



ZONING DIVISION
 200 S. Hamilton Road
 Gahanna, Ohio 43230
 614-342-4025
 zoning@gahanna.gov
 www.gahanna.gov

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS

Project/Property Address or Location: 611-625 Eastgate Pkwy.		Project Name/Business Name Eastgate Commercial Park	
Parcel ID No.(s): 027-000146-00	Zoning Designation: OCT	Total Acreage: 7.6	
Please check all that apply:			
SITE PLAN <input type="checkbox"/>	LANDSCAPING <input type="checkbox"/>	BUILDING DESIGN <input checked="" type="checkbox"/>	DEMOLITION <small>only applicable to Code Chapter 1150, Olde Gahanna</small> <input type="checkbox"/>
OTHER <input type="checkbox"/>			
Project Description: Three 8,520sf Flex industrial buildings.			
APPLICANT Name -do <u>not</u> use a business name: Robert LeVeck		Applicant Address: 1500 W. Third Ave. Ste. 120 Columbus, OH 43212	
Applicant E-mail: rleveck@leveckconstruction.com		Applicant Phone No.: 614-582-4765	
BUSINESS Name (if applicable):			
ADDITIONAL CONTACTS Please List Primary Contact for Correspondence (please list all applicable contacts)			
Name(s):		Contact Information (phone no./email):	
PROPERTY OWNER Name: (if different from Applicant)		Property Owner Contact Information (phone no./email):	

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED (see page 2 & 3)

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant/Primary Contact Signature: Robert M. LeVeck III Digitally signed by Robert M. LeVeck III Date: 2019.07.11 12:10:52 -04'00' Date: 5/5/20

INTERNAL USE

Zoning File No. DR-0091-2020

RECEIVED: PAW
 DATE: 5-8-2020

PAID: 50.00
 DATE: 5-8-2020



DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION-SUBMISSION REQUIREMENTS

TO BE COMPLETED/SUBMITTED BY APPLICANT:	
1.	Review Gahanna Code Section 1197 (visit www.municode.com)
2.	Materials List (see page 3) – does not apply to demolition applicants
3.	Authorization Consent Form Complete & Notarized (see page 4)
4.	Application & all supporting documents submitted in digital format
5.	Application & all supporting documents submitted in hardcopy format
6.	Application fee paid (in accordance with the Building & Zoning Fee Schedule)
7.	Color rendering(s) of the project in plan/perspective/or elevation
8.	One copy 24"x36" or 11"x17" prints of the plans
Building Construction, Exterior Remodeling, and Additions (Including Parking Lots and Landscaping)	
1.	<u>SITE PLAN</u> that includes the following: (include: scale, north arrow, & address) if applicable
-	All property & street pavement lines
-	Property size
-	Proposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent streets
-	Location of all existing and proposed buildings on the site
-	Location of all existing & proposed exterior lighting standards
-	Breakdown of parking spaces required & spaces provided (see Gahanna Code Section 1163)
-	Provide lot coverage breakdown of building & paved surface areas
2.	<u>LANDSCAPE PLAN</u> (including plant list)
-	Existing landscaping that will be retained & proposed landscaping shall be differentiated & shown on the plan. The type, size, number, & spacing of all plantings & other landscape features must be illustrated
-	Designation of required buffer screens (if any)
-	Interior landscaping breakdown for paved surface (see Gahanna Code Section 1163)
3.	<u>ELEVATIONS</u> from all sides
-	Fenestration, doorways, & all other projecting & receding elements of the building exterior
4.	<u>LIGHTING STANDARD DRAWING</u> that includes the following: (exterior only)
-	All sizing specifications
-	Information on lighting intensity (no. of watts, iso foot candle diagram)
-	Materials, colors, & manufacturer's cut sheet
5.	OPTIONAL REQUIREMENTS AT THE DISCRETION OF PLANNING COMMISSION:
-	Scale model
-	Section profiles
-	Perspective drawing
Demolition or Removal of Existing Structures Requirements	
1.	ONE OR MORE OF THE FOLLOWING CONDITIONS MUST EXIST:
-	That the building contains no features of special architecture or is not a historical building or culturally significant or is not consistent in design & style with other structures within the district
-	That there exists no viable economic use for the building in its current state or as it might be restored or that there is not a feasible and prudent alternative to demolition and that the approval of the demolition is necessary for the preservation and enjoyment of substantial property rights
-	That the applicant has a definite plan for redevelopment of the site which meets the standards of this Code and the proposed redevelopment will not materially affect adversely the health or safety of persons residing or working in the district where the demolition will occur and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood



MATERIAL LIST

NOT REQUIRED FOR DEMOLITION APPLICANTS

Item	Manufacturer Name	Color Name	Color Number
Awnings			
Brick			
Gutters and Downspouts			
Lighting			
Roofing			
Siding			
Stucco			
Trim			
Windows			
Other (please specify)			
Other (please specify)			

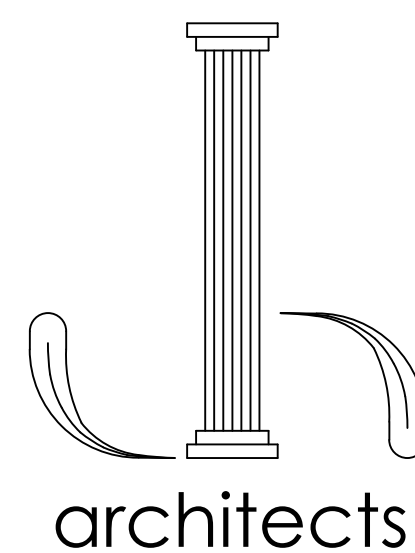
Please Note:

The Public Hearing will not occur until the City Of Gahanna Staff reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.

NEW CONSTRUCTION:

EASTGATE COMMERCIAL PARK

BUILDING 1
EASTGATE PARKWAY
GAHANNA, OH 43230



JH Architects, Inc.

5120B Nike Drive
Hilliard, Ohio 43026
614-527-7590 Fax 614-527-7592

SPECIFICATIONS

- THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS AND PROVISIONS OF THE OHIO BUILDING CODE - 2017
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED FIRM EARTH WITH A BEARING CAPACITY OF NOT LESS THAN 1500 P.S.F.
 - CONCRETE SHALL BE DESIGNED FOR 28 DAY COMPRESSION STRENGTH OF 3,000 P.S.I. FOR FOOTINGS AND 3,500 P.S.I. FOR INT. SLABS
 - SIDING AND ROOFING TO BE MIN. 29GA STEEL WITH 1 MIL. THICK SILICONE POLYESTER FINISH OVER GALV. COATING.
 - SIDING AND ROOFING TO BE APPLIED WITH #9 SCREW TYPE FASTENERS
 - TIMBERS TO BE #1 S.Y.P. OR BETTER PRESURE TREATMENT TO BE .60 C.C.A. PER CU. FT. OF WOOD.
 - SPLASH BOARD TO BE #2 OR BETTER S.Y.P. PRESURE TREATMENT TO BE .40 C.C.A. PER CU. FT. OF WOOD
 - ALL OTHER FRAMING TO BE #2 SITKA SPRUCE.
 - ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1017.4.1 OBC.

BUILDING DATA

- FLOOR LIVE LOADS
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
- WAREHOUSE 125 P.S.F.
- WHOLESALE AREA 125 P.S.F. 100 CONCENTRATED.
- ROOF LIVE & SNOW LOADS
- 1609.4 O.B.C. EXPOSURE CATEGORY - B
- 1608.2 GROUND SNOW LOAD = 20 PSF
SNOW LOAD IMPORTANCE FACTOR CAT. 1 IG = 1.0
THERMAL FACTOR PER 1608.3.2. G = 1.0
ROOF SNOW LOADING 25 P.S.F. INCLUDING DRIFT LOADS.

WIND LOADS

- BASIC WIND SPEED 90 M.P.H. 3 SECOND GUST PER SECTION 1609.6
- WIND IMPORTANCE FACTOR $I_w = 1.0$
- WIND EXPOSURE B & SURFACE ROUGHNESS B.
- NET PRESSURE COEFFICIENT C_{p1} FROM TABLE 1609.6.2 ASCE1-98 - ENCLOSURE CLASSIFICATION PARTIALLY ENCLOSED $C_{p1} = +/- 0.83$.
- DESIGN PRESSURES FOR COMPONENTS & CLADDING & ROOF PER TABLE 6-3B ASCE 7-2005 1609.6.2. = -1.04

SEISMIC LOADS

- SEISMIC USE GROUP II.
- STRUCTURE ASSUMED TO BE STRUCTURALLY INDEPENDENT.
- SDS 0.50
- SDI 0.20
- SITE CLASS D.
- BASIC SEISMIC FORCE RESISTING SYSTEM (TABLE 1613.5.1) LIGHT FRAME WALLS WITH SHEAR PANELS (SHEET STEEL PANELS)
- DESIGN BASE SHEAR $V = 1975$ lbs.

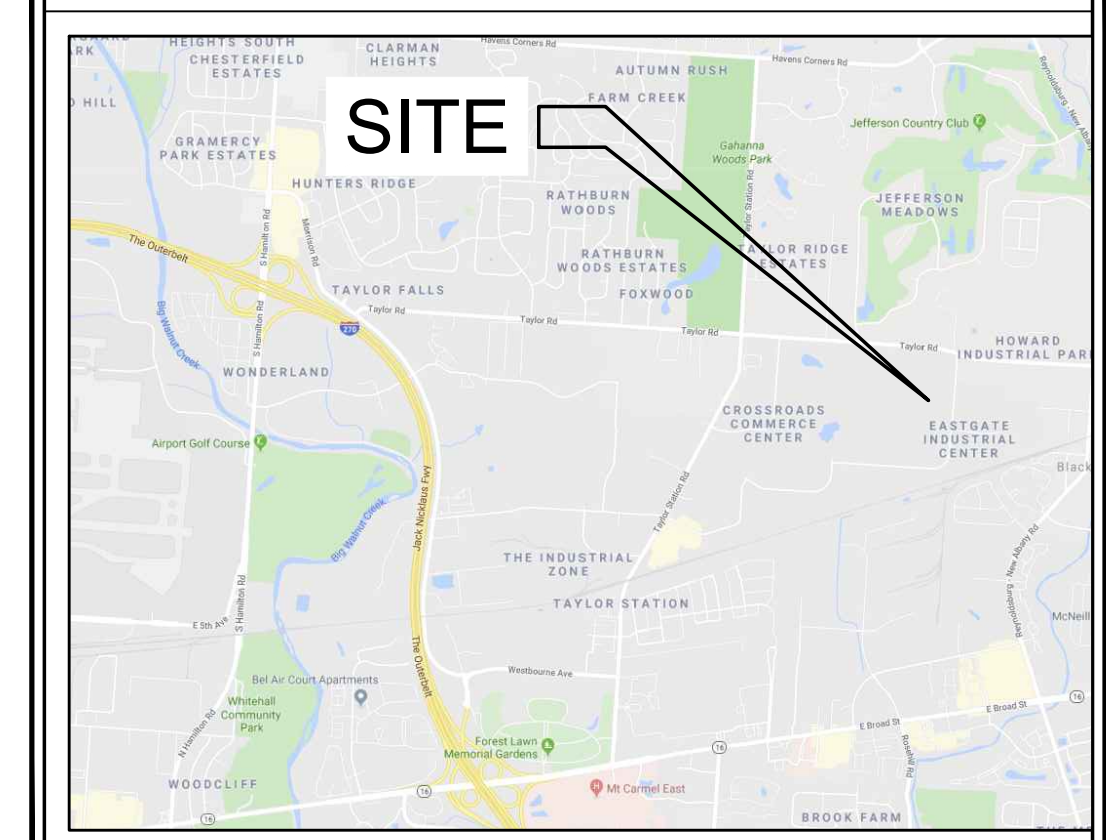
SHEET INDEX

- A0 TITLE SHEET
- C4 CIVIL SITE PLAN
- A1 FLOOR PLAN
- A2 ELEVATIONS
- A3 SECTIONS
- P1 PLUMBING PLAN
- H1 HVAC PLAN
- E1 ELECTRIC PLAN

BUILDING DATA

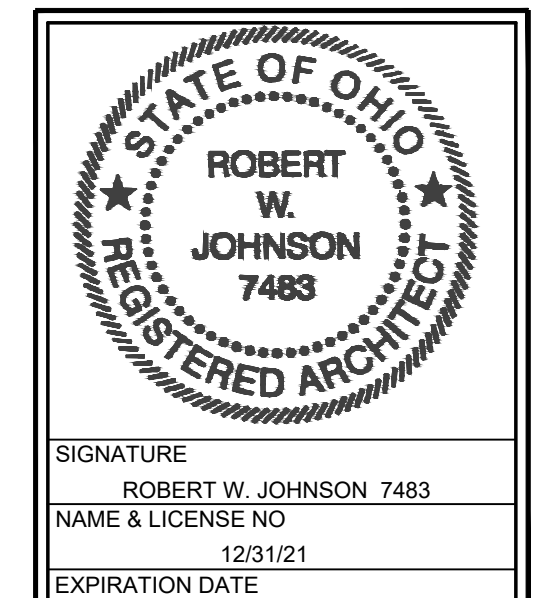
- CONSTRUCTION TYPE: 5B
- USE GROUP: 'S-1' STORAGE & 'B' BUSINESS
- OCCUPANCY = 'S-1' = 6040/500 = 13 OCCUPANTS
'B' = 2480/100 = 25 OCCUPANTS
TOTAL = 38 OCCUPANTS
- AREA: 8,520 SQFT. TOTAL
- ALLOWABLE AREA = 9,000 SF.
- NON-SPRINKLERED, NON-SEPARATED
- DESIGNED PER: 2017 OHIO BUILDING CODE
2017 OHIO MECHANICAL CODE
2017 OHIO PLUMBING CODE
2017 NATIONAL ELECTRIC CODE
2011 OHIO FIRE CODE
- EXIT/EMERGENCY LIGHTING: ALL SPACES REQUIRE ONLY ONE EXIT PER OBC SECTION 1006.2.1.
EXIT/EMERGENCY LIGHTING NOT REQUIRED PER OBC SECTIONS 1006.3 & 1013.1

SITE LOCATION



ISSUE DATES

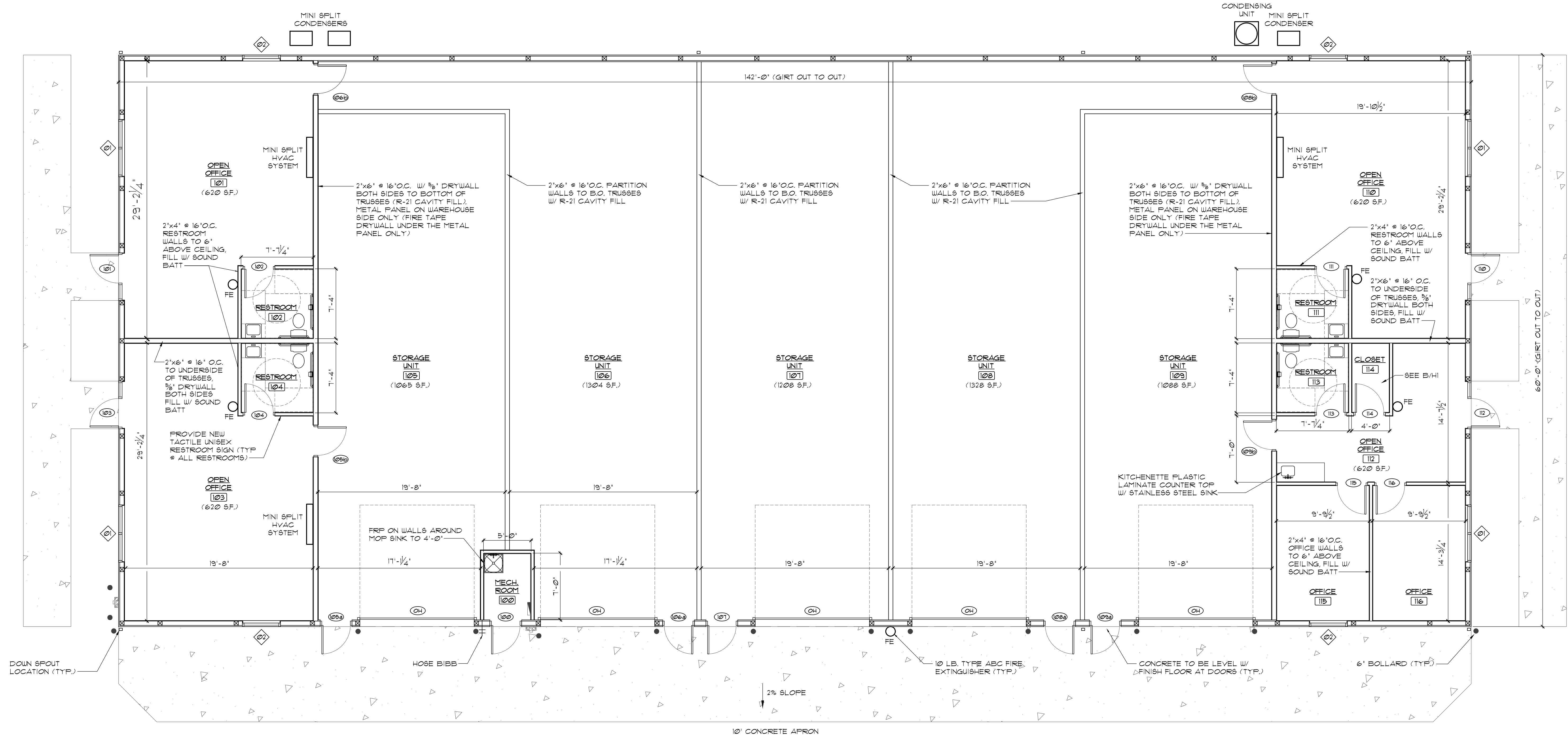
PRELIMINARY-	12-13-19
BIDDING-	
PERMIT-	01-22-20
CONSTRUCTION-	
REVISIONS	
△	
△	
△	
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EASTGATE PARKWAY
GAHANNA, OH 43230

EASTGATE BUILDING 1

Permit Drawings
Issue Date: 10-22-20
Project No.: 19046

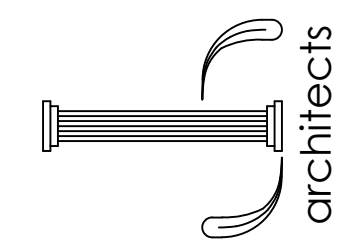


FLOOR PLAN
SCALE: 3/16" = 1'-0"
NORTH



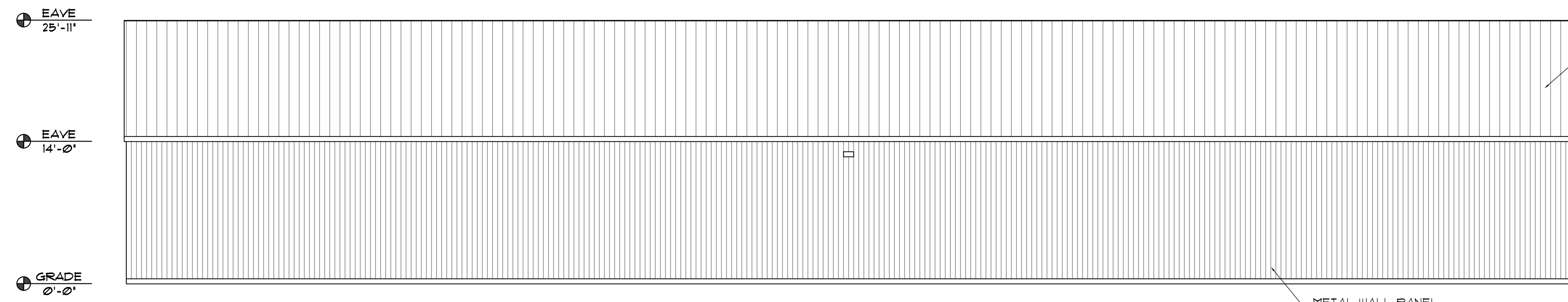
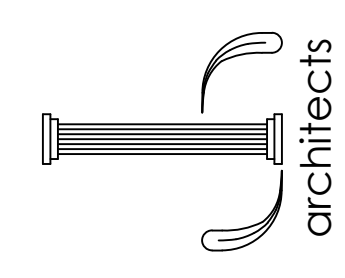
EASTGATE COMMERCIAL PARK
BUILDING 1
EASTGATE PARKWAY, GAHANNA OHIO 43230

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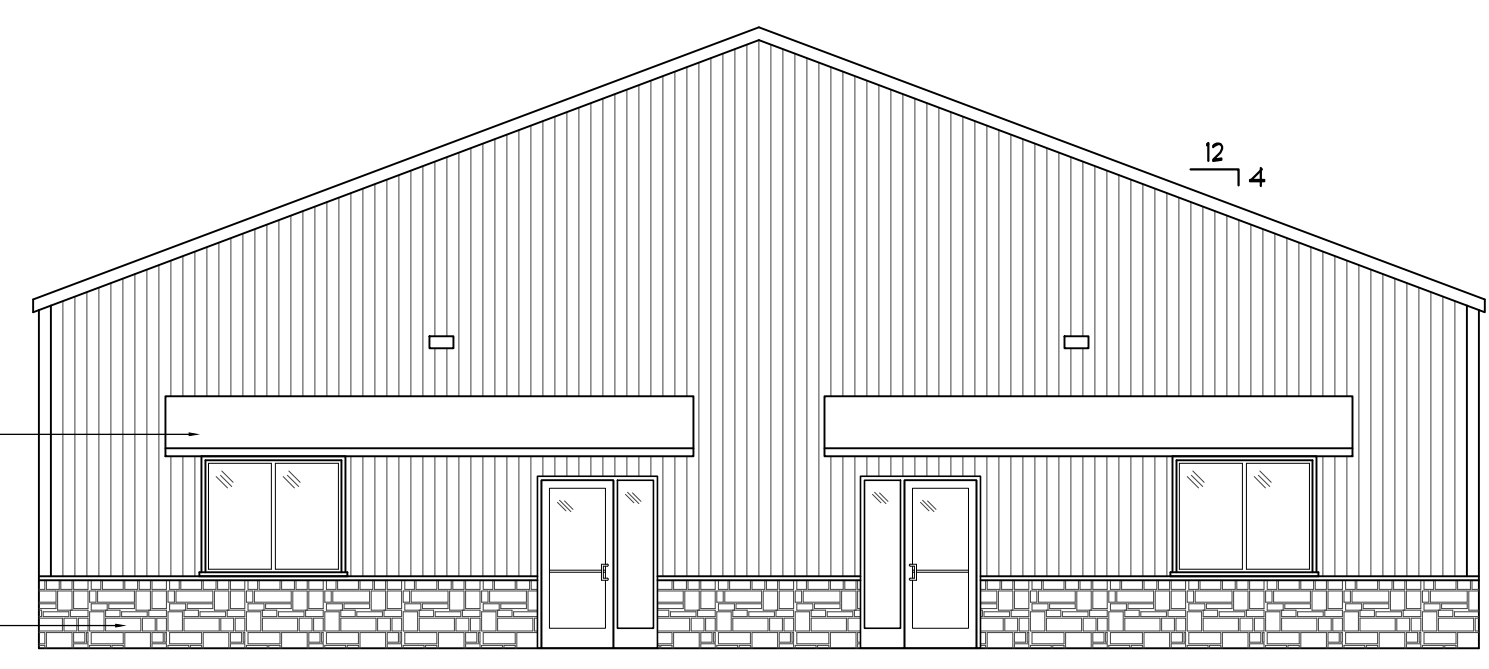


19046
01-22-20

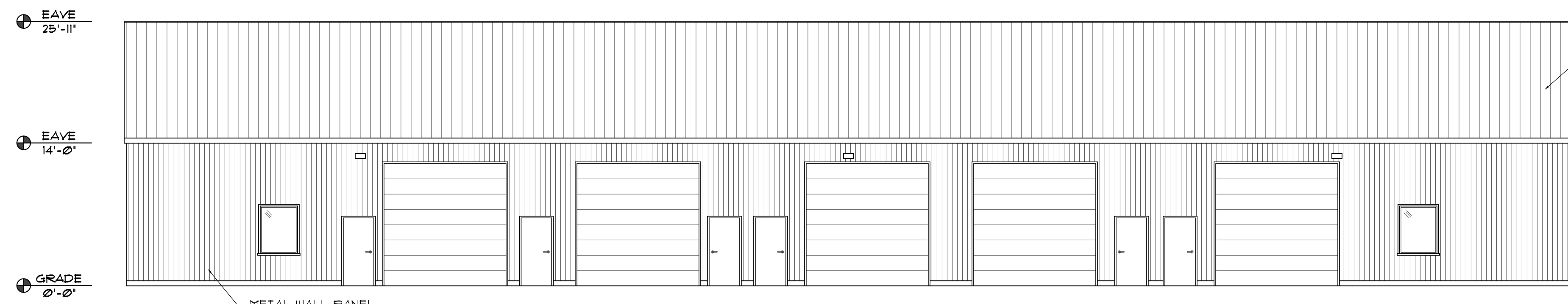
A1



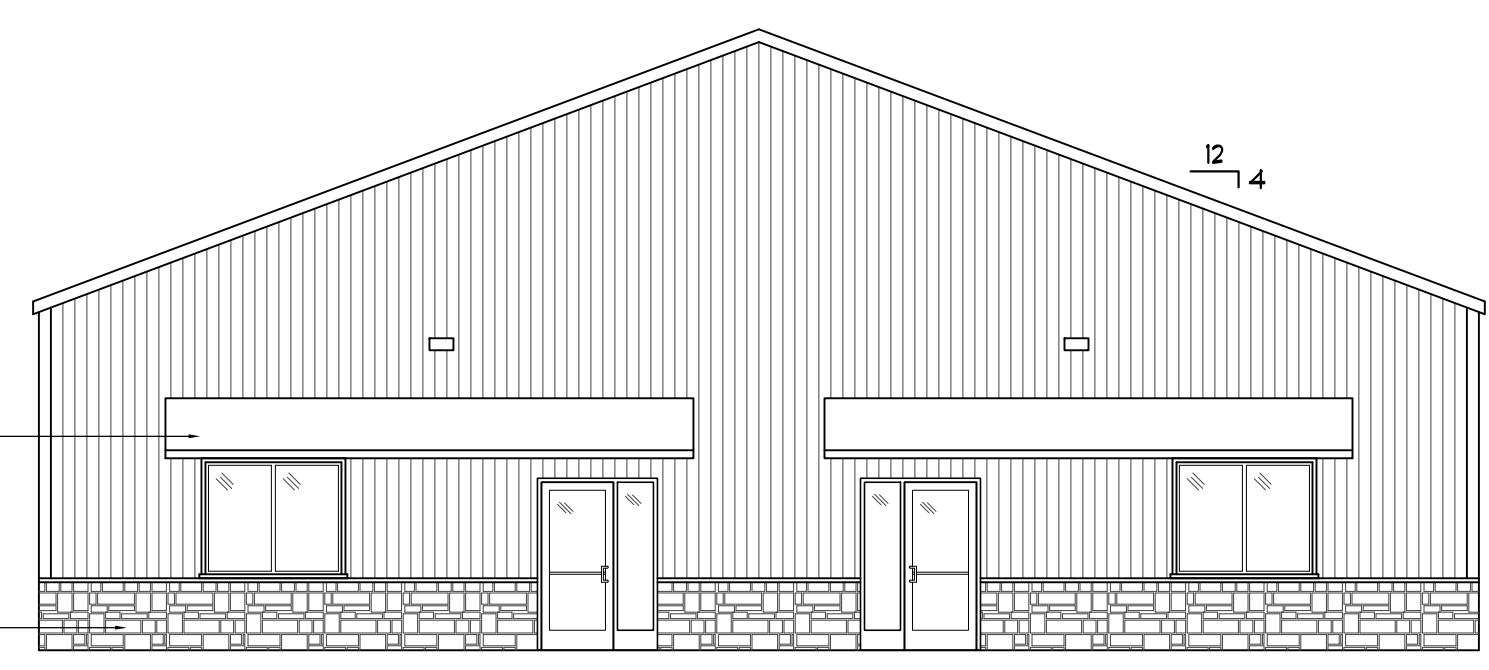
A WEST ELEVATION
 SCALE: 1/8" = 1'-0"



B SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



C EAST ELEVATION
 SCALE: 1/8" = 1'-0"



D NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

ROOM FINISH SCHEDULE								
NO.	NAME	FLOOR	BASE	WALLS		CEILING		REMARKS
		MATERIAL	MATERIAL	MATERIAL	COLOR	MATERIAL	HGT.	
100	MECHANICAL ROOM	CONCRETE	-	5/8" DRYWALL	-	5/8" DRYWALL	14'-0"	-
101	OPEN OFFICE	CARPET TILE	4" VINYL	5/8" DRYWALL	-	2x4 ACT	8'-0"	-
102	RESTROOM	VCT	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	-
103	OPEN OFFICE	CARPET TILE	4" VINYL	5/8" DRYWALL	-	2x4 ACT	8'-0"	-
104	RESTROOM	VCT	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	-
105	STORAGE UNIT	CONCRETE	-	METAL PANEL	WHITE	METAL PANEL	14'-0"	-
106	STORAGE UNIT	CONCRETE	-	METAL PANEL	WHITE	METAL PANEL	14'-0"	-
107	STORAGE UNIT	CONCRETE	-	METAL PANEL	WHITE	METAL PANEL	14'-0"	-
108	STORAGE UNIT	CONCRETE	-	METAL PANEL	WHITE	METAL PANEL	14'-0"	-
109	STORAGE UNIT	CONCRETE	-	METAL PANEL	WHITE	METAL PANEL	14'-0"	-
110	OPEN OFFICE	CARPET TILE	4" VINYL	5/8" DRYWALL	-	2x4 ACT	8'-0"	-
111	RESTROOM	VCT	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	-
112	OPEN OFFICE	CARPET TILE	4" VINYL	5/8" DRYWALL	-	2x4 ACT	8'-0"	-
113	RESTROOM	VCT	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	-
114	CLOSET	CARPET TILE	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	-
115	OFFICE	CARPET TILE	4" VINYL	5/8" DRYWALL	-	2x4 ACT	8'-0"	-
116	OFFICE	CARPET TILE	4" VINYL	5/8" DRYWALL	-	2x4 ACT	8'-0"	-

FINISHES:
 WALLS & CEILING OF ROOMS OR ENCLOSED SPACES SHALL BE MINIMUM CLASS C FINISH.
 CLASS B: FLAME SPREAD 26-75 SMOKE DEVELOPED 0-450
 CLASS C: FLAME SPREAD 76-200 SMOKE DEVELOPED 0-450
 ALL FINISH RATINGS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE 2017 IBC.
 FINISH MATERIALS SHALL BE AS FOLLOWS:
 DW - 5/8" DRYWALL BY GOLD BOND OR EQUAL
 VINYL BASE - 4" HIGH ARMSTRONG OR EQUAL
 VINYL TILE (VCT) - ARMSTRONG OR EQUAL
 ACOUSTIC CEILING TILE (ACT) - ARMSTRONG DUNE OR EQUAL
 CARPET SHALL MEET DOC FF-1 "PILL TEST" (CFSC 16 CFR PART 1630)

INTERIOR PAINTING - DRYWALL:
 FIRST COAT - DRYWALL PRIMER SEALER
 SECOND COAT - EGG-SHELL LATEX
 THIRD COAT - EGG-SHELL LATEX
EXTERIOR PAINTING - DOORS & DOOR FRAMES:
 FIRST COAT - PRIMER
 SECOND COAT - SEMI-GLOSS ALKYD EXTERIOR ENAMEL
 THIRD COAT - SEMI-GLOSS ALKYD EXTERIOR ENAMEL
METAL PANEL - INTERIOR & EXTERIOR:
 INTERIOR WALL & CEILING - 29GA LINER PANEL BY D4L METALS OR EQUAL
 EXTERIOR WALL - 29GA BARN METAL BY D4L METALS OR EQUAL
 ROOF - 29GA BARN METAL W/ CONDENSATION COATING UNDERSIDE BY D4L METALS OR EQUAL

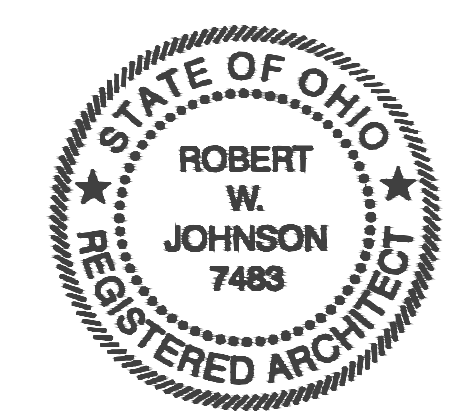
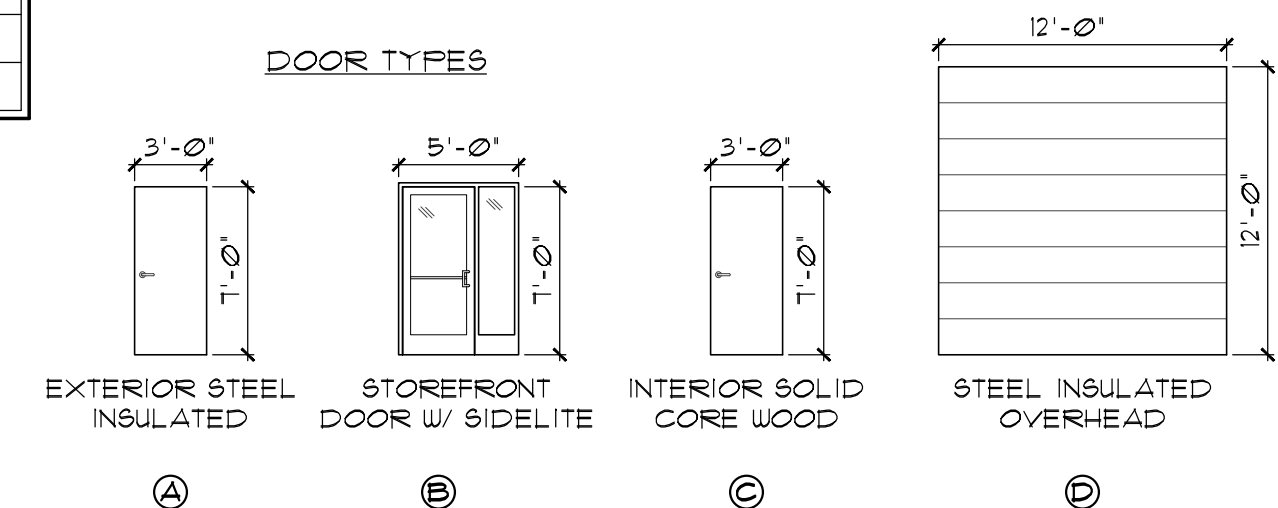
DOOR SCHEDULE							
DOOR NO.	DOOR			FRAME MATL.	FIRE RATING	HARDWARE	
	TYPE	SIZE	MATL.				
100	A	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
101	B	3'0" x 1'0" x 1 3/4"	ALUM.	ALUM.	0 HR	(1)	
102	C	3'0" x 1'0" x 1 3/4"	WOOD	HM	0 HR	(2)	
103	B	3'0" x 1'0" x 1 3/4"	ALUM.	ALUM.	0 HR	(1)	
104	C	3'0" x 1'0" x 1 3/4"	WOOD	HM	0 HR	(2)	
105a	A	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
105b	C	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
106a	A	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
106b	C	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
107	A	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
108a	A	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
108b	C	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
109a	A	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
109b	C	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
110	B	3'0" x 1'0" x 1 3/4"	ALUM.	ALUM.	0 HR	(1)	
111	C	3'0" x 1'0" x 1 3/4"	WOOD	HM	0 HR	(2)	
112	B	3'0" x 1'0" x 1 3/4"	ALUM.	ALUM.	0 HR	(1)	
113	C	3'0" x 1'0" x 1 3/4"	WOOD	HM	0 HR	(2)	
114	C	3'0" x 1'0" x 1 3/4"	WOOD	HM	0 HR	(3)	
115	C	3'0" x 1'0" x 1 3/4"	WOOD	HM	0 HR	(3)	
116	C	3'0" x 1'0" x 1 3/4"	WOOD	HM	0 HR	(3)	
OH1	D	12'0" x 12'0"	INSUL. MTL	MTL	0 HR	(4)	

DOOR HARDWARE
 (1) 1 1/2 SET HINGES, CLOSER, KEYS LOCKSET
 (2) 1 1/2 SET HINGES, WALL STOP, PRIVACY LOCKSET
 (3) 1 1/2 SET HINGES, KEYS LOCKSET
 (4) SLIDE LOCK

ADA REQUIREMENTS
 ALL HARDWARE SHALL MEET ADA (ADAAG) REQUIREMENTS PER ICC AND ANSI 117.1. ALL DOOR OPENING DEVICES SHALL BE LEVER TYPE.

HARDWARE SPECIFICATIONS:
 DOOR LOCKSETS: SCHLAGE OR EQUAL
 WALL STOP: HAGGER 324W
 CLOSER: HAGGER 5300 SERIES
 KICK PLATES: HAGGER 1909
 HINGES: HAGGER BB 1219
 SEALS: NGP 1609
 DOOR SWEEP: NGP 199NA
 THRESHOLD: NGP 424
 STEEL DOORS: 18GA, GALVANNEALED STEEL, FULL FLUSH, SEAMLESS, STEELCRAFT L18
 16GA, STEEL, WELDED, STEELCRAFT F16

- HARDWARE NOTES:**
- HARDWARE FOR ALL EGRESS DOORS SHALL MAINTAIN THE DOORS READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT. DRAW BOLTS, HOOKS, AND OTHER SIMILAR DEVICES ARE PROHIBITED ON ALL EGRESS DOORS.
 - SAFETY GLAZING SHALL BE PROVIDED AT THE FOLLOWING:
 A. GLAZING IN ALL INGRESS AND EGRESS DOORS.
 B. GLAZING, OPERABLE OR INOPERABLE, ADJACENT TO A DOOR AND WITHIN THE SAME WALL PLANE AS THE DOOR WHOSE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - PROVIDE HARDWARE SCHEDULE FOR APPROVAL.
 - HANDLES, FULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOOR SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 INCHES ABOVE FINISHED FLOOR.
 - IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 10 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
 - THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:
 A. DOORS WITHOUT CLOSERS: 5 POUND FORCE
 B. OTHER DOORS: 15 POUND FORCE
 - THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/4 INCH IN HEIGHT FOR EXTERIOR SLIDING DOORS OR 1/2 INCH FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.



PLUMBING NOTES

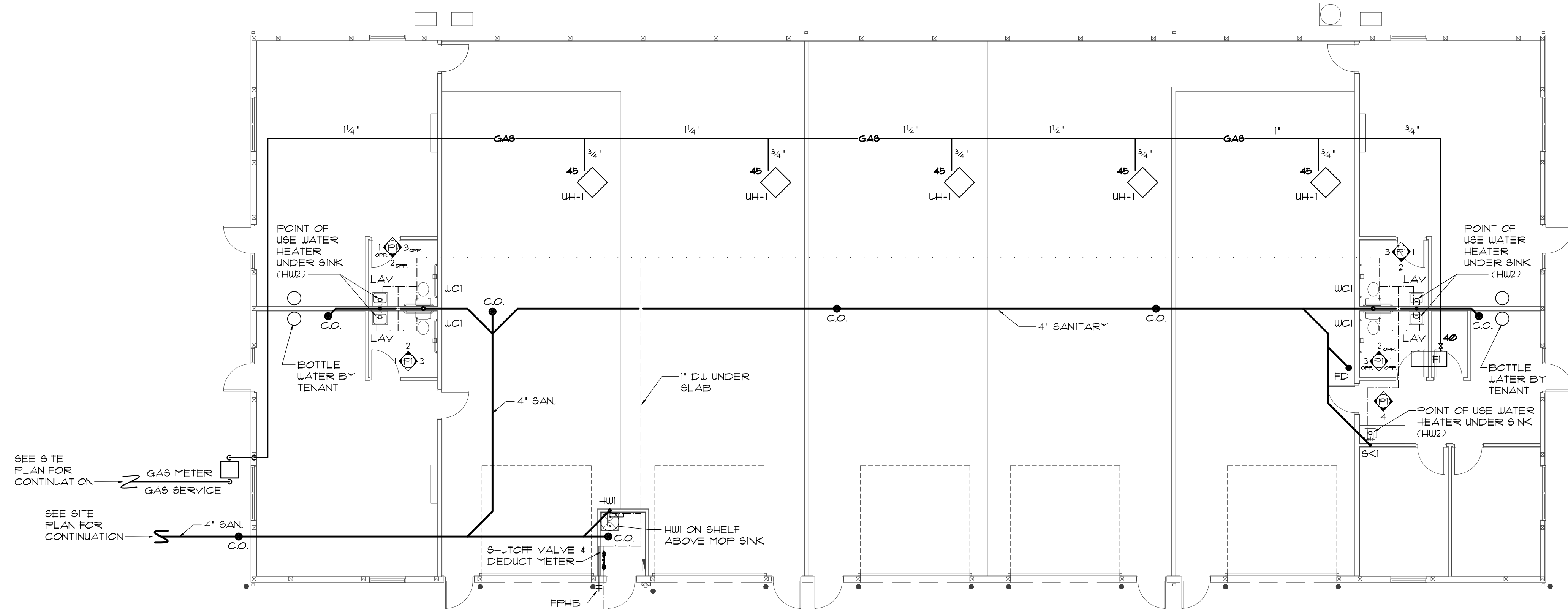
- ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH ALL CITY, COUNTY AND STATE CODES AND LAWS AS THEY APPLY, INCLUDING THE BOARD OF HEALTH.
- UNDERGROUND SANITARY PIPING SHALL BE SCHEDULE 40 PVC PIPE AND FITTINGS.
- ABOVE GROUND SANITARY PIPING SHALL BE SCHEDULE 40 PVC PIPING AND FITTINGS EXCEPT IN RETURN AIR PLENUMS WHERE PIPING SHALL BE WRAPPED IN METAL OR PIPING MATERIAL SHALL BE COPPER OR NO-HUB IN ACCORDANCE WITH THE APPLICABLE CODE.
- UNDERGROUND WATER PIPING SHALL BE TYPE K SOFT COPPER INSTALLED WITHOUT FITTINGS OR COUPLINGS.
- ABOVE GROUND WATER PIPING SHALL BE TYPE L HARD DRAWN COPPER WITH WROUGHT COPPER FITTINGS.
- GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL. UNDER 2' SHALL BE SCREWED FITTINGS ABOVE 2' SHALL BE WELDED.
- INSTALL ALL EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
- HOT & COLD WATER PIPING SHALL BE INSULATED WITH 1/2" ARMAFLEX OR EQUAL. THE PLUMBING CONTRACTOR IS RESPONSIBLE.
- FOR DECKTITE FLASHINGS FOR THE ROOF SYSTEM.

CABINERY SPECIFICATIONS

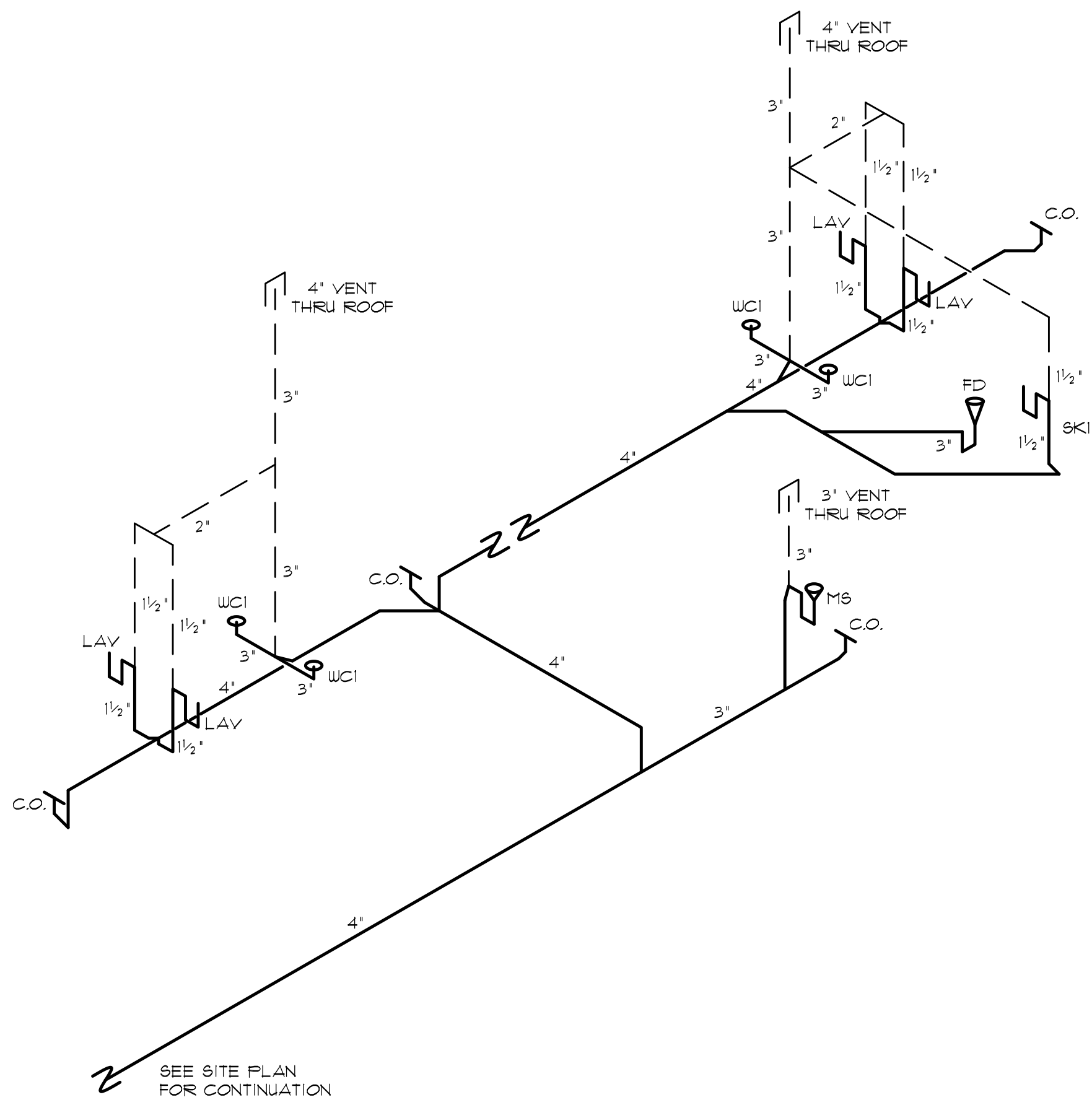
- CABINET INTERIORS & UNEXPOSED SURFACES TO BE WHITE MELAMINE.
- CABINET EXTERIORS & ALL EXPOSED SURFACES TO BE PLASTIC LAMINATE WITH 1 MM PVC EDGE BANDING.
- DOOR & DOOR FRONTS TO BE PLASTIC LAMINATE ON FRONT & WHITE CABINET LINER BALANCE SHEET ON BACK WITH 1 MM EDGE BANDING.
- DRAWER GLIDES ARE TO BE GRASS UNGLIDE (WHITE) 6000 SERIES METAL DRAWER SYSTEM WITH 1" BOTTOMS.
- LAMINATE SELF-EDGE COUNTERTOPS TO BE MADE OF 3/4" ROSEBURG PARTICLE BOARD & LAMINATED WITH STANDARD GRADE LAMINATE.
- DOOR HINGES TO BE BLUM CONCEALED HINGES 125 SERIES.
- PULLS TO BE 4" SATIN CHROME WIRE TYPE.
- ALL DIMENSIONS TO BE FIELD VERIFIED BEFORE FABRICATION.
- ALL ADJUSTABLE SHELVES TO BE LINE BORED ON 32 MM CENTERS USING 5 MM SHELF PINS.
- GROMMETS TO BE 1-1/2", LOCATION PER INSTRUCTION. LIGHT GREY.
- COUNTERTOP SUPPORTS TO BE 4MM HARDWARE.
- CABINET FINISHES:
COUNTERTOPS: WILSONART, COLOR BY OWNER
BASE CABINETS: WILSONART, COLOR BY OWNER

DESIG	DESCRIPTION	SUPPLY			WASTE/VENT PIPING			FIXTURE		SUPPLY TRIM		SUPPLY STOP		TRAP		REMARKS
		MTG HGT	HW	CW	FIXTURE OUTLET	TRAP	DRAIN	VENT	MFR	CAT. NO.	MFR	CAT. NO.	MFR	CAT. NO.	MFR	
WC1	WATER CLOSET-TANK TYPE	18"	1/2"	1/2"	3"	3"	3"	KOHLER	K-4405			McGUIRE	153-LK	McGUIRE	8202	SEAT BY MANSFIELD, OR EQUAL
LAV	WALL MOUNT LAVATORY	21"	1/2"	1/2"	1-1/2"	1-1/2"	1-1/2"	KOHLER	K-2005	DELTA	501-D8T	McGUIRE	165-LK	McGUIRE	8202	OR EQUAL
SK1	SS COUNTER MT SINGLE SINK	CTR	1/2"	1/2"	1-1/2"	1-1/2"	1-1/2"	ELKAY	LR2222	ELKAY	LKC7433BH					OR EQUAL
MS	MOP SINK	FLR	1/2"	1/2"	3"	3"	1-1/2"	FIAT	M6B24241000	FIAT	SUPPLIED W/SINK					OR EQUAL
HU1	ELECTRIC WATER HEATER	-	1"	1"	-	-	-	RJUD	EG9F6							6 GAL. TANK. POINT OF USE, 15 KW
FPHB	ELECTRIC WATER HEATER	-	-	-	-	-	-	EMAX	9F2412							TANKLESS. POINT OF USE, 2.4 KW
FD	FREEZE PROOF HOSE BIBB	WALL	3/4"	3/4"	-	-	-	ZURN	ZI320-EZ							MOUNT @ 36" AFF.
FD	FLOOR DRAIN	FLR	-	-	3"	3"	3"	ZURN	ZN-415-6B							PROVIDE W/ TRAP PRIMER

① PROVIDE AQUA-GUARD THERMOSTATIC MIXING VALVE BY ZURN @ ALL LAVATORIES & SINKS



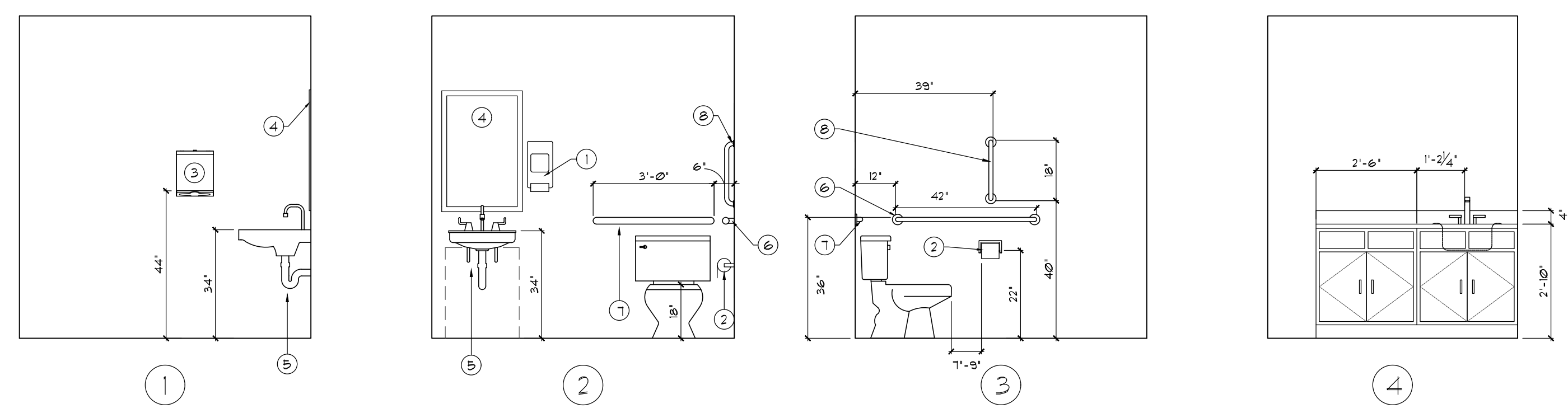
PLUMBING PLAN
SCALE: 1/8" = 1'-0"



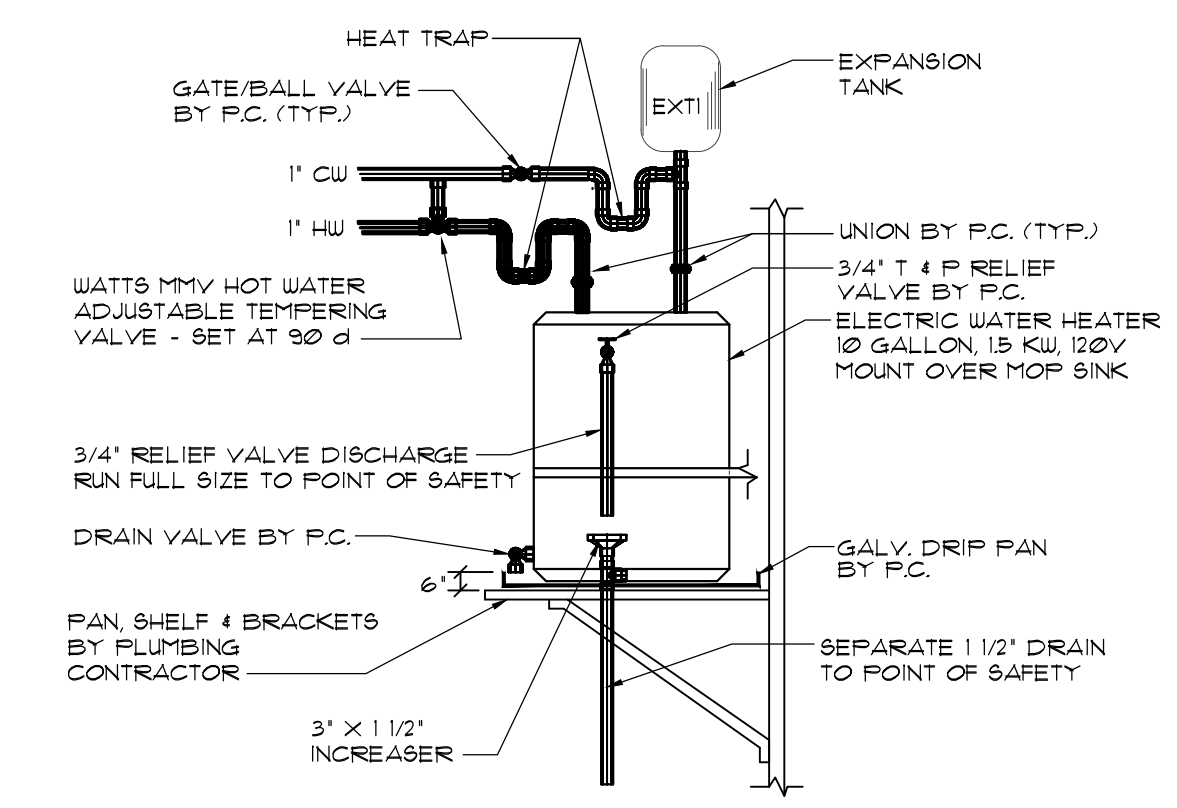
SANITARY SCHEMATIC
SCALE: N.T.S.

NO.	ITEM	MAKE *	QUANTITY	REMARKS
1	HD SOAP DISPENSER	COMMERCIAL GRADE	4	SURFACE MTD. W/ REPLACEABLE HAND CLEANER PACKETS (SUPPLIED BY OWNERS)
2	TOILET PAPER DISP.	BOBRICK B-265	4	-
3	ROLL PAPER		4	FURNISHED BY OWNER
4	MIRROR	BOBRICK B-165	4	30" W x 36" H MOUNT @ 30" AFF. TO BOTTOM OF UNIT
5	INSULATION WRAP	BROCAR	4 SETS	C500R INSTALL @ EACH EXPOSED LAVATORY
6	GRAB BAR	BOBRICK B-6206	4	42", 1 1/2" DIA. MOUNT @ 34" AFF. TO CENTERLINE OF UNIT
7	GRAB BAR	BOBRICK B-6206	4	36", 1 1/2" DIA. MOUNT @ 34" AFF. TO CENTERLINE OF UNIT
8	GRAB BAR	BOBRICK B-6206	4	18", 1 1/2" DIA. MOUNT VERTICAL AS SHOWN

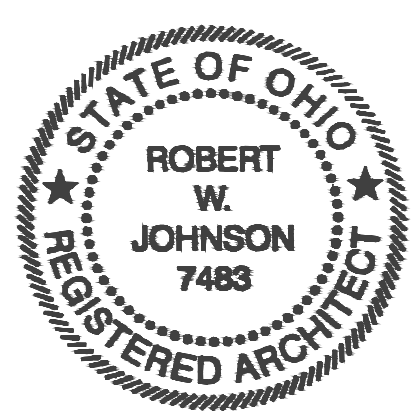
ACCESSORIES SCHEDULE



INTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



WATER HEATER DETAIL
SCALE: N.T.S.

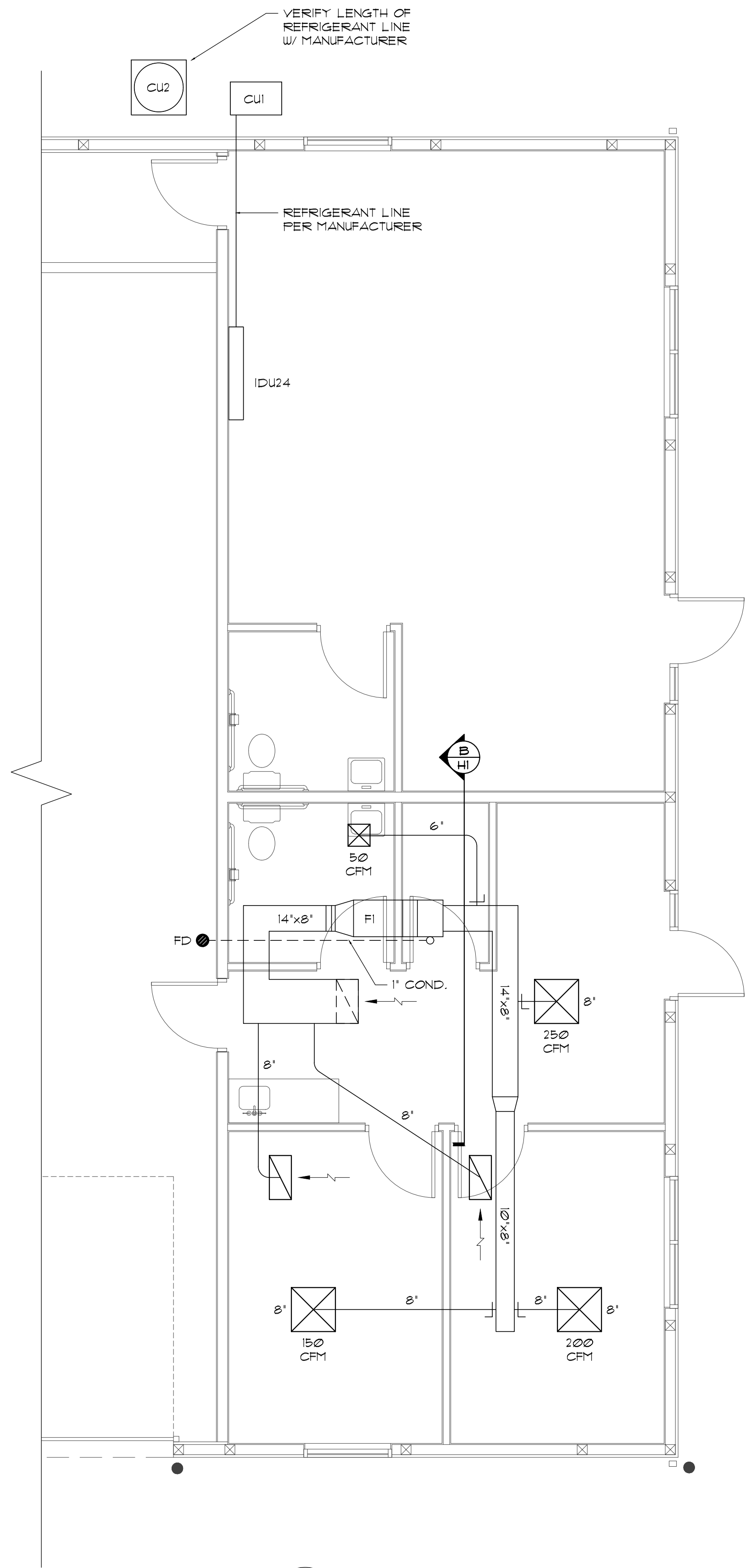


EASTGATE COMMERCIAL PARK
BUILDING 1
EASTGATE PARKWAY, GAHANNA OHIO 43230

JH Architects, Inc.
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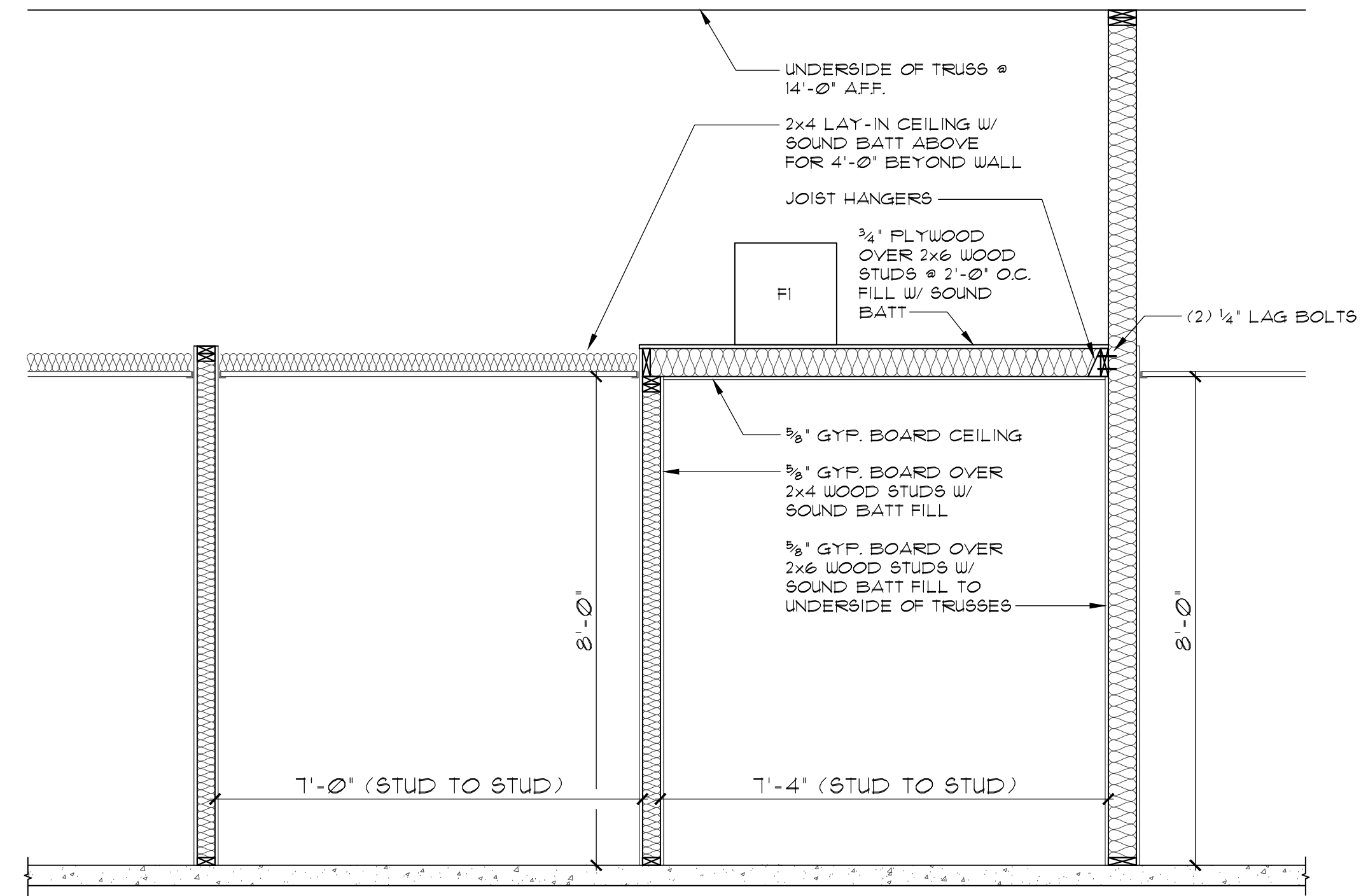
19046
01-22-20

P1



A
H I
HVAC PLAN
SCALE: 1/4" = 1'-0"

- IDU24: WALL MOUNTED INDOOR UNIT, 24,000 BTU, POWERED FROM CONDENSING UNIT
- CU1: SINGLE ZONE DUCTLESS MINI SPLIT HEAT PUMP, 24,000 BTU, 18 SEER, 208/1/60 SUPPLY VOLTAGE, MITSUBISHI OR EQUAL
- FI: GAS FIRED HORIZONTAL FURNACE: 40,000 BTU INPUT, 38,000 BTU OUTPUT, 650 CFM @ 5" SP, 1/2 HP MOTOR, 120V-1PH, 18,000 BTU COOLING W/ INTERNAL COOLING COIL, TRANE OR EQUAL.
- CU2: AIR COOLED CONDENSING UNIT: 18,000 BTU TOTAL COOLING, 9 AMPS, 208V-1PH, MOUNT ON 4" CONCRETE PAD

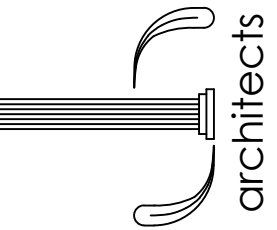


B
H I
HVAC PLATFORM SECTION
SCALE: 1/2" = 1'-0"



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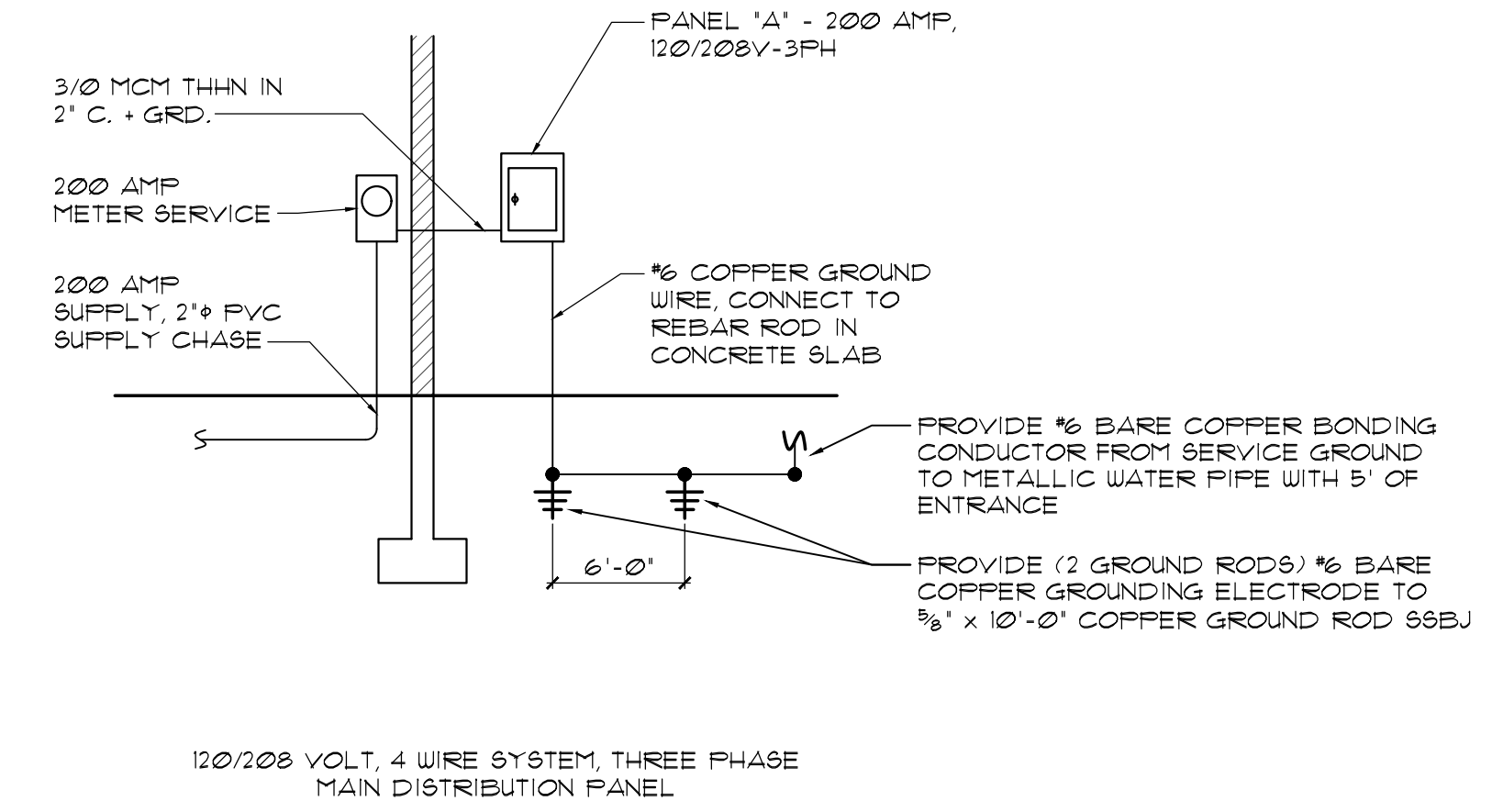
19046
01-22-20

H1

ELECTRICAL GENERAL NOTES

- ALL EQUIPMENT SHALL BEAR THE UL LABEL AND BE INSTALLED ACCORDING TO THE 2014 EDITION OF THE NEC.
- ALL WIRE SHALL BE TYPE THHN/THUN, 100% COPPER, UNLESS OTHERWISE NOTED ON THE DRAWINGS. WIRES SHALL BE SIZED ACCORDING TO NEC ARTICLE 310-15.
- ALL WIRING SHALL BE INSTALLED IN METALLIC RACEWAY SYSTEM SIZED ACCORDING TO NEC CHAPTER 9, TABLE 1. NON-METALLIC CONDUIT SHALL BE ACCEPTABLE BELOW GRADE OR IN SLAB. CODEX CABLE IS ACCEPTABLE.
- ALL OUTLET, SWITCH AND JUNCTION BOXES SHALL BE METALLIC AND COMPLY WITH NEC ARTICLE 314 AND BE SIZED ACCORDING TO TABLE 314-16A.
- SPLICES SHALL BE MADE ONLY AT ACCESSIBLE LOCATIONS, OUTLET BOXES, PANELBOARDS, JUNCTION BOXES, ETC. TERMINAL CONNECTIONS AND SPLICES IN ALL WIRE $\frac{1}{2}$ " AND LARGER SHALL BE MADE WITH APPROVED SOLDERLESS CONNECTORS, PROPERLY INSULATED AND TAPED WHERE NECESSARY. IN SMALLER WIRES ALL SPLICES SHALL BE MADE EITHER WITH APPROVED SOLDERLESS CONNECTORS OR SHALL BE SOLDERED AND TAPED AS REQUIRED TO INSURE PROPER INSULATION.
- SERVICE EQUIPMENT SHALL BE SUITABLE FOR SHORT-CIRCUIT CURRENT AVAILABLE AT ITS SUPPLY TERMINALS AS PER NEC ARTICLE 230.
- ALL ELECTRICAL EQUIPMENT SHALL BE OF THE HIGH POWER FACTOR TYPE WITH A MINIMUM OF 85% P.F. INSTALL POWER FACTOR CORRECTIVE DEVICES WHERE NEEDED.
- NO CIRCUIT OR FEEDER SHALL EXCEED 3% VOLTAGE DROP.
- ELECTRICAL WIRING, EQUIPMENT AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF NFPA NO. 70 AND THE 2008 EDITION OF THE NATIONAL ELECTRIC CODE AND IS SUBJECT TO THE APPROVAL OF THE ELECTRICAL INSPECTOR.
- THE BRANCH CIRCUIT FEEDING THE UNIT EQUIPMENT SHALL BE THE SAME BRANCH CIRCUIT AS THAT SERVING THE NORMAL LIGHTING IN THE AREA AND CONNECTED AHEAD OF ANY LOCAL SWITCHES.
- ALL ELECTRIC SHALL BE FED FROM OVERHEAD, NO WIRING IN SLAB. MOUNT ALL DEVICES AT A MINIMUM OF 48" ABOVE FINISHED FLOOR.

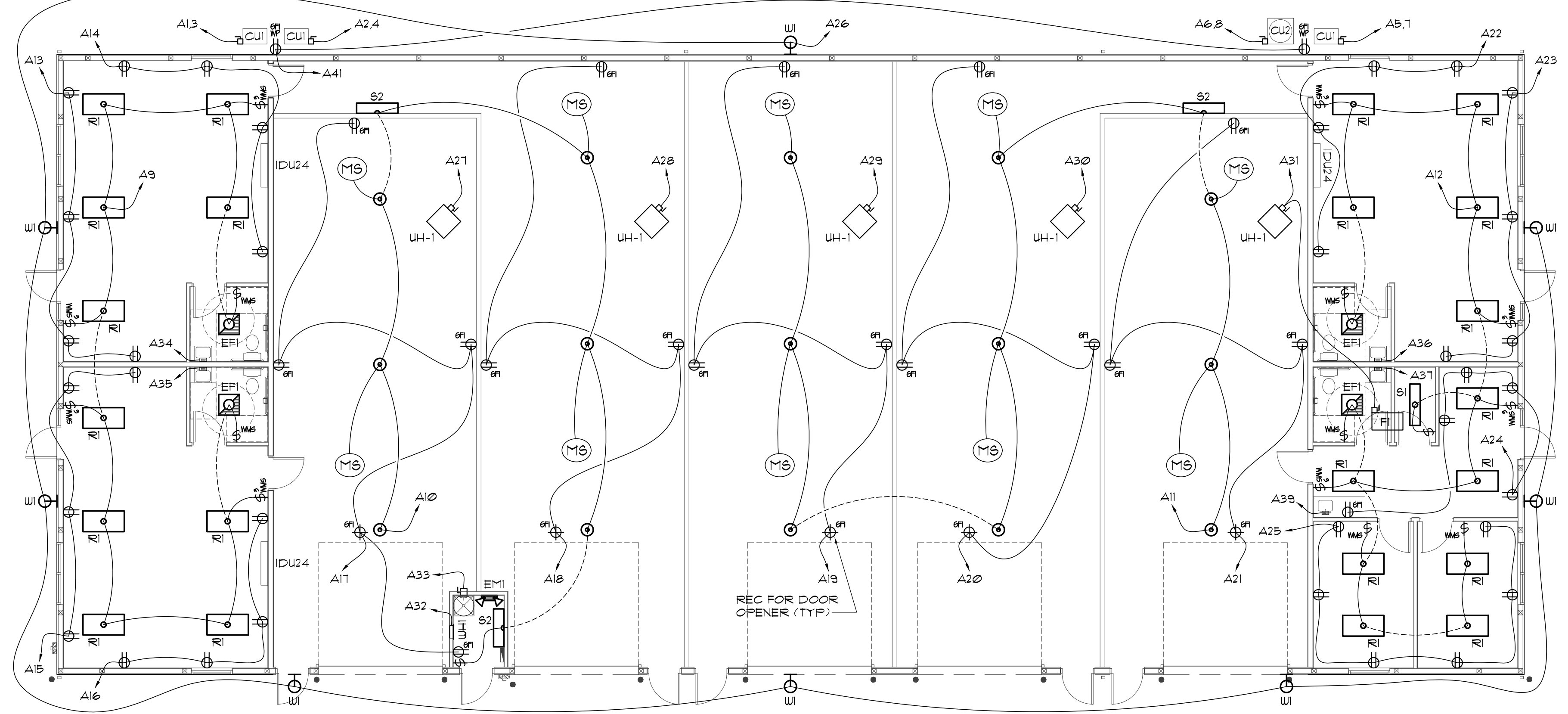
PANELBOARD									
PANEL: 'A'		MOUNTING: SURFACE							
CONNECTED LOAD: 43.5 KW		120.7 AMPS							
MAINS: 200A MCB 120/208V-3Ø-4W									
WS	REMARKS	KW	BKR	CCT	BRK	KW	REMARKS	WS	
12	CUI	2.9	2Ø/2	1	2	2Ø/2	2.9	CUI	12
12	-	-	-	3	4	-	-	-	-
12	CUI	2.9	2Ø/2	5	6	2Ø/2	1.9	CUI	12
12	-	-	-	7	8	-	-	-	-
12	LTS	Ø.6	2Ø/1	9	10	2Ø/1	1.0	LTS	12
12	LTS	1.4	2Ø/1	11	12	2Ø/1	Ø.8	LTS	12
12	REC	Ø.8	2Ø/1	13	14	2Ø/1	Ø.8	REC	12
12	REC	Ø.8	2Ø/1	15	16	2Ø/1	Ø.8	REC	12
12	REC	1.0	2Ø/1	17	18	2Ø/1	Ø.8	REC	12
12	REC	Ø.8	2Ø/1	19	20	2Ø/1	Ø.8	REC	12
12	REC	Ø.8	2Ø/1	21	22	2Ø/1	Ø.8	REC	12
12	REC	Ø.8	2Ø/1	23	24	2Ø/1	1.0	REC	12
12	REC	1.2	2Ø/1	25	26	2Ø/1	Ø.6	EXT. LTS	12
12	UHI	Ø.3	2Ø/1	27	28	2Ø/1	Ø.3	UHI	12
12	UHI	Ø.3	2Ø/1	29	30	2Ø/1	Ø.3	UHI	12
12	UHI & FI	Ø.1	2Ø/1	31	32	2Ø/1	1.5	WALL HEATER	12
12	HU1	1.5	2Ø/1	33	34	3Ø/1	2.4	HU2	10
10	HU2	2.4	3Ø/1	35	36	3Ø/1	2.4	HU2	10
10	HU2	2.4	3Ø/1	37	38	-	-	SFACE	-
10	HU2	2.4	3Ø/1	39	40	-	-	SFACE	-
12	EXT. REC	Ø.4	2Ø/1	41	42	-	-	SFACE	-



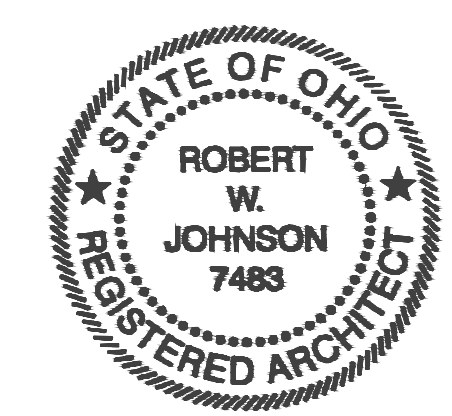
B **ELECTRIC RISER DIAGRAM**
EI SCALE: N.T.S.

ELECTRICAL LEGEND

- Ⓢ SINGLE POLE SWITCH
- Ⓢ^{MS} SINGLE POLE SWITCH W/ WALL MOUNTED OCCUPANCY SENSOR
- Ⓢ³ 3-POLE SWITCH
- Ⓢ² STANDARD DUAL REC. (1Ø AFF.) - 120V UNLESS NOTED OTHERWISE
- Ⓢ⁴ STANDARD QUAD REC. (4Ø AFF.) - 120V UNLESS NOTED OTHERWISE
- Ⓢ^C STANDARD DUAL REC. (CEILING MOUNT) - 120V
- Ⓢ^{CB} CIRCUIT BREAKER PANELBOARD
- Ⓢ^{DS} DISCONNECT SWITCH
- Ⓢ^{MS} CEILING MOUNTED MOTION SENSOR
- Ⓢ^{HI} LED HIGH BAY FIXTURE, BLACK, 5100K, 150 W
- Ⓢ^{RI} 2x4 LED LENSED TROFFERS, 5000K, 5Ø W, LOD-24FL-5ØWØK-BØ OR EQUAL
- Ⓢ^{S1} 1x4 LINEAR LENSED LED, 4ØW, SURFACE MOUNT TO DRYWALL CEILING
- Ⓢ^{S2} 1x4 LINEAR LENSED LED, 4ØW, WALL MOUNT AT Ø'-Ø" AFF.
- Ⓢ^{EFI} CEILING EXHAUST FAN/ LIGHT COMBO: 1Ø CFM AT 25' ØP, 5ØW, PROVIDE 4" DIA. VENT THRU ROOF W/ RAIN CAP, PENN ZL2 OR EQUAL.
- Ⓢ^W LED EXTERIOR WALL PACK, 65W
- Ⓢ^{EX} EXIT LIGHT W/ BATTERY BACKUP & HEADS
- Ⓢ^{EMI} EMERGENCY LIGHT W/ BATTERY BACKUP
- Ⓢ^{EX RH} EXIT LIGHT W/ BATTERY BACKUP & HEADS, PROVIDE W/ REMOTE HEADS ON EXTERIOR
- Ⓢ^{WHI} ELECTRIC WALL HEATER, 15 KW
- Ⓢ^{UHI} 'REZINOR' UD48-45 GAS-FIRED UNIT HEATER, 45,000 BTU, 115/1ØØ SUPPLY VOLTAGE, PROVIDE 4" DIA. VENT THRU ROOF W/ RAIN CAP.
- Ⓢ^{CUI} SINGLE ZONE DUCTLESS MINI SPLIT HEAT PUMP, 24,000 BTU, 1Ø SEER, 2Ø8/1ØØ SUPPLY VOLTAGE, MITSUBISHI OR EQUAL.
- Ⓢ^{CU2} AIR COOLED CONDENSING UNIT: 18,000 BTU TOTAL COOLING, 9 AMPS, 2Ø8V-1ØH, MOUNT ON 4" CONCRETE PAD
- Ⓢ^{IDU24} WALL MOUNTED INDOOR UNIT, 24,000 BTU, POWERED FROM CONDENSING UNIT
- Ⓢ^{FI} GAS FIRED HORIZONTAL FURNACE: 40,000 BTU INPUT, 38,000 BTU OUTPUT, 65Ø CFM @ 5" ØP, 1.5 HP MOTOR, 12ØV-1ØH, 18,000 BTU COOLING W/ INTERNAL COOLING COIL, TRANE OR EQUAL.

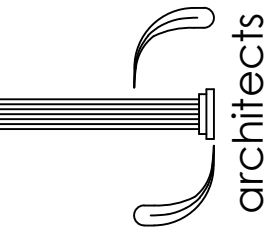


A **ELECTRIC PLAN**
EI SCALE: 1/8" = 1'-0"



EASTGATE COMMERCIAL PARK
 BUILDING 1
 EASTGATE PARKWAY, GAHANNA OHIO 43230

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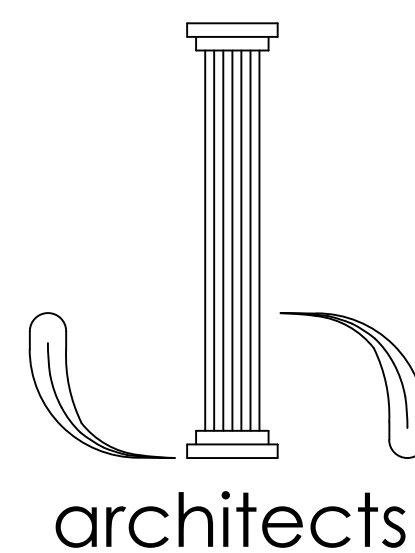
19046
 01-22-20

E1

NEW CONSTRUCTION:

EASTGATE COMMERCIAL PARK

BUILDING 2
EASTGATE PARKWAY
GAHANNA, OH 43230



JH Architects, Inc.

5120B Nike Drive
Hilliard, Ohio 43026
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SPECIFICATIONS

- THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS AND PROVISIONS OF THE OHIO BUILDING CODE - 2017
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED FIRM EARTH WITH A BEARING CAPACITY OF NOT LESS THAN 1,500 P.S.F.
 - CONCRETE SHALL BE DESIGNED FOR 28 DAY COMPRESSION STRENGTH OF 3,000 P.S.I. FOR FOOTINGS AND 3,500 P.S.I. FOR INT. SLABS
 - SIDING AND ROOFING TO BE MIN. 29GA STEEL WITH 1 MIL. THICK SILICONE POLYESTER FINISH OVER GALV. COATING.
 - SIDING AND ROOFING TO BE APPLIED WITH #9 SCREW TYPE FASTENERS
 - TIMBERS TO BE #1 S.Y.P. OR BETTER PRESURE TREATMENT TO BE .60 C.C.A. PER CU. FT. OF WOOD.
 - SPLASH BOARD TO BE #2 OR BETTER S.Y.P. PRESURE TREATMENT TO BE .40 C.C.A. PER CU. FT. OF WOOD
 - ALL OTHER FRAMING TO BE #2 SITKA SPRUCE.
 - ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1017.4.1 OBC.

BUILDING DATA

- FLOOR LIVE LOADS
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
- WAREHOUSE 125 P.S.F.
- WHOLESALE AREA 125 P.S.F. 100 CONCENTRATED.
- ROOF LIVE & SNOW LOADS
- 1609.4 O.B.C. EXPOSURE CATEGORY - B
- 1608.2 GROUND SNOW LOAD = 20 PSF
SNOW LOAD IMPORTANCE FACTOR CAT. 1 IG = 1.0
THERMAL FACTOR PER 1608.3.2. G = 1.0
ROOF SNOW LOADING 25 P.S.F. INCLUDING DRIFT LOADS.

WIND LOADS

- BASIC WIND SPEED 90 M.P.H. 3 SECOND GUST PER SECTION 1609.6
- WIND IMPORTANCE FACTOR $I_w = 1.0$
- WIND EXPOSURE B & SURFACE ROUGHNESS B.
- NET PRESSURE COEFFICIENT C_{p1} FROM TABLE 1609.6.2
ASCE1-98 - ENCLOSURE CLASSIFICATION PARTIALLY ENCLOSED
 $C_{p1} = +/- 0.83$.
- DESIGN PRESSURES FOR COMPONENTS & CLADDING & ROOF PER TABLE 6-3B ASCE 7-2005 1609.6.2. = -1.04

SEISMIC LOADS

- SEISMIC USE GROUP II.
- STRUCTURE ASSUMED TO BE STRUCTURALLY INDEPENDENT.
- SDS 0.50
- SDI 0.20
- SITE CLASS D.
- BASIC SEISMIC FORCE RESISTING SYSTEM (TABLE 1613.5.1)
LIGHT FRAME WALLS WITH SHEAR PANELS (SHEET STEEL PANELS)
- DESIGN BASE SHEAR $V = 1975$ lbs.

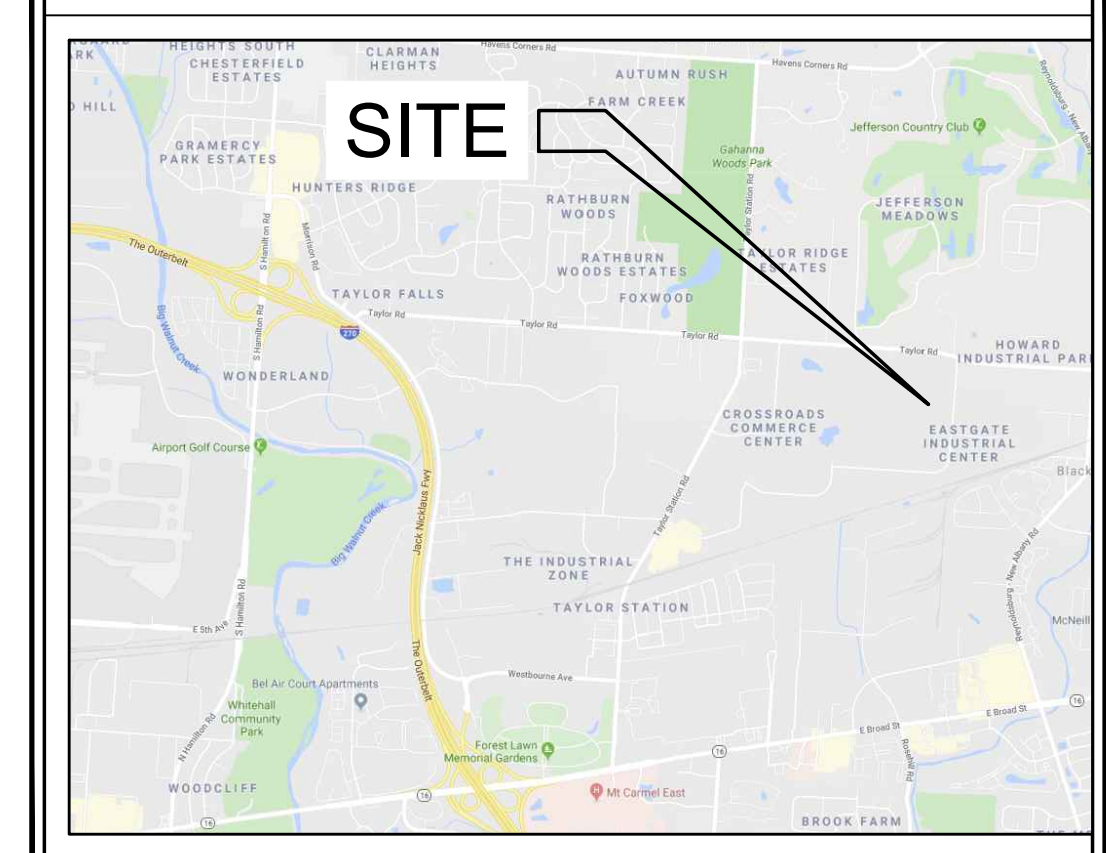
SHEET INDEX

- A0 TITLE SHEET
- C4 CIVIL SITE PLAN
- A1 FLOOR PLAN
- A2 ELEVATIONS
- A3 SECTIONS
- P1 PLUMBING PLAN
- E1 ELECTRIC PLAN

BUILDING DATA

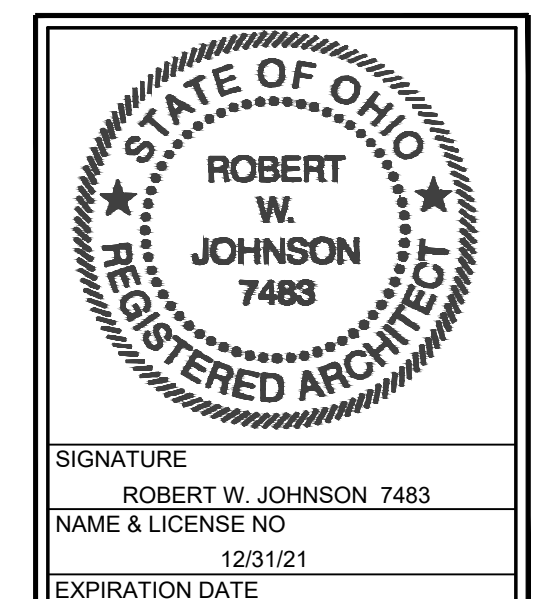
- CONSTRUCTION TYPE: 5B
- USE GROUP: 'S-1' STORAGE
- OCCUPANCY = 'S-1' = 8520/300 = 18 OCCUPANTS
- AREA: 8520 SQFT. TOTAL
- ALLOWABLE AREA = 9,000 SF.
- NON-SPRINKLERED, NON-SEPARATED
- DESIGNED PER: 2017 OHIO BUILDING CODE
2017 OHIO MECHANICAL CODE
2017 OHIO PLUMBING CODE
2017 NATIONAL ELECTRIC CODE
2011 OHIO FIRE CODE
- EXIT/EMERGENCY LIGHTING: ALL SPACES REQUIRE ONLY ONE EXIT PER OBC SECTION 1006.2.1.
EXIT/EMERGENCY LIGHTING NOT REQUIRED PER OBC SECTIONS 1008.3 & 1013.1

SITE LOCATION



ISSUE DATES

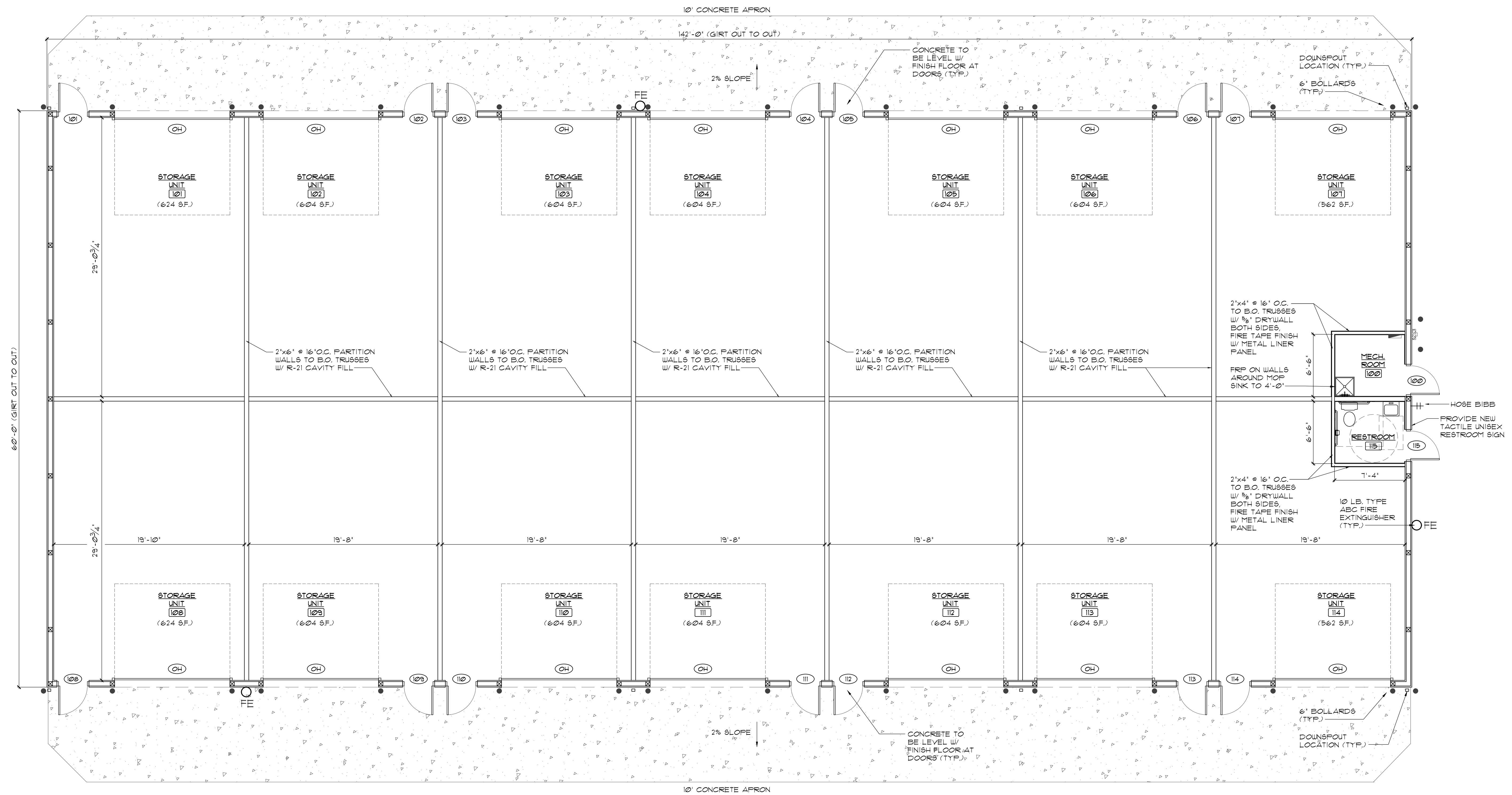
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BIDDING-	
PERMIT-	01-22-20
CONSTRUCTION-	
REVISIONS	
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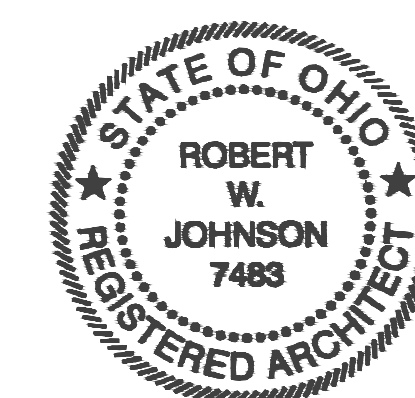
EASTGATE PARKWAY
GAHANNA, OH 43230

EASTGATE BUILDING 2

Permit Drawings
Issue Date: 01-22-20
Project No.: 19046

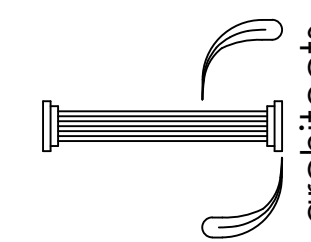


FLOOR PLAN
SCALE: 3/16" = 1'-0"
NORTH



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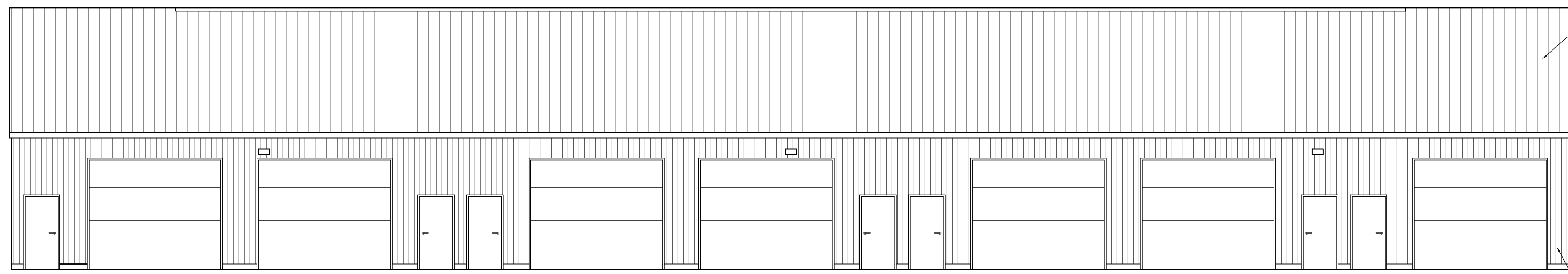
19046
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A1

EAVE
23'-11"

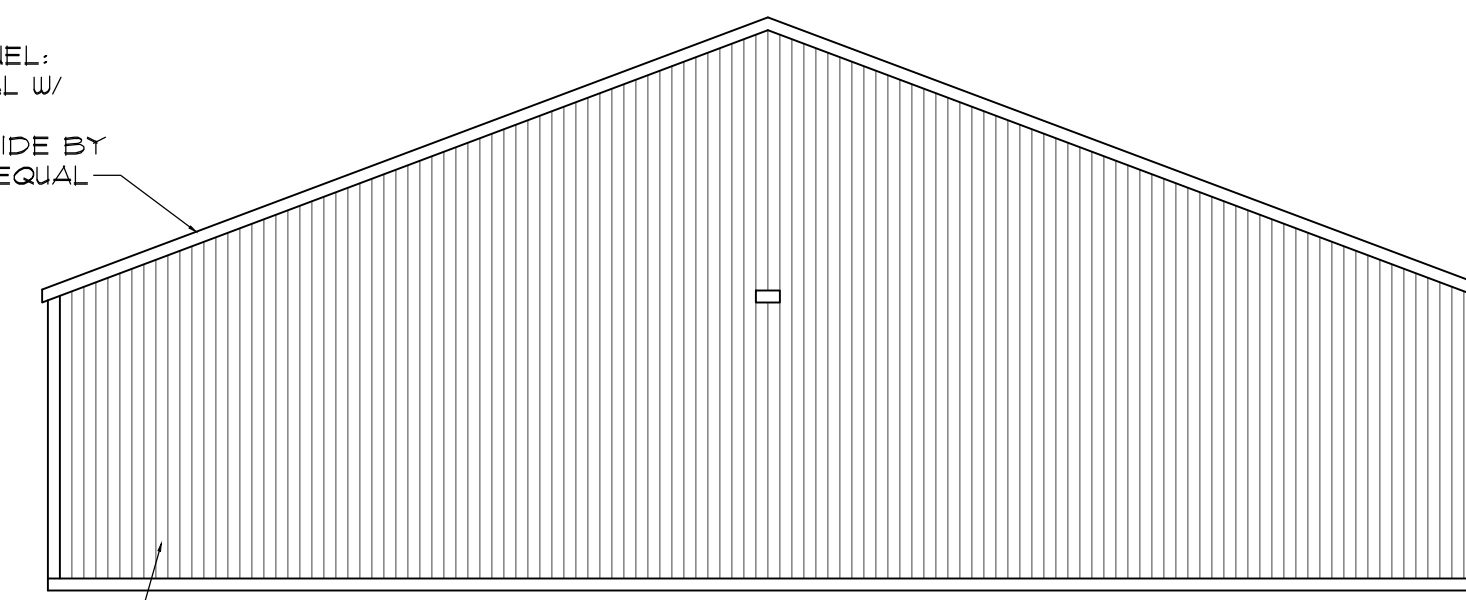
EAVE
12'-0"

GRADE
0'-0"



A SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

METAL ROOF PANEL:
29GA BARN METAL W/
CONDENSATION
COATING UNDERSIDE BY
D4L METALS OR EQUAL



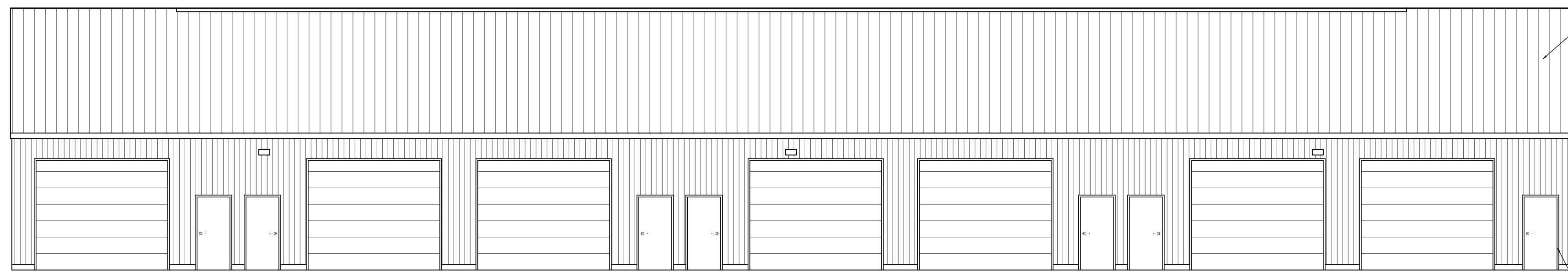
B WEST ELEVATION
SCALE: 1/8" = 1'-0"

METAL WALL PANEL:
29GA BARN METAL BY
D4L METALS OR EQUAL

EAVE
23'-11"

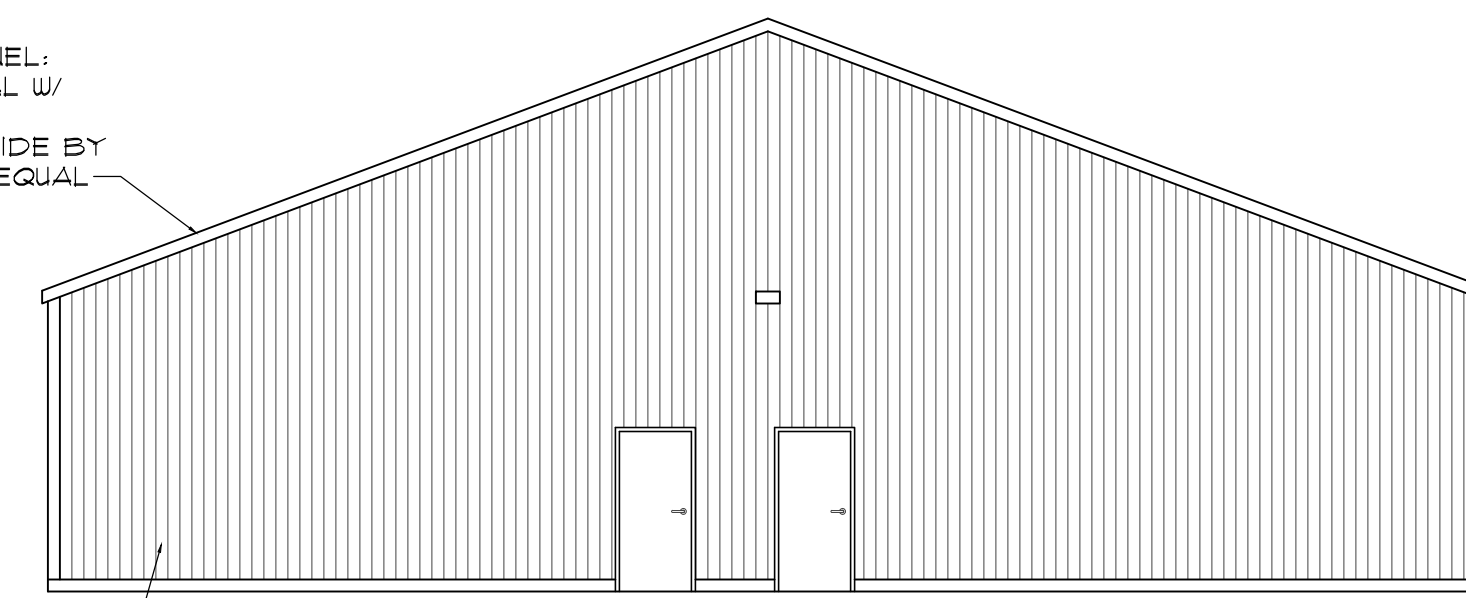
EAVE
12'-0"

GRADE
0'-0"



C NORTH ELEVATION
SCALE: 1/8" = 1'-0"

METAL ROOF PANEL:
29GA BARN METAL W/
CONDENSATION
COATING UNDERSIDE BY
D4L METALS OR EQUAL



D EAST ELEVATION
SCALE: 1/8" = 1'-0"

METAL WALL PANEL:
29GA BARN METAL BY
D4L METALS OR EQUAL

ROOM FINISH SCHEDULE								
NO.	NAME	FLOOR	BASE	WALLS	CEILING		REMARKS	
		MATERIAL	MATERIAL	MATERIAL	COLOR	MATERIAL		HGT.
100	MECHANICAL ROOM	CONCRETE	-	5/8" DRYWALL	-	5/8" DRYWALL	12'-0"	-
101	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
102	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
103	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
104	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
105	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
106	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
107	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
108	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
109	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
110	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
111	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
112	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
113	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
114	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	12'-0"	-
115	RESTROOM	CONCRETE	-	5/8" DRYWALL	-	5/8" DRYWALL	12'-0"	-

DOOR SCHEDULE						
DOOR NO.	TYPE	DOOR		FRAME MATL.	FIRE RATING	HARDWARE
		SIZE	MATL.			
100	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
101	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
102	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
103	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
104	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
105	A	3'0" x 6'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
106	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
107	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
108	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
109	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
110	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
111	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
112	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
113	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
114	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
115	A	3'0" x 7'6" x 1 3/4"	INSUL. MTL	HM	0 HR	(2)
001	B	12'0" x 10'0"	INSUL. MTL	MTL	0 HR	(3)

DOOR HARDWARE

- (1) 1 1/2 SET HINGES, CLOSER, KEYED LOCKSET
- (2) 1 1/2 SET HINGES, CLOSER, PRIVACY LOCKSET
- (3) SLIDE LOCK

ADA REQUIREMENTS

ALL HARDWARE SHALL MEET ADA (ADAAG) REQUIREMENTS PER ICC AND ANSI 117.1. ALL DOOR OPENING DEVICES SHALL BE LEVER TYPE.

HARDWARE SPECIFICATIONS:

- DOOR LOCKSETS: SCHLAGE OR EQUAL
- WALL STOP: HAGGER 324W
- CLOSER: HAGGER 5300 SERIES
- KICK PLATES: HAGGER 1906
- HINGES: HAGGER BB 1219
- SEALS: NGP 1605
- DOOR SWEEP: NGP 199NA
- THRESHOLD: NGP 424
- STEEL DOORS: 18GA. GALVANNEALED STEEL, FULL FLUSH, SEAMLESS, STEELCRAFT L18
- FRAMES: 16GA. STEEL, WELDED, STEELCRAFT F16

HARDWARE NOTES:

- HARDWARE FOR ALL EGRESS DOORS SHALL MAINTAIN THE DOORS READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT. DRAW BOLTS, HOOKS, AND OTHER SIMILAR DEVICES ARE PROHIBITED ON ALL EGRESS DOORS.
 - GLAZING IN ALL INGRESS AND EGRESS DOORS.
 - GLAZING OPERABLE OR INOPERABLE, ADJACENT TO A DOOR AND WITHIN THE SAME WALL PLANE AS THE DOOR WHOSE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- PROVIDE HARDWARE SCHEDULE FOR APPROVAL.
- HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOOR SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 INCHES ABOVE FINISHED FLOOR.
- IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 10 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
- THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:
 - DOORS WITHOUT CLOSERS: 5 POUND FORCE
 - OTHER DOORS: 15 POUND FORCE
- THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/4 INCH IN HEIGHT FOR EXTERIOR SLIDING DOORS OR 1/2 INCH FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.

FINISHES:

WALLS & CEILING OF ROOMS OR ENCLOSED SPACES SHALL BE MINIMUM CLASS C FINISH.

CLASS B: FLAME SPREAD 26-75
SMOKE DEVELOPED 0-450

CLASS C: FLAME SPREAD 76-200
SMOKE DEVELOPED 0-450

ALL FINISH RATINGS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE 2011 IBC.

FINISH MATERIALS SHALL BE AS FOLLOWS:

- DW - 5/8" DRYWALL BY GOLD BOND OR EQUAL
- VINYL BASE - 4" HIGH ARMSTRONG OR EQUAL
- VINYL TILE (VCT) - ARMSTRONG OR EQUAL
- ACOUSTIC CEILING TILE (ACT) - ARMSTRONG DUNE OR EQUAL
- CARPET SHALL MEET DOC FF-1 "FILL TEST" (CPSC 16 CFR PART 1630)

INTERIOR PAINTING - DRYWALL:

- FIRST COAT - DRYWALL PRIMER SEALER
- SECOND COAT - EGGSHELL LATEX
- THIRD COAT - EGGSHELL LATEX

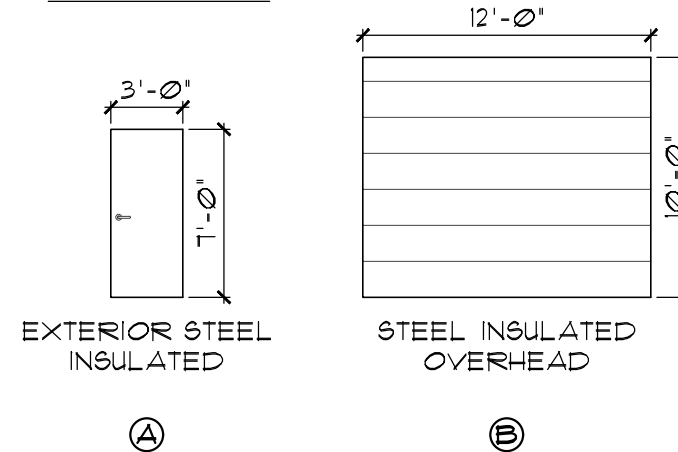
EXTERIOR PAINTING - DOORS & DOOR FRAMES:

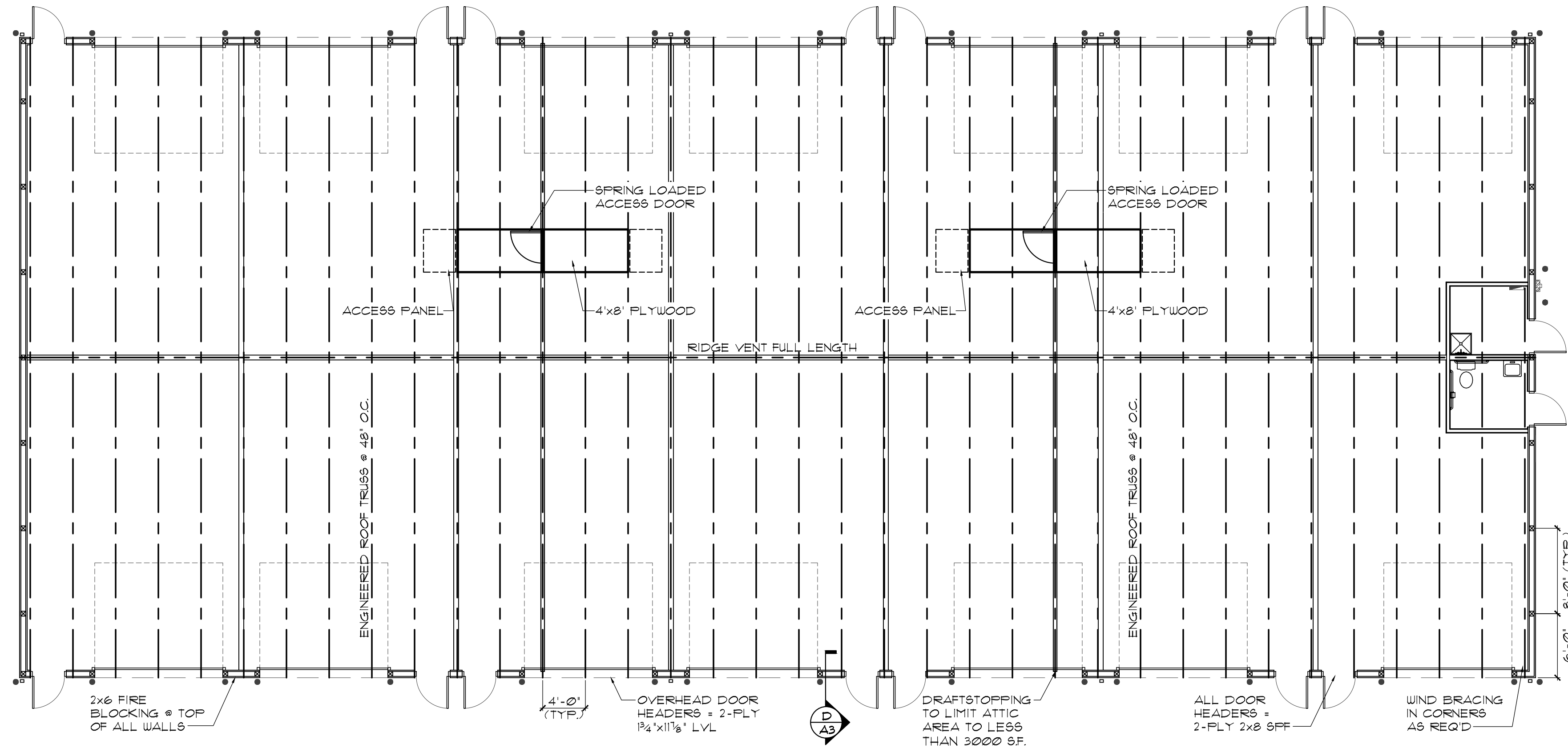
- FIRST COAT - PRIMER
- SECOND COAT - SEMI-GLOSS ALKYD EXTERIOR ENAMEL
- THIRD COAT - SEMI-GLOSS ALKYD EXTERIOR ENAMEL

METAL PANEL - INTERIOR & EXTERIOR:

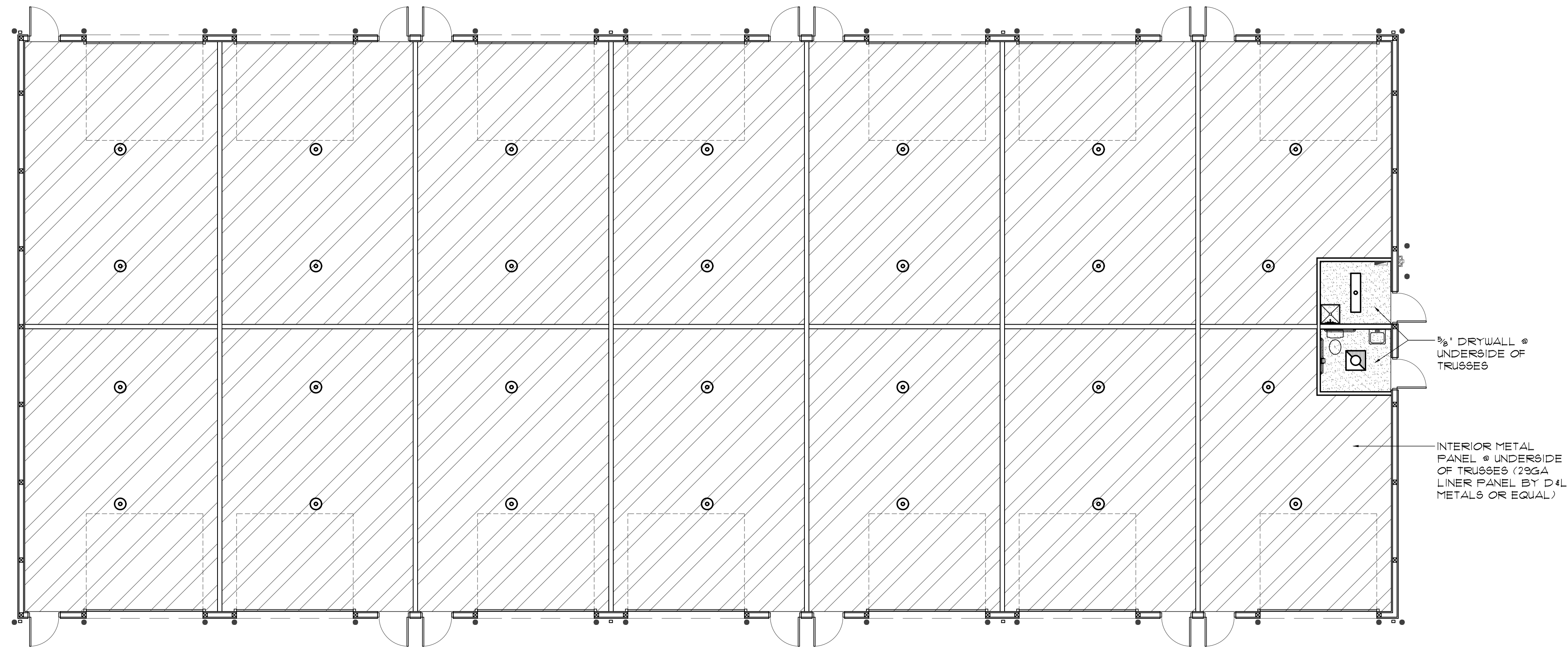
- INTERIOR WALL & CEILING - 29GA LINER PANEL BY D4L METALS OR EQUAL
- EXTERIOR WALL - 29GA BARN METAL BY D4L METALS OR EQUAL
- ROOF - 29GA BARN METAL W/ CONDENSATION COATING UNDERSIDE BY D4L METALS OR EQUAL

DOOR TYPES

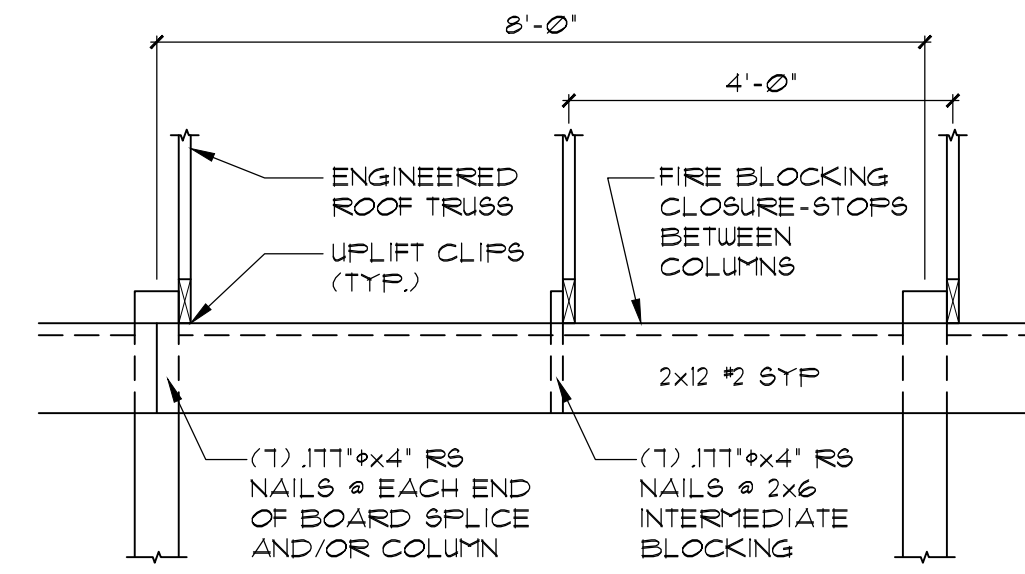




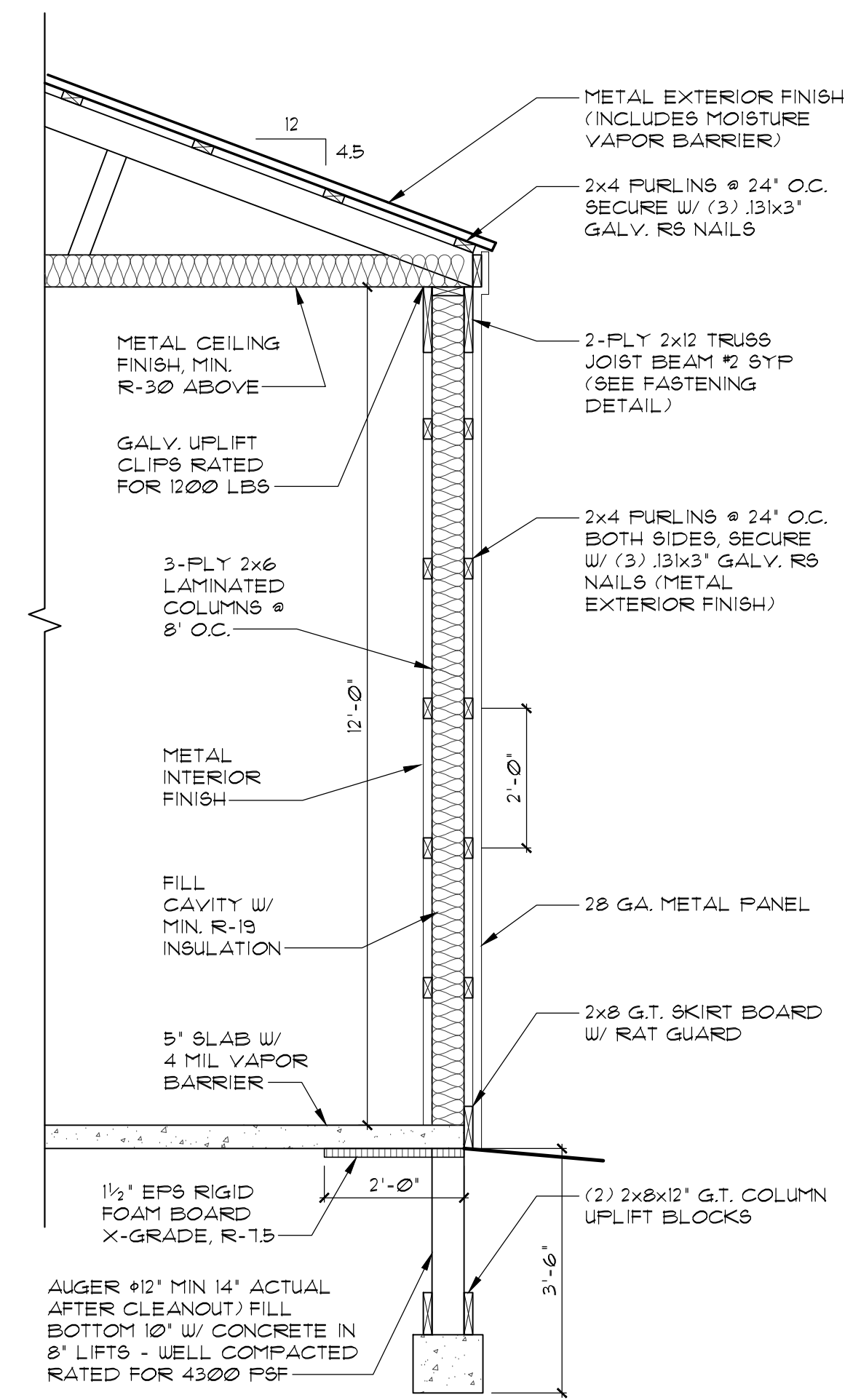
A FRAMING PLAN
SCALE: 1/8" = 1'-0"



B REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



C FASTENING DETAIL
SCALE: 1/2" = 1'-0"

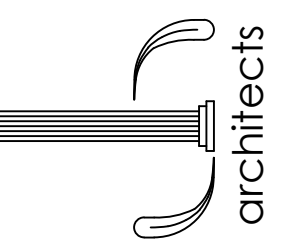


D WALL SECTION (TYP.)
SCALE: 1/2" = 1'-0"



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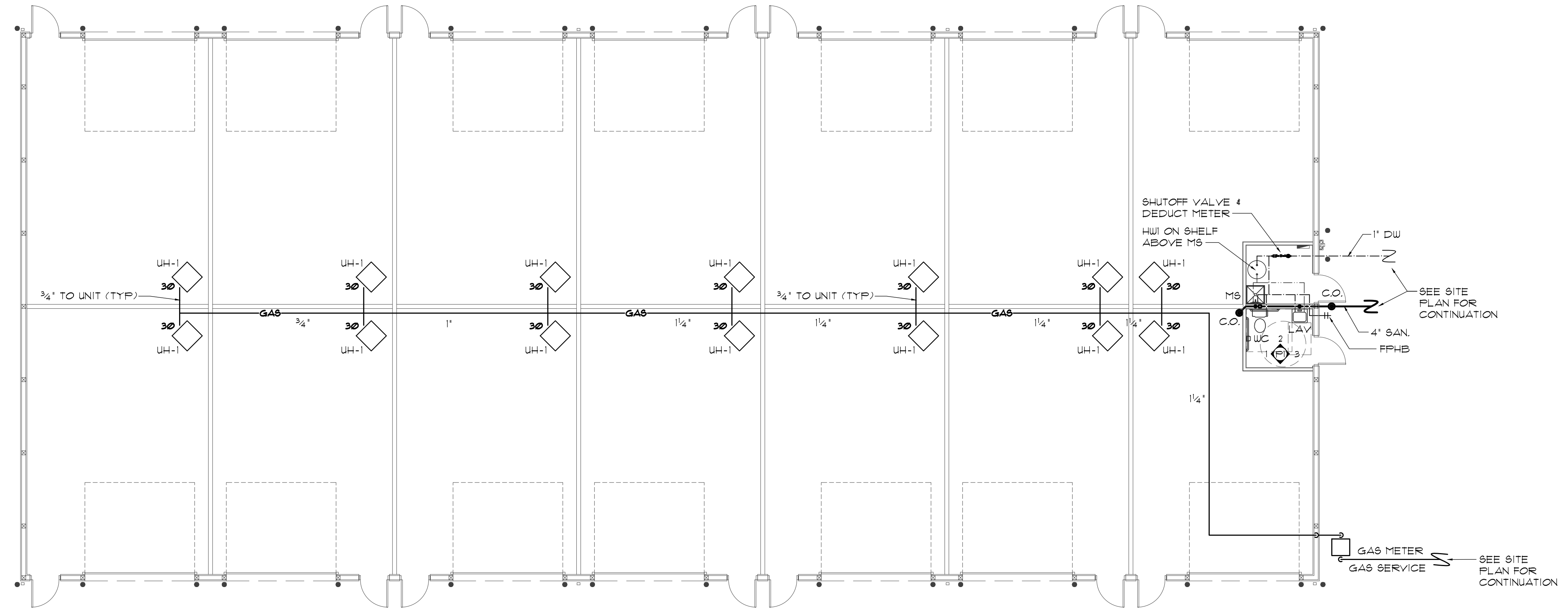
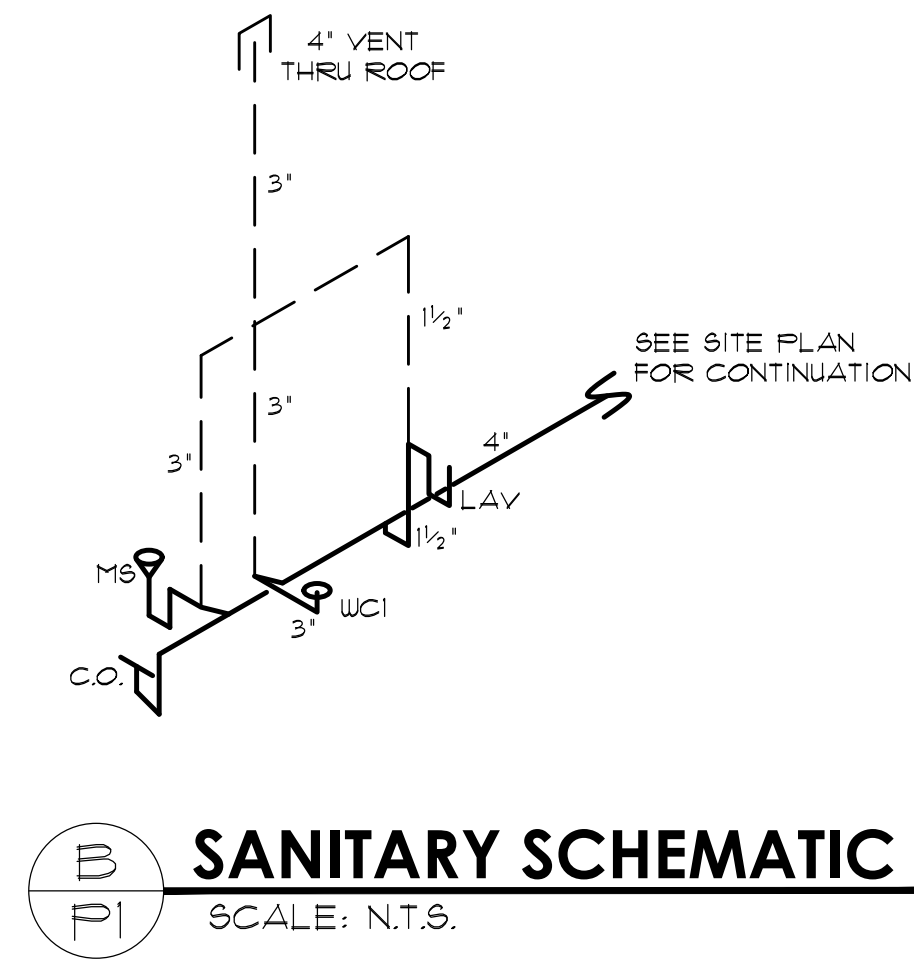


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DESIG	DESCRIPTION	SUPPLY			WASTE/VENT PIPING			FIXTURE		SUPPLY TRIM		SUPPLY STOP		TRAP		REMARKS
		WTG HGT	HW	CW	FIXTURE OUTLET	TRAP	DRAIN	VENT	MFR	CAT. NO.	MFR	CAT. NO.	MFR	CAT. NO.	MFR	
WC1	WATER CLOSET-TANK TYPE	18"	1/2"	1/2"	3"	3"	3"	KOHLER	K-4405			McGUIRE	155-LK			SEAT BY MANSFIELD, OR EQUAL
LAV	WALL MOUNT LAVATORY	21"	1/2"	1/2"	1-1/2"	1-1/2"	1-1/2"	KOHLER	K-2005	DELTA	501-D5T	McGUIRE	165-LK	McGUIRE	8902	OR EQUAL
MS	MOP SINK	FLR	1/2"	1/2"	3"	3"	3"	FIAT	M8B24241000	FIAT	SUPPLIED W/SINK				OR EQUAL	
HW	ELECTRIC WATER HEATER	-	1"	1"	-	-	-	RUUD	EG5P6						6 GAL TANK, POINT OF USE, 15 KW	
FPHB	FREEZE PROOF HOSE BIBB	WALL	3/4"	3/4"	-	-	-	ZURN	Z1320-EZ						MOUNT @ 36" AFF.	

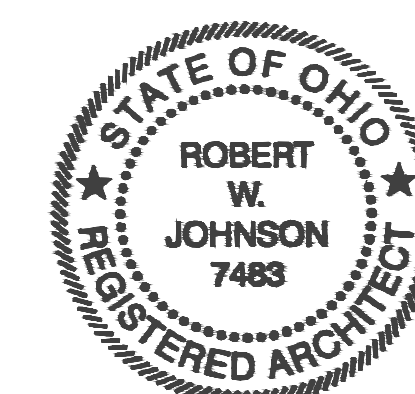
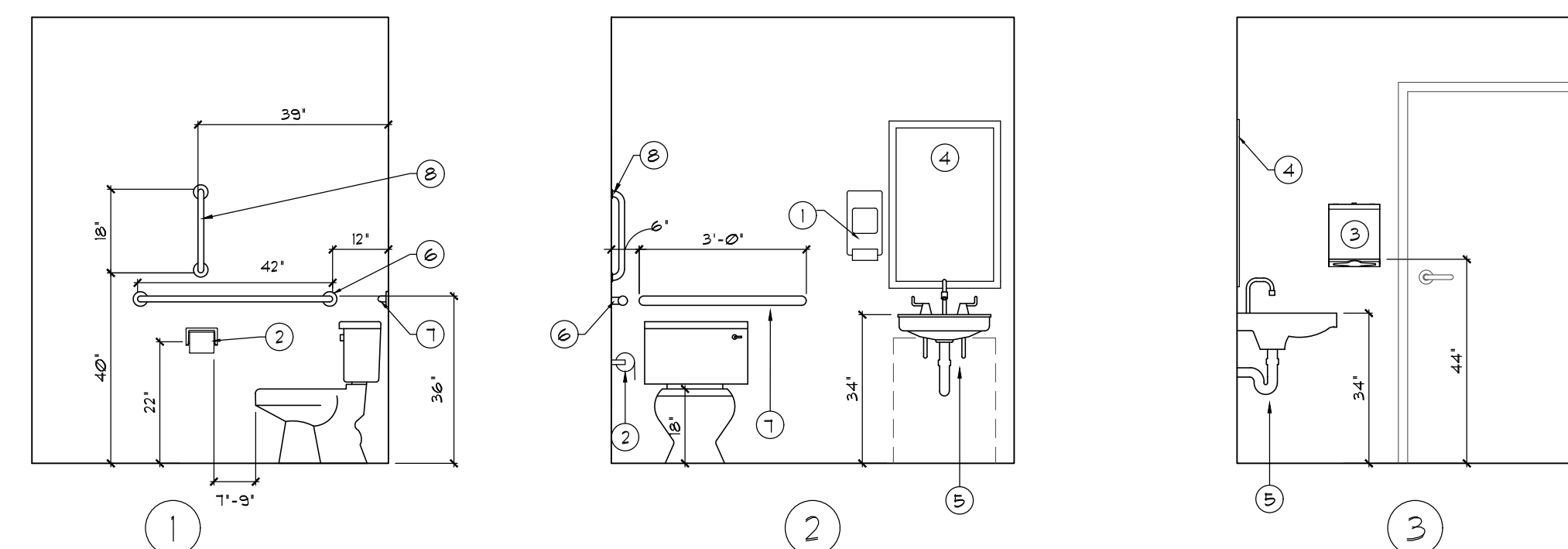
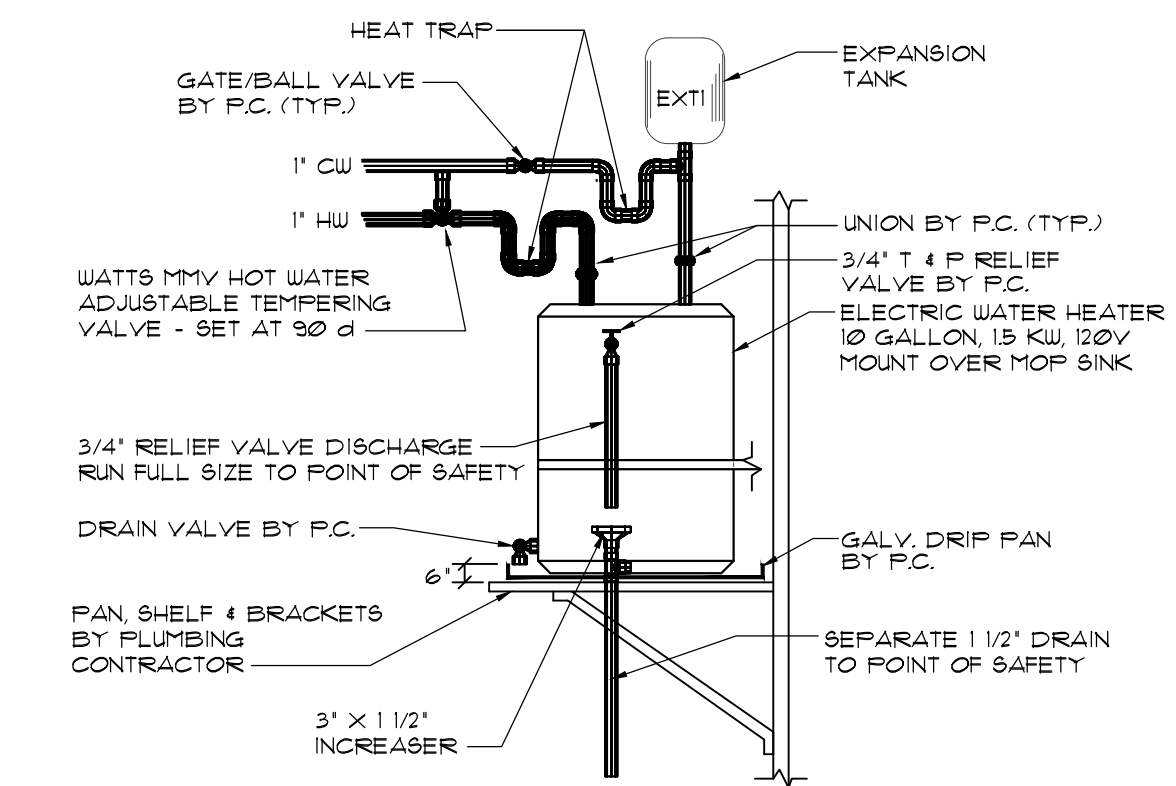
① PROVIDE AQUA-GUARD THERMOSTATIC MIXING VALVE BY ZURN @ LAVATORIES & SINKS



PLUMBING NOTES

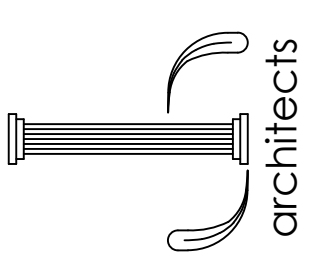
- ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH ALL CITY, COUNTY AND STATE CODES AND LAWS AS THEY APPLY, INCLUDING THE BOARD OF HEALTH.
- UNDERGROUND SANITARY PIPING SHALL BE SCHEDULE 40 PVC PIPE AND FITTINGS.
- ABOVE GROUND SANITARY PIPING SHALL BE SCHEDULE 40, PVC PIPING AND FITTINGS EXCEPT IN RETURN AIR PLENUMS WHERE PIPING SHALL BE WRAPPED IN METAL OR PIPING MATERIAL SHALL BE COPPER OR NO-HUB IN ACCORDANCE WITH THE APPLICABLE CODE.
- UNDERGROUND WATER PIPING SHALL BE TYPE K SOFT COPPER INSTALLED WITHOUT FITTINGS OR COUPLINGS.
- ABOVE GROUND WATER PIPING SHALL BE TYPE L HARD DRAWN COPPER WITH WROUGHT COPPER FITTINGS.
- GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL. UNDER 2' SHALL BE SCREWED FITTINGS ABOVE 2' SHALL BE WELDED.
- INSTALL ALL EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
- HOT & COLD WATER PIPING SHALL BE INSULATED WITH 1/2" ARMAFLEX OR EQUAL. THE PLUMBING CONTRACTOR IS RESPONSIBLE.
- USE DECKTITE FLASHINGS FOR THE ROOF SYSTEM.

ACCESSORIES SCHEDULE				
NO.	ITEM	MAKE *	QUANTITY	REMARKS
1	HD SOAP DISPENSER	COMMERCIAL GRADE	1	SURFACE MTD. W/ REPLACEABLE HAND CLEANER PACKETS (SUPPLIED BY OWNERS)
2	TOILET PAPER DISP.	BOBRICK B-265	1	-
3	ROLL PAPER		1	FURNISHED BY OWNER
4	MIRROR	BOBRICK B-165	1	30" W x 36" H MOUNT @ 38" AFF. TO BOTTOM OF UNIT
5	INSULATION WRAP	BROCAR	1 SET	C800R, INSTALL @ EACH EXPOSED LAVATORY
6	GRAB BAR	BOBRICK B-6206	1	42", 1 1/2" DIA. MOUNT @ 34" AFF. TO CENTERLINE OF UNIT
7	GRAB BAR	BOBRICK B-6206	1	36", 1 1/2" DIA. MOUNT @ 34" AFF. TO CENTERLINE OF UNIT
8	GRAB BAR	BOBRICK B-6206	1	18", 1 1/2" DIA. MOUNT VERTICAL AS SHOWN



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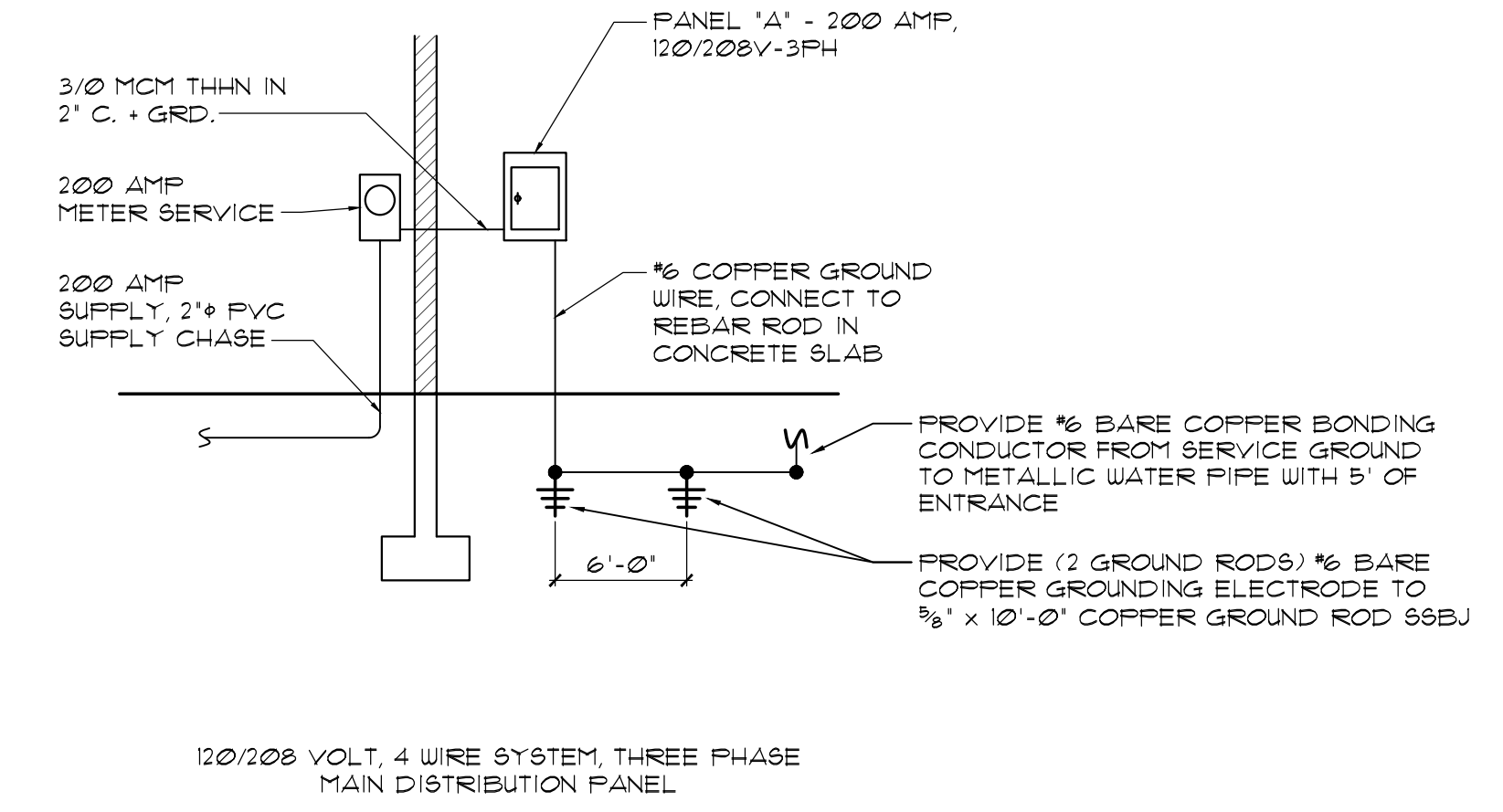
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ELECTRICAL GENERAL NOTES

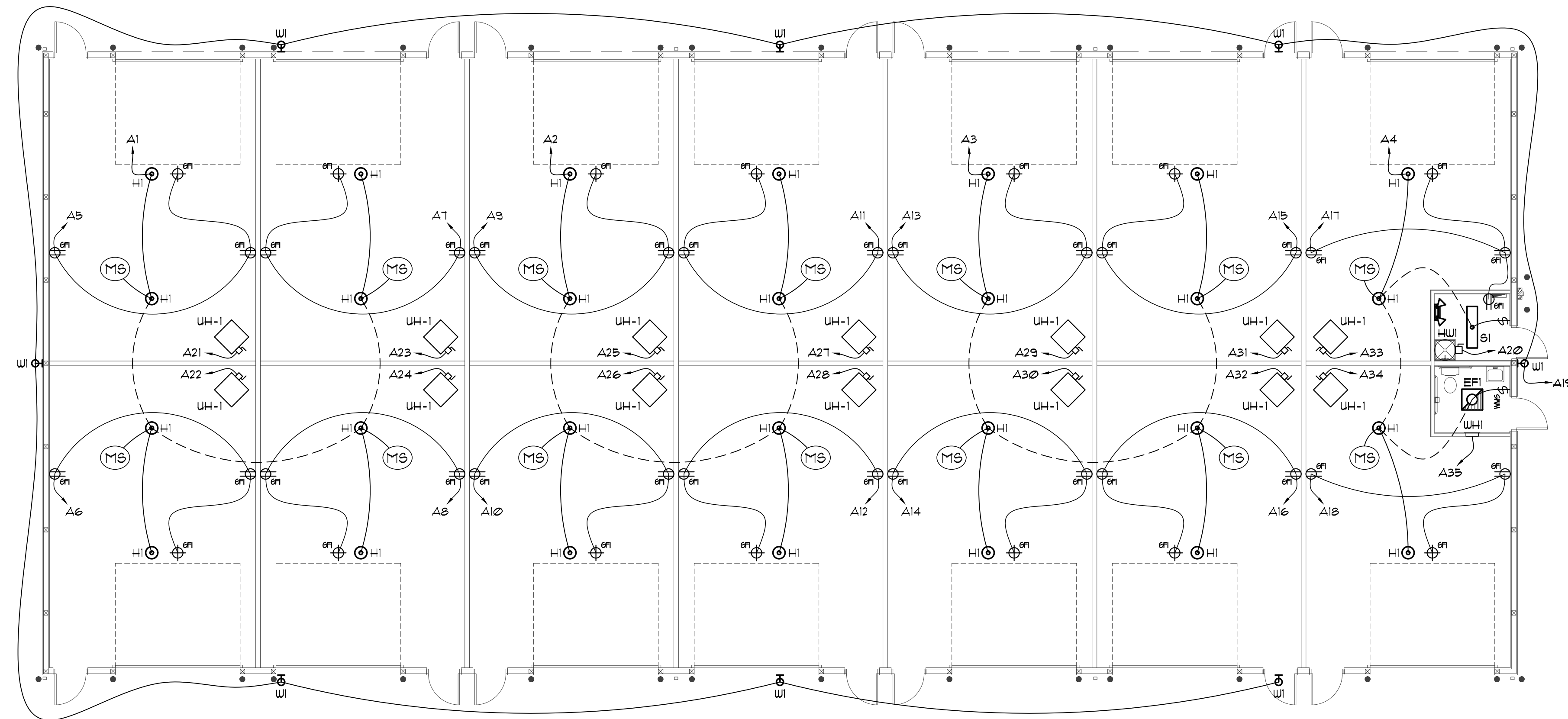
- ALL EQUIPMENT SHALL BEAR THE UL LABEL AND BE INSTALLED ACCORDING TO THE 2014 EDITION OF THE NEC.
- ALL WIRE SHALL BE TYPE THHN/THWN, 100% COPPER, UNLESS OTHERWISE NOTED ON THE DRAWINGS. WIRES SHALL BE SIZED ACCORDING TO NEC ARTICLE 310-15.
- ALL WIRING SHALL BE INSTALLED IN METALLIC RACEWAY SYSTEM SIZED ACCORDING TO NEC CHAPTER 9, TABLE 1. NON-METALLIC CONDUIT SHALL BE ACCEPTABLE BELOW GRADE OR IN SLAB. CODEX CABLE IS ACCEPTABLE.
- ALL OUTLET, SWITCH AND JUNCTION BOXES SHALL BE METALLIC AND COMPLY WITH NEC ARTICLE 314 AND BE SIZED ACCORDING TO TABLE 314-16A.
- SPLICES SHALL BE MADE ONLY AT ACCESSIBLE LOCATIONS, OUTLET BOXES, PANELBOARDS, JUNCTION BOXES, ETC. TERMINAL CONNECTIONS AND SPLICES IN ALL WIRE $\frac{1}{2}$ " AND LARGER SHALL BE MADE WITH APPROVED SOLDERLESS CONNECTORS, PROPERLY INSULATED AND TAPED WHERE NECESSARY. IN SMALLER WIRES ALL SPLICES SHALL BE MADE EITHER WITH APPROVED SOLDERLESS CONNECTORS OR SHALL BE SOLDERED AND TAPED AS REQUIRED TO INSURE PROPER INSULATION.
- SERVICE EQUIPMENT SHALL BE SUITABLE FOR SHORT-CIRCUIT CURRENT AVAILABLE AT ITS SUPPLY TERMINALS AS PER NEC ARTICLE 230.
- ALL ELECTRICAL EQUIPMENT SHALL BE OF THE HIGH POWER FACTOR TYPE WITH A MINIMUM OF 85% P.F. INSTALL POWER FACTOR CORRECTIVE DEVICES WHERE NEEDED.
- NO CIRCUIT OR FEEDER SHALL EXCEED 3% VOLTAGE DROP.
- ELECTRICAL WIRING, EQUIPMENT AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF NFPA NO. 70 AND THE 2008 EDITION OF THE NATIONAL ELECTRIC CODE AND IS SUBJECT TO THE APPROVAL OF THE ELECTRICAL INSPECTOR.
- THE BRANCH CIRCUIT FEEDING THE UNIT EQUIPMENT SHALL BE THE SAME BRANCH CIRCUIT AS THAT SERVING THE NORMAL LIGHTING IN THE AREA AND CONNECTED AHEAD OF ANY LOCAL SWITCHES.
- ALL ELECTRIC SHALL BE FED FROM OVERHEAD, NO WIRING IN SLAB. MOUNT ALL DEVICES AT A MINIMUM OF 48" ABOVE FINISHED FLOOR.

PANELBOARD									
PANEL: 'A'					MOUNTING: SURFACE				
CONNECTED LOAD: 20.7 KW					57.5 AMPS				
MAINS: 200A MCB 120/208V-3Φ-4W									
WS	REMARKS	KW	BKR	CCT	BRK	KW	REMARKS	WS	
12	LT9	12	20/1	1	2	20/1	12	LT9	12
12	LT9	12	20/1	3	4	20/1	0.7	LT9	12
12	REC	0.6	20/1	5	6	20/1	0.6	REC	12
12	REC	0.6	20/1	7	8	20/1	0.6	REC	12
12	REC	0.6	20/1	9	10	20/1	0.6	REC	12
12	REC	0.6	20/1	11	12	20/1	0.6	REC	12
12	REC	0.6	20/1	13	14	20/1	0.6	REC	12
12	REC	0.6	20/1	15	16	20/1	0.6	REC	12
12	REC	0.8	20/1	17	18	20/1	0.6	REC	12
12	EXT. LT9	0.6	20/1	19	20	20/1	1.5	HUI	12
12	UHI	0.3	20/1	21	22	20/1	0.3	UHI	12
12	UHI	0.3	20/1	23	24	20/1	0.3	UHI	12
12	UHI	0.3	20/1	25	26	20/1	0.3	UHI	12
12	UHI	0.3	20/1	27	28	20/1	0.3	UHI	12
12	UHI	0.3	20/1	29	30	20/1	0.3	UHI	12
12	UHI	0.3	20/1	31	32	20/1	0.3	UHI	12
12	UHI	0.3	20/1	33	34	20/1	0.3	UHI	12
12	WALL HEATER	1.5	20/1	35	36			SPACE	
	SPACE			37	38				
				39	40				
				41	42				

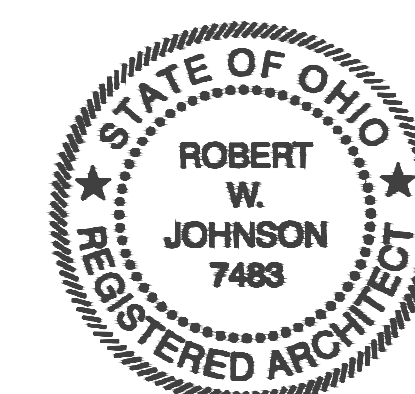


B **ELECTRIC RISER DIAGRAM**
SCALE: N.T.S.

ELECTRICAL LEGEND	
⊞	SINGLE POLE SWITCH
⊞MS	SINGLE POLE SWITCH W/ WALL MOUNTED OCCUPANCY SENSOR
⊞3	3-POLE SWITCH
⊞	STANDARD DUAL REC. (18" AFF.) - 120V UNLESS NOTED OTHERWISE
⊞4	STANDARD QUAD REC. - 120V UNLESS NOTED OTHERWISE
⊞	STANDARD DUAL REC. (CEILING MOUNT) - 120V
⊞	CIRCUIT BREAKER PANELBOARD
⊞MS	CEILING MOUNTED MOTION SENSOR
⊞HI	LED HIGH BAY FIXTURE, BLACK, 5100K, 150 W
⊞S1	2-LAMP COMMERCIAL LINEAR FLUORESCENT, 32W T8
⊞W	LED EXTERIOR WALL PACK, 65W
⊞EM	EMERGENCY LIGHT W/ BATTERY BACKUP
⊞UHI	ELECTRIC WALL HEATER, 15 kW
UHI	'REZINOR' UD48-30 GAS-FIRED UNIT HEATER, 30,000 BTU, 115/160 SUPPLY VOLTAGE, PROVIDE 4" DIA. VENT THRU ROOF W/ RAIN CAP.
⊞EF	CEILING EXHAUST FAN/ LIGHT COMBO, 10 CFM AT 25" SP, 50W, PROVIDE 4" DIA. VENT THRU SIDE WALL W/ RAIN CAP. PENN ZL2 OR EQUAL.

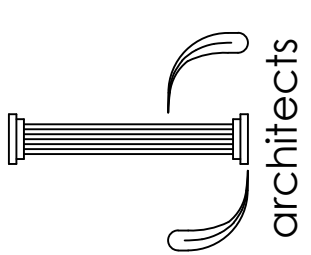


A **ELECTRIC PLAN**
SCALE: 1/8" = 1'-0"



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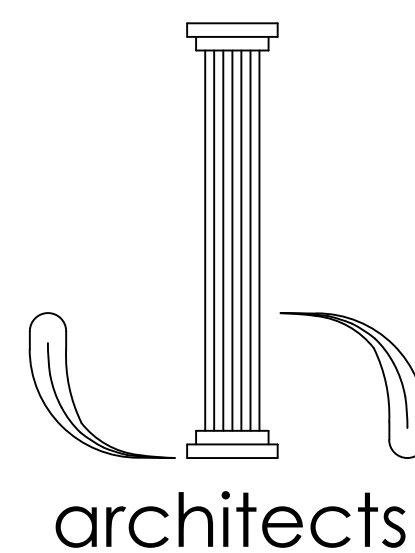
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NEW CONSTRUCTION

EASTGATE COMMERCIAL PARK

BUILDING 3
EASTGATE PARKWAY
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SPECIFICATIONS

- THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS AND PROVISIONS OF THE OHIO BUILDING CODE - 2017
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED FIRM EARTH WITH A BEARING CAPACITY OF NOT LESS THAN 1500 P.S.F.
 - CONCRETE SHALL BE DESIGNED FOR 28 DAY COMPRESSION STRENGTH OF 3,000 P.S.I. FOR FOOTINGS AND 3,500 P.S.I. FOR INT. SLABS
 - SIDING AND ROOFING TO BE MIN. 29GA STEEL WITH 1 MIL. THICK SILICONE POLYESTER FINISH OVER GALV. COATING.
 - SIDING AND ROOFING TO BE APPLIED WITH #9 SCREW TYPE FASTENERS
 - TIMBERS TO BE #1 S.Y.P. OR BETTER PRESURE TREATMENT TO BE .60 C.C.A. PER CU. FT. OF WOOD.
 - SPLASH BOARD TO BE #2 OR BETTER S.Y.P. PRESURE TREATMENT TO BE .40 C.C.A. PER CU. FT. OF WOOD
 - ALL OTHER FRAMING TO BE #2 SITKA SPRUCE.
 - ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1017.4.1 OBC.

BUILDING DATA

- FLOOR LIVE LOADS
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
- WAREHOUSE 125 P.S.F.
- WHOLESALE AREA 125 P.S.F. 100 CONCENTRATED.
- ROOF LIVE & SNOW LOADS
- 1609.4 O.B.C. EXPOSURE CATEGORY - B
- 1608.2 GROUND SNOW LOAD = 20 PSF
SNOW LOAD IMPORTANCE FACTOR CAT. 1 IG = 1.0
THERMAL FACTOR PER 1608.3.2. G = 1.0
ROOF SNOW LOADING 25 P.S.F. INCLUDING DRIFT LOADS.

WIND LOADS

- BASIC WIND SPEED 90 M.P.H. 3 SECOND GUST PER SECTION 1609.6
- WIND IMPORTANCE FACTOR $I_w = 1.0$
- WIND EXPOSURE B & SURFACE ROUGHNESS B.
- NET PRESSURE COEFFICIENT C_{p1} FROM TABLE 1609.6.2
ASCE1-98 - ENCLOSURE CLASSIFICATION PARTIALLY ENCLOSED
 $GCPI = +/- 0.83$.
- DESIGN PRESSURES FOR COMPONENTS & CLADDING & ROOF PER TABLE 6-3B ASCE 7-2005 1609.6.2. = -1.04

SEISMIC LOADS

- SEISMIC USE GROUP II.
- STRUCTURE ASSUMED TO BE STRUCTURALLY INDEPENDENT.
- SDS 0.50
- SDI 0.20
- SITE CLASS D.
- BASIC SEISMIC FORCE RESISTING SYSTEM (TABLE 1613.5.1)
LIGHT FRAME WALLS WITH SHEAR PANELS (SHEET STEEL PANELS)
- DESIGN BASE SHEAR $V = 1975$ lbs.

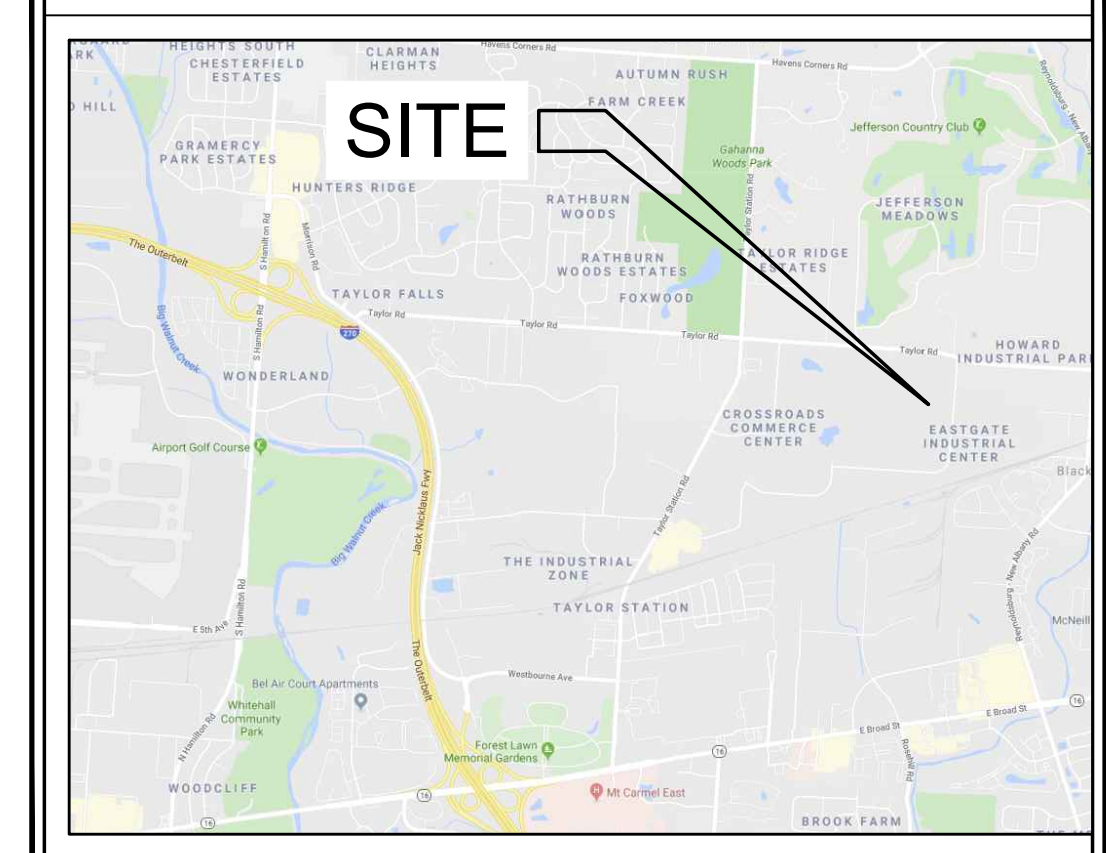
SHEET INDEX

- A0 TITLE SHEET
- C4 CIVIL SITE PLAN
- A1 FLOOR PLAN
- A2 ELEVATIONS
- A3 SECTIONS
- P1 PLUMBING PLAN
- E1 ELECTRIC PLAN

BUILDING DATA

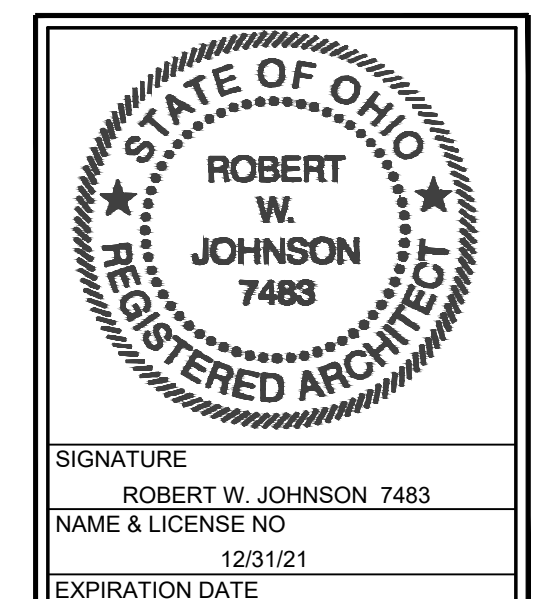
- CONSTRUCTION TYPE: 5B
- USE GROUP: 'S-1' STORAGE
- OCCUPANCY = 'S-1' = 8520/300 = 18 OCCUPANTS
- AREA: 8520 SQFT. TOTAL
- ALLOWABLE AREA = 9,000 SF.
- NON-SPRINKLERED, NON-SEPARATED
- DESIGNED PER: 2017 OHIO BUILDING CODE
2017 OHIO MECHANICAL CODE
2017 OHIO PLUMBING CODE
2017 NATIONAL ELECTRIC CODE
2011 OHIO FIRE CODE
- EXIT/EMERGENCY LIGHTING: ALL SPACES REQUIRE ONLY ONE EXIT PER OBC SECTION 1006.2.1.
EXIT/EMERGENCY LIGHTING NOT REQUIRED PER OBC SECTIONS 1008.3 & 1013.1

SITE LOCATION



ISSUE DATES

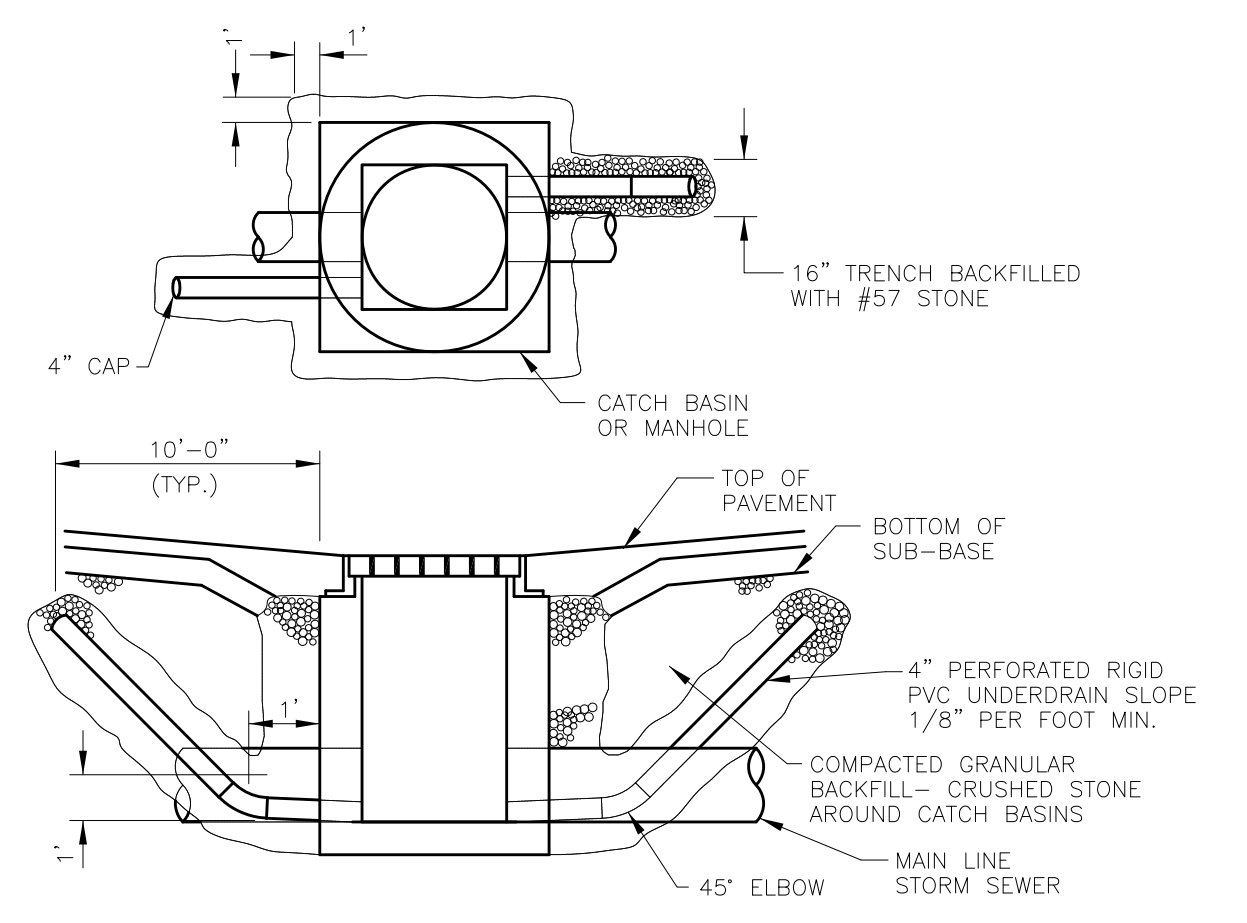
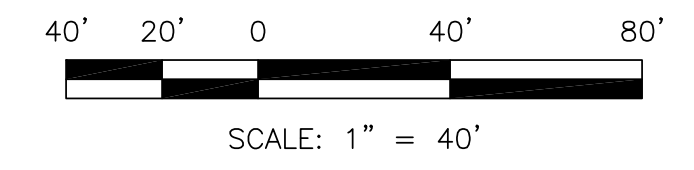
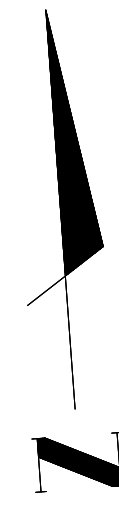
PRELIMINARY-	12-13-19
BIDDING-	
PERMIT-	01-22-20
CONSTRUCTION-	
REVISIONS	
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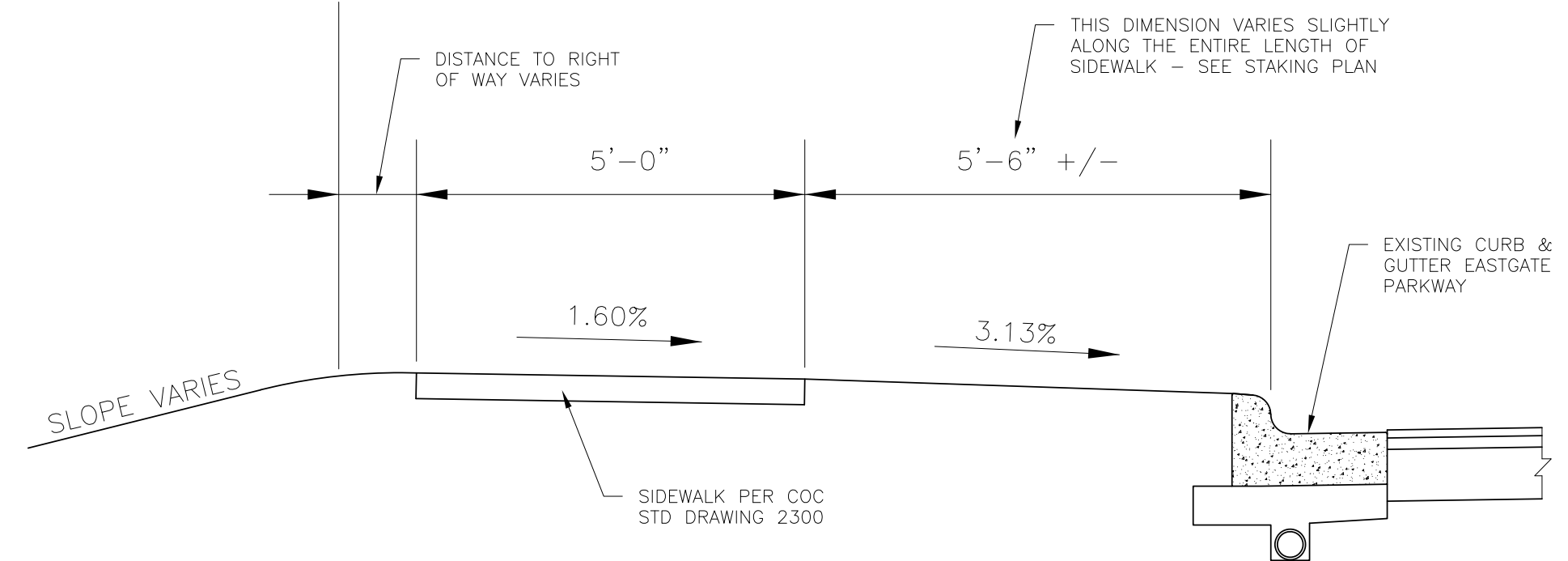
EASTGATE PARKWAY
GAHANNA, OH 43230

EASTGATE BUILDING 3

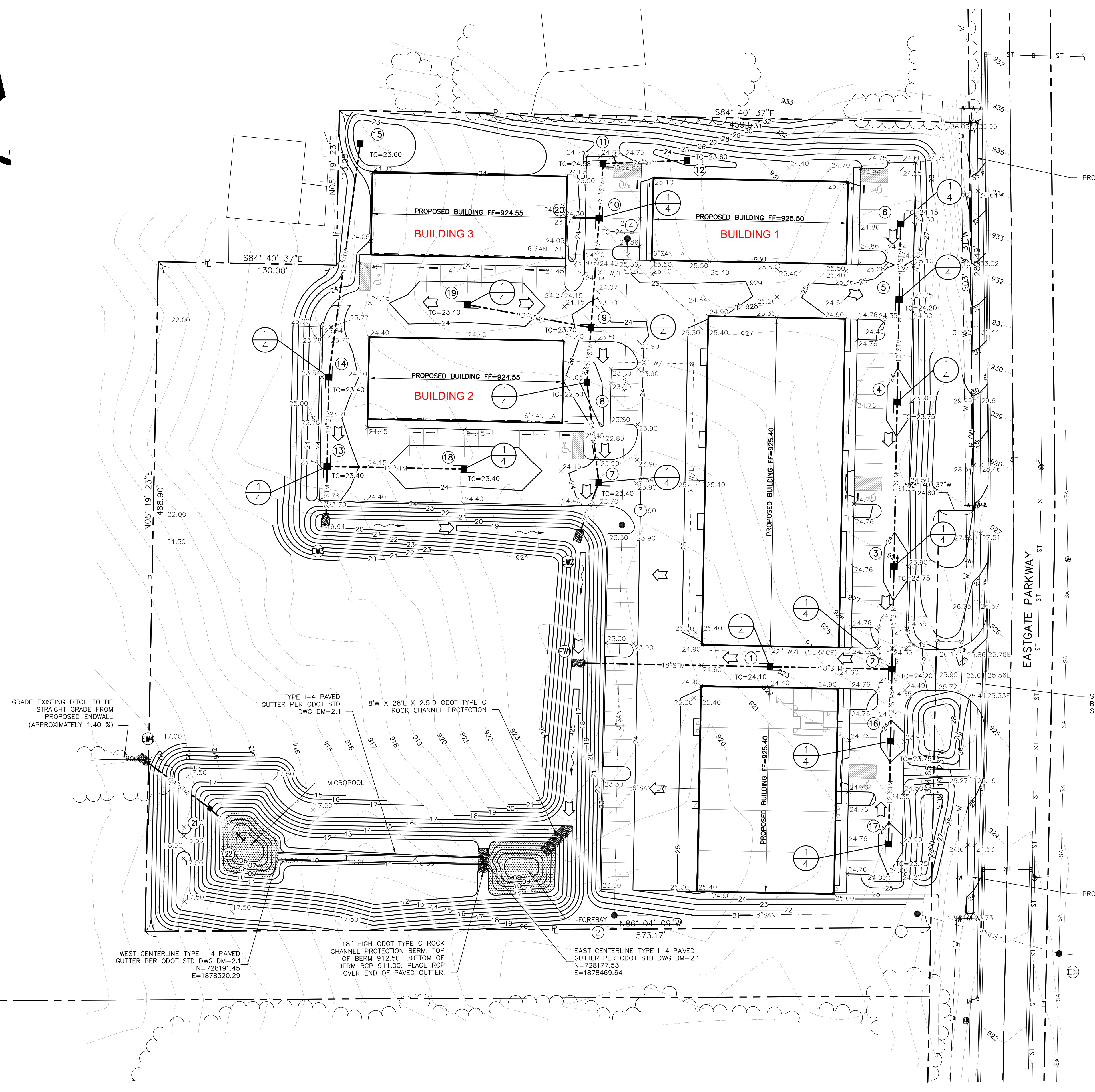
Permit Drawings
Issue Date: 01-22-20
Project No.: 19046



1 FINGER DRAIN DETAIL
NO SCALE



2 PROPOSED PUBLIC SIDEWALK
NO SCALE



GRADE EXISTING DITCH TO BE STRAIGHT GRADE FROM PROPOSED ENDWALL (APPROXIMATELY 1.40 %) (EW4)

TYPE I-4 PAVED GUTTER PER ODOT STD DWG DM-2.1
8"W X 28"L X 2.5"D ODOT TYPE C ROCK CHANNEL PROTECTION

WEST CENTERLINE TYPE I-4 PAVED GUTTER PER ODOT STD DWG DM-2.1
N=728191.45
E=1878320.29

18" HIGH ODOT TYPE C ROCK CHANNEL PROTECTION BERM. TOP OF BERM 912.50. BOTTOM OF BERM RCP 911.00. PLACE RCP OVER END OF PAVED GUTTER.

EAST CENTERLINE TYPE I-4 PAVED GUTTER PER ODOT STD DWG DM-2.1
N=728177.53
E=1878469.64

STRUCTURE LOCATIONS		
STRUCTURE #	NORTHING (*)	EASTING (*)
EW1	728315.54	1878556.08
1	728303.19	1878688.61
2	728294.95	1878777.13
3	728369.62	1878784.08
4	728489.11	1878795.22
5	728563.78	1878802.17
6	728618.55	1878807.28
EW2	728411.98	1878557.85
7	728446.46	1878573.81
8	728520.08	1878570.62
9	728559.64	1878576.48
10	728638.86	1878588.22
11	728678.43	1878594.08
12	728676.32	1878655.13
EW3	728437.50	1878373.60
13	728472.84	1878376.90
14	728537.56	1878382.93
15	728705.88	1878418.32
16	728242.67	1878772.26
17	728168.00	1878765.30
18	728463.57	1878476.47
19	728583.05	1878487.60
20	728640.55	1878570.10
EW4	728266.51	1878230.93
21	728230.05	1878273.43
22	728205.08	1878296.51

- LEGEND**
- = EX STORM MH
 - = EX STORM CB
 - = FLOW
 - ↺ = STORM CATCH BASIN W/FINGER DRAINS
 - ↻ = FLOOD ROUTING
 - TC = TOP OF CASTING
 - (with elevation) = PROPOSED SPOT ELEVATION
 - (with elevation) = EXISTING SPOT ELEVATION
 - = STORM SEWER
 - - - - - = DSD/DOWNSPOUT DRAIN
 - - - - - W - - - - - = WATER LINE
 - - - - - S - - - - - = SANITARY SEWER
 - - - - - E - - - - - = ELECTRIC
 - - - - - T - - - - - = TELEPHONE
 - - - - - G - - - - - = GAS
 - - - - - 782 - - - - - = EXISTING CONTOURS
 - - - - - 81 - - - - - = PROPOSED CONTOURS

* = OHIO SOUTH ZONE, NAD 83 (1986 ADJ.)

NOTE: MINIMUM SLOPE FOR DOWNSPOUT DRAINS IS 1.0%
ALL ELEVATIONS ARE TOP OF PROPOSED PAVEMENT UNLESS OTHERWISE NOTED. ADD 900 FEET TO ALL ELEVATIONS TO ACHIEVE USGS DATUM.

SITE IMPROVEMENT PLANS FOR:
EASTGATE COMMERCIAL PARK
STORM SEWER DRAINAGE PLAN
THE CITY OF GAHANNA

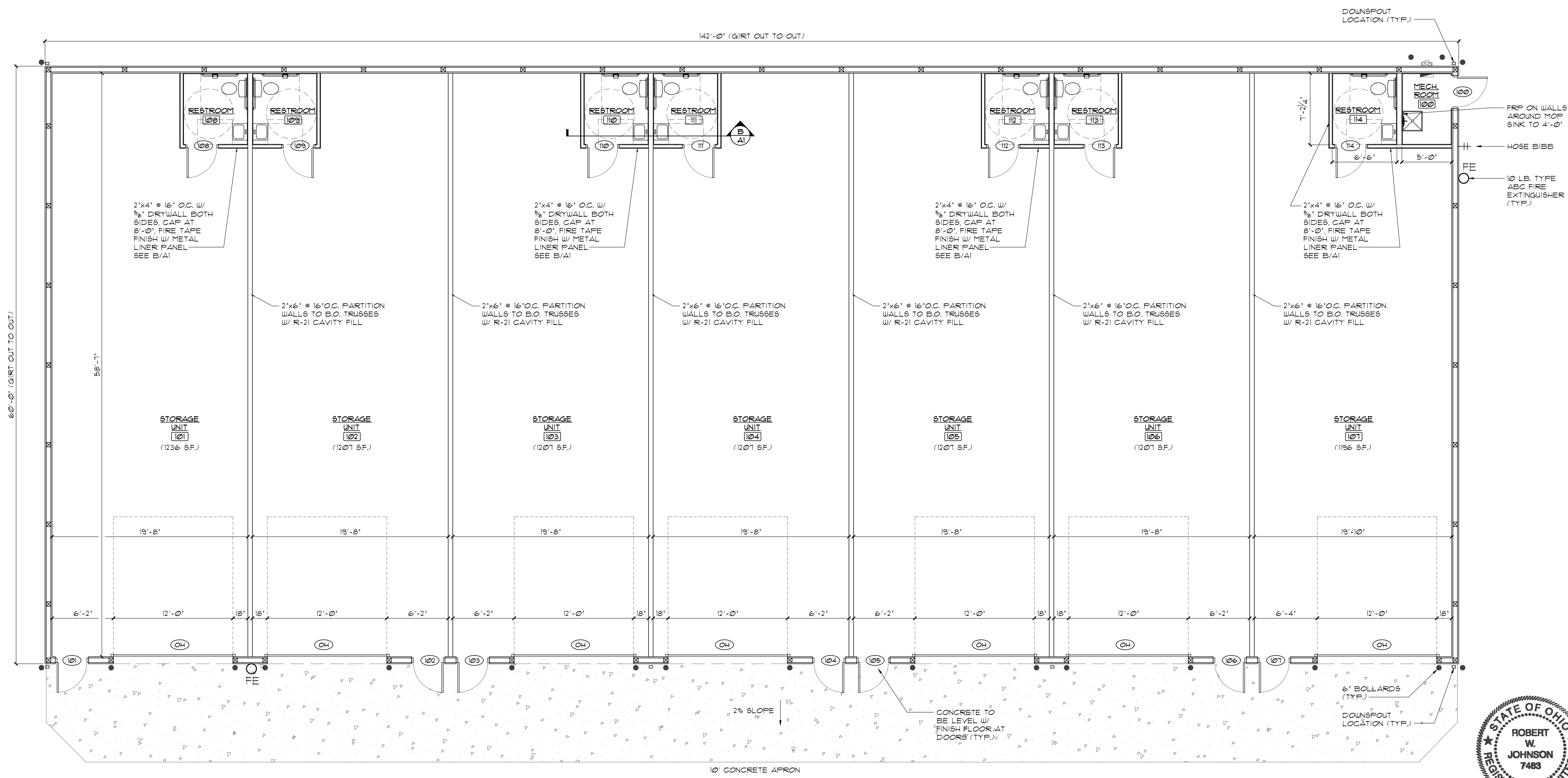
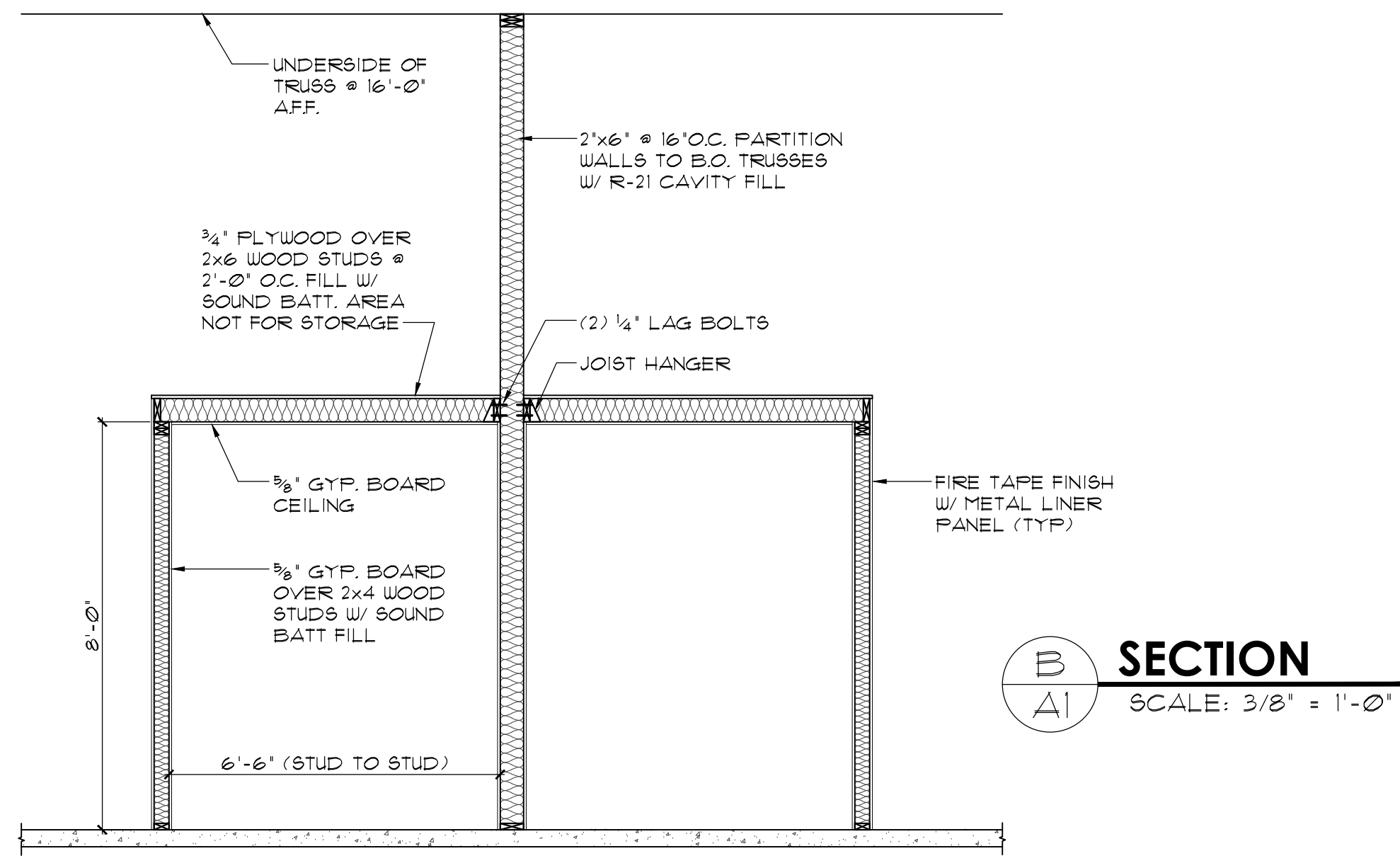
DATE	REVISIONS

JOB NO.	40378
DRAWN BY	CAD
DESIGNED BY	JRH
CHECKED BY	SRB
FIELD CREW	
FIELD BOOK	
DATE	10-22-19
SCALE	1"=40'

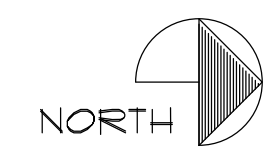
SHEET

4

Y:\40378 - EASGATE - EASTGATE/PLANS/STORM SEWER DRAINAGE PLAN/DWG
 Plot Date & Time: 10/22/2019 5:18 PM User: STEVE BROWN

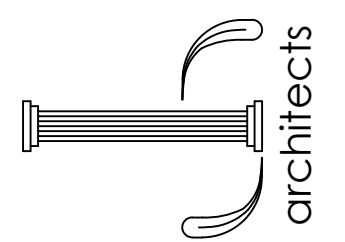


A1
FLOOR PLAN
SCALE: 3/16" = 1'-0"



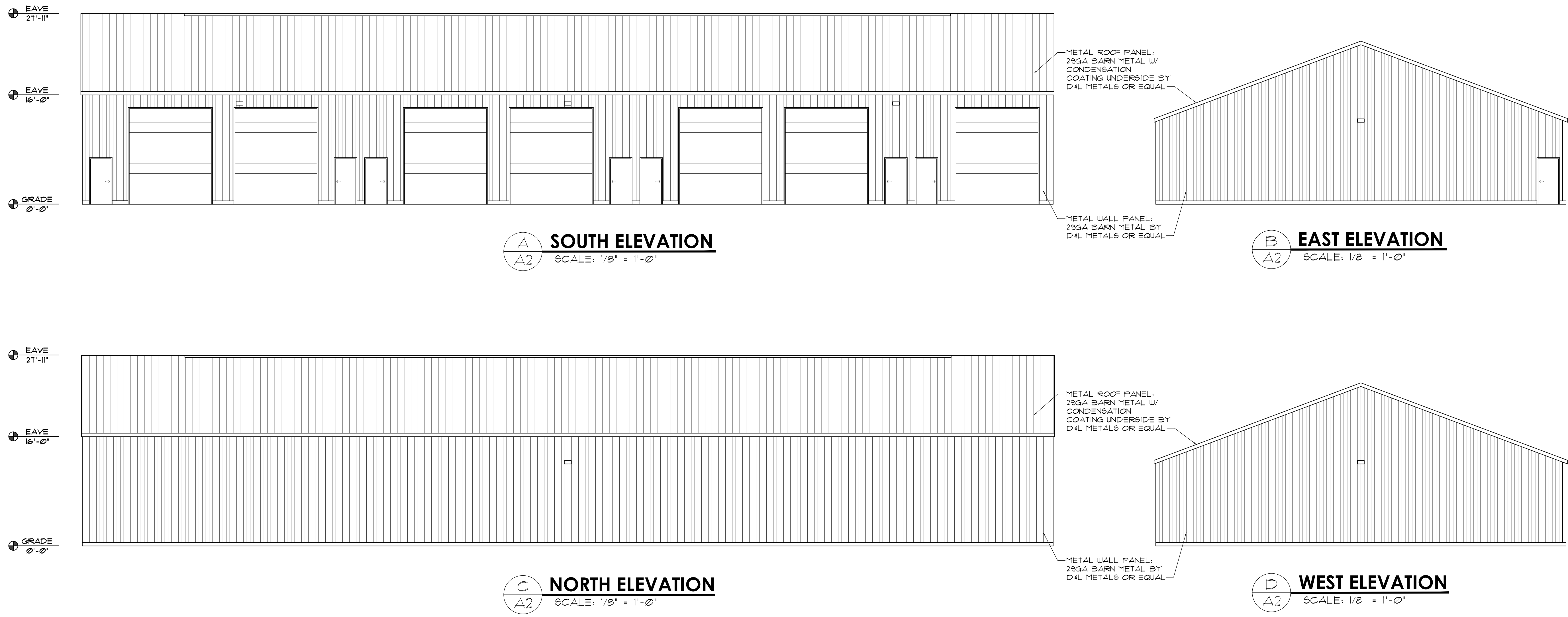
EASTGATE COMMERCIAL PARK
BUILDING 3
EASTGATE PARKWAY, GAHANNA OHIO 43230

JH Architects, Inc.
5120 B Nike Drive
Hilliard, Ohio 43026
614-527-7590 Fax 614-527-7592



19046
01-22-20

A1



A SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

B EAST ELEVATION
SCALE: 1/8" = 1'-0"

C NORTH ELEVATION
SCALE: 1/8" = 1'-0"

D WEST ELEVATION
SCALE: 1/8" = 1'-0"

ROOM FINISH SCHEDULE								
NO.	NAME	FLOOR	BASE	WALLS		CEILING		REMARKS
		MATERIAL	MATERIAL	MATERIAL	COLOR	MATERIAL	HGT.	
100	MECHANICAL ROOM	CONCRETE	-	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	-
101	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	16'-0"	-
102	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	16'-0"	-
103	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	16'-0"	-
104	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	16'-0"	-
105	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	16'-0"	-
106	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	16'-0"	-
107	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	16'-0"	-
108	RESTROOM	CONCRETE	-	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	-
109	RESTROOM	CONCRETE	-	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	-
110	RESTROOM	CONCRETE	-	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	-
111	RESTROOM	CONCRETE	-	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	-
112	RESTROOM	CONCRETE	-	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	-
113	RESTROOM	CONCRETE	-	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	-
114	RESTROOM	CONCRETE	-	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	-

DOOR SCHEDULE							
DOOR NO.	TYPE	DOOR		FRAME MATL.	FIRE RATING	HARDWARE	
		SIZE	MATL.				
100	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
101	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
102	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
103	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
104	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
105	A	3'0" x 6'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
106	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
107	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)	
108	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(2)	
109	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(2)	
110	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(2)	
111	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(2)	
112	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(2)	
113	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(2)	
114	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(2)	
OH1	B	12'0" x 14'0"	INSUL. MTL	MTL	0 HR	(3)	

FINISHES:
WALLS & CEILINGS OF ROOMS OR ENCLOSED SPACES SHALL BE MINIMUM CLASS C FINISH.
CLASS B: FLAME SPREAD 26-75 SMOKE DEVELOPED 0-450
CLASS C: FLAME SPREAD 76-200 SMOKE DEVELOPED 0-450
ALL FINISH RATINGS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE 2011 IBC.
FINISH MATERIALS SHALL BE AS FOLLOWS:
DW - 5/8" DRYWALL BY GOLD BOND OR EQUAL
VNTL BASE - 4" HIGH ARMSTRONG OR EQUAL
VNTL TILE (VCT) - ARMSTRONG OR EQUAL
ACOUSTIC CEILING TILE (ACT) - ARMSTRONG DUNE OR EQUAL
CARPET SHALL MEET DOC FF-1 'FILL TEST' (CPSC 16 CFR PART 1630)

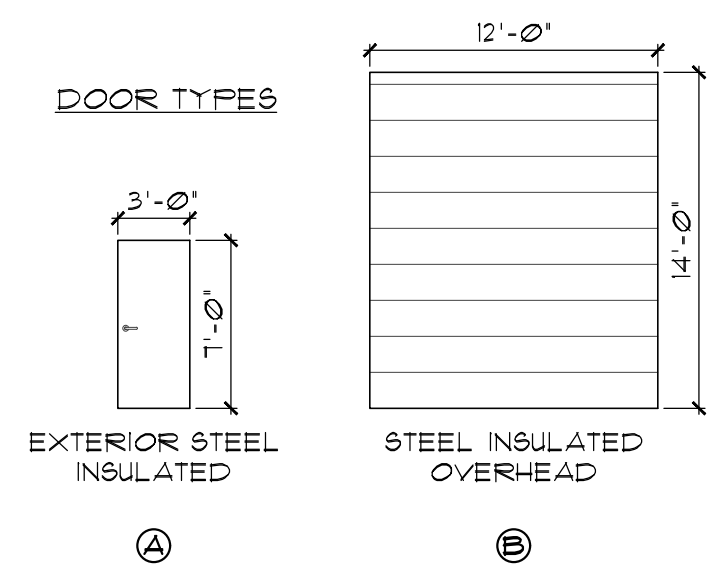
INTERIOR PAINTING - DRYWALL:
FIRST COAT - DRYWALL PRIMER SEALER
SECOND COAT - EGGSHELL LATEX
THIRD COAT - EGGSHELL LATEX
EXTERIOR PAINTING - DOORS & DOOR FRAMES:
FIRST COAT - PRIMER
SECOND COAT - SEMI-GLOSS ALKYD EXTERIOR ENAMEL
THIRD COAT - SEMI-GLOSS ALKYD EXTERIOR ENAMEL
METAL PANEL - INTERIOR & EXTERIOR:
INTERIOR WALL & CEILING - 29GA LINER PANEL BY D4L METALS OR EQUAL
EXTERIOR WALL - 29GA BARN METAL BY D4L METALS OR EQUAL
ROOF - 29GA BARN METAL W/ CONDENSATION COATING UNDERSIDE BY D4L METALS OR EQUAL

DOOR HARDWARE
(1) 1 1/2 SET HINGES, CLOSER, KEYED LOCKSET
(2) 1 1/2 SET HINGES, CLOSER, PRIVACY LOCKSET
(3) SLIDE LOCK

ADA REQUIREMENTS
ALL HARDWARE SHALL MEET ADA (ADAAG) REQUIREMENTS PER ICC AND ANSI 117.1. ALL DOOR OPENING DEVICES SHALL BE LEVER TYPE.

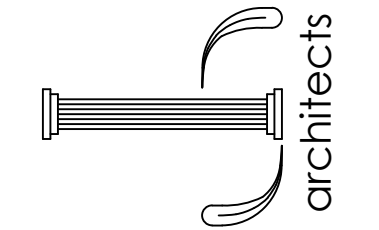
HARDWARE SPECIFICATIONS:
DOOR LOCKSETS: SCHLAGE OR EQUAL
WALL STOP: HAGGER 324W
CLOSER: HAGGER 5300 SERIES
KICK PLATES: HAGGER 1905
HINGES: HAGGER BB 1219
SEALS: NSF 1605
DOOR SWEEP: NSF 1994A
THRESHOLD: NSF 424
STEEL DOORS: 18GA, GALVANNEALED STEEL, FULL FLUSH, SEAMLESS, STEELCRAFT L18
FRAMES: 16GA STEEL, WELDED, STEELCRAFT F16

- HARDWARE NOTES:**
- HARDWARE FOR ALL EGRESS DOORS SHALL MAINTAIN THE DOORS READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT. DRAW BOLTS, HOOKS, AND OTHER SIMILAR DEVICES ARE PROHIBITED ON ALL EGRESS DOORS.
 - SAFETY GLAZING SHALL BE PROVIDED AT THE FOLLOWING:
A. GLAZING IN ALL INGRESS AND EGRESS DOORS.
B. GLAZING OPERABLE OR INOPERABLE, ADJACENT TO A DOOR AND WITHIN THE SAME WALL PLANE AS THE DOOR WHOSE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - PROVIDE HARDWARE SCHEDULE FOR APPROVAL.
 - HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOOR SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT FINCHING OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 INCHES ABOVE FINISHED FLOOR.
 - IF A DOOR HAS A CLOSER THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 10 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
 - THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:
A. DOORS WITHOUT CLOSERS: 5 POUND FORCE
B. OTHER DOORS: 15 POUND FORCE
 - THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/4 INCH IN HEIGHT FOR EXTERIOR SLIDING DOORS OR 1/2 INCH FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.



EASTGATE COMMERCIAL PARK
BUILDING 3
EASTGATE PARKWAY, GAHANNA OHIO 43230

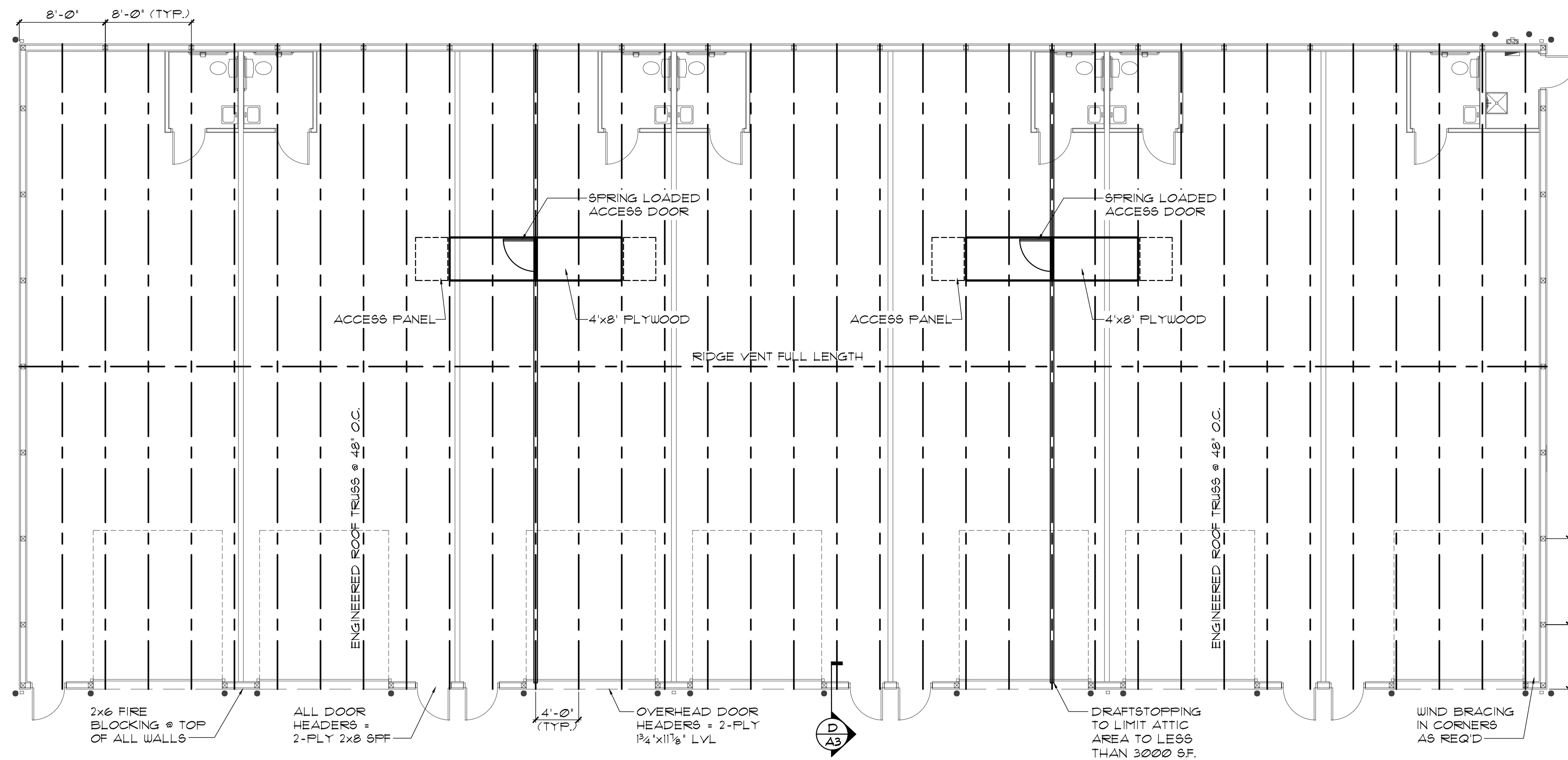
JH Architects, Inc.
5120 B Nike Drive
Hilliard, Ohio 43026
614-527-7590 Fax 614-527-7592



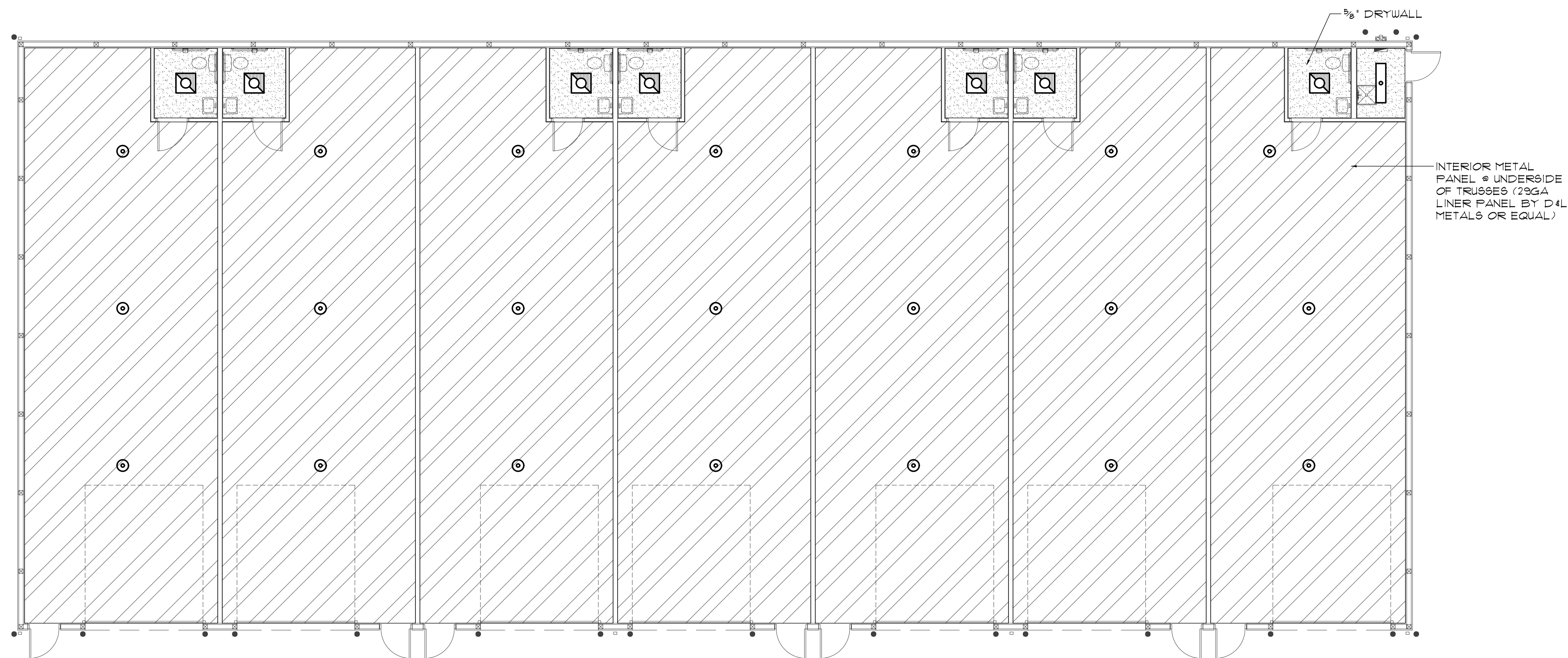
19046
01-22-20



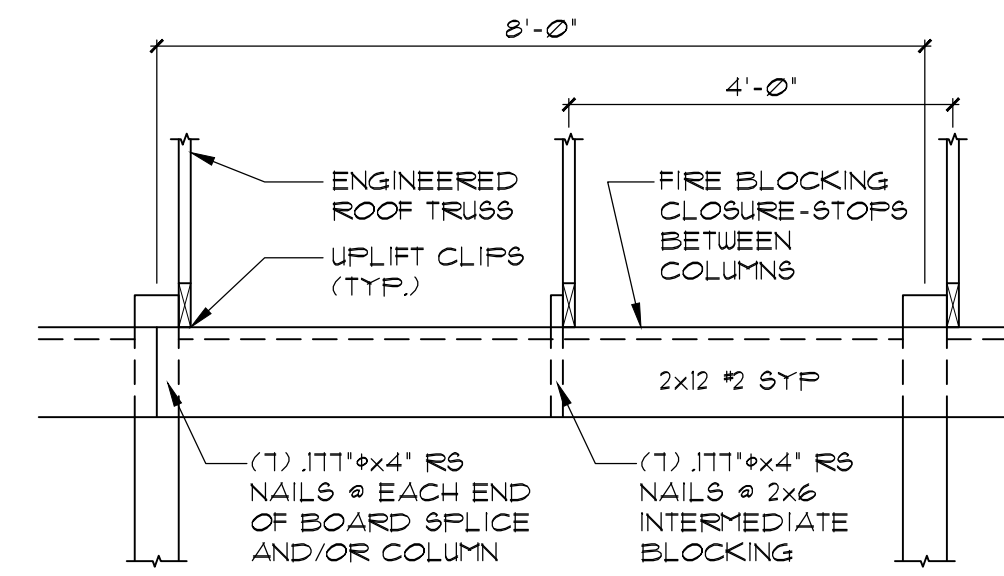
A2



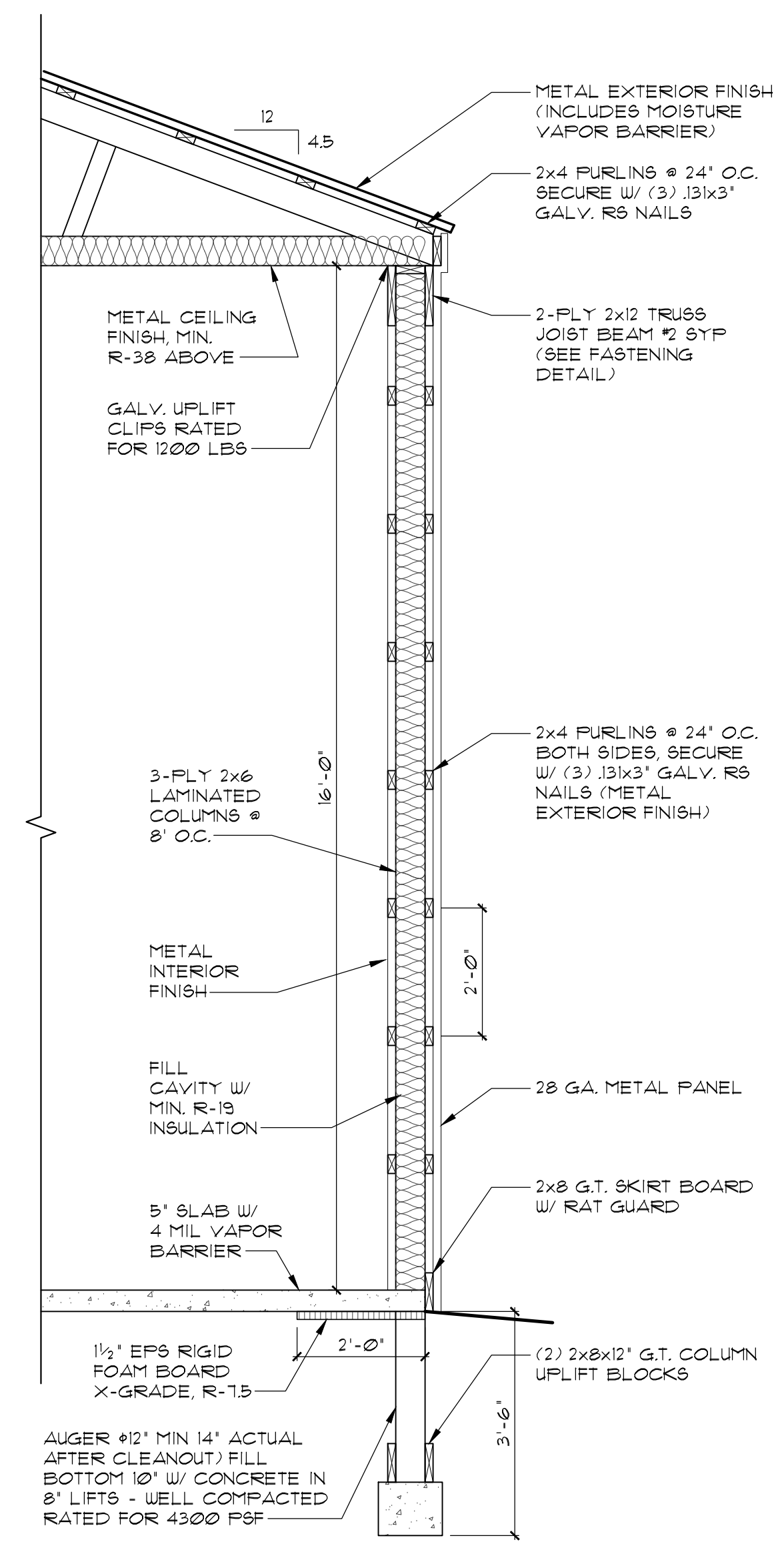
A FRAMING PLAN
SCALE: 1/8" = 1'-0"



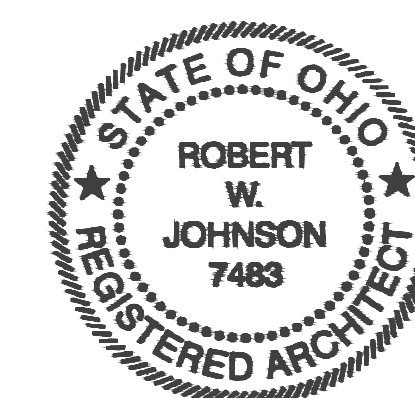
B REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



C FASTENING DETAIL
SCALE: 1/2" = 1'-0"

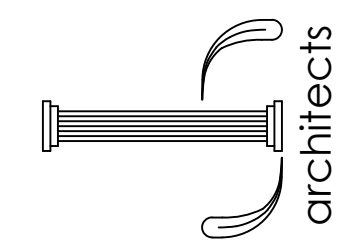


D WALL SECTION (TYP.)
SCALE: 1/2" = 1'-0"



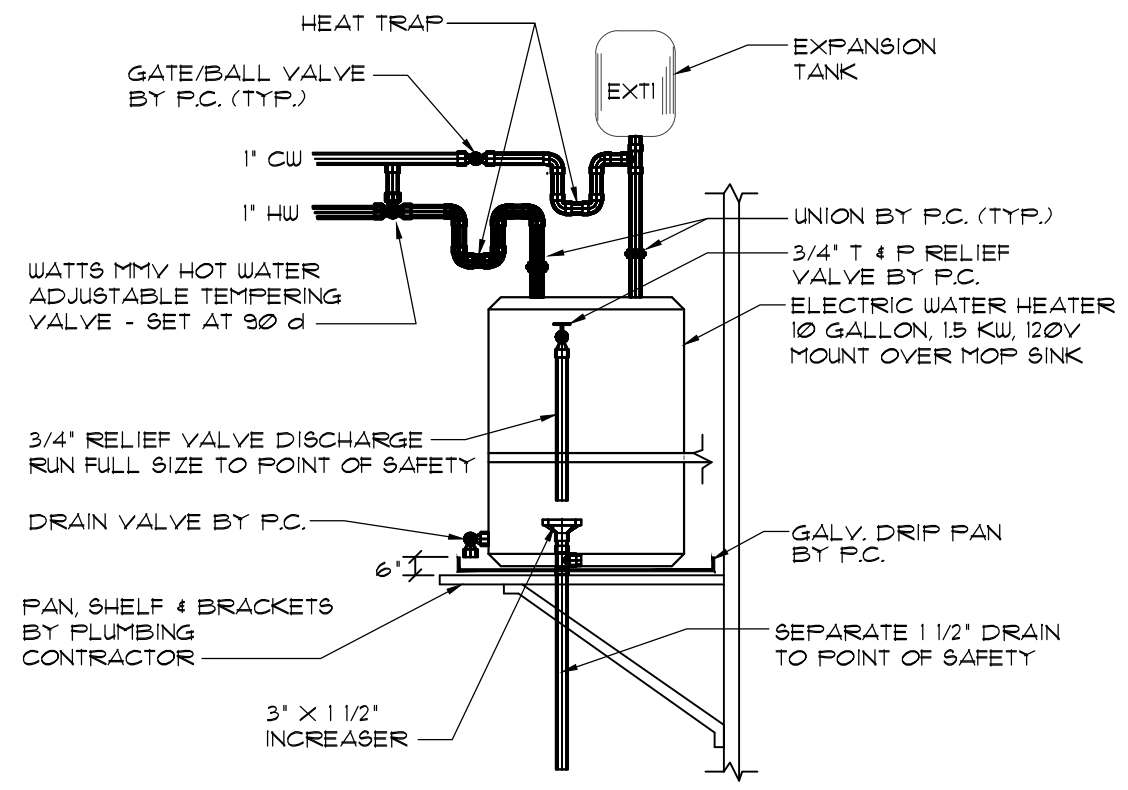
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BUILDING 3
EASTGATE PARKWAY, GAHANNA OHIO 43230

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Hilliard, Ohio 43026
614-527-7590 Fax 614-527-7592



19046
01-22-20

A3



D WATER HEATER DETAIL
SCALE: N.T.S.

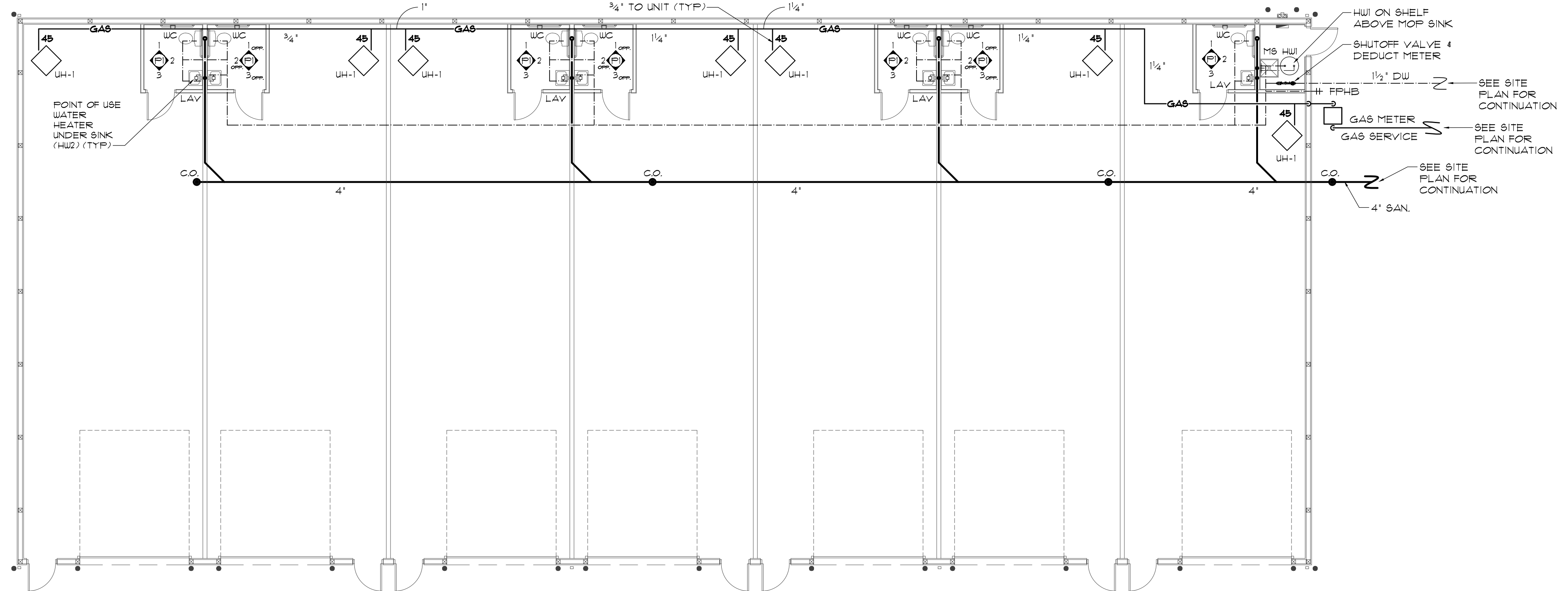
PLUMBING NOTES

- ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH ALL CITY, COUNTY AND STATE CODES AND LAWS AS THEY APPLY, INCLUDING THE BOARD OF HEALTH.
- UNDERGROUND SANITARY PIPING SHALL BE SCHEDULE 40 PVC PIPE AND FITTINGS.
- ABOVE GROUND SANITARY PIPING SHALL BE SCHEDULE 40, PVC PIPING AND FITTINGS EXCEPT IN RETURN AIR PLENUMS WHERE PIPING SHALL BE WRAPPED IN METAL OR PIPING MATERIAL SHALL BE COPPER OR NO-HUB IN ACCORDANCE WITH THE APPLICABLE CODE.
- UNDERGROUND WATER PIPING SHALL BE TYPE K SOFT COPPER INSTALLED WITHOUT FITTINGS OR COUPLINGS.
- ABOVE GROUND WATER PIPING SHALL BE TYPE L HARD DRAWN COPPER WITH WROUGHT COPPER FITTINGS.
- GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL UNDER 2" SHALL BE SCREWED FITTINGS ABOVE 2" SHALL BE WELDED.
- INSTALL ALL EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
- HOT & COLD WATER PIPING SHALL BE INSULATED WITH 1/2" ARMIFLEX OR EQUAL. THE PLUMBING CONTRACTOR IS RESPONSIBLE.
- USE DECKTITE FLASHINGS FOR THE ROOF SYSTEM.

PLUMBING FIXTURE SCHEDULE

DESIG	DESCRIPTION	SUPPLY			WASTE/VENT PIPING			FIXTURE		SUPPLY TRIM		SUPPLY STOP		TRAP		REMARKS
		MTG HGT	HW	CW	WU	TRAP	DRN	VENT	MFR	CAT. NO.	MFR	CAT. NO.	MFR	CAT. NO.	MFR	
WC1	WATER CLOSET-TANK TYPE	18"	1/2"	1/2"	3"	3"	3"	KOHLER	K-4405			McGUIRE	159-LK	McGUIRE	8302	SEAT BY MANSFIELD, OR EQUAL OR EQUAL
LAV	WALL MOUNT LAVATORY	21"	1/2"	1/2"	1-1/2"	1-1/2"	1-1/2"	KOHLER	K-2205	DELTA	501-DST	McGUIRE	165-LK	McGUIRE		OR EQUAL
MS	MOP SINK	FLR	1/2"	1/2"	3"	3"	3"	FIAT	M8B24241000	FIAT	SUPPLIED W/SINK					OR EQUAL
HW1	ELECTRIC WATER HEATER		1"	1"	-	-	-	RUUD	EG9F6							6 GAL TANK, POINT OF USE, 15 KW
HW2	ELECTRIC WATER HEATER		-	-	-	-	-	EA-MAX	9F242							TANKLESS, POINT OF USE, 2.4 KW
FFHB	FREEZE PROOF HOSE BIBB	WALL	3/4"	3/4"	-	-	-	ZURN	Z1520-EZ							MOUNT @ 36" AFF.

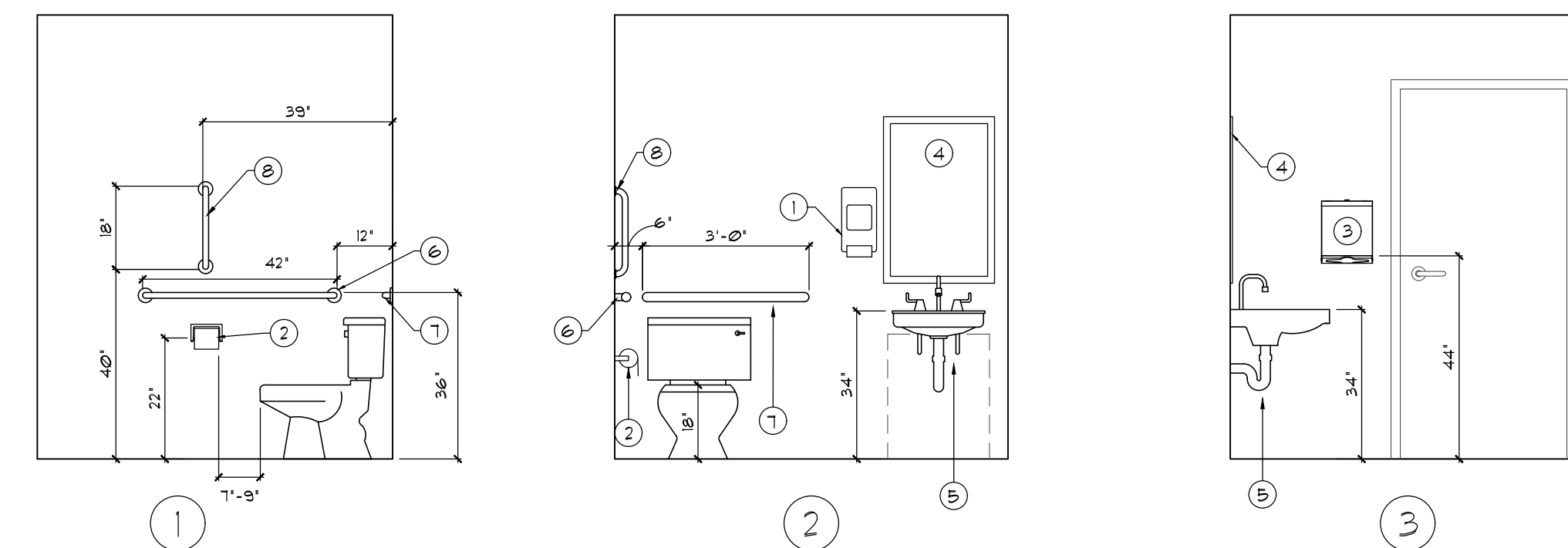
1 PROVIDE AQUA-GUARD THERMOSTATIC MIXING VALVE BY ZURN @ LAVATORIES & SINKS



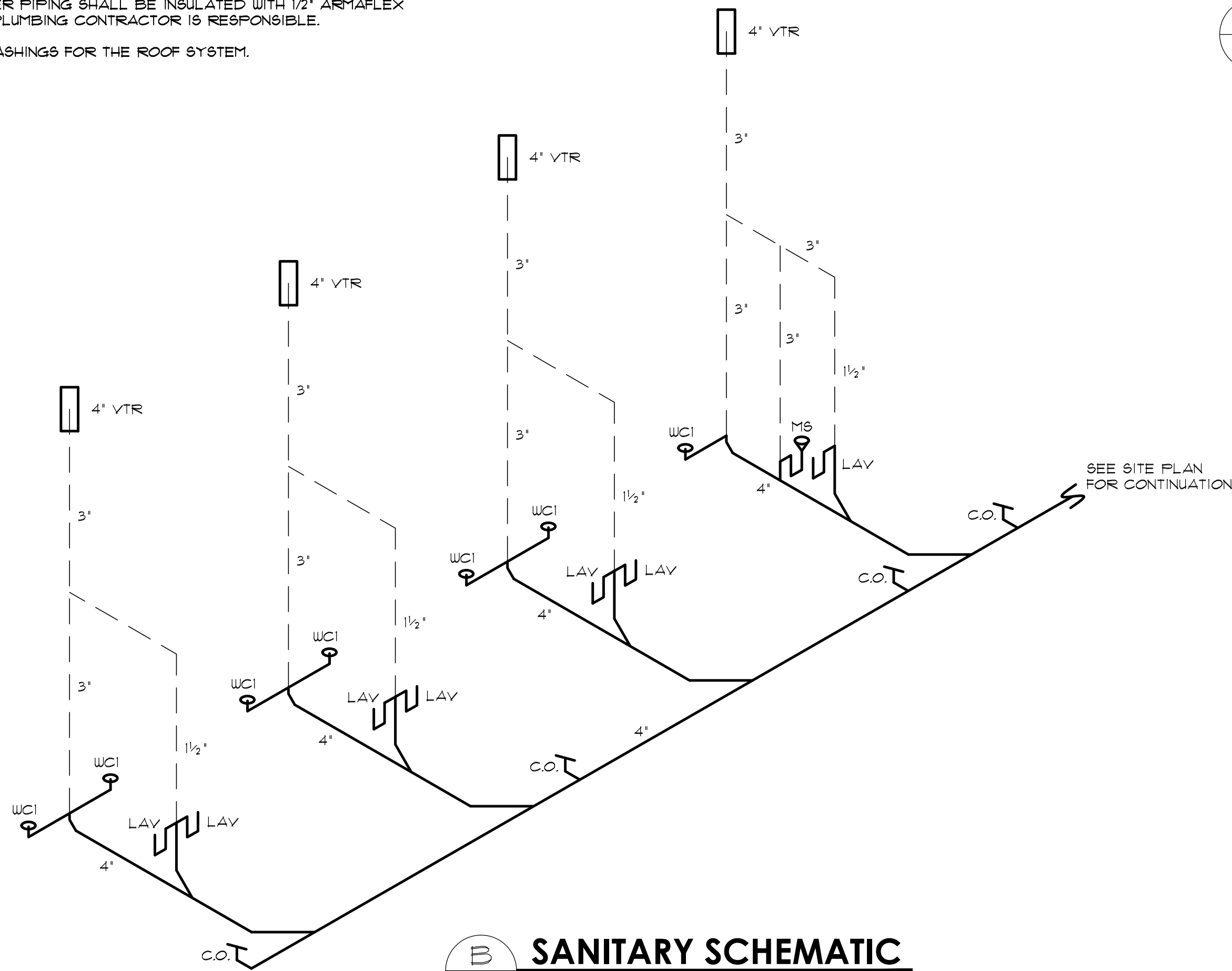
A PLUMBING PLAN
SCALE: 1/8" = 1'-0"

ACCESSORIES SCHEDULE

NO.	ITEM	MAKE *	QUANTITY	REMARKS
1	HD SOAP DISPENSER	COMMERCIAL GRADE	1	SURFACE M'T'D, W/ REPLACEABLE HAND CLEANER PACKETS (SUPPLIED BY OWNERS)
2	TOILET PAPER DISP.	BOBRICK B-265	1	
3	ROLL PAPER		1	FURNISHED BY OWNER
4	MIRROR	BOBRICK B-165	1	30" W x 36" H MOUNT @ 38" AFF. TO BOTTOM OF UNIT
5	INSULATION WRAP	BROCAR	1 SET	C500R, INSTALL @ EACH EXPOSED LAVATORY
6	GRAB BAR	BOBRICK B-6206	1	42", 1 1/2" DIA. MOUNT @ 34" AFF. TO CENTERLINE OF UNIT
7	GRAB BAR	BOBRICK B-6206	1	36", 1 1/2" DIA. MOUNT @ 34" AFF. TO CENTERLINE OF UNIT
8	GRAB BAR	BOBRICK B-6206	1	18", 1 1/2" DIA. MOUNT VERTICAL AS SHOWN



C RESTROOM ELEVATIONS
SCALE: 3/8" = 1'-0"



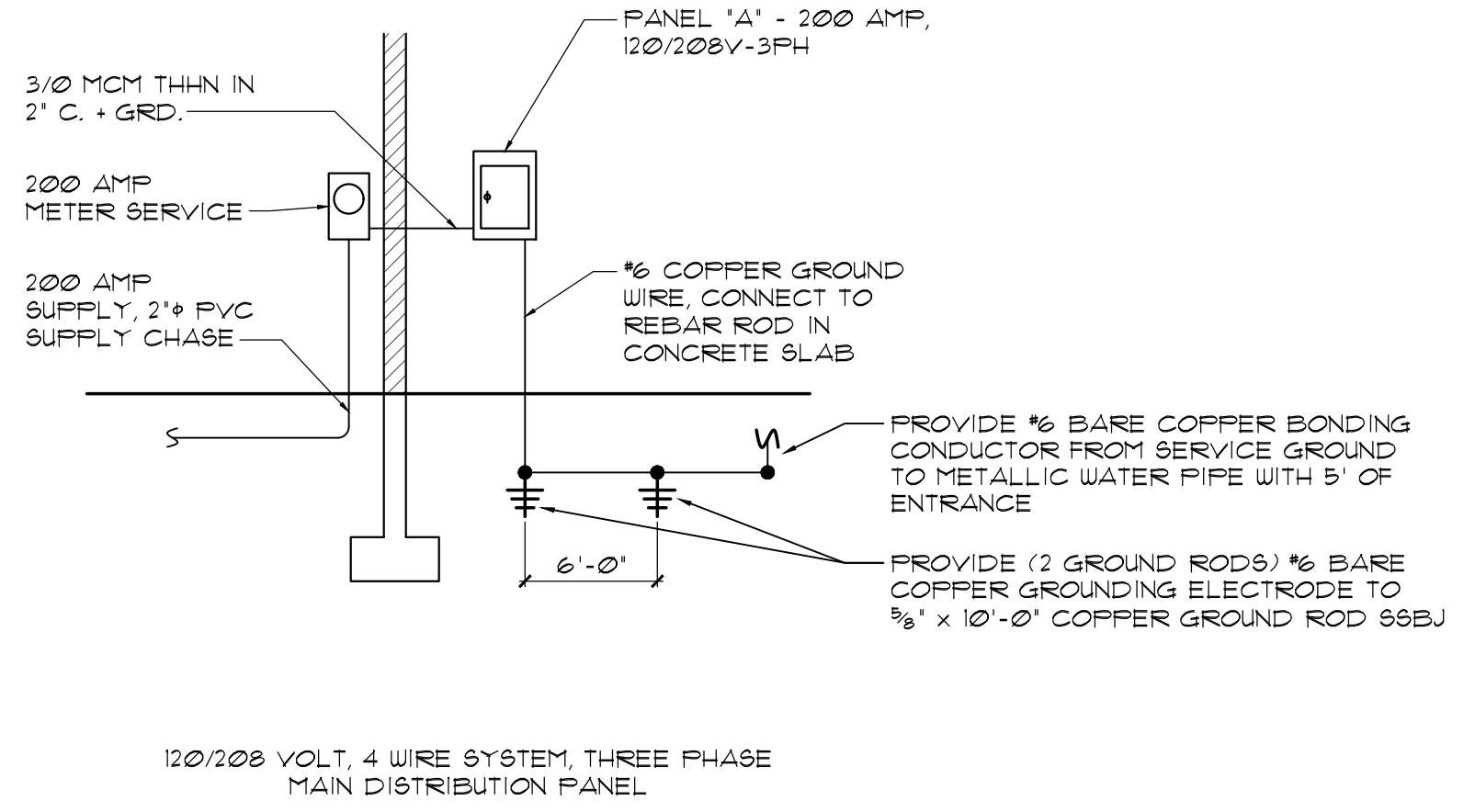
B SANITARY SCHEMATIC
SCALE: N.T.S.



ELECTRICAL GENERAL NOTES

- ALL EQUIPMENT SHALL BEAR THE UL LABEL AND BE INSTALLED ACCORDING TO THE 2014 EDITION OF THE NEC.
- ALL WIRE SHALL BE TYPE THHN/THWN, 100% COPPER, UNLESS OTHERWISE NOTED ON THE DRAWINGS. WIRES SHALL BE SIZED ACCORDING TO NEC ARTICLE 310-15.
- ALL WIRING SHALL BE INSTALLED IN METALLIC RACEWAY SYSTEM SIZED ACCORDING TO NEC CHAPTER 9, TABLE 1. NON-METALLIC CONDUIT SHALL BE ACCEPTABLE BELOW GRADE OR IN SLAB. CODEX CABLE IS ACCEPTABLE.
- ALL OUTLET, SWITCH AND JUNCTION BOXES SHALL BE METALLIC AND COMPLY WITH NEC ARTICLE 314 AND BE SIZED ACCORDING TO TABLE 314-16A.
- SPICES SHALL BE MADE ONLY AT ACCESSIBLE LOCATIONS, OUTLET BOXES, PANELBOARDS, JUNCTION BOXES, ETC. TERMINAL CONNECTIONS AND SPICES IN ALL WIRE $\frac{1}{2}$ " AND LARGER SHALL BE MADE WITH APPROVED SOLDERLESS CONNECTORS, PROPERLY INSULATED AND TAPED WHERE NECESSARY. IN SMALLER WIRES ALL SPICES SHALL BE MADE EITHER WITH APPROVED SOLDERLESS CONNECTORS OR SHALL BE SOLDERED AND TAPED AS REQUIRED TO INSURE PROPER INSULATION.
- SERVICE EQUIPMENT SHALL BE SUITABLE FOR SHORT-CIRCUIT CURRENT AVAILABLE AT ITS SUPPLY TERMINALS AS PER NEC ARTICLE 230.
- ALL ELECTRICAL EQUIPMENT SHALL BE OF THE HIGH POWER FACTOR TYPE WITH A MINIMUM OF 85% P.F. INSTALL POWER FACTOR CORRECTIVE DEVICES WHERE NEEDED.
- NO CIRCUIT OR FEEDER SHALL EXCEED 3% VOLTAGE DROP.
- ELECTRICAL WIRING, EQUIPMENT AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF NFPA NO. 70 AND THE 2008 EDITION OF THE NATIONAL ELECTRIC CODE AND IS SUBJECT TO THE APPROVAL OF THE ELECTRICAL INSPECTOR.
- THE BRANCH CIRCUIT FEEDING THE UNIT EQUIPMENT SHALL BE THE SAME BRANCH CIRCUIT AS THAT SERVING THE NORMAL LIGHTING IN THE AREA AND CONNECTED AHEAD OF ANY LOCAL SWITCHES.
- ALL ELECTRIC SHALL BE FED FROM OVERHEAD, NO WIRING IN SLAB. MOUNT ALL DEVICES AT A MINIMUM OF 48" ABOVE FINISHED FLOOR.

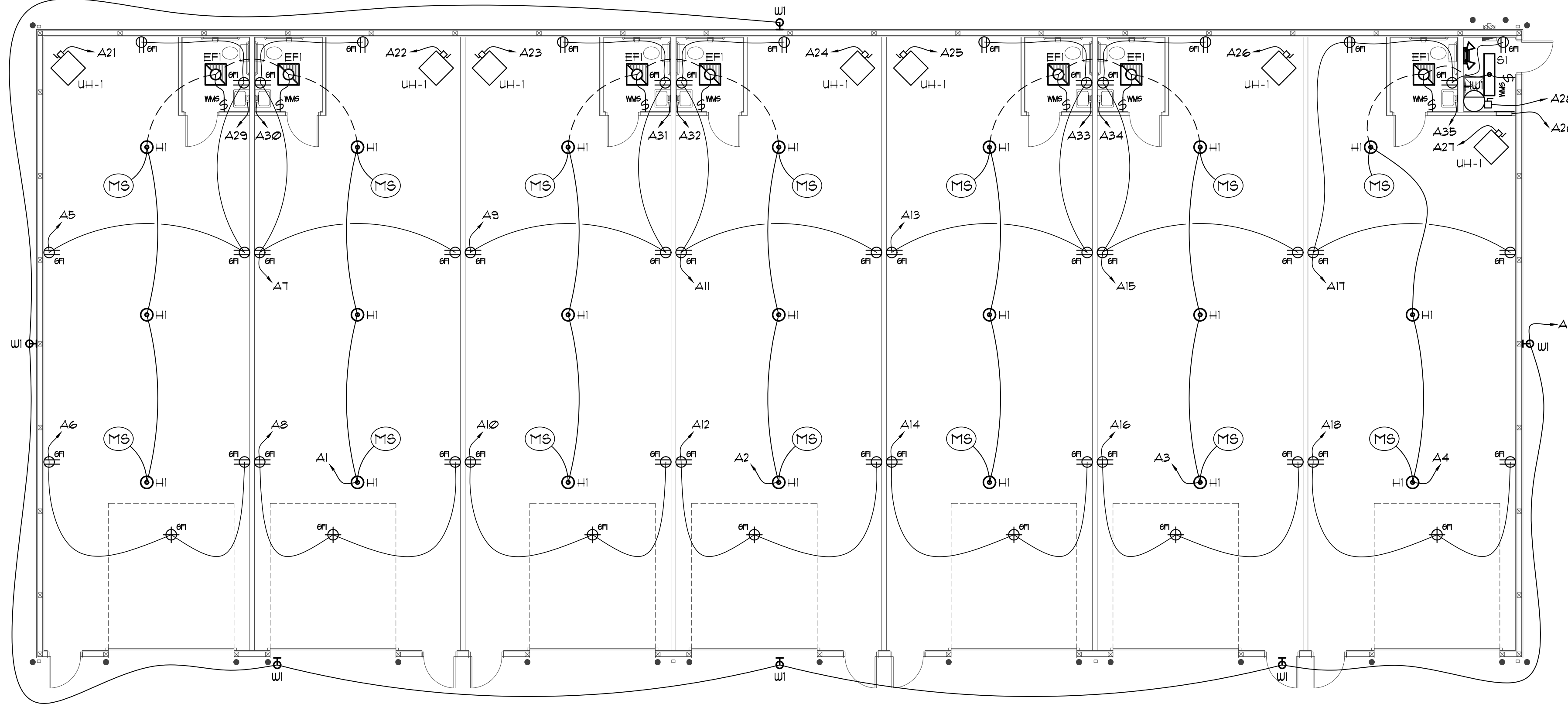
PANELBOARD									
PANEL: 'A'					MOUNTING: SURFACE				
CONNECTED LOAD:					35.9 KW	99.6 AMPS			
MAINS:					200A MCB 120/208V-3Φ-4W				
WS	REMARKS	KW	BKR	CCT	BRK	KW	REMARKS	WS	
12	LT9	1.0	20/1	1	2	20/1	1.0	LT9	
12	LT9	1.0	20/1	3	4	20/1	0.6	LT9	
12	REC	0.8	20/1	5	6	20/1	0.6	REC	
12	REC	0.8	20/1	7	8	20/1	0.6	REC	
12	REC	0.8	20/1	9	10	20/1	0.6	REC	
12	REC	0.8	20/1	11	12	20/1	0.6	REC	
12	REC	0.8	20/1	13	14	20/1	0.6	REC	
12	REC	0.8	20/1	15	16	20/1	0.6	REC	
12	REC	1.0	20/1	17	18	20/1	0.6	REC	
12	EXT. LT9	0.4	20/1	19	20	20/1	1.5	WALL HEATER	
12	UHI	0.3	20/1	21	22	20/1	0.3	UHI	
12	UHI	0.3	20/1	23	24	20/1	0.3	UHI	
12	UHI	0.3	20/1	25	26	20/1	0.3	UHI	
12	UHI	0.3	20/1	27	28	20/1	1.5	HU1	
10	HU2	2.4	30/1	29	30	30/1	2.4	HU2	
10	HU2	2.4	30/1	31	32	30/1	2.4	HU2	
10	HU2	2.4	30/1	33	34	30/1	2.4	HU2	
10	HU2	2.4	30/1	35	36			SPACE	
				37	38				
				39	40				
				41	42				



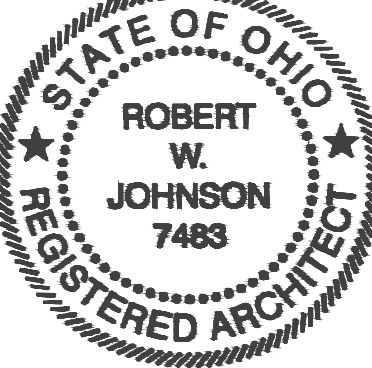
B
EI **ELECTRIC RISER DIAGRAM**
SCALE: N.T.S.

ELECTRICAL LEGEND

- ⋆ SINGLE POLE SWITCH
- ⋆^{MS} SINGLE POLE SWITCH W/ WALL MOUNTED OCCUPANCY SENSOR
- ⋆³ 3-POLE SWITCH
- ⊕ STANDARD DUAL REC. - 120V UNLESS NOTED OTHERWISE
- ⊕⁴ STANDARD QUAD REC. - 120V UNLESS NOTED OTHERWISE
- ⊕ STANDARD DUAL REC. (CEILING MOUNT) - 120V
- CIRCUIT BREAKER PANELBOARD
- (MS) CEILING MOUNTED MOTION SENSOR
- (H1) LED HIGH BAY FIXTURE, BLACK, 5700K, 150 W
- (L1) 2-LAMP COMMERCIAL LINEAR FLUORESCENT, 32W T8
- (W1) LED EXTERIOR WALL PACK, 65W
- (EM1) EMERGENCY LIGHT W/ BATTERY BACKUP
- (WH1) ELECTRIC WALL HEATER, 15 KW
- (UHI) "REZNR" UD48-45 GAS-FIRED UNIT HEATER, 45,000 BTU 115/160 SUPPLY VOLTAGE, PROVIDE 4" DIA. VENT THRU ROOF W/ RAIN CAP.
- (EF1) CEILING EXHAUST FAN/ LIGHT COMBO: 10 CFM AT 25" SP, 50W, PROVIDE 4" DIA. VENT THRU SIDE WALL W/ RAIN CAP, PENN ZL2 OR EQUAL.



A
EI **ELECTRIC PLAN**
SCALE: 1/8" = 1'-0"



EASTGATE COMMERCIAL PARK
BUILDING 3
EASTGATE PARKWAY, GAHANNA OHIO 43230

JH Architects, Inc.
5120 B Nike Drive
Hilliard, Ohio 43026
614-527-7590 Fax 614-527-7592

19046
01-22-20

E1

PLANNING AND DEVELOPMENT STAFF REPORT

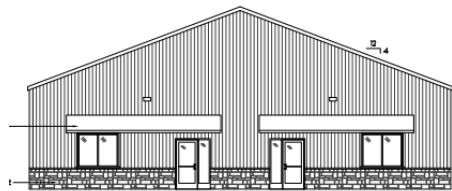
Request Summary

Design Review for minor façade and building material renovations for three buildings located at the Eastgate Commerce Center. Building permits were filed and are undergoing staff review. It was during this review that some minor changes were noticed regarding materials, design, addition of awnings, etc. These changes are relatively minor in nature but are substantial enough that staff is unable to approve the building permits without a new Design Review application approved by Planning Commission. It should be noted that some buildings have been approved and are under construction. This request applies to three of the five buildings.

Proposed Building #1 (Faces Street)

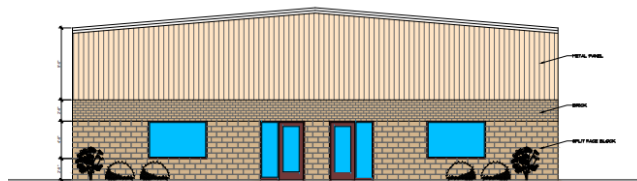


B SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

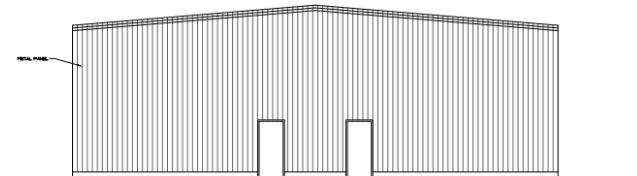


D NORTH ELEVATION
SCALE: 1/8" = 1'-0"

Previously Approved

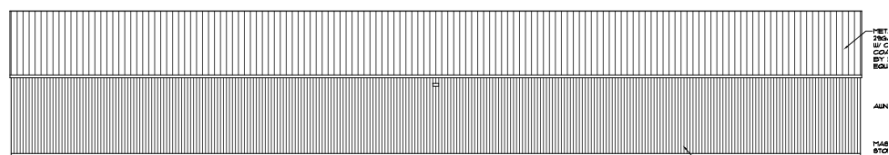


A FRONT ELEVATION
SCALE: 1/8" = 1'-0"

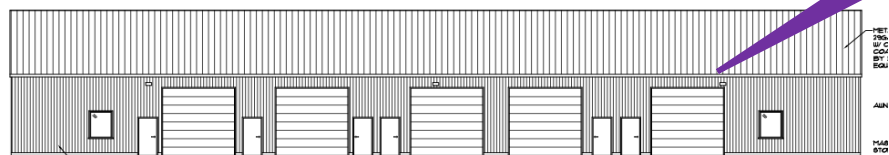


A REAR ELEVATION
SCALE: 1/8" = 1'-0"

Proposed Building #1



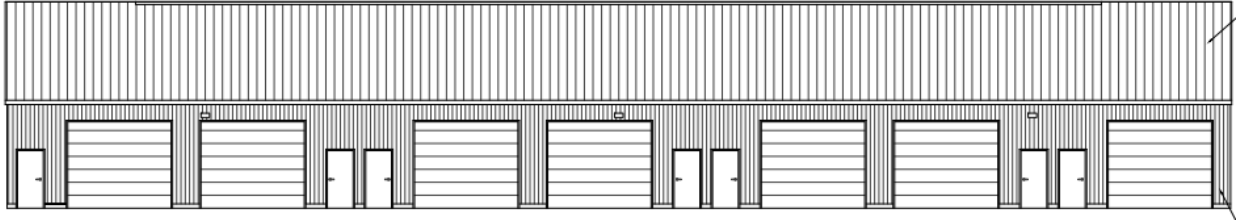
A WEST ELEVATION
SCALE: 1/8" = 1'-0"



C EAST ELEVATION
SCALE: 1/8" = 1'-0"

Bay doors added to east elevation

Proposed Building #2



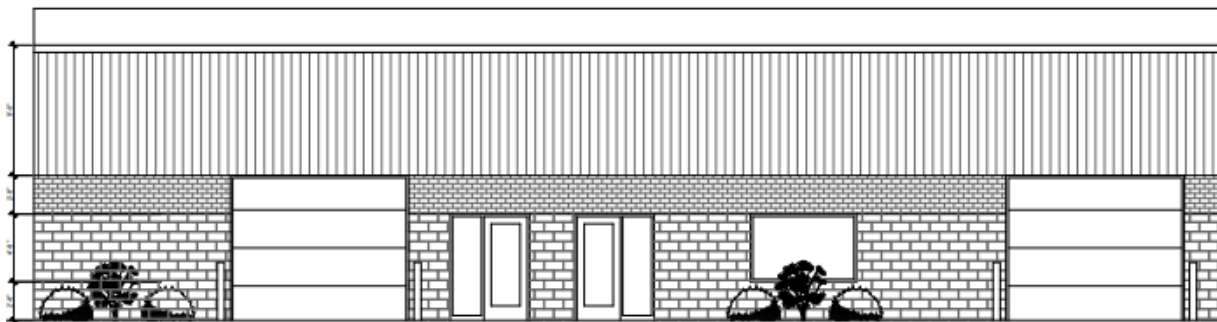
(A) SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



(C) NORTH ELEVATION
SCALE: 1/8" = 1'-0"

The changes to Building #2 and #3 are mostly the same. It varies from the approved Design Review in that more bay doors are proposed and the material types are modified. The original approval had stone and brick.

Previously Approved



(A) PARTIAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Design Review

General review criteria for Design Review applications include the following:

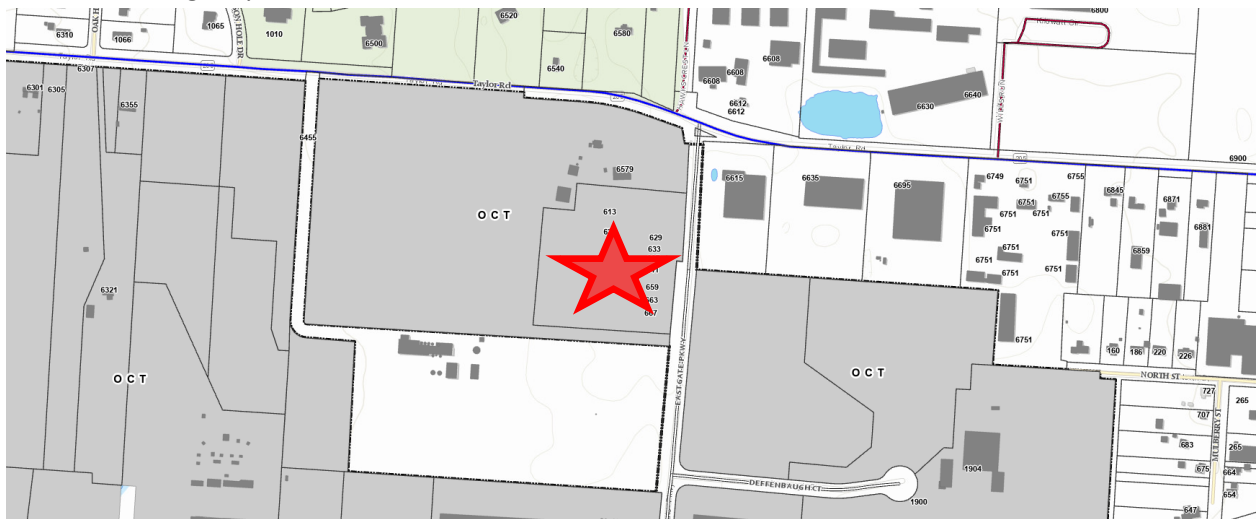
- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.

- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect and enhance the physical surroundings of the Design Review District.

Recommendation

Staff recommends approval of this request. The revisions meet code standards. Additionally, the style and materials of buildings are consistent with other developments in the area, notably the commercial self-storage facility on Blatt Blvd.

Location/Zoning Map



Respectfully Submitted By:
Michael Blackford, AICP
City Planner/Zoning Administrator