Gahanna
DEPARTMENT OF PLANNING

Variance Application Summary

File Number	V-25-8
Property Address	3590 CLOTTS RD GAHANNA, OH 43230
Parcel ID	025-003899
Zoning District	R-1 - Large Lot Residential
Project/Business Name	Morris Residence
Applicant	Matt Toddy matt@elevationstudio.us 330-697-8525
Description of Variance Request	Requesting a variance from the R-1 side yard setback requirement of 15' to match the existing structure side yard setback of 11'-2".

Requested Variances

Code Section	Code Title
Ch 1103.07(e)	Large Lot Residential

Gahanna
DEPARTMENT OF PLANNING

AUTHORIZATION CONSENT FORM

If you are filling out more than one application for the same project & address, you may submit a copy of this form with each additional application.

As the owner or acting agent for the subject property, I have reviewed the application and hereby authorize the listed applicant to make decisions that may affect my property as it pertains to this application.

	Amanda Morris	03/25/25
(property owner/acting agent signature)	(printed name)	(date)
	Amanda Morris	03/25/25
(applicant signature)	(printed name)	(date)

200 South Hamilton Road • Gahanna, OH 43230
614.342.4025 Phone • 614.342.4100 Fax • www.gahanna.gov

elevate your mission

March 25, 2025

Elevation Studio
933 Taurus Ave.
Columbus, Ohio 43230

Reference: 3590 Clotts Road - Variance Application

To Whom It May Concern,

Please see following adjacent parcels to the subject property:

- Dressing, Tanya
  518 Clotts Rd
  Columbus, OH 43230
- Assured Holdings, LCC
  PO Box 9788
  Columbus, OH 43209
- Mathews, Anna
  509 Theori Ave
  Gahanna, OH 43230
- Kanaan, Alison
  503 Theori Ave
  Gahanna, OH 43230

Sincerely,

Matt Toddy, AIA
matt@elevationstudio.us

elevate your mission

March 25, 2025

Elevation Studio
933 Taurus Ave.
Columbus, Ohio 43230

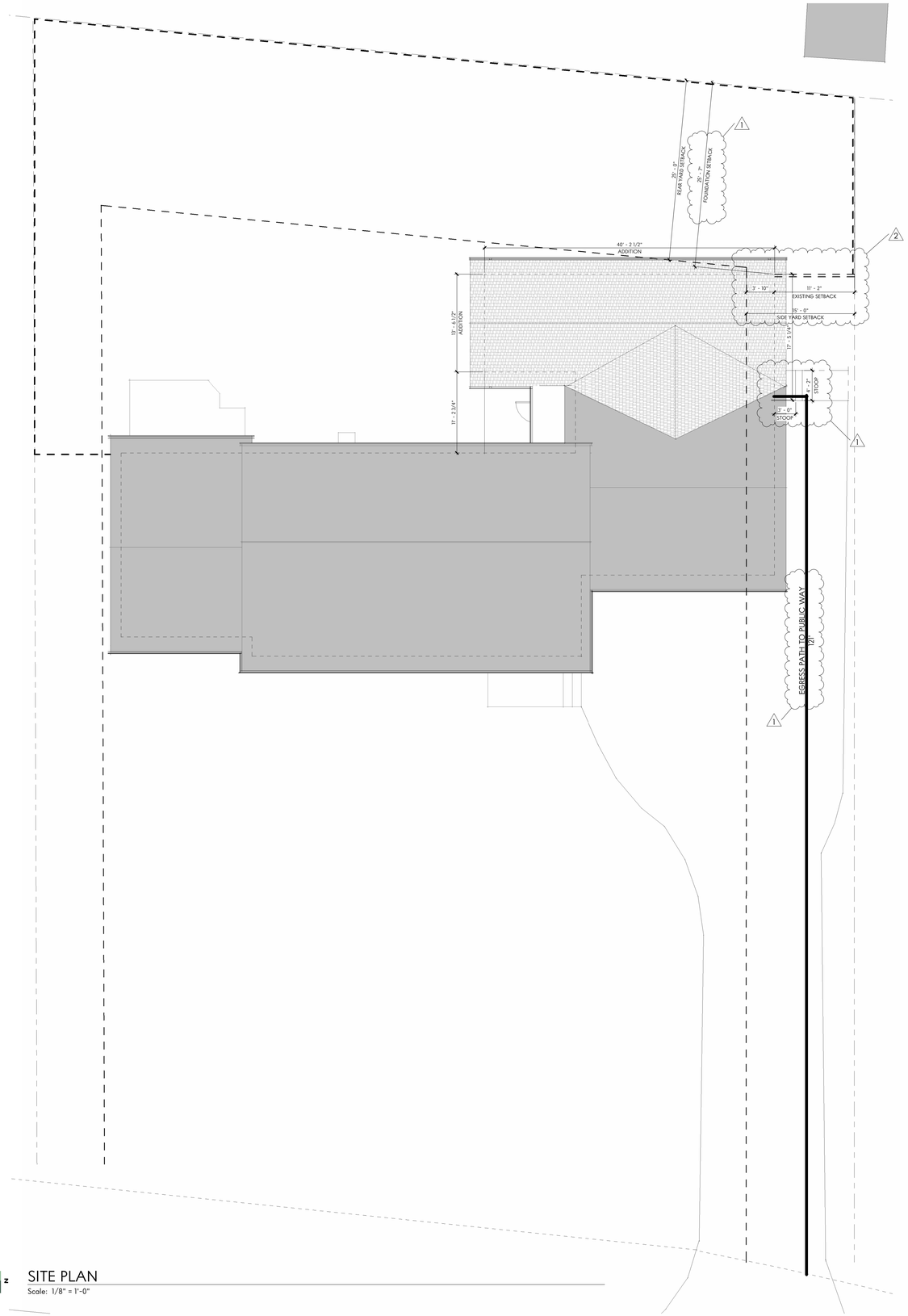
Reference: 3590 Clotts Road - Variance Application

To Whom It May Concern,

1. What are the special circumstances or conditions necessitating the variance?
    - **The proposed addition aligns with the existing structure, which sits approximately 11'-2" away from the side (south) property line. This is less than the new side-yard setback requirement for R-1 adopted in 2024 of 15'.**
2. How is the variance necessary for preservation and enjoyment of property rights?
    - **The proposed addition must align with the existing structure to avoid existing utility lines in the rear yard to the north of the proposed addition.**
3. How will the variance not adversely affect the health or safety of the surrounding area?
    - **The existing structure is non-conforming (as are most in the neighborhood) since the new code went into effect. The proposed variance would allow for a continuation of the existing character and is not detrimental to the health or safety of the neighborhood.**

Sincerely,

Matt Toddy, AIA
matt@elevationstudio.us



SITE PLAN

Scale: 1/8" = 1'-0"

GENERAL NOTES - SITE PLAN

A. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEKING CLARIFICATION FROM ARCHITECT PRIOR TO CONSTRUCTION.

B. ALL DIMENSIONS ARE FROM FINISHED SURFACE TO FINISHED SURFACE, UNLESS NOTED OTHERWISE.

C. ARCHITECTURAL SITE PLAN IS PROVIDED TO SHOW THE RELATIONSHIP OF THE ARCHITECTURAL ELEMENTS AND TO PROVIDE PLAN AND DETAIL KEY REFERENCE ONLY.

PROJECT STATUS

ZONING VARIANCE

CURRENT ISSUE DATE

3.25.2025

PROJECT NO.

24038

REVISIONS

#	DESCRIPTION	DATE
1	Revision 1	3.11.2025
2	Revision 2	3.25.2025

PROJECT INFORMATION

Morris Residence

Jim & Amanda Morris

3590 Clotts Rd.
Gahanna, OH 43230

MATTHEW TODDY, LICENSE #1616697
EXPIRATION DATE: DECEMBER 31, 2025

ELEVATION STUDIO

SHEET NAME

ARCHITECTURAL SITE PLAN

SHEET NUMBER

A100

Morris Residence

PROJECT SHEET INDEX

SHEET #	SHEET NAME	REVISION #	REVISION DATE
GENERAL			
G001	TITLE SHEET		
G002	GENERAL NOTES /CODE INFO.		
G003	RESCHECK REPORT		
ARCHITECTURAL			
A100	ARCHITECTURAL SITE PLAN	2	3.25.2025
A101	DEMOLITION & FOUNDATION PLANS	1	3.11.2025
A102	ARCHITECTURAL & ROOF PLANS	2	3.25.2025
A103	FRAMING PLANS	1	3.11.2025
A104	ELECTRICAL & CEILING PLANS	1	3.11.2025
A200	ELEVATIONS	1	3.11.2025
A300	SECTIONS - BUILDING	1	3.11.2025
A301	SECTIONS - WALL	1	3.11.2025

PROJECT SCOPE

THE PROJECT SCOPE IS TO CONSTRUCT A NEW 651SF ADDITION TO AN EXISTING RESIDENCE IN GAHANNA, OHIO. THE WORK INCLUDES A NEW KITCHEN, LIVING ROOM, BATHROOM, AND BEDROOM WITH NEW PLUMBING FIXTURES AND LIGHT FIXTURES.

MEP SCOPE

MECHANICAL: A NEW RESIDENTIAL SPLIT-TYPE SYSTEM WILL BE INSTALLED.

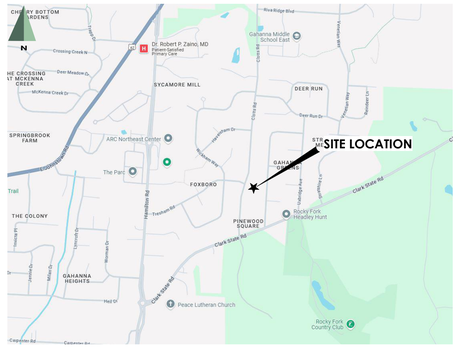
ELECTRICAL: NEW LIGHT FIXTURES AND OUTLETS WILL BE PROVIDED THROUGHOUT THE ADDITION AND THE RENOVATION PER THE OWNER'S SELECTION. ELECTRICAL WILL BE FED FROM NEW SUBPANEL LOCATED IN THE HALLWAY.

PLUMBING: THE KITCHEN WILL INCLUDE A NEW SINK. THE BATHROOM WILL INCLUDE A SHOWER, TOILET, AND SINK. PLUMBING WILL TIE INTO EXISTING SANITARY STACK IN BASEMENT.

CODE DESIGN DATA

BUILDING:	SINGLE FAMILY RESIDENCE
CONSTRUCTION:	5-B
CODE:	2019 RESIDENTIAL CODE OF OHIO + IECC 2009
GROUND SNOW LOAD:	20 PSF
WIND SPEED:	90 MPH
WEATHERING:	SEVERE
FROST LINE DEPTH:	36 INCHES
TERMITE:	MODERATE/HEAVY
WINTER DESIGN:	8° F
MEAN ANNUAL TEMP:	50° F

SITE MAP



OWNER

JIM & AMANDA MORRIS
3590 CLOTTS RD.
GAHANNA, OH 43230

ARCHITECT

ELEVATION STUDIO
933 TAURUS AVENUE
GAHANNA, OH 43230

GENERAL CONTRACTOR

KIRK DESIGN & CONSTRUCTION
PO BOX 30180
COLUMBUS, OH 43230

PROJECT STATUS
ZONING VARIANCE

CURRENT ISSUE DATE
3.25.2025

PROJECT NO.
24038

REVISIONS

#	DESCRIPTION	DATE

PROJECT INFORMATION

Morris Residence
Jim & Amanda Morris
3590 Clotts Rd.
Gahanna, OH 43230

STATE OF OHIO · MATTHEW TODDY · 1616697 · REGISTERED ARCHITECT

MATTHEW TODDY, LICENSE #1616697
EXPIRATION DATE: DECEMBER 31, 2025

ELEVATION STUDIO

SHEET NAME
TITLE SHEET

SHEET NUMBER
G001

CONSTRUCTION NOTES

1. ALL WORK SHALL CONFORM TO THE 2019 EDITION OF THE RCO (RESIDENTIAL CODE OF OHIO FOR ONE, TWO AND THREE FAMILY DWELLINGS). IT IS THE RESPONSIBILITY OF THE CONTRACTORS TO COMPLY WITH THE APPROPRIATE SECTIONS OF THE RCO DURING EACH PHASE OF WORK.

2. THESE DRAWINGS ARE FOR STRUCTURAL AND BUILDING PERMITS ONLY, AND ARE NOT INTENDED TO BE COMPLETE AND IN FULL DETAIL. WHERE DETAIL OR INFORMATION IS NOT PROVIDED, THE CONTRACTORS SHALL USE CONVENTIONAL ACCEPTED PRACTICE. CONDITIONS REQUIRING NON-CONVENTIONAL DETAILING OR ADDITIONAL INFORMATION SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

3. THE CONTRACTORS SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND SHALL IMMEDIATELY REPORT ANY ERRORS, INCONSISTENCIES OR OMISSIONS TO THE ARCHITECT. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES AN RECOGNIZED ERROR, INCONSISTENCY OR OMISSION OR IS UNCLEAR IN THE CONTRACT DOCUMENTATION WITHOUT SUCH NOTICE, IN WRITING TO THE ARCHITECT, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCES AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COST FOR CORRECTION.

4. THE CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. THE CONTRACTORS SHALL INFORM THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS. DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS WHICH CAUSE ANY RELOCATIONS WILL NOT BE A CAUSE FOR ANY ADDITIONAL PAYMENT.

5. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND INSPECTIONS.

6. THE CONTRACTORS ARE TO VERIFY ALL UNDERGROUND UTILITIES AND CONDITIONS WITH THE OWNER AND THE PROPER AUTHORITY. CALL 811, TWO DAYS BEFORE DIGGING.

7. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL CONTROL ALL LOCATIONS. ALL DIMENSIONS ARE TO FINISH FACE AT INTERIOR WALLS, FACE OF BLOCK / CONCRETE OR FACE OF SHEATHING AT EXTERIOR WALLS (UNLESS NOTED OTHERWISE). FRAME WALL THICKNESS IS 3-1/2", UNLESS NOTED OTHERWISE. IF THERE ARE ANY DISCREPANCIES, CONTACT THE ARCHITECT.

8. STRUCTURAL DESIGN LOADS ARE BASED ON THE FOLLOWING:

   GROUND SNOW LOAD: 25 PSF

	1ST FLOOR	2ND FLOOR	ROOF (RAFTERS)	ROOF (TRUSSES)
DEAD LOAD:	12 PSF	12 PSF	15 PSF	20 PSF
LIVE LOAD:	40 PSF	40 PSF	20 PSF	20 PSF
TOTAL LOAD:	52 PSF	52 PSF	35 PSF	40 PSF

   WIND LOAD FACTOR: 90 MPH (EXP. B)
   NOTE: VERIFY DESIGN LOAD WITH LOCAL BUILDING CODES.

9. THE CONTRACTORS SHALL COORDINATE PRE-WIRING OF ANY OWNER SUPPLIED CABLE TV, PHONE, SECURITY AND INTERCOM SYSTEM.

10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. WHERE APPLICABLE, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY SUPPORTS, BRACING, SHORING, UNDERPINNING AND OTHER STABILIZATION MEASURES AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY.

11. THE CONTRACTORS SHALL KEEP THE JOB SITE NEAT AND ORDERLY, REMOVE SCRAP MATERIAL DAILY AND SHALL CLEAN THE SITE AND THE WORK THOROUGHLY UPON COMPLETION.

12. THE CONTRACTORS SHALL HAVE INSPECTED THE SITE AND SATISFIED THEMSELVES AS TO THE ACTUAL GRADES, LEVELS, DIMENSION AND DECLINATIONS AND THE TRUE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.

13. THE CONTRACTORS AND/ OR THEIR SUPPLIERS SHALL BE RESPONSIBLE FOR MATERIAL QUANTITY TAKE-OFFS AND ESTIMATES.

FOUNDATION SYSTEM:

1. DEPTH OF ALL FOOTINGS SHALL BE BELOW FROST LINE PER LOCAL CODE.

2. SOIL BEARING CAPACITY ASSUMED TO BE 1,500 PSF. THE CONTRACTOR SHALL FIELD VERIFY ADEQUACY OF ACTUAL BEARING CONDITIONS.

3. PROVIDE ANCHOR BOLTS PER WALL SECTIONS OR CODE APPROVED ANCHOR STRAPS PER MANUFACTURES SPECIFICATIONS. ANCHOR SECURELY TO FOUNDATION WALL. COORDINATE VERTICAL REINFORCING LOCATIONS W/ ANCHOR BOLTS.

CONCRETE:

1. PROVIDE 1/2" EXPANSION MATERIAL AT ALL SLAB TO FOUNDATION WALL CONDITIONS.

CARPENTRY:

1. ALL LUMBER TO BE "SPF" STESS GRADE (NO. 2 OR BETTER) AND MARKED, UNLESS NOTED OTHERWISE.

2. ALL PARITIONS TO BE 16" O.C. (U.N.O.) WITH DOUBLE TOP PLATES (STUD SIZE NOTED ON PLANS). ALIGN WALL FRAMING W/ FLOOR FRAMING TO THE GREATEST DEGREE POSSIBLE FOR DUCT RUN ALLOWANCE.

3. FRAMING FASTENERS AND STRAPS SHALL BE GALVANIZED 'SIMPSON - STRONG TIE' OR EQUAL.

4. PROVIDE PLYWOOD CLIPS AT UNSUPPORTED EDGES OF PLYWOOD @ 12"O.C.

5. FIRE STOPPING TO COMPLY WITH RCO.

6. PROVIDE MIN. 7/16" THICK OSB WALL SHEATHING AT ALL CORNERS OF ALL EXTERIOR WALLS.

7. PROVIDE DOUBLE STUDS (MIN.) UNDER BEARING POINTS, ANCHOR TOGETHER, UNLESS NOTED OTHERWISE. CARRY KNOWN LOAD POINTS DOWN TO FOUNDATION.

8. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE "TREATED" AND PROVIDE CONTINUOUS SILL SEAL INSULATION.

9. PROVIDE PAINTABLE NON-STAINING CAULKING AT ALL INTERIOR GENERAL CAULKING CONDITIONS. EXAMPLES AT ALL EXTERIOR WINDOWS AND DOORS. COLOR TO MATCH ADJACENT MATERIALS.

10. PROVIDE SILICONE BASED SEALANT AT ALL EXTERIOR GENERAL SEALANT CONDITIONS. EXAMPLES AT ALL EXTERIOR WINDOWS AND DOORS. COLOR MATCH ADJACENT MATERIALS.

ELECTRICAL:

1. ELECTRICAL SIZING, LOAD BALANCE AND CAPACITY BY ELECTRICAL CONTRACTOR. VERIFY ALL DETAILED REQUIREMENTS, FEATURES, FIXTURES AND LOCATIONS WITH BUILDER AND OWNER BEFORE STARTING INSTALLATION.

ROOF CONSTRUCTION:

1. PROVIDE BRACING AND BLOCKING PER TRUSS MANUFACTURER AND AS INDICATED WITHIN THIS SET OF DRAWINGS.

2. ROOF SHEATHING SHALL BE 5/8" WITH METAL CLIPS MIDSPAN BETWEEN FRAMING MEMBERS.

3. PROVIDE MEMBRANE ICE BARRIER ('GAF LIBERTY SBS BASE SHEET OR EQUAL) AT ALL EAVE AND VALLEY CONDITIONS AND SATURATED FELT SHINGLE UNDERLAYMENT UNDER ROOFING MATERIAL IN ALL OTHER AREAS AS FOLLOWS:(2) LAYERS OF #15 ROOFING FELT ON ROOF SLOPES OF 4:12 OR LESS

4. ALL ROOF PENETRATIONS TO OCCUR ON REAR SIDE OF STRUCTURE, WHEN POSSIBLE.

5. IF TRUSSES ARE USED, THEY SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF OHIO. TRUSSED SHALL BE DESIGNED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD AND THE TRUSS PLATE INSTITUTE RECOMMENDED PRACTICE OF DESIGN TPI-85. DESIGN ROOF TRUSSES FOR LOADS AS REQUIRED BY LOCAL BUILDING CODES.

INSULATION:

1. CEILINGS OVER HEATED SPACES (ATTIC/ TRUSS CONSTRUCTION): R-38 MIN.

2. INSULATION TO BE INSTALLED AS A COMPLETE SYSTEM PROVIDING FULL ENCLOSURE. SPECIAL ATTENTION SHALL BE GIVEN TO AIR INFILTRATION: PACK WITH INSULATION OR INSULATION FOAM WINDOW VOID SPACES, VOID SPACES BEHIND ELECTRICAL OUTLET BOXES, JOINTS AT DISSIMILAR MATERIALS AND OTHER WALL PENETRATIONS.

3. PROVIDE INSULATION BAFFLES AT SOFFIT VENTING AS REQUIRED TO MAINTAIN 2" MIN. CLEAR SPACE FOR VENTILATION.

STRUCTURAL WOOD NOTES:

MATERIALS:

A. ALL DIMENSIONAL LUMBER AND TIMBER SUPPLIED SHALL MEET OR EXCEED THE FOLLOWING DESIGN STRESSES.
   1. LOAD BEARING WALL STUDS (2 X 4 & WIDER) - 1150 PSI (FB). SOF #2, S- DRY (UNLESS NOTED OTHERWISE ON PLANS)
   2. POST & TIMBERS (5 X 5 & LARGER) - 500 PSI (FB). SPF #2, S-DRY.
   3. JOISTS (REPETITIVE USE- INTERIOR) - 1000 PSI (FB). SPF #2, S-DRY.
   4. JOISTS (REPETITIVE USE- EXTERIOR) - 1200 PSI (FB). SPF #2, PRESSURE TREATED.
   5. BEAMS & HEADERS (NON-REPETITIVE USE - INTERIOR) 875 PSI (FB). SYP #2, S- DRY.
   6. BEAMS & HEADERS (NON-REPETITIVE USE - EXTERIOR) 1000 PSI (FB). SYP #2, PRESSURE TREATED.
   7. MICROLAM BEAMS - 2600 PSI (FB). 1.9E.
   8. PARALLAM BEAMS - 2400 PSI (FB). 2.0E.

B. ALL SHEATHING SUPPLIED SHALL MEET OR EXCEED THE FOLLOWING STRUCTURAL CRITERIA:
   1. FLOOR SHEATHING SHALL BE 3/4"', T&G, 'ADVAN-TECH' APA RATED, EXPOSURE 1. INSALL PER MANUFACTURER'S SPECIFICATIONS.
   2. WALL SHEATHING SHALL BE 7/16" APA RATED, EXPOSURE 1.
   3. ROOF SHEATHING SHALL BE 5/8" APA RATED, EXPOSURE 1.

SPECIFICATIONS:

A. WOOD CONSTRUCTION, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE "GENERAL CONSTRUCTION REQUIREMENTS", SECTION 2304 OF THE INTERNATIONAL BUILDING CODE AND THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
B. SHEATHING AND PANEL CONSTRUCTION UNLESS OTHERWISE NOTED SHALL CONFORM TO U.S. PRODUCT STANDARD PS-1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD AND APA DESIGN/ CONSTRUCTION GUIDE- RESIDENTIAL AND COMMERCIAL. EACH PANEL SHALL BE IDENTIFIED WITH AN APA GRADE TRADEMARK.

CONNECTIONS:

A. ALL NAILING SHALL CONFORM TO TABLE 2304.9.1 "FASTENING SCHEDULE" OF THE INTERNATIONAL BUILDING CODE, UNLESS OTHER REQUIREMENTS NOTED ON THE DRAWINGS ARE MORE STRICT. WOOD STRUCTURAL PANEL FASTENERS SHALL BE 8D NAILS MINIMUM. ALL NAILS SHOULD BE COMMONS WIRE NAILS UNLESS NOTED OTHERWISE. GLUE AND NAIL SUBFLOORING TO FRAMING.

B. JOIST TO BEAMS OR JOISTS TO TRUSSES - 16 GA. STD JOIST HANGER, U.N.O. BEAMS TO BEAMS - 16 GA. BEAM HANGERS, U.N.O. TRUSSES TO BEAMS - 16 GA. TRUSS HANGER, U.N.O. TRUSS TO WALL OR RAFTER TO WALL - SIMPSON "H2.5" HURRICANE TIE OR EQUAL AT EACH BEARING POINT. NAILING PER MANUFACTURER'S RECOMMENDATIONS

C. ALL JOISTS, ROOF BEAMS AND GIRDERS SHALL HAVE FULL HORIZONTAL BEAING OF THE MEMBER OVER SUPPORT, U.N.O. DO NOT OVERCUT.

D. ALL HEADERS IN BEARING WALLS SHALL BEAR FULL WIDTH ON POSTS.

E. BUILT UP MEMBERS, COLUMNS, BEAMS, HEADERS, AND DOUBLE JOISTS SHALL BE CONNECTED WITH TWO ROWS OF 10D NAILS AT 6" O.C. STAGGERED, FULL LENGTH OF MEMBER, U.N.O.

F. POST AND BEAMS CONSTRUCTED OF MULTIPLE LAMINATED VENEER LUMBER SHALL BE FASTENED TOGETHER ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

G. JOINTS IN LOAD BEARING TOP PLATES SHALL BE OFFSET AT LEAST 48".

H. FOUNDATION PLATES ON CONCRETE OR MASONRY WALLS SHALL BE PRESSURE TREATED LUMBER, SYP #2 GRADE, MINIMUM. SILLS SHALL BE ANCHORED TO CONCRETE OR MASONRY WITH 1/2" DIAMETER X 12" LONG ANCHOR BOLTS SPACED 48" O.C. MAXIMUM, U.N.O. THERE SHALL BE A MINIMUM OF THREE BOLTS PER PIECES WITH ONE BOLT LOCATED WITH IN 8" OF EACH END OF EACH PIECE. THERE SHALL BE NO SILL PLATE SPLICE UNDER ANY POST OR STUD. SEE SHEARWALL DETAILS AND SCHEDULE FOR ADDITIONAL REQUIREMENTS.

I. BOLT ALL WOOD PLATES TO TOP FLANGE OF STEEL BEAMS WITH 1/2"DIAMETER THROUGH BOLTS AT 24" ON CENTER.

J. ALL HANGERS, STRAPS, CAPS, BASES, HOLDOWNS, TIES, OR OTHER CONNECTORS AND ALL FASTENERS INCLUDING NAILS, ANCHOR BOLTS, AND THREADED RODS IN CONTACT WITH PRESSURE TREATED LUMBER ARE TO BE BATCH/ POST HOT DIPPED GALVANIZED PER ASTM A123 WITH MINIMUM G185 COATING OR STAINLESS STEEL WITH CHEMICAL COMPOSITION CONFORMING TO AISI 303/304 OR AISI 316. FASTENERS AND CONNECTIONS ARE TO BE OF THE SAME MATERIAL, STAINLESS STEEL OR HOT DIPPED GALVANIZED, DO NOT MIX MATERIALS.

K. ALL MECHANICAL ANCHORS INCLUDING WEDGE ANCHORS AND SLEEVE ANCHORS IN CONTACT WITH PRESSURE TREATED LUMBER ARE TO BE STAINLESS STEEL WITH CHEMICAL COMPOSITION CONFORMING TO AISI 303/304 OR AISI 316.

MISCELLANEOUS:

A. NON-LOAD BEARING HEADERS SHALL CONSIST OF THE FOLLOWING (U.N.O.):
   0 TO 4'-0" OPENING (2)2X6
   4'-1" TO 8'-0" OPENING (2)2X8
   8'-1" TO 12'-0" OPENING (2)2X12

B. NO NOTCHING OF STUDS, JOISTS, RAFTERS, BEAMS, OR TRUSSES IS PERMITTED WITHOUT THE ENGINEER'S APPROVAL. HOLES BORED INTO THE STUD OR JOIST SHALL BE INT HE MIDDEL 1/3 OF THE DEPTH, MIDDLE 1/3 OF THE SPAN, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED 1/3 OF THE DEPTH.

C. PROVIDE ONE LINE OF SOLID BLOCKING OR CROSS BRIDGING AT 8'-0" O.C. MAX. FOR ALL FLOOR JOISTS. USE SOLID BLOCKING AT ALL JOIST AND RAFTER BEARING.

D. PROVIDE SOLID BLOCKING AT MID-HEIGHT FOR ALL EXTERIOR STUD WALLS AND INTERIOR BEARING PARTITIONS WHICH ARE NOT SHEATHED EACH SIDE WITH GYPSUM BOARD OR APA-RATED SHEATHING.

E. USE SINGLE JACK STUDS UNDER BEAM AND HEADER BEARINGS FOR ROUGH OPENINGS UP AND INCLUDING 4'-0", AND DOUBLE JACK STUDS UNDER BEAM AND HEADER BEARINGS FOR SPANS GREATER THAN 4'-0", U.N.O.

F. ROOF OR FLOOR PANELS SHALL BE ORIENTED WITH LONG DIMENSION PERPENDICULAR TO SUPPORT TRUSSES OR RAFTERS.

G. VERIFY SIZE, NUMBER, AND LOCATION OF ALL MECHANICAL OPENINGS IN ROOF DECK WITH MECHANICAL CONTRACTOR.

WOOD TRUSS NOTES:

MATERIALS:

A. LUMBER: AS REQUIRED BY THE TRUSS MANUFACTURER. MINIMUM GRADE TO BE SYP NO. 2 KD 15 PERCENT MC, EXCEPT FOR WEBS, WHICH MAY BE MINIMUM GRADE OF SYP NO. 3, KD 15 PERCENT MC.

B. CONNECTIONS: ALL INTERNAL TRUSS CONNECTIONS ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER. CONNECTORS SHALL BE DEFORMED PLATE TYPE, OF MINIMUM 20 GAUGE GALVANIZED STEEL SHEET. ALL JOINTS ARE TO BE DESIGNED USING METHODS AS SET FORTH IN TPI STANDARDS 1976.

C. HANGERS: ALL TRUSS TO TRUSS HANGERS SHALL BE MINIMUM 16 GA., AND SHALL BE PROVIDED BY THE TRUSS SUPPLIER.

D. ALL HANGERS, STRAPS, CAPS, BASES, HOLDOWNS, TIES, OR OTHER CONNECTORS AND ALL FASTENERS INCLUDING NAILS, ANCHOR BOLTS, AND THREADED RODS IN CONTACT WITH PRESSURE TREATED LUMBER ARE TO BE BATCH/ POST HOT DIPPED GALVANIZED PER ASTM A123 WITH MINIMUM G185 COATING OR STAINLESS STEEL WITH CHEMICAL COMPOSITION CONFORMING TO AISI 303/304 OR AISI 316.

E. ALL FASTENERS INCLUDING NAILS, ANCHOR BOLTS, POWDER ACTUATED FASTENERS, SCREWS, BOLTS, AND THREADED RODS, IN CONTACT WITH PRESSURE TREATED LUMBER ARE TO BE HOT DIPPED GALVANIZED PER ASTM A153 WITH A MINIMUM G185 COATING OR STAINLESS STEEL WITH CHEMICAL COMPOSITION CONFORMING TO AISI 303/304 OR AISI 316. FASTENERS AND CONNECTIONS ARE TO BE OF THE SAME MATERIAL, STAINLESS STEEL OR HOT DIPPED GALVANIZED, DO NOT MIX MATERIALS.

SPECIFICATIONS AND REFERENCE STANDARDS: UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION, ERECTION, HANDLING AND BRACING REQUIREMENTS ARE TO BE GOVERNED BY THE LATEST REVISIONS OF:

A. NATIONAL DESIGN SPECIFICATIONS FOR STREE-GRADE LUMBER AND ITS FASTENINGS.
B. TIMBER CONSTRUCTION STANDARDS.
C. DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES.
D. TRUSS PLATE INSTITUTE PUBLICATION - BTW BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS EXCEPT AS NOTED BELOW.

DESIGN:

A. WHERE TRUSSES ARE REQUIRED TO FRAME INTO OTHER TRUSSES, DESIGN OF THE HANGERS SHALL BE THE RESPONSIBILITY OF THE TRUSS SUPPLIER. THE TRUSS SUPPLIER SHALL MAKE NECESSARY PROVISIONS IN THE SUPPORTING TRUSS TO ACCEPT THE TYPE OF HANGER REQUIRED.
B. THE DESIGN OF ALL WEB MEMBER PERMANENT BRACE SIZES AND CONNECTIONS, REQUIRED FOR THE STRUCTURAL ADEQUACY OF THE TRUSSES, SHALL BE THE SOLE RESPONSIBILITY OF THE TRUSS SUPPLIER.
C. ADDITIONAL MEMBER PERMANENT BRACE SIZED AND CONNECTIONS, NOT PROVIDED BY THE SHEATHING SHOWN ON THE CONSTRUCTION DRAWINGS SHALL ALSO BE THE RESPONSIBILITY OF THE TRUSS SUPPLIER. THIS BRACING CAN INCLUDE, BUT IS NOT LIMITED TO, TOP CHORD BRACING FOR TRUSSES WITH PIGGY-BACKS, AND INTERMEDIATE BRACED FOR GABLE TRUSS WEB MEMBERS.

SUBMITTALS:

A. TRUSS DESIGNS ARE TO BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION. TRUSS SUBMITTALS SHALL INCLUDE THE FOLLOWING INFORMATION:
   1. DESIGN INFORMATION FOR EACH TYPE OF TRUSS SUPPLIED.
   2. LAYOUT DRAWING INDICATING LOCATION OF EACH SPECIFIC TRUSS TYPE.
   3. PERMANENT MEMBER BRACE LOCATIONS, BRACE SIZED AND CONNECTIONS.
   4. TRUSS HANGER TYPE AND LOCATION, FOR ALL TRUSSES FRAMING INTO TRUSSES.
   5. TRUSS DESIGNS AND LAYOUT DRAWING STAMPED BY A REGISTERED PROFESSIONAL ENGINEER, STATE OF OHIO.

B. SUBMITTALS WHICH DO NOT INCLUDE THE ABOVE LISTED INFORMATION WILL BE RETURNED TO THE CONTRACTOR PRIOR TO REVIEW.

MISCELLANEOUS: UNLESS SPECIFICALLY NOTED OTHERWISE ON THE APPROVED TRUSS SHOP DRAWINGS, ALL MEMBERS OF MULTIPLE TRUSSES ARE TO BE NAILED TOGETHER WITH 10D COMMON NAILS AT 8" O.C. FOR DOUBLE TRUSSES, OR WITH 16D COMMON NAILS AT 8" O.C. FROM EACH SIDE, FOR TRIPLE TRUSSES.

A. ALL FABRICATED ROOF TRUSSES & FLOOR TRUSSES SHALL BE FURNISHED IN ACCORDANCE WITH DESIGNES PREPARED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF OHIO. USING THE DESIGN LOADS AND SPAN CONDITIONS INDICATED ON HE CONTRACT DOCUMENTS, NO DEVIATION OF TRUSS SHAPE, BEARING POINT LOCATIONS OR SUPERIMPOSED LOADS, FROM THOSE SHOWN ON THE ARCHITECT AND /OR ENGINEER DRAWINGS WILL BE ALLOWED. SHOP DRAWINGS, INDICATING AN OVERALL ERECTION PLAN INDICATING EACH TYPE OF TRUSS, TRUSS BEARING POINT LOCATIONS, REQUIRED LATERAL BREAKING, EACH TRUSS MEMBER'S SIZE AND STRESS, AND CONNECTION DETAILS SHALL BE SUBMITTED FOR PRIOR APPROVAL TO THE ARCHITECT, ENGINEER AND GENERAL CONTRACTOR.

B. HANDLING OF TRUSSES AND ERECTION BRACING IS THE RESPONSIBILITY OF THE SUBCONTRACTOR. THE SUBCONTRACTOR SHALL PROVIDE TEMPORARY DIAGONAL, LATERAL, AND CROSS BRACING UNTIL ROOF SHEATHING, CEILING AND PERMANENT BRACING CAN BE APPLIED AND SHEAR WALL COMPLETED.

C. THE TRUSS MANUFACTURER SHALL PROVIDE THE GENERAL CONTRACTOR AND SUBCONTRACTOR WITH THE PUBLICATION "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING METAL PLATE CONNECTED WOOD TRUSSES, BCSI 1-03" BY THE TRUSS PLATE INSTITUTE.

D. ALL TRUSSES ARE TO BE DESIGNED AS SIMPLE SPANS CONDITIONS, USING BEARING WALL OR BEAMS AS SHOWN ON PLANS.

E. FLOOR TRUSSES SHALL BE SECURED TO BEARING PLATES WITH A MINIMUM OF 3-16D NAILS.

F. ROOF TRUSSES SHALL BE FASTENED TO THE SUPPORT WALLS WITH SIMPSON "H2.5A" TIES OR EQUAL U.N.O. AND SHALL BE NAILED PER MANUFACTURER'S RECOMMENDATIONS. TIES TO BE VERIFIED AFTER TRUSS DESIGN.

PROJECT STATUS

ZONING VARIANCE

CURRENT ISSUE DATE

3.25.2025

PROJECT NO.

24038

REVISIONS

#	DESCRIPTION	DATE

PROJECT INFORMATION

Morris Residence

Jim & Amanda Morris

3590 Clotts Rd.
Gahanna, OH 43230

STATE OF OHIO
MATTHEW TODDY
1616697
REGISTERED ARCHITECT

MATTHEW TODDY, LICENSE #1616697
EXPIRATION DATE: DECEMBER 31, 2025

ELEVATION STUDIO

SHEET NAME

GENERAL NOTES /CODE INFO.

SHEET NUMBER

G002

Generated by RES*check*-*Web* Software

Compliance Certificate

Project Morris Residence

Energy Code:	**2018 IECC**
Location:	**Columbus, Ohio**
Construction Type:	**Single-family**
Project Type:	**Addition**
Project SubType:	**None**
Climate Zone:	**5 (5708 HDD)**
Permit Date:	
Permit Number:	
All Electric	**false**
Is Renewable	**false**
Has Charger	**false**
Has Battery	**false**
Has Heat Pump:	**false**

Construction Site:
3590 Clotts Rd.
Columbus, Ohio 43230

Owner/Agent:

Designer/Contractor:
Matt Toddy
Elevation Studio
933 Taurus Ave.
Columbus, Ohio 43230

Compliance: Passes using UA trade-off

Compliance: **0.0% Better Than Code** Maximum UA: **108** Your UA: **108**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	651	38.0	0.0	0.030	0.026	20	17
Wall: Wood Frame, 16" o.c.	696	21.0	0.0	0.057	0.060	31	32
Door: Glass Door (over 50% glazing)	42			0.300	0.300	13	13
Window: Vinyl Frame	114			0.300	0.300	34	34
Crawl Wall: Masonry Block w/ Empty Cells Wall height: 3.2' Depth below grade: 2.8' Insulation depth: 3.2'	283	0.0	19.0	0.045	0.055	10	12

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title Signature Date

RES*check* Software Version : REScheck-Web

Inspection Checklist

Energy Code: 2018 IECC

Requirements: 0.0% were addressed directly in the RES*check* software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 (PR1)	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
103.1, 103.2, 403.7 (PR3)	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
302.1, 403.7 (PR2)	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr_____ Cooling: Btu/hr_____	Heating: Btu/hr_____ Cooling: Btu/hr_____	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	

Additional Comments/Assumptions:

Section # & Req.ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.2.11 (FO7)	Unvented crawl space wall insulation R-value.	R-_____ R-_____	R-_____ R-_____	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	*See the Envelope Assemblies table for values.*
303.2 (FO8)	Unvented crawl space wall insulation installed per manufacturer's instructions.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
402.2.11 (FO9)	Unvented crawl space continuous vapor retarder installed over exposed earth, joints overlapped by 6 in. and sealed, extending at least 6 in. up and attached to the wall.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
402.2.11 (FO10)	Unvented crawl space wall insulation depth of burial or distance from top of wall.	____ in.	____ in.	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	*See the Envelope Assemblies table for values.*
303.2.1 (FO11)	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.9 (FO12)	Snow- and ice-melting system controls installed.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	

Additional Comments/Assumptions:

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.1, 402.3.3, 402.5 (FR1)	Glazing U-factor (area-weighted average).	U-_____	U-_____	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	*See the Envelope Assemblies table for values.*
303.1.3 (FR4)	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
402.4.1.1 (FR23)	Air barrier and thermal barrier installed per manufacturer's instructions.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
402.4.3 (FR20)	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
402.4.5 (FR16)	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.3.1 (FR12)	Supply and return ducts in attics insulated to R-8 where duct is >= 3 inches in diameter and >= R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated >= R-6 for diameter >= 3 inches and R-4.2 for < 3 inches in diameter.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.3.2 (FR13)	Ducts, air handlers and filter boxes are sealed with joints/seams compliant with international Mechanical Code or international Residential Code, as applicable.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.3.5 (FR15)	Building cavities are not used as ducts or plenums.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.4 (FR17)	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R-_____	R-_____	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.4.1 (FR24)	Protection of insulation on HVAC piping.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.5.3 (FR18)	Hot water pipes are insulated to ≥R-3.	R-_____	R-_____	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.6 (FR19)	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	

Additional Comments/Assumptions:

Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1, [IN13]	All installed insulation is labeled or the installed R-values provided.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN3]	Wall insulation R-value. If this is a mass wall with at least ½ of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R-_____ ☐ Wood ☐ Mass ☐ Steel	R-_____ ☐ Wood ☐ Mass ☐ Steel	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	*See the Envelope Assemblies table for values.*
303.2 [IN4]	Wall insulation is installed per manufacturer's instructions.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	

Additional Comments/Assumptions:

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.3, [FI18]	Manufacturer manuals for mechanical and water heating systems have been provided.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	

Additional Comments/Assumptions:

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [FI1]	Ceiling insulation R-value.	R-_____ ☐ Wood ☐ Steel	R-_____ ☐ Wood ☐ Steel	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	*See the Envelope Assemblies table for values.*
303.1.1.1, 303.2 [FI2]	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft².			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
402.2.3 [FI22]	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
402.2.4 [FI3]	Attic access hatch and door insulation ≥R-value of the adjacent assembly.	R-_____	R-_____	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
402.4.1.2 [FI17]	Blower door test @ 50 Pa. <=5 ach in Climate Zones 1-2, and <=3 ach in Climate Zones 3-8.	ACH 50 =_____	ACH 50 =_____	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.3.3 [FI27]	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	_____ cfm/100 ft²	_____ cfm/100 ft²	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.3.4 [FI47]	Duct tightness test result of <=4 cfm/100 ft2 across the system or <=5 cfm/100 ft2 across the air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	_____ cfm/100 ft²	_____ cfm/100 ft²	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.3.2.1 [FI24]	Air handler leakage designated by manufacturer at <=2% of design air flow.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.1.1 [FI9]	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.1.2 [FI10]	Heat pump thermostat installed on heat pumps.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.5.1 [FI11]	Circulating service hot water systems have automatic or accessible manual controls.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [FI25]	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits per Table R403.6.1.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.2 [FI26]	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.5.1.1 [FI28]	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosiphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.5.1.2 [FI29]	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.5.2 [FI30]	Demand recirculation water systems have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to <= 104ºF.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.5.4 [FI31]	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
404.1 [FI6]	90% or more of permanent fixtures have high efficacy lamps.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
404.1.1 [FI23]	Fuel gas lighting systems have no continuous pilot light.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
401.3 [FI77]	Compliance certificate posted.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	

2018 IECC Energy Efficiency Certificate

Insulation Rating	R-Value
Above-Grade Wall	**21.00**
Below-Grade Wall	**19.00**
Floor	**0.00**
Ceiling / Roof	**38.00**
Ductwork (unconditioned spaces):	_____
Glass & Door Rating	**U-Factor** **SHGC**
Window	**0.30**
Door	**0.30**
Heating & Cooling Equipment	**Efficiency**
Heating System:_____	_____
Cooling System:_____	_____
Water Heater:_____	_____

Name: _____ **Date:** _____

Comments

PROJECT STATUS

ZONING VARIANCE

CURRENT ISSUE DATE

3.25.2025

PROJECT NO.

24038

REVISIONS

#	DESCRIPTION	DATE

PROJECT INFORMATION

Morris Residence

Jim & Amanda Morris

3590 Clotts Rd.
Gahanna, OH 43230

STATE OF OHIO
MATTHEW TODDY
REGISTERED ARCHITECT
1616697

MATTHEW TODDY, LICENSE #1616697
EXPIRATION DATE: DECEMBER 31, 2025

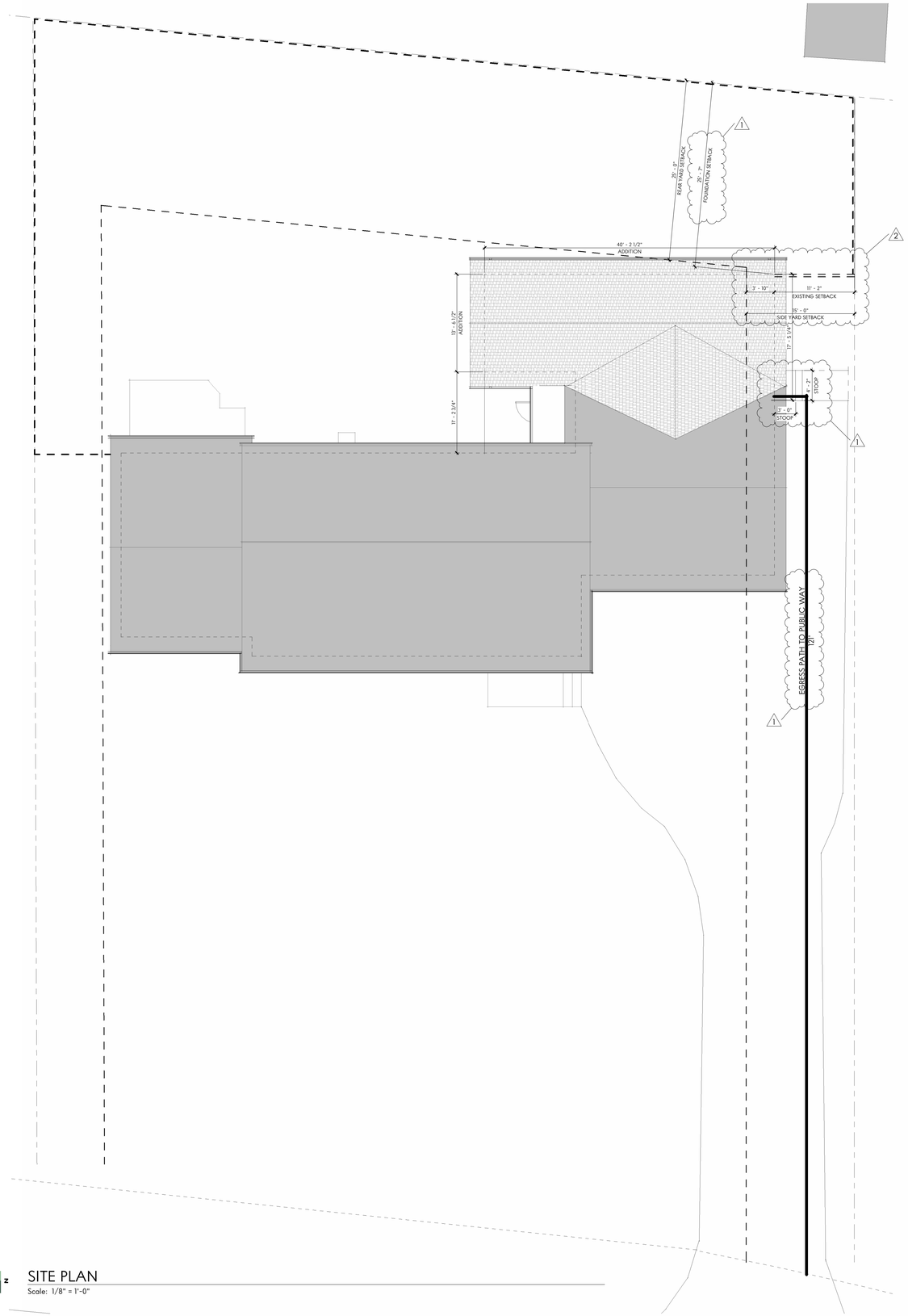
ELEVATION STUDIO

SHEET NAME

RESCHECK REPORT

SHEET NUMBER

G003



SITE PLAN

Scale: 1/8" = 1'-0"

GENERAL NOTES - SITE PLAN

A. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEKING CLARIFICATION FROM ARCHITECT PRIOR TO CONSTRUCTION.

B. ALL DIMENSIONS ARE FROM FINISHED SURFACE TO FINISHED SURFACE, UNLESS NOTED OTHERWISE.

C. ARCHITECTURAL SITE PLAN IS PROVIDED TO SHOW THE RELATIONSHIP OF THE ARCHITECTURAL ELEMENTS AND TO PROVIDE PLAN AND DETAIL KEY REFERENCE ONLY.

PROJECT STATUS

ZONING VARIANCE

CURRENT ISSUE DATE

3.25.2025

PROJECT NO.

24038

REVISIONS

#	DESCRIPTION	DATE
1	Revision 1	3.11.2025
2	Revision 2	3.25.2025

PROJECT INFORMATION

Morris Residence

Jim & Amanda Morris

3590 Clotts Rd.
Gahanna, OH 43230

MATTHEW TODDY, LICENSE #1616697
EXPIRATION DATE: DECEMBER 31, 2025

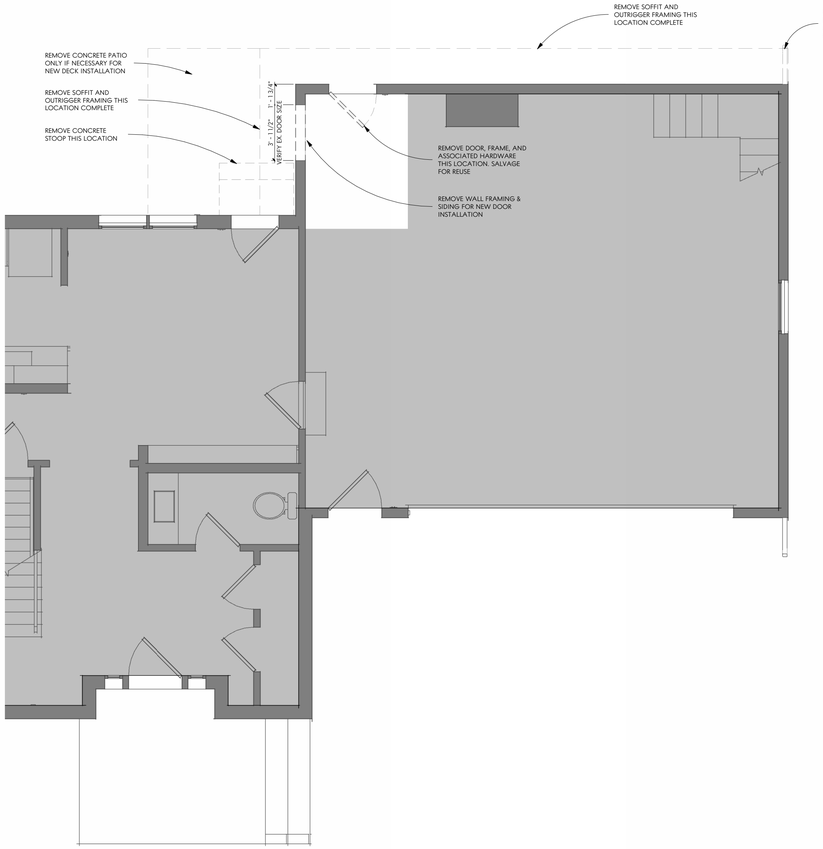
ELEVATION STUDIO

SHEET NAME

ARCHITECTURAL SITE PLAN

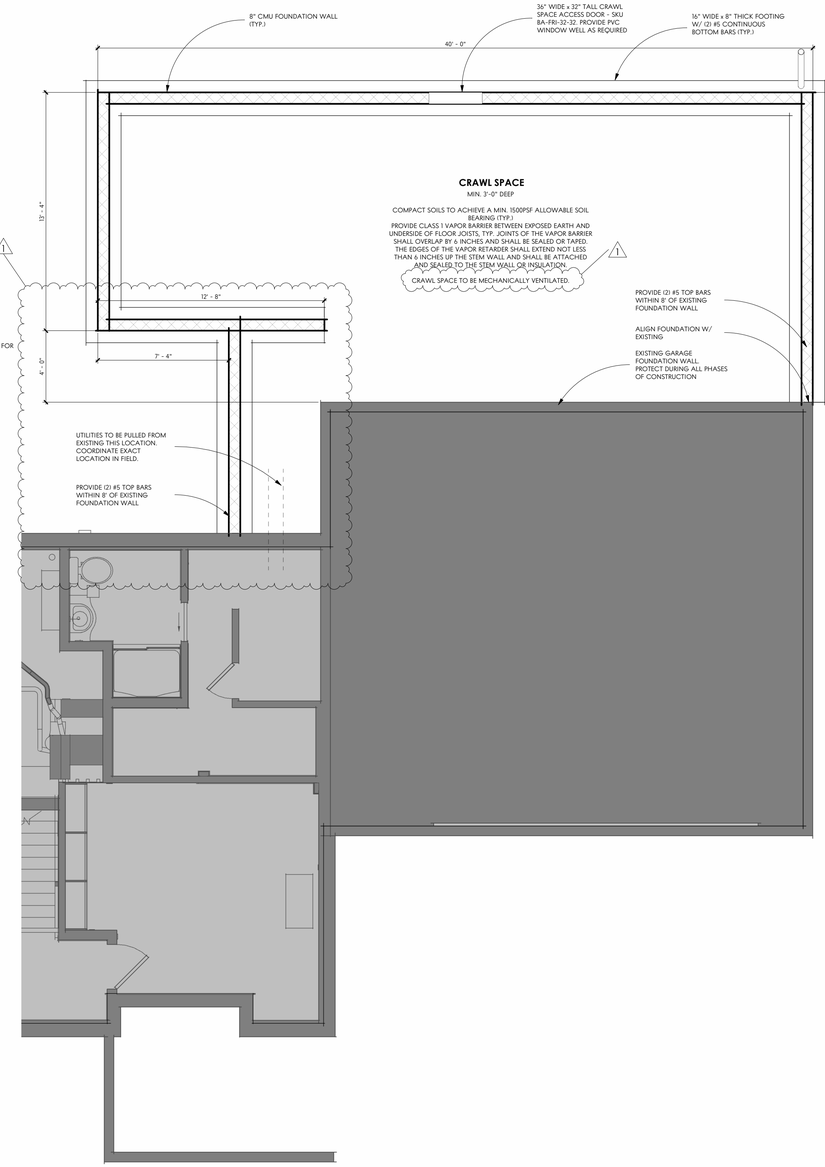
SHEET NUMBER

A100



DEMOLITION PLAN

Scale: 1/4" = 1'-0"



FOUNDATION PLAN

Scale: 1/4" = 1'-0"

LEGEND - DEMOLITION PLAN

INDICATES EXISTING WALL OR ELEMENT TO REMAIN.

INDICATES EXISTING WALL OR ELEMENT TO BE REMOVED.

GENERAL NOTES - DEMOLITION PLAN

A. ALL ITEMS NOTED AS REMOVED OR DEMOLISHED BECOME THE PROPERTY OF THE CONTRACTOR, AND ARE TO BE DISPOSED OF IN A MANNER COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

B. NOTIFY ARCHITECT OF ALL EXISTING CONSTRUCTION NOT SPECIFICALLY NOTED ON THE DRAWINGS AND REMOVE OR RETAIN THOSE ITEMS ONLY AS DIRECTED BY THE ARCHITECT.

C. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING OF EXISTING STRUCTURE AND ALL CONSTRUCTION DURING DEMOLITION AND NEW CONSTRUCTION.

D. REMOVE DAMAGED CORNER BEADS AND ANY BEADS AT EXISTING CORNERS WHERE NEW WALLS ALIGN WITH EXISTING TRIM.

E. REMOVE PROMPTLY FROM THE PREMISES ALL PRODUCTS OF DEMOLITION NOT DESIGNATED FOR REUSE. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE. TAKE APPROPRIATE MEASURES TO CONTROL DUST.

F. PIPES, CONDUIT AND DUCTWORK ENCOUNTERED IN DEMOLISHED PARTITIONS AND CEILINGS WHICH ARE TO REMAIN WILL BE RE-ROUTED AND CONCEALED. THOSE WHICH ARE TO BE ABANDONED SHALL BE CAPPED AND COMPLETELY CONCEALED IN THE FLOOR, WALL, OR CEILING.

G. GENERAL CONTRACTOR IS TO INSTALL FLOOR-TO-CEILING 6MIL POLYETHYLENE BARRIER BETWEEN OCCUPIED AREAS AND RENOVATED AREAS. MAINTAIN EXISTING WALLS AS TEMPORARY PROTECTIVE BARRIERS UNTIL PHASING REQUIRES DEMOLITION OF EXISTING PARTITIONS. PROTECT DOORS, MOLDINGS, AND WALLS WITH NON-STAINING PAPER.

H. THE CONTRACTOR IS TO PROMPTLY REPAIR ALL DAMAGE CAUSED TO ADJACENT AREAS BY DEMOLITION AT NO ADDITIONAL EXPENSE TO THE TENANT/ OWNER WITH MATCHING MATERIAL, FINISH, AND COLOR.

I. THE CONTRACTOR IS RESPONSIBLE FOR MOVING ANY FURNITURE WHICH MAY BE NECESSARY FOR DEMOLITION OR NEW CONSTRUCTION.

J. ALL WORK CAUSING EXCESSIVE NOISE OR REQUIRING SHUTDOWN OF ANY SERVICES, UTILITIES, OR RISERS SERVING OCCUPIED AREAS OF THE BUILDING SHALL BE CARRIED OUT ONLY BY ARRANGEMENT WITH THE TENANT/ OWNER/ BUILDING MANAGEMENT.

K. ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS OR VOIDS IN THE FLOOR ARE TO BE PATCHED TO LEVEL WITH R-DEX OR EQUAL MATERIAL.

L. REMOVE ALL RESIDUAL CARPET, PADDING, TACK STRIPS, OR ADHESIVE FROM THE AREAS DESIGNATED.

M. REMOVE EXISTING CEILING TILE AS INDICATED ON REFLECTIVE CEILING PLANS. EXISTING BLACK IRON MAY BE REUSED AT CONTRACTOR'S OPTION AND ARCHITECT'S APPROVAL.

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1	Revision 1	3.11.2025

PROJECT INFORMATION

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1616697
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MATTHEW TODDY, LICENSE #1616697
EXPIRATION DATE: DECEMBER 31, 2025

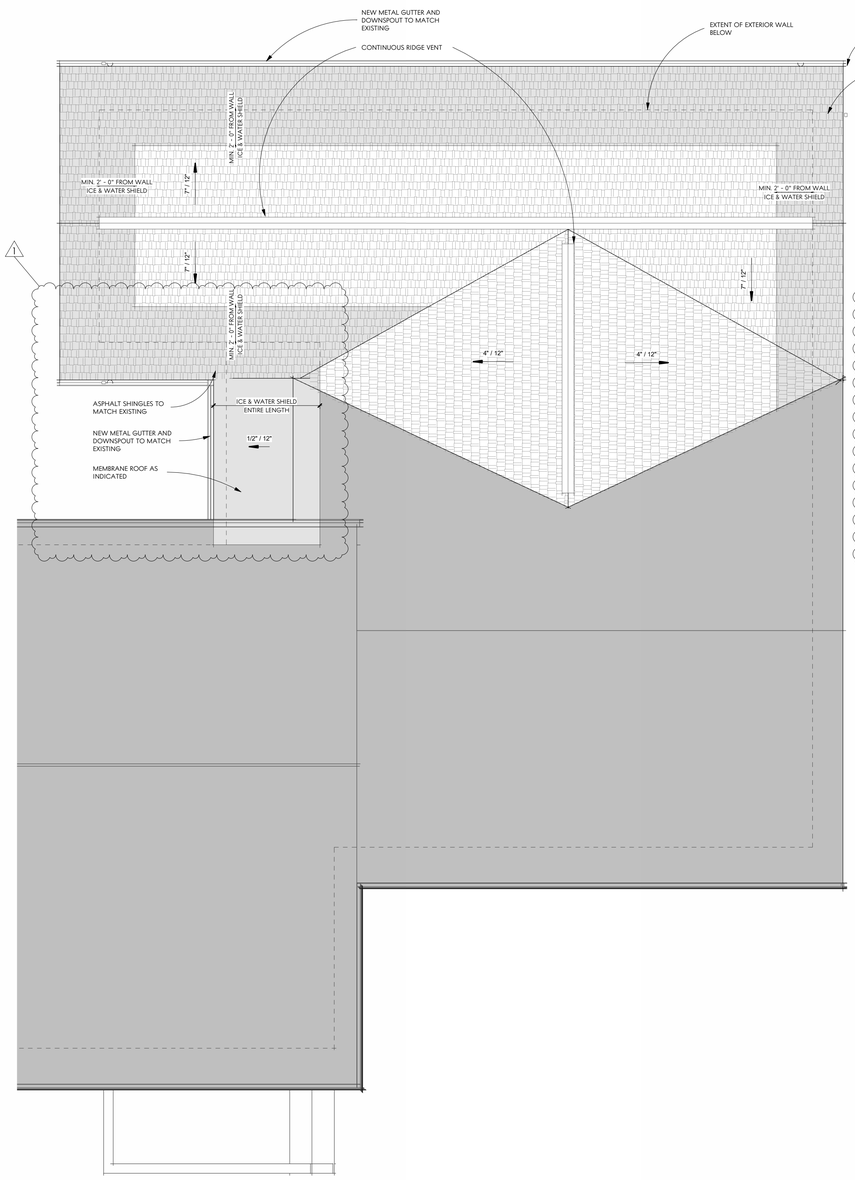
ELEVATION STUDIO

SHEET NAME

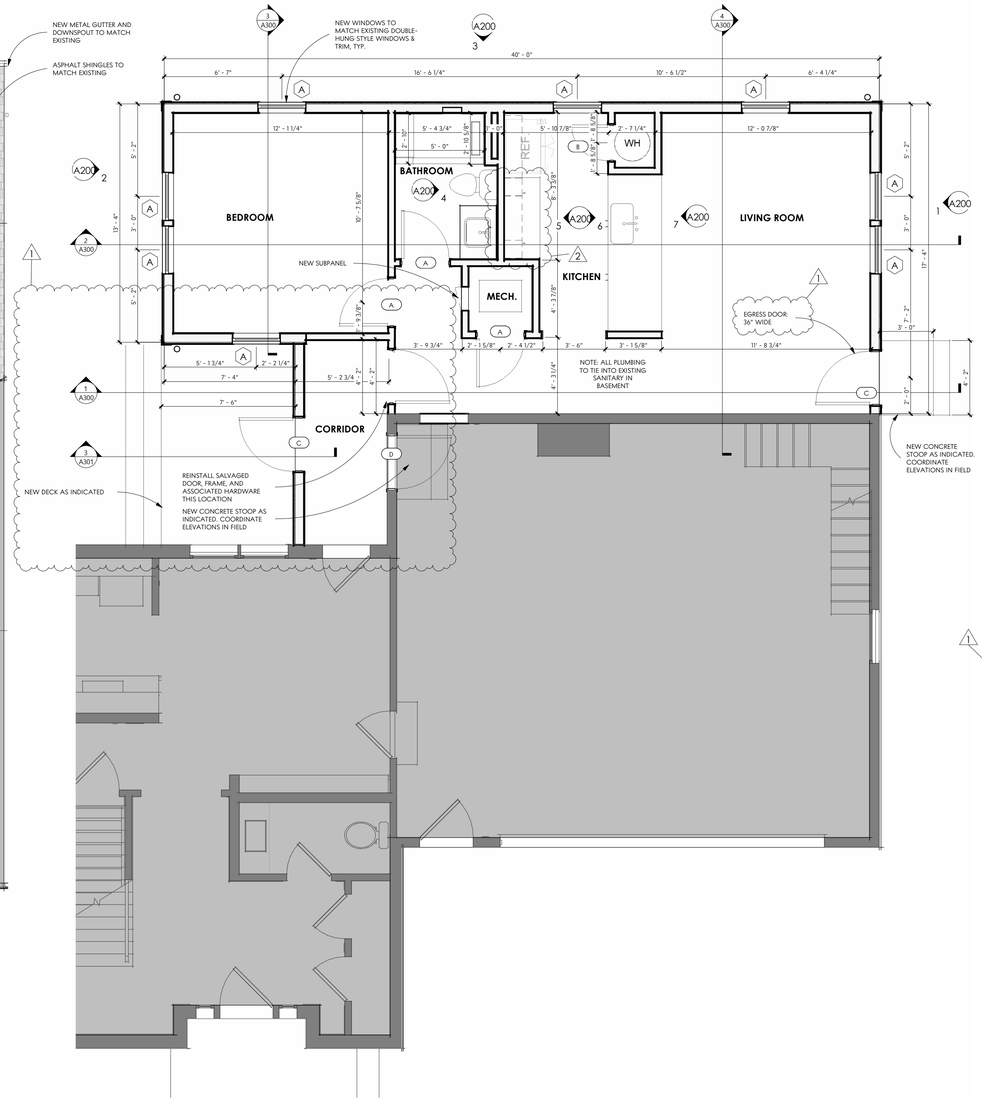
DEMOLITION & FOUNDATION PLANS

SHEET NUMBER

A101



ROOF PLAN
Scale: 1/4" = 1'-0"



ARCHITECTURAL PLAN
Scale: 1/4" = 1'-0"

WINDOW SCHEDULE

WINDOW #	DESCRIPTION	HEIGHT	WIDTH	HEAD HEIGHT	COMMENTS
A	VINYL-CLAD WINDOW	5' - 6"	2' - 8"	7' - 0"	MATCH EXISTING WINDOW TYPE, FUNCITON, COLOR, & TRIM

DOOR SCHEDULE

DOOR #	DESCRIPTION	SLAB HEIGHT	SLAB WIDTH	COMMENTS
A	INTERIOR WOOD DOOR	6' - 8"	2' - 8"	
B	INTERIOR WOOD DOOR	6' - 8"	2' - 0"	
C	EXTERIOR DOOR	6' - 8"	3' - 0"	FULL-LITE GLAZING
D	EXTERIOR DOOR	6' - 8"	3' - 0"	

GENERAL NOTES - ROOF PLAN

A. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEKING CLARIFICATION FROM ARCHITECT PRIOR TO CONSTRUCTION.

B. ALL DIMENSIONS ARE FROM FINISHED SURFACE TO FINISHED SURFACE, UNLESS NOTED OTHERWISE.

C. CONFIRM ROOF WARRANTY/REQUIREMENTS WITH LANDLORD PRIOR TO COMMENCEMENT OF WORK. ALL ROOF WORK SHALL BE PROVIDED BY A LANDLORD APPROVED ROOFING CONTRACTOR.

D. LABEL ALL ROOFTOP EQUIPMENT WITH SPACE NUMBER PER BUILDING STANDARDS.

E. NO ROOF CURB ADAPTORS ARE PERMITTED. GC MUST PROVIDE ALL NEW ROOF CURBS PROPERLY FLASHED.

LEGEND - ARCHITECTURAL PLAN

INDICATES EXISTING TO REMAIN.

INDICATES NEW **WOOD** STUD CONSTRUCTION

GENERAL NOTES - ARCHITECTURAL PLAN

A. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEKING CLARIFICATION FROM ARCHITECT PRIOR TO CONSTRUCTION.

B. ALL DIMENSIONS ARE FROM FINISHED SURFACE TO FINISHED SURFACE, UNLESS NOTED OTHERWISE.

C. **REFER TO SHEET A601 FOR WALL TYPE SPECIFICATIONS.**

PROJECT STATUS

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EXPIRATION DATE: DECEMBER 31, 2025

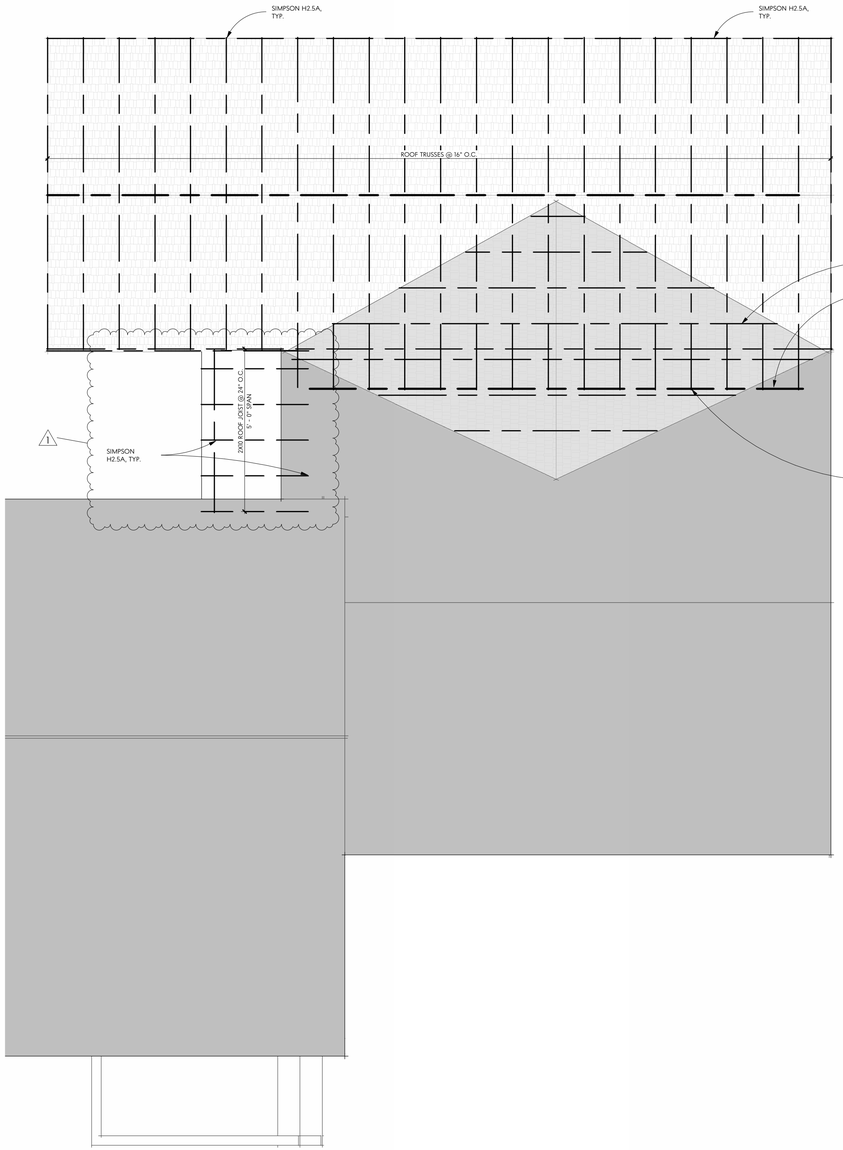
ELEVATION STUDIO

SHEET NAME

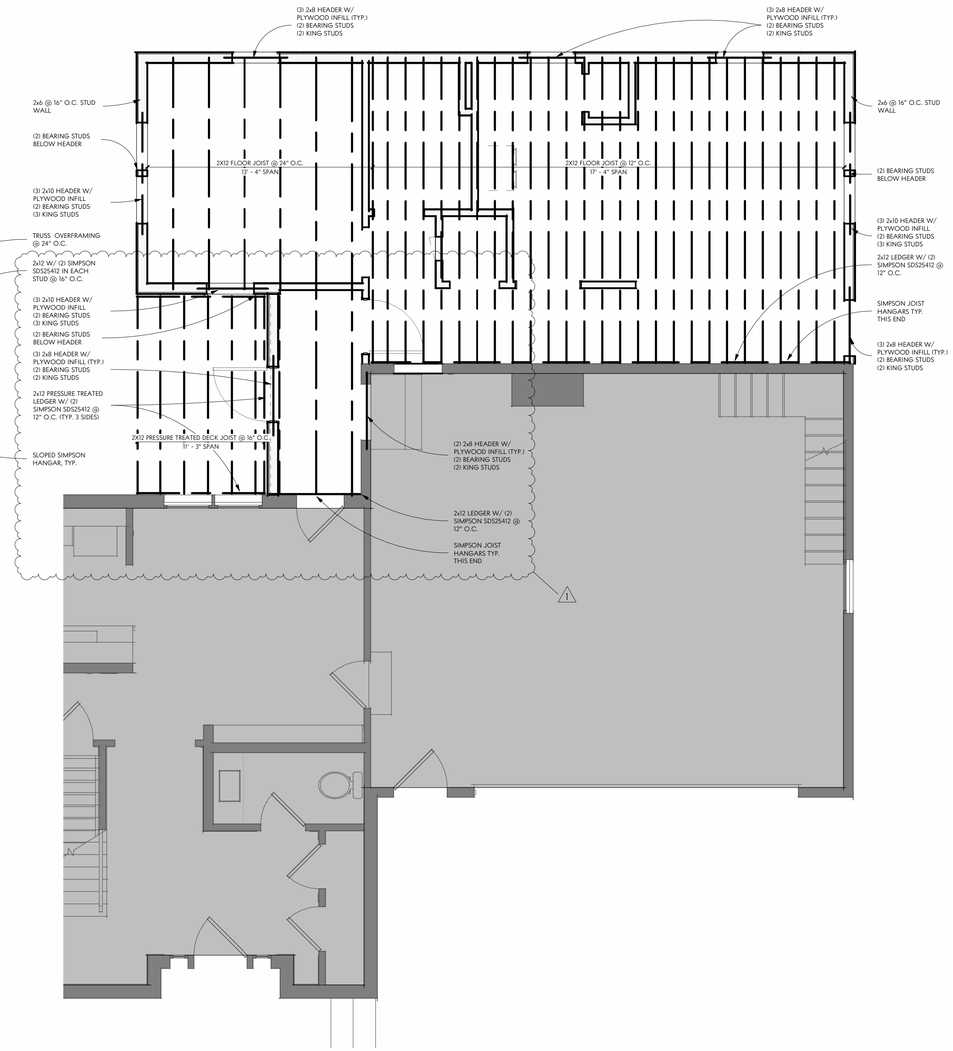
ARCHITECTURAL & ROOF PLANS

SHEET NUMBER

A102



ROOF PLAN
Scale: 1/4" = 1'-0"



ARCHITECTURAL PLAN
Scale: 1/4" = 1'-0"

LEGEND - ARCHITECTURAL PLAN

INDICATES EXISTING TO REMAIN.

INDICATES NEW **WOOD** STUD CONSTRUCTION

GENERAL NOTES - ARCHITECTURAL PLAN

A. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEKING CLARIFICATION FROM ARCHITECT PRIOR TO CONSTRUCTION.

B. ALL DIMENSIONS ARE FROM FINISHED SURFACE TO FINISHED SURFACE, UNLESS NOTED OTHERWISE.

C. **REFER TO SHEET A601 FOR WALL TYPE SPECIFICATIONS.**

PROJECT STATUS

ZONING VARIANCE

CURRENT ISSUE DATE

3.25.2025

PROJECT NO.

24038

REVISIONS

#	DESCRIPTION	DATE
1	Revision 1	3.11.2025

PROJECT INFORMATION

Morris Residence

Jim & Amanda Morris

3590 Clotts Rd.
Gahanna, OH 43230

STATE OF OHIO
MATTHEW TODDY
1616697
REGISTERED ARCHITECT

MATTHEW TODDY, LICENSE #1616697
EXPIRATION DATE: DECEMBER 31, 2025

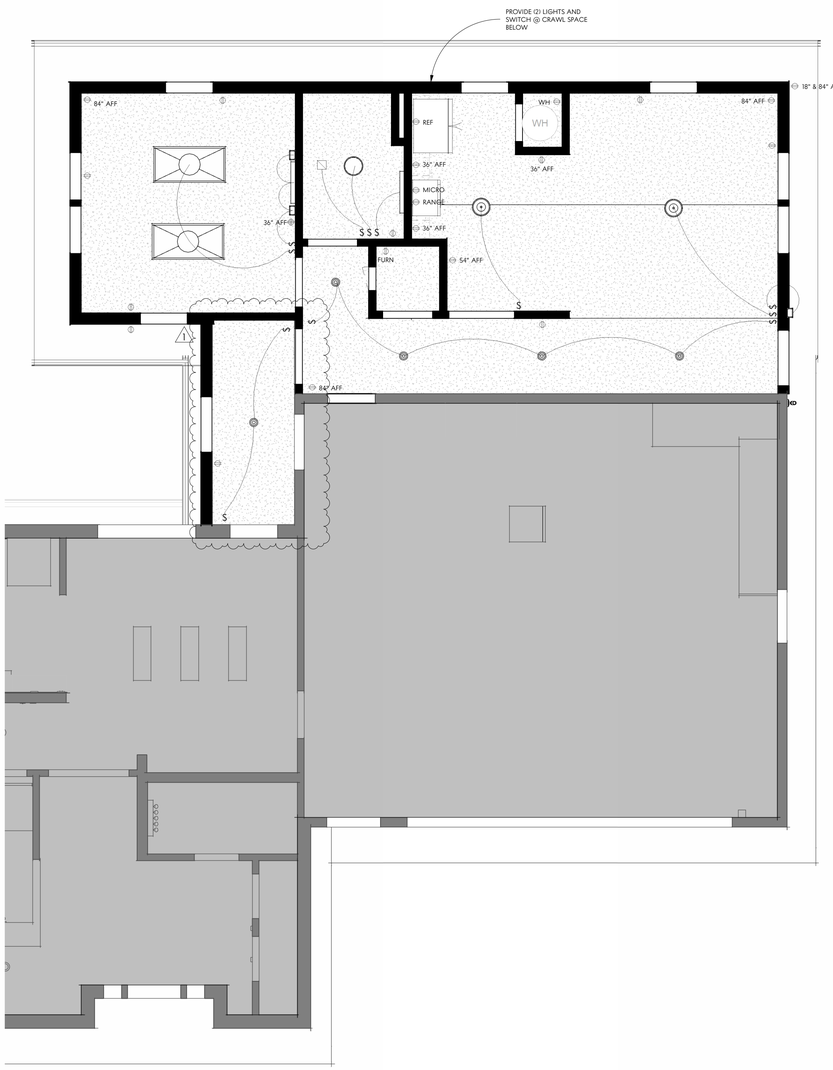
ELEVATION STUDIO

SHEET NAME

FRAMING PLANS

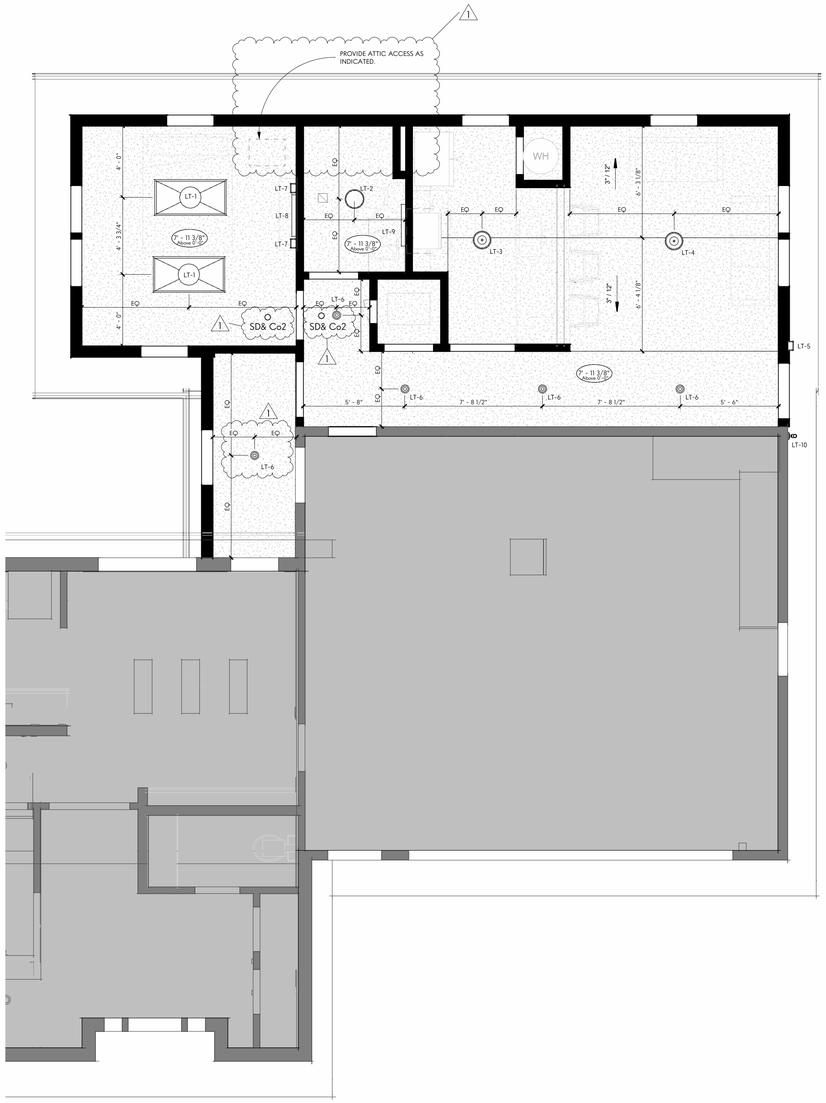
SHEET NUMBER

A103



ELECTRICAL PLAN

Scale: 1/4" = 1'-0"



REFLECTED CEILING PLAN

Scale: 1/4" = 1'-0"

CEILING LEGEND

PAINTED 5/8" GYPSUM BOARD CEILING

LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	MODEL	TYPE	MOUNTING HEIGHT
LT-1	2x4 LED FLAT PANEL	BY GC	BY GC	LED	
LT-2	CEILING LIGHT	BY GC	BY GC	LED	
LT-3	PENDANT	BY OWNER	BY OWNER	LED	B.O. FIXTURE 7'-6" AFF
LT-4	PENDANT	BY OWNER	BY OWNER	LED	B.O. FIXTURE 7'-6" AFF
LT-5	EXTERIOR SCONCE	BY OWNER	BY OWNER	LED	REFER TO ELEVATIONS
LT-6	RECESSED CAN	BY GC	BY GC	LED	
LT-7	WALL SCONCE	BY OWNER	BY OWNER	LED	COORDINATE WITH OWNER IN FIELD
LT-8	WALL SCONCE	BY OWNER	BY OWNER	LED	COORDINATE WITH OWNER IN FIELD
LT-9	WALL SCONCE	BY OWNER	BY OWNER	LED	COORDINATE WITH OWNER IN FIELD
LT-10	FLOOD LIGHT	BY OWNER	BY OWNER	LED	

GENERAL NOTES - REFLECTED CEILING PLAN

A. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR IS RESPONSIBLE FOR SEEKING CLARIFICATION FROM ARCHITECT PRIOR TO CONSTRUCTION.

B. ALL DIMENSIONS ARE FROM FINISHED SURFACE TO FINISHED SURFACE, UNLESS NOTED OTHERWISE.

C. ARCHITECTURAL REFLECTED CEILING PLANS ARE FOR THE PURPOSE OF INDICATING THE DESIGN INTENT ONLY. INDICATED LOCATION OF HVAC DIFFUSERS, RETURN AIR GRILLES, LIGHT FIXTURES, ETC., ARE SHOWN ONLY FOR COORDINATION OF THESE ITEMS WITH THE ARCHITECTURAL DESIGN ELEMENTS. REFER TO ENGINEER'S DRAWINGS FOR SPECIFICATIONS AND EXACT LOCATIONS OF THESE ITEMS. IF DISCREPANCIES BETWEEN THE ENGINEERING DRAWINGS AND ARCHITECTURAL DRAWINGS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLING WORK IN QUESTION.

D. CEILING GRID LAYOUT IS TO BE CENTERED BOTH WAYS IN ROOMS OR SPACES UNLESS NOTED OTHERWISE.

E. HVAC DIFFUSERS AND RETURN AIR GRILLES ARE TO BE CENTERED BETWEEN LIGHT FIXTURES UNLESS NOTED OTHERWISE.

F. THE CONTRACTOR SHALL PROVIDE ACCESS PANELS, WHERE EQUIPMENT REQUIRING ACCESS IS LOCATED ABOVE FINISHED, NON-ACCESSIBLE CEILINGS. MATCH ACCESS PANEL TO ADJACENT FINISH. COORDINATE SPECIFIC ACCESS PANEL DETAILS WITH ARCHITECT.

G. DO NOT INSTALL LIGHT FIXTURES LENSES OR REMOVE PROTECTIVE PLASTIC FILM UNTIL CARPET HAS BEEN INSTALLED AND VACUUMED.

H. INSTALL ACOUSTICAL CEILING PANELS WITH GRAIN/TEXTURE RUNNING IN THE SAME DIRECTION UNLESS INDICATED OTHERWISE.

I. IF ACOUSTICAL CEILING PANELS HAVE BEEN SPECIFIED, CONTRACTOR SHALL INCLUDE AN ALLOWANCE TO PROVIDE OWNER WITH A FIVE PERCENT ATTIC STOCK OF EACH PANEL TYPE USED ON THE PROJECT, IN UNOPENED CARTONS FOR MAINTENANCE AND REPLACEMENT USE. VERIFY ACTUAL QUANTITY WITH OWNER PRIOR TO ORDER.

J. GYPSUM BOARD CEILINGS AND SOFFITS AS INDICATED ON THESE DRAWINGS ARE TO BE ATTACHED OR SUSPENDED ACCORDING TO CONSTRUCTION PROCEDURES DESCRIBED IN LATEST EDITION OF *THE GYPSUM CONSTRUCTION HANDBOOK* BY USG; PUBLISHED BY WILEY.

K. ALL CEILING MOUNTED ITEMS SHALL BE INSTALLED PER MANUFACTURES INSTRUCTIONS. CONTRACTOR SHALL IDENTIFY AND PROVIDE ALL REQUIRED BLOCKING FOR THEIR PROPER ATTACHMENT.

PROJECT STATUS

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PROJECT NO.

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Jim & Amanda Morris

3590 Clotts Rd.
Gahanna, OH 43230

STATE OF OHIO
MATTHEW TODDY
1616697
REGISTERED ARCHITECT

MATTHEW TODDY, LICENSE #1616697
EXPIRATION DATE: DECEMBER 31, 2025

ELEVATION STUDIO

SHEET NAME

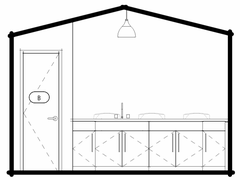
ELECTRICAL & CEILING PLANS

SHEET NUMBER

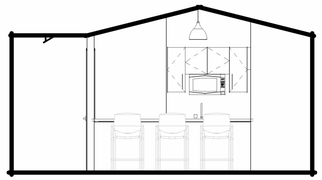
A104

4 INTERIOR ELEVATION
Scale: 1/4" = 1'-0"

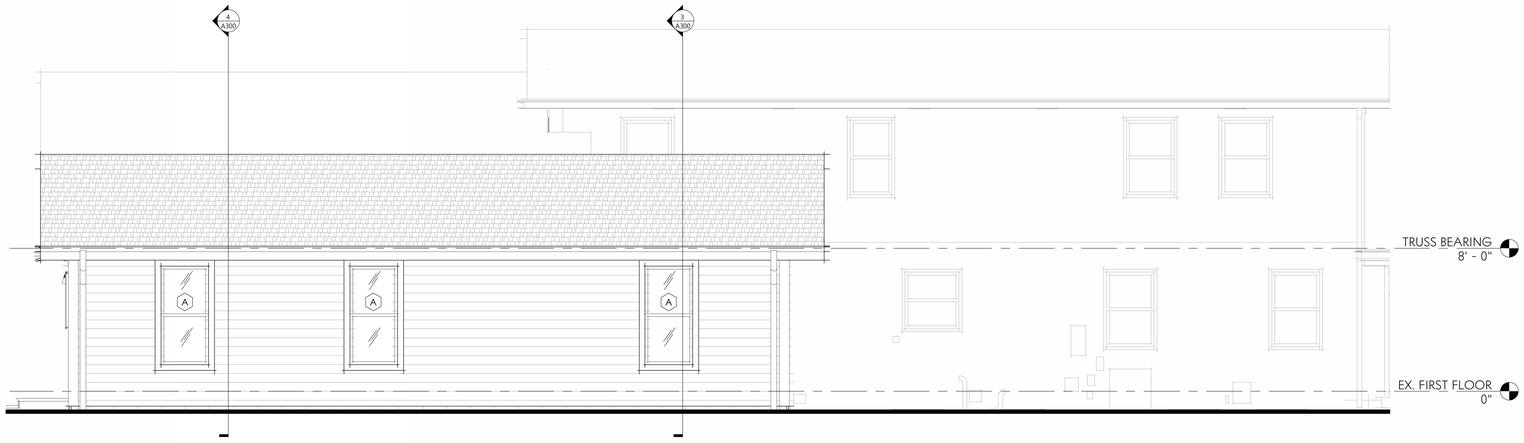
5 INTERIOR ELEVATION
Scale: 1/4" = 1'-0"



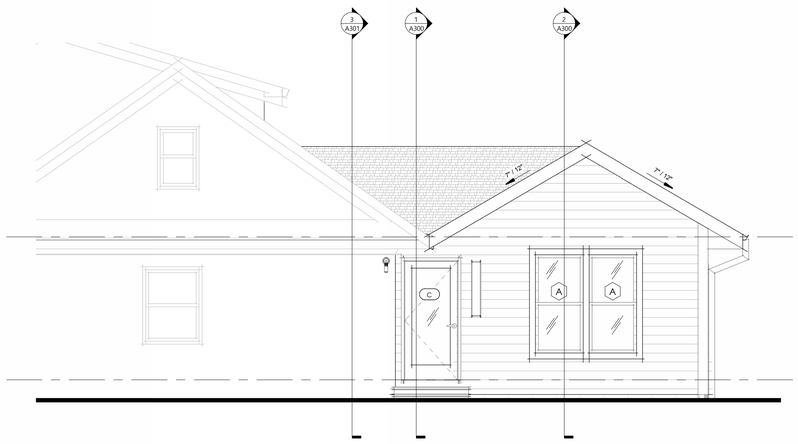
6 INTERIOR ELEVATION
Scale: 1/4" = 1'-0"



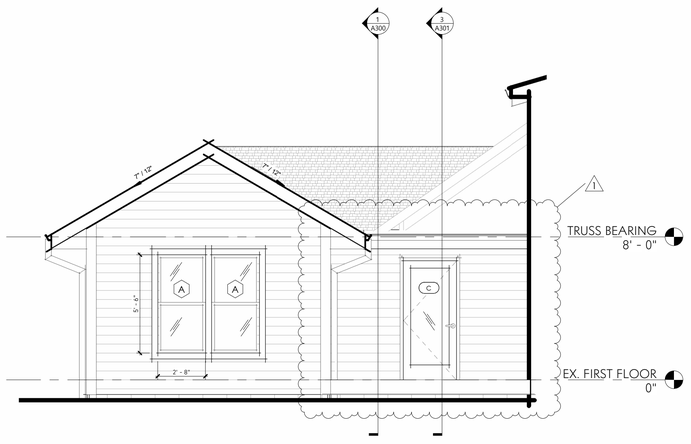
7 INTERIOR ELEVATION
Scale: 1/4" = 1'-0"



3 EAST ELEVATION
Scale: 1/4" = 1'-0"



1 SOUTH ELEVATION
Scale: 1/4" = 1'-0"

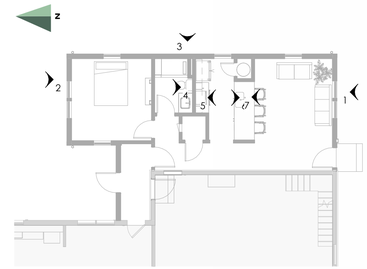


2 NORTH ELEVATION
Scale: 1/4" = 1'-0"

MATERIAL NOTES

- MATCH EXISTING VINYL SIDING AND TRIM PROFILES
- MATCH EXISTING SOFFIT AND FASICA TRIM PROFILES

KEY PLAN - EXTERIOR ELEVATIONS



GENERAL NOTES - EXTERIOR ELEVATIONS

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MATTHEW TODDY, LICENSE #1616697
EXPIRATION DATE: DECEMBER 31, 2025

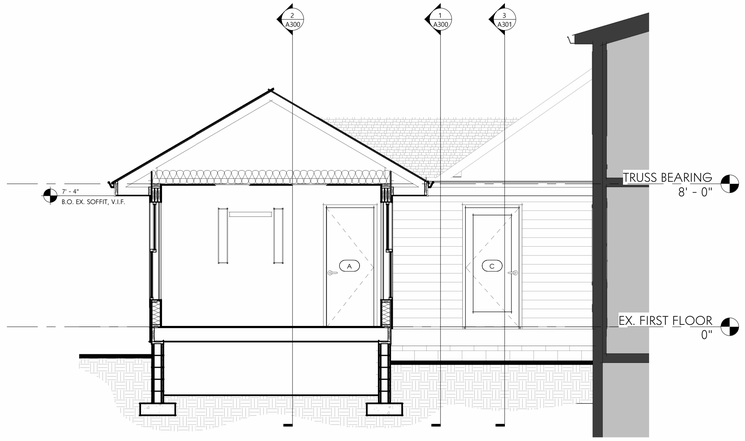
ELEVATION STUDIO

SHEET NAME

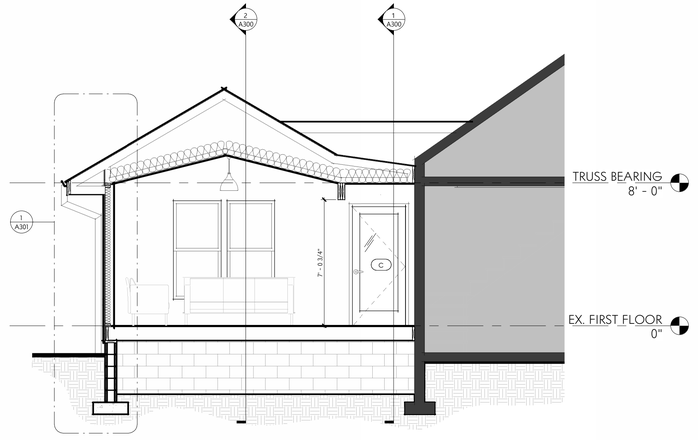
ELEVATIONS

SHEET NUMBER

A200

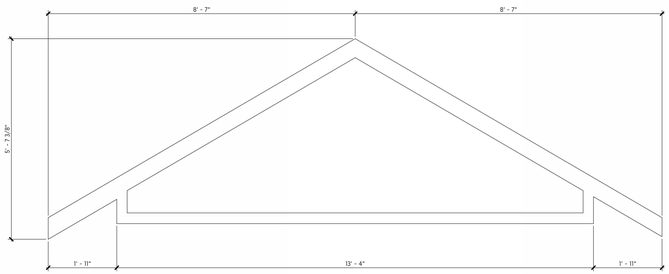


3 BUILDING SECTION D
Scale: 1/4" = 1'-0"

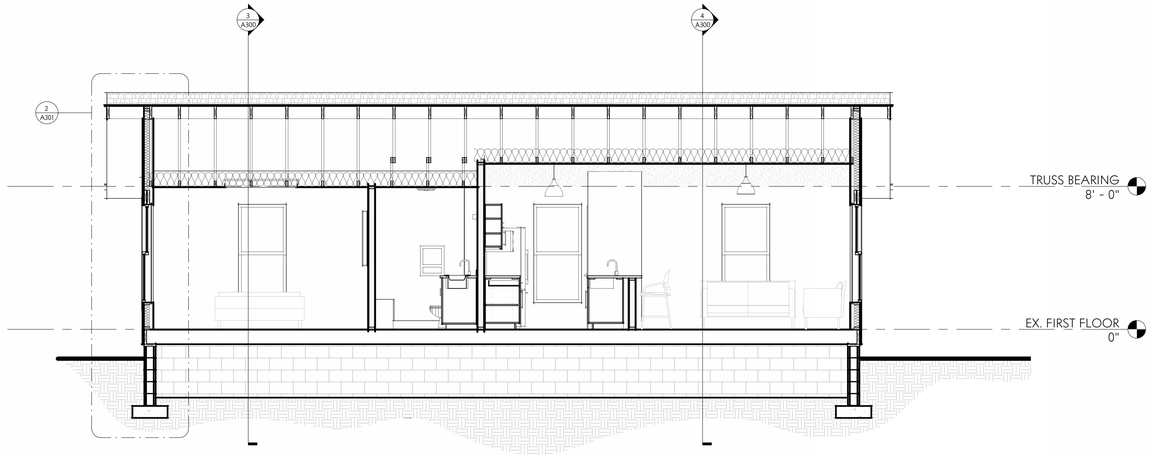


4 BUILDING SECTION C
Scale: 1/4" = 1'-0"

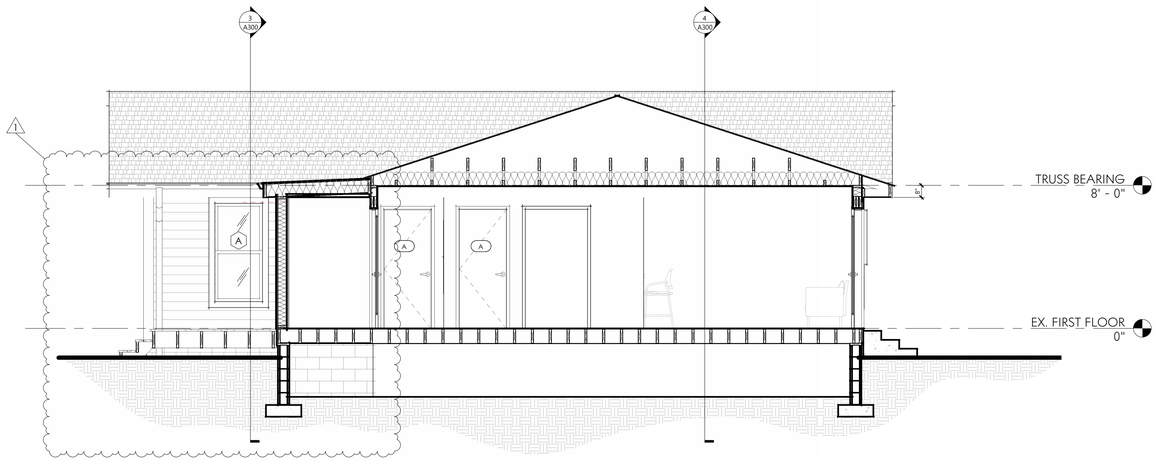
A TRUSS PROFILE A
Scale: 1/2" = 1'-0"



B TRUSS PROFILE B
Scale: 1/2" = 1'-0"



2 BUILDING SECTION B
Scale: 1/4" = 1'-0"



1 BUILDING SECTION A
Scale: 1/4" = 1'-0"

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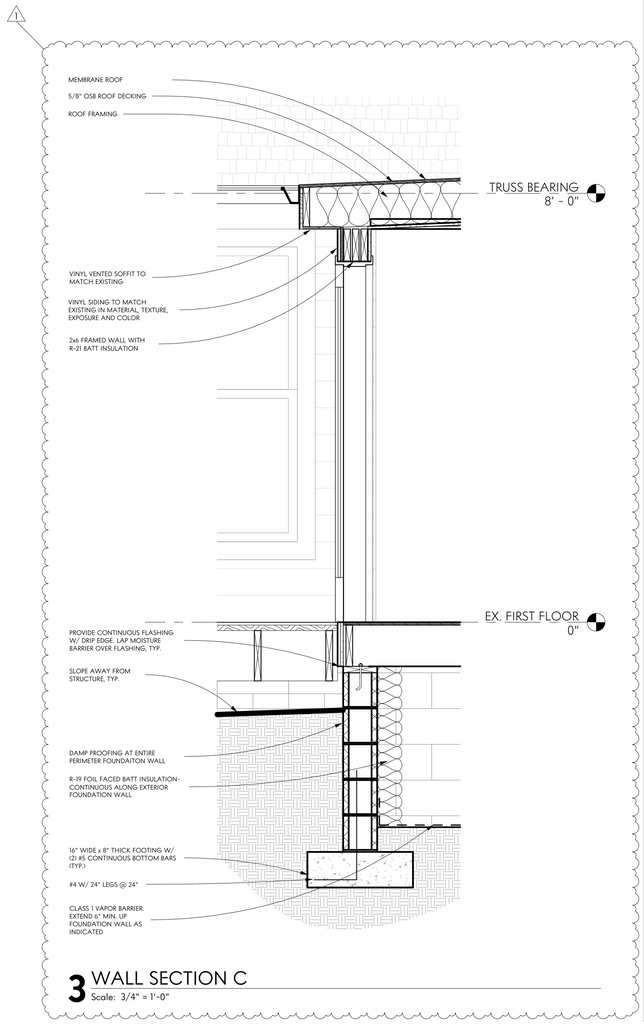
MATTHEW TODDY, LICENSE #1616697
EXPIRATION DATE: DECEMBER 31, 2025

ELEVATION STUDIO

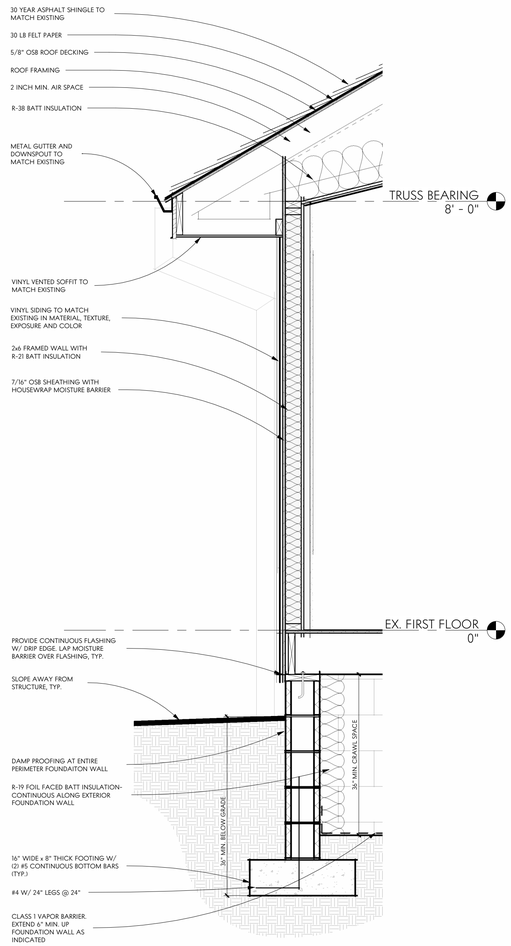
SHEET NAME
SECTIONS - BUILDING

SHEET NUMBER
A300

Type text here



3 WALL SECTION C
Scale: 3/4" = 1'-0"



1 WALL SECTION A
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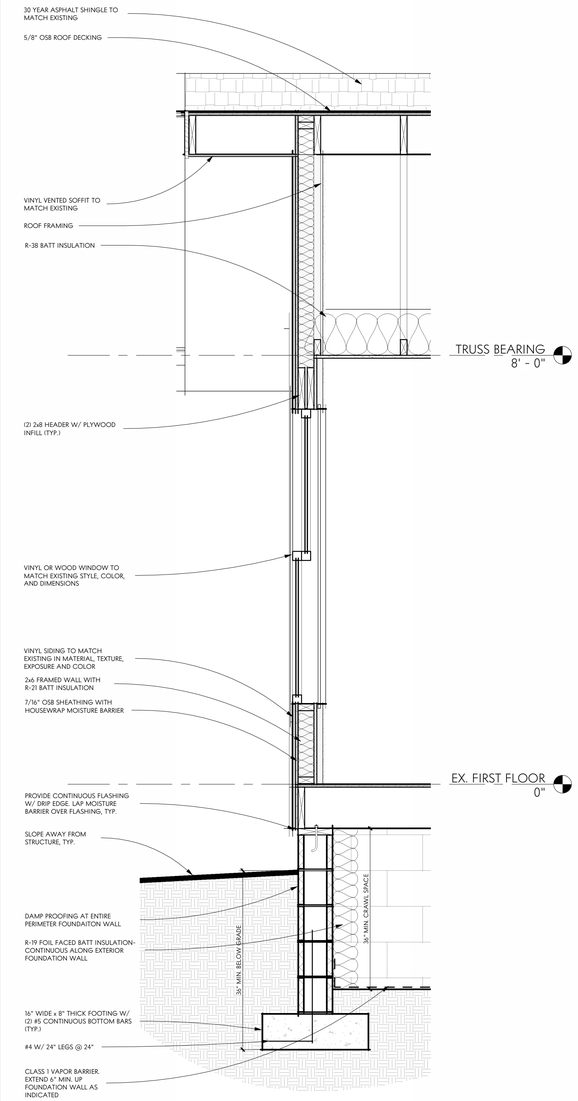

2 WALL SECTION B
Scale: 3/4" = 1'-0"

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1616697
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ELEVATION STUDIO

SHEET NAME
SECTIONS - WALL

SHEET NUMBER
A301

Gahanna
DEPARTMENT OF PLANNING

PLANNING COMMISSION STAFF REPORT

Project Summary – 3590 Clotts Road

Meeting Date: April 23, 2025

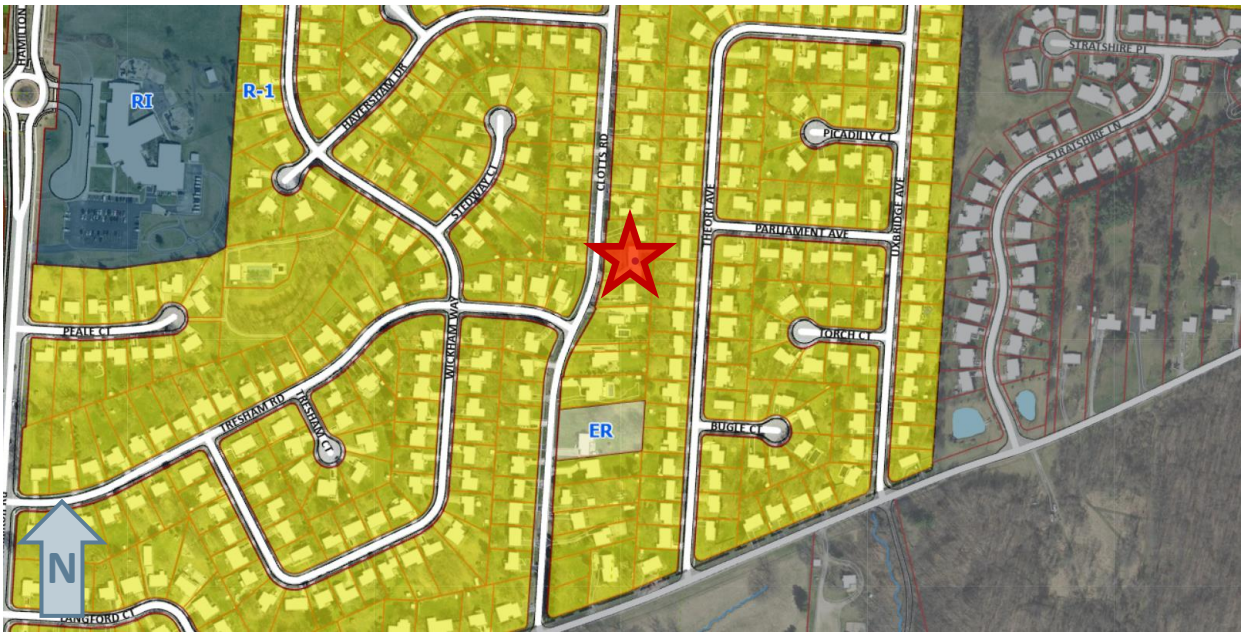
Zoning: Large Lot Residential (R-1)

Application Type(s): Variance (V)

Staff Representative: Maddie Capka, Planner II

Recommendation: Staff recommends approval of the application.

Location Map:



Staff Review

Overview

The applicant is requesting approval of a variance to allow an addition within a side yard setback. The zoning code requires a 15 ft side yard setback for all properties zoned R-1. The addition would be attached to the rear of the existing house and constructed in line with the south façade of the house at 11 ft 2 in from the side property line.

Under the previous zoning code, this property was zoned SF-3, which had a side yard setback of 7.5 ft. The proposed addition would have met all setback requirements under the former code. The house used to meet side yard requirements too but is now considered legal nonconforming.

Review Criteria

Variance (V)

The following variance has been requested:

1. 1103.07(e) – Large Lot Residential
    a. The principal structure must be at least 15 ft from the side property line.
    b. The proposed addition is 11 ft 2 in from the side property line.

Before granting a variance, Planning Commission shall find that:

a) The variance is not likely to result in substantial change to the essential character of the neighborhood;
b) The variance is not likely to result in damage to adjoining properties;
c) The variance is not likely to affect the delivery of governmental services (e.g., water, sewer, garbage);
d) The variance is not likely to result in environmental impacts greater than what is typical for other lots in the neighborhood;
e) The variance is necessary for the economical use of the property, and such economical use of the property is not easily achieved through some method other than a variance;
f) The variance is not likely to undermine the objectives of the land use plan;
g) Whether the variance is substantial and is the minimum necessary to make possible the reasonable use of land or structures; and,
h) The practical difficulty could be eliminated by some other method, even if the solution is less convenient or more costly to achieve.

Recommendation

Staff recommends approval of the variance as submitted. The addition would be in-line with the existing house and other homes in the area. All other setbacks are met. There are also privacy fences separating this property from all adjacent properties that will partially screen the addition.