



# DEVELOPMENT PLAN APPLICATION SUMMARY



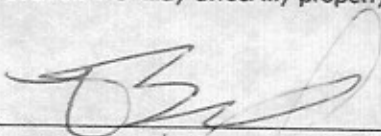
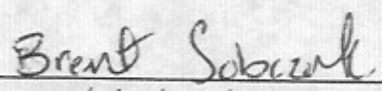
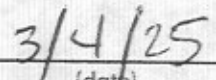
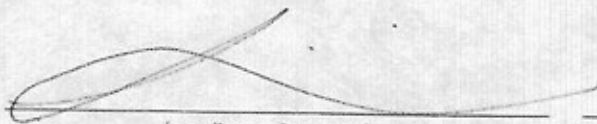
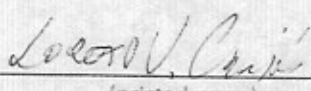
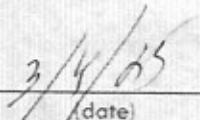
<b>File Number</b>	DP-25-3
<b>Property Address</b>	0000 Tech Center/Hamilton Gahanna, ohio 43230
<b>Parcel ID</b>	025-014183-00
<b>Zoning District</b>	GC - General Commercial
<b>Project/Business Name</b>	Crecent MOB
<b>Applicant</b>	Larry Canini larry@caniniassocltd.com 614-315-7172
<b>Description of the Request</b>	11,906 sq ft medical office building

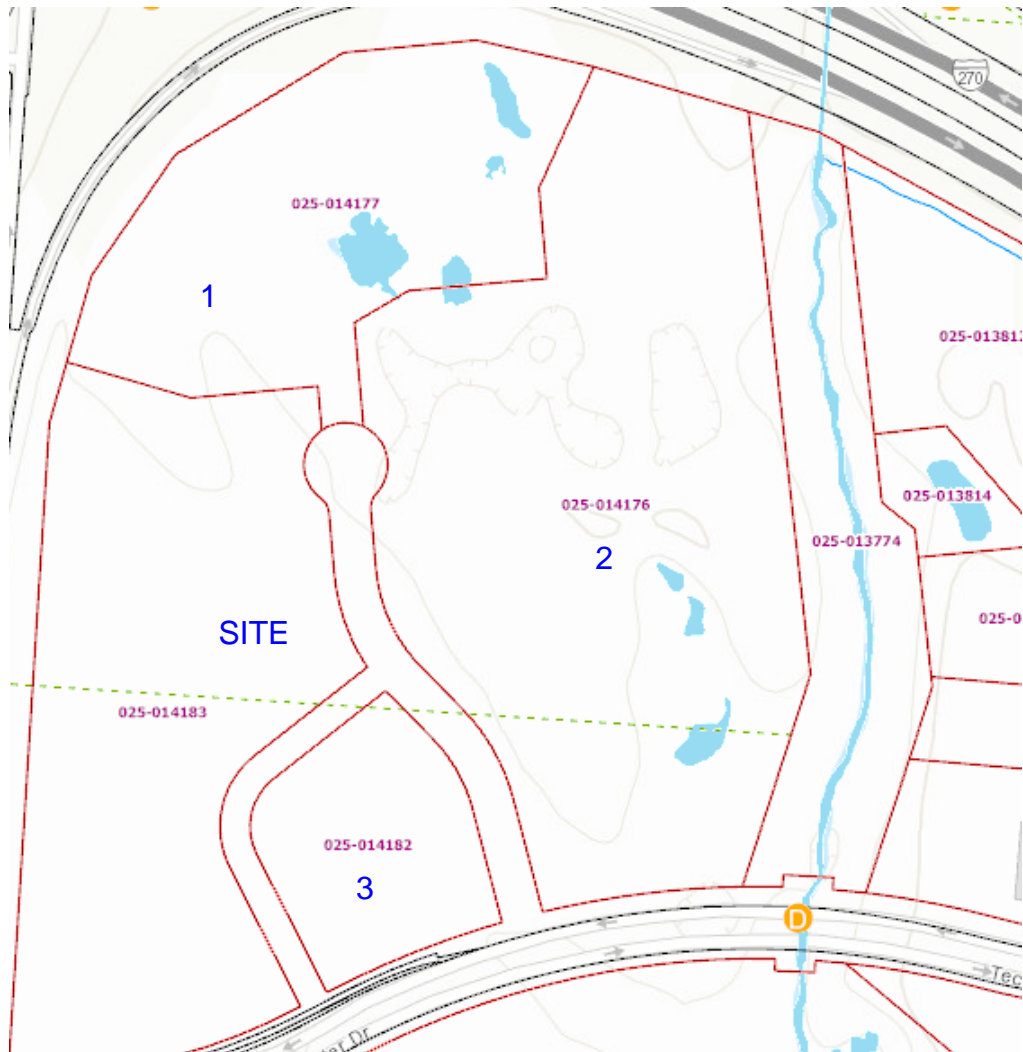


## AUTHORIZATION CONSENT FORM

If you are filling out more than one application for the same project & address, you may submit a copy of this form with each additional application.

As the owner or acting agent for the subject property, I have reviewed the application and hereby authorize the listed applicant to make decisions that may affect my property as it pertains to this application.

 _____ (property owner/acting agent signature)	 _____ (printed name)	 _____ (date)
 _____ (applicant signature)	 _____ (printed name)	 _____ (date)



# SITE

PN 025-014183  
CP CRECENT LLC  
250 CIVIC CENTER DRIVE SUITE# 500  
COLUMBUS OH 43215

# 1

PN 025-014177  
CP CRECENT HOLDINGS LLC  
250 CIVIC CENTER DRIVE SUITE# 500  
COLUMBUS OH 43215

# 2

PN 025-014176  
CRECENT WOODS LLC  
250 CIVIC CENTER DRIVE SUITE# 500  
COLUMBUS OH 43215

# 3

PN 025-014182  
CP CRECENT LLC  
250 CIVIC CENTER DRIVE SUITE# 500  
COLUMBUS OH 43215

MATERIALS LIST (As applicable) – Gahanna Code Chapter 1107			
Item	Material Type	Color Name	Color Number
HM-1	Hollow metal doors & frames	PTD: PT-1	
FC-1	Fiber cement panel & trim	PTD: PT-1	
MA-1	Masonry - face brick	Bowerston Brick	Santa Fe - wire cut. Mortar - spec mix SM670 burgundy
MA-2	Masonry - face brick	Bowerston Brick	Charcoal gray mortar - Spec Mix SM800 black
M-1	Metal signage panel/coping scuppers & downspouts	DMI - prefinished color "slate grey"	
M-2	Metal Coping	DMI - prefinished color: "matte black"	
MC-1	Metal canopy	Columbus Awning 10" prefinished alum. w/ hanger rod supports	matte black
SF-1	Aluminum storefront glazing and frame	Kawneer Tri-Fab VG 451-T (or equal) 2" x 4 1/2" w/ 1" insulated glazing	Color slate grey/lintec LT604 70%
PT-1	Paint	Sherwin Williams	SW 7019 gauntlet gray
PT-2	Paint	Sherwin Williams	SW 2858 fairfax brown

**Note:** Item refers to building material, awning, lighting, roofing, trim, or other similar building item.

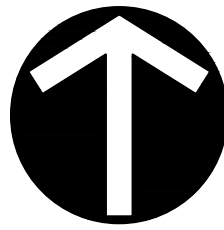


P:\340-000\340-0021-CAD\DWG\1307 - CP CRESCENT-001-FINAL DEVELOPMENT PLAN.dwg (1307 - CP CRESCENT-001-FINAL DEVELOPMENT PLAN.dwg) - LPT 4/20/2025 3:04 PM

# FINAL DEVELOPMENT PLAN

## CRESCENT MOB

TOWNSHIP 1, RANGE 16, QUARTER TOWNSHIP 3;  
CITY OF GAHANNA, FRANKLIN COUNTY, OHIO  
2025

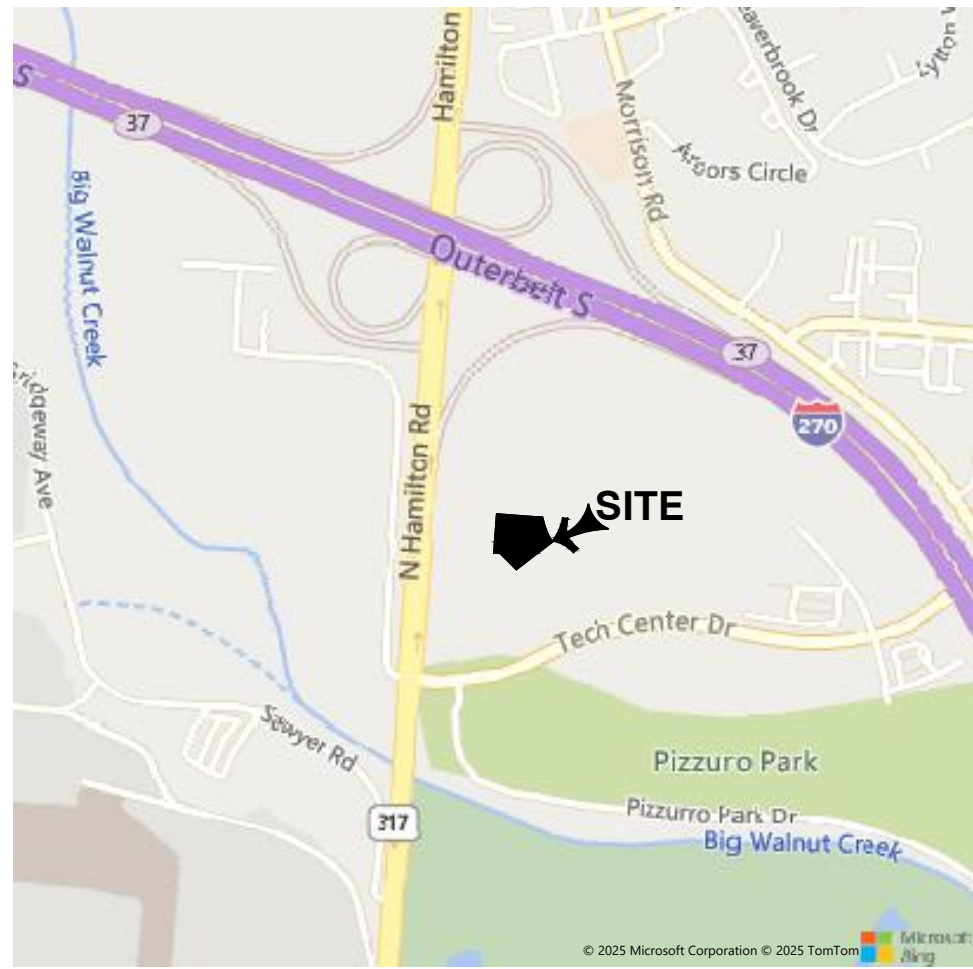


NORTH

SCALE IN FEET  
0 40 80



NORTH



VICINITY MAP  
1" = 1,000'

### LEGEND

	<b>SAN</b>	PROPOSED SANITARY SEWER
	<b>W</b>	PROPOSED WATER
	<b>ST</b>	PROPOSED STORM SEWER
	<b>SAN</b>	EXISTING SANITARY SEWER
	<b>W</b>	EXISTING WATER
	<b>ST</b>	EXISTING STORM SEWER
	<b>E</b>	EXISTING ELECTRIC
	<b>FO</b>	EXISTING FIBER OPTIC

### ENGINEER/SURVEYOR

#### CIVIL & ENVIRONMENTAL CONSULTANTS, INC.

250 OLD WILSON BRIDGE ROAD, SUITE 250  
WORTHINGTON, OHIO 43085  
PHONE: (614) 540-6633  
CONTACT: BRIAN BURKHART, PE  
EMAIL: BBURKHART@CECINC.COM

### DEVELOPER

#### WALNUT CREEK MOB III

PO BOX 887  
NEW ALBANY, OH  
PHONE: (614) 855-4545  
CONTACT: LARRY CANINI  
EMAIL: larry@caniniassocltd.com

### OWNER

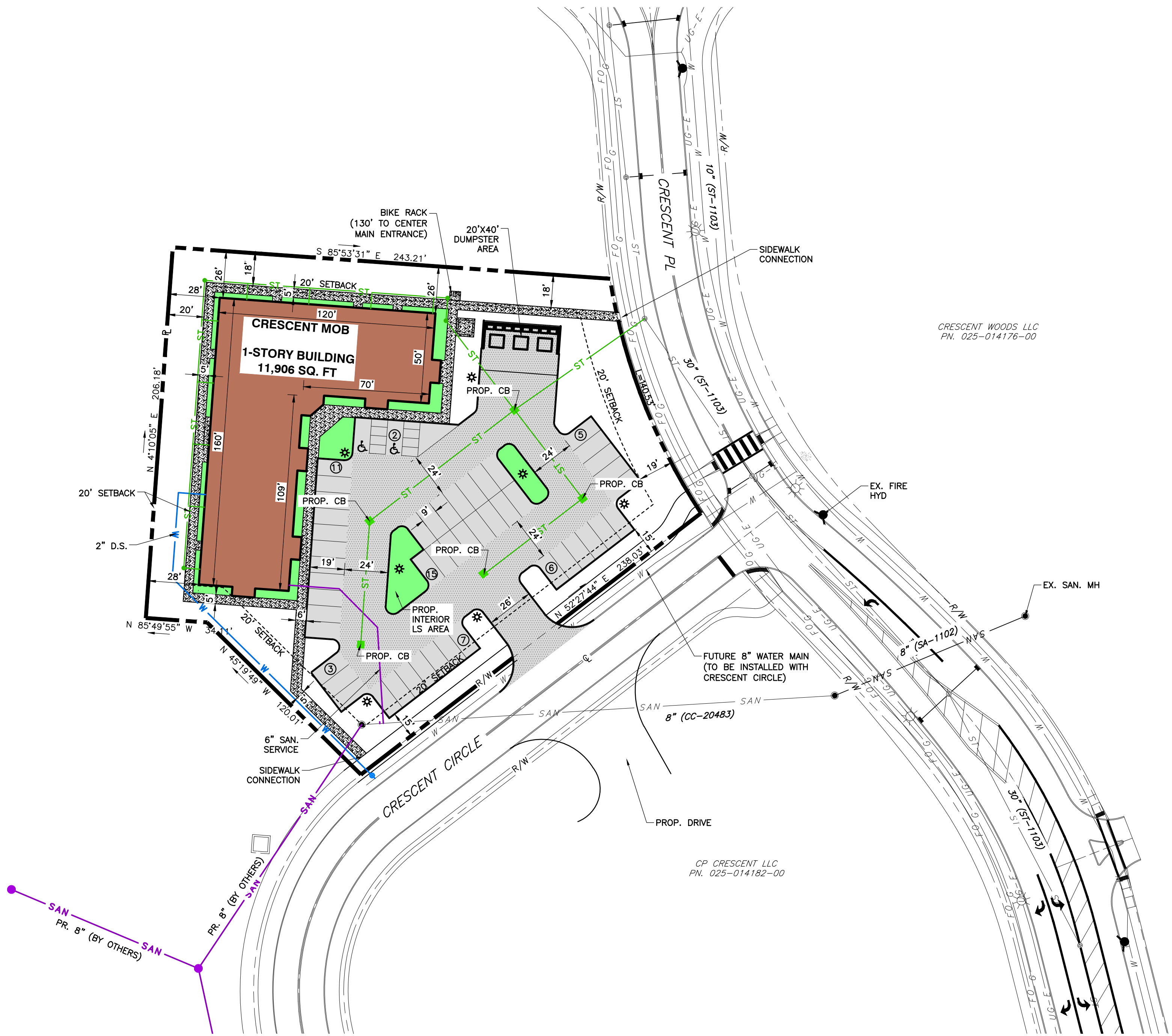
#### CP CRESCENT LLC

250 CIVIC CENTER DRIVE SUITE #500  
COLUMBUS, OH 43215

CP CRESCENT LLC  
PN. 025-014183-00

CRESCENT WOODS LLC  
PN. 025-014176-00

CP CRESCENT LLC  
PN. 025-014182-00



### SITE PLAN

SCALE: 1"=40'

### SITE STATISTICS

TOTAL ACREAGE	±1.41 AC
ZONING	GENERAL COMMERCIAL (GC)
MINIMUM LOT AREA	NONE
MINIMUM LOT WIDTH	150 FT
<b>BUILDING SETBACKS</b>	
FRONT SETBACK	20 FT
SIDE SETBACK	10 FT
REAR SETBACK	20 FT
<b>PARKING SETBACKS</b>	
ADJACENT TO NON-RESIDENTIAL	10 FT
ADJACENT TO RESIDENTIAL	25 FT
MAX BUILDING HEIGHT	50 FT

### PARKING DATA

NUMBER OF SPACES REQUIRED 35  
(1 SPACE PER 350 SF.)

NUMBER OF SPACES PROVIDED 49 (2 HANDICAP)

### BICYCLE DATA

NUMBER OF SPACES REQUIRED 3  
(1 SPACE PER 5,000 SF.)

NUMBER OF SPACES PROVIDED 3

### LANDSCAPE REQUIREMENTS

SQUARE FOOTAGE OF SITE	61,414 FT <sup>2</sup>
IMPERVIOUS AREA	
BUILDING	38,468 FT <sup>2</sup>
PARKING	11,906 FT <sup>2</sup>
SIDEWALK	20,916 FT <sup>2</sup>
DUMPSTER	4,479 FT <sup>2</sup>
	1,167 FT <sup>2</sup>

PERVIOUS AREA 22,946 FT<sup>2</sup>

### PER 1163.08

REQUIRED INTERIOR

LANDSCAPE AREA:

1,196 FT<sup>2</sup>

PROVIDED:

3,311 FT<sup>2</sup>

REQUIRED ONE TREE PER  
100 FT<sup>2</sup> OF REQUIRED  
LANDSCAPE AREA

12 TREES (MIN. 3 CALIPER INCHES)

PROVIDED:

12 TREES (MIN. 3 CALIPER INCHES)

### PER 914.05

SHADE TREE CALIPER  
INCH REQUIRED:

46 CALIPER INCHES  
(46,518 FT<sup>2</sup>/1,000 FT<sup>2</sup> PER CALIPER INCH)

PROVIDED:

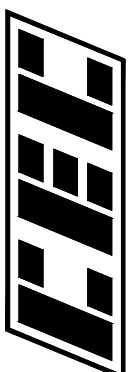
46 CALIPER INCHES

ALL PARKING AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE SCREENED  
FROM VIEW BY USE OF AN EVERGREEN HEDGE, MASONRY WALL (BRICK OR STONE),  
MOUND OR COMBINATION THEREOF TO A HEIGHT OF THREE FEET

### SUBMITTAL RECORD

NO. DATE DESCRIPTION

250 W. Old Wilson Bridge Road  
Suite 250  
Worthington, OH 43085  
Ph: 614.540.6633  
www.cecinc.com



Civil & Environmental  
Consultants, Inc.

WALNUT CREEK MOB III  
CRESCENT MOB  
CITY OF GAHANNA  
FRANKLIN COUNTY, OHIO

### FINAL DEVELOPMENT PLAN

DRAWING NO.:

C200

SHEET 1 OF 1





















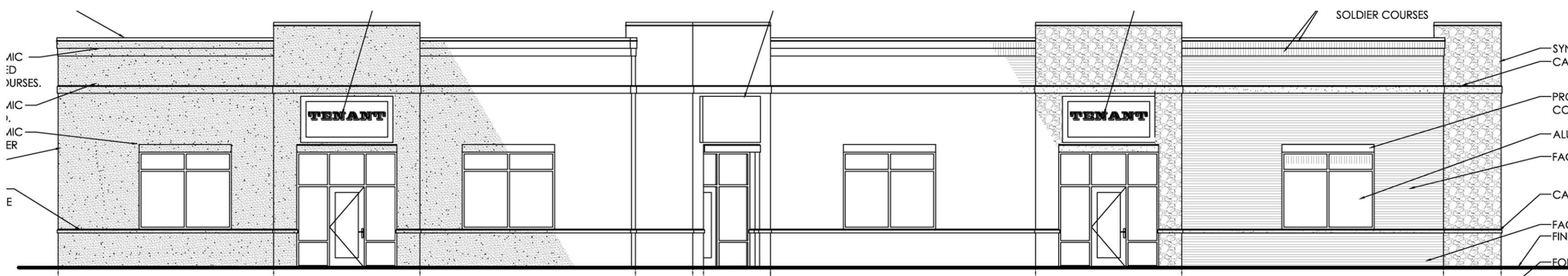




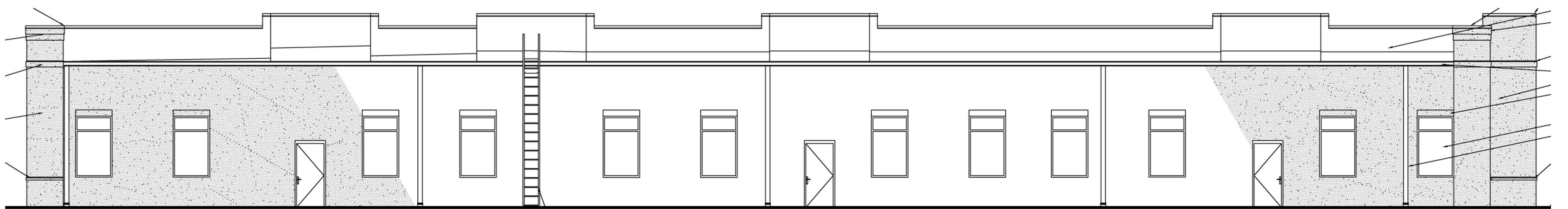




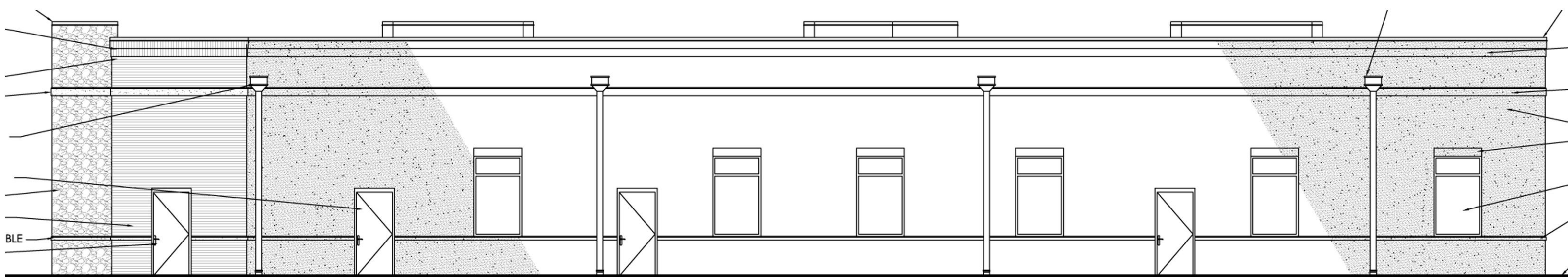
**EAST ELEVATION**



**SOUTH ELEVATION**

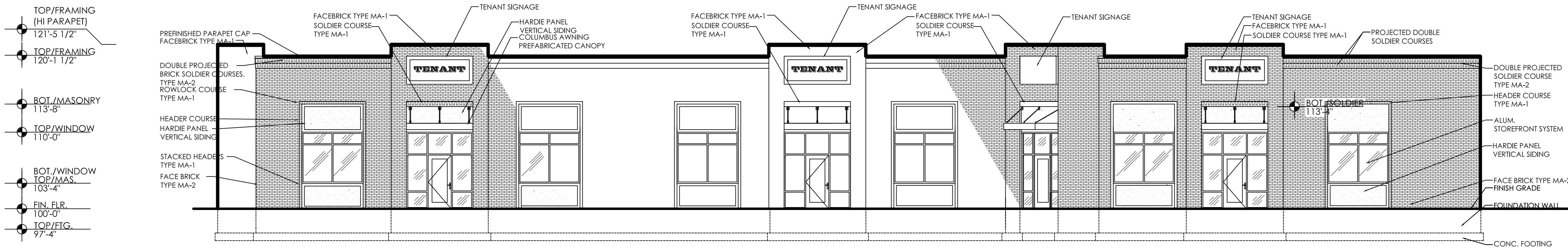


**WEST ELEVATION**



**NORTH ELEVATION**





EAST ELEVATION

1/8" = 1'-0"

TRANSPARENT GLASS PERCENTAGE

EAST FACADE TOTAL AREA: 3,373 S.F.  
TRANSPARENT GLASS TOTAL AREA: 655 S.F.

TRANSPARENT GLASS FACADE PERCENTAGE: 655/3,373 = 19.4%



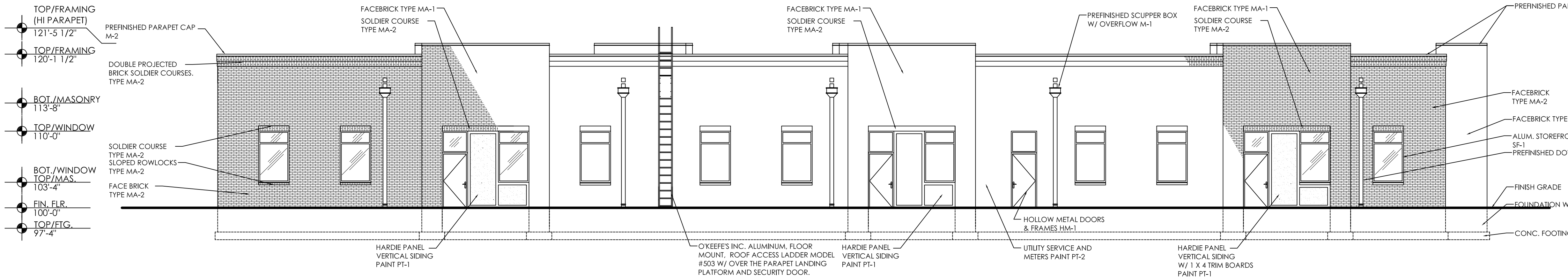
SOUTH ELEVATION

1/8" = 1'-0"

TRANSPARENT GLASS PERCENTAGE

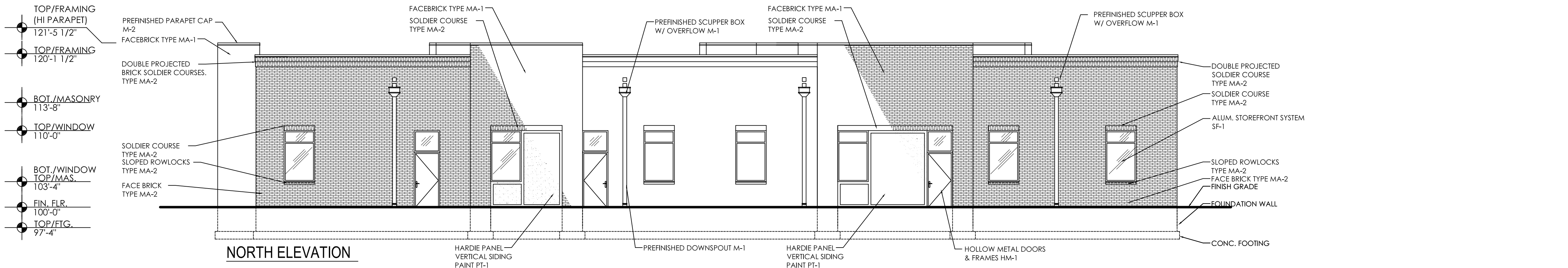
EAST FACADE TOTAL AREA: 2,559 S.F.  
TRANSPARENT GLASS TOTAL AREA: 464 S.F.

TRANSPARENT GLASS FACADE PERCENTAGE: 464/2,559 = 18.1%



WEST ELEVATION

1/8" = 1'-0"

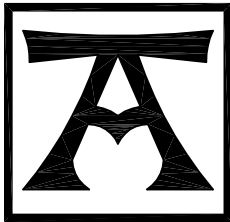


NORTH ELEVATION

1/8" = 1'-0"

EXTERIOR FINISHES KEY		
MARK	TYPE	NOTES
HM-1	HOLLOW METAL DOOR & FRAME	PTD - PT-1
FC-1	FIBER CEMENT PANEL & TRIM HARDIE PANEL VERTICAL SIDING	PTD - PT-1
MA-1	FACEBRICK - MASONRY	BOWERSTON BRICK - COLOR: "SANTA FE" (WIRE CUT) MORTAR COLOR: SPEC MIX SM670 BURGUNDY
MA-2	FACEBRICK - MASONRY	BOWERSTON BRICK - COLOR: "CHARCOAL GREY" MORTAR COLOR: SPEC MIX SM800 BLACK
M-1	METAL SIGNAGE PANEL/COPING SCUPPERS & DOWNSPOUTS	DMI - PREFINISHED COLOR: "SLATE GREY"
M-2	METAL COPING	DMI - PREFINISHED "MATTE BLACK"
MC-1	METAL CANOPY	COLUMBUS AWNING 10" TALL PREFINISHED ALUM. W/ HANGER ROD SUPPORTS. COLOR: "MATTE BLACK"
SF-1	ALUM. STOREFRONT GLAZING & FRAME	KAWNEER TRIFAB VG 451-T SERIES (OR EQUAL) 2' X 4 1/2" FOR 1" INSUL. GLAZING. COLOR: "SLATE GREY/LINETEC L1604 70%"
PT-1	PAINT	SHERWIN WILLIAMS - SW7019 GAUNTLET GRAY
PT-2	PAINT	SHERWIN WILLIAMS - SW2858 "FAIRFAX BROWN"

GENERAL NOTES	
1. THE COLORS AND MATERIALS, AS SHOWN IN THIS FINAL DEVELOPMENT PLAN, MAY BE ADJUSTED SLIGHTLY, BASED ON SUPPLY SHORTAGES OR DELAYS. HOWEVER, FINAL SELECTIONS WILL BE SUBSTANTIALLY SIMILAR TO THE DESIGN INTENT SHOWN IN THIS FINAL DEVELOPMENT PLAN SUBMISSION. IF MODIFICATIONS ARE NECESSARY, DEVELOPMENT TEAM WILL WORK WITH THE DEVELOPMENT DEPARTMENT STAFF TO GAIN ADMINISTRATIVE APPROVAL FOR ANY SUCH MODIFICATIONS.	
2. EXTERIOR DOOR LOCATIONS ARE SUBJECT TO ADDITION, DELETION, OR RELOCATION BASED ON FINAL LAYOUT OF FUTURE INTERIOR TENANT PLANS. ALL DOORS SHALL BE PLACED WITHIN CURRENTLY DERIVED STOREFRONT AREAS. DEVELOPMENT TEAM WILL WORK WITH CITY STAFF TO GAIN ADMINISTRATIVE APPROVAL FOR ANY SUCH MODIFICATIONS.	
3. TENANT SIGNAGE SHALL BE SUBMITTED FOR REVIEW, APPROVAL AND PERMIT ON A TENANT-BY-TENANT BASIS. THE DESIGN OF ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE APPROVED MASTER SIGN PLAN AND THE CITY OF GAHANNA ZONING CODE. THESE ELEVATIONS SHOW THE GENERALLY INTENDED LOCATIONS FOR WALL MOUNTED SIGNAGE TO COMPLIMENT BUILDING ARCHITECTURE. HOWEVER, THE LOCATIONS DEPICTED HEREIN SHALL NOT LIMIT THE ABILITY OF LANDLORD OR TENANTS TO INSTALL ADDITIONAL SIGNAGE TO THE EXTENT ALLOWED BY CODE.	



Alpha Architectural Services, LLC.  
Donald R. Weaver, Arch.  
620 Reindeer Lane  
Gahanna, Ohio 43230

It is a violation of the law for any person, unless acting under the direction of the registered architect, to alter these plans and specifications. This document contains proprietary information and shall not be used or reproduced, or its contents disclosed, in whole or in part, without the written consent of Alpha Architectural Services, LLC.

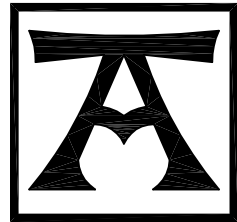
© Alpha Architectural Services, LLC

A NEW OFFICE BUILDING FOR  
CANINI & ASSOCIATES LTD.

WALNUT CREEK LOT #4  
GAHANNA, OHIO

3.4.25	22032
1	
2	

A2.0



Alpha Architectural  
Services, LLC.  
Donald R. Weaver, Arch.  
620 Reindeer Lane  
Gahanna, Ohio 43230

It is a violation of the law for any person, unless acting under the direction of the registered architect, to alter these plans and specifications. This document contains proprietary information and shall not be used or reproduced, or its contents disclosed, in whole or in part, without the written consent of Alpha Architectural Services, LLC.

© Alpha Architectural Services, LLC

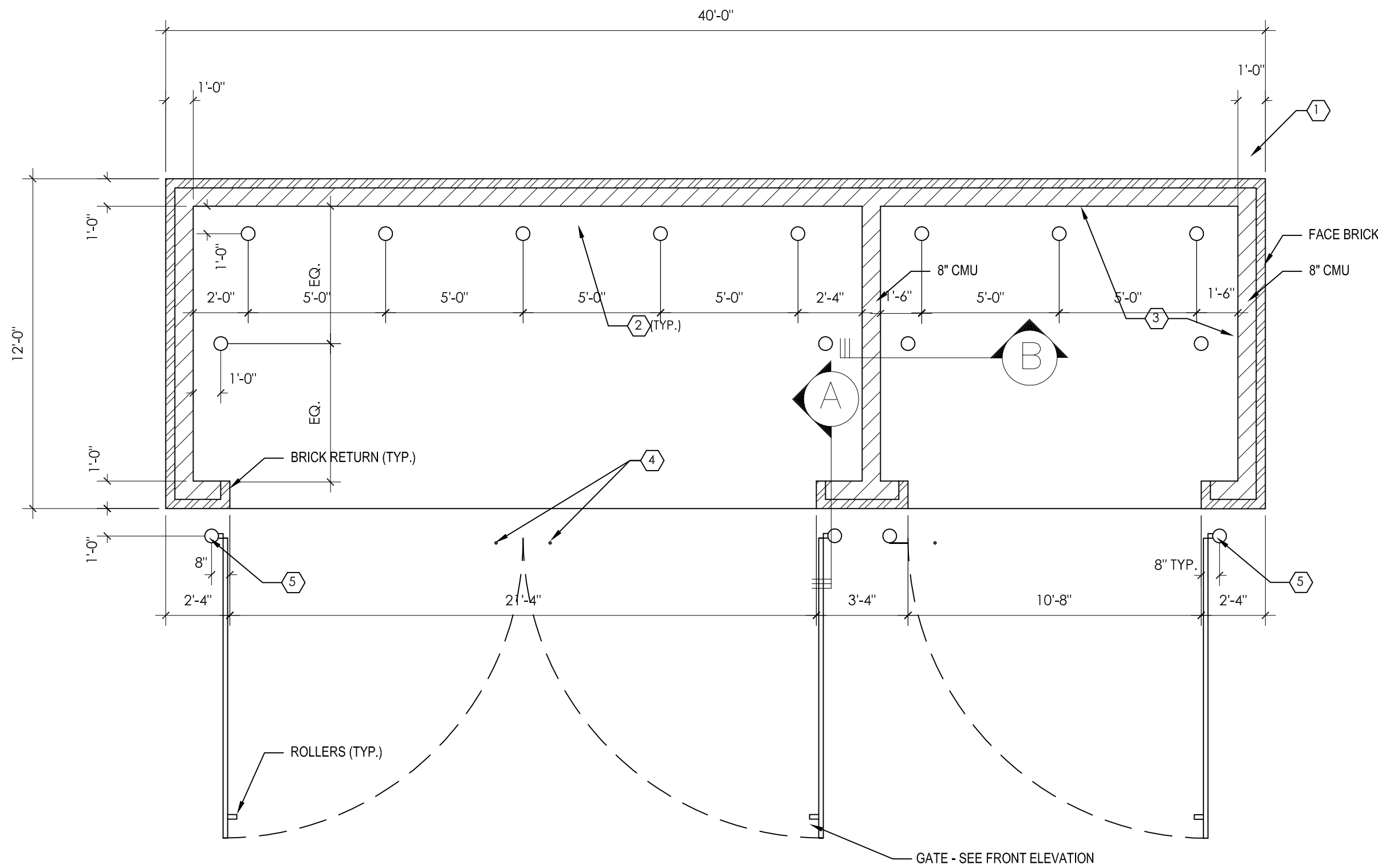
A NEW OFFICE BUILDING FOR  
CANINI & ASSOCIATES LTD.

LOT #4 BUCKLES COURT N.  
GAHANNA, OHIO

3.8.24 22032

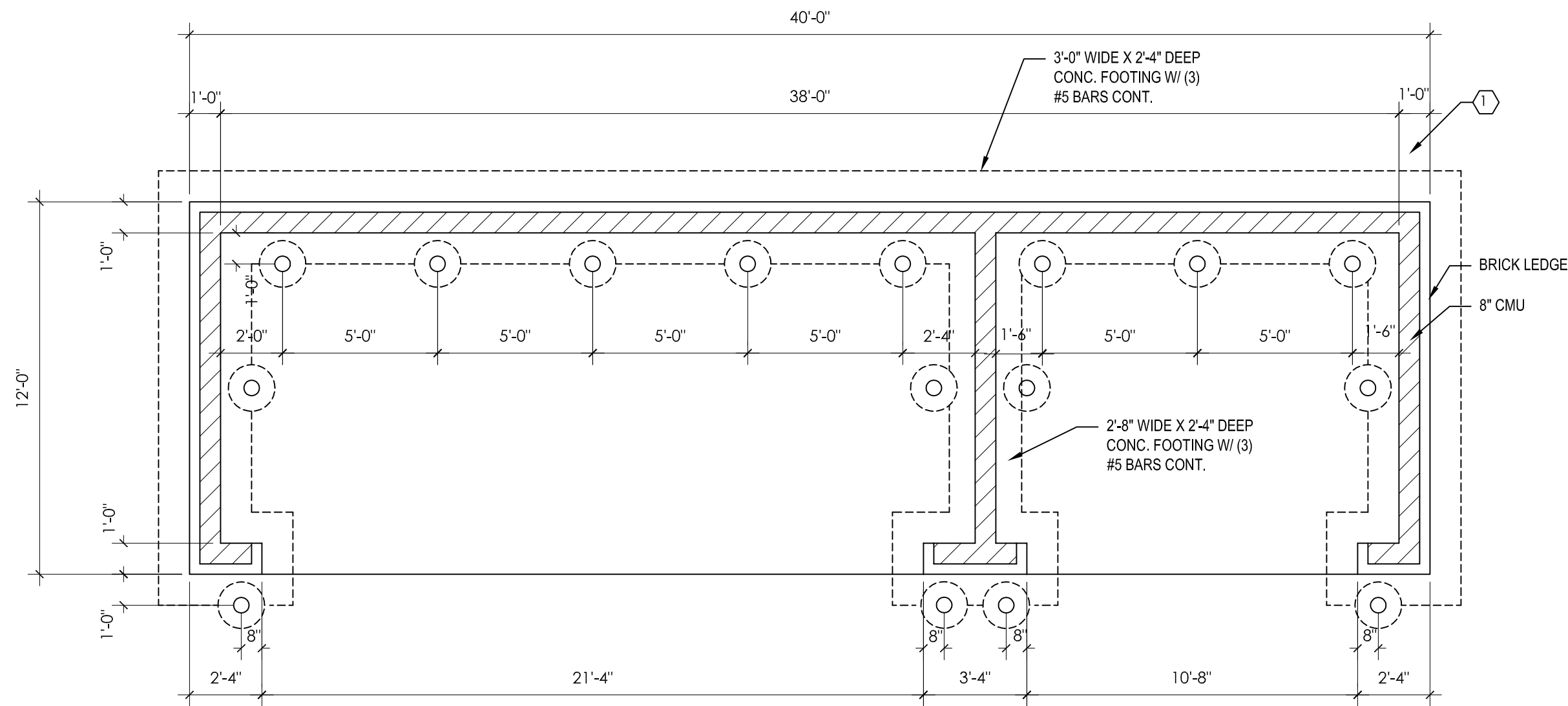
1		
2		

SP1.0



DUMPSTER ENCLOSURE PLAN

1/4" = 1'-0"

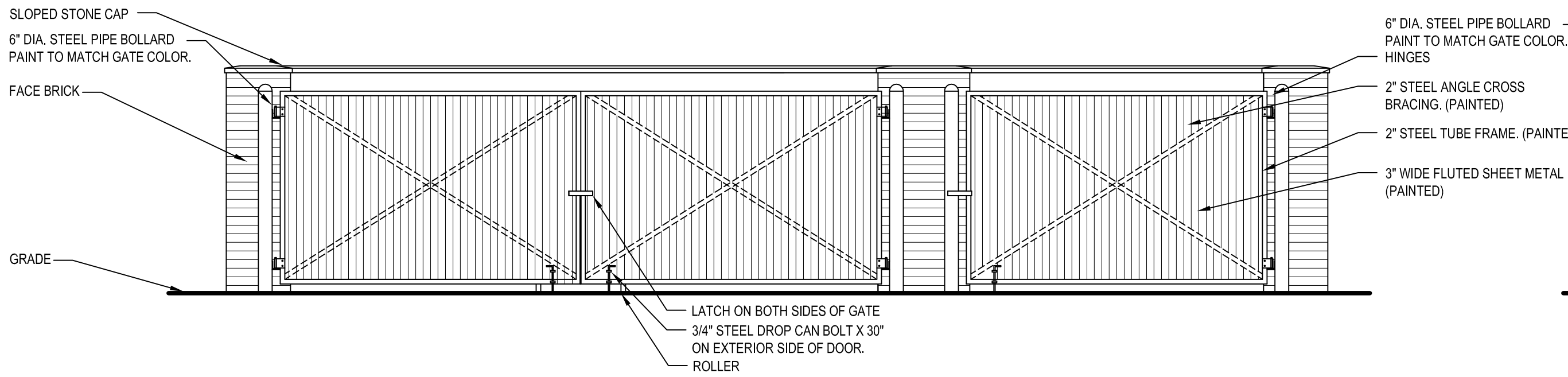


DUMPSTER ENCLOSURE CODED NOTES

1. DUMPSTER ENCLOSURE WALLS ARE DIMENSIONED AS 8" (CMU ONLY) OR 12" NOMINAL (8" CMU W/ 4" FACEBRICK)
2. 6" DIA. X 6'-0" HIGH ABOVE GRADE STEEL PIPE BOLLARD. PAINT TO MATCH GATE COLOR. SEE DETAIL THIS SHEET.
3. ALL EXPOSED CONCRETE BLOCK IS TO BE PAINTED TO MATCH THE BRICK COLOR.
4. PROVIDE HOLES IN PAVEMENT FOR CANE BOLTS.
5. 6" DIA. X 7'-4" ABOVE GRADE. STEEL PIPE BOLLARD. PAINT TO MATCH GATE COLOR.

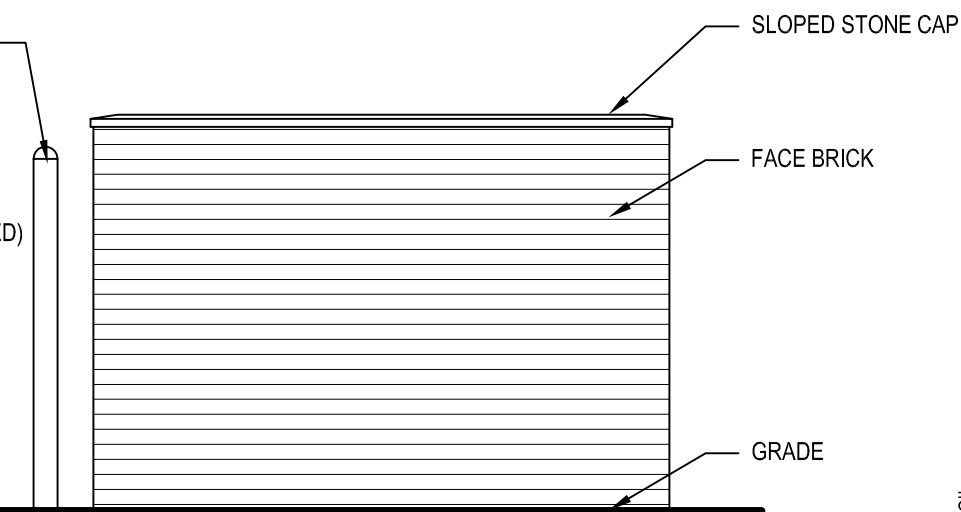
DUMPSTER ENCLOSURE FOUNDATION PLAN

1/4" = 1'-0"



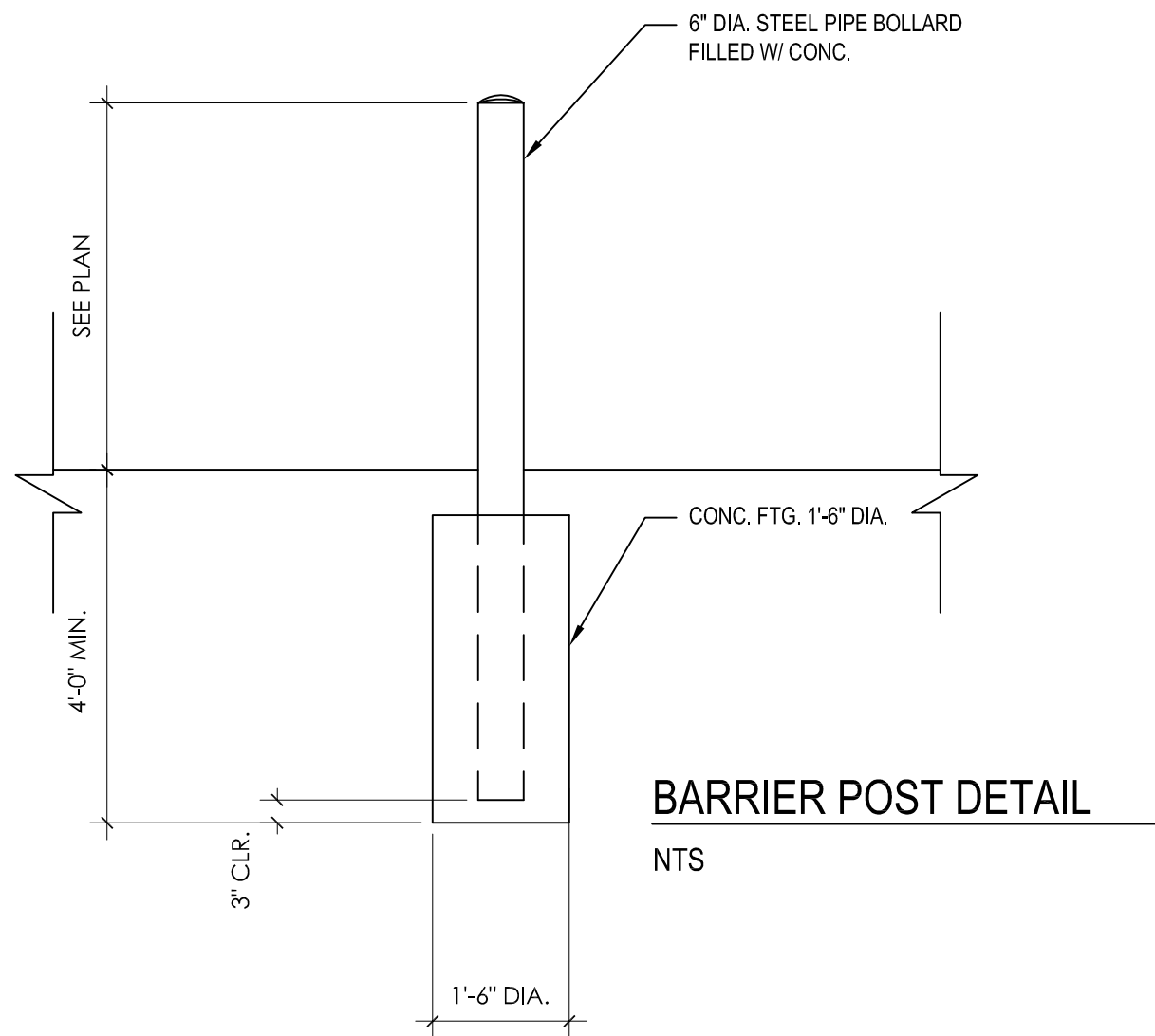
DUMPSTER ENCLOSURE FRONT ELEVATION

1/4" = 1'-0"



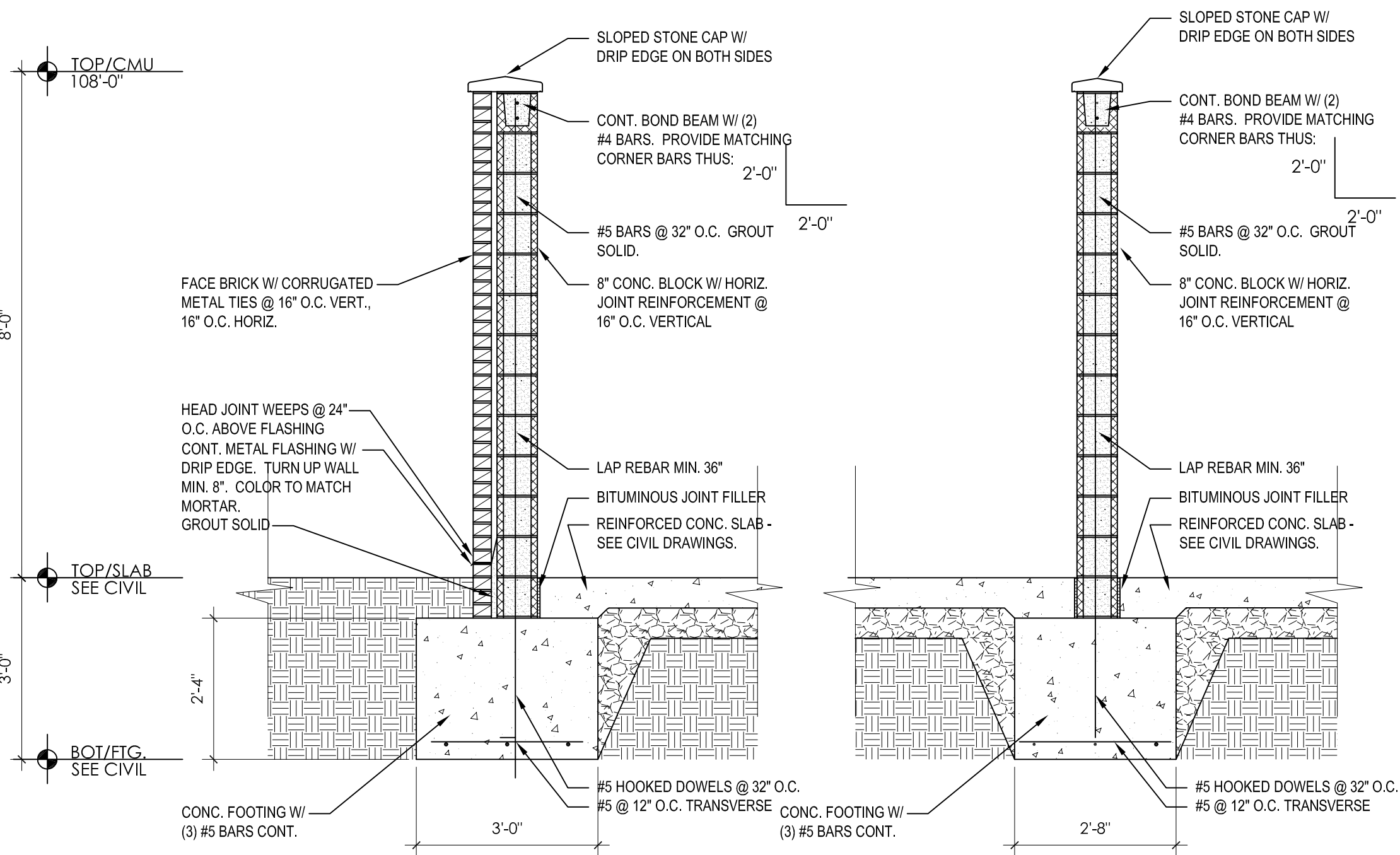
DUMPSTER ENCLOSURE SIDE ELEVATION

1/4" = 1'-0"



BARRIER POST DETAIL

NTS



SECTION A

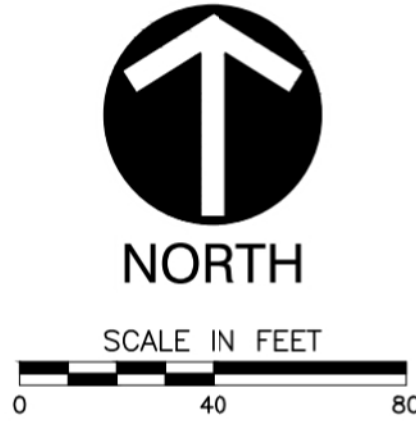
SECTION B

DUMPSTER ENCLOSURE WALL SECTIONS

1/2" = 1'-0"



FINAL DEVELOPMENT PLAN  
CRESCENT MOB  
TOWNSHIP 1, RANGE 16, QUARTER TOWNSHIP 3;  
CITY OF GAHANNA, FRANKLIN COUNTY, OHIO  
2025



VICINITY MAP  
1" = 1,000'

Symbol	Qty	Common	Botanical	Location	Size
	2	Honey Locust	Gleditsia triacanthos f. inermis	Parking Interior Tree	3" cal
	4	Japanese Tree Lilac	Syringa reticulata	Parking Interior Tree	3" cal
	6	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	Parking Interior Tree	3" cal
	9	Red Maple	Acer rubrum	Exterior Site Tree	3" cal
	5	Japanese Zelkova	Zelkova serrata	Exterior Site Tree	3" cal
	2	Columnar Hornbeam	Carpinus Bet. 'Frans Fontaine'	Exterior Site Tree	3" cal
	8	Catmint	Nepeta x	Landscape	1 gal.
	6	Blue Oat Grass	Helictotrichon sempervirens	Landscape	1 gal.
	10	Green Velvet Boxwood	Buxus mic. 'Green Velvet'	Landscape	5 gal.
	21	Daylily	Hemerocallis sp.	Landscape	1 gal.
	8	Feather Reed Grass	Calamagrostis acutiflora	Landscape	2 gal.
	12	Janed Gold Arborvitae	Thuja occ. 'Janed Gold'	Landscape	4-5'
	14	Inkberry	Ilex glabra	Landscape	3 gal.
	13	Low Scape Chokeberry	Aronia arbutifolia 'Low Scape Mound'	Landscape	3 gal.
	30	Little Henry Sweetpire	Itea virginica 'Little Henry'	Landscape	3 gal.
	11	Techny Arborvitae	Thuja occ. 'Techny'	Dumpster Screen	5-6'
	50	Sea Green Juniper	Juniperus chin. 'Sea Green'	Parking Screen	36"

LANDSCAPE REQUIREMENTS

- DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING.
- THE PLANT LIST IS INTENDED AS A GUIDE FOR THE LANDSCAPE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
- TREES AND SHRUBS SHALL BE NURSERY GROWN AND BE HEALTHY AND VIGOROUS PLANTS, FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUN SCALD, INJURIES, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT PEST EGGS, BORERS AND ALL FORMS OF INFESTATIONS OF OBJECTIONABLE DISFIGUREMENTS. PLANTS SHALL BE IN ACCORDANCE WITH THE CURRENT "AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS" AND CONFORM IN GENERAL TO REPRESENTATIVE SPECIES.
- LANDSCAPE CONTRACTOR SHALL COORDINATE PLANT INSTALLATION SEQUENCE WITH IRRIGATION CONTRACTOR.
- ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS.
- ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR PERENNIAL LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED, EVENLY SPACED.
- A MINIMUM OF 6" DEPTH OF NEW TOPSOIL SHALL BE PLACED IN ALL BED AREAS BY LANDSCAPE CONTRACTOR PRIOR TO PLANT INSTALLATION. BACKFILL ALL SHRUBS AND TREES WITH ONE PART TOPSOIL TO ONE PART COMPOST. MULCH TREES AND SHRUBS WITH MIN. 2" 3" DEPTH OF SHREDDED HARDWOOD MULCH. 2-4" RIVER ROCK MULCH AT LOCATIONS AS NOTED ON THE DRAWINGS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALLS, BUILDING, CURBS, OR OTHER PLANT BED LIMITS.
- SOD OR SEED ALL LAWN DISTURBED AREAS WITHIN PROJECT LIMITS AS NOTED ON CIVIL DRAWINGS, INCLUDING OUT TO PAVEMENT EDGES.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. ALL DEAD PLANT MATERIALS SHALL BE PROMPTLY REMOVED AND REPLACED WITH NEW MATERIAL.

SITE STATISTICS

TOTAL ACREAGE	±1.41 AC
ZONING	GENERAL COMMERCIAL (GC)
MINIMUM LOT AREA	NONE
MINIMUM LOT WIDTH	150 FT
BUILDING SETBACKS	
FRONT SETBACK	25 FT
SIDE SETBACK	10 FT
REAR SETBACK	20 FT
PARKING SETBACKS	
ADJACENT TO NON-RESIDENTIAL	10 FT
ADJACENT TO RESIDENTIAL	25 FT
MAX. BUILDING HEIGHT	50 FT

PARKING DATA

NUMBER OF SPACES REQUIRED	35 (1 SPACE PER 350 SF.)
NUMBER OF SPACES PROVIDED	49 (2 HANDICAP)

SITE PLAN  
SCALE: 1"=40'

LANDSCAPE REQUIREMENTS

SQUARE FOOTAGE OF SITE	61,414 FT²
IMPERVIOUS AREA	
BUILDING	38,468 FT²
PARKING	11,906 FT²
SIDEWALK	20,916 FT²
DUMPSTER	4,479 FT²
	1,167 FT²
PERVIOUS AREA	22,946 FT²

PER 1163.08

REQUIRED INTERIOR LANDSCAPE AREA:	1,196 FT²
PROVIDED:	3,311 FT²

REQUIRED ONE TREE PER 100 FT² OF REQUIRED LANDSCAPE AREA

PROVIDED:

12 TREES (MIN. 3 CALIPER INCHES)  
12 TREES (MIN. 3 CALIPER INCHES)

ALL PARKING AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE SCREENED FROM VIEW BY USE OF AN EVERGREEN HEDGE, MASONRY WALL (BRICK OR STONE), MOUND OR COMBINATION THEREOF TO A HEIGHT OF THREE FEET

LEGEND

SAN	PROPOSED SANITARY SEWER
W	PROPOSED WATER
ST	PROPOSED STORM SEWER
SAH	EXISTING SANITARY SEWER
W	EXISTING WATER
ST	EXISTING STORM SEWER
E	EXISTING ELECTRIC
FO	EXISTING FIBER OPTIC

ENGINEER/SURVEYOR

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.  
250 OLD WILSON BRIDGE ROAD, SUITE 250  
WORTHINGTON, OHIO 43085  
PHONE: (614) 540-6633  
CONTACT: BRIAN BURKHART, PE  
EMAIL: BBURKHART@CECINC.COM

DEVELOPER

WALNUT CREEK MOB III  
PO BOX 887  
NEW ALBANY, OH  
PHONE: (614) 855-4545  
CONTACT: LARRY CANINI  
EMAIL: larry@caniniassocllc.com

OWNER

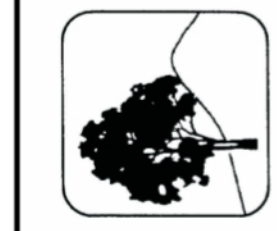
CP CRESCENT LLC  
250 CIVIC CENTER DRIVE SUITE #500  
COLUMBUS, OH 43215

SUBMITTAL RECORD

NO.	DATE	DESCRIPTION
-----	------	-------------

1	4-7-2025	
---	----------	--

**KLAMFOTH**  
Landscape Management  
6630 Hill Road NW • Canal Winchester, Ohio 43110  
Phone: 614-833-1953



WALNUT CREEK MOB III  
CRESCENT MOB  
CITY OF GAHANNA  
FRANKLIN COUNTY, OHIO

LANDSCAPE PLAN

DRAWING NO.:

SHEET 1 OF 1















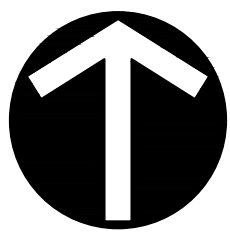
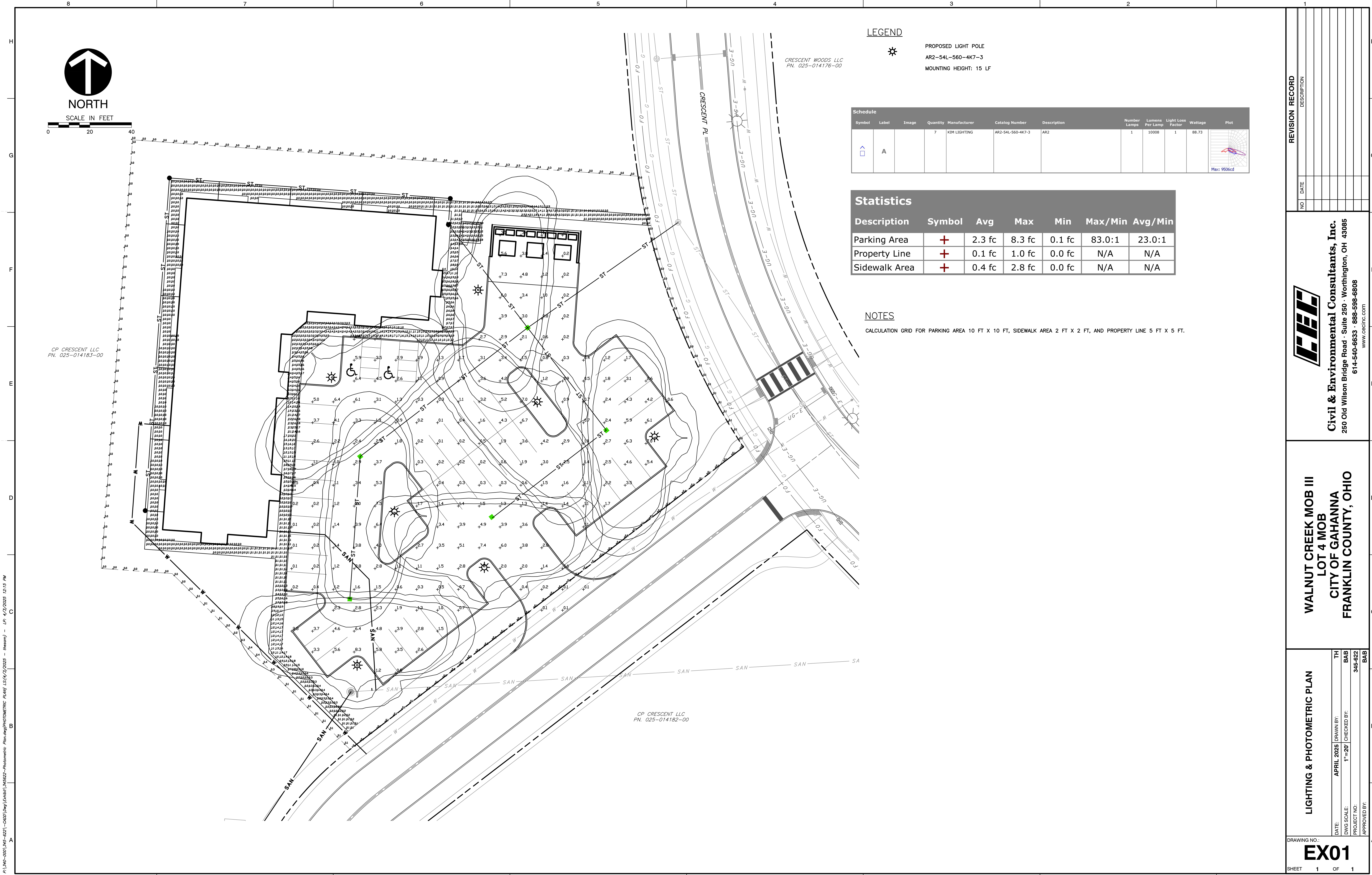








P:\340-000\345-021-CADD\dwg\LENS\345021-Photometric Plan.dwg|PHOTOMETRIC PLAN|LS(4/3/2025 - 12:15 PM) - LP: 4/3/2025 12:15 PM



NORTH

SCALE IN FEET

0 20 40

CP CRESCENT LLC  
PN. 025-014183-00

CP CRESCENT LLC  
PN. 025-014182-00

LEGEND



PROPOSED LIGHT POLE  
AR2-54L-560-4K7-3  
MOUNTING HEIGHT: 15 LF

Schedule

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	A		7	KIM LIGHTING	AR2-54L-560-4K7-3	AR2	1	10008	1	88.73	

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	+	2.3 fc	8.3 fc	0.1 fc	83.0:1	23.0:1
Property Line	+	0.1 fc	1.0 fc	0.0 fc	N/A	N/A
Sidewalk Area	+	0.4 fc	2.8 fc	0.0 fc	N/A	N/A

NOTES

CALCULATION GRID FOR PARKING AREA 10 FT X 10 FT, SIDEWALK AREA 2 FT X 2 FT, AND PROPERTY LINE 5 FT X 5 FT.

REVISION RECORD

NO	DATE	DESCRIPTION

**Civil & Environmental Consultants, Inc.**  
250 Old Wilson Bridge Road · Suite 250 · Worthington, OH 43085  
614-540-6633 · 888-598-6808  
www.ceeinc.com

**WALNUT CREEK MOB III  
LOT 4 MOB  
CITY OF GAHANNA  
FRANKLIN COUNTY, OHIO**

**LIGHTING & PHOTOMETRIC PLAN**

DATE:	APRIL 2025	DRAWN BY:	TH
DWG SCALE:	1"=20'	CHECKED BY:	BAB
PROJECT NO:	345-022		
APPROVED BY:	BAB		

DRAWING NO: **EX01**

SHEET 1 OF 1



## PLANNING COMMISSION STAFF REPORT

### Project Summary – Crescent MOB

---

**Meeting Date:** June 11, 2025

**Location:** Just north of Tech Center Dr and east of Hamilton Rd

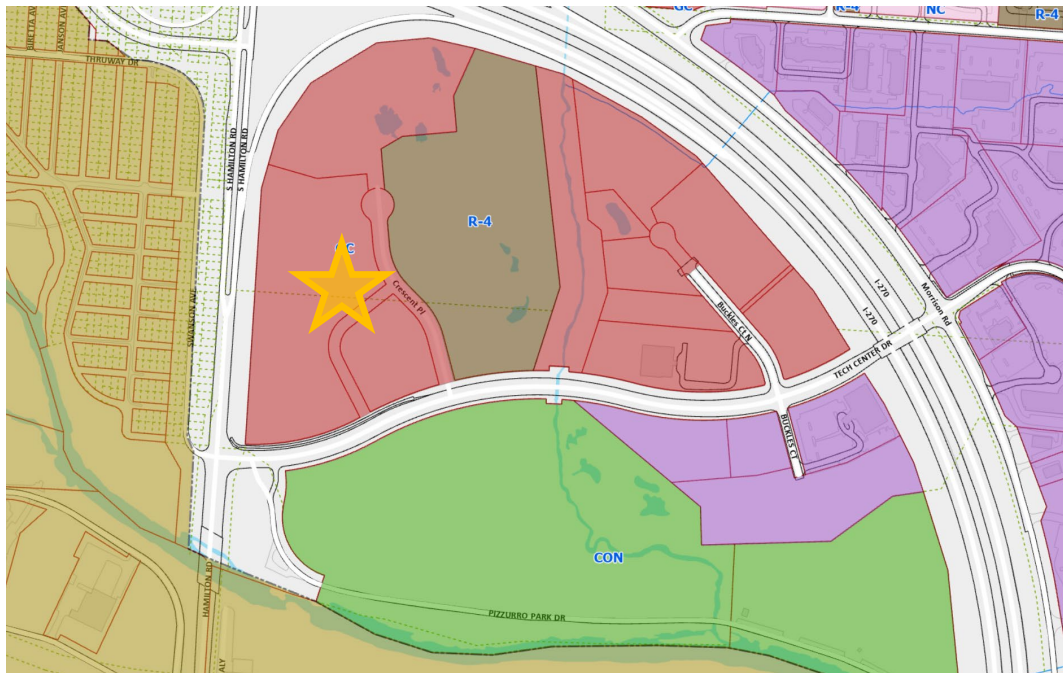
**Zoning:** General Commercial (GC)

**Application Type(s):** Development Plan (DP), Variance (V)

**Staff Representative:** Maddie Capka, Planner II

**Recommendation:** Staff recommends approval of both applications.

**Location Map:**



## Staff Review

---

### **Project Summary**

An approximately 12,000 square foot, 1 story medical office building is proposed on a 1.41-acre parcel. The property is zoned General Commercial (GC). GC permits medical uses by right. Others typical uses within the GC zoning include office, retail/commercial, and restaurants. Existing uses in the immediate vicinity includes medical office, multi-unit residential, and gas station. Proposed uses include the Crescent Retail project.

Parking has been provided that exceeds code minimums for number of spaces. 35 spaces are required, 49 spaces have been provided. A variance is necessary to permit in the requested locations as the zoning code does not permit parking in front of the main building. Parking is required to be to the rear or side of the building.

12 trees are being planted in the parking areas to meet code for landscaping. An additional 46 caliper inches are being planted to meet code requirements. Additional plantings are proposed to screen parking from right-of-way and to beautify the site. Proposed landscaping meets or exceeds minimum code requirements.

### **Land Use Plan**

The Land Use Plan (LUP) designates the property as Mixed Use (MU). Adjacent properties are also MU with Professional Office (PO) to the east and Parkland (PL) to the south. MU promotes commercial, office and residential uses. MU also promotes well landscaped buildings and parking areas.

The property is also located within the South Gateway Focus Area. One unique aspect of this focus area is that residential is only permitted on a limited basis. Other uses, such as medical office and retail, were deemed more desirable, hence the limitation on residential.

Unlike zoning code, the LUP makes recommendations. Strict adherence is not required but is meant as a guide.

## Review Criteria

---

### **Major Development Plan (MDP)**

Planning Commission shall approve an application for a Major Development Plan if the following four conditions are met:

- 1) The proposed development meets the applicable development standards of this Zoning Ordinance.
- 2) The proposed development is in accord with appropriate plans for the area.
- 3) The proposed development would not have undesirable effects on the surrounding area.
- 4) The proposed development would be in keeping with the existing land use character and physical development potential of the area.

### **Variance (V)**

The following variances have been requested:

1. 1107.01(g) – City Wide Design Standards
  - a. The ground floor of a commercial building shall be no less than 25% transparent glass.
  - b. The applicant requests a variance as they have two frontages (south and east facades).
  - c. Renderings have been provided that shows the proposed building with the recently approved Sheetz gas station and the proposed commercial buildings. It is staff's opinion that the buildings are of a similar design and appearance that granting this variance would not adversely impact the built environment.
2. 1109.01(a)(1) – Parking, Access and Circulation
  - a. Parking areas are required to be located to the side or rear of the principal building.
  - b. The applicant requests relief from this requirement as they state it is difficult to meet since the property has two frontages.
  - c. Renderings have been provided that shows the proposed building with the recently approved Sheetz gas station and the proposed commercial buildings. It is staff's opinion that the buildings are of a similar design and appearance that granting this variance would not adversely impact the built environment.
3. 1109.02(e) – Setbacks and Structure Placement
  - a. Dumpsters shall be set back the minimum distance as parking areas
  - b. The applicant requests relief from this requirement due to having two frontages. They have placed the dumpster in an area where they believe it will function well with minimum visibility from surrounding properties.

Before granting a variance, Planning Commission shall find that:

- a) The variance is not likely to result in substantial change to the essential character of the neighborhood;
- b) The variance is not likely to result in damage to adjoining properties;
- c) The variance is not likely to affect the delivery of governmental services (e.g., water, sewer, garbage);
- d) The variance is not likely to result in environmental impacts greater than what is typical for other lots in the neighborhood;
- e) The variance is necessary for the economical use of the property, and such economical use of the property is not easily achieved through some method other than a variance; and,
- f) The variance is not likely to undermine the objectives of the land use plan.
- g) Whether the variance is substantial and is the minimum necessary to make possible the reasonable use of land or structures.
- h) The practical difficulty could be eliminated by some other method, even if the solution is less convenient or more costly to achieve.

## Recommendation

Staff recommends approval of the Major Development Plan application as submitted. The criteria for this application is met, the use is consistent with code and uses within the Tech Center Dr/Crescent of Central

Park area. Building design closely matches that of the proposed commercial site and the recently approved Sheetz gas station. Please see below for renderings depicting the three projects.

Staff recommends approval of the variance requests. Same or similar variances have been granted for developments in the area. Staff is of the opinion that the variances are not substantial and do not negatively impact the built environment.

### **Rendering**



1 = Crescent MOB

2 = The Crescent Retail

3 = Sheetz gas station