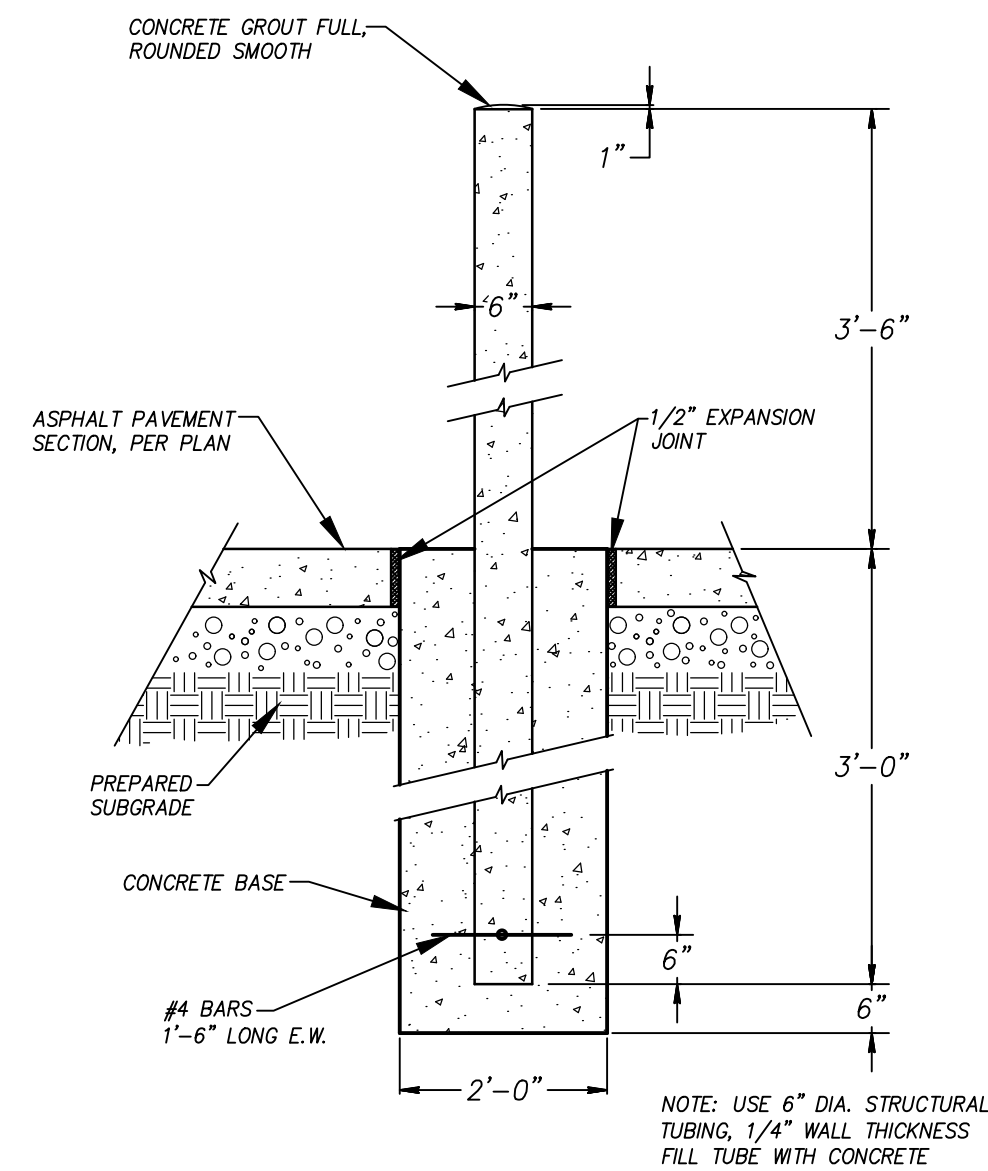
* VERIFY EXISTING PULLBOXES ARE SIZED FOR NEW CONDUIT ROUTING. MODIFY PULLBOXES IF NECESSARY.

NOTE:
ELECTRIC CIRCUITS SHOWN ARE EXISTING AND THEY ARE TO BE REUSED FOR THE NEW SIGNS.
ALL NEW SIGNS ARE EQUIPPED WITH AN INTEGRAL DISCONNECT.

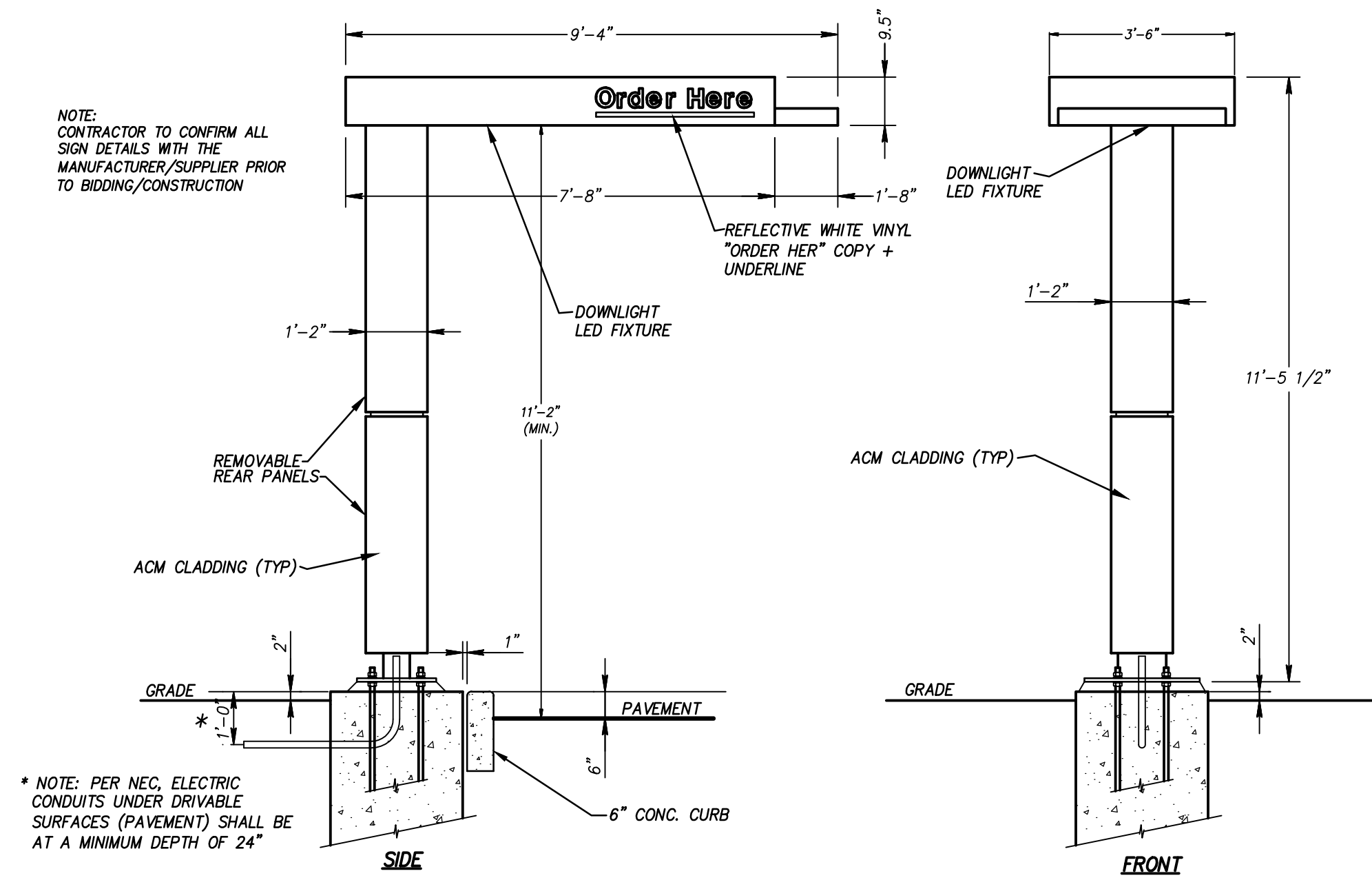
DRIVE THRU POWER DIAGRAM
SCALE: NOT TO SCALE



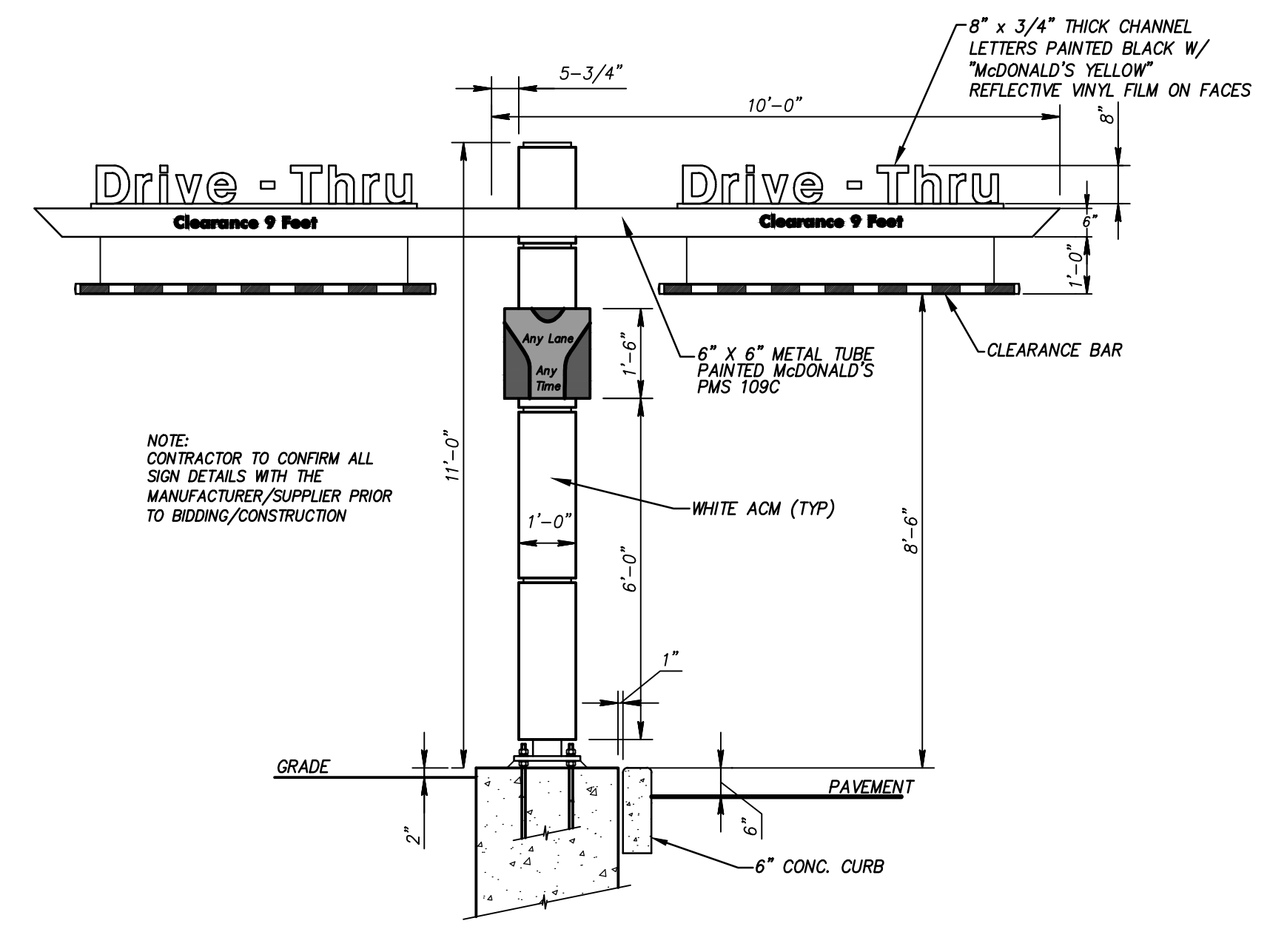
DRIVE THRU LOW VOLTAGE CONDUIT DIAGRAM
SCALE: NOT TO SCALE



TYPICAL GUARD POST SECTION DETAIL
SCALE: NOT TO SCALE



SLIM SPRINGBOARD CANOPY
SCALE: NOT TO SCALE



DOUBLE WELCOME POINT GATEWAY PYLON
SCALE: NOT TO SCALE

REV	DATE	DESCRIPTION
X	X	X
X	X	X
X	X	X

ISSUED FOR BIDS AND PERMITS
26APR18

PROFESSIONAL ENGINEER
RICKARD SICKER
E-47800
STATE OF OHIO

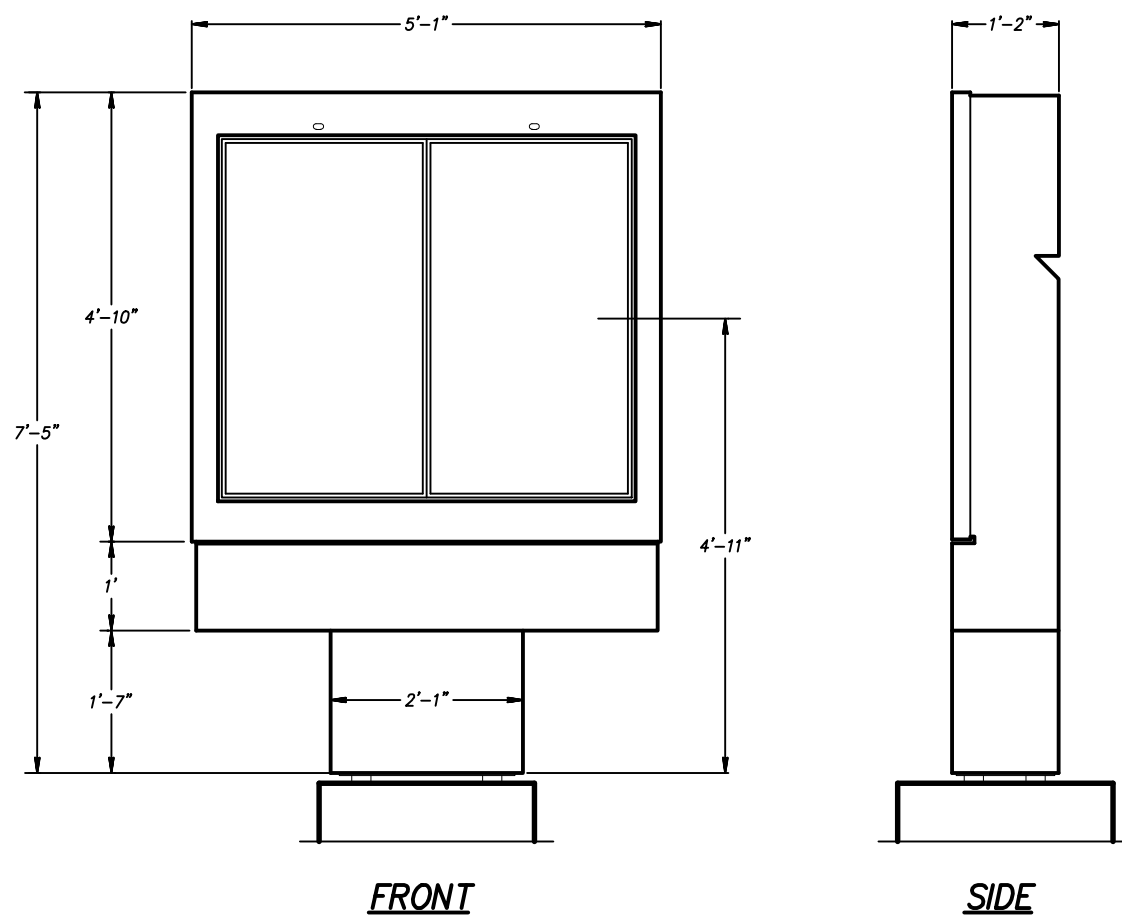
SiteSource Consultants, Inc.
4254 T. Miller Road • Dublin, Ohio 43017
Phone: 614-885-3333
Email: sitesources@ameritech.net

Richard Sicker 47800 4/26/18
REGISTERED ENGINEER NO.

McDonald's
AROC DRIVE
OAK BROOK, ILLINOIS 60621

THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OHIO REGION 2 EASTN OVAL, SUITE 200, COLUMBUS, OH 43219 (614)418-3300



ELECTRICAL: FIRST CIRCUIT: 120/1/60, 15 AMP
SECOND CIRCUIT: 120/1/60, 10 AMP

MEDIA PLAYER: STRATACACHE

NOTE:
CONTRACTOR TO CONFIRM ALL
SIGN DETAILS WITH THE
MANUFACTURER/SUPPLIER PRIOR
TO BIDDING/CONSTRUCTION

GENERAL NOTES

- THE FOLLOWING CODES WERE USED IN DESIGN:
-IBC 2017
-ASCE 7-10
-ACI 318-14
-AISC 15th EDITION
-AWS D1.4/D1.4M
- WIND SPEED 115 MPH (MPH 3-SEC GUST)
- EXPOSURE C
- DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
-AXIAL - 440#
-SHEAR - 700#
-MOMENT - 3,166#
- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 245 PSF/FT
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:

- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
- ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- MINIMUM CONCRETE STRENGTH ($f'_c=3,000$ PS) SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
- AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
- FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
- PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
- REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5. PERFORMED BY GENERAL CONTRACTOR.
- ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

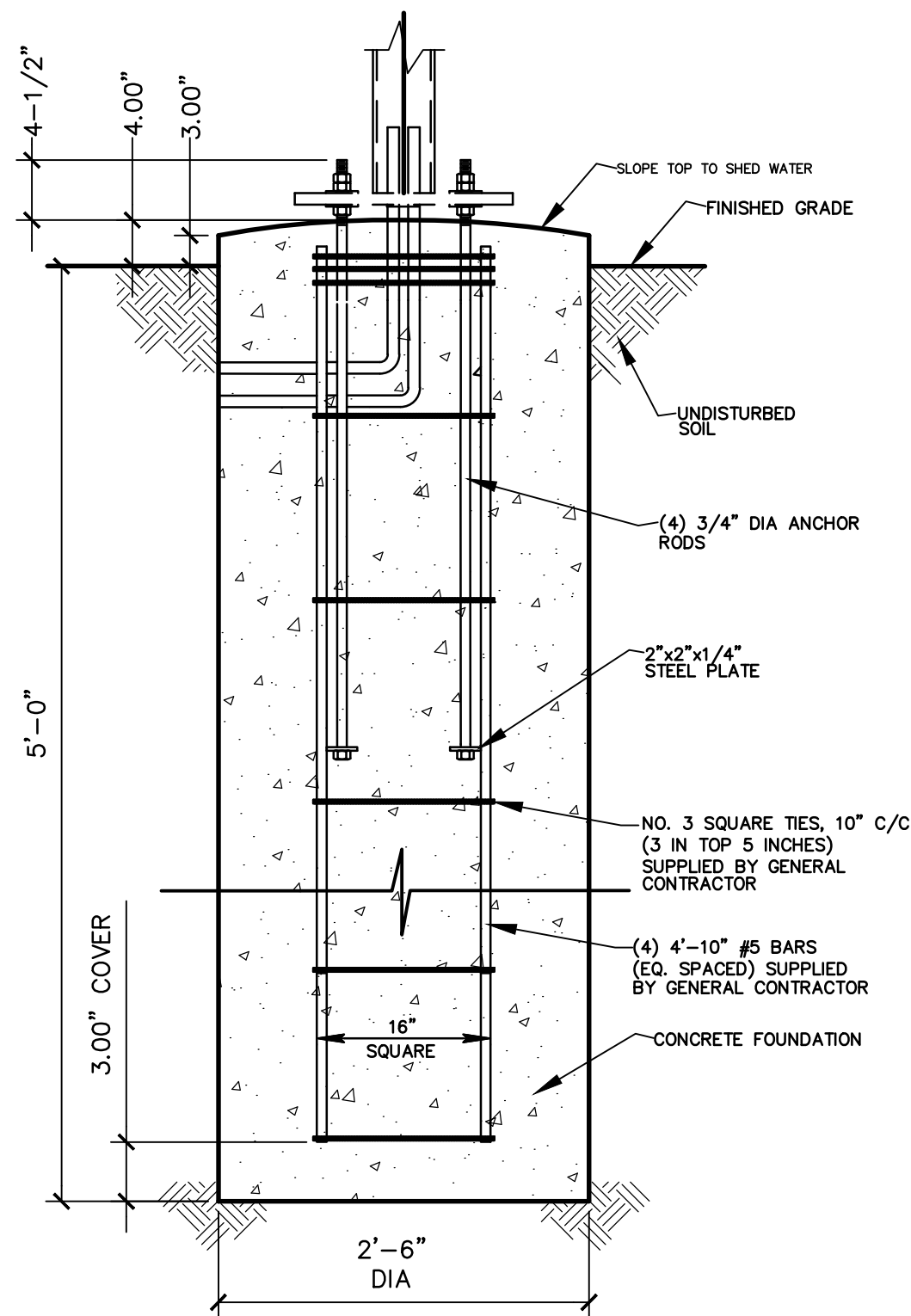
STEEL:

- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B ($F_y=35ksi$) -HSS ROUND SECTION: ASTM A500 GRADE B ($F_y=42ksi$)
- HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B ($F_y=46ksi$)
- HEADED ANCHOR RODS ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
- STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
- REINFORCEMENT: ASTM A615 GRADE 60 - BY GENERAL CONTRACTOR
- NUTS: ASTM A563A, HEAVY HEX
- WASHERS: ASTM F844 A36
- USE ASTM A153 CLASS C HOT DIPPED GALVANIZED BOLTS AND FASTENERS
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
- DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
- AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
- ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER.
- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY. -DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS

(A) FOUNDATION

NOTES:

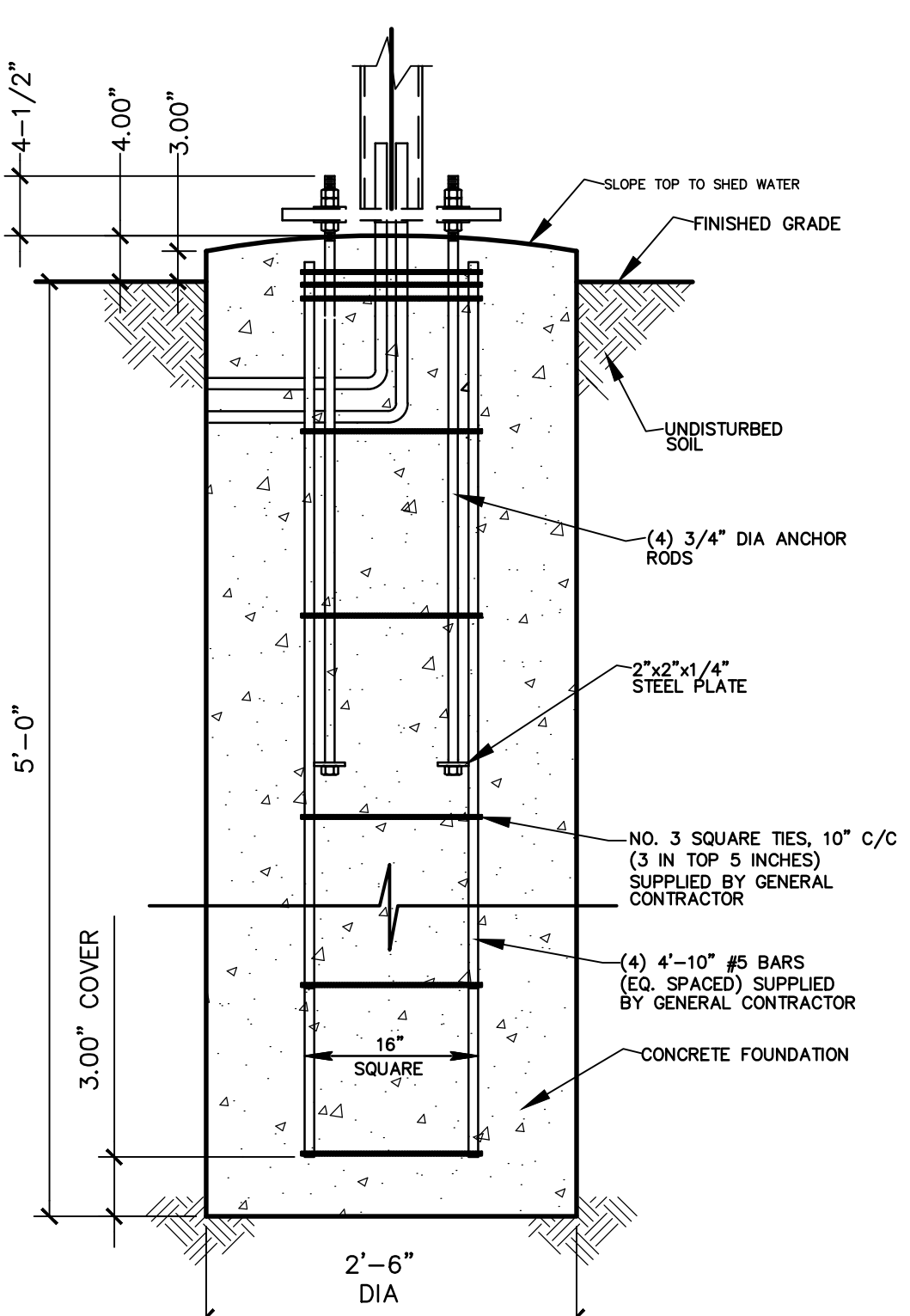
- PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 245 PSF/FT OF DEPTH
- ALL REINFORCING STEEL BY GENERAL CONTRACTOR



(A) FOUNDATION

NOTES:

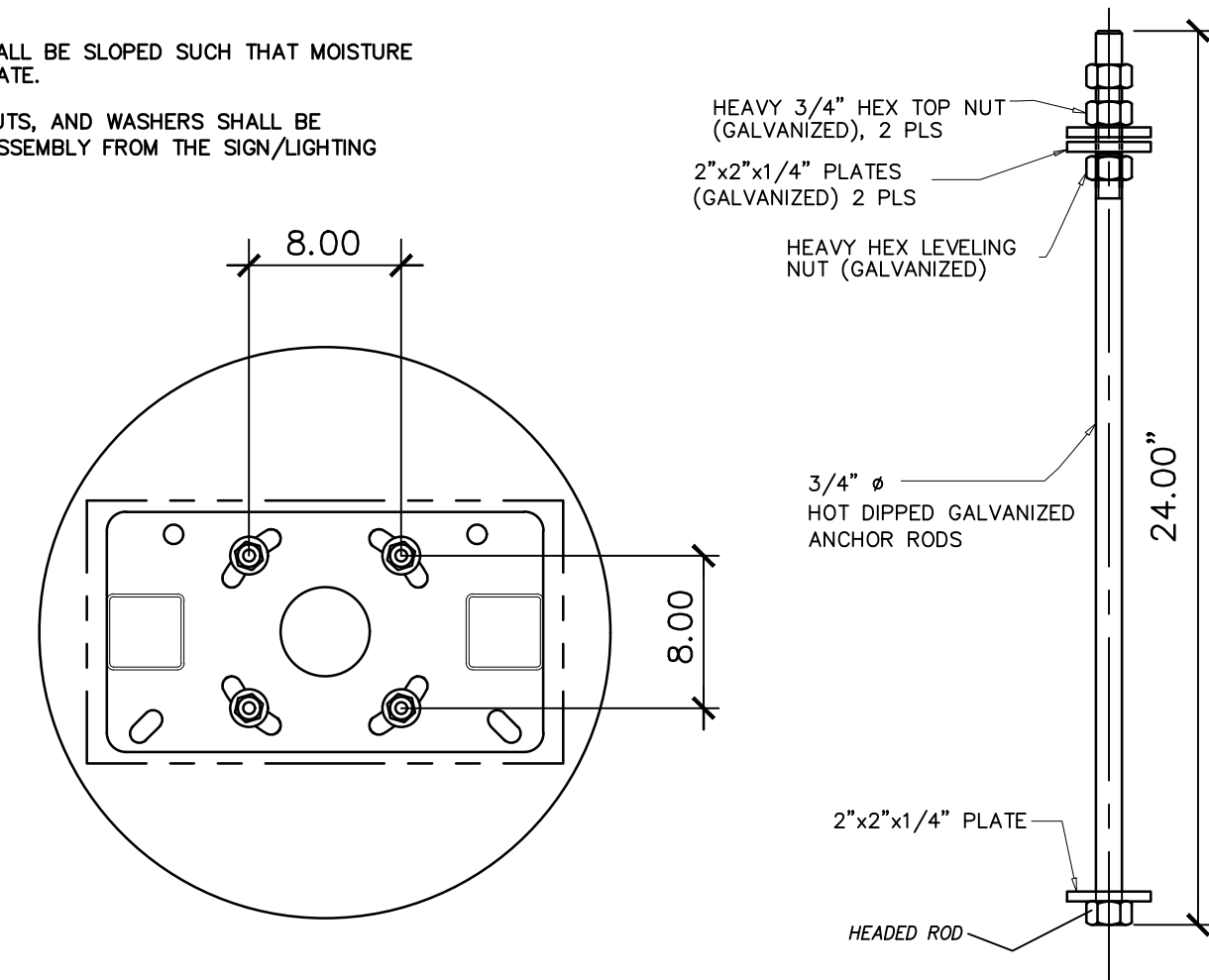
- PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 245 PSF/FT OF DEPTH
- ALL REINFORCING STEEL BY GENERAL CONTRACTOR



(A) FOUNDATION

NOTES:

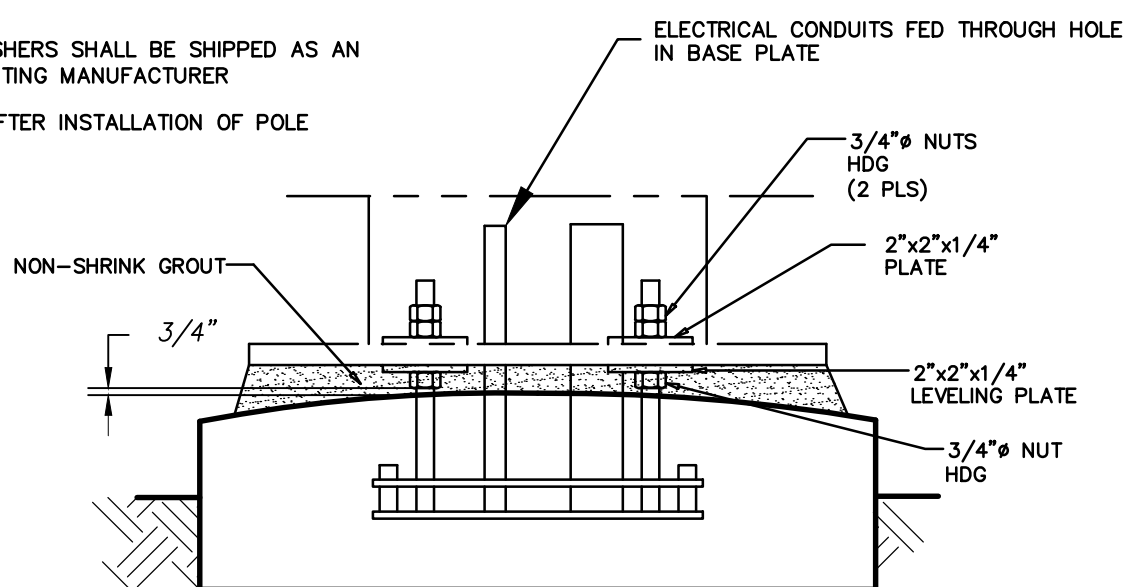
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER



(B) ANCHOR BOLT PATTERN

NOTES:

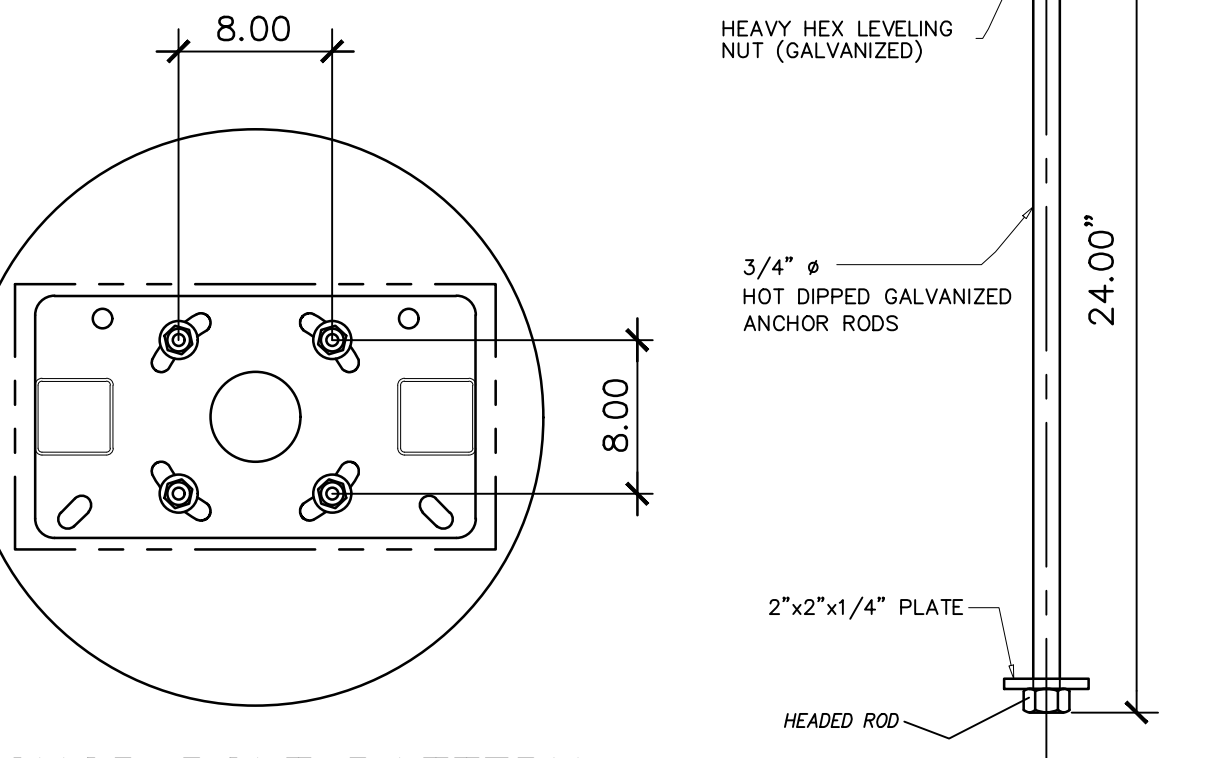
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



(C) CONNECTION DETAILS

NOTES:

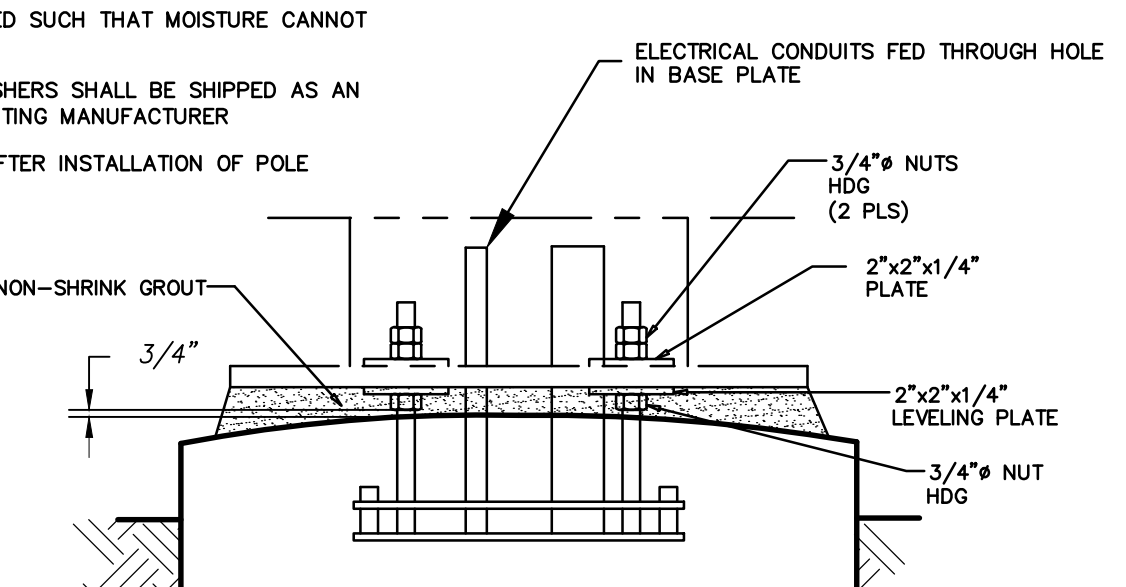
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER



(B) ANCHOR BOLT PATTERN

NOTES:

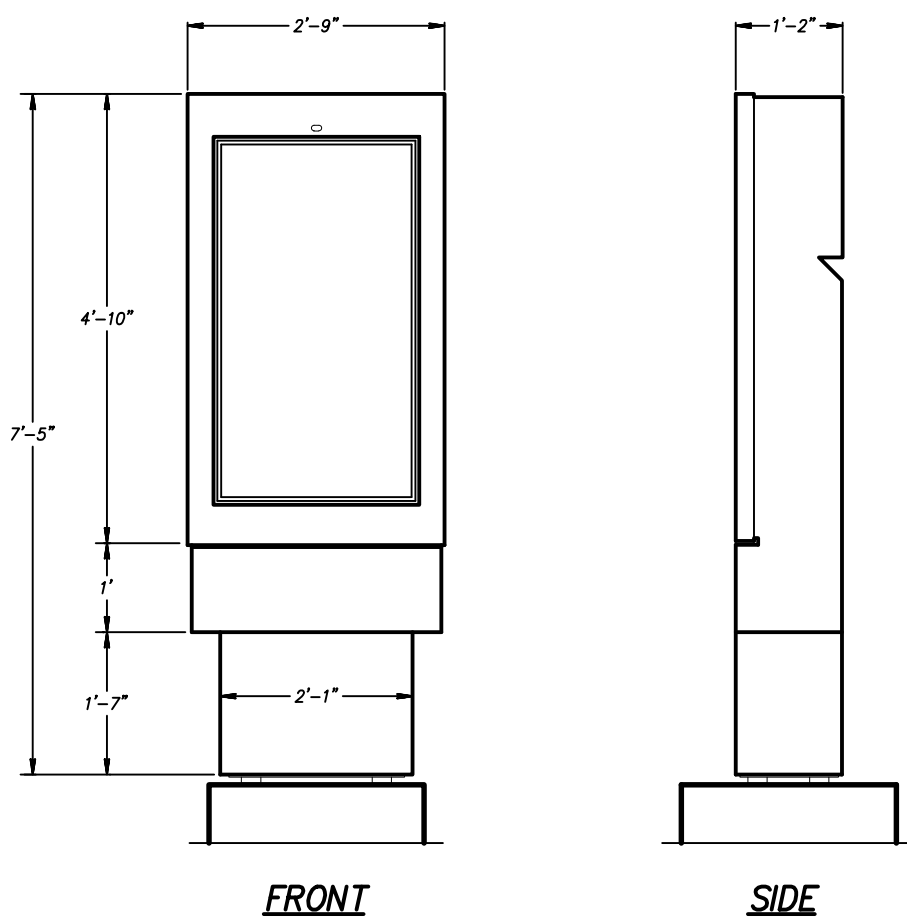
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



(C) CONNECTION DETAILS

DIGITAL MENU BOARD 115 MPH - 245 PSF/FT SOIL

SCALE: NONE



ELECTRICAL: FIRST CIRCUIT: 120/1/60, 15 AMP
SECOND CIRCUIT: 120/1/60, 10 AMP

MEDIA PLAYER: STRATACACHE

NOTE:
CONTRACTOR TO CONFIRM ALL
SIGN DETAILS WITH THE
MANUFACTURER/SUPPLIER PRIOR
TO BIDDING/CONSTRUCTION

GENERAL NOTES

- THE FOLLOWING CODES WERE USED IN DESIGN:
-IBC 2017
-ASCE 7-10
-ACI 318-14
-AISC 15th EDITION
-AWS D1.4/D1.4M
- WIND SPEED 115 MPH (MPH 3-SEC GUST)
- EXPOSURE C
- DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
-AXIAL - 304#
-SHEAR - 409#
-MOMENT - 1,760#
- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 245 PSF/FT
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:

- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
- ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- MINIMUM CONCRETE STRENGTH ($f'_c=3,000$ PS) SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
- AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
- FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
- PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
- REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5. PERFORMED BY GENERAL CONTRACTOR.
- ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

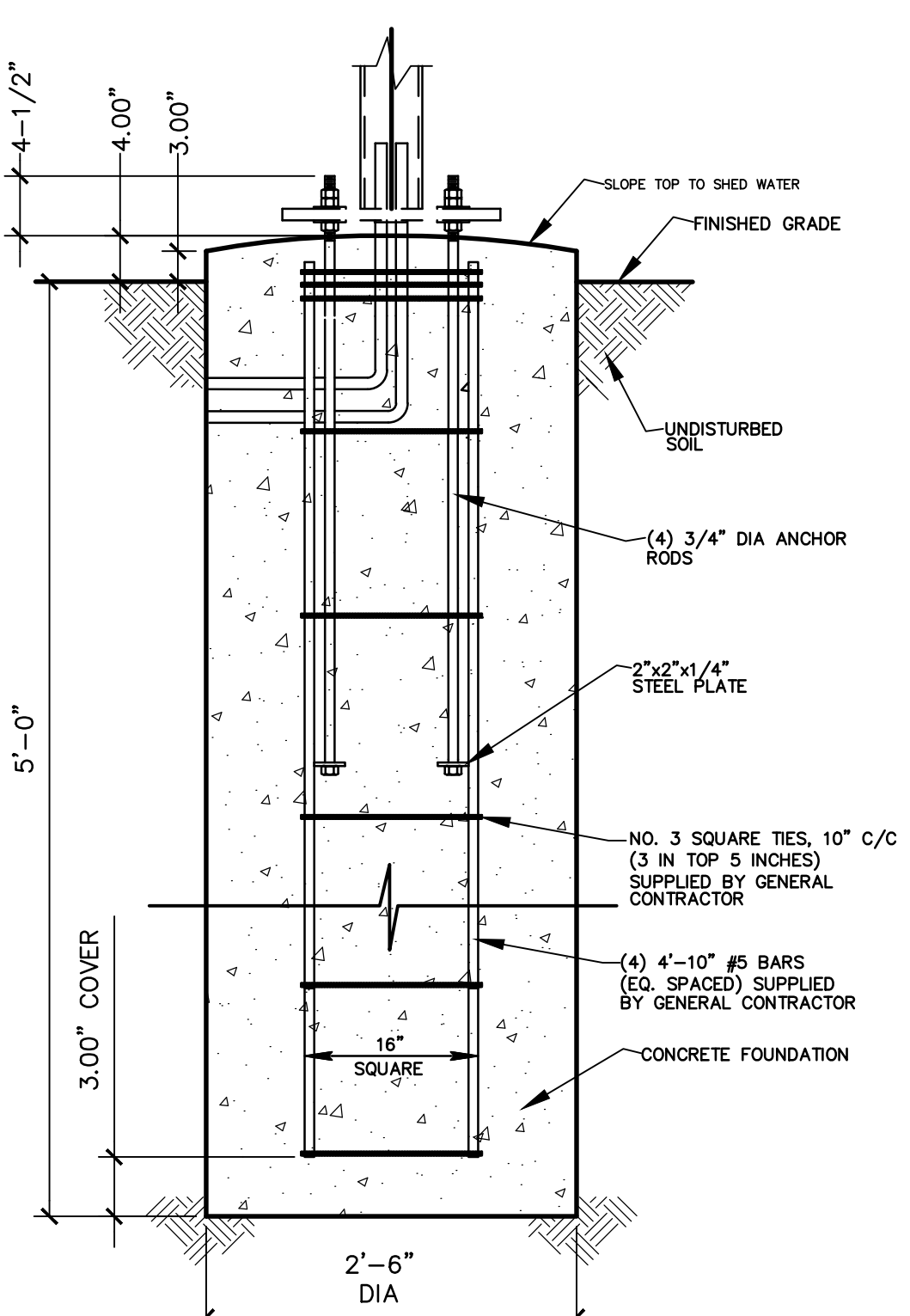
STEEL:

- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B ($F_y=35ksi$) -HSS ROUND SECTION: ASTM A500 GRADE B ($F_y=42ksi$)
- HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B ($F_y=46ksi$)
- HEADED ANCHOR RODS ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
- STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
- REINFORCEMENT: ASTM A615 GRADE 60 - BY GENERAL CONTRACTOR
- NUTS: ASTM A563A, HEAVY HEX
- WASHERS: ASTM F844 A36
- USE ASTM A153 CLASS C HOT DIPPED GALVANIZED BOLTS AND FASTENERS
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
- DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
- AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
- ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER.
- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY. -DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS

(A) FOUNDATION

NOTES:

- PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 245 PSF/FT OF DEPTH
- ALL REINFORCING STEEL BY GENERAL CONTRACTOR

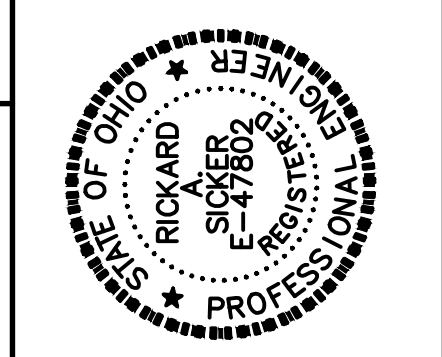


(A) FOUNDATION

DIGITAL PRE-BROWSE BOARD 115 MPH - 245 PSF/FT SOIL

SCALE: NONE

REV	DATE	DESCRIPTION
A	02/14/18	REVISED PER STRUCTURAL ENGINEER REVIEW



SiteSource Consultants, Inc.
4254 Tuller Road • Dublin, Ohio 43017
Phone: 614-719-8635 • Fax: 614-761-0717
Email: rjschick@sitesourceinc.com

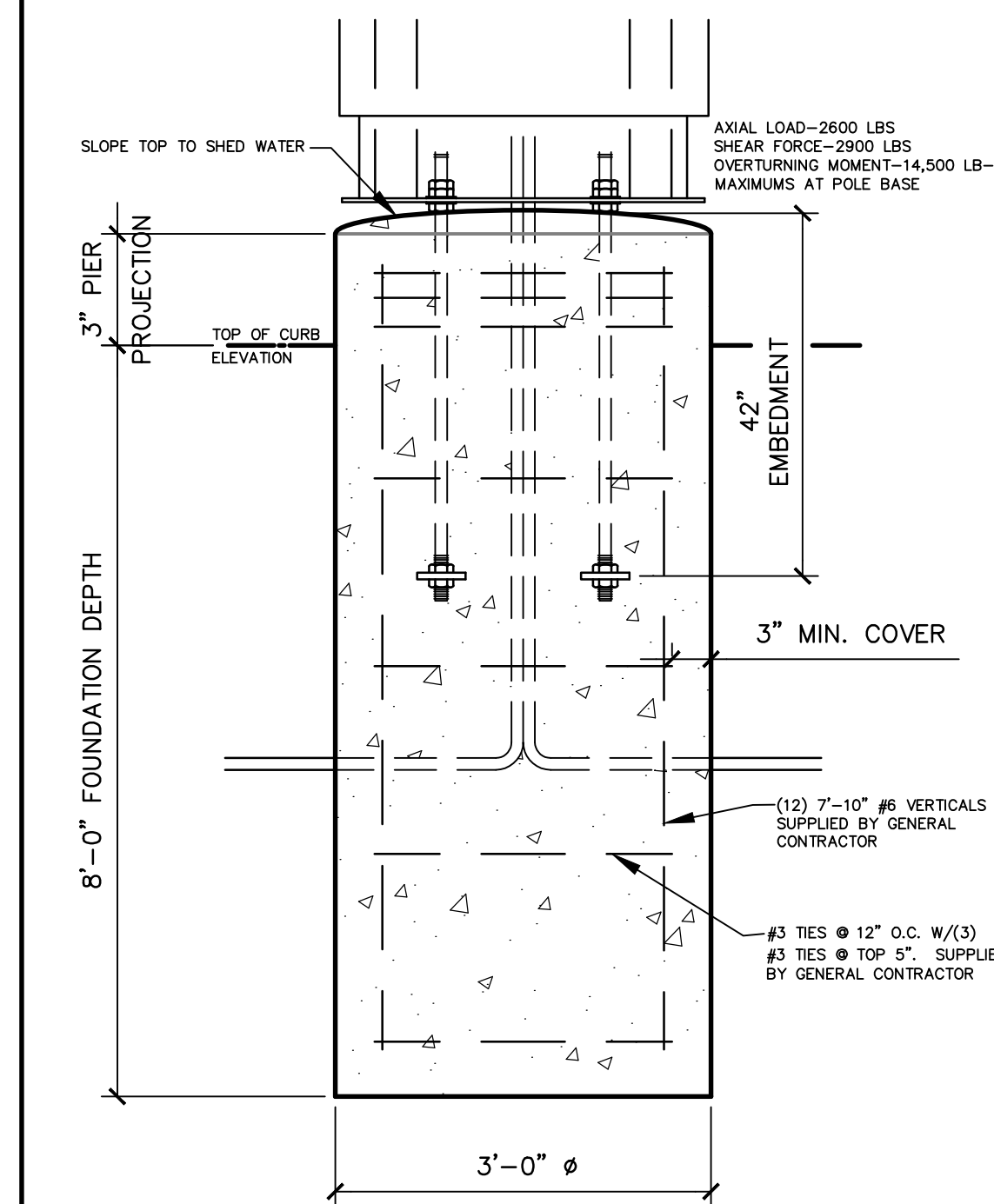
Richard J. Schick
REGISTERED ENGINEER

OHIO REGION 2 EASTN OVAL, SUITE 200, COLUMBUS, OH 43219 (614)418-3300

McDonald's®
AROC DRIVE
OAK BROOK, ILLINOIS 60021
THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

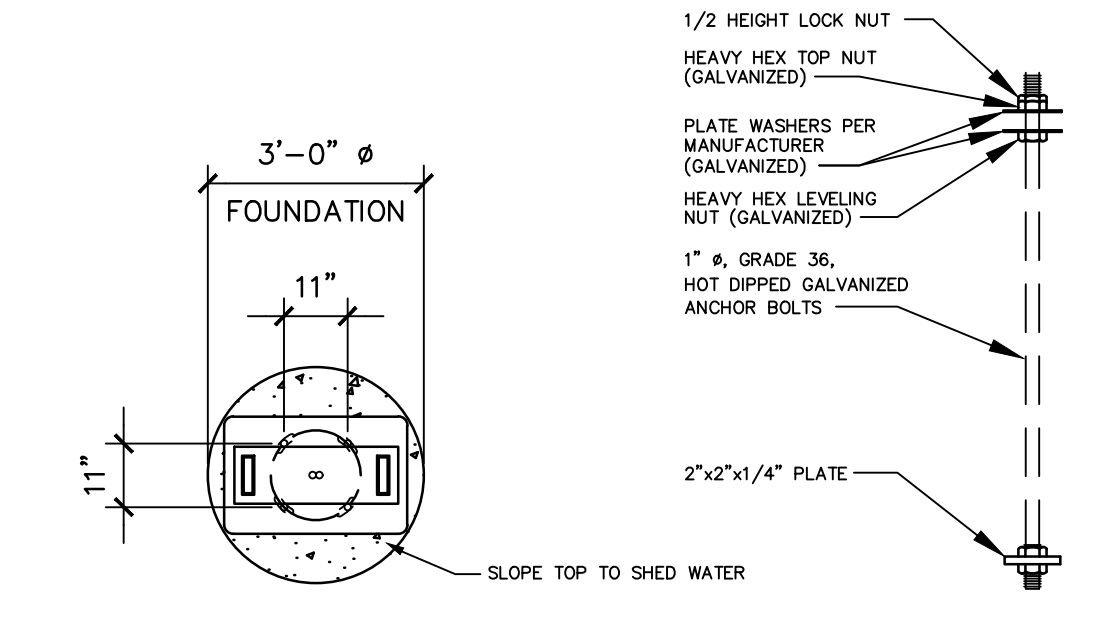
JOB NO. SS018-507
DATE: APRIL 2018
SITE DETAILS
SD-3

NOTE:
 -DESIGN CODES
 -CBC 2017
 -ASCE 7-10
 -ACI 318-14
 -AISC 15TH EDITION
 -AWS D1.4/D1.4M
 -WIND SPEED -115 MPH (3-SEC GUST)
 -EXPOSURE C
 -DESIGN LOADS DERIVED FROM THESE CODES AND FORCES (K, F)
 -AXIAL - 2900 LBS
 -SHEAR - 2900 LBS
 -OVERTURNING MOMENT - 14,500 LB-FT
 -USE CONCRETE WITH A 3000PSI MINIMUM COMPRESSIVE STRENGTH (f_c)
 -PIER DEPTHS REQUIRED ARE MINIMUM. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 -ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
 -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 245 PSF/FT OF DEPTH
 -TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).
 -PROVIDE A MINIMUM 3" CONCRETE COVER FOR ALL EMBEDDED STEEL.
 -FOUNDATION IS DESIGNED FOR SINGLE OR DOUBLE POLE COLUMNS
 -ALL REINFORCING STEEL BY GENERAL CONTRACTOR.



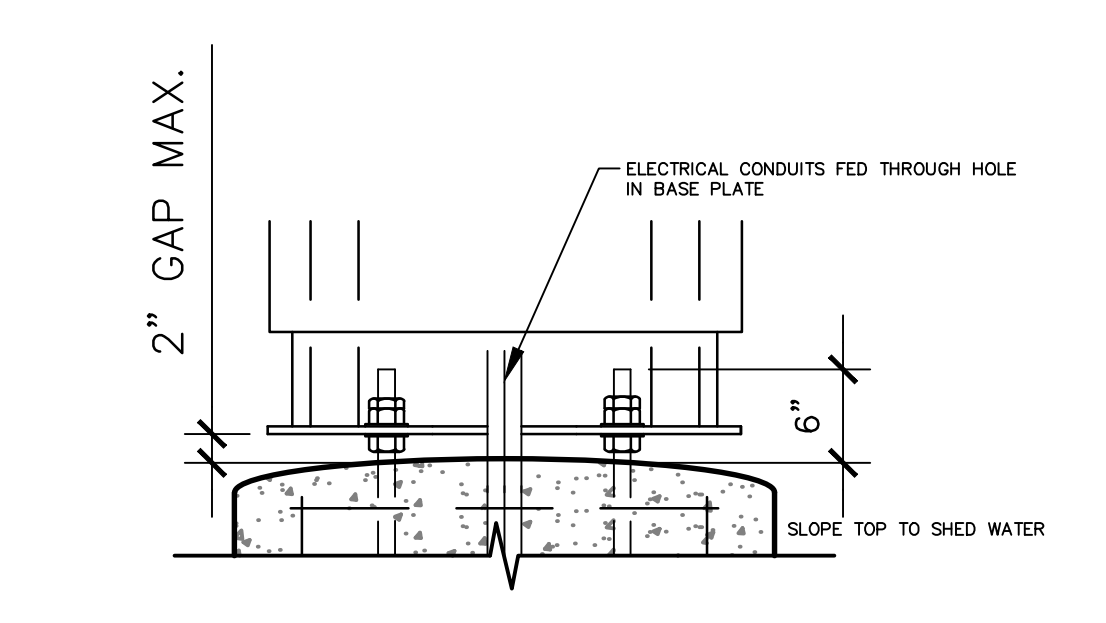
(A) SPRINGBOARD CANOPY
 115 MPH
 NTS

NOTE:
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 -USE HOT DIPPED GALVANIZED BOLTS
 -ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 -DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



(B) ANCHOR BOLT PATTERN
 NTS

NOTE:
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 -DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



(C) CONNECTION DETAILS
 NTS

GENERAL NOTES

-THE FOLLOWING CODES WERE USED IN DESIGN:
 -CBC 2017
 -ASCE 7-10
 -ACI 318-14
 -AISC 15TH EDITION
 -AWS D1.4/D1.4M
 -WIND SPEED 115 MPH, 3 SEC GUST
 -EXPOSURE C
 -DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
 -AXIAL - 2900 LBS
 -SHEAR - 2900 LBS
 -MOMENT - 14,500 LB-FT

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
 -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 245PSF/FT

-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
 -TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)

-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:
 -ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
 -ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 -MINIMUM CONCRETE STRENGTH (f_c) SHOULD CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 -USE OF ADMIXTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
 -AIR ENTRAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 2.6-A & 2.13-A
 -WATER CONTENT RATIO SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 -FOUNDATION CONCRETE TO BE TESTED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
 -PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
 -REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5. PERFORMED BY GENERAL CONTRACTOR.
 -ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
 -DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

STEEL:
 -STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (F_y = 35ksi)
 -HSS ROUND SECTION: ASTM A500 GRADE B (F_y = 42ksi)
 -HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (F_y = 48ksi)
 -CONNECTION BOLTS A325
 -STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
 -REINFORCEMENT: GRADE 60 - BY GENERAL CONTRACTOR
 -NUTS: A563 OR A194-2H
 -WASHERS: A36
 -USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 -NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL
 -DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
 -AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION
 -ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER.

-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
 -CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
 -FOUNDATIONS ARE DESIGNED FOR SINGLE OR DOUBLE POLE COLUMNS
 -DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
 -ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

NOTE: PER NEC, ELECTRIC CONDUITS UNDER DRIVABLE SURFACES (PAVEMENT) SHALL BE AT A MINIMUM DEPTH OF 24"

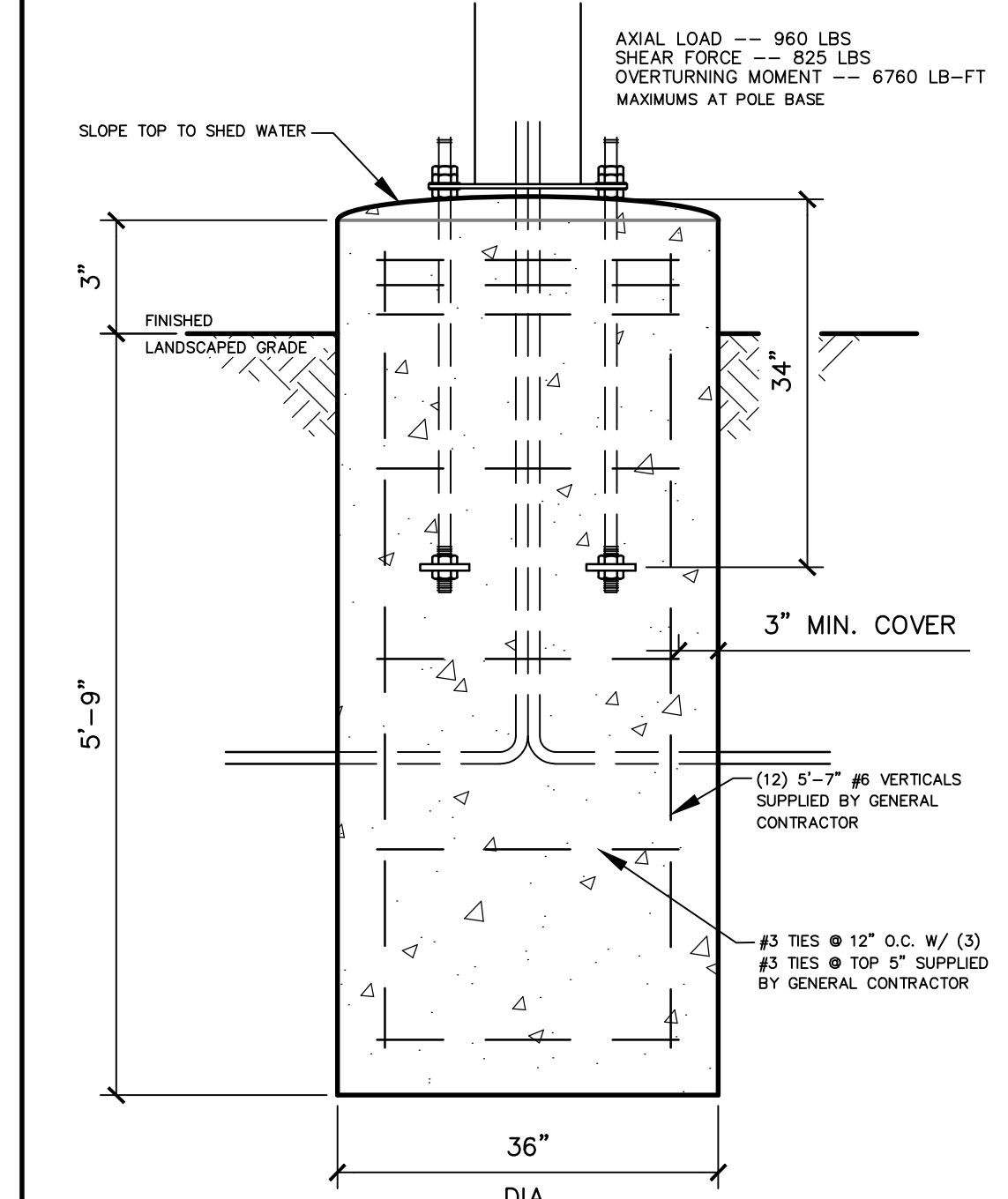
BY: WML
 DESCRIPTION: REVISED PER STRUCTURAL ENGINEER REVIEW
 REV: A
 DATE: 02/04/18
 ISSUED FOR BIDS & PERMITS
 2/6/2018

REGISTERED ENGINEER
 RICHARD S. SOKER
 E-47800
 STATE OF OHIO

SheSource Consultants, Inc.
 4254 Tuller Road - Dublin, Ohio 43017
 Phone: 614-761-9633 • Fax: 614-761-0717
 Email: alsources@amsintech.net

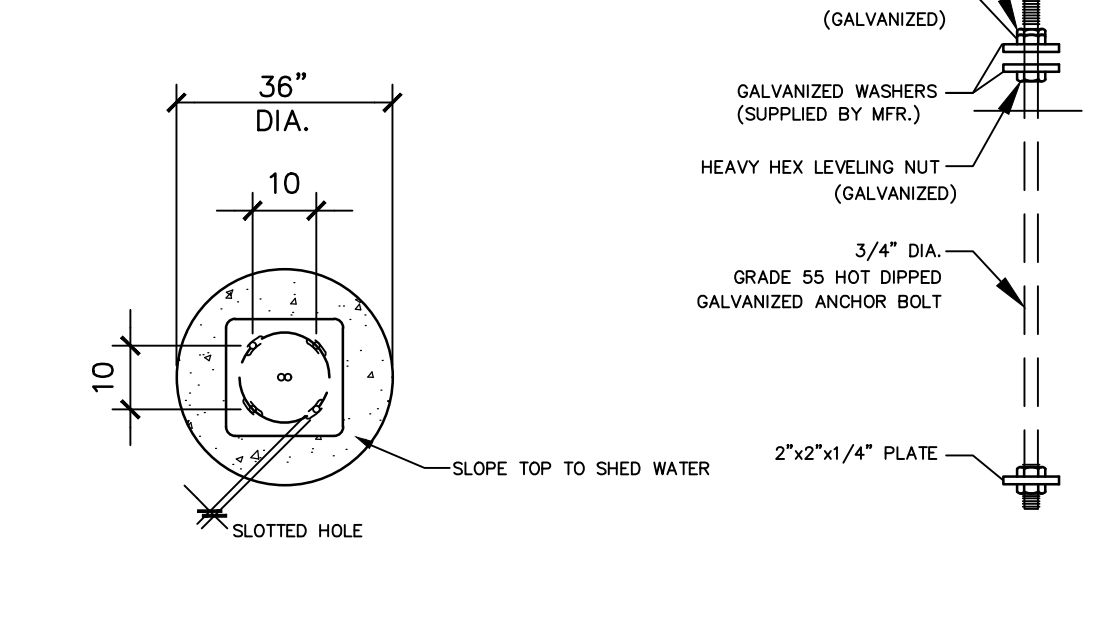
47802 4/26/18
 DATE

NOTE:
 -DESIGN CODES
 -CBC 2017
 -ASCE 7-10
 -ACI 318-14
 -AISC 15TH EDITION
 -AWS D1.4/D1.4M
 -WIND SPEED -115 MPH, 3 SEC GUST
 -EXPOSURE C
 -DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
 -AXIAL LOAD - 825 LBS
 -SHEAR FORCE - 700 LBS
 -OVERTURNING MOMENT - 6760 LB-FT
 -USE 3000 PSI CONCRETE COMPRESSIVE STRENGTH (f_c)
 -PIER DEPTHS REQUIRED ARE MINIMUM. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 -ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
 -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 245 PSF/FT OF DEPTH
 -TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).
 -3" MIN. CONCRETE COVER FOR REINFORCEMENT
 -ALL REINFORCING STEEL BY GENERAL CONTRACTOR



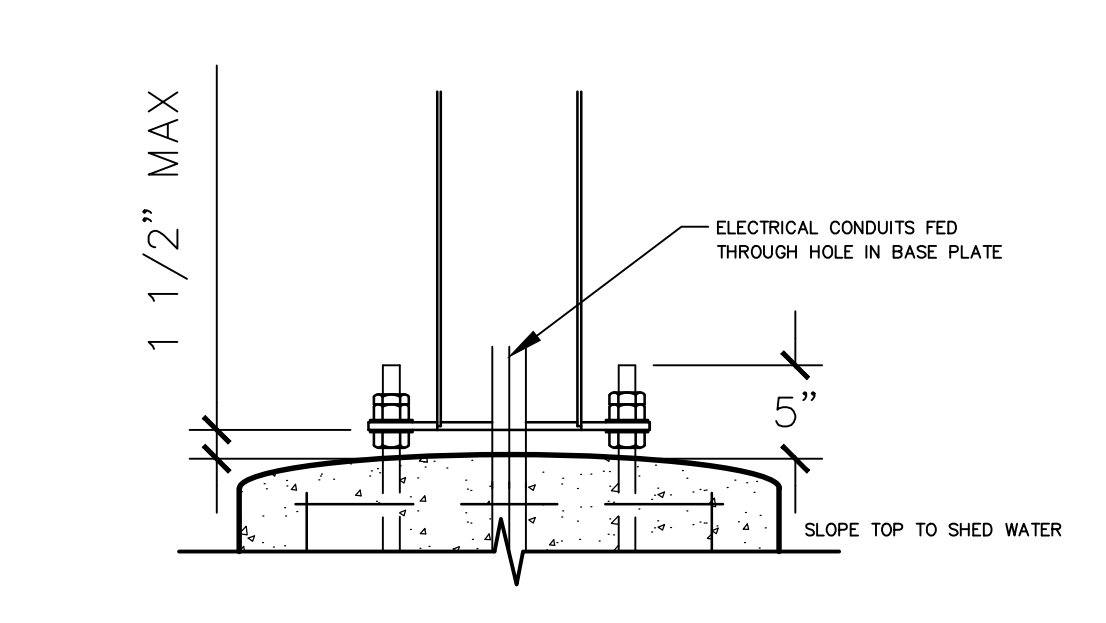
(A) DBL CLEARANCE GATEWAY
 115 MPH
 NTS

NOTE:
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 -HOT DIPPED GALVANIZED BOLTS
 -F1554 GRADE 36 ANCHOR BOLTS
 -ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 -DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



(B) ANCHOR BOLT PATTERN
 NTS

NOTE:
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 -DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



(C) CONNECTION DETAILS
 NTS

GENERAL NOTES

-THE FOLLOWING CODES WERE USED IN DESIGN:
 -CBC 2017
 -ASCE 7-10
 -ACI 318-14
 -AISC 15TH EDITION
 -AWS D1.4/D1.4M
 -WIND SPEED 115 MPH, 3 SEC GUST
 -EXPOSURE C
 -DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
 -AXIAL - 825 LBS
 -SHEAR - 700 LBS
 -MOMENT - 6760 LB-FT

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
 -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 245PSF/FT

-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
 -TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)

-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:
 -ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
 -ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 -MINIMUM CONCRETE STRENGTH (f_c) SHOULD CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 -USE OF ADMIXTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
 -AIR ENTRAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 2.6-A & 2.13-A
 -WATER CONTENT RATIO SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 -FOUNDATION CONCRETE TO BE TESTED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
 -PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
 -REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5. PERFORMED BY GENERAL CONTRACTOR.
 -ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
 -DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

STEEL:
 -STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (F_y = 35ksi)
 -HSS ROUND SECTION: ASTM A500 GRADE B (F_y = 42ksi)
 -HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (F_y = 48ksi)
 -CONNECTION BOLTS A325
 -STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
 -REINFORCEMENT: GRADE 60 - BY GENERAL CONTRACTOR
 -NUTS: A563 OR A194-2H
 -WASHERS: A36
 -USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 -NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL
 -DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
 -AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION
 -ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER.

-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
 -CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
 -DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
 -ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

NOTE: PER NEC, ELECTRIC CONDUITS UNDER DRIVABLE SURFACES (PAVEMENT) SHALL BE AT A MINIMUM DEPTH OF 24"

McDonald's®
 ARCO DRIVE
 OAK BROOK, ILLINOIS 60021

THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OHIO REGION 2 EASTN OVAL, SUITE 200, COLUMBUS, OH 43219 (614)418-3300

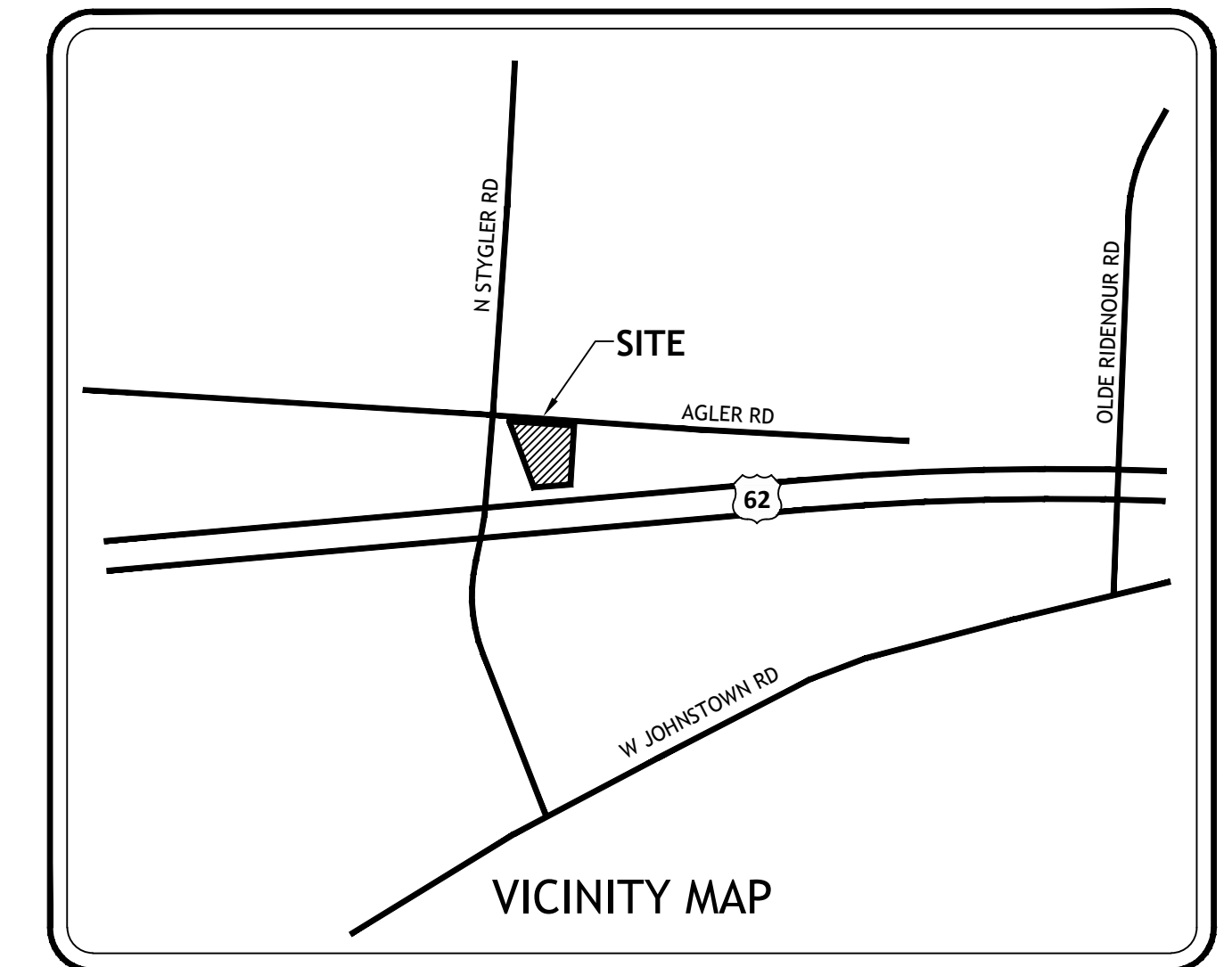
REGISTERED ENGINEER
 Richard S. Soker
 E-47800

JOB NO. SS018-507
 DATE: APRIL 2018
 SITE DETAILS
 SD-4

LIST OF POSSIBLE ENCROACHMENTS

The following list of encroachments is only the opinion of this surveyor and should not be interpreted as complete listing.

At the time of this survey, there was no visible evidence of encroachments.



GENERAL SURVEY NOTES:

- The Basis of Bearing for this survey is Grid North of the Ohio State Plane Coordinate System, South Zone (FIPS Zone 3402), on the North American Datum of 1983 (2011). GPS Observations were used to establish a bearing of South 85°14'23" West for the northerly right-of-way line of U.S. Highway 62.
- The location of the underground utilities shown hereon have been obtained by searches of available records, diligent field check, and field verified where accessible only. It is believed that they are essentially correct, but their accuracy or completeness is not guaranteed; therefore the contractor is urged to proceed with caution, follow the procedure for contacting the utility protection service prior to commencing construction, and field verify for accuracy, location and conditions.
- This survey was made in accordance with laws and/or Minimum Standards of the State of Ohio.
- Said described property is located within an area having a Zone Designation X Unshaded by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 39049C0194K, with a date of identification of June 17, 2008, for Community No. 390171, in Franklin County, State of Ohio, which is the current Flood Insurance Rate Map for the community in which said premises is situated.
- The Property has direct access to Agler Road, a dedicated public street or highway.
- The total number of striped parking spaces on the subject property is 8, including 1 designated handicap space.
- There is no observed evidence of current earth moving work, building construction or building additions.
- There are no proposed changes in street right of way lines, according to the City of Gahanna. There is no observed evidence of recent street or sidewalk construction or repairs.
- There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill.
- This survey was performed without the benefit of a title commitment.

LEGEND OF SYMBOLS:

- R/W - Right-of-Way
- - Centerline
- P.O.B. - Point of Beginning
- ▲ - Encroachment
- M - Measured Record
- (R) - Monument Found
- ▲ - Railroad Spike Found
- ▲ - MAG Nail Set
- ⊕ - Electric Meter
- ⊕ - Gas Meter
- ⊕ - Sanitary Manhole
- ⊕ - Cleanout
- ⊕ - Grease Trap
- ⊕ - Storm Manhole
- ⊕ - Catch Basin (Square)
- ⊕ - Curb Inlet
- ⊕ - Telephone Manhole
- ⊕ - Telephone Vault
- ⊕ - Traffic Pedestal
- ⊕ - Traffic Vault
- ⊕ - Bollard
- ⊕ - Flag Pole
- ⊕ - Ground Light
- ⊕ - Light Pole
- ⊕ - Traffic Pole
- ⊕ - Utility Pole
- ⊕ - Guy Wire
- ⊕ - Water Valve
- ⊕ - Unknown Vault
- ⊕ - Underground Gas Marker
- ⊕ - Sign
- ⊕ - HC Parking Space
- ⊕ - Underground Electric
- ⊕ - Underground Gas
- ⊕ - Underground Sanitary
- ⊕ - Underground Storm
- ⊕ - Underground Telephone
- ⊕ - Overhead Utilities
- ⊕ - Chain Link Fence
- ⊕ - Wood Fence
- ⊕ - Steel Fence
- ⊕ - Wall
- ⊕ - Concrete Area
- ⊕ - No Parking Area
- ⊕ - Building Area
- ⊕ - 1' Elevation Contour
- ⊕ - 5' Elevation Contour
- ⊕ - Spot Elevation
- RCP - Reinforced Concrete Pipe
- SPP - Smooth Plastic Pipe
- VCP - Vitrified Clay Pipe
- ⊕ - Deciduous Tree

SURVEYOR'S CERTIFICATE

I certify to McDonald's Corporation, a Delaware corporation, McDonald's Real Estate Company, a Delaware corporation and McDonald's USA, LLC, a Delaware limited liability company that this plan has been compiled from a survey actually made on the ground under my supervision on February 20, 2018; that it is correct and complies with the requirements provided by McDonald's Corporation.

Date of Plat or Map: March 1, 2018

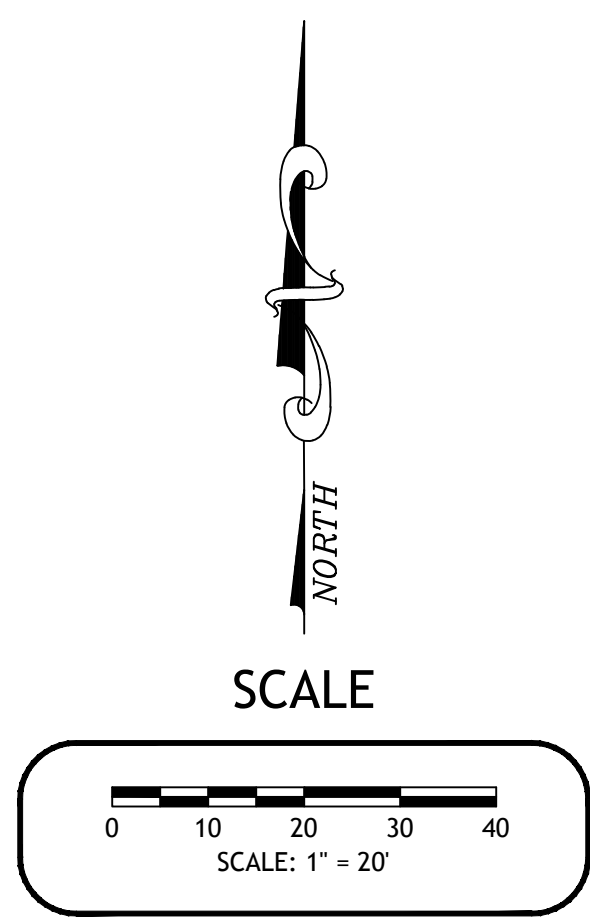
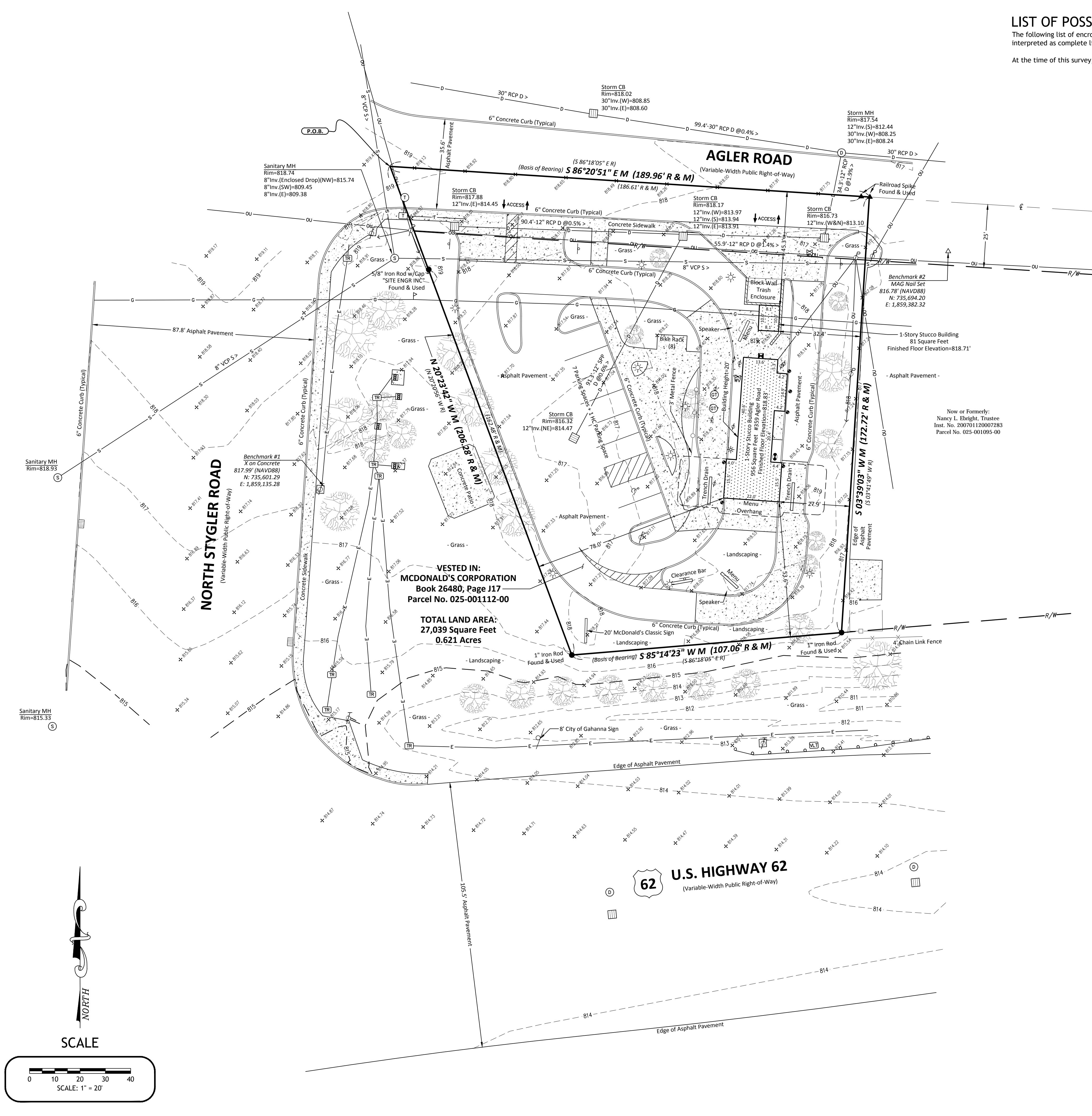
David W. Grant, PS Signature Date:
Ohio Professional Surveyor No. 8460
dgrant@northcoastgeo.com

No.	REVISIONS	Date



BOUNDARY & TOPOGRAPHIC SURVEY
EMG Project No: 130758.18R000
EMG Site No: 002.368
McDonald's LC 341253 - Gahanna OH
359 Agler Road
Gahanna, OH 43230

NORTH COAST GEOMATICS
Mapping & Surveying - northcoastgeo.com
173 Owosso Ave
Fairlawn, OH 44333
(614) 519-3611
NCG 1455





200 S. Hamilton Road, Gahanna, OH 43230
Phone(614)342-4010 Fax(614)342-4100

May 22, 2018

Permit Solutions
175 S third Suite 170
Columbus, OH 43215

RE: Project 359 Agler Rd Design Review

Dear Permit Solutions:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

Public Safety - Complete

1. The GPD Administrative Bureau has no opposition to this.

Building - Complete

2. No comments.

Fire District - Complete

3. Since the building is within 150 feet of a public roadway, a fire apparatus access road is not required in accordance with Section 503.1.1 of the 2017 Ohio Fire Code.

503.1.1 Buildings and facilities. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction which are not readily accessible from a public and/or private street. The fire apparatus access road shall comply with the requirements of this paragraph and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

Exceptions:

1. The fire code official is authorized to increase the dimension of 150 feet (45 720 mm) where any of the following conditions occur:

- 1.1. The building is equipped throughout with an approved automatic sprinkler system installed in

accordance with paragraph (C)(3)(a)(i)(903.3.1.1), (C)(3)(a)(ii)(903.3.1.2) or (C)(3)(a)(iii)(903.3.1.3) of rule 1301:7-7-09 of the Administrative Code.

1.2. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.

1.3. There are not more than two Group R-3 or Group U occupancies.

4. Where approved by the fire code official, fire apparatus access roads shall be permitted to be exempted or modified for solar photovoltaic power generation facilities.
5. The fire hydrant covering the McDonalds is in front of 333 Agler Road on the northside of the roadway.

Additional requirements and comments could follow after plans are submitted and the review process starts

Parks - Complete

6. No comments on this project.

Soil & Water Conservation District - Complete

7. No Comment Received.

Community Development - Complete

8. Please be aware that the design review application does not approve signage. A sign permit application will be required in order to approve. No response to this comment required.

Public Service & Engineering - Complete

9. No comment

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker
Administrative Assistant



CITY OF GAHANNA

PLANNING AND DEVELOPMENT STAFF REPORT

Request Summary

This is a request to update the exterior façade and layout of the Classic McDonalds located at 359 Agler Road. The applicant proposes to modify the drive through, patio area, parking, and adding 84 square feet of building area. The exterior materials and color scheme are proposed to change as well. The application materials depict changes to the signage as well, however, these changes are subject to the sign permit application review. The signage is depicted to provide a better overall understanding of how the site will look when completed.

The property is located within the Community Commercial (CC) zone district and located within the West Gahanna Development Study. Because of the nature of this request, the majority of objectives and standards found within the zoning code or the Development Study do not apply to this request. The following principles are found within the West Gahanna Development Study:

- More sit down restaurants were identified as being needed within the Study area.
- The intersection of 62 and Stygler Road needs to be redeveloped with attractive uses.
- The McDonalds was seen as a positive development.

Specific architectural styles or color schemes are not identified within the Code or Development Study. The Code does state that specific colors and color schemes should be designed to ensure universal harmony. Photos of nearby commercial establishments are included at the conclusion of this report.

The property was included within the Economic Development Strategy as a small portion of Target Site 1A. Target Site 1A includes over 25 acres of property, with this site comprising just over 2% of the acreage for the Target Site. The recommendations of the Strategy includes a mix of retail, office, and residential. A specific site layout and architectural recommendations were not identified for this portion of the Target Site.

Final Development Plan

Planning Commission shall approve an FDP application if the following four conditions are met:

- A. The proposed development meets the applicable development standards of this Zoning Ordinance.
- B. The proposed development is in accord with appropriate plans for the area.
- C. The proposed development would not have undesirable effects on the surrounding area.
- D. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

Design Review



"HERB CAPITAL OF OHIO"

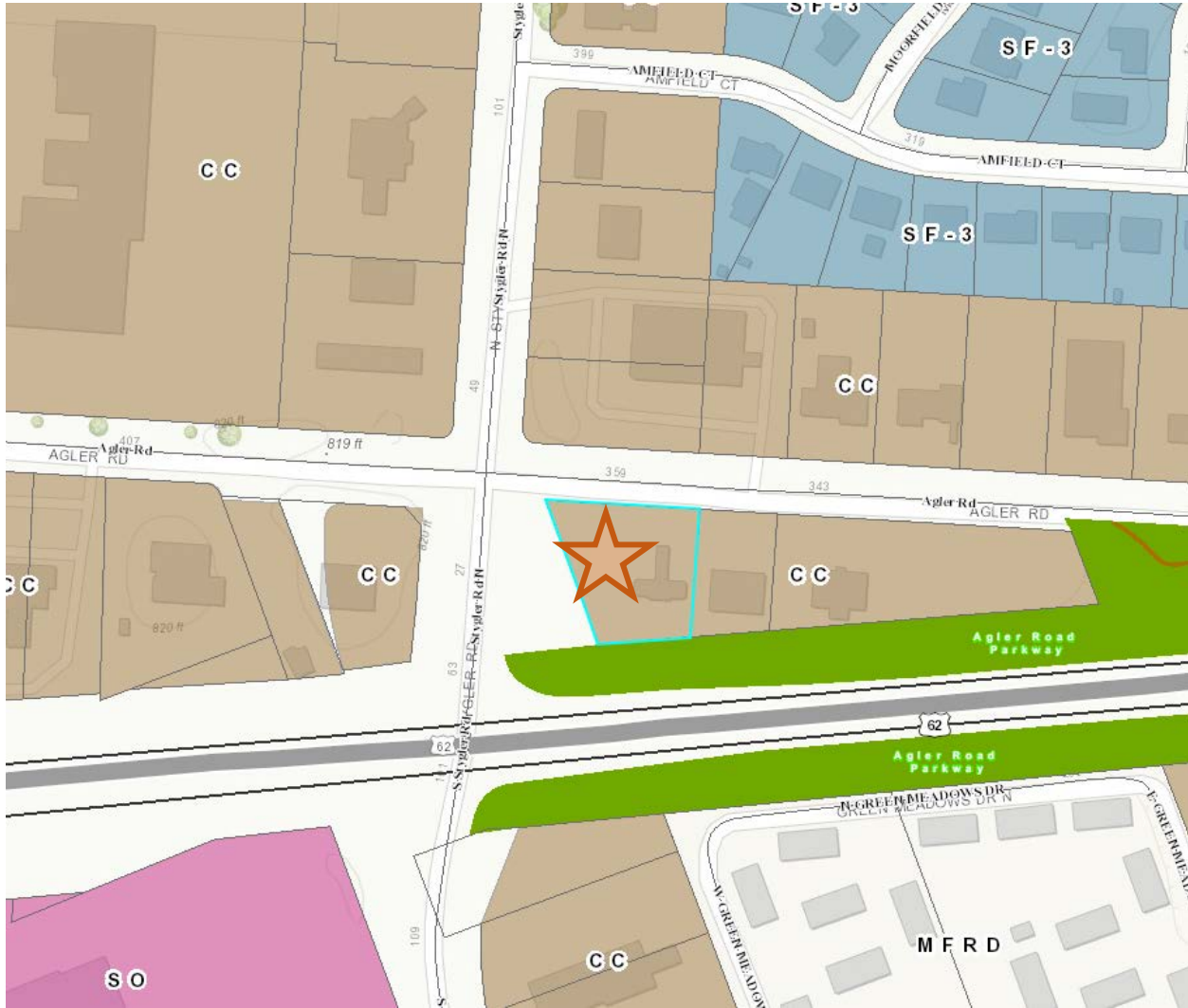
200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV



CITY OF GAHANNA

Planning Commission shall review an application to determine if proposed new construction or alteration to an existing structure promotes, preserves and enhances the overall architectural character of the Design Review District in which the structure is proposed to be located and to endeavor to assure that the proposed structure or alteration would not be incompatible with existing structures within the surrounding area.

Zoning Map



"HERB CAPITAL OF OHIO"

200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV



CITY OF GAHANNA

Street View (Tim Hortons)



Street View (CVS)



"HERB CAPITAL OF OHIO"

200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV



CITY OF GAHANNA

Street View (Speedway)



Respectfully Submitted By:
Michael Blackford, AICP
Deputy Director



"HERB CAPITAL OF OHIO"

200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV