



DEPARTMENT OF PLANNING

ZONING DIVISION
200 S. Hamilton Road
Gahanna, Ohio 43230
614-342-4025
zoning@gahanna.gov
www.gahanna.gov

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION

PROPERTY INFORMATION
Project/Property Address: 611-659 Eastgate Parkway
Project Name/Business Name: Eastgate Commercial Park - Phase 2
Parcel #: 027-000146-00
Zoning: (see Map) OCT
Acreage: 2.33 Phase 2 (7.49 Original)

PLAN SPECIFICATIONS
Application Type: (check all that apply)
[checked] Site Plan [] Landscaping [] Building Design [] Demolition [] Other
Project Description:
Modification to the original approved site plan layout only. Replacing the the 2 (8,520sf) proposed buildings along the west side with a single (16,800) building in the same location.

APPLICANT INFORMATION
Applicant Name: Robert Leveck
Applicant Address: 625 Eastgate Pkwy, Gahanna, Ohio 43230
Applicant E-mail: rleveck@leveckconstruction.com
Applicant Phone: 614-582-4765
Business Name: (if applicable):

ADDITIONAL CONTACTS
Please list all applicable contacts for correspondence
Name(s) Contact Information (phone/email)
Ryan Badger - ADR & Associates, Ltd. 740-345-1921
rbadger@adrinnovation.com
Property Owner Name: (if different from Applicant) Property Owner Contact Information (phone no./email):

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature: [Signature] Date: 12/13/21

ADDITIONAL INFORMATION ON NEXT PAGE....

INTERNAL USE

Zoning File No. DR-0666-2021

RECEIVED: KAW
DATE: 12-22-21

PAID: 100.00
DATE: 12-22-21

Updated Aug 2021



DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION-SUBMISSION REQUIREMENTS

TO BE COMPLETED/SUBMITTED BY APPLICANT:	
1.	Review Gahanna Code Section 1197 (visit www.municode.com)
2.	Materials List (see page 3) – does not apply to demolition applicants
3.	Authorization Consent Form Complete & Notarized (see page 4)
4.	Application & all supporting documents submitted in digital format
5.	Application & all supporting documents submitted in hardcopy format
6.	Application fee paid (in accordance with the Building & Zoning Fee Schedule)
7.	Color rendering(s) of the project in plan/perspective/or elevation
8.	One copy 24"x36" or 11"x17" prints of the plans
Building Construction, Exterior Remodeling, and Additions (Including Parking Lots and Landscaping)	
1.	<u>SITE PLAN</u> that includes the following: (include: scale, north arrow, & address) if applicable
-	All property & street pavement lines
-	Property size
-	Proposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent streets
-	Location of all existing and proposed buildings on the site
-	Location of all existing & proposed exterior lighting standards
-	Breakdown of parking spaces required & spaces provided (see Gahanna Code Section 1163)
-	Provide lot coverage breakdown of building & paved surface areas
2.	<u>LANDSCAPE PLAN</u> (including plant list)
-	Existing landscaping that will be retained & proposed landscaping shall be differentiated & shown on the plan. The type, size, number, & spacing of all plantings & other landscape features must be illustrated
-	Designation of required buffer screens (if any)
-	Interior landscaping breakdown for paved surface (see Gahanna Code Section 1163)
3.	<u>ELEVATIONS</u> from all sides
-	Fenestration, doorways, & all other projecting & receding elements of the building exterior
4.	<u>LIGHTING STANDARD DRAWING</u> that includes the following: (exterior only)
-	All sizing specifications
-	Information on lighting intensity (no. of watts, iso foot candle diagram)
-	Materials, colors, & manufacturer's cut sheet
5.	OPTIONAL REQUIREMENTS AT THE DISCRETION OF PLANNING COMMISSION:
-	Scale model
-	Section profiles
-	Perspective drawing
Demolition or Removal of Existing Structures Requirements	
1.	ONE OR MORE OF THE FOLLOWING CONDITIONS MUST EXIST:
-	That the building contains no features of special architecture or is not a historical building or culturally significant or is not consistent in design & style with other structures within the district
-	That there exists no viable economic use for the building in its current state or as it might be restored or that there is not a feasible and prudent alternative to demolition and that the approval of the demolition is necessary for the preservation and enjoyment of substantial property rights
-	That the applicant has a definite plan for redevelopment of the site which meets the standards of this Code and the proposed redevelopment will not materially affect adversely the health or safety of persons residing or working in the district where the demolition will occur and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood



MATERIAL LIST

NOT REQUIRED FOR DEMOLITION APPLICANTS

Item	Manufacturer Name	Color Name	Color Number
Awnings			
Brick			
Gutters and Downspouts			
Lighting			
Roofing			
Siding			
Stucco			
Trim			
Windows			
Other (please specify)			
Other (please specify)			

Please Note:

The Public Hearing will not occur until the City Of Gahanna Staff reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.

AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

PROPERTY OWNER

IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

Eastgate Commercial Park, LLC
(property owner name printed)

[Signature] 12/17/21
(property owner signature) (date)

Subscribed and sworn to before me on this 17th day of December, 20 21.
State of Ohio County of Franklin
Notary Public Signature: Fredena L. Williams



Applicant/Property Owner/Representative

AGREEMENT TO COMPLY AS APPROVED As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

AUTHORIZATION TO VISIT THE PROPERTY I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described.

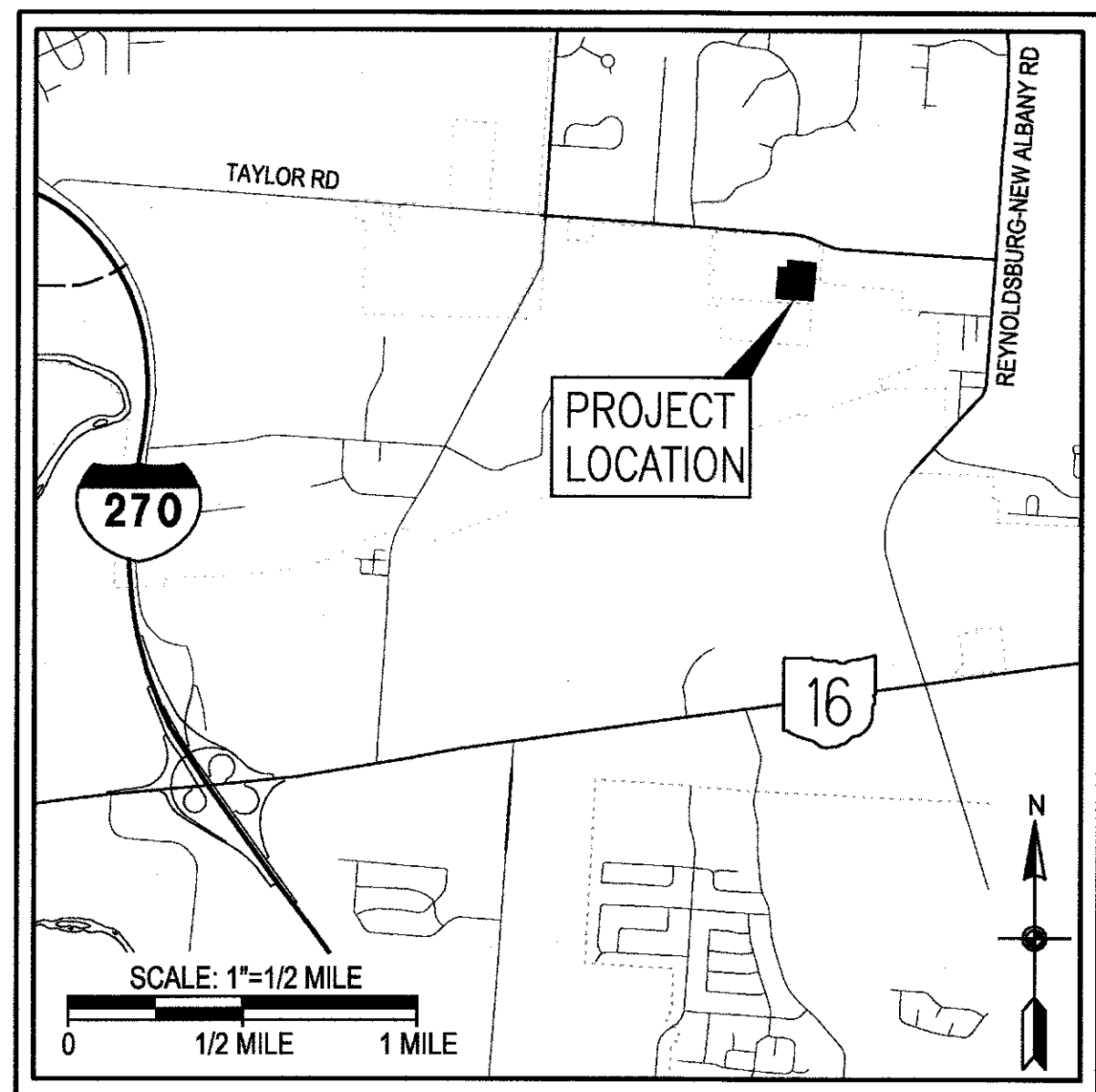
APPLICATION SUBMISSION CERTIFICATION I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

Eastgate Commercial Park, LLC
(applicant/representative/property owner name printed)

[Signature] 12/17/21
(applicant/representative/property owner signature) (date)

Subscribed and sworn to before me on this 17th day of December, 20 21.
State of Ohio County of Franklin
Notary Public Signature: Fredena L. Williams





2022 EASTGATE COMMERCIAL PARK, PHASE II SITE IMPROVEMENT PLANS 643 THROUGH 657 EASTGATE PARKWAY THE CITY OF GAHANNA

PV-443

PLANNING COMMISSION APPROVAL DATE: 00/00/0000
 PLANNING COMMISSION APPROVAL NUMBER: DR-XXXX-XXXX
 PLANNING COMMISSION APPROVED VARIANCE: V-0013-2019
 SECTION 1155.04 (c)(1)(A) - PARKING SETBACK
 SECTION 1163.06 (A) - LIGHTING

OEPA NOI APPROVAL NUMBER: 4GC07012*AG DATE: 10/25/2019

INDEX OF SHEETS

TITLE SHEET	1
GENERAL NOTES	2-3
SCHEMATIC PLAN	4
SITE PLAN	5
GRADING PLAN	6
STORMWATER MANAGEMENT DETAILS	7
STORM WATER POLLUTION PREVENTION PLAN	8-10

OWNER / DEVELOPER

EASTGATE COMMERCIAL PARK, LLC
 Attn.: ROBERT LEVECK
 1500 WEST THIRD AVENUE, SUITE 120
 COLUMBUS, OHIO 43212
 (614) 582-4765
 rleveck@leveckconstruction.com

TAYLOR INDUSTRIAL PARK, LLC
 625 EASTGATE PKWY
 PAR. NO.: 027-000008-00

UNDERGROUND UTILITIES



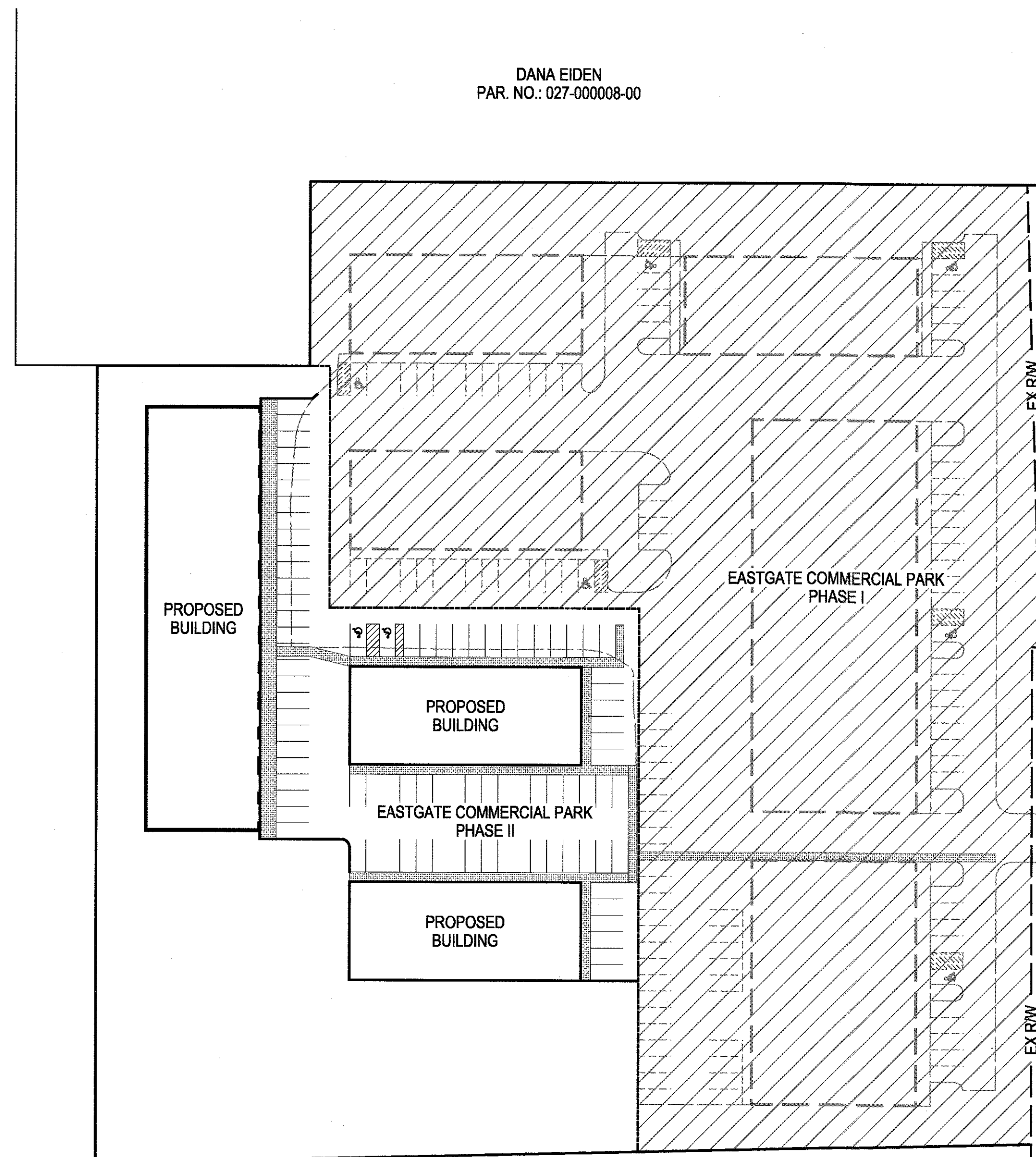
Newark Office:
 88 West Church Street
 Newark, OH 43055
 (740) 345-1921 (ph)
 (740) 345-4994 (fax)
 www.adrinnovation.com

Brian C. Klingenberg
 BRIAN C. KLINGENBERG, P.E.
 OHIO PROFESSIONAL ENGINEER #82904

5-23-2022

DATE

DANA EIDEN
 PAR. NO.: 027-000008-00



GAHANNA WAREHOUSE I LLC
 PAR. NO.: 027-000150-00

JEFFERSON WATER & SEWER DISTRICT
 6445 TAYLOR RD.
 PAR. NO.: 170-001917-00

CITY OF COLUMBUS STANDARD CONSTRUCTION DRAWINGS	
AA-S133B	8/8/14
AA-S141	12/6/13
AA-S149	10/15/14
AA-S169	12/6/13

ANOMATIC CORPORATION
 6815 TAYLOR RD.
 PAR. NO.: 170-000418-00

SCANNELL PROPERTIES #647 LLC
 1800 DEFFENBAUGH CT.
 PAR. NO.: 025-072945-00

PROJECT DATA

TOTAL AREA:	7.49 ACRES
PROJECT EARTH DISTURB AREA:	2.33 ACRES
ESTIMATED CONTRACTOR (OUTSIDE PROJECT) EARTH DISTURBED AREA:	0.00 ACRES
NOTICE OF INTENT EARTH DISTURBED AREA:	2.33 ACRES
IMPERVIOUS AREA FOR PRE-CONSTRUCTION SITE:	3.61 ACRES
IMPERVIOUS AREA FOR POST-CONSTRUCTION SITE:	5.02 ACRES
RECEIVING WATERS:	UN-NAMED TRIBUTARY TO BLACKLICK CREEK

100 YEAR DETENTION TABLE

DESCRIPTION	VOLUME REQUIRED (C.F.)	ELEVATION REQUIRED	VOLUME PROVIDED (C.F.)	ELEV. FOR PROVIDED VOLUME
DRY BASIN	100,114	915.63	152,467	917.50

THE CITY OF GAHANNA SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND GENERAL LOCATION OF THE PROPOSED IMPROVEMENT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHO PREPARED AND CERTIFIED THESE PLANS.

 CITY OF GAHANNA
 DIRECTOR, PUBLIC SERVICE AND ENGINEERING

DATE

 CITY OF GAHANNA
 WATER RESOURCE ENGINEER

DATE

 CITY OF GAHANNA
 CITY ENGINEER

DATE

PV-443

EASTGATE COMMERCIAL PARK, PHASE II
SITE IMPROVEMENT PLANS
THE CITY OF GAHANNA, OHIO

TITLE SHEET

MAY 20, 2022
JOB #21-079

1
10

PRINTED 5/20/2022 7:19:08 AM P:\ADR\2021\21-079 Eastgate Expansion - Gahanna\dm\Site Improvement Plan\01_Title.dgn

GENERAL NOTES

GENERAL NOTES:

THE CURRENT CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMS) TOGETHER WITH THE REQUIREMENTS OF THE CITY OF GAHANNA, OHIO, SHALL GOVERN MATERIALS AND WORKMANSHIP INVOLVED IN IMPROVEMENTS SHOWN ON THESE PLANS, EXCEPT THOSE SPECIFICATIONS MODIFIED BY THE FOLLOWING SPECIFICATIONS OR CONSTRUCTION DETAILS SET FORTH HEREIN.

ALL WORK IS TO BE ACCEPTABLE TO CITY OF GAHANNA OFFICIALS. NO WORK IS TO COMMENCE UNTIL ARRANGEMENTS HAVE BEEN MADE WITH THE CITY OF GAHANNA ENGINEER FOR INSPECTION.

PROJECT OWNER IS RESPONSIBLE FOR SEPARATELY COORDINATING WITH JEFFERSON TOWNSHIP, DIVISION OF FIRE FOR REVIEW AND APPROVAL.

THE CONTRACTOR SHALL NOTIFY THE CITY OF GAHANNA ENGINEER AT LEAST TWO WORKING DAYS PRIOR TO CONSTRUCTION.

ALL PERTINENT STANDARD CONSTRUCTION DRAWINGS ARE AVAILABLE UPON REQUEST AT THE OFFICE OF THE CITY OF GAHANNA ENGINEERS.

THE DEVELOPER IS TO SCHEDULE A PRE-CONSTRUCTION MEETING ONE BUSINESS WEEK PRIOR TO CONSTRUCTION. THE MEETING SHALL TAKE PLACE AT LEAST ONE BUSINESS WEEK PRIOR TO THE FOLLOWING: SITE CLEARING, MATERIAL DELIVERED ON-SITE, EQUIPMENT ON-SITE AND FIELD OFFICE ON-SITE.

THE DEVELOPER SHALL, PRIOR TO ANY CONSTRUCTION OPERATION, DEPOSIT WITH THE CITY THE TOTAL ESTIMATED COSTS FOR INSPECTION, ADMINISTRATIVE, WATER AND SANITATION FEES.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146.

THE PRICE(S) QUOTED SHALL INCLUDE ALL ITEMS OF LABOR, MATERIALS, TOOLS, EQUIPMENT, INSURANCE AND OTHER COSTS NECESSARY TO FULLY COMPLETE THE WORK PURSUANT TO THE CONTRACT DOCUMENTS. IT IS THE INTENTION OF THE CONTRACT DOCUMENTS TO PROVIDE AND REQUIRE A COMPLETED WORK PROJECT READY FOR OPERATION. ANY WORK ITEMS OMITTED FROM SUCH CONTRACT DOCUMENTS WHICH ARE CLEARLY NECESSARY FOR THE COMPLETION OF SUCH WORK AND ITS APPURTENANCES SHALL BE CONSIDERED A PART OF SUCH WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR CALLED FOR IN THE CONTRACT DOCUMENTS.

ALL FIELD TILE BROKEN DURING EXCAVATION SHALL BE REPLACED WITH PERFORATED PIPE OR CONNECTED TO THE STORM SEWER SYSTEM.

NO NATURAL DRAINAGE COURSES SHALL BE ALTERED AND NO FILL, MATERIALS OR STRUCTURES SHALL BE PLACED IN IT UNLESS PROVISIONS ARE MADE FOR THE FLOW OF WATER IN A MANNER SATISFACTORY TO THE CITY ENGINEER. AN EASEMENT SHALL BE PROVIDED ON BOTH SIDES OF ANY EXISTING IMPORTANT SURFACE DRAINAGE COURSE ADEQUATE FOR THE PURPOSE OF PROTECTING, WIDENING, DEEPENING, ENCLOSING OR OTHERWISE IMPROVING SUCH STREAM FOR DRAINAGE PURPOSES.

THE CONTRACTOR SHALL REPAIR OR REPLACE ANY OR ALL EXISTING SIGNS, SHRUBS, FENCES, OR OTHER PHYSICAL FEATURES DAMAGED DURING THE EXECUTION OF THIS CONTRACT AT THEIR OWN EXPENSE. ALL REPAIRS SHALL BE TO THE SATISFACTION OF THE OWNER AND THE CITY OF GAHANNA.

THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND GOVERNMENT FEES, LICENSES, AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF IMPROVEMENTS SHOWN ON THESE PLANS.

THE CONTRACTOR SHALL CLEAN ADJACENT STREETS ON A DAILY BASIS IF MUD IS TRACKED FROM VEHICLES VISITING THE SITE.

DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE ENTIRE SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF ALL TRENCHES WITHIN THE RIGHT-OF-WAY, PUBLIC EASEMENTS AND WITHIN THE WORK LIMITS FOR A PERIOD OF (1) YEAR FROM THE FINAL ACCEPTANCE OF THE WORK, AND SHALL MAKE ANY NECESSARY REPAIRS AT NO COST TO THE OWNER OR CITY OF GAHANNA.

THE CONTRACTOR SHALL CONFINE ACTIVITIES TO THE PROJECT SITE, EXISTING RIGHT-OF-WAYS, TEMPORARY EASEMENTS AND PERMANENT EASEMENTS, AND SHALL NOT ENTER UPON OTHER PROPERTIES WITHOUT WRITTEN PERMISSION OF THE OWNER.

SHOULD WATER BE ENCOUNTERED, THE CONTRACTOR SHALL FURNISH AND OPERATE SUITABLE PUMPING EQUIPMENT OF SUCH CAPACITY ADEQUATE TO DEWATER THE TRENCH. THE TRENCH SHALL BE SUFFICIENTLY DEWATERED SO THAT THE PLACEMENT OF BEDDING AND LAYING AND JOINING OF THE PIPE IS MADE IN A TRENCH FREE OF STANDING WATER. THE CONTRACTOR SHALL CONVEY ALL TRENCH WATER TO A NATURAL DRAINAGE CHANNEL OR STORM SEWER WITHOUT CAUSING ANY PROPERTY DAMAGE.

FINAL GRADE ADJACENT TO BUILDING SHALL SLOPE AWAY FROM BUILDING.

THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO ENSURE CONSTRUCTION TO PLAN GRADE. THE CONTRACTOR SHALL ENSURE THERE IS A SURVEYOR'S LEVEL AND ROD ON THE PROJECT FOR USE IN PERFORMING GRADE CHECKS WHENEVER SEWER LINE STRUCTURES OR PIPES ARE BEING INSTALLED. THE CONTRACTOR SHALL MAKE THIS EQUIPMENT AVAILABLE FOR USE AND ASSIST THE CITY INSPECTOR IN PERFORMING GRADE CHECKS WHEN REQUESTED BY THE INSPECTOR. THE INSPECTOR WILL MAKE ALL REASONABLE ATTEMPTS TO CONFINE REQUESTS FOR ASSISTANCE IN PERFORMING GRADE CHECKS TO TIMES CONVENIENT TO THE CONTRACTOR. THESE CHECKS WILL BE PERFORMED TO ENSURE THAT CONSTRUCTION MATCHES PLAN GRADE, AND TO ENSURE THAT ALL EXISTING INVERTS ALONG WITH THE PROPOSED TOP OF CASTING ELEVATIONS ARE VERIFIED PRIOR TO CONSTRUCTION OF THE SEWER.

THE CONTRACTOR SHALL REFERENCE ALL IRON PINS OR MONUMENTS. IF ANY PINS OR MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE ACCURATELY REPLACED BY A REGISTERED SURVEYOR IN THE STATE OF OHIO AT THE COMPLETION OF THE PROJECT.

THE COST OF RELOCATING AND/OR SECURING ANY POWER POLES AS NECESSARY TO COMPLETE THE WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS OF THE CONTRACT.

VERTICAL CONTROL HAS BEEN ESTABLISHED FOR THE PROJECT AS SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SURVEYS TO COMPLETE THE PROJECT INCLUDING REESTABLISHMENT OF CONTROL POINTS, PROJECT LAYOUT AND STAKING OF EASEMENTS.

DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL ADJACENT ROADS AND LANDS.

ANY MODIFICATION TO THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY OF GAHANNA.

ANY REQUIRED RELOCATION, SUPPORT, PROTECTION, RESTORATION, OR ANY OTHER ACTIVITY CONCERNED WITH THE CITY'S ELECTRICAL OR STREET LIGHTING SYSTEMS IN THE CONSTRUCTION AREA IS TO BE PERFORMED SOLELY BY THE CITY AT THE EXPENSE OF THE PROJECT. THE CITY SHALL BE NOTIFIED PRIOR TO CONSTRUCTION TO ALLOW FOR ENGINEERING AND RELOCATION OF FACILITIES.

IF ANY ELECTRIC FACILITY BELONGING TO THE CITY IS DAMAGED IN ANY MANNER BY THE CONTRACTOR, ITS AGENTS, SERVANTS, OR EMPLOYEES, THE CITY SHALL MAKE ALL NECESSARY REPAIRS, AND THE EXPENSE OF SUCH REPAIRS AND OTHER RELATED COSTS SHALL BE PAID BY THE CONTRACTOR TO THE CITY.

ALL CURB RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, INCLUDING ALL SUPPLEMENTS IN ACCORDANCE WITH THE CITY OF COLUMBUS STANDARD DRAWING 2319, INCLUDING ALL SUPPLEMENTS AND/OR REPLACEMENTS, CURRENT ON THE DATE OF THE START OF PROJECT CONSTRUCTION. SIDEWALKS SHALL BE CONSTRUCTED WITH A 3/16" PER FOOT (1.56%) CROSS SLOPE.

NO NON-RUBBER Tired VEHICLES SHALL BE MOVED ON CITY STREETS, EXISTING PRIVATE ROADWAYS, OR PARKING LOTS UNLESS WRITTEN APPROVAL IS GRANTED BY THE APPROPRIATE CITY AUTHORITY OR PROPERTY OWNER. ANY DAMAGE MUST BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY OF GAHANNA AT NO COST TO THE CITY OR PROPERTY OWNER/DEVELOPER.

THE CONTRACTOR SHALL MAKE HIS OWN PROVISIONS TO PROVIDE A SITE STAGING AREA AND JOB TRAILER (IF REQUIRED) FOR THE PROJECT IMPROVEMENTS.

NO NATURAL DRAINAGE COURSES SHALL BE ALTERED AND NO FILL, BUILDINGS OR STRUCTURES SHALL BE PLACED IN IT UNLESS PROVISIONS ARE MADE FOR THE FLOW OF WATER IN A MANNER SATISFACTORY TO THE CITY ENGINEER. AN EASEMENT SHALL BE PROVIDED ON BOTH SIDES OF ANY EXISTING IMPORTANT SURFACE DRAINAGE COURSE ADEQUATE FOR THE PURPOSE OF PROTECTING, WIDENING, DEEPENING, ENCLOSING OR OTHERWISE IMPROVING SUCH STREAM FOR DRAINAGE PURPOSES.

ORANGE CONSTRUCTION FENCING SHALL BE PLACED AROUND THE EXISTING TREES TO BE SAVED AND REMAIN IN PLACE DURING THE DEVELOPMENT CONSTRUCTION. THE LOCATION OF THE FENCING AND ANY CLEARING NECESSARY WILL BE DETERMINED BY THE APPROVED PLANS.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION ON THE PROJECT SITE WHERE AND AS DIRECTED BY THE OWNER/DEVELOPER.

INCONVENIENCE TO THE ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC SHALL BE KEPT TO AN ABSOLUTE MINIMUM. ALL WORK IS TO CONTINUE ON A UNIFORM BASIS AND ON SCHEDULE, PARTICULARLY THE RESTORATION AND CLEAN UP OF DISTURBED AREAS AFTER CONSTRUCTION. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT SOIL TRANSPORT DURING CONSTRUCTION ONTO PUBLIC ROADS. THE CONTRACTOR SHALL CLEAN AND SWEEP STREETS AS DIRECTED BY THE CITY. COST TO BE INCLUDED IN THE PRICE BID UNDER VARIOUS ITEMS.

AN ENGINEERING REVIEW FEE WILL BE COLLECTED PRIOR TO CONSTRUCTION. THIS FEE WILL INCLUDE AN AS-BUILT SURVEY FEE AND AS-BUILT DEPOSIT. THE AS-BUILT SURVEY FEE IS THE ACTUAL COST OF SURVEY FOR THE CREATION OF AN AS-BUILT PLAN. THE CITY WILL SELECT THE SURVEYOR AND REQUEST A PROPOSAL FOR THIS SURVEY.

AT PROJECT COMPLETION, THE CITY'S SELECTED SURVEYOR WILL PROVIDE THE CITY AND THE DEVELOPER WITH THE FINAL AS-BUILT SURVEY DATA. THE DEVELOPER MAY SELECT AN ENGINEERING FIRM TO PRODUCE THE FINAL AS-BUILT PLANS. IF THE DEVELOPER DOES NOT ELECT TO PRODUCE THE FINAL AS-BUILT PLAN, THE CITY WILL USE THE AS-BUILT DEPOSIT TO CONTRACT WITH AN ENGINEERING FIRM TO PRODUCE THE FINAL AS-BUILT PLAN.

AT PROJECT COMPLETION, THE DEVELOPER WILL REQUEST A FINAL ENGINEERING INSPECTION. THE CITY OF GAHANNA WILL PRODUCE A PUNCHLIST OF ALL ITEMS THAT WILL NEED TO BE CORRECTED. THESE ITEMS WILL NEED TO BE SATISFACTORILY ADDRESSED BEFORE THE BUILDING DIVISION WILL RELEASE THE FINAL OCCUPANCY PERMIT.

AN AS-BUILT PLAN WILL BE REQUIRED BEFORE ISSUANCE OF A FINAL OCCUPANCY PERMIT. THE AS-BUILT PLAN WILL INCLUDE THE FINAL ELEVATIONS, LOCATIONS, INVERTS AND OTHER DATA AS REQUIRED BY THE CITY OF GAHANNA. THIS INFORMATION WILL BE INCLUDED ON THE PLAN SET IN RED TO DENOTE IT IS FINAL AS-BUILT DATA.

UTILITIES:

THE CONTRACTOR SHALL GIVE NOTICE TO THE OHIO UTILITIES PROTECTION SERVICE (PHONE 1-800-362-2764) AND TO THE OWNERS OF THE UTILITY FACILITIES SHOWN ON THE PLAN WHO ARE NOT MEMBERS OF A REGISTERED UTILITY PROTECTION SERVICE. THE ABOVE-MENTIONED NOTICE SHALL BE GIVEN AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITY AS REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY.

THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECTS ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL GIVE NOTICE TO OUPS AND OTHER UTILITY OWNERS PER THE GENERAL NOTES.

THE IDENTITY AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS AS ACCURATELY AS PROVIDED BY THE SURVEYOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR DEPTHS OF UNDERGROUND FACILITIES SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. IF DAMAGE IS CAUSED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF THE SAME AND FOR ANY RESULTING CONTINGENT DAMAGE.

WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER THE EXISTING UTILITY IN ADVANCE OF LAYING PIPE IN ORDER THAT THE ENGINEER MAY DETERMINE THE EXACT ELEVATION AND MAKE ANY NECESSARY ADJUSTMENTS.

THE FOLLOWING UTILITIES AND OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT AND ARE REGISTERED MEMBERS OF THE UNDERGROUND UTILITY PROTECTION SERVICE:

UTILITY	UTILITY	TELEPHONE / FAX
WATER FACILITIES	CITY OF GAHANNA WATER DIVISION 200 S. HAMILTON RD GAHANNA, OH 43230	Ph: (614) 342-4440 Fax: (614) 342-4100
SEWER FACILITIES	CITY OF GAHANNA SEWER DIVISION 200 S. HAMILTON RD GAHANNA, OH 43230	Ph: (614) 342-4440 Fax: (614) 342-4100
ELECTRIC FACILITIES	AMERICAN ELECTRIC POWER 850 TECH CENTER DR GAHANNA, OH 43230	Ph: (614) 883-6811 Fax: (614) 883-6868
GAS	COLUMBIA GAS OF OHIO (DISTRIBUTION) ATTN: ROB CALDWELL 3350 JOHNNY APPLESEED COURT COLUMBUS, OH 43231	Ph: (614) 818-2104 Cell: (614) 370-1906 Fax: (614) 460-4265 rcaldwell@nlsresource.com
TELEPHONE	AT&T 150 E. GAY ST. COLUMBUS, OH 43212	Ph: (800) 660-1000 Fax: (614) 223-6296

CONTRACTOR TO COORDINATE WITH GAS, ELECTRIC, CABLE AND TELECOMMUNICATION COMPANIES TO COORDINATE FINAL CONSTRUCTION DETAILS FOR ON-SITE GAS, ELECTRIC, CABLE AND TELEPHONE SERVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE ARCHITECT AND THE MECHANICAL ENGINEER FOR THE FINAL LOCATION OF UTILITY SERVICES INTO THE BUILDING.

PLACEMENT OF UTILITY CONDUIT OR SLEEVES FOR GAS, SITE ELECTRIC AND TELECOMMUNICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE PLAN DETAILS SHOWN HEREIN AND IN CONFORMANCE TO THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANIES.

WATER NOTES:

NO WATER SERVICE CONSTRUCTION SHALL BEGIN PRIOR TO FEE PAYMENT AND PERMITS BEING ISSUED BY THE CITY OF GAHANNA.

METER SETTING AND BACKFLOW PREVENTER AS PER THE DIRECTION OF THE CITY OF GAHANNA. METER AND BACKFLOW PREVENTER TO BE SET INSIDE OF BUILDING UNLESS OTHERWISE APPROVED.

ALL WATER LINE MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CURRENT RULES AND REGULATIONS OF THE CITY OF COLUMBUS, DIVISION OF WATER AND THE DIRECTION OF THE CITY OF GAHANNA STAFF.

THE SITE UTILITY CONTRACTOR SHALL CALL THE CITY OF GAHANNA UTILITIES DEPARTMENT FOR INSPECTION OF TAPS, NEW WATER SERVICES, AND FIRE HYDRANTS. CALL (614) 342-4440 24 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION.

WATER MAINS AND FIRE HYDRANT LEADS SHALL BE DUCTILE IRON PIPE, CLASS 53 (AWWA C151) WITH CEMENT MORTAR LINING AND SEAL COAT (AWWA C104) OR PVC, CLASS 150 MEETING AWWA C900. JOINTS SHALL BE RUBBER GASKET PUSH-ON MECHANICAL (AWWA C110).

FIRE HYDRANTS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE AS SHOWN ON THE CITY OF COLUMBUS L-6409 AND L-6637 STANDARD CONSTRUCTION DRAWINGS. FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250 FIRE HYDRANT, AMERICAN DARLING 4-1/2 MK73 - 5, OR APPROVED EQUAL AND PAINTED SOLID RED.

ALL WATER SERVICES SHALL BE INSTALLED IN ACCORDANCE AS SHOWN ON THE CITY OF COLUMBUS L-9901 STANDARD CONSTRUCTION DRAWING. 2 BOLT FULL STAINLESS STEEL SERVICE SADDLES SHALL BE PROVIDED FOR ALL WATER SERVICE TAPS.

ALL GATE VALVES SHALL BE RESILIENT SEAT TYPE MANUFACTURED TO MEET OR EXCEED TO REQUIREMENTS OF ANSIAWWA C509 OR THE LATEST REVISION.

ALL GATE VALVES SHALL BE RESILIENT SEAT TYPE MANUFACTURED TO MEET OR EXCEED TO REQUIREMENTS OF ANSIAWWA C509 OR THE LATEST REVISION.

WATERLINES SHALL BE LAID WITH A MINIMUM OF 4'-0" OF COVER FROM THE FINISHED GRADE TO THE TOP OF THE WATER LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HORIZONTAL AND VERTICAL DEFLECTIONS OR BENDS OF THE WATER LINES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. DEFLECT WATER LINES TO PROVIDE A 1'-6" VERTICAL AND 10'-0" HORIZONTAL CLEARANCE WITH SEWERS.

ALL WATER LINES, INCLUDING MAINS AND SERVICES, SHALL BE TESTED UNDER A MINIMUM HYDROSTATIC TEST OF 150 PSI AND IN ACCORDANCE WITH AWWA C600 AND CITY OF COLUMBUS CMS ITEMS 801.13 AND 801.14. NO PRESSURE TEST SHALL BE PERFORMED IF THE TEMPERATURE IS BELOW FREEZING.

THE CONTRACTOR SHALL SUBMIT TWO (2) COPIES OF THE PLANS, RESULTS OF THE PRESSURE TEST AND A LETTER REQUESTING CHLORINATION TO THE CITY OF GAHANNA. COST OF CHLORINATION SHALL BE INCLUDED IN THE PRICE BID FOR THE WATER LINE ITEMS.

NEW, CLEANED AND REPAIRED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651. THE SPECIFICATIONS SHALL INCLUDE DETAILED PROCEDURES FOR THE ADEQUATE FLUSHING, DISINFECTION, AND MICROBIOLOGICAL TESTING OF ALL WATER MAINS. IN AN EMERGENCY OR UNUSUAL SITUATION, THE DISINFECTION PROCEDURE SHALL BE DISCUSSED WITH THE CITY ENGINEER OR HIS DESIGNEE.

ALL WATER MAINS, INCLUDING THOSE NOT DESIGNED TO PROVIDE FIRE PROTECTION, SHALL BE SIZED AFTER A HYDRAULIC ANALYSIS BASED ON FLOW DEMANDS AND PRESSURE REQUIREMENTS. THE SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI AT GROUND LEVEL AT ALL POINTS IN THE DISTRIBUTION SYSTEM UNDER ALL CONDITIONS OF FLOW. THE NORMAL WORKING PRESSURE IN THE DISTRIBUTION SYSTEM SHALL BE AT LEAST 35 PSI AND SHOULD BE APPROXIMATELY 60 TO 80 PSI AND NOT LESS THAN 35 PSI.

NO PERSON SHALL INSTALL OR MAINTAIN A WATER SERVICE CONNECTION WHERE A BOOSTER PUMP HAS BEEN INSTALLED.

ALL MECHANICAL JOINTS ARE REQUIRED TO BE MEGALUGGED, CONCRETE BACKING IS STILL REQUIRED. ALL MECHANICAL PIPE DEFLECTIONS ARE REQUIRED TO BE MEGALUGGED, ALL-THREADED, CONCRETE BACKED, AND JOINT RESTRAINTS MAY BE REQUIRED BY THE ENGINEER. THE HYDRANT TEE IS TO BE ALL-THREADED TO THE MAINLINE VALVE FOR FUTURE EXPANSION. 1 FULL STICK OF PIPE (20") IS TO BE LAID BEFORE FOR THE PLUG.

ALL FITTINGS ARE TO BE GPS LOCATED PRIOR TO BACKFILL USING X, Y, AND Z COORDINATES.

ANY WATER USAGE FOR FILLING THE WATER MAIN AND CHLORINATION SHALL GO THROUGH A WATER METER. ANY UNMETERED WATER USE WILL BE CHARGED TO THE CONTRACTOR/DEVELOPER BASED ON FLOW RATE CALCULATIONS.

THE WATER LINE AND SEWER LINE TRENCH UNDER THE INFLUENCE OF PAVEMENT ARE TO BE COMPACTION TESTED.

INSTALL COPPERHEAD® OR EQUAL 12-GAUGE HIGH STRENGTH 452LB BREAK STRENGTH 30 MIL HDPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY TRENCHING METHODS.

INSTALL COPPERHEAD® OR EQUAL 12-GAUGE EXTRA HIGH STRENGTH 1150LB BREAK STRENGTH 45 MIL HDPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY BORING METHODS.

FASTEN WIRE TO PIPE IN TWO PLACES PER PIPE SECTION. EXTEND TRACER WIRE TO GROUND SURFACE AT ALL VALVES AND HYDRANTS. SPLICE WIRES USING BURNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.

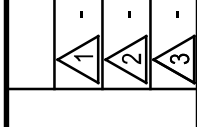
CONNECT ALL SERVICE LINE WIRES TO MAIN LINE WIRES USING BURNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.

CONTRACTOR SHALL TEST THE CONTINUITY OF ALL WIRE USING A THIRD-PARTY TESTER. CONTRACTOR SHALL CONTACT THE CITY OF GAHANNA DEPARTMENT OF PUBLIC SERVICE AND ENGINEERING A MINIMUM OF 24 HOURS PRIOR TO TEST. TESTER SHALL SEND A SIGNED REPORT TO CITY OF GAHANNA AFFIRMING ALL WIRE HAS CONTINUITY. CONTRACTOR SHALL REPAIR ALL DEFICIENCIES.

PRINTED 5/20/2022 7:19:31 AM P:\ADR\2021\21-1079 Eastgate Expansion - Gahanna\adgn\Site Improvement\Plan\02-03_Notes.dgn



REVISIONS



GENERAL NOTES

EASTGATE COMMERCIAL PARK, PHASE II
SITE IMPROVEMENT PLANS
THE CITY OF GAHANNA, OHIO

MAY 20, 2022
JOB #21-079

2
10

PV-443



GENERAL NOTES

SANITARY SEWER NOTES:

ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.

SERVICE RISERS, ITEM 914, SHALL BE INSTALLED WHERE DEPTHS FROM THE WYES TO THE EXISTING OR PROPOSED ELEVATIONS EXCEED 10'. THE TOPS OF RISERS SHALL BE NO MORE THAN ±9' BELOW THE EXISTING OR PROPOSED SURFACE ELEVATION, WHICHEVER IS HIGHER.

THE SITE UTILITY CONTRACTOR SHALL CALL THE CITY OF GAHANNA UTILITIES DEPARTMENT FOR INSPECTION OF TAPS, NEW WATER SERVICES, AND FIRE HYDRANTS. CALL (614) 342-4440 24 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION.

A MINIMUM VERTICAL CLEARANCE OF 1.5 FEET SHALL BE PROVIDED BETWEEN THE PROPOSED SANITARY SERVICE AND EXISTING UTILITIES OR STRUCTURES UNLESS OTHERWISE NOTED ON THESE PLANS.

ALL PVC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION IN CONFORMANCE WITH THE REQUIREMENTS OF ITEM 901 OF THE CITY OF COLUMBUS. CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT VERSION.

ALL SANITARY SEWER AND SANITARY SERVICES ARE TO BE MANDREL TESTED, AIR TESTED, CLEANED AND CAMERA INSPECTED.

ALL SANITARY MANHOLES ARE REQUIRED TO PASS A VACUUM TEST PER CITY OF COLUMBUS ITEM 901.20 AND ASTM-C-1244.

PIPE FOR ALL 6" SANITARY SERVICES SHALL BE PVC SEWER PIPE ASTM D-3034, SDR-35. THE SERVICES SHALL BE FIELD TESTED BY THE INFILTRATION, EXFILTRATION OR AIR TEST.

ALL PIPES SHALL BE LAID WITH TYPE 1 GRANULAR MATERIAL BEDDING AND BACKFILL AS SHOWN ON STANDARD CONSTRUCTION CITY OF COLUMBUS AA-S151. INSTALLATION SHALL CONFORM TO CMS SECTION 900.

STORM SEWER NOTES:

ANY PLACEMENT OF STORM SEWERS BENEATH EXISTING OR PROPOSED PAVEMENT SHALL BE BACKFILLED IN ACCORDANCE WITH COLUMBUS CMS ITEM 912, COMPACTED GRANULAR BACKFILL.

ALL PIPES SHALL BE LAID WITH TYPE 1 GRANULAR MATERIAL BEDDING AND BACKFILL AS SHOWN ON STANDARD CONSTRUCTION CITY OF COLUMBUS AA-S151. INSTALLATION SHALL CONFORM TO CMS SECTION 900.

ALL CONCRETE PIPE AND STORM SEWER STRUCTURES SHALL BE STAMPED OR HAVE SUCH IDENTIFICATION NOTING THAT SAID PIPE AND/OR STORM STRUCTURES HAVE BEEN INSPECTED BY THE CITY OF COLUMBUS AND MEETS THEIR SPECIFICATIONS. PIPE AND STRUCTURES WITHOUT PROPER IDENTIFICATION WILL NOT BE PERMITTED FOR INSTALLATION.

ALL CURB INLETS AND MANHOLES SHALL BE CHanneled AS DIRECTED. THE COST FOR THIS WORK IS TO BE INCLUDED IN THE PRICE BID FOR VARIOUS STORM SEWER ITEMS.

IN CASE OF CONFLICT IN GRADE BETWEEN WATER LINES AND STORM SEWERS, THE WATER LINES SHALL BE LOWERED DURING CONSTRUCTION.

ALL PLASTIC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION IN CONFORMANCE WITH THE REQUIREMENTS OF COLUMBUS CMS ITEM 901.

ALL STORM SEWER IS TO BE MANDREL TESTED, CLEANED AND CAMERA INSPECTED.

MAINTENANCE OF TRAFFIC:

ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD) FOR CONSTRUCTION AND MAINTENANCE OPERATIONS. ALL DEVICES SHALL MEET FP-85 REFLECTANCE STANDARDS AND IN FULL COMPLIANCE WITH "QUALITY STANDARDS FOR WORK ZONE TRAFFIC CONTROL DEVICES" PUBLISHED BY ATTSSA. ALL TRAFFIC CONTROL DEVICES MUST MEET NCHRP 350.

STEADY BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT. ALL SIGNS, NINE SQUARE FEET (36" X 36") AND OVER SHALL HAVE YELLOW TYPE "A" LOW INTENSITY FLASHING WARNING LIGHTS AND THREE FLAGS. CONES ARE NOT APPROVED FOR USE AT NIGHT.

THE ROADWAY SHALL NOT BE OPENED TO TRAFFIC UNTIL PERMANENT TRAFFIC CONTROLS ARE IN PLACE OR UNTIL TEMPORARY TRAFFIC CONTROLS APPROVED BY THE INSPECTOR ARE INSTALLED. THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE PREMATURE REMOVAL OF TEMPORARY TRAFFIC CONTROLS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REINSTALLATION AND/OR REPLACEMENT OF ALL PERMANENT TRAFFIC CONTROL DEVICES DAMAGED OR REMOVED DURING THE CONSTRUCTION. PERMANENT TRAFFIC CONTROLS NO LONGER IN CONFLICT WITH TEMPORARY TRAFFIC CONTROLS SHALL BE REPLACED IMMEDIATELY.

ALL PERMANENT TRAFFIC CONTROLS NOT IN CONFLICT WITH THE TEMPORARY TRAFFIC CONTROLS SHALL BE MAINTAINED THROUGHOUT THE PROJECT BY THE CONTRACTOR. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR MISSING, DAMAGED, AND IMPROPERLY PLACED TRAFFIC CONTROL DEVICES.

ALL TRENCHES WITHIN THE ROAD RIGHT-OF-WAY SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

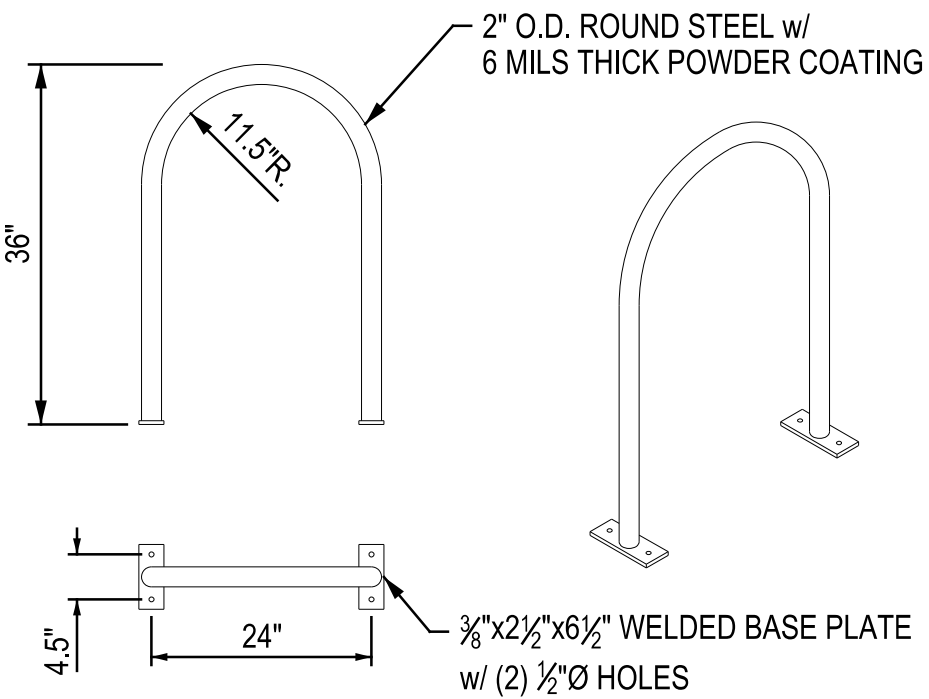
ALL LANES SHALL BE FULLY OPEN TO TRAFFIC ON ALL PUBLIC STREETS AND ALLEYS UNLESS OTHERWISE APPROVED BY THE CITY OF GAHANNA.

ANY WORK DONE BY THE CITY INCLUDING INSTALLATION, RELOCATION, REMOVAL AND/OR REPLACEMENT OF PERMANENT TRAFFIC CONTROL DEVICES AS A RESULT OF WORK DONE BY THE CONTRACTOR OR AS A RESULT OF THE NEGLIGENCE OF THE CONTRACTOR SHALL BE AT THE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFE MOVEMENT OF PEDESTRIANS THROUGH, AROUND AND AWAY FROM THE CONSTRUCTION SITE AS DESIGNATED IN SECTION 60.01 OF THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD).

THE SAFETY OF PEDESTRIAN TRAFFIC SHALL BE CONSIDERED AT ALL TIMES IN THE PROVISION OF TRAFFIC CONTROL DEVICES REQUIRED BY THESE PLANS AND NOTES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE LIGHTS, SIGNS, BARRICADES AND OTHER WARNINGS TO PHYSICALLY SEPARATE THE PEDESTRIAN FROM HAZARDS INCIDENTAL TO THE CONSTRUCTION OPERATIONS SUCH AS OPEN EXCAVATIONS, ETC.

BICYCLE PARKING INVERTED "U" RACK DETAIL



RACK SHALL BE SURFACE MOUNTED WITH 3/8"x1" TORX BOLT & 3/8"x1" S/S DROP-IN ANCHOR (4 PER RACK). FOR IN-GROUND MOUNT, RACK SHALL BE 48" IN HEIGHT WITH 12" ENBEDMENT. (EACH "U" RACK SERVES TWO BICYCLE PARKING SPACES)

DRAWN
BY
CHECKED
RFB
REVIEWED



REVISIONS

1
2
3

GENERAL NOTES

**EASTGATE COMMERCIAL PARK, PHASE II
SITE IMPROVEMENT PLANS
THE CITY OF GAHANNA, OHIO**

MAY 20, 2022
JOB #21-079

3
10

PV-443

SCHEMATIC PLAN

SURVEY INFORMATION

SURVEY INFORMATION BASED ON FIELD OBSERVATION BY SMART SERVICES, INC.

FOR MORE INFORMATION CONTACT:
 SMART SERVICES, INC.
 88 W CHURCH STREET
 NEWARK, OH 43055
 (740) 345-4700

CONTROL POINTS

POINT	NORTHING	EASTING	ELEV.	DESCRIPTION
CNPT #1	728235.647	1878559.197	922.94'	5/8" REBAR W/ CAP "TRAVERSE"
CNPT #2	728094.302	1878206.513	909.62	5/8" REBAR W/ CAP "TRAVERSE"
CNPT #3	728631.634	1878248.202	915.34	5/8" REBAR W/ CAP "TRAVERSE"
CNPT #4	728649.150	1878916.790	936.83	5/8" REBAR W/ CAP "TRAVERSE"
BM #1	728413.6	1878575.4	923.59	SQUARE CHISELED IN N.W. CORNER OF CONC. PAD FOR DUMPSTER
BM #2	728264.2	1878228.5	909.47	SQUARE CHISELED NEAR E. CORNER OF CONC. RETAINING WALL

DATE OF FIELD SURVEY: AUGUST 17-18, 2021
 COORDINATE SYSTEM: OHIO STATE PLANE, SOUTH ZONE (3402)
 HORIZONTAL REFERENCE DATUM: NAD83 (2011)
 ELLIPSOID: GRS80
 VERTICAL REFERENCE DATUM: NAVD88
 GEOID MODEL: GEOID18
 UNITS: US SURVEY FEET (SFT)
 ORIGINAL SURVEY SUBDIVISION: UNITED STATES MILITARY LANDS
 TOWNSHIP: CITY OF GAHANNA, JEFFERSON TWP., THIRD QUARTER OF T-1N, R-16W

PROPERTY LINES AS SHOWN ARE PER FIELD SURVEY DATA (FOUND PINS) AND RECORD DEEDS. THE PROPERTY LINES WERE BEST FIT ONTO PINS FOUND. THIS IS NOT A SURVEY PER OAC 4733-37.

UTILITIES

OUPS NOTIFICATION RESPONSES: B122401494-00B (MARKINGS)
 B122401496-00B (PLANS)

MEMBERS IDENTIFIED:
 AEP OHIO (USIC)
 COLUMBUS GAS OF OH - COLUMBUS
 FRANKLIN COUNTY ENGS
 CITY OF GAHANNA
 JEFFERSON WATER & SEWER
 AT&T - OHIO
 EVERSTREAM SOLUTIONS / USIC
 CHARTER COMM (SPECTRUM/ TIME WARNER)

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND EVIDENCE AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OF THE SURVEYED AREA.

FLOOD INFORMATION:

THE PROPERTY FALLS WITHIN THE LIMITS OF FLOOD ZONE "X" AS SHOWN ON FIRM MAP No. 39049C0352K DATED JUNE 17, 2008.

ZONING INFORMATION:

OFFICE, COMMERCE AND TECHNOLOGY DISTRICT (OCT)
 BUILDING SETBACKS: 60' FRONT
 25' SIDE
 30' REAR
 PARKING SETBACKS: 45' FRONT
 10' SIDE
 10' REAR

PARKING CALCULATIONS:

PHASE 1:
 3 BUILDINGS @ 8,520 SQ. FT. = 25,560 SQ. FT.
 1 BUILDINGS @ 15,000 SQ. FT. = 15,000 SQ. FT.
 1 BUILDINGS @ 24,100 SQ. FT. = 24,100 SQ. FT.
 TOTAL PHASE 1 SQ. FT. = 64,660

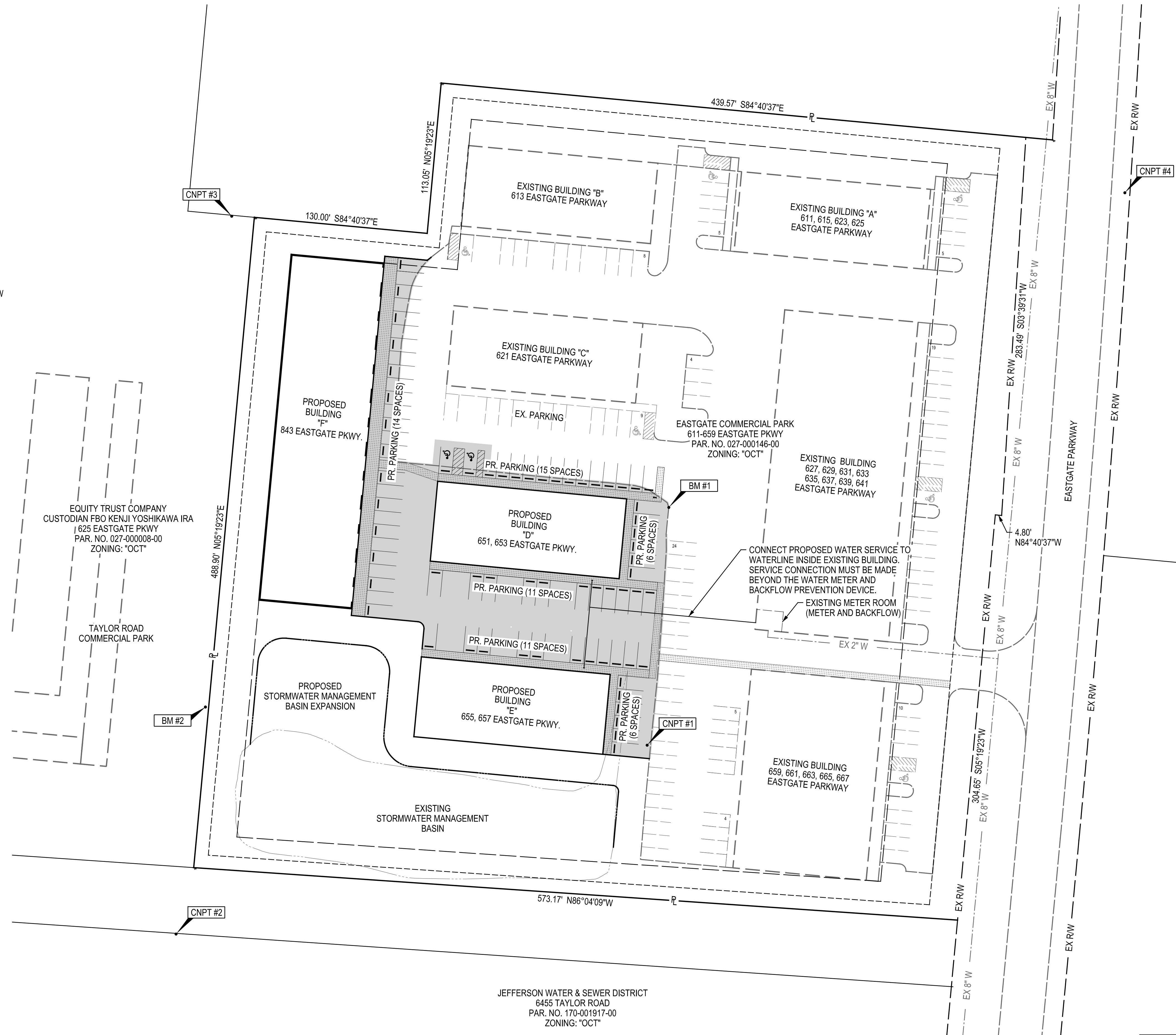
1 SPACE REQUIRED PER 1,000 SQ. FT. UP TO 20,000 SQ. FT. OF BUILDING AREA = 20 SPACES REQUIRED (20,000/1,000)
 1 SPACE REQUIRED PER 5,000 SQ. FT. 20,001 TO 120,000 SQ. FT. OF BUILDING AREA = 9 SPACES REQUIRED ((64,660-20,000)/5,000)
 1 SPACE REQUIRED PER BUSINESS VEHICLE = 26 SPACES REQUIRED

20+9+26=55 SPACES REQUIRED.
 SPACES PROVIDED =93 SPACES(87 STANDARD)
 (6 HANDICAP)

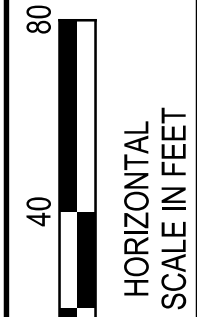
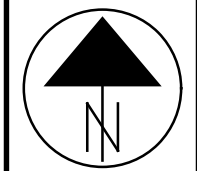
PHASE 2:
 2 BUILDINGS @ 8,520 SQ. FT. = 17,040 SQ. FT.
 1 BUILDING @ 18,200 SQ. FT. =18,200 SQ. FT.
 TOTAL PHASE 2 SQ. FT. = 35,240 SQ. FT.

1 SPACE REQUIRED PER 1,000 SQ. FT. UP TO 20,000 SQ. FT. OF BUILDING AREA = 20 SPACES REQUIRED
 1 SPACE REQUIRED PER 5,000 SQ. FT. 20,001 TO 120,000 SQ. FT. OF BUILDING AREA = 3 SPACES REQUIRED
 1 SPACE REQUIRED PER BUSINESS VEHICLE = 12 SPACES REQUIRED

20+3+12=35 SPACES REQUIRED.
 SPACES PROVIDED =63 SPACES(61 STANDARD)
 (2 HANDICAP)
 17 SPACES REMOVED



JEFFERSON WATER & SEWER DISTRICT
 6455 TAYLOR ROAD
 PAR. NO. 170-001917-00
 ZONING: "OCT"



DRAWN	BY	CHKD	BY	REVIEWED



REVISIONS	
1	
2	
3	

SCHEMATIC PLAN

EASTGATE COMMERCIAL PARK, PHASE II SITE IMPROVEMENT PLANS THE CITY OF GAHANNA, OHIO

MAY 20, 2022
 JOB #21-079

4
 10

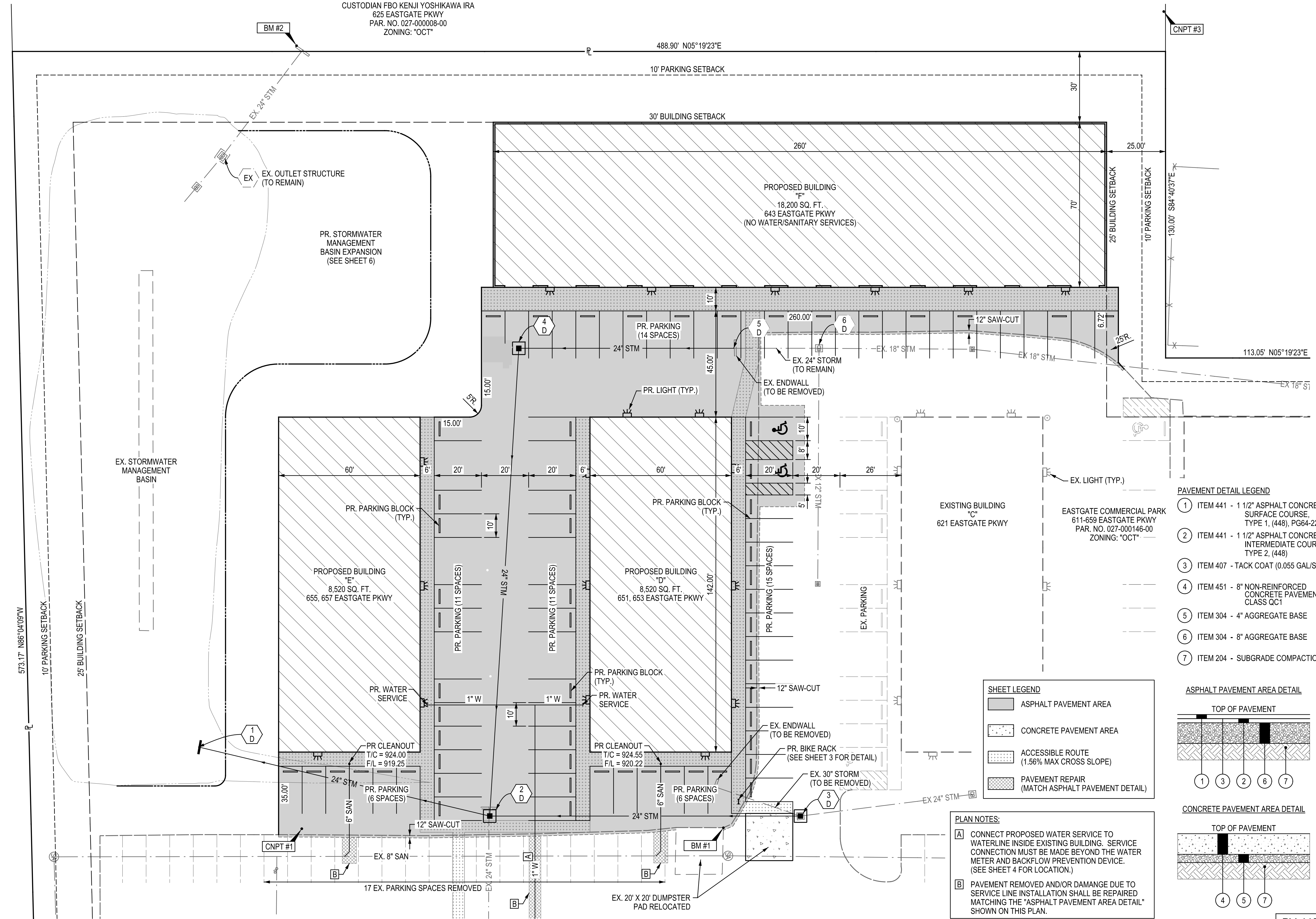
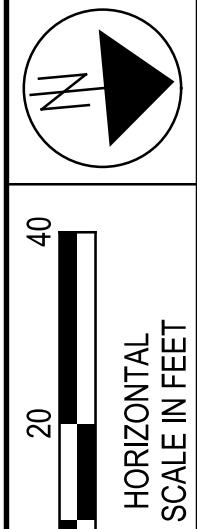
PV-443

PRINTED 5/20/2022 7:20:03 AM P:\AD\2021\21-079 Eastgate Expansion - Gahanna\adgn\Site Improvement Plan\04_Schematic Plan.dgn

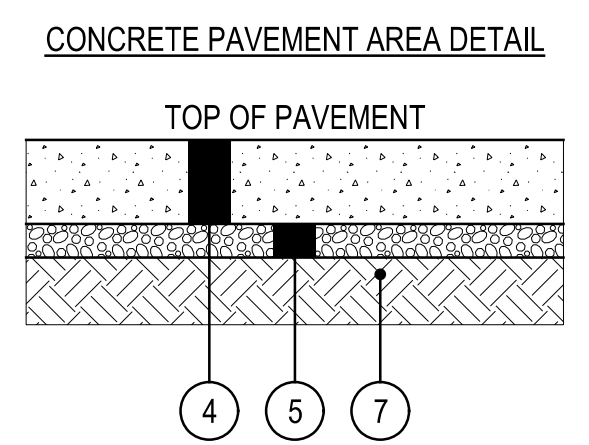
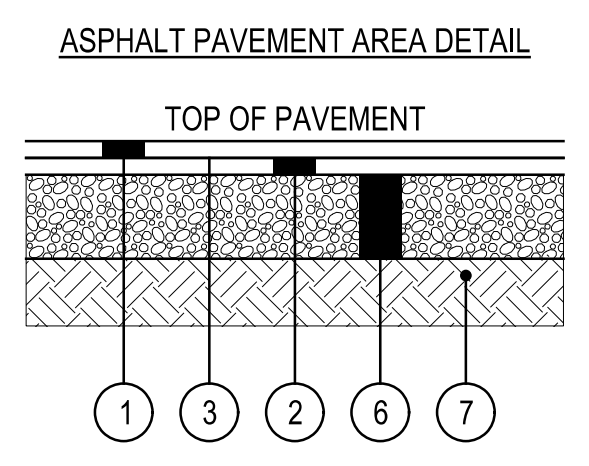


SITE PLAN

EQUITY TRUST COMPANY
 CUSTODIAN FBO KENJI YOSHIKAWA IRA
 625 EASTGATE PKWY
 PAR. NO. 027-000008-00
 ZONING: "OCT"



- PAVEMENT DETAIL LEGEND**
- 1 ITEM 441 - 1 1/2" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, (448), PG64-22
 - 2 ITEM 441 - 1 1/2" ASPHALT CONCRETE, INTERMEDIATE COURSE, TYPE 2, (448)
 - 3 ITEM 407 - TACK COAT (0.055 GAL/SY)
 - 4 ITEM 451 - 8" NON-REINFORCED CONCRETE PAVEMENT, CLASS QC1
 - 5 ITEM 304 - 4" AGGREGATE BASE
 - 6 ITEM 304 - 8" AGGREGATE BASE
 - 7 ITEM 204 - SUBGRADE COMPACTION



- SHEET LEGEND**
- ASPHALT PAVEMENT AREA
 - CONCRETE PAVEMENT AREA
 - ACCESSIBLE ROUTE (1.56% MAX CROSS SLOPE)
 - PAVEMENT REPAIR (MATCH ASPHALT PAVEMENT DETAIL)

- PLAN NOTES:**
- A CONNECT PROPOSED WATER SERVICE TO WATERLINE INSIDE EXISTING BUILDING. SERVICE CONNECTION MUST BE MADE BEYOND THE WATER METER AND BACKFLOW PREVENTION DEVICE. (SEE SHEET 4 FOR LOCATION.)
 - B PAVEMENT REMOVED AND/OR DAMAGE DUE TO SERVICE LINE INSTALLATION SHALL BE REPAIRED MATCHING THE "ASPHALT PAVEMENT AREA DETAIL" SHOWN ON THIS PLAN.

DRAWN	BW
CHECKED	RRB
REVIEWED	

ADR
 88 West Church Street, Newark, OH 43055 • (740) 345-1921

NO.	DATE	REVISIONS

SITE PLAN

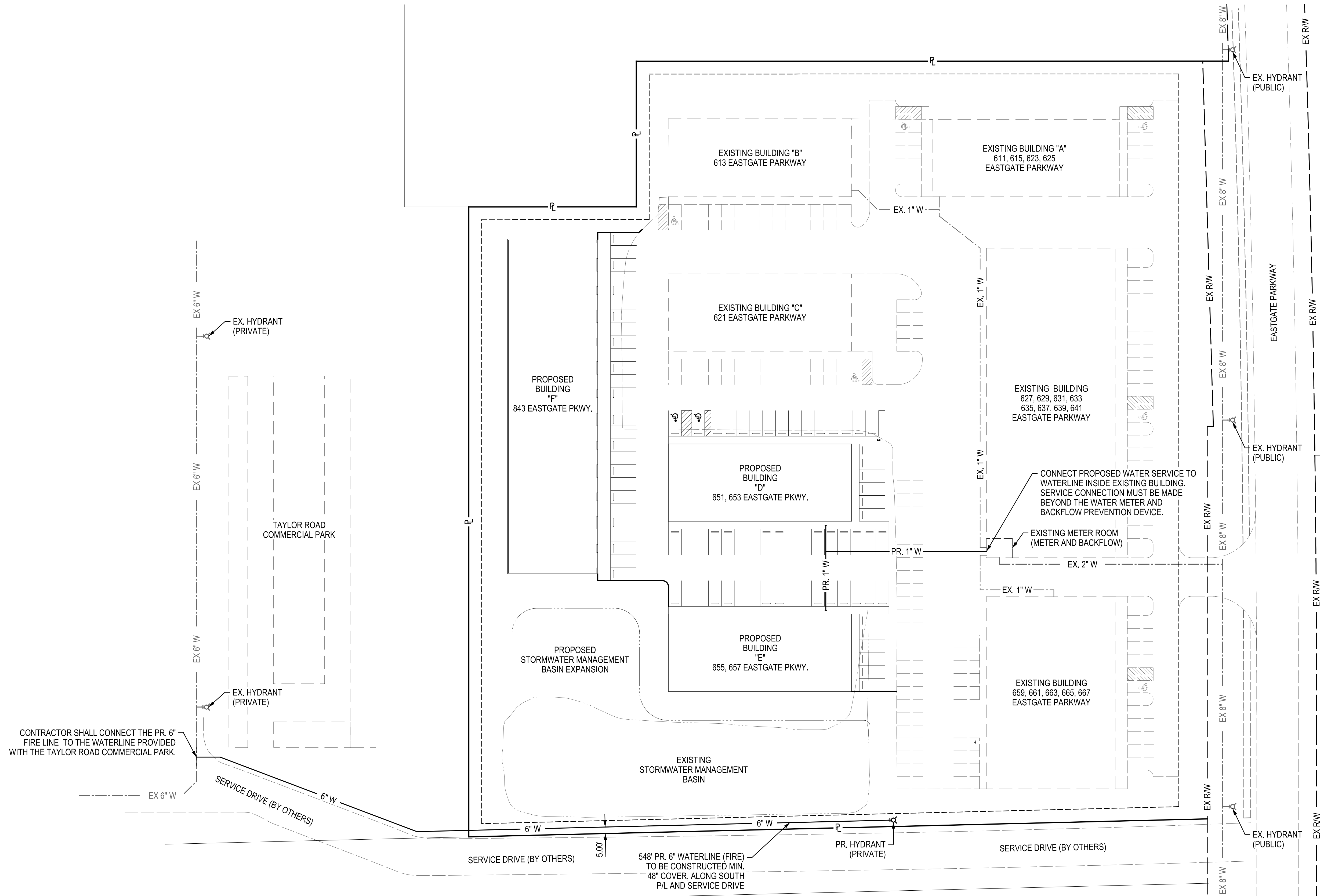
EASTGATE COMMERCIAL PARK, PHASE II SITE IMPROVEMENT PLANS THE CITY OF GAHANNA, OHIO

MAY 20, 2022
 JOB #21-079

5
 10

PV-443

WATERLINE PLAN

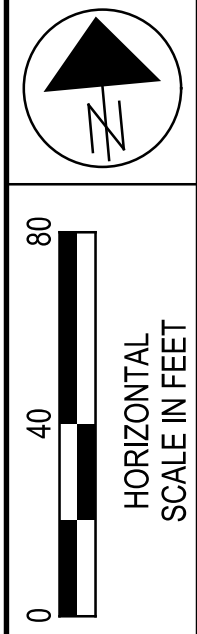


CONTRACTOR SHALL CONNECT THE PR. 6" FIRE LINE TO THE WATERLINE PROVIDED WITH THE TAYLOR ROAD COMMERCIAL PARK.

CONNECT PROPOSED WATER SERVICE TO WATERLINE INSIDE EXISTING BUILDING. SERVICE CONNECTION MUST BE MADE BEYOND THE WATER METER AND BACKFLOW PREVENTION DEVICE.

EXISTING METER ROOM (METER AND BACKFLOW)

548' PR. 6" WATERLINE (FIRE) TO BE CONSTRUCTED MIN. 48" COVER, ALONG SOUTH P/L AND SERVICE DRIVE



DRAWN	CHECKED	REVIEWED
R/W	R/R	R/R



REVISIONS

WATERLINE PLAN

EASTGATE COMMERCIAL PARK, PHASE II SITE IMPROVEMENT PLANS THE CITY OF GAHANNA, OHIO

MAY 26, 2022
JOB #21-079

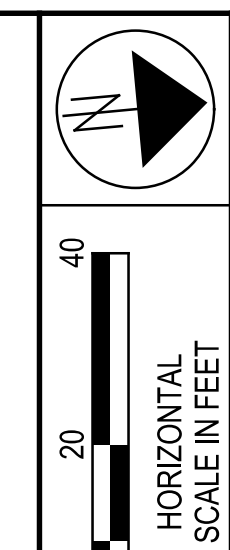
PV-443

PRINTED 6/2/2022 11:01:13 AM P:\ADR\2021\21-079 Eastgate Expansion - Gahanna\adgn\Site Improvement Plan\08_Utility Plan.dgn



GRADING PLAN

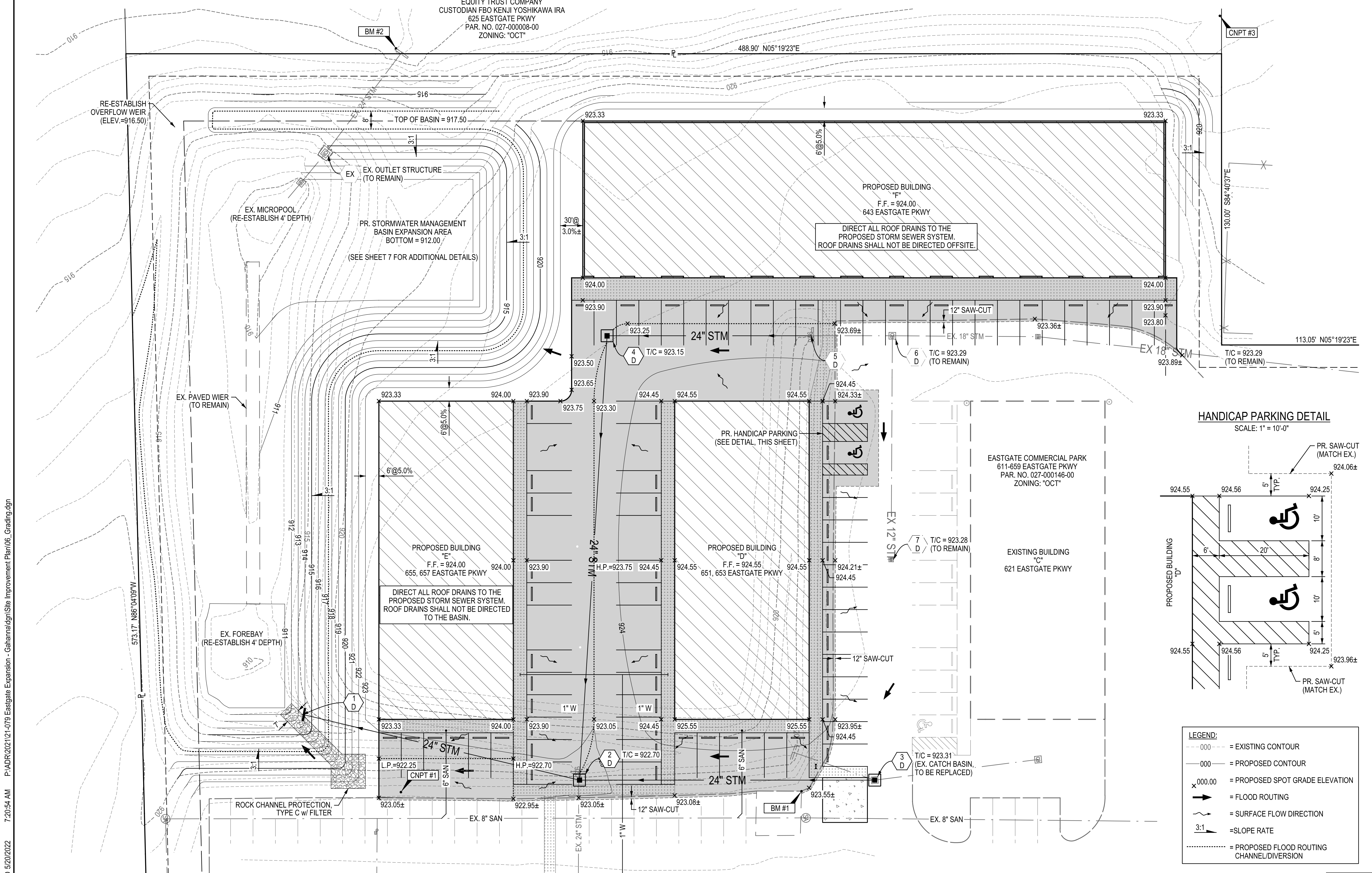
EQUITY TRUST COMPANY
CUSTODIAN FBO KENJI YOSHIKAWA IRA
625 EASTGATE PKWY
PAR. NO. 027-000008-00
ZONING: "OCT"



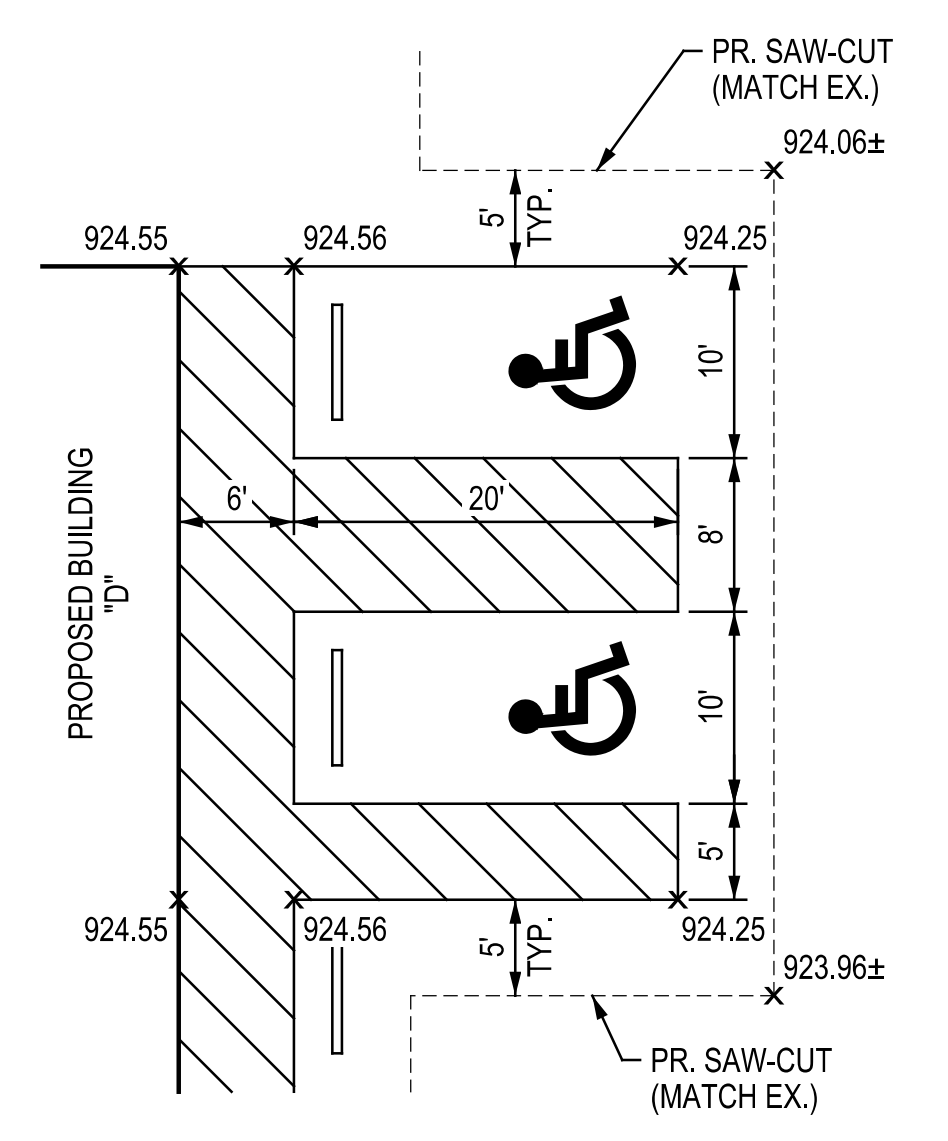
DRAWN: RBB
CHECKED: RBB
REVIEWED: RBB



REVISIONS	DATE	DESCRIPTION



HANDICAP PARKING DETAIL
SCALE: 1" = 10'-0"



LEGEND:

- = EXISTING CONTOUR
- = PROPOSED CONTOUR
- = PROPOSED SPOT GRADE ELEVATION
- = FLOOD ROUTING
- = SURFACE FLOW DIRECTION
- = SLOPE RATE
- = PROPOSED FLOOD ROUTING CHANNEL/DIVERSION

GRADING PLAN

EASTGATE COMMERCIAL PARK, PHASE II SITE IMPROVEMENT PLANS THE CITY OF GAHANNA, OHIO

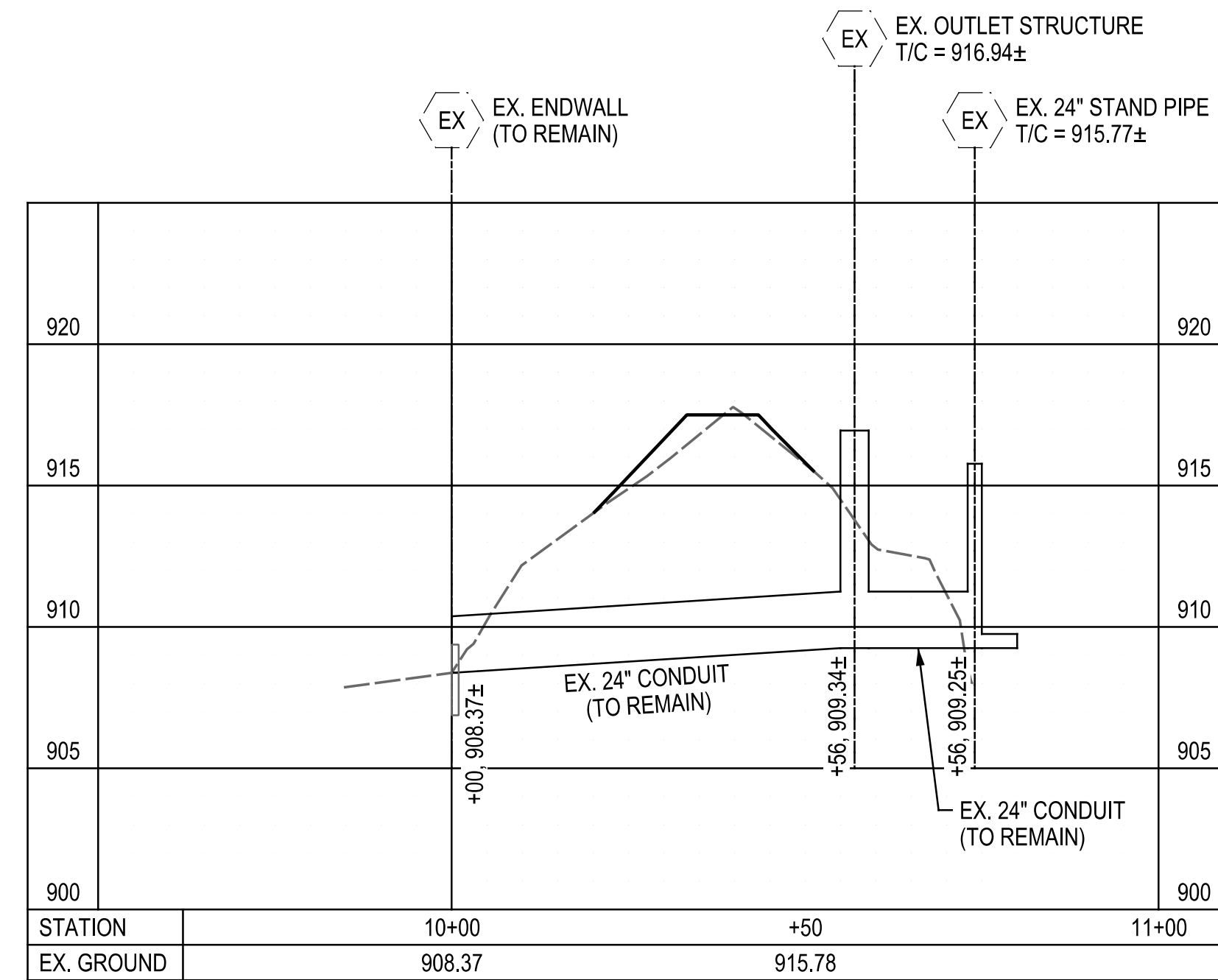
MAY 20, 2022
JOB #21-079

6
10

PV-443

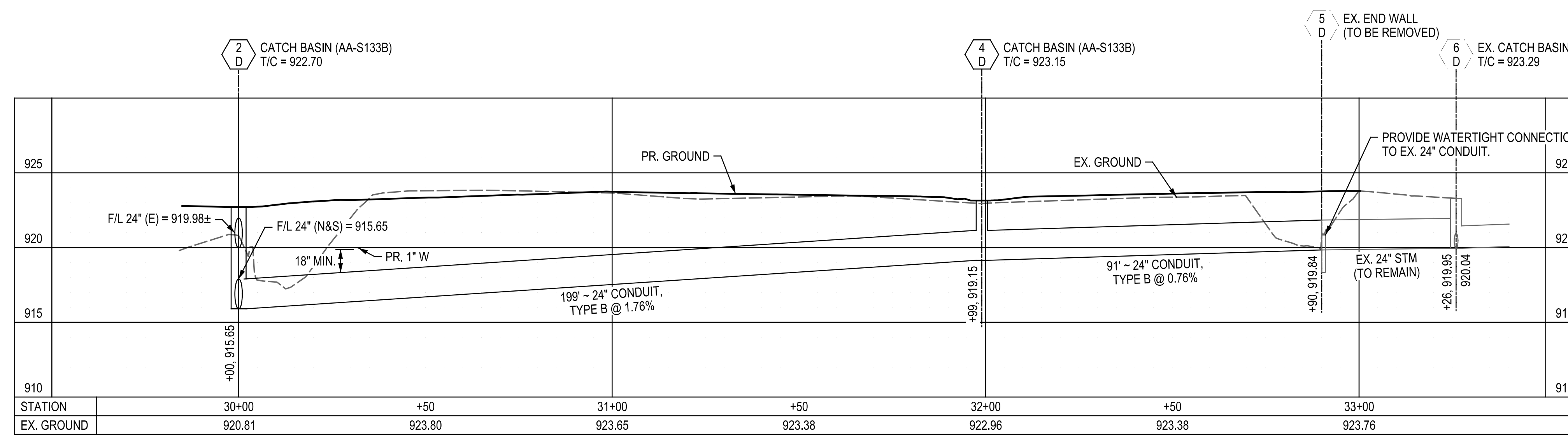
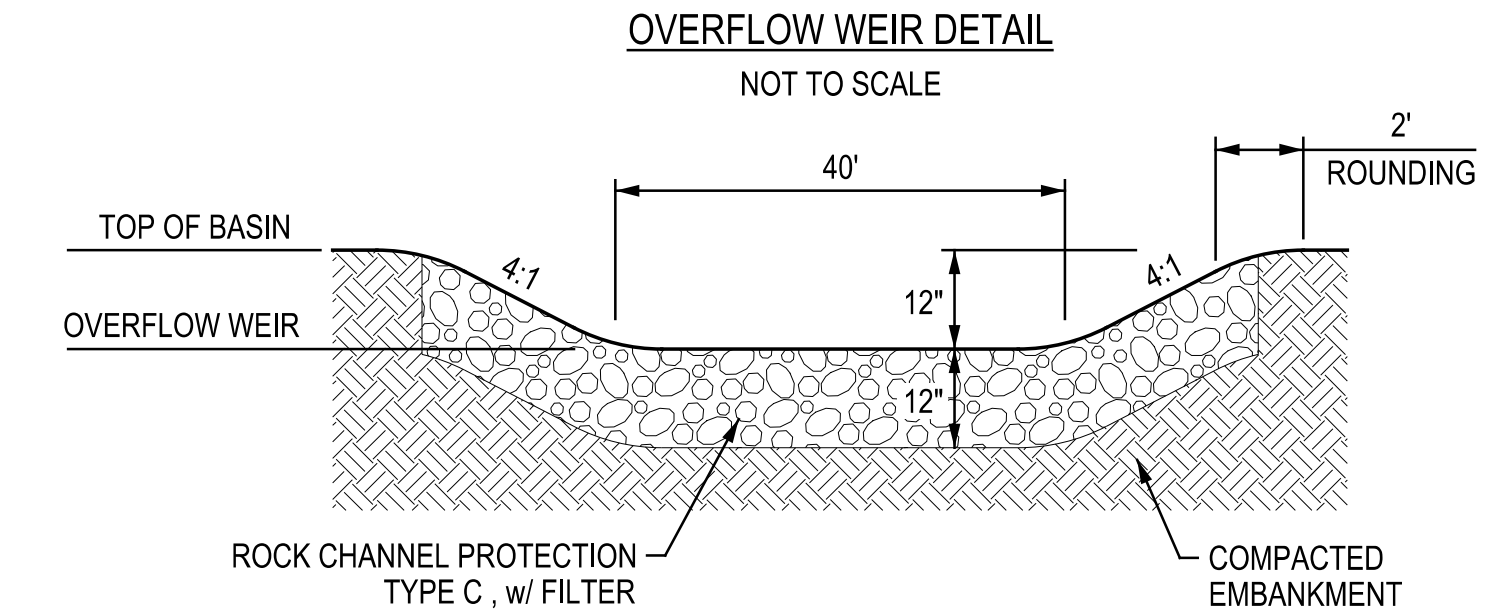
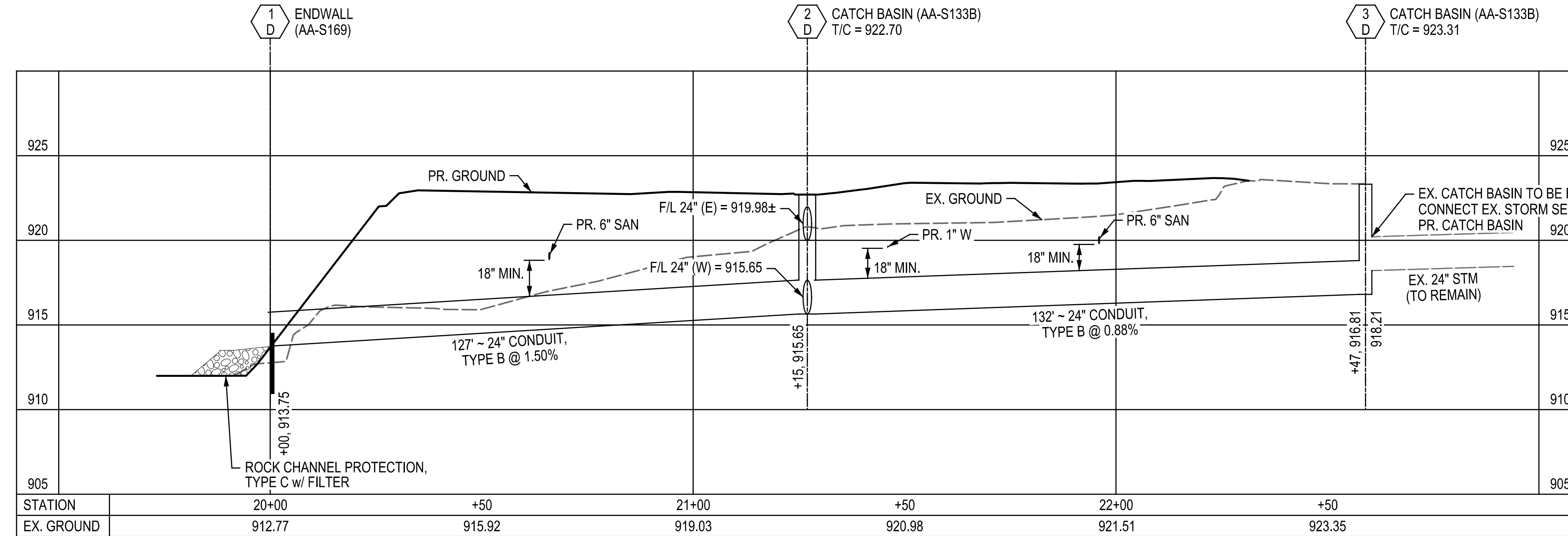
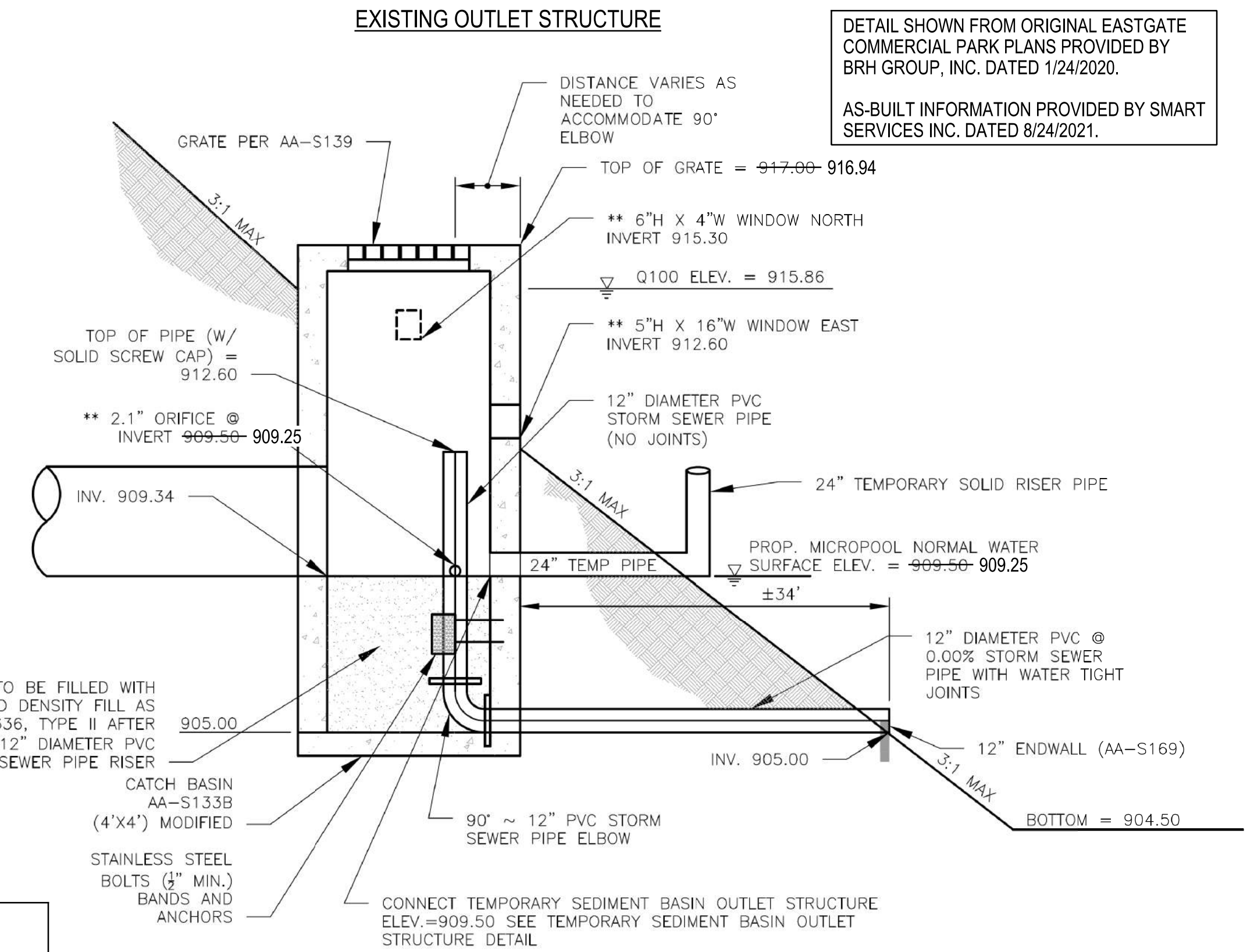


UTILITY PLAN & PROFILE



BASIN DATA		
DESCRIPTION:	ELEVATION (FT.)	VOLUME (CU. FT.)
TOP OF BASIN	917.50	142,126
OUTLET - TOP OF STRUCTURE	916.94	125,454
OVERFLOW WEIR	916.50	112,826
OUTLET - 6"x4" WINDOW	915.30	81,100
OUTLET - 5"x16" WINDOW	912.60	22,983
ORIFICE - 2.1" HOLE	909.25	0
BOTTOM OF BASIN	909.25	0
MICROPOOL/FOREBAY	905.50 / 907.50 #	

CONTRACTOR SHALL EXCAVATE SEDIMENT TO RE-ESTABLISH MICROPOOL & FOREBAY ELEVATION SHOWN.



REVISIONS

STORMWATER MANAGEMENT DETAILS

EASTGATE COMMERCIAL PARK, PHASE II
SITE IMPROVEMENT PLANS
THE CITY OF GAHANNA, OHIO

MAY 20, 2022
JOB #21-079

7
10

PV-443



PRINTED 5/20/2022 7:21:13 AM P:\AD\2021\21-079 Eastgate Expansion - Gahanna.dgn Site Improvement Plan07_Stormwater Management_Details.dgn

STORM WATER POLLUTION PREVENTION PLAN

NOTICE OF INTENT
 OEPA NOI: 4GC07012*AG
 APPROVAL DATE: 10/25/2019

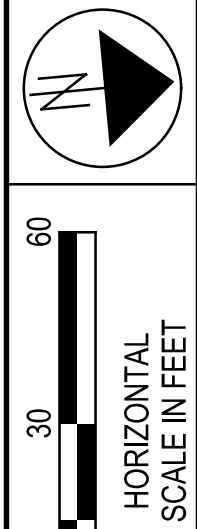
CONTRACTOR SIGNATURES

CONTRACTOR _____ DATE _____
 SUBCONTRACTOR _____ DATE _____

SHEET LEGEND

- (CW) CONCRETE WASHOUT
- (DC) DITCH CHECK
- (FF) PERIMETER FILTER FABRIC FENCE
- (IP) INLET PROTECTION
- (SB) SEDIMENT BASIN
- (SCE) STABILIZED CONSTRUCTION ENTRANCE

SEE SHEET 9 FOR CONTROL DETAILS



DRAWN: _____
 CHECKED: _____
 REVISIONS: _____



REVISIONS

NO.	DESCRIPTION

STORM WATER POLLUTION PREVENTION PLAN

EASTGATE COMMERCIAL PARK, PHASE II
 SITE IMPROVEMENT PLANS
 THE CITY OF GAHANNA, OHIO

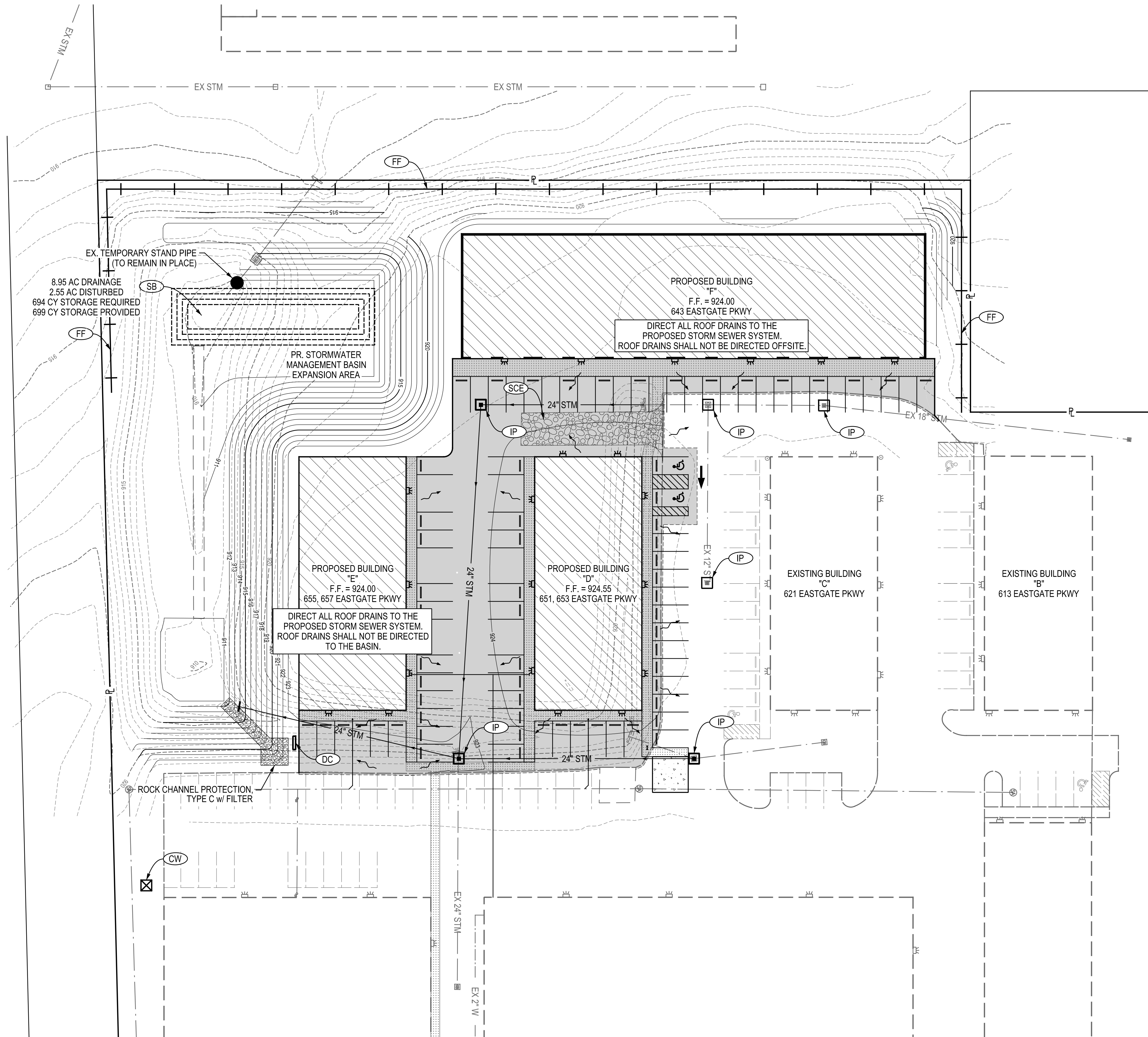
MAY 20, 2022
 JOB #21-079

SEE ATTACHED POST-CONSTRUCTION O&M MANUAL

EROSION CONTROL MODIFICATION LOG

NO.	DESCRIPTION	DATE

PRINTED 5/20/2022 7:22:18 AM P:\ADR\2021\21-079 Eastgate Expansion - Gahanna.dgn\Site Improvement Plan\08-10_SWPPP.dgn



STORM WATER POLLUTION PREVENTION PLAN

CONTRACTOR RESPONSIBILITY:
 DETAILS HAVE BEEN PROVIDED ON THE PLANS IN AN EFFORT TO HELP THE CONTRACTOR PROVIDE EROSION AND SEDIMENTATION CONTROL. THE DETAILS SHOWN ON THE PLAN SHALL BE CONSIDERED A MINIMUM. ADDITIONAL OR ALTERNATE DETAILS MAY BE FOUND IN THE MOST RECENT EDITION OF THE RAINWATER AND LAND DEVELOPMENT MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS." THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION AND SEDIMENT RUNOFF FROM SITE ALONG WITH PROPER MAINTENANCE AND INSPECTION IN COMPLIANCE WITH THE OEPA GENERAL STORMWATER PERMIT (OHC000005) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY, AND THE MOST RECENT VERSION OF THE RAINWATER AND LAND DEVELOPMENT MANUAL.

SEDIMENTATION FACILITIES AND OTHER CONTROL MEASURES SHALL BE INSTALLED PER THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN CONJUNCTION WITH THE INITIAL GRADING OPERATIONS AND BE MAINTAINED THROUGHOUT THE DEVELOPMENT AND CONSTRUCTION PROCESS TO REMOVE SEDIMENT FROM RUNOFF WATERS DRAINING LAND UNDER DEVELOPMENT.

CUTS AND FILLS MAY NOT ENDANGER ADJOINING PROPERTY.

THE DEVELOPER AND CONTRACTOR SHALL ESTABLISH A MAILBOX AT THE CONSTRUCTION ENTRANCE OR NEXT TO THE CONSTRUCTION TRAILER. SAID MAILBOX SHALL CONTAIN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), ALL INSPECTION LOGS/REPORTS, THE OHIO ENVIRONMENTAL PROTECTION AGENCY (OEPA) NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), AND APPROVED NOTICE OF INTENT (NOI).

PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA, ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE. FIELD ADJUSTMENTS WITH RESPECT TO LOCATIONS AND DIMENSIONS MAY BE MADE BY THE ENGINEER.

CONTRACTOR SHALL PLACE A STABILIZED CONSTRUCTION ENTRANCE AT THE BEST LOCATION TO PREVENT SEDIMENT FROM BEING TRACKED FROM SITE. USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT, AT A 10" MINIMUM THICKNESS. THE ENTRANCE SHALL BE THE WIDTH OF THE EXISTING DRIVE PLUS FIVE (5) FOOT EACH SIDE (14' MINIMUM), AND A MINIMUM OF SEVENTY (70) FOOT LONG. EQUIPMENT WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

THE CONTRACTOR SHALL PLACE INLET PROTECTION FOR THE EROSION CONTROL IMMEDIATELY AFTER CONSTRUCTION OF THE CATCH BASINS OR INLETS.

IT MAY BECOME NECESSARY TO REMOVE PORTIONS OF THE BARRIER DURING CONSTRUCTION TO FACILITATE THE GRADING OPERATION IN CERTAIN AREAS. HOWEVER, THE BARRIER SHALL BE IN PLACE IN THE EVENING OR DURING ANY INCLEMENT WEATHER.

SEEDING HAS BEEN ASSUMED TO BE 5' OUTSIDE THE WORK LIMITS, OR THE RIGHT-OF-WAY, WHICHEVER IS GREATER. ALL AREAS NOT DESIGNATED TO BE SEEDED SHALL REMAIN UNDER NATURAL COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDING LIMITS SHALL BE SEEDED AND MULCHED AT THE CONTRACTORS EXPENSE.

LAND WHICH HAS BEEN CLEARED FOR DEVELOPMENT, AND UPON WHICH CONSTRUCTION HAS NOT COMMENCED WITHIN FOURTEEN (14) DAYS OF THIS INITIAL CLEARING SHALL BE PROTECTED FROM EROSION AND CONSEQUENT SEDIMENTATION BY APPROPRIATE VEGETATION AND LAND COVERING TECHNIQUES SUCH AS SEEDING, SODDING, MULCHING GROUND COVER INSTALLATION OR OTHER VEGETATION OR EARTH COVERING TECHNIQUES.

TEMPORARY VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS (STEEP SLOPES) DURING DEVELOPMENT AS IDENTIFIED ON THE SWPPP OR BY CITY REPRESENTATIVES. THESE MEASURES SHALL BE INSTALLED WITHIN 48 HOURS OF INITIAL DISTURBANCE.

PERMANENT VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL BUT NO LATER THAN 48 HOURS AFTER FINAL GRADING. THIS INCLUDES SOD OR OTHER METHODS OF RETAINING SEEDING MATERIAL PRIOR TO MATURATION IN THE LOWER 1/2 OF ANY DRAINAGE DITCHES.

STRAW, MULCH, OR NETTING MATERIAL PROVISIONS MUST BE PROVIDED TO MINIMIZE DAMAGE FROM SURFACE WATER TO THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACE OF FILLS WITHIN 48 HOURS OF INITIAL DISTURBANCE.

ALL DUMPSTERS AND WASTE RECEPTACLES (TEMPORARY AND PERMANENT) SHALL BE COVERED AND WATER TIGHT.

OPEN BURNING SHALL BE STRICTLY PROHIBITED.

THE CONTRACTOR IS ADVISED THAT HIS WORK WILL BE IN CLOSE PROXIMITY TO OCCUPIED RESIDENCES AND/OR BUSINESSES, AND SHALL MAKE ALL REASONABLE EFFORTS TO PERFORM THE EARTHWORK OPERATIONS IN A MANNER TO MINIMIZE DUST. WHEN, IN THE ENGINEER'S DETERMINATION, DUST IS A PROBLEM, THE CONTRACTOR SHALL APPLY A DUST PALLIATIVE PER ITEM 616.

SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE INSPECTED EVERY 7 DAYS, AND WITHIN 24 HOURS OF A RAINFALL OF EQUAL TO OR GREATER THAN 1/2" WITHIN A 24 HOUR PERIOD.

MAINTENANCE:
 ALL TEMPORARY AND PERMANENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED IN A FUNCTIONAL CONDITION UNTIL ALL UP-SLOPE AREAS THEY CONTROL ARE PERMANENTLY STABILIZED. THE SWP3 SHALL BE DESIGNED TO MINIMIZE MAINTENANCE REQUIREMENTS. THE APPLICANT SHALL PROVIDE A DESCRIPTION OF MAINTENANCE PROCEDURES NEEDED TO ENSURE THE CONTINUED PERFORMANCE OF CONTROL PRACTICES.

INSPECTIONS:
 THE PERMITTEE SHALL ASSIGN "QUALIFIED INSPECTION PERSONNEL" TO CONDUCT INSPECTIONS TO ENSURE THAT THE CONTROL PRACTICES ARE FUNCTIONAL AND TO EVALUATE WHETHER THE SWP3 IS ADEQUATE AND PROPERLY IMPLEMENTED IN ACCORDANCE WITH THE SCHEDULE PROPOSED IN PART III.G.1.H OF THIS PERMIT OR WHETHER ADDITIONAL CONTROL MEASURES ARE REQUIRED. AT A MINIMUM, PROCEDURES IN A SWP3 SHALL PROVIDE THAT ALL CONTROLS ON THE SITE ARE INSPECTED:
 - AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24-HOUR PERIOD BY THE END OF THE NEXT CALENDAR DAY, EXCLUDING WEEKENDS AND HOLIDAYS UNLESS WORK IS SCHEDULED; AND
 - ONCE EVERY SEVEN CALENDAR DAYS.

THE INSPECTION FREQUENCY MAY BE REDUCED TO AT LEAST ONCE EVERY MONTH FOR DORMANT SITES IF:
 - THE ENTIRE SITE IS TEMPORARILY STABILIZED OR
 - RUNOFF IS UNLIKELY DUE TO WEATHER CONDITIONS FOR EXTENDED PERIODS OF TIME (E.G., SITE IS COVERED WITH SNOW, ICE, OR THE GROUND IS FROZEN).

THE BEGINNING AND ENDING DATES OF ANY REDUCED INSPECTION FREQUENCY SHALL BE DOCUMENTED IN THE SWP3.

ONCE A DEFINABLE AREA HAS ACHIEVED FINAL STABILIZATION, THE AREA MAY BE MARKED ON THE SWP3 AND NO FURTHER INSPECTION REQUIREMENTS SHALL APPLY TO THAT PORTION OF THE SITE.

FOLLOWING EACH INSPECTION, A CHECKLIST MUST BE COMPLETED AND SIGNED BY THE QUALIFIED INSPECTION PERSONNEL REPRESENTATIVE. AT A MINIMUM, THE INSPECTION REPORT SHALL INCLUDE:

- I. THE INSPECTION DATE;
- II. NAMES, TITLES, AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION;
- III. WEATHER INFORMATION FOR THE PERIOD SINCE THE LAST INSPECTION (OR SINCE COMMENCEMENT OF CONSTRUCTION ACTIVITY IF THE FIRST INSPECTION) INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT (IN INCHES), AND WHETHER ANY DISCHARGES OCCURRED;
- IV. WEATHER INFORMATION AND A DESCRIPTION OF ANY DISCHARGES OCCURRING AT THE TIME OF THE INSPECTION;
- V. LOCATION(S) OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE;
- VI. LOCATION(S) OF BMPS THAT NEED TO BE MAINTAINED;
- VII. LOCATION(S) OF BMPS THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
- VIII. LOCATION(S) WHERE ADDITIONAL BMPS ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION;
- IX. CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THE SWP3 NECESSARY AND IMPLEMENTATION DATES.

DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF OR THE POTENTIAL FOR POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE SWP3 SHALL BE OBSERVED TO ENSURE THAT THOSE ARE OPERATING CORRECTLY. DISCHARGE LOCATIONS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO THE RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE VEHICLE TRACKING.

THE PERMITTEE SHALL MAINTAIN FOR THREE YEARS FOLLOWING THE SUBMITTAL OF A NOTICE OF TERMINATION FORM, A RECORD SUMMARIZING THE RESULTS OF THE INSPECTION, NAMES(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE SWP3 AND A CERTIFICATION AS TO WHETHER THE FACILITY IS IN COMPLIANCE WITH THE SWP3 AND THE PERMIT AND IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE. THE RECORD AND CERTIFICATION SHALL BE SIGNED IN ACCORDANCE WITH PART V.G. OF THIS PERMIT.

- I. WHEN PRACTICES REQUIRE REPAIR OR MAINTENANCE. IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTENANCE, WITH THE EXCEPTION OF A SEDIMENT SETTLING POND, IT SHALL BE REPAIRED OR MAINTAINED WITHIN 3 DAYS OF THE INSPECTION. SEDIMENT SETTLING PONDS SHALL BE REPAIRED OR MAINTAINED WITHIN 10 DAYS OF THE INSPECTION.
- II. WHEN PRACTICES FAIL TO PROVIDE THEIR INTENDED FUNCTION. IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE FAILS TO PERFORM ITS INTENDED FUNCTION AND THAT ANOTHER, MORE APPROPRIATE CONTROL PRACTICE IS REQUIRED, THE SWP3 SHALL BE AMENDED AND THE NEW CONTROL PRACTICE SHALL BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION.
- III. WHEN PRACTICES DEPICTED ON THE SWP3 ARE NOT INSTALLED. IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE HAS NOT BEEN IMPLEMENTED IN ACCORDANCE WITH THE SCHEDULE CONTAINED IN PART III.G.1.H OF THIS PERMIT, THE CONTROL PRACTICE SHALL BE IMPLEMENTED WITHIN 10 DAYS FROM THE DATE OF THE INSPECTION. IF THE INSPECTION REVEALS THAT THE PLANNED CONTROL PRACTICE IS NOT NEEDED, THE RECORD SHALL CONTAIN A STATEMENT OF EXPLANATION AS TO WHY THE CONTROL PRACTICE IS NOT NEEDED.

SPILL REPORTING REQUIREMENTS:
 IN THE EVENT OF A SMALL RELEASE (LESS THAN 25 GALLONS) OF PETROLEUM WASTE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE CLEAN-UP AND CONTACT CITY REPRESENTATIVES WITHIN 30 MINUTES OF SPILL.

IN THE EVENT OF A LARGE RELEASE (25 OR MORE GALLONS) OF PETROLEUM WASTE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE OHIO EPA (1-800-282-9378), LOCAL FIRE DEPARTMENT, AND CITY REPRESENTATIVES WITHIN 30 MINUTES OF SPILL.

CONTROL IMPLEMENTATION SCHEDULE:

1. THE CONTRACTOR SHALL PLACE SEDIMENT FENCE AND STABILIZED CONSTRUCTION ENTRANCE PRIOR TO ANY CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE DETAILS OF THIS PLAN.
2. UPON EXCAVATION OF SEDIMENT (DETENTION) BASINS, CONTRACTOR SHALL INSTALL FAIRCLOTH SKIMMER AND PLACE SEED AND/OR EROSION CONTROL BLANKETS AS NECESSARY TO ELIMINATE SEDIMENT RUNOFF.
3. UPON COMPLETION OF SITE CLEARING, THE CONTRACTOR SHALL PLACE SEED AND/OR EROSION CONTROL BLANKETS AS NECESSARY TO ELIMINATE SEDIMENT RUNOFF.
4. THE CONTRACTOR SHALL PLACE SEEDING AND MULCHING AS NECESSARY TO RE-ESTABLISH ALL DENUDED AREAS.
5. THE CONTRACTOR SHALL PROPERLY MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION OPERATIONS.
6. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EROSION CONTROL DEVICES, INCLUDING FAIRCLOTH SKIMMER AND SEDIMENTATION FROM SEDIMENT BASIN, ONLY AFTER ALL AREAS HAVE BEEN SEEDED/MULCHED AND 70% STABILIZED.
7. THE CONTRACTOR SHALL INSTALL POST-CONSTRUCTION WATER QUALITY DEVICE ON POND WATER QUALITY STRUCTURE.
8. AFTER REMOVAL OF THE EROSION CONTROL DEVICES, THE CONTRACTOR SHALL CLEAN ALL EXISTING INLETS AND STORM SEWER PIPES AND ROCK CHANNEL PROTECTION OF ALL SEDIMENT & DEBRIS INCURRED DURING CONSTRUCTION.

A MAXIMUM EFFORT SHALL BE MADE TO PROTECT FINE SPECIES OF VEGETATION LOCATED OUTSIDE OF THE CONSTRUCTION LIMITS SHOWN. NO MATERIAL OR TEMPORARY DEPOSITS SHALL BE PLACED WITH 4' OF SHRUBS OR WITHIN THE DRIP, AND AT LEAST 10' OF TREES DESIGNATED BY THE OWNER/DEVELOPER OR THE L.C.P.C. TO BE RETAINED.

THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE FOLLOWING ITEMS:

1. NOTICE-OF-INTENT (NOI) MUST BE SUBMITTED TO THE OHIO EPA PRIOR TO CONSTRUCTION.
2. NOTICE-OF-TERMINATION (NOT) MUST BE SUBMITTED TO THE OHIO EPA AFTER CONSTRUCTION.
3. STORMWATER POLLUTION PREVENTION PLAN AND NOI MUST BE POSTED ON SITE AT ALL TIMES.
4. COPIES OF ALL PERMITS, INSPECTION REPORTS, AND ANY OEPA CORRESPONDENCE SHALL BE SUBMITTED TO COUNTY PLANNING COMMISSION.

SOIL STABILIZATION:
 STABILIZATION OF DISTURBED AREAS SHALL, AT A MINIMUM, BE INITIATED IN ACCORDANCE WITH THE TIME FRAMES SPECIFIED IN THE FOLLOWING TABLES:

PERMANENT STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION:	TIME FRAME TO APPLY EROSION CONTROLS:
ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A STREAM AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

TEMPORARY STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION:	TIME FRAME TO APPLY EROSION CONTROLS:
ANY DISTURBED AREAS WITHIN 50 FEET OF A STREAM AND NOT AT FINAL GRADE	WITHIN 2 DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN 1 YEAR, AND NOT WITHIN 50 FEET OF A STREAM	WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST 7 DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S)
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO THE ONSET OF WINTER WEATHER

WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE UNOBTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED. PERMANENT AND TEMPORARY STABILIZATION IS DEFINED IN PART VII OF THE OHIO ENVIRONMENTAL PROTECTION AGENCY GENERAL PERMIT AUTHORIZATION FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM, PERMIT NO.: OHC000005, EFFECTIVE APRIL 23, 2018, AND EXPIRES APRIL 22, 2023. SOURCE: OHIO EPA PERMIT No. OH000005, PART II, SUBSECTION (B) ON PAGE 9 OF 60.

SEEDING AND MULCHING

SPECIFICATIONS FOR PERMANENT SEEDING AND MULCHING			
SEED TYPE	SEEDING DATES	PER 1000 SQ FT	PER ACRE
CREeping RED FESCUE DOMESTIC RYEGRASS KENTUCKY BLUEGRASS	MAR. 1 to MAY 31, # AUG. 1 to SEP. 30	0.50 to 1.00 LBS. 0.25 to 0.50 LBS. 0.50 to 1.00 LBS.	20 to 40 LBS. 10 to 20 LBS. 10 to 40 LBS.
TALL FESCUE		1.00 to 1.25 POUNDS	40-45 POUNDS
SMALL GRAIN STRAW MULCH		90 POUNDS (2 TO 3 BALES)	2 TONS
FERTILIZER		12 POUNDS OF 10-10-10	500 POUNDS OF 10-10-1

SPECIFICATIONS FOR TEMPORARY SEEDING			
ANNUAL RYEGRASS PERENNIAL RYEGRASS CREeping RED FESCUE KENTUCKY BLUEGRASS	MAR. 1 to AUG. 15	1.25 LBS. 3.25 LBS. 0.40 LBS. 0.40 LBS.	55 LBS. 142 LBS. 17 LBS. 17 LBS.
RYE TALL FESCUE ANNUAL RYEGRASS	AUG. 16 to OCT. 31	3.00 LBS. 1.00 LBS. 1.00 LBS.	112 LBS. 40 LBS. 40 LBS.
MULCH OR DORMANT SEEDING ONLY	NOV. 1 to FEB. 29		

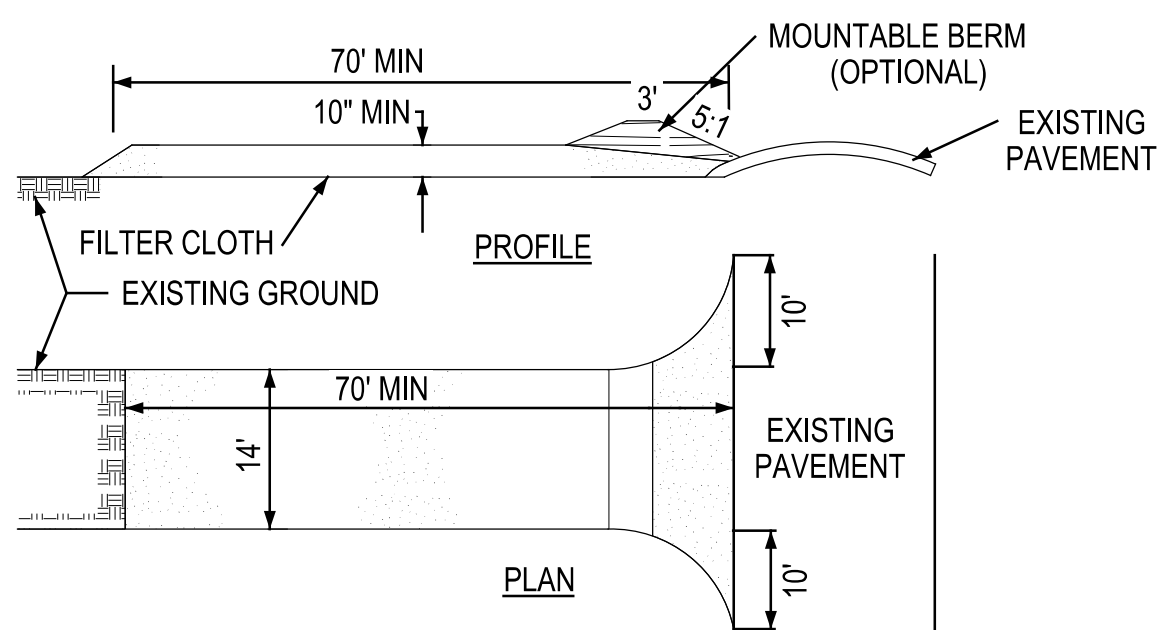
SPECIFICATIONS FOR SOIL PROTECTION			
SMALL GRAIN STRAW MULCH		90 POUNDS (2 TO 3 BALES)	2 TONS

THE ABOVE TABLE PROVIDED FROM THE RAINWATER AND LAND DEVELOPMENT MANUAL, CHAPTER 7. SEE MANUAL FOR ADDITIONAL REQUIREMENTS.

IF SEEDING OCCURS OUTSIDE OF THE ABOVE SPECIFIED DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE A MINIMUM OF 80% GERMINATION.

STORM WATER POLLUTION PREVENTION PLAN

(SCE) STABILIZED CONSTRUCTION ENTRANCE

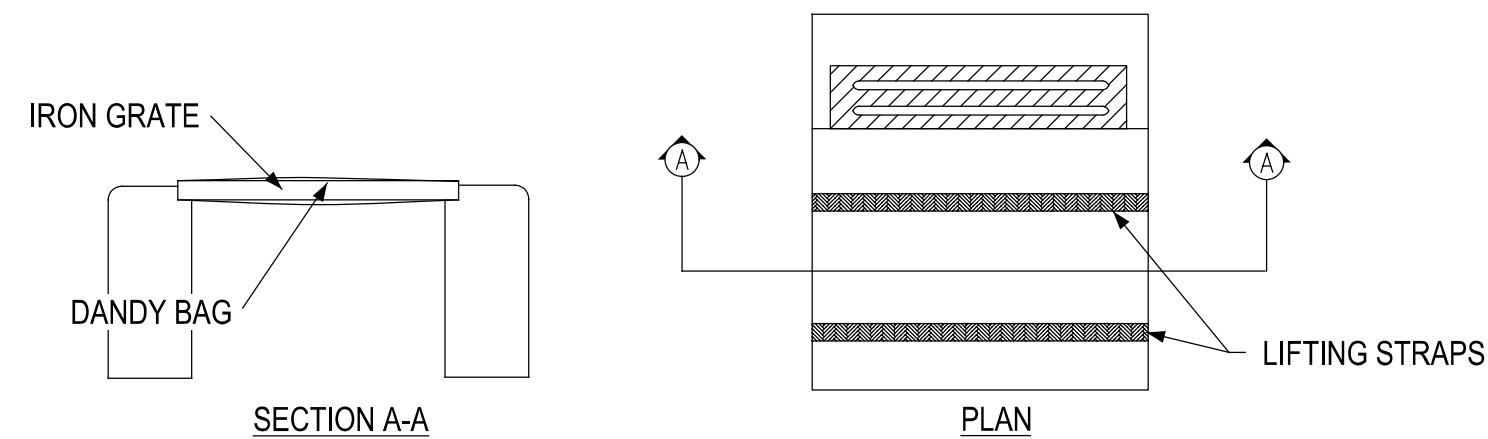


CONSTRUCTION SPECIFICATIONS

1. LOCATION- CONTRACTOR SHALL PLACE SCE AT THE BEST LOCATION TO PREVENT SEDIMENT FROM BEING TRACKED FROM SITE.
2. STONE SIZE- USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
3. LENGTH- AS REQUIRED (70' MIN.).
4. THICKNESS- NOT LESS THAN TEN (10) INCHES.
5. WIDTH- FOURTEEN (14) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
6. FILTER CLOTH- WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
7. SURFACE WATER- ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
8. MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
9. WASHING- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
10. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

CONTROL SHOWN SHALL MEET THE SPECIFICATIONS OF CITY OF COLUMBUS STD. DWG. 2230

(IP) INLET PROTECTION

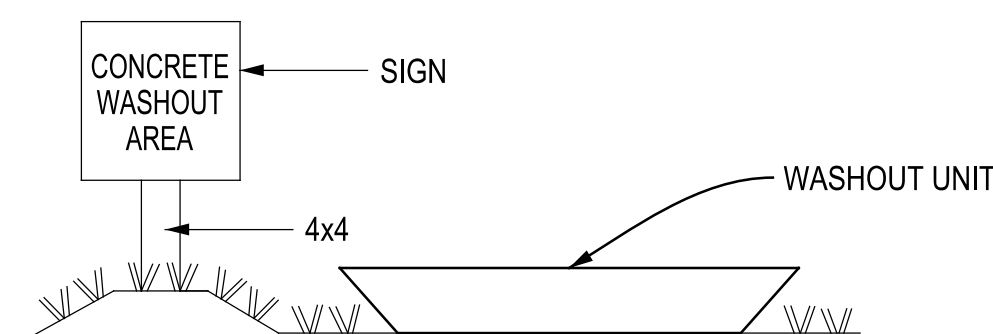


INSTALLATION: STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. ROLL GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF DANDY BAG IS VISIBLE.

MAINTENANCE: REMOVE DRIED SEDIMENT FROM SURFACE OF UNIT AS NEEDED WITH STIFF BROOM OR SQUARE POINT SHOVEL. REMOVE FINE MATERIAL FROM INSIDE ENVELOPE AS NEEDED.

CONTROL SHOWN SHALL MEET THE SPECIFICATIONS OF O.D.O.T. STD. DWG. DM-4.4

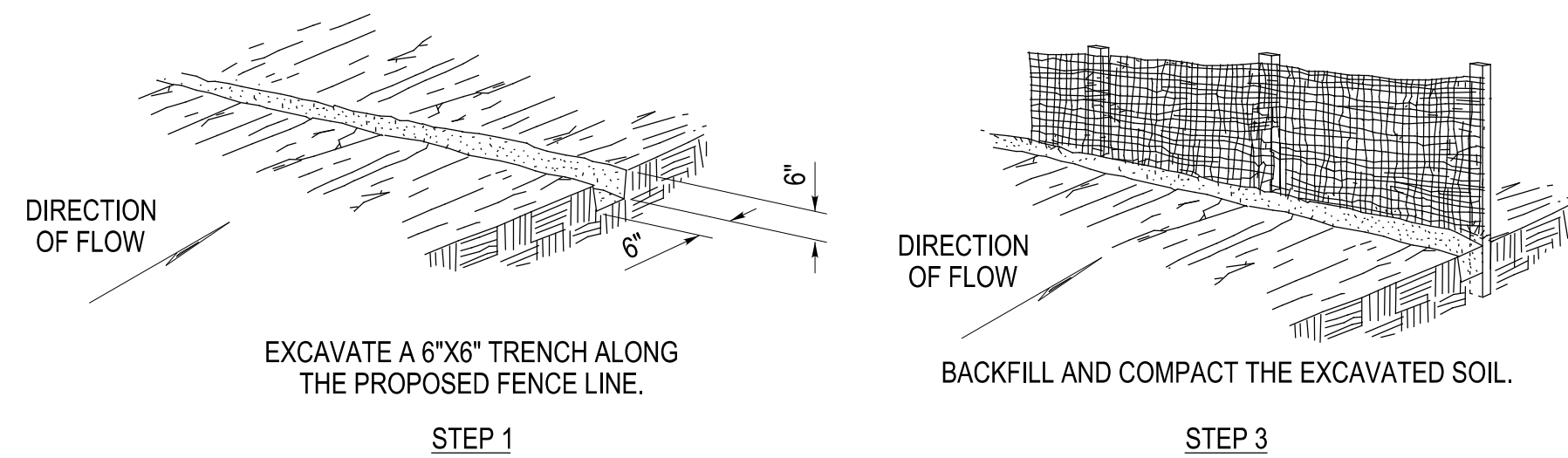
(CW) CONCRETE WASHOUT



CONSTRUCTION SPECIFICATIONS

1. LOCATION- ALL CONCRETE WASHOUT CONTAINERS SHALL BE PLACED AT LEAST 100' FROM ANY STORM SEWER INLET POINT, OR ANY BODY OF WATER TO AVOID AN ACCIDENTAL RELEASE CAUSED BY A SPILL. ALL WASHOUT LOCATIONS SHALL BE DESIGNATED BY SIGN SEEN HERE ON THIS DETAIL.
2. CONCRETE WASHOUTS SHALL BE AT A MINIMUM A SELF CONTAINED UNIT THAT WILL NOT ALLOW CONCRETE WASH WATER TO ABSORB INTO THE GROUND. THE CONTAINER SHOULD HAVE SUFFICIENT CAPACITY SUCH THAT IT WILL NOT OVERFLOW AND CAUSE A SPILL. ALL WASTE SHALL BE TAKEN TO LANDFILL DESIGNATED FOR CONSTRUCTION DEBRIS, AS NEEDED, TO PREVENT OVERFLOWS AND SPILLS.

(FF) PERIMETER FILTER FABRIC FENCE



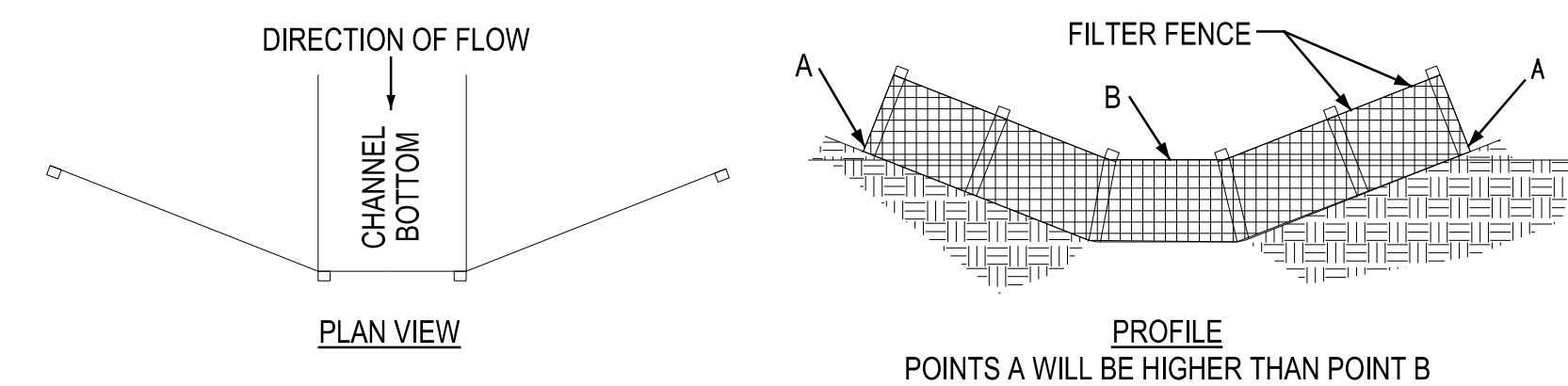
MATERIALS: FURNISH 30" WIDE FILTER FABRIC WITH SOUND WOOD SUPPORTS WITH MAXIMUM ON-CENTER SPACING OF 10'. USE FILTER FABRIC CONFORMING TO 712.09 TYPE C.

CONSTRUCTION: TRENCH THE FILTER FABRIC FENCE AS DETAILED. THE CONTRACTOR MAY ELECT TO TRENCH THE FENCE DETAILED ON STEPS 1 THROUGH 3 IN ONE PLOWING OPERATION.

FILTER FENCE SHALL BE WRAPPED AROUND ALL SIDE OF END STAKES.

CONTROL SHOWN SHALL MEET THE SPECIFICATIONS OF THE RAINWATER AND LAND DEVELOPMENT MANUAL, CHAPTER 6.3

(DC) DITCH CHECK



CHANNEL FLOW APPLICATIONS: FENCE SHALL BE PLACED PERPENDICULAR TO THE CONTOUR.

THE FENCE SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOM OF THE ENDS ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST FENCE TO ASSURE THAT SEDIMENT-LADEN RUNOFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER BUT NOT AROUND IT.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED FENCE, END RUNS AND UNDERCUTTING.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF FENCE SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE DITCH CHECK IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

MAINTENANCE: FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

CONTROL SHOWN SHALL MEET THE SPECIFICATIONS OF O.D.O.T. STD. DWG. DM-4.4

PRINTED 5/20/2022 7:22:34 AM P:\ADR\2021\1-079 Eastgate Expansion - Cahanna.dgn\Site Improvement Plan\08-10_SWPPP.dgn

DRAWN	CHECKED	REVIEWED
BBW	RRB	



REVISIONS

STORM WATER POLLUTION PREVENTION PLAN

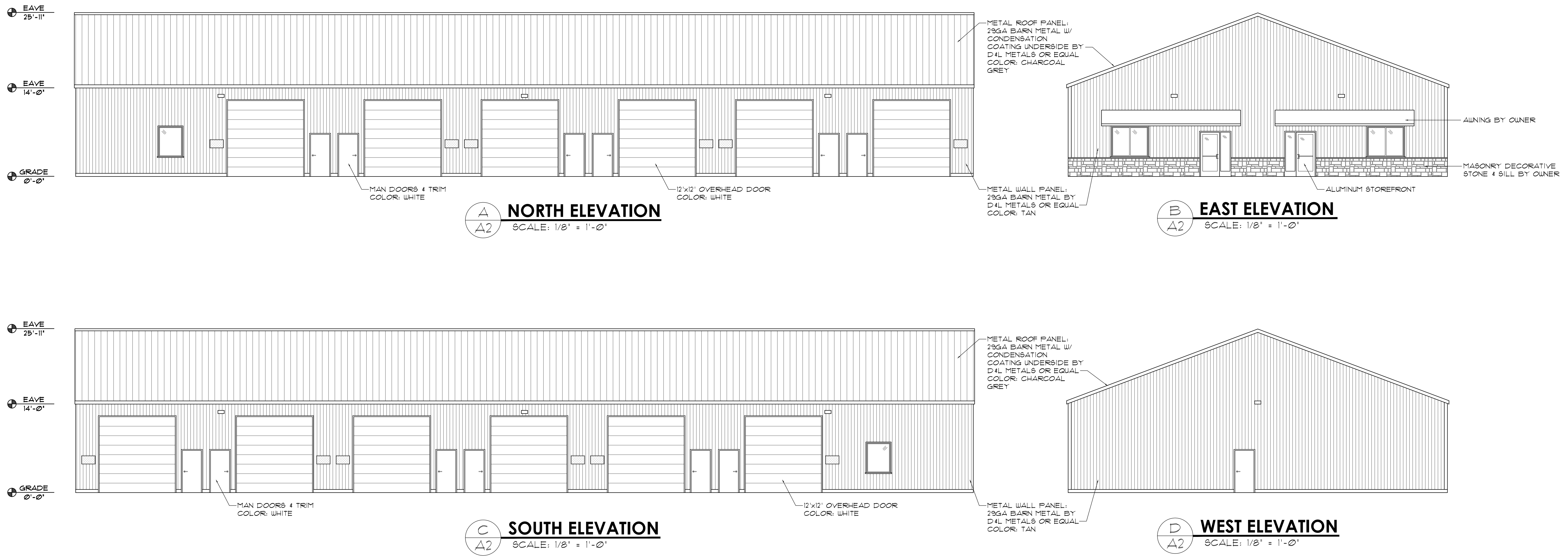
EASTGATE COMMERCIAL PARK, PHASE II SITE IMPROVEMENT PLANS THE CITY OF GAHANNA, OHIO

MAY 20, 2022
JOB #21-079

PV-443

10
10





A NORTH ELEVATION
SCALE: 1/8" = 1'-0"

B EAST ELEVATION
SCALE: 1/8" = 1'-0"

C SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

D WEST ELEVATION
SCALE: 1/8" = 1'-0"

EASTGATE COMMERCIAL PARK
BUILDING 4
EASTGATE PARKWAY, GAHANNA OHIO 43230

ROOM FINISH SCHEDULE								
NO.	NAME	FLOOR	BASE	WALLS	CEILING			REMARKS
		MATERIAL	MATERIAL	MATERIAL	COLOR	MATERIAL	HGT.	
101	OFFICE SPACE	CARPET TILE	4" VINYL	5/8" DRYWALL	-	2x4 ACT	8'-0"	-
102	RESTROOM	VCT	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	1
103	OFFICE SPACE	CARPET TILE	4" VINYL	5/8" DRYWALL	-	2x4 ACT	8'-0"	-
104	RESTROOM	VCT	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	1
105	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
106	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
107	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
108	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
109	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
110	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
111	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
112	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
113	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
114	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
115	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
116	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
117	RESTROOM	VCT	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	1

REMARKS:
1. FRP TO 4'-0" H ON WET WALLS IN RESTROOM.

FINISHES:
WALLS & CEILING OF ROOMS OR ENCLOSED SPACES SHALL BE MINIMUM CLASS C FINISH.
CLASS B: FLAME SPREAD 20-75 SMOKE DEVELOPED 0-450
CLASS C: FLAME SPREAD 76-200 SMOKE DEVELOPED 0-450

ALL FINISH RATINGS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE 2011 OBC.
FINISH MATERIALS SHALL BE AS FOLLOWS:
DW - 5/8" DRYWALL BY GOLD BOND OR EQUAL
VINYL BASE - 4" HIGH ARMSTRONG OR EQUAL
VINYL TILE (VCT) - ARMSTRONG OR EQUAL
ACOUSTIC CEILING TILE (ACT) - ARMSTRONG DUNE OR EQUAL
CARPET SHALL MEET DOC FF-1 'FILL TEST' (CF8C 16 CFR PART 1630)

INTERIOR PAINTING - DRYWALL:
FIRST COAT - DRYWALL PRIMER SEALER
SECOND COAT - EGGSHELL LATEX
THIRD COAT - EGGSHELL LATEX
EXTERIOR PAINTING - DOORS & DOOR FRAMES:
FIRST COAT - PRIMER
SECOND COAT - SEMI-GLOSS ALKYD EXTERIOR ENAMEL
THIRD COAT - SEMI-GLOSS ALKYD EXTERIOR ENAMEL
METAL PANEL - INTERIOR & EXTERIOR:
INTERIOR WALL & CEILING - 29GA LINER PANEL BY D4L METALS OR EQUAL
EXTERIOR WALL - 29GA BARN METAL BY D4L METALS OR EQUAL
ROOF - 29GA BARN METAL W/ CONDENSATION COATING UNDERSIDE BY D4L METALS OR EQUAL

DOOR SCHEDULE						
DOOR NO.	DOOR		FRAME MATL.	FIRE RATING	HARDWARE	
	TYPE	SIZE			MATL.	
101a	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
101b	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
102	B	3'0" x 7'0" x 1 3/4"	SC WOOD	HM	Ø HR	(2)
103a	A	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
103b	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
104	B	3'0" x 7'0" x 1 3/4"	SC WOOD	HM	Ø HR	(2)
105	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
106	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
107	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
108	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
109	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
110	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
111	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
112	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
113	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
114	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
115	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
116	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(1)
117	B	3'0" x 7'0" x 1 3/4"	INSUL. MTL	HM	Ø HR	(2)
OH1	C	12'0" x 12'0"	INSUL. MTL	MTL	Ø HR	(3)

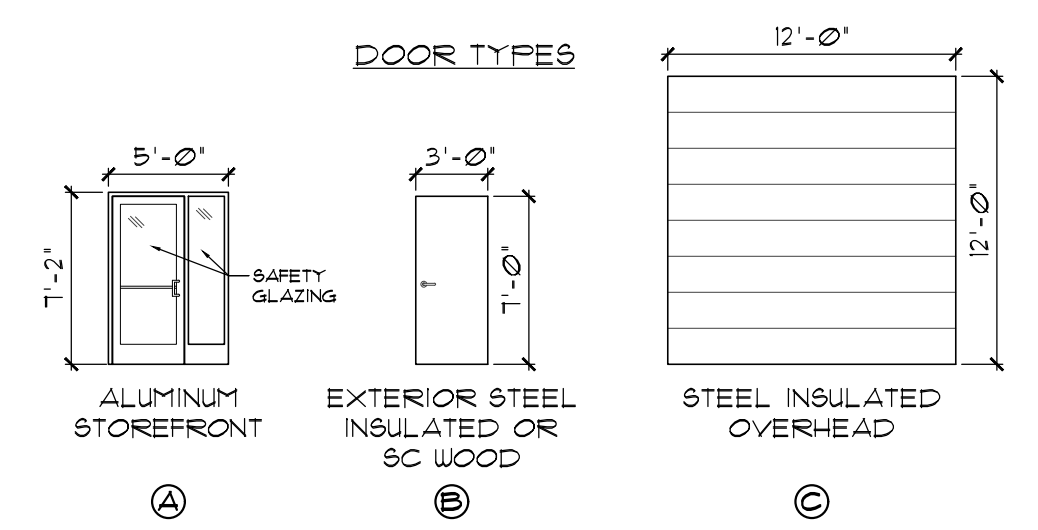
DOOR HARDWARE
(1) 1 1/2 SET HINGES, CLOSER, KEYED LOCKSET
(2) 1 1/2 SET HINGES, CLOSER, PRIVACY LOCKSET
(3) SLIDE LOCK

ADA REQUIREMENTS
ALL HARDWARE SHALL MEET ADA (ADAAG) REQUIREMENTS PER ICC AND ANSI 117.1. ALL DOOR OPENING DEVICES SHALL BE LEVER TYPE.

HARDWARE SPECIFICATIONS:
DOOR LOCKSETS: SCHLAGE OR EQUAL
WALL STOP: HAGGER 324W
CLOSER: HAGGER 5300 SERIES
KICK PLATES: HAGGER 1905
HINGES: HAGGER BB 1219
SEALS: NGF 1605
DOOR SWEEP: NGF 1994A
THRESHOLD: NGF 424
STEEL DOORS: 18GA, GALVANNEALED STEEL, FULL FLUSH, SEAMLESS, STEELCRAFT L18
FRAMES: 16GA, STEEL, WELDED, STEELCRAFT F16

HARDWARE NOTES:

- HARDWARE FOR ALL EGRESS DOORS SHALL MAINTAIN THE DOORS READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT. DRAW BOLTS, HOOKS, AND OTHER SIMILAR DEVICES ARE PROHIBITED ON ALL EGRESS DOORS.
- SAFETY GLAZING SHALL BE PROVIDED AT THE FOLLOWING:
A. GLAZING IN ALL INGRESS AND EGRESS DOORS.
B. GLAZING OPERABLE OR INOPERABLE ADJACENT TO A DOOR AND WITHIN THE SAME WALL PLANE AS THE DOOR WHOSE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- PROVIDE HARDWARE SCHEDULE FOR APPROVAL.
- HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOOR SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT FINCHING OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 INCHES ABOVE FINISHED FLOOR.
- IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 10 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
- THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:
A. DOORS WITHOUT CLOSERS: 5 POUND FORCE
B. OTHER DOORS: 15 POUND FORCE
- THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/4 INCH IN HEIGHT FOR EXTERIOR SLIDING DOORS OR 1/2 INCH FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.



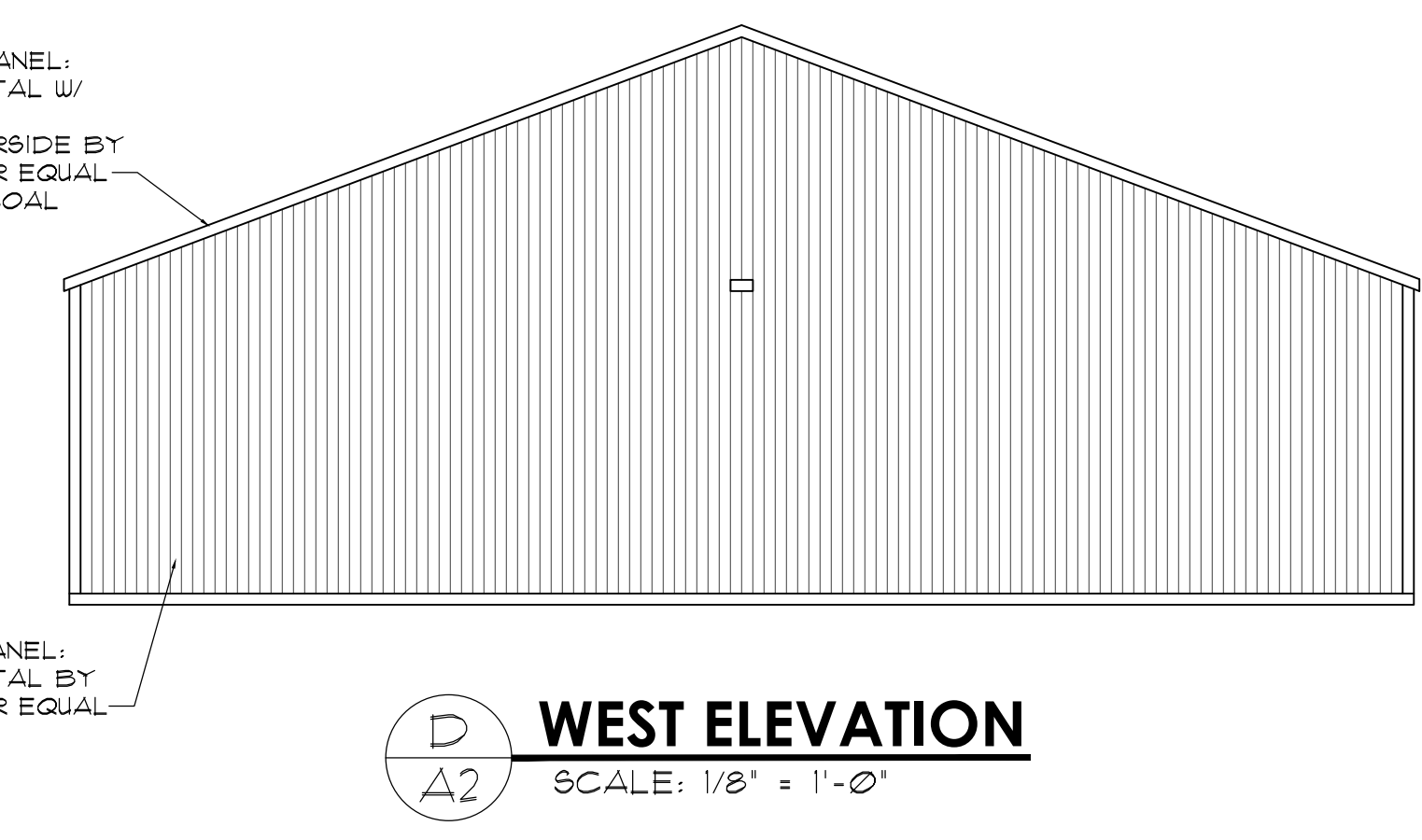
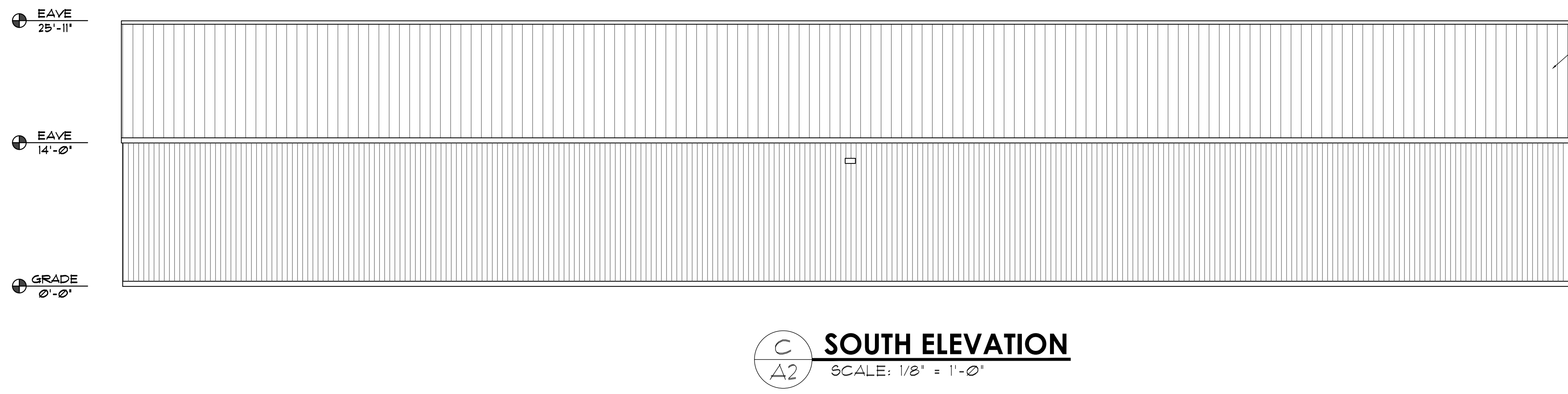
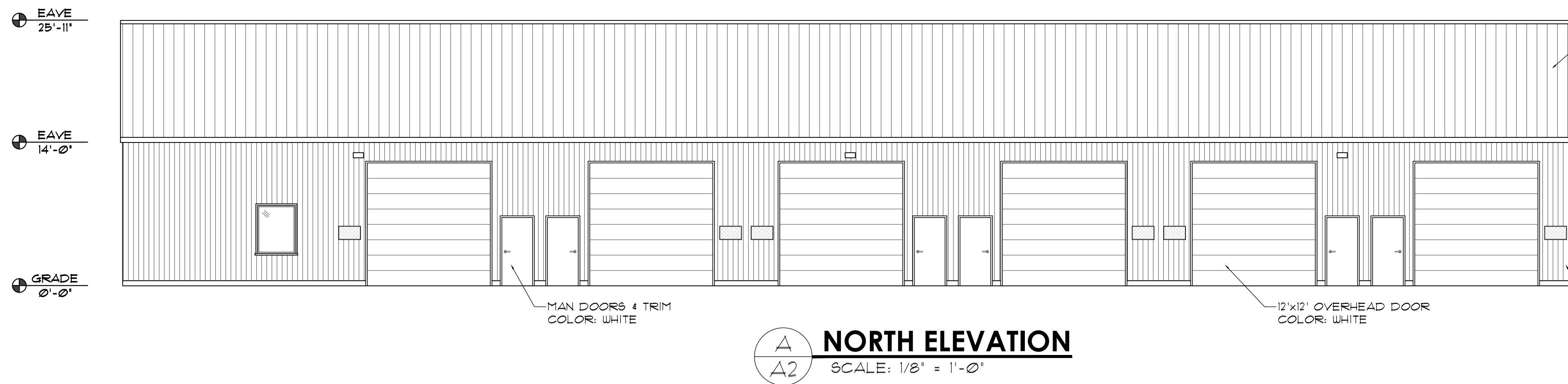
WINDOW SCHEDULE						
MARK	TYPE	GLAZING	SILL HEIGHT	HEAD HEIGHT	RO. (H/W)	REMARKS
Ø1	HM - 2 LITE	INSULATED, TINTED, LOW E	3'-0"	8'-0"	5'-0" x 6'-0"	-
Ø2	HM - 1 LITE	INSULATED, TINTED, LOW E	3'-0"	8'-0"	5'-0" x 4'-0"	-



JH Architects, Inc.
5120 B Nike Drive
Hilliard, Ohio 43026
614-527-7590 Fax 614-527-7592

21010
07-12-21

A2



ROOM FINISH SCHEDULE								
NO.	NAME	FLOOR	BASE	WALLS		CEILING		REMARKS
		MATERIAL	MATERIAL	MATERIAL	COLOR	MATERIAL	HGT.	
101	OFFICE SPACE	CARPET TILE	4" VINYL	5/8" DRYWALL	-	2x4 ACT	8'-0"	-
102	RESTROOM	VCT	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	1
103	OFFICE SPACE	CARPET TILE	4" VINYL	5/8" DRYWALL	-	2x4 ACT	8'-0"	-
104	RESTROOM	VCT	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	1
105	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
106	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
107	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
108	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
109	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
110	STORAGE UNIT	CONCRETE	-	METAL PANEL	-	METAL PANEL	14'-0"	-
111	RESTROOM	VCT	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	1
112	RESTROOM	VCT	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	1
113	RESTROOM	VCT	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	1
114	RESTROOM	VCT	4" VINYL	5/8" DRYWALL	-	5/8" DRYWALL	8'-0"	1

DOOR SCHEDULE						
DOOR NO.	TYPE	DOOR		FRAME MATL.	FIRE RATING	HARDWARE
		SIZE	MATL.			
101a	A	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
101b	B	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
102	B	3'0" x 1'0" x 1 3/4"	SC WOOD	HM	0 HR	(2)
103a	A	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
103b	B	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
104	B	3'0" x 1'0" x 1 3/4"	SC WOOD	HM	0 HR	(2)
105	B	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
106	B	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
107	B	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
108	B	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
109	B	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
110	B	3'0" x 1'0" x 1 3/4"	INSUL. MTL	HM	0 HR	(1)
111	B	3'0" x 1'0" x 1 3/4"	SC WOOD	HM	0 HR	(2)
112	B	3'0" x 1'0" x 1 3/4"	SC WOOD	HM	0 HR	(2)
113	B	3'0" x 1'0" x 1 3/4"	SC WOOD	HM	0 HR	(2)
114	B	3'0" x 1'0" x 1 3/4"	SC WOOD	HM	0 HR	(2)
OH1	C	12'0" x 12'0"	INSUL. MTL	MTL	0 HR	(3)

DOOR HARDWARE
 (1) 1 1/2 SET HINGES, CLOSER, KEYED LOCKSET
 (2) 1 1/2 SET HINGES, CLOSER, PRIVACY LOCKSET
 (3) SLIDE LOCK

ADA REQUIREMENTS
 ALL HARDWARE SHALL MEET ADA (ADAAG) REQUIREMENTS PER ICC AND ANSI 117.1. ALL DOOR OPENING DEVICES SHALL BE LEVER TYPE.

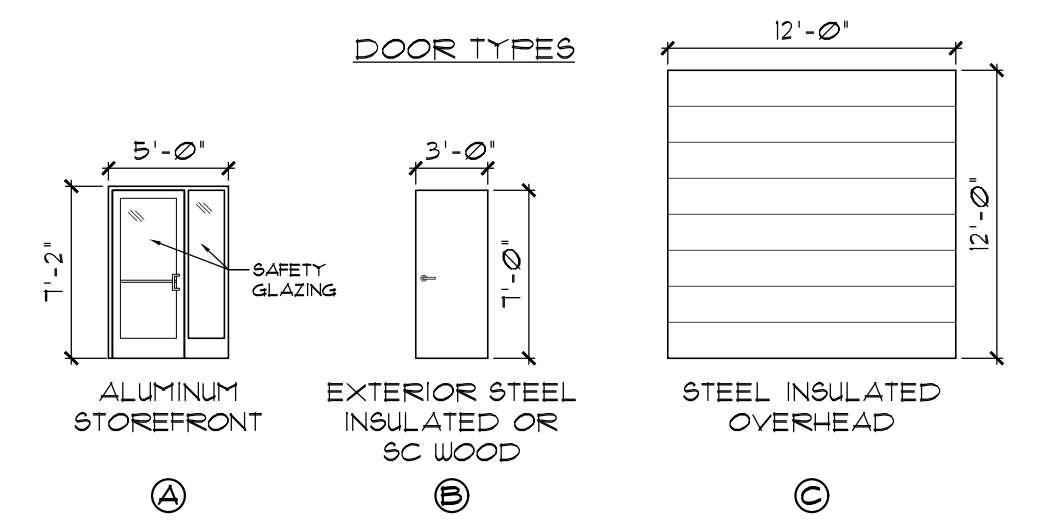
HARDWARE SPECIFICATIONS:
 DOOR LOCKSETS: SCHLAGE OR EQUAL
 WALL STOP: HAGGER 324W
 CLOSER: HAGGER 5300 SERIES
 KICK PLATES: HAGGER 1905
 HINGES: HAGGER BB 1219
 SEALS: NGF 1605
 DOOR SWEEP: NGF 1994A
 THRESHOLD: NGF 424
 STEEL DOORS: 18GA, GALVANNEALED STEEL, FULL FLUSH, SEAMLESS, STEELCRAFT L18
 FRAMES: 16GA, STEEL, WELDED, STEELCRAFT F16

- HARDWARE NOTES:**
- HARDWARE FOR ALL EGRESS DOORS SHALL MAINTAIN THE DOORS READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT, DRAW BOLTS, HOOKS, AND OTHER SIMILAR DEVICES ARE PROHIBITED ON ALL EGRESS DOORS.
 - SAFETY GLAZING SHALL BE PROVIDED AT THE FOLLOWING:
 A. GLAZING IN ALL INGRESS AND EGRESS DOORS.
 B. GLAZING OPERABLE OR INOPERABLE, ADJACENT TO A DOOR AND WITHIN THE SAME WALL PLANE AS THE DOOR WHOSE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - PROVIDE HARDWARE SCHEDULE FOR APPROVAL.
 - HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOOR SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 INCHES ABOVE FINISHED FLOOR.
 - IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 10 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 2 INCHES FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
 - THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:
 A. DOORS WITHOUT CLOSERS: 5 POUND FORCE
 B. OTHER DOORS: 15 POUND FORCE
 - THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/4 INCH IN HEIGHT FOR EXTERIOR SLIDING DOORS OR 1/2 INCH FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.

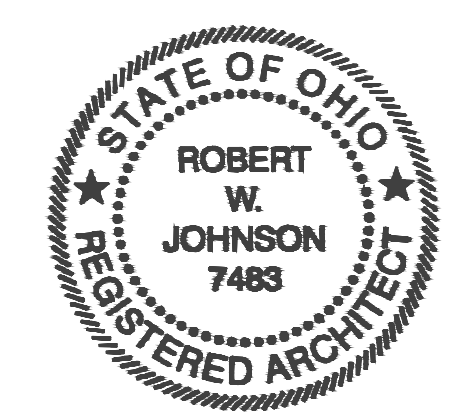
REMARKS:
 1. FRP TO 4'-0" ON WET WALLS IN RESTROOM.

FINISHES:
 WALLS & CEILING OF ROOMS OR ENCLOSED SPACES SHALL BE MINIMUM CLASS C FINISH.
 CLASS B, FLAME SPREAD 26-75
 SMOKE DEVELOPED 0-450
 CLASS C, FLAME SPREAD 76-200
 SMOKE DEVELOPED 0-450
 ALL FINISH RATINGS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE 2011 IBC.
 FINISH MATERIALS SHALL BE AS FOLLOWS:
 DW - 5/8" DRYWALL BY GOLD BOND OR EQUAL
 VINYL BASE - 4" HIGH ARMSTRONG OR EQUAL
 VINYL TILE (VCT) - ARMSTRONG OR EQUAL
 ACOUSTIC CEILING TILE (ACT) - ARMSTRONG DUNE OR EQUAL
 CARPET SHALL MEET DOC FF-1 'FILL TEST' (CPSC 16 CFR PART 1630)

INTERIOR PAINTING - DRYWALL:
 FIRST COAT - DRYWALL PRIMER SEALER
 SECOND COAT - EGGHELL LATEX
 THIRD COAT - EGGHELL LATEX
EXTERIOR PAINTING - DOORS & DOOR FRAMES:
 FIRST COAT - PRIMER
 SECOND COAT - SEMI-GLOSS ALKYD EXTERIOR ENAMEL
 THIRD COAT - SEMI-GLOSS ALKYD EXTERIOR ENAMEL
METAL PANEL - INTERIOR & EXTERIOR:
 INTERIOR WALL & CEILING - 29GA LINER PANEL BY D4L METALS OR EQUAL
 EXTERIOR WALL - 29GA BARN METAL BY D4L METALS OR EQUAL
 ROOF - 29GA BARN METAL W/ CONDENSATION COATING UNDERSIDE BY D4L METALS OR EQUAL



WINDOW SCHEDULE						
MARK	TYPE	GLAZING	SILL HEIGHT	HEAD HEIGHT	RO. (HxW)	REMARKS
01	HM - 2 LITE	INSULATED, TINTED, LOW E	3'-0"	8'-0"	5'-0" x 6'-0"	-
02	HM - 1 LITE	INSULATED, TINTED, LOW E	3'-0"	8'-0"	5'-0" x 4'-0"	-

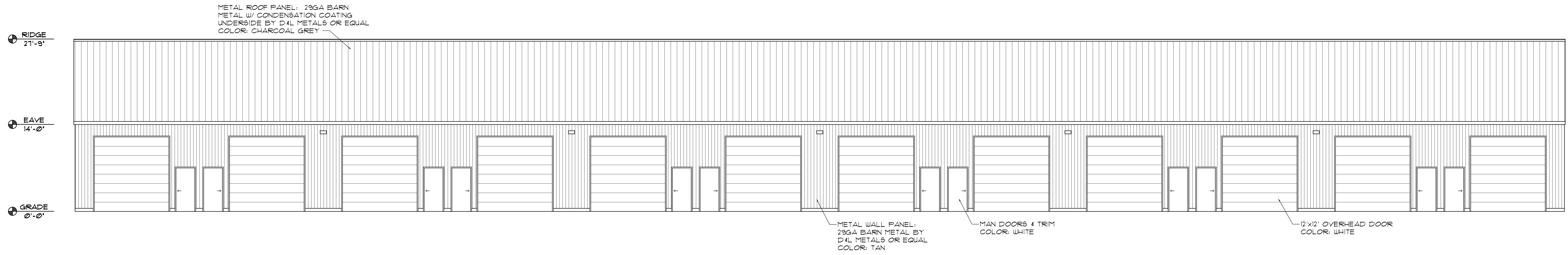


EASTGATE COMMERCIAL PARK
 BUILDING 5
 EASTGATE PARKWAY, GAHANNA OHIO 43230

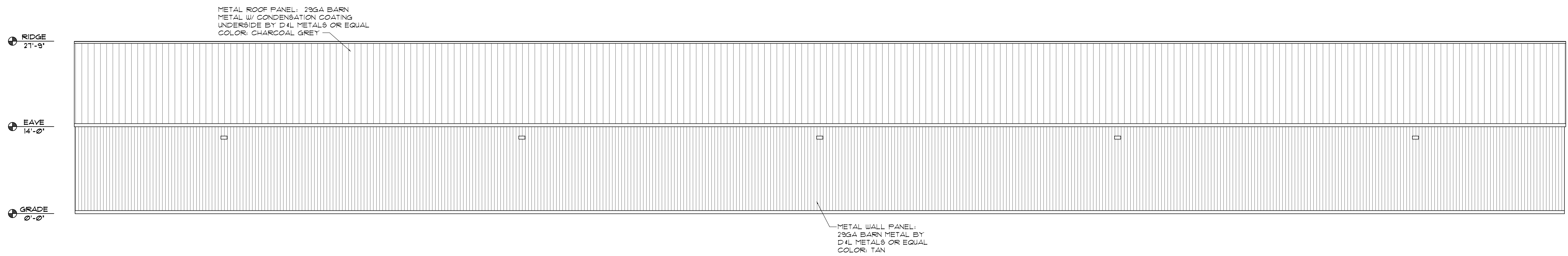
JH Architects, Inc.
 5120 B Nike Drive
 Hilliard, Ohio 43026
 614-527-7590 Fax 614-527-7592

21010
07-12-21

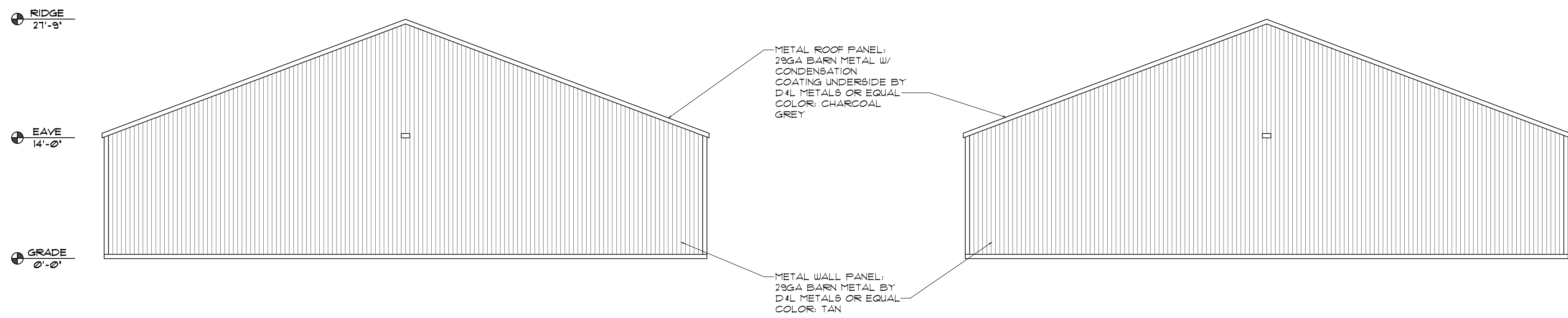
A2



A
A2 **EAST ELEVATION**
SCALE: 1/8" = 1'-0"



C
A2 **WEST ELEVATION**
SCALE: 1/8" = 1'-0"



B
A2 **NORTH ELEVATION**
SCALE: 1/8" = 1'-0"

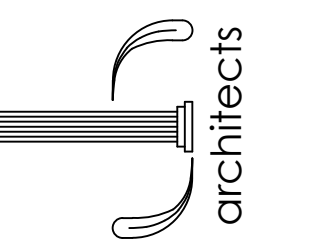
D
A2 **SOUTH ELEVATION**
SCALE: 1/8" = 1'-0"

EASTGATE COMMERCIAL PARK

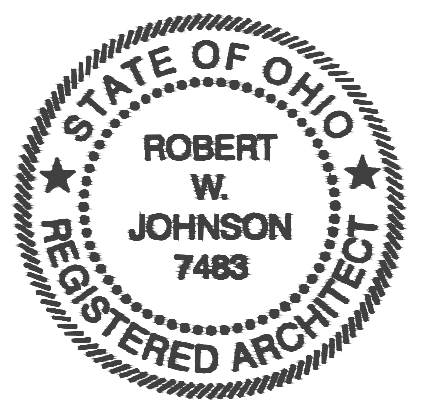
BUILDING 6
EASTGATE PARKWAY, GAHANNA OHIO 43230

JH Architects, Inc.

5120 B Nike Drive
Hilliard, Ohio 43026
614-527-7590 Fax 614-527-7592



19046
12-08-21



A2

D

C

B

A

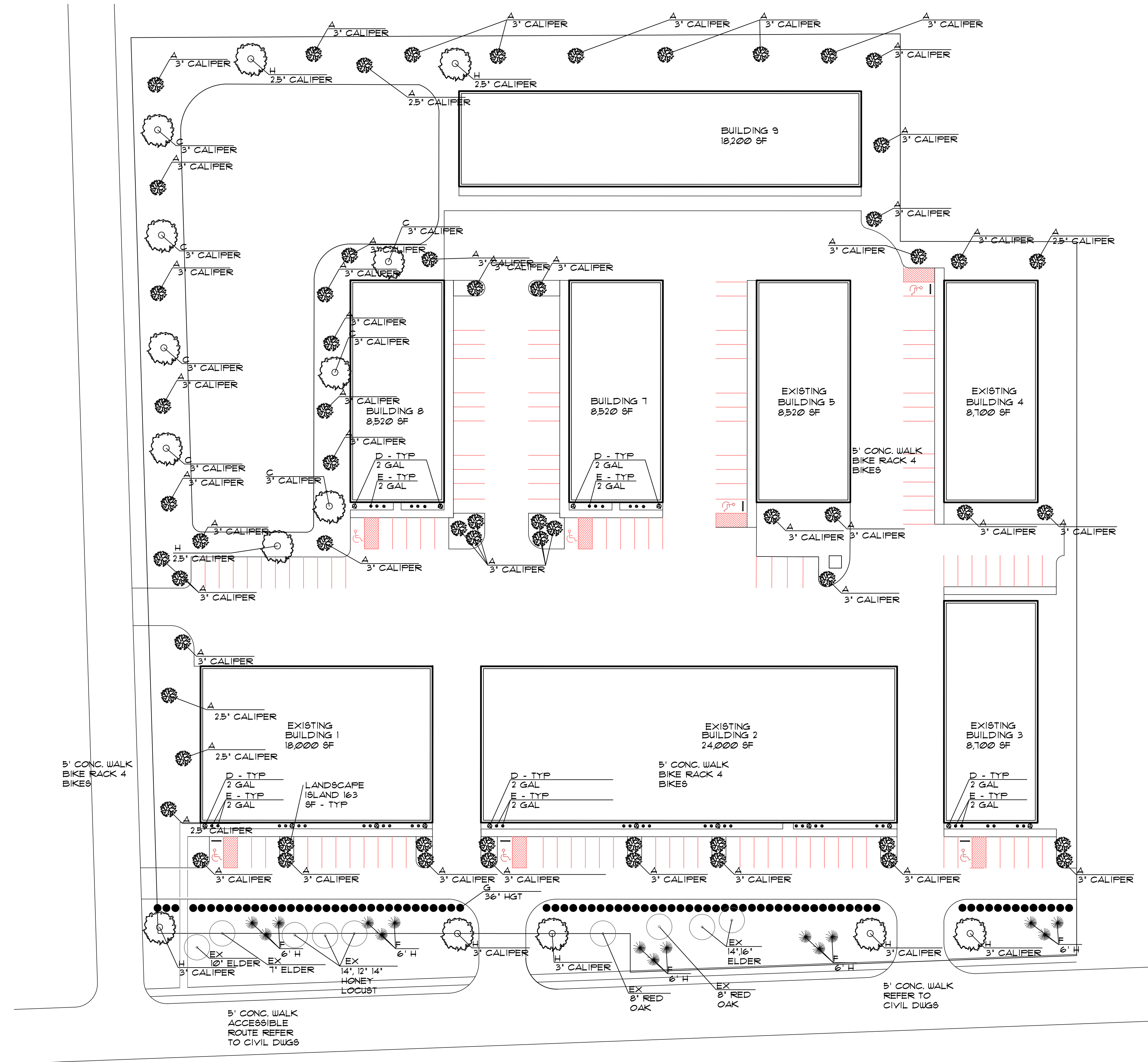
1

2

3

4

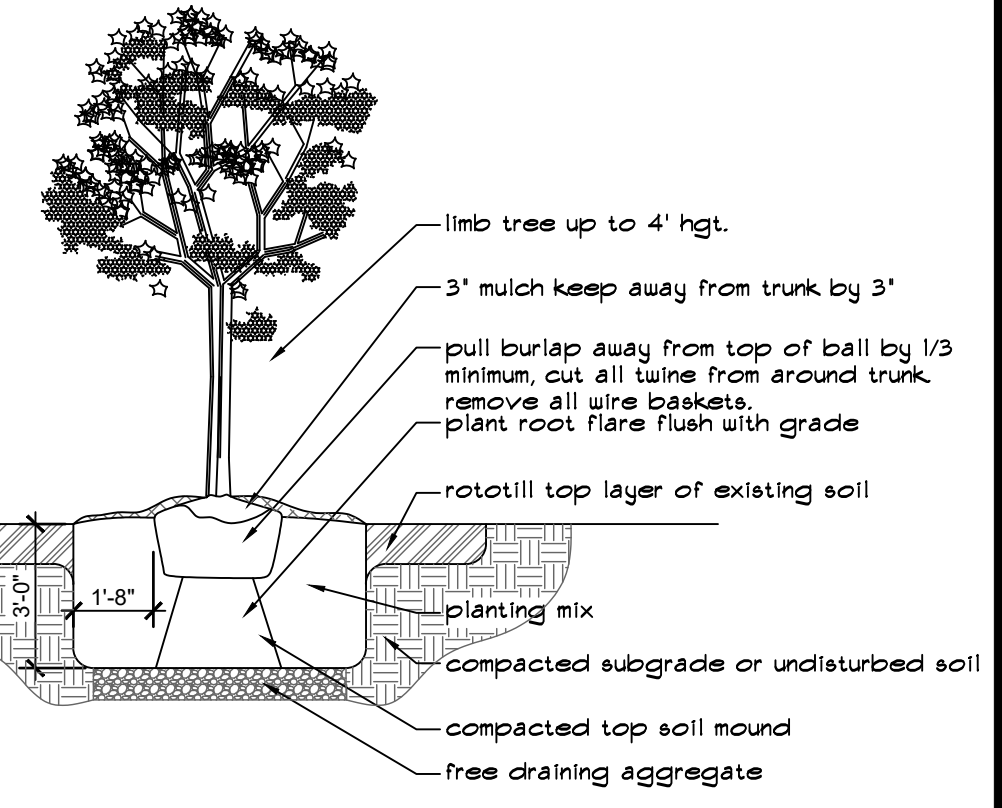
5



pruning - remove broken or damaged branches at time of planting. after the first full growth season, clearance or corrective pruning should be evaluated. remove whole branches to reduce foliage by 1/3 or shape as directed retain normal plant shape. all broken or damaged pruning to be done after planting.

drainage - notify the landscape architect whenever soil conditions are found to have drainage capabilities unsuitable for root growth.

tree guys - guy only those trees which in the contractors opinion are in danger of being blown out of plumb due to their location. submit guy methods for approval. stake evergreens to brace against the wind direction.



tree planting

SCALE: nts

SUPPLEMENTAL PLANTING REQUIREMENTS

214,633 SF IMPERVIOUS SURFACE EXISTING
 57,353 SF PROPOSED ADDITIONAL PAVING =
 271,986 SF
 /1000 = 272 CAL INCHES OF SUPPLEMENTAL PLANTINGS (57 ADDITIONAL INCHES)

CAL INCHES OF EXISTING TREES: 259"
 CAL INCHES OF NEW TREES PROVIDED: 13"

LANDSCAPE ISLAND REQUIREMENTS

EXISTING AREA OF PARKING & ACCESS AISLES:
 109,133 SF
 ADDITIONAL AREA: 22,113 SF
 TOTAL: 131,246 SF
 REQUIREMENT OF 5%
 131,246 SF * 5% = 6562 SF
 EXISTING PROVIDED: 5463 SF
 ADDITIONAL AREA REQD: 1099 SF
 ADDITIONAL AREA PROVIDED: 1396 SF
 1 TREE PER 100SF OF LANDSCAPE ISLAND

LANDSCAPE MATERIALS				
EXIST	NEW	MARK	DESCRIPTION	SIZE
25	11	A	SWEET GUM	3" CAL.
15		B	HONEY LOCUST	2.5 CAL.
12	3	C	RED MAPLE	3" CAL.
10	4	D	BUXUS "WINTER GEM"	2 GAL.
6	12	E	ROSA KNOCKOUT	2 GAL.
15		F	THUJA	6' HGT.
95		G	BUXUS "GREEN GEM"	36" HGT.

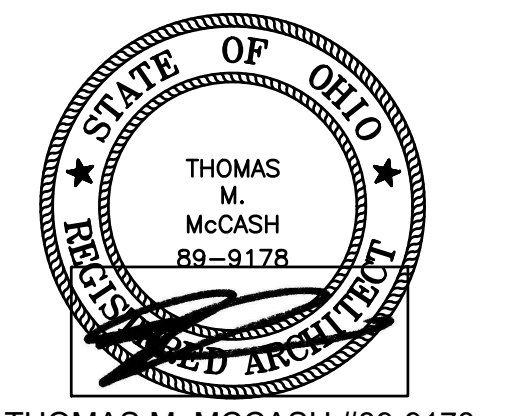
COPYRIGHT NOTICE:
 These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. as amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessation of construction, building seizure, and/or monetary liability.

REVISIONS	DATE	BY	APP'D
2009 SET REISSUED			
5/19/21 PHASE 2			
4/4/22 PHASE 2 - REV			

CONSULTING ENGINEER
 THOMAS M. McCASH, RA, CBO, MPE
 55 S. HIGH ST #210
 DUBLIN, OHIO 43017
 T+1 614 348 9883 F+1 614 761 9321

LANDSCAPE PLAN
 A PROJECT OF:
LEVECK COMMERCIAL CONSTRUCTION & DEVELOPMENT, LLC
 FOR:
EASTGATE PARKWAY
GAHANNA, OHIO 43230

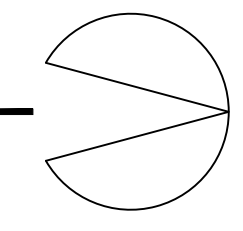
Thomas M. McCash, RA, CBO, MPE
 55 S. HIGH ST #210
 DUBLIN, OHIO 43017
 T+1 614 348 9883 F+1 614 761 9321



THOMAS M. MCCASH #89-9178
 LICENSE EXPIRES 12/31/23

DATE: 04.04.22 SHEET:
 SCALE: AS NOTED
 DRAWN BY: TMM
 PROJECT No: 19009
A2.00

LANDSCAPE PLAN
 SCALE: 1"=40'-0"



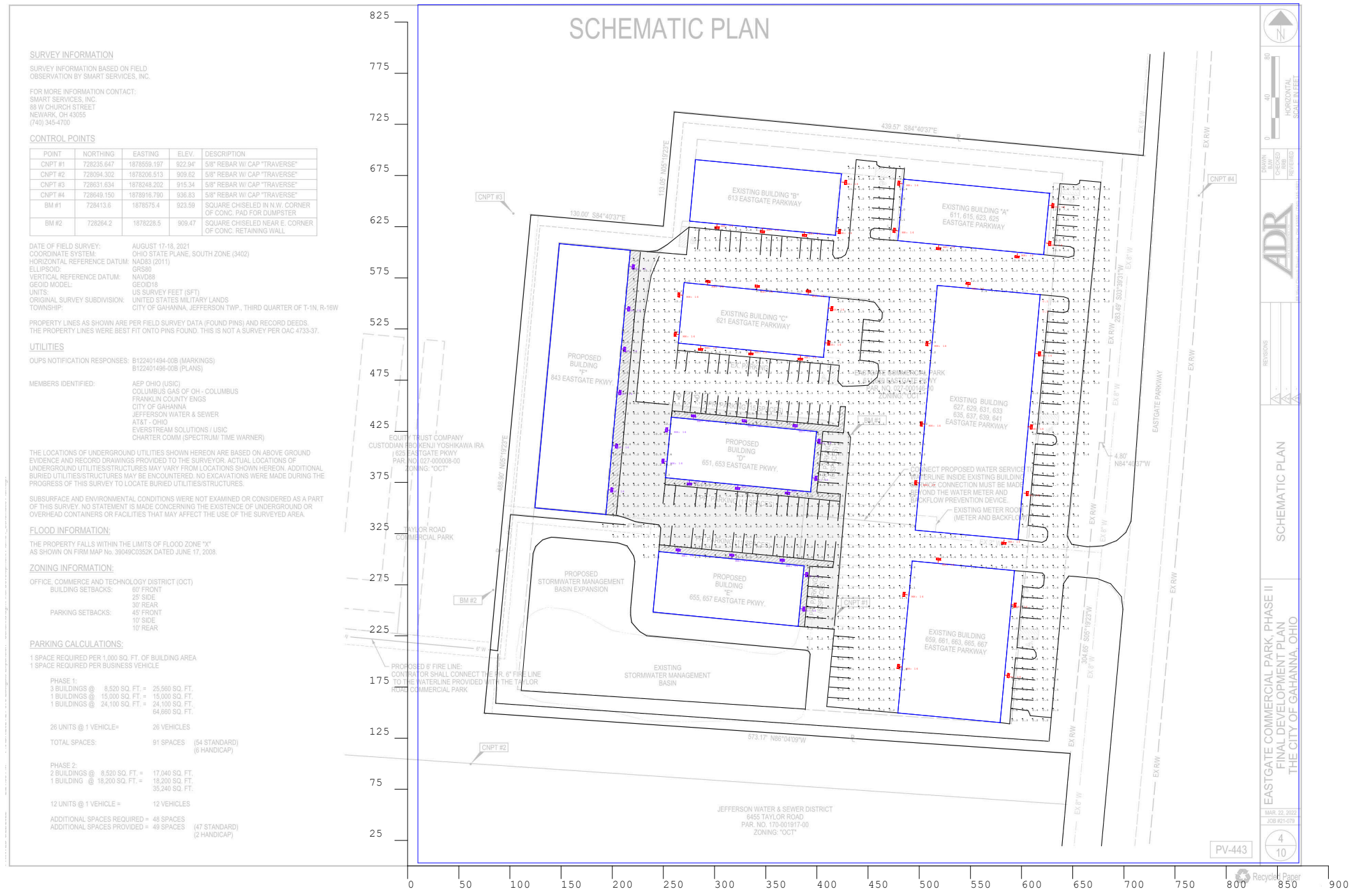
PHASE 2: 04.04.22

Luminaire Schedule

Symbol	Light Qty	Label	Arrangement	LLF	Description	Lum. Lumens
	34	AE-L-WPDS-90	SINGLE	1.000	90W WPDS, 110 LPW	9924
	21	U-IWP-90	SINGLE	1.000	90W IWP, 130 LPW	13334

Calculation Summary

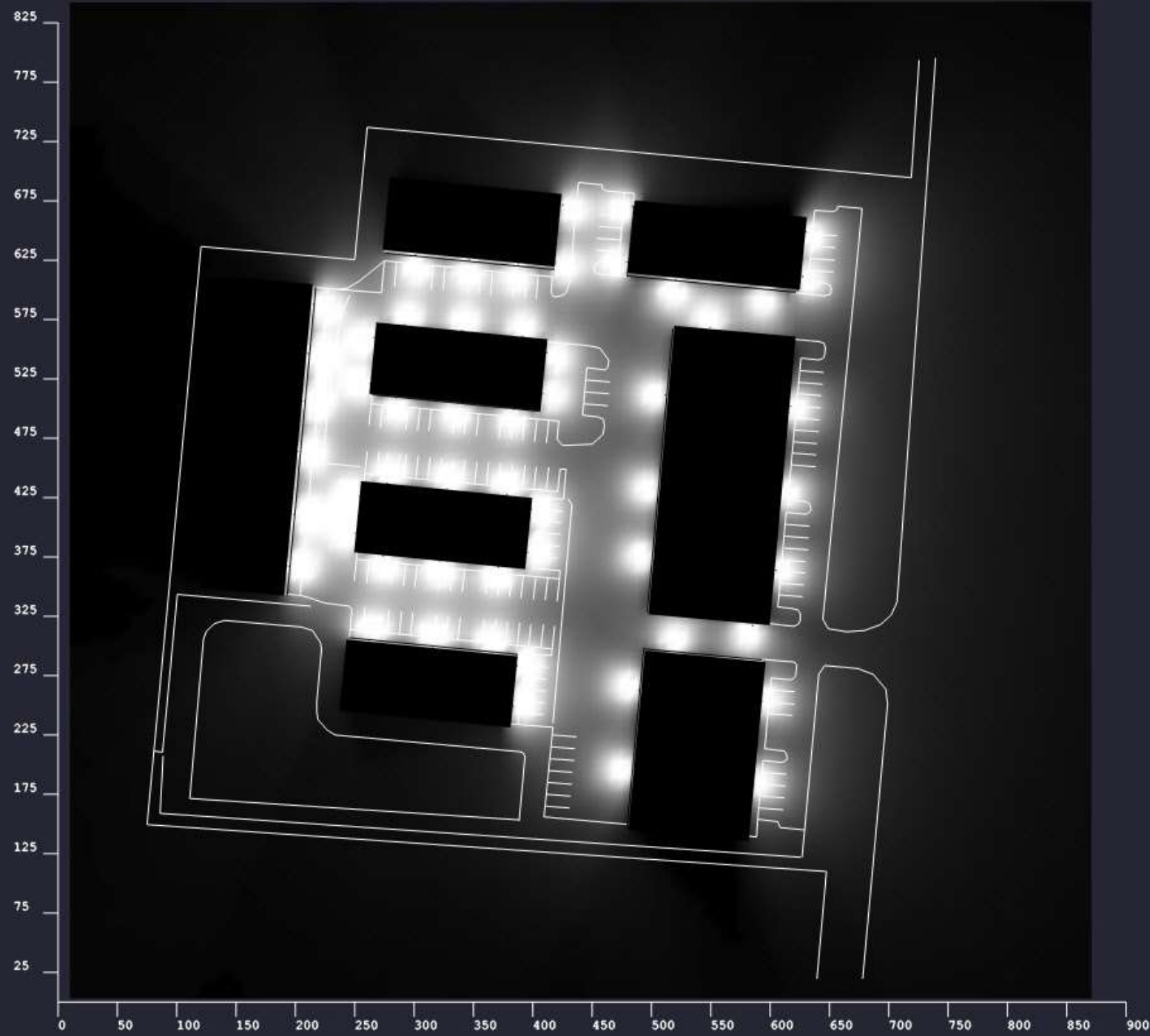
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Total # of Fixtures
Calc_1	Illuminance	Fc	3.40	18.9	0.1	34.00	189.00	Phase II: 21



Calculations are provided using industry-recognized software and are provided for estimation purposes only. Actual lighting levels will vary depending on field conditions. The calculations correspond to the information provided. Assumptions may be made for information not provided. Due to the above considerations, Alech Electronics will not guarantee that actual light levels measured in the field will match the calculations.

Drawn By: Gian P.
 Checked By:
 Date: 3/29/2022
 Scale:

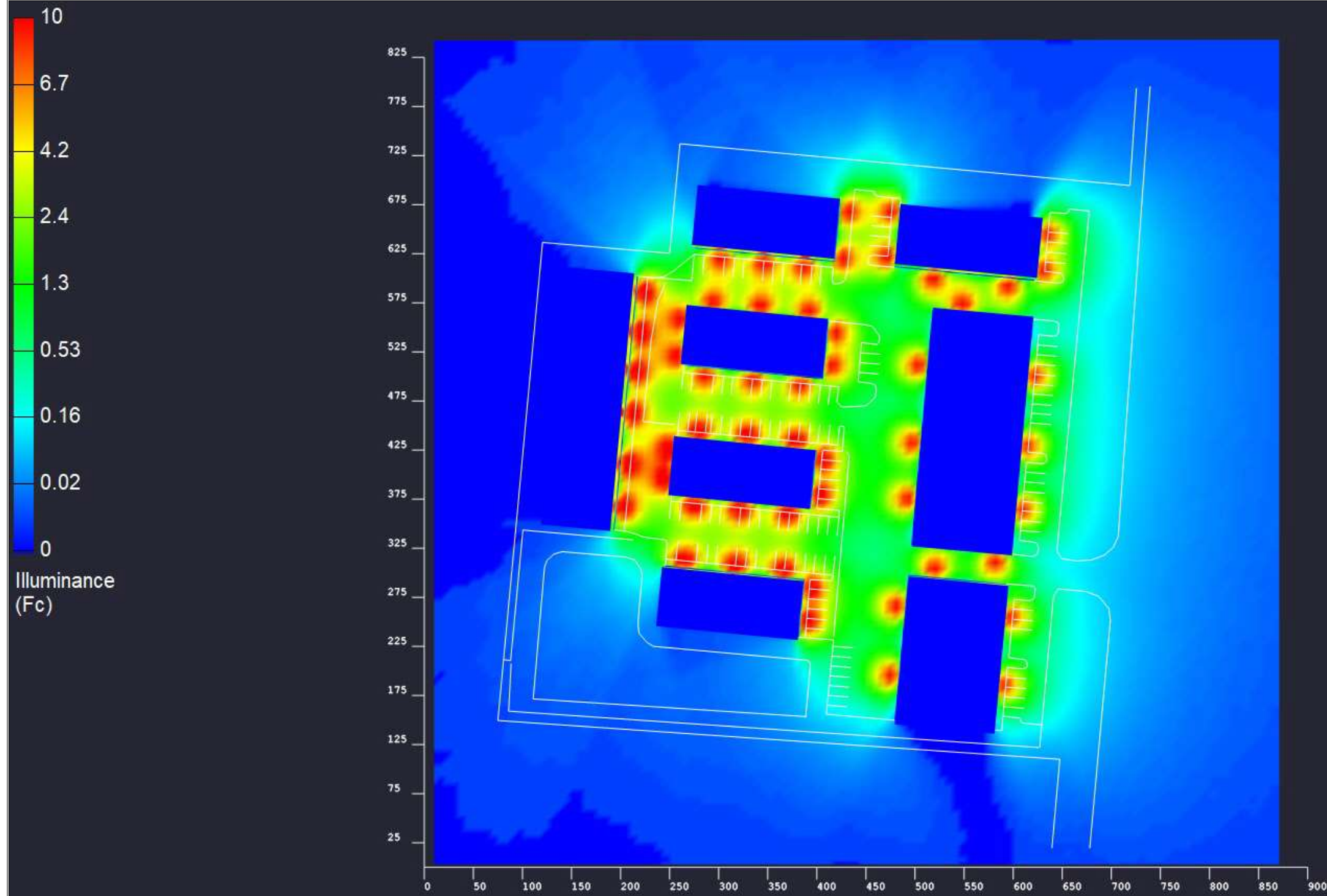
Eastgate Commercial Park
 Phase II
 BR Lighting & Controls



Eastgate Commercial Park
Phase II
BR Lighting & Controls

Drawn By: Gian. P
Checked By:
Date: 3/29/2022
Scale:

Calculations are provided using industry-recognized software and are provided for estimation purposes only. Actual lighting levels will vary depending on field conditions. The calculations corresponds to the information provided. Assumptions may be made for information not provided. Due to the above considerations, Alech Electronics will not guarantee that actual light levels measured in the field will match the calculations.



Calculations are provided using industry-recognized software and are provided for estimation purposes only. Actual lighting levels will vary depending on field conditions. The calculations corresponds to the information provided. Assumptions may be made for information not provided. Due to the above considerations, Altech Electronics will not guarantee that actual light levels measured in the field will match the calculations.

Drawn By: Gian. P

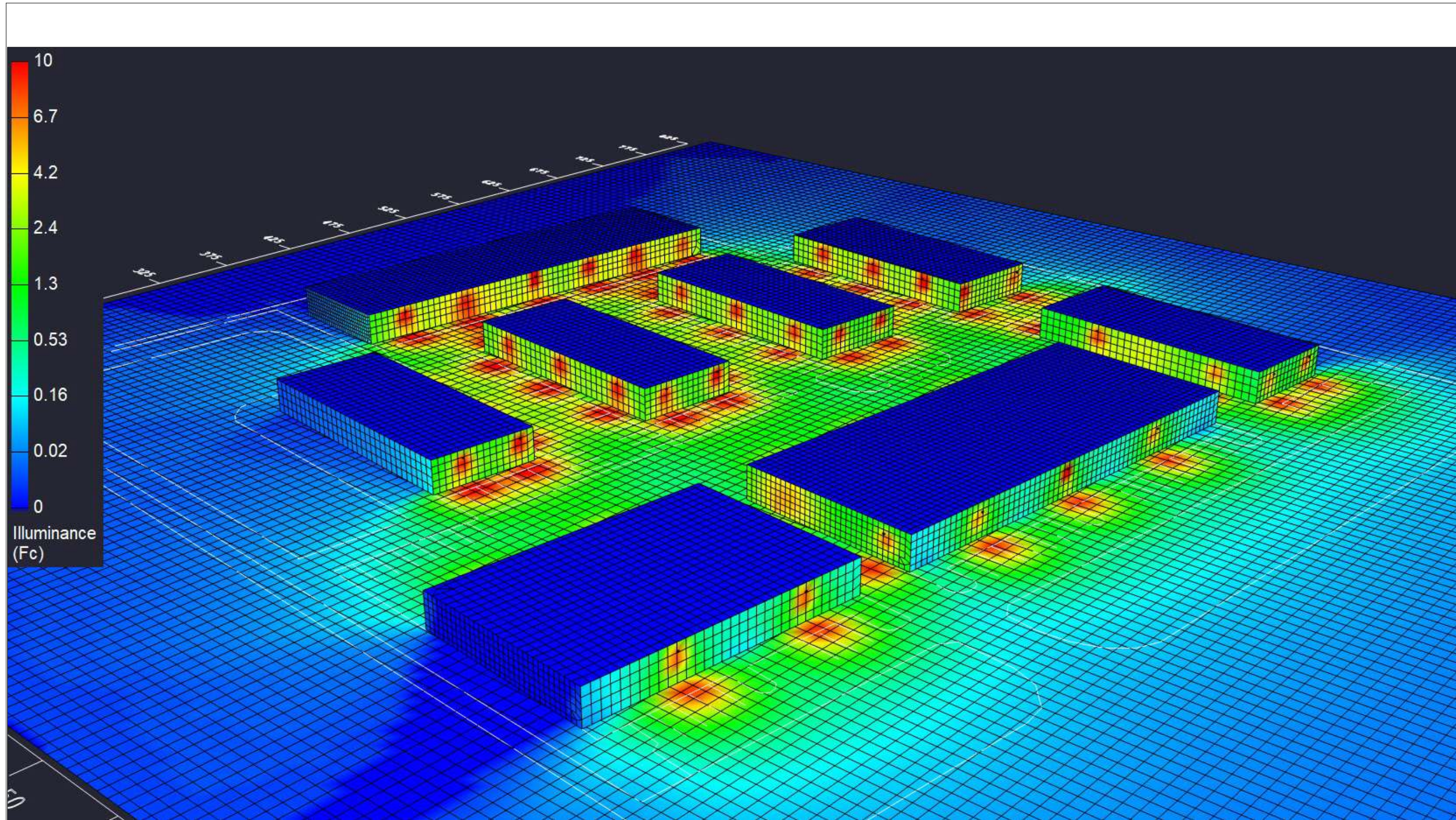
Checked By:

Date: 3/29/2022

Scale:

Eastgate Commercial Park
Phase II

BR Lighting & Controls



Calculations are provided using industry-recognized software and are provided for estimation purposes only. Actual lighting levels will vary depending on field conditions. The calculations corresponds to the information provided. Assumptions may be made for information not provided. Due to the above considerations, Altech Electronics will not guarantee that actual light levels measured in the field will match the calculations.

Drawn By: Gian. P

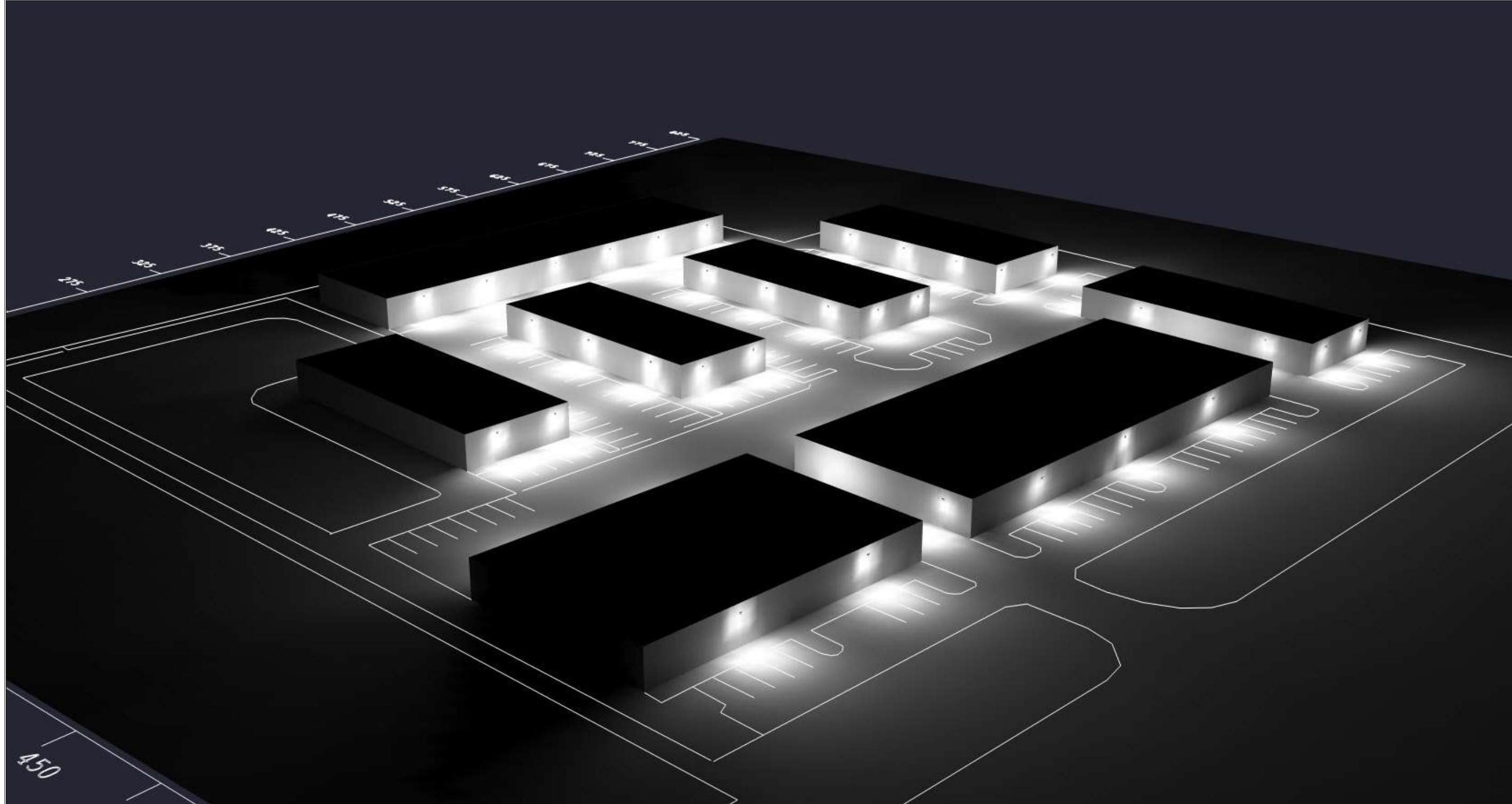
Checked By:

Date: 3/29/2022

Scale:

Eastgate Commercial Park
Phase II

BR Lighting & Controls



Calculations are provided using industry-recognized software and are provided for estimation purposes only. Actual lighting levels will vary depending on field conditions. The calculations corresponds to the information provided. Assumptions may be made for information not provided. Due to the above considerations, Altech Electronics will not guarantee that actual light levels measured in the field will match the calculations.

Drawn By: Gian. P

Checked By:

Date: 3/29/2022

Scale:

Eastgate Commercial Park
Phase II

BR Lighting & Controls



ADR & Associates, Ltd.

88 West Church St.

Newark, Ohio 43055

740-345-1921

Fax 740-345-4994

Clientcentric Consulting
Design . Engineering . Innovation

February 4, 2022

Kelly Wicker
Planning & Zoning Coordinator, Department of Planning
City of Gahanna
200 South Hamilton Road
Gahanna, OH 43230
(614) 342-4025

Re: Project 611-659 Eastgate Commercial Park, Phase II – Design Review

Kelly,

Please find below list of comments and corrective measures taken in regard to Design Review comments provided January 13, 2022. enclosed the following information for review and approval:

Engineering

1. No Comments
No action required.

Planning

2. Please include colored renderings of the proposed buildings.
Please see attached rendering provided by the architect.
3. Please fill out the list of materials from the application packet to show compliance with Section 1155.05.
Please see attached updated application.
4. Per Section 1163.08, the landscape plan needs to calculate the parking area (spaces and drive aisles). The square footage of required landscape islands is 5% of the parking area. 1 tree per 100 square feet of required landscape island is required. The minimum tree caliper size is 3".
Please see attached landscaping plan.
5. Chapter 914 requires one tree inch to be planted per 1,000 square feet of impervious surface. This requirement is in addition to any other planting requirements.
Please see attached landscaping plan
6. The site plans do not depict any utilities such as lift stations and utility boxes. Please be aware that Chapter 1155.06(g) requires these areas to be screened on all sides by a 6' tall wall, fence, or evergreen plantings.
Exact need and/or locations to be determined, note added to specify the requirement, see "PLAN NOTES:, sheet 3.

"Working With Clients for Over a Decade"

www.adrinnovation.com



ADR & Associates, Ltd.

88 West Church St.

Newark, Ohio 43055

740-345-1921

Fax 740-345-4994

Clientcentric Consulting
Design . Engineering . Innovation

Fire District

7. At the present time the Fire Prevention Bureau has no issues with the documents submitted for Eastgate Commercial Park. Please contact the Fire Prevention Bureau if you have any questions.

No action required.

Parks

8. No Comment per Julie Predieri

No action required.

Building

9. The project will be required to comply with the Ohio Building Code.

Developer and architect to be advised.

If you have any questions, comments or concerns, please feel free to contact me.

ADR & Associates, LTD.

R. Ryan Badger
Director of Development

c: 21-079



March 14, 2022

LeVeck Commercial Construction
625 Eastgate Pkwy
Gahanna, OH 43230

RE: Project 611-659 Eastgate Design Review/C of A

Dear LeVeck Commercial Construction:

The following comments were generated from the review of the submitted plans and documents for the referenced project. For the next submittal, please provide a response to comments, revised plans, and/or other information as requested for further review. The response to comments needs to include both the original comment and the appropriate response. If desired, these comments can be emailed. Re-submitted plans that do not include the disposition of comments document will not be reviewed and will be returned to you.

Engineering

1. No Comments

Planning

2. Per Section 1163.08, the landscape plan needs to calculate the parking area (spaces and drive aisles). The square footage of required landscape islands is 5% of the parking area. 1 tree per 100 square feet of required landscape island is required. The minimum tree caliper size is 3". The submitted landscaping plan shows the previously approved building layout - not the proposed layout with the large 18,200sqft building. Update the plan to reflect the new layout.
3. Chapter 914 requires one tree inch to be planted per 1,000 square feet of impervious surface. This requirement is in addition to any other planting requirements. The submitted landscaping plan shows the previously approved building layout - not the proposed layout with the large 18,200sqft building. Update the plan to reflect the new layout.

Building

4. The project will be required to comply with the Ohio Building Code. **Will Comply**

Fire District

5. I found an issue with Submittal 2 for 611-659 Eastgate Parkway. The back building 643 Eastgate Parkway (parallel to property line) is over 1000 feet from the closest fire hydrant. An additional fire hydrant(s) is required. **Fire hydrant has been added on the south end of this building via an extension from the neighboring development, with an easement. As shown on the revised plans.**

Parks

6. I would like to see planting specifications included in the landscape plan. Also, I would like to know what species of maple is intended for planting. **The Landscaping Plan has been revised accordingly.**

Page 2 of 2
March 14, 2022
Re: Project 611-659 Eastgate
611-659 Eastgate

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker
Planning and Zoning Coordinator



May 13, 2022

LeVeck Commercial Construction
625 Eastgate Pkwy
Gahanna, OH 43230

RE: Project 611-659 Eastgate Design Review/C of A

Dear LeVeck Commercial Construction:

The following comments were generated from the review of the submitted plans and documents for the referenced project. For the next submittal, please provide a response to comments, revised plans, and/or other information as requested for further review. The response to comments needs to include both the original comment and the appropriate response. If desired, these comments can be emailed. Re-submitted plans that do not include the disposition of comments document will not be reviewed and will be returned to you.

Engineering

1. No Comments ✓

Building

2. The project will be required to comply with the Ohio Building Code. **Owner/Architect has been coordinating with OBC.**

Fire District

3. I found an issue with Submittal 2 for 611-659 Eastgate Parkway. The back building 643 Eastgate Parkway (parallel to property line) is over 1000 feet from the closest fire hydrant. An additional fire hydrant(s) is required. **Owner has coordinated with the fire dept. and a hydrant on the adjacent property, owned by LeVeck, has been approved to service this development.**

Parks

4. Tree planting specifications are not entirely appropriate. Pruning should only take place at planting if branches are broken or damaged. Corrective pruning and clearance pruning should be delayed until a full season of growth. At least the top 1/3 of the burlap should be cut away. Root flare should be planted even with finished grade. Trees should not intentionally be planted 2" above nursery height. Mulch should be pulled away completely from trunk. **Landscaping plans have been updated accordingly.**

Prunus cerasifera 'Newport' and Malus spp. are both very susceptible to a variety of pests and diseases. Alternative species should be considered to replace these trees. Maple species is still not identified on the landscape plan. The maple family is large, and the species in the family range on size and a number of other features. **Landscaping plans have been updated accordingly.**

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker
Planning and Zoning Coordinator

Department of Planning 200 S. Hamilton Rd. Gahanna, Ohio 43230
614.342.4025 (Phone) 614.342.4100 (Fax)



June 7, 2022

LeVeck Commercial Construction
625 Eastgate Pkwy
Gahanna, OH 43230

RE: Project 611-659 Eastgate Design Review/C of A

Dear LeVeck Commercial Construction:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

Development Engineer

1. No Comments

Building

2. The project will be required to comply with the Ohio Building Code.

Parks

3. Updated landscape plans look ok to me.

Fire District

4. The additional fire hydrant supplied by a 6 inch main along the service road looks good

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker
Planning and Zoning Coordinator



STAFF REPORT

Request Summary

Applicant is requesting approval to construct an 18,200sqft and two 8,520sqft flex industrial buildings at 611-625 Eastgate Parkway. This site has been approved and built in phases with roughly 70,000sqft of existing flex industrial buildings with the same designs. This particular section of the property was originally approved through a Final Development Plan and Design Review in June of 2021 to construct four 8,500sqft flex industrial buildings. Due to the extent of proposed alterations, Planning Commission is required to review and approve revisions of the plans per Section 1108.08 and 1197.02.

Alterations to the approved plan include the following:

- Replacing two 8,500sqft buildings at the rear of the property with one large 18,200sqft building.
- Rear buildings were approved at 35ft from the rear property line and 45ft from the side (north) property line whereas the new building will be 30ft from the rear property line and 25ft from side property line.
- The addition and revised layout of parking spaces from the approved 31 spaces to the proposed 63 spaces.

As can be seen from the site plan, the proposed buildings are configured in such a manner that it should have little to no visual impact on neighboring properties. The property is zoned OCT which permits the requested uses by right. This property, and most neighboring properties, are developed with similar uses and building types. The requested use is consistent with the land use plan which designates the property as Industrial, Research, and Innovation.

Final Development Plan

Planning Commission shall approve an FDP application if the following four conditions are met:

- A. The proposed development meets the applicable development standards of this Zoning Ordinance.
- B. The proposed development is in accord with appropriate plans for the area.
- C. The proposed development would not have undesirable effects on the surrounding area.
- D. The proposed development would be in keeping with the existing land use character and physical development potential of the area

Design Review

General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect and enhance the physical surroundings of the Design Review District.

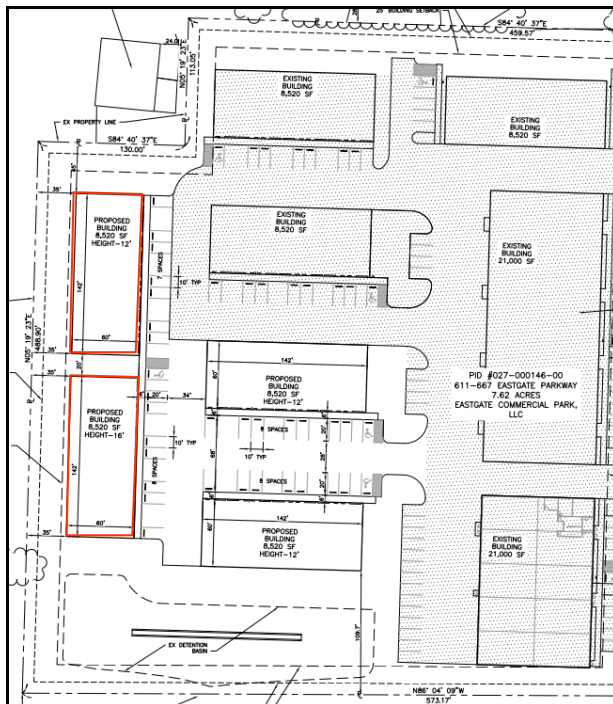
Staff Comments

Staff recommends approval of the applications as submitted. The use is permitted by the zone district and the land use plan, and the proposed alterations meet all applicable zoning requirements for minimum setbacks, parking standards, and landscaping requirements. No variances are required.

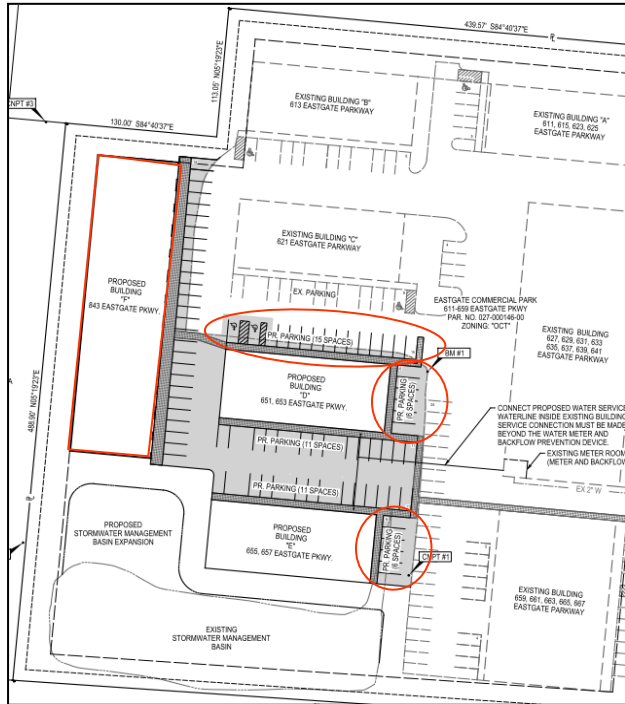
Location/Zoning Map:



Previously Approved Plan:

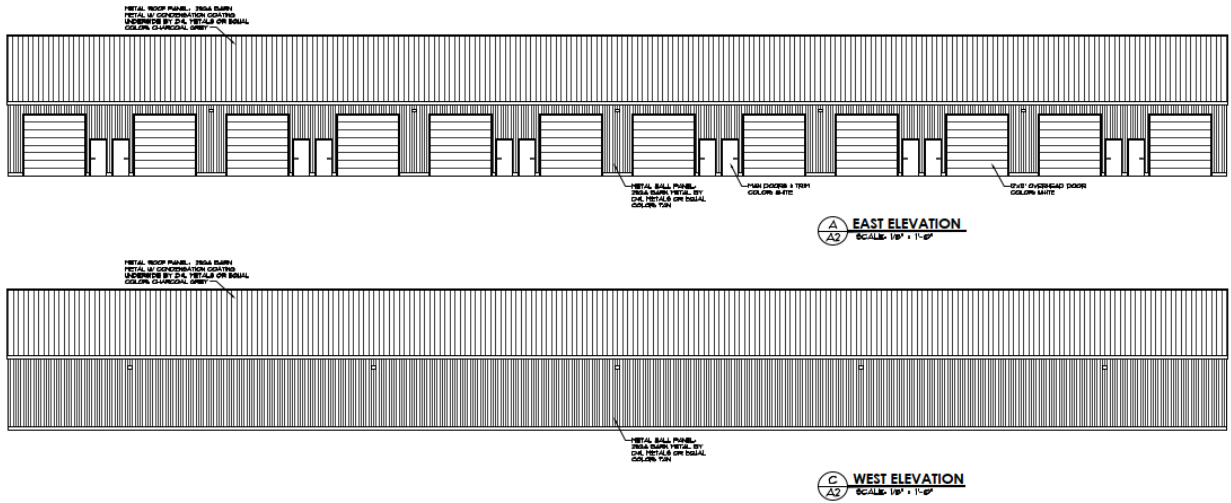


Proposed Plan:

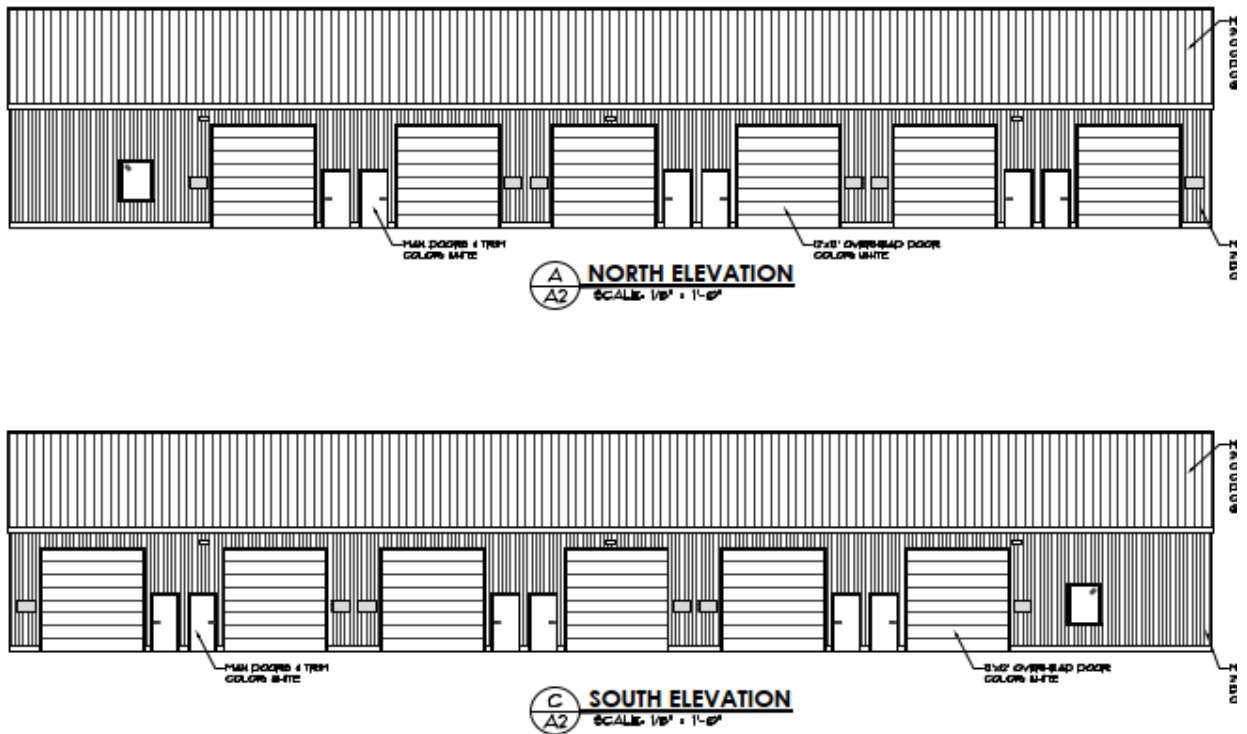


Proposed Renderings:

East & West Elevation of building F:



North & South Elevation of buildings D & E:



Respectfully Submitted By:
Zack Cowan, AICP