



# Application for Certificate of Appropriateness for Design Review

City of Gahanna, Ohio ■ Planning Commission  
200 S. Hamilton Road, Gahanna, OH 43230 ■ Phone: (614) 342-4025 ■ Fax: (614) 342-4125

**\*REQUIRED INFORMATION:** All correspondence will be addressed to the applicant, unless noted otherwise.

\*Site Address 254 Agler Road

\*Parcel ID# 025-002001-00 \*Zoning District Community Commercial

\*Design Review of: Site Plan X Landscaping \_\_\_\_\_ Building Design X Signage \_\_\_\_\_ Other \_\_\_\_\_

\*Special Information Regarding the Property and its Proposed Use: House conversion to commercial building for a new Youth Center.

---

\*Applicant Name Ken Garrett \*Email kgarrett@segnaassociates.com

\*Applicant Full Address 781 Northwest Blvd. \*City/State/Zip Columbus, Ohio 43212

\*Applicant Relationship Architect / GAAP Board Member \*Phone# 614 291 7810

\*Agents Name: \_\_\_\_\_ \*Email: \_\_\_\_\_ \*Phone \_\_\_\_\_

**\*ADDITIONAL REQUIRED INFORMATION:** If different than applicant.

\*Business Name GAAP (Gahanna Ages and Abilities Partnership) \*Contact \_\_\_\_\_

\*Business Owner Name Bob Weishaar \*Phone 614 428 8481

\*Business Address 530 Woodmark Run, Gahanna, Ohio 43230

\*Designer/ Architect/ Engineer Segna Associates, Inc.

\*Address 781 Northwest Blvd. Columbus, Ohio 43212 \*Phone 614 291 7810

\*City/ State/ Zip Columbus, Ohio 43212

\*D/A/E Representative Ken Garrett \*Title Architect

**\*SUBMISSION REQUIREMENTS:** Applications are not complete until all submission requirements are received and accepted by the Planning and Zoning Administrator. Incomplete applications will not be submitted for review. The Planning and Zoning Administrator may visit the site prior to the approval of the application.

- Plans: Two (2) 11x17 & One (1) copy of 24x36 (folded, **not rolled**, to 8 1/2 x 11 inch size prior to submission) if needed for legibility. Two (2) copies of all other documents.
- One (1) digital copy of completed application and associated plans. Plans to be in 11x17 format.
- Applicant is required to complete the checklist on the following pages.
- Fee: \$50.00 for review plus \$.01 per square foot.
- Submit one (1) color rendering of the project in plan/ perspective/ or elevation, mounted on 18 x 24 inch size foam core, gator board or other acceptable material.
- Submit a detailed list of materials.
- Provide a notarized Agreement to Construct as Approved. Free notary services are provided in our office.
- Please refer to section 1167 of the City of Gahanna Code Ordinance (found at [www.municode.com](http://www.municode.com)).

\*Applicant's Signature *Ken Garrett* \*Date 10 JUN 2016

**For Internal Use: APPROVAL**

In accordance with Sections 1197.05 of the Codified Ordinances of Gahanna, this certifies that this project, as stated above, has been approved by the Gahanna Planning Commission on \_\_\_\_\_. The applicant shall comply with any conditions approved by the Commission, and shall comply with all building and zoning regulations now in force.

Conditions: \_\_\_\_\_

Planning & Zoning Administrator \_\_\_\_\_ Date \_\_\_\_\_

Zoning/PC File No. DR-17-2016

Sunguard No. 11060020

Reference File No. FDP-10-2016

Hearing Date: \_\_\_\_\_

**RECEIVED**  
JUN 10 2016  
BY: SW (Received)

**RECEIVED**  
JUN 10 2016  
BY: 70.72 (Accepted by PZA)  
CK# 1041  
570.72

# SUBMITTAL REQUIREMENTS

	Applicant Or Agent	Planning & Zoning Administrator
<b>I. GENERAL REQUIREMENTS</b>		
A. All exhibits required for the permanent file (noted in the following paragraphs) must be able to be reduced to 8 ½ x 11 by folding, photo reduction, etc. (ALL 24x36 PLANS ARE TO BE FOLDED BY APPLICANT PRIOR TO SUBMISSION.) While large mounting boards, material samples, or other exhibits not meeting this criteria maybe used for Planning Commission presentation.	A. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
B. Two 24x 36 and One 11x 17 black or blue-line prints of the plans including the items listed in section II below shall be submitted to the Planning & Zoning Administrator for presentation to the Planning Commission.	B. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
C. An adequate number of color photographs (Polaroid-type acceptable) are required to illustrate the site, including buildings and other existing features as well as adjacent properties. Photos may also be used to illustrate installations on other sites that are similar to the applicant's proposal.	C. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
D. Materials List	D. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<b>II. BUILDING CONSTRUCTION, EXTERIOR REMODELING, AND ADDITIONS (INCLUDING PARKING LOTS AND LANDSCAPING)</b>		
A. Site Plan. A site plan is required containing the following information:		
1. Scale and north arrow,	1. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
2. Project name and site address;	2. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
3. All property and street pavement lines;	3. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
4. Existing and proposed contours;	4. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
5. Gross area of tract stated in square feet;	5. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
6. Proposed ingress and egress to the site, including on site parking area(s), parking stalls and adjacent streets. Delineate traffic flow with directional arrows and indicate the location of direction signs or other motorist's aids (if any);	6. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
7. The designation of required buffer screens (if any) between the parking area and adjacent property;	7. <input type="checkbox"/>	<input type="checkbox"/>
8. Location of all isolated existing trees having a diameter of six (6) inches or more; (Tree masses may be shown with a diagrammatic outline and a written inventory of individual trees exceeding 6" in caliber);	8. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
9. Existing landscaping that will be retained and proposed landscaping shall be differentiated and shown on the plan. The type, size, number, and spacing of all plantings and other landscape features must be illustrated;	9. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
10. Identify photograph location;	10. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
11. Location of all existing and proposed building on the site	11. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
12. Location of all existing (to remain) and proposed lighting standards.	12. <input type="checkbox"/>	<input type="checkbox"/>
13. Provide breakdown of parking spaces required and spaces provided (see COG 1163);	13. <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

14. Provide interior landscaping breakdown for paved surface (5% of paved surface required to be landscaped with one (1) tree per 100 square feet, see COG 1163)

14. \_\_\_\_\_

15. Provide lot coverage breakdown of building and paved surface areas.

15.  \_\_\_\_\_  \_\_\_\_\_

B. Elevations. Complete elevation from all sides of all proposed construction labeled North, South, East and West and related elevations of existing structures (if any) are required containing the following information:

- 1. Scale;
- 2. Changes in ground elevation;
- 3. All signs to be mounted on the elevations;
- 4. Designation of the kind, color, and texture of all primary materials to be used;
- 5. Fenestration, doorways, and all other projecting and receding elements of the building exterior.

1.  \_\_\_\_\_  \_\_\_\_\_  
 2.  \_\_\_\_\_ \_\_\_\_\_  
 3. \_\_\_\_\_ \_\_\_\_\_  
 4.  \_\_\_\_\_  \_\_\_\_\_  
 5.  \_\_\_\_\_  \_\_\_\_\_

C. Optional requirements at discretion of Planning Commission.

- 1. Scale model.
- 2. Section Profiles.
- 3. Perspective drawing.

1. \_\_\_\_\_  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_

D. Material Samples. Material samples are required for all exterior materials. For presentation purposes, a narrative description is required for Planning Commission file.

D. \_\_\_\_\_

E. Lighting Standard Drawing. A scaled drawing of the proposed lighting standard(s) is required and should contain the following information:

- 1. All size specifications;
- 2. Information on lighting intensity (number of watts, isofootcandle diagram, etc., at least 1/2 foot candles required);
- 3. Materials, colors, and manufacturer's cut sheet;
- 4. Ground or wall anchorage details.

1. \_\_\_\_\_  \_\_\_\_\_  
 2. \_\_\_\_\_ \_\_\_\_\_  
 3. \_\_\_\_\_ \_\_\_\_\_  
 4. \_\_\_\_\_ \_\_\_\_\_



CITY OF GAHANNA

Agreement to Construct as Approved

Your signature below affirms that, as the contractor/applicant KENNETH  
(Please print - Contractor/Applicant Name)

GARRETT for, GAAP - 254 AGLER RD  
(Business Name and/or Address)

the above named project will be built as approved and specified by the City of Gahanna Planning & Zoning Administrator (or Designee). As the contractor or applicant, you also agree that any proposed change to the approved plans must be reported to the Planning and Zoning Administrator. Significant changes to the project, as determined by the Planning and Zoning Administrator, must be approved.

Contractor/Applicant

Signature

(Please sign in presence of Notary)

Date 6/10/2016

(Signature of Notary)

6/10/2016

(Date)



Fredena L. Williams  
Notary Public, State of Ohio  
My Commission Expires 06-28-2017

Stamp/Seal

781 northwest boulevard, columbus, ohio 43212.3858  
614•291•7810

[kgarrett@segnaassociates.com](mailto:kgarrett@segnaassociates.com) e•mail



architecture • interior design • planning • consulting • project management

## **PROPERTY @ 254 AGLER ROAD**

---

**DATE:** 8 JUNE 2016

**PROJECT:** **NEW YOUTH CENTER**

***Exterior materials list for the facility improvements:***

Roof: Asphalt dimensional shingles to match existing (Weathered Wood – 30 year)

Siding: Vinyl, double 5", standard white to match existing

Windows: Vinyl, double-hung, standard white to match existing

Door: Vinyl, french, inswinging, standard white to match existing

***Adjacent Property Owners list:***

David R. Metcalf  
Beverly L. Metcalf  
264 Agler Road  
Gahanna, Ohio 43230

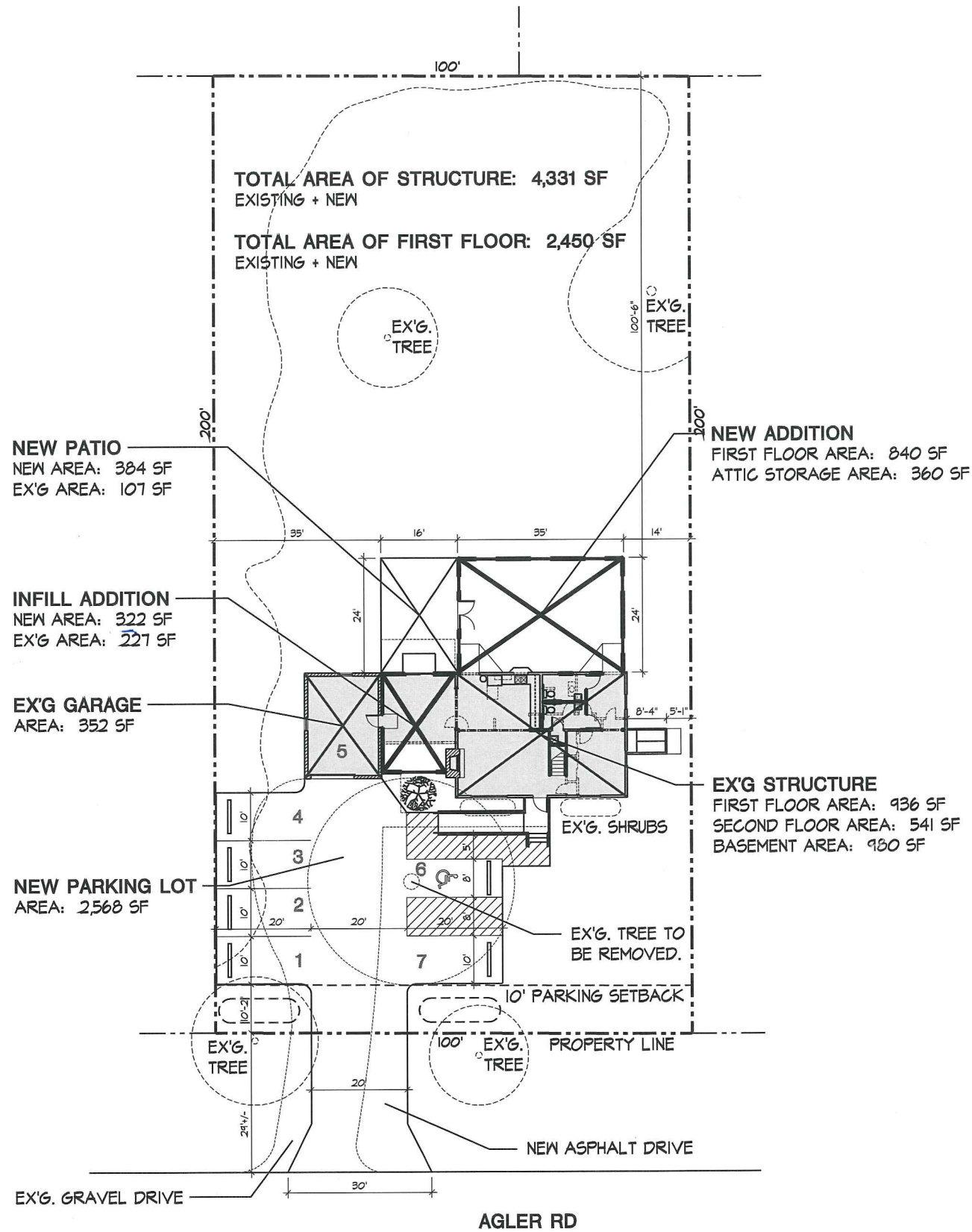
Darla M. Starr  
267 Amfield Court  
Gahanna, Ohio 43230

Christopher L. Clark  
259 Amfield Court  
Gahanna, Ohio 43230

T.E.G.Real Estate LLC  
244 Agler Road  
Gahanna, Ohio 43230

Cordially,  
Segna Associates, Inc.

A handwritten signature in black ink, appearing to read "K. Garrett", is written over a horizontal line.



## SCHEDULE OF DRAWINGS

- A1 OVERALL SITE PLAN
- A2 PARKING LOT PLAN
- A3 FIRST FLOOR PLAN
- A4 SECOND FLOOR PLAN
- A5 BASEMENT PLAN
- A6 EXTERIOR STAIR SECTION
- A7 EXTERIOR ELEVATIONS
- A8 EXTERIOR ELEVATIONS PHOTOS

## SITE INFO:

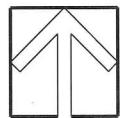
**PARCEL NUMBER:** 025-002001-00  
**CURRENT ZONING:** COMMUNITY COMMERCIAL  
**PROPERTY AREA:** 20,000 SF (.46 ACRE)

**PARKING:**

30 KIDS (GRADES 1 - 8)	(1 SPC / 15) = 2 SPACES
10 KIDS (GRADES 9 - 12)	(1 SPC / 5) = 2 SPACES
3 STAFF/TEACHERS	(1 SPC / 1) = 3 SPACES
<b>TOTAL SPACES REQUIRED</b>	<b>7 SPACES</b>
<b>TOTAL SPACES PROVIDED</b>	<b>7 SPACES</b>

**LOT COVERAGE:**

<b>SITE AREA:</b>	20,000 SF
<b>BUILDING COVERAGE:</b>	2,450 SF
<b>PAVEMENT COVERAGE:</b>	2,952 SF
<b>TOTAL COVERAGE:</b>	5,402 SF (27%)



## OVERALL SITE PLAN

1" = 30'-0"



Segnia Associates  
 2300 Northtowne Blvd, Suite 13012  
 Columbus, OH 43234  
 phone 614-281-1800

Consultants:  
**AAA ENGINEERING**  
 STRUCTURAL ENGINEER  
**DONALD K. ALLEMANG, PE**  
 PLUMBING, HVAC & ELECTRICAL ENGINEER

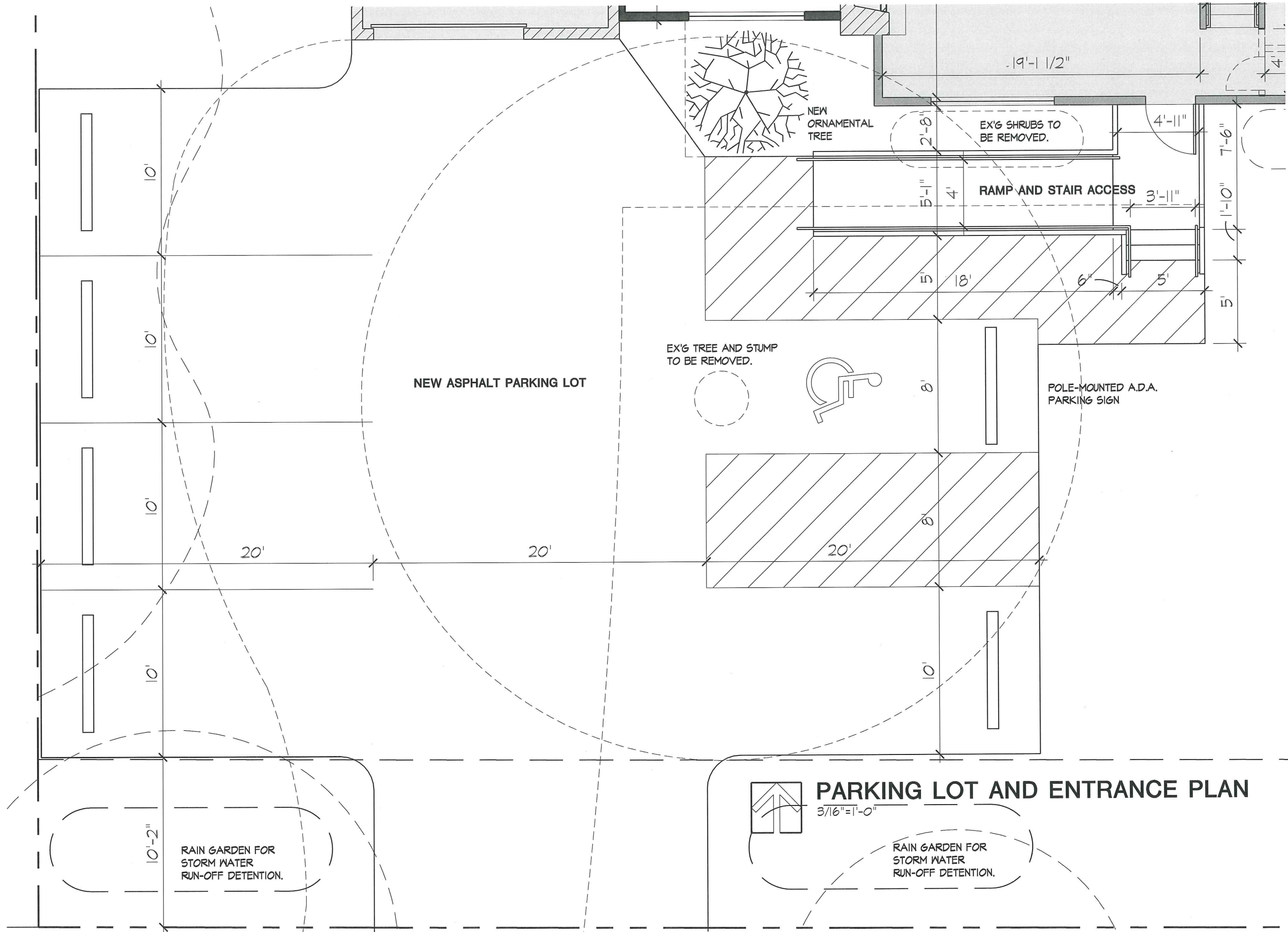
Project Reference: #15021  
**G.A.A.P.**  
 EXISTING STRUCTURE IMPROVEMENTS AND ADDITION  
 254 AGLER RD  
 GAHANNA, OH 43230

Date:       
 7 JUNE 2016

Project Status:  
 Planning   
 Programming   
 Schematic Design   
 Design Development   
 Construction Documents   
 Design Review

Sheet Reference:

A1



Sequia Associates  
INCORPORATED  
781 Northwest Boulevard  
Cincinnati, OH 45202  
Phone: 614-281-7810

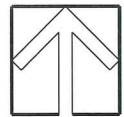
Consultants:  
**AAA ENGINEERING**  
STRUCTURAL ENGINEER  
**DONALD K. ALLEMANG, PE**  
PLUMBING, HVAC, ELECTRICAL ENGINEER

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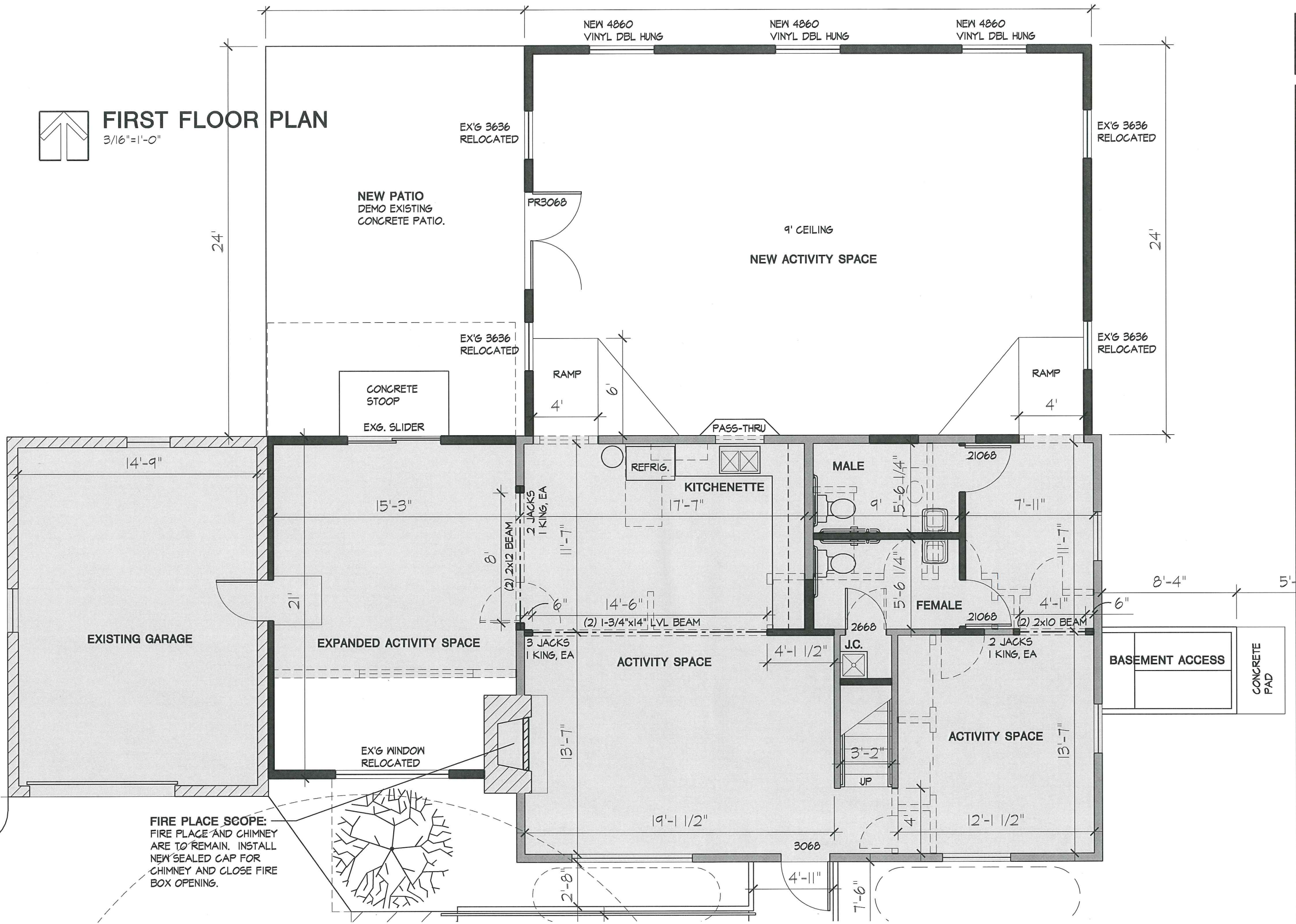
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# FIRST FLOOR PLAN

3/16" = 1'-0"



**FIRE PLACE SCOPE:**  
 FIRE PLACE AND CHIMNEY  
 ARE TO REMAIN. INSTALL  
 NEW SEALED CAP FOR  
 CHIMNEY AND CLOSE FIRE  
 BOX OPENING.



781 Northwest Boulevard  
 Columbus, OH 43230  
 614-231-1810  
 www.segna.com

Consultants:  
**AAA ENGINEERING**  
 STRUCTURAL ENGINEER  
**DONALD K. ALLEMANG, PE**  
 PLUMBING, HVAC & ELECTRICAL ENGINEER

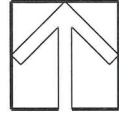
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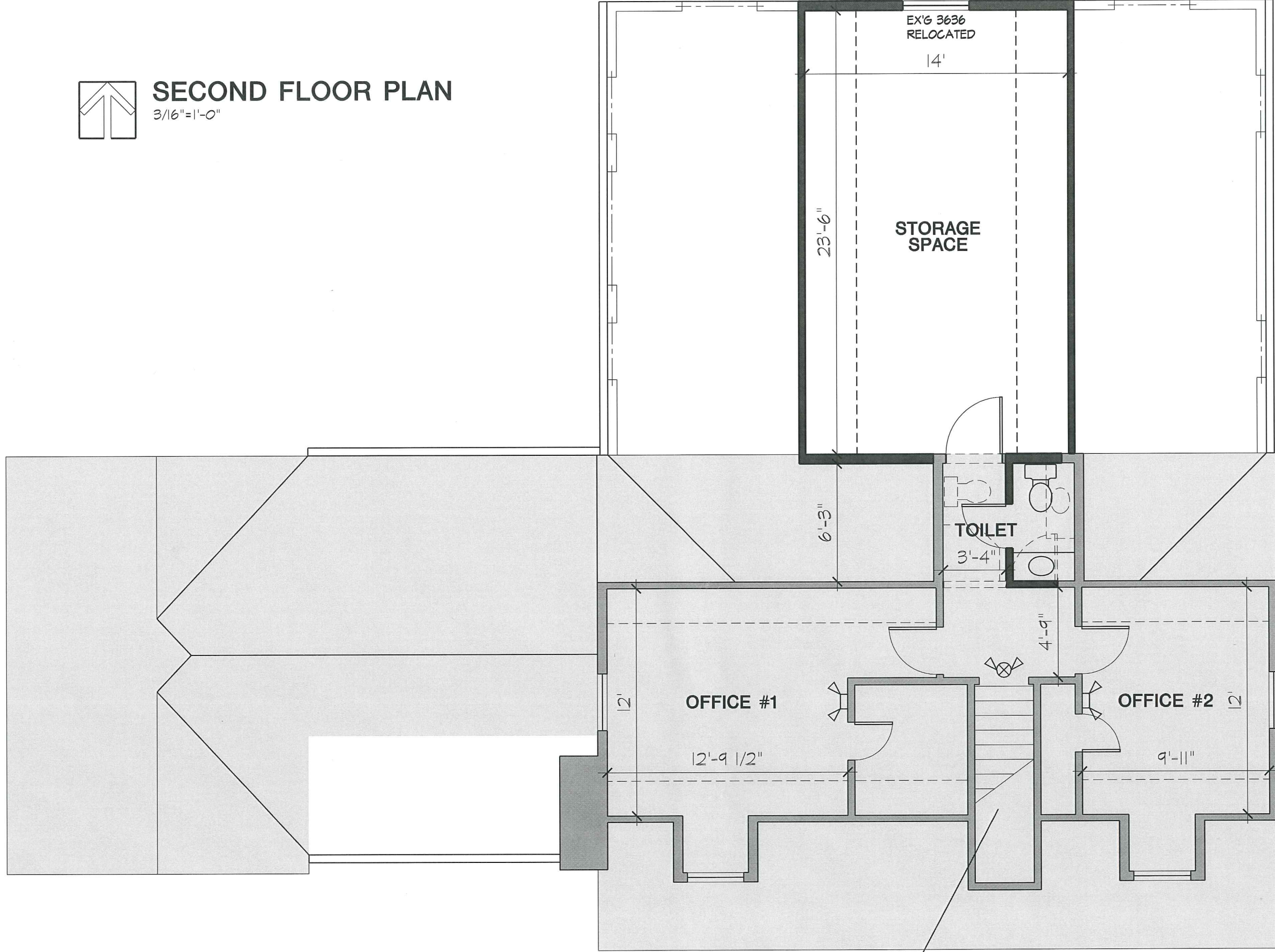
# A3





# SECOND FLOOR PLAN

3/16" = 1'-0"



**STAIRWELL IMPROVEMENT:**  
 REMOVE LOW CEILING, FRAME DOWN FROM  
 ROOF RAFTERS AND RE-FINISH. PROVIDE  
 HANDRAILS FOR BOTH SIDES.

It is the policy of the firm to provide the best service possible to our clients. We will accept no responsibility for errors or omissions in this drawing unless they are caused by our negligence. We will be held responsible for the design of the structure and the construction of the same. We will not be held responsible for the design of the structure and the construction of the same if the design is based on information furnished by the client. We will not be held responsible for the design of the structure and the construction of the same if the design is based on information furnished by the client. We will not be held responsible for the design of the structure and the construction of the same if the design is based on information furnished by the client.

Consultants:  
**AAA ENGINEERING**  
 STRUCTURAL ENGINEER  
**DONALD K. ALLEMANG, PE**  
 PLUMBING, HVAC & ELECTRICAL ENGINEER

Project Reference: #15021  
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**A4**



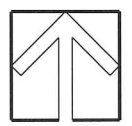
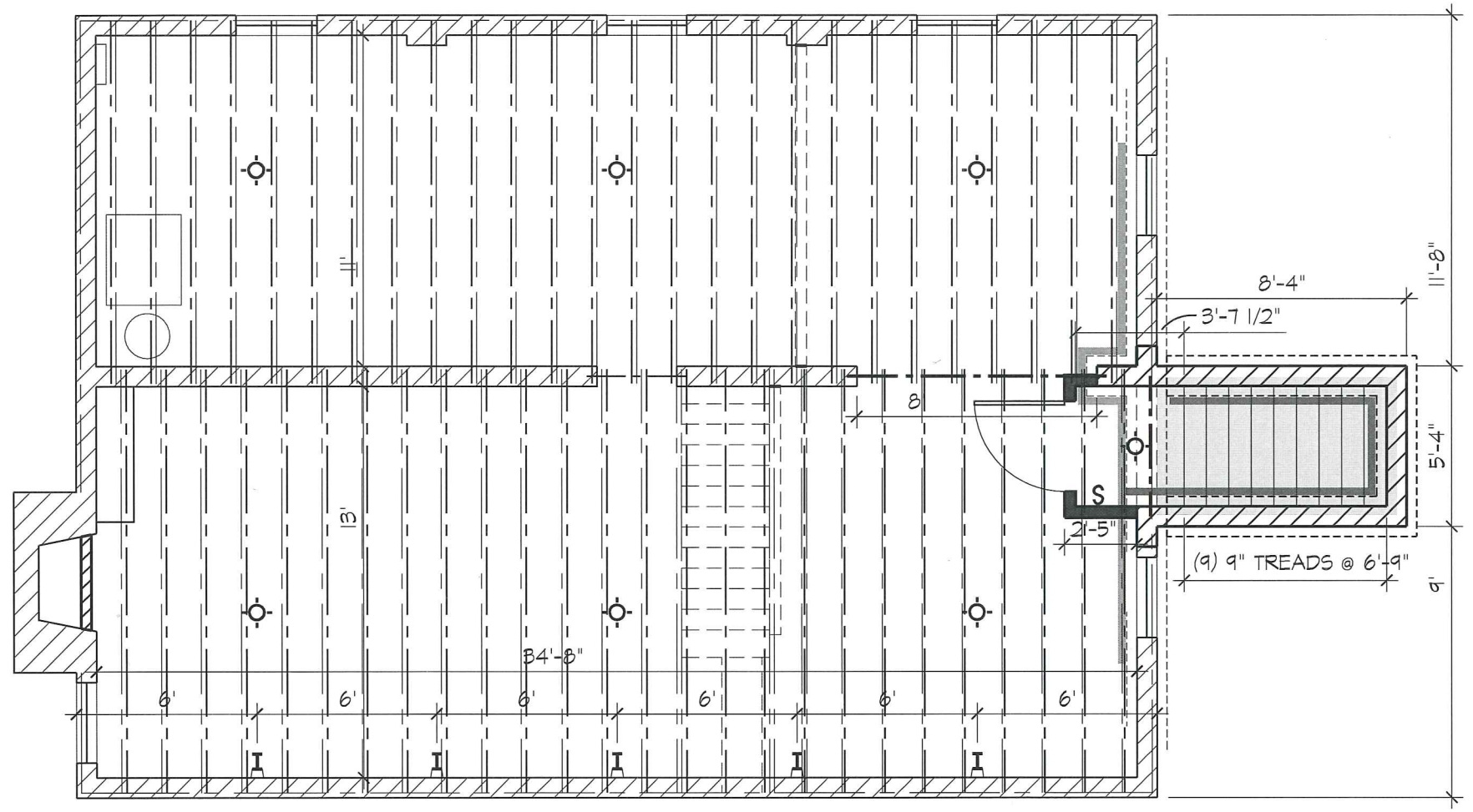
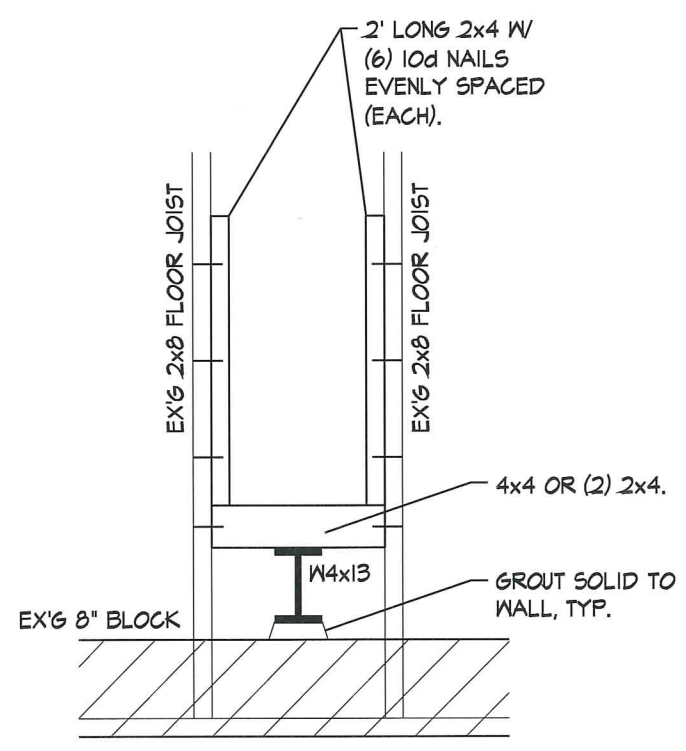
All work herein, whether or not it is intended to be used as a basis for construction, is the property of Sigma Associates, Inc. and shall remain the property of Sigma Associates, Inc. No part of this work shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Sigma Associates, Inc. The user of this work shall be deemed to have accepted the terms and conditions of this license. The user shall be responsible for obtaining all necessary permits and approvals for the use of this work. The user shall be responsible for the accuracy and completeness of the information provided to Sigma Associates, Inc. Sigma Associates, Inc. shall not be liable for any damages, including consequential damages, arising out of the use of this work. This work is provided as a service to the user and is not intended to constitute an offer of insurance or any other financial product. The user shall be responsible for obtaining all necessary permits and approvals for the use of this work. The user shall be responsible for the accuracy and completeness of the information provided to Sigma Associates, Inc. Sigma Associates, Inc. shall not be liable for any damages, including consequential damages, arising out of the use of this work. This work is provided as a service to the user and is not intended to constitute an offer of insurance or any other financial product.

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**AAA ENGINEERING**  
 STRUCTURAL ENGINEER  
**DONALD K. ALLEMANG, PE**  
 PLUMBING, HVAC & ELECTRICAL ENGINEER

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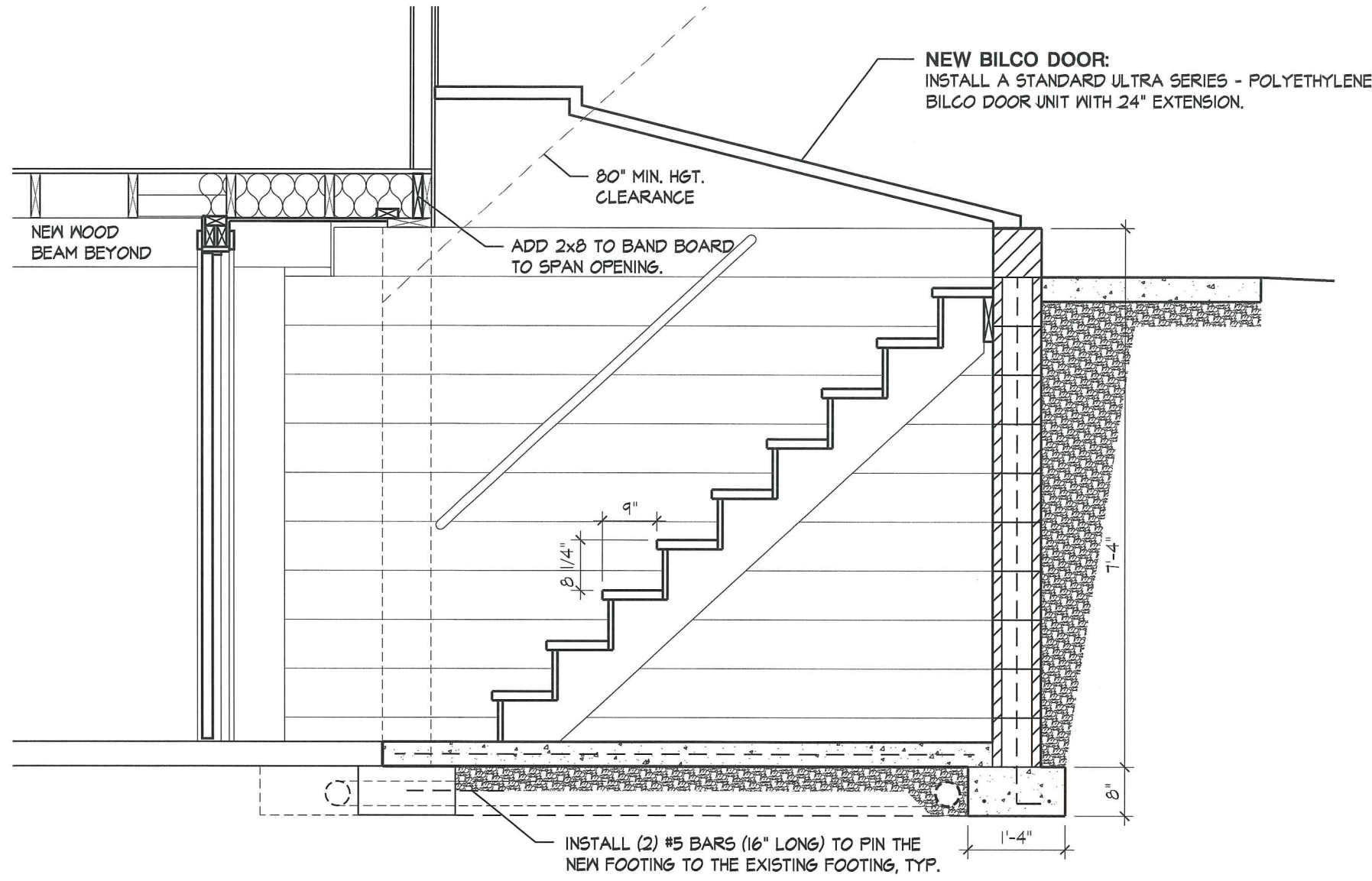
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Sheet Reference:



**BASEMENT AND FLOOR FRAMING PLAN**

3/16"=1'-0"



**EXTERIOR STAIR SECTION**

1/2"=1'-0"



Segna Associates, Inc.  
 781 northwest boulevard  
 columbus, ohio 43212  
 phone: 614.281.7810

Consultants:  
**AAA ENGINEERING**  
 Structural Engineer  
**DONALD K. ALLEMANG, PE**  
 PLUMBING, HVAC, ELECTRICAL ENGINEER

Project Reference: #15021  
**G.A.A.P.**  
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**GAHANNA, OH 43230**

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**A6**



**SOUTH ELEVATION**

3/16"=1'-0"



**NORTH ELEVATION**

3/16"=1'-0"

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G.A.A.P.

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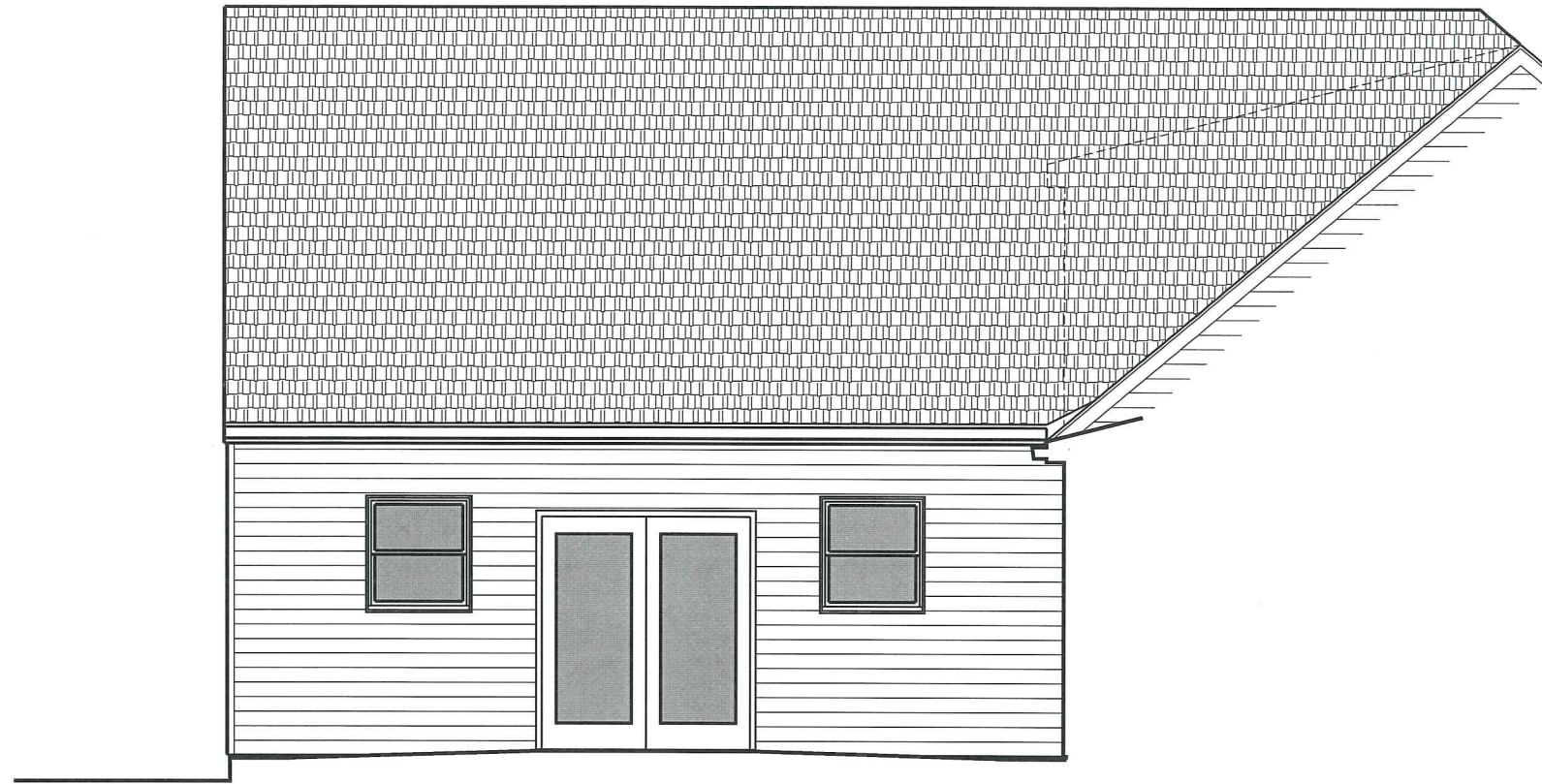
**A7**

Consultants:  
AAA ENGINEERING  
STRUCTURAL ENGINEER  
DONALD K. ALLEMANG, PE  
PLUMBING, HVAC & ELECTRICAL ENGINEER

EXISTING STRUCTURE IMPROVEMENTS AND ADDITION  
254 AGLER RD  
GAHANNA, OH 43230



At 10/10/2016, 10/10/2016, the plan was submitted to the City of Gahanna, Ohio for review. The plan was reviewed by the City of Gahanna, Ohio and approved for construction. The plan was prepared by Sequie Associates Incorporated, 7811 Northwest Boulevard Columbus, Ohio 43212 phone 614-281-7810



**WEST ELEVATION**  
3/16"=1'-0"



**EAST ELEVATION**  
3/16"=1'-0"

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**Consultants:**  
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STRUCTURAL ENGINEER  
DONALD K. ALLEMANG, PE  
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Sheet Reference:



VIEW OF FRONT OF PROPERTY FROM AGLER ROAD



VIEW OF REAR OF PROPERTY FROM REAR OF BUILDING

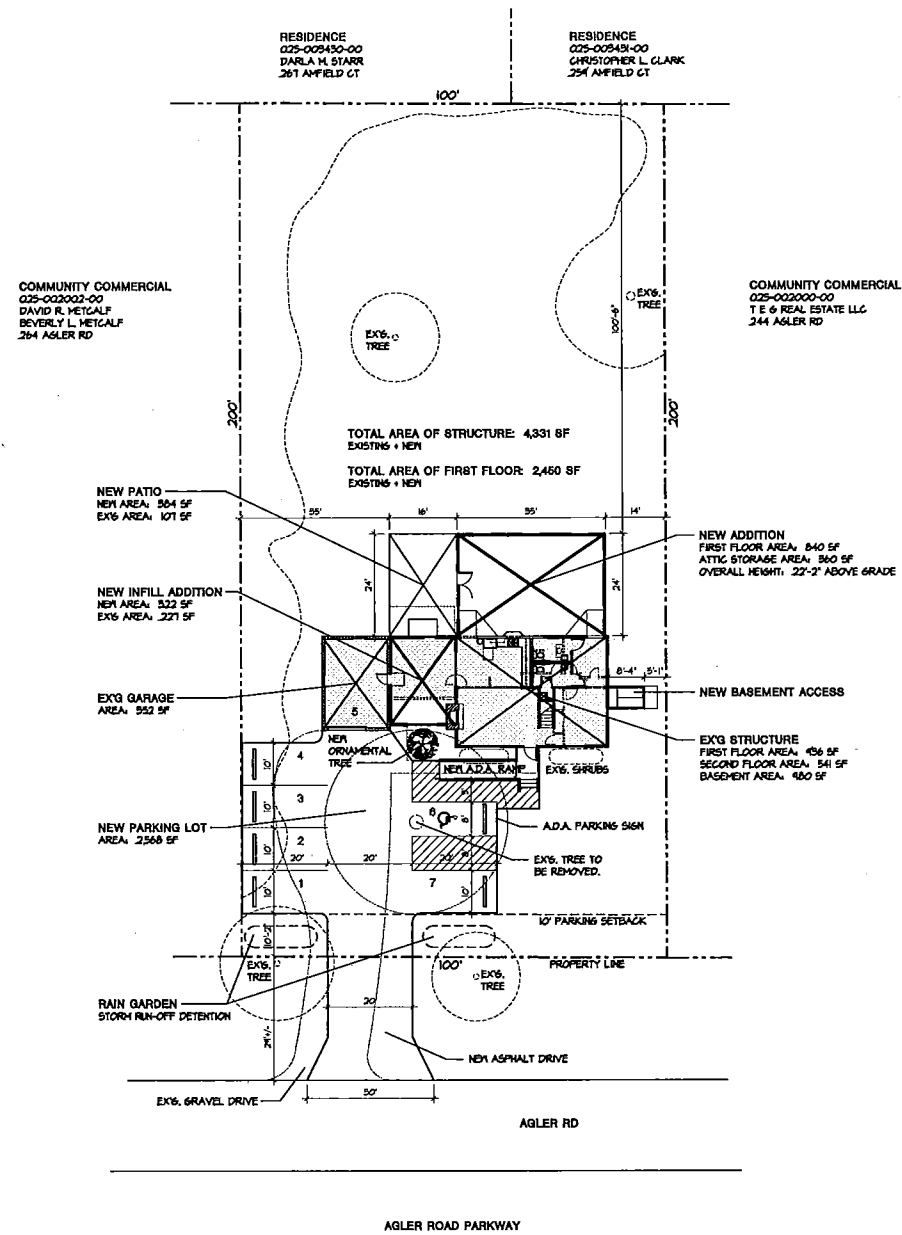
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 **OVERALL SITE PLAN**  
1"=30'-0"



 **LOCATION PLAN**  
N.T.S.

**SITE INFO:**

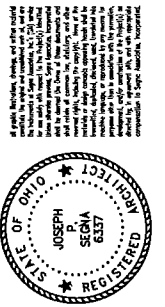
PARCEL NUMBER: 025-002001-00  
CURRENT ZONING: COMMUNITY COMMERCIAL  
PROPERTY AREA: 20,000 SF (.46 ACRE)

LOT COVERAGE:  
SITE AREA: 20,000 SF  
BUILDING COVERAGE: 2,450 SF  
PAVEMENT COVERAGE: 2,952 SF  
TOTAL COVERAGE: 5,402 SF (27%)

PARKING:  
30 KIDS (GRADES 1 - 8) (1 SPC / 15) = 2 SPACES  
10 KIDS (GRADES 9 - 12) (1 SPC / 5) = 2 SPACES  
3 STAFF/TEACHERS (1 SPC / 1) = 3 SPACES  
TOTAL SPACES REQUIRED 7 SPACES  
TOTAL SPACES PROVIDED 7 SPACES

**GENERAL NOTES - SITE WORK**

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD BEFORE COMMENCING CONSTRUCTION WORK. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO START OF WORK. ALL CONSTRUCTION SHALL SATISFY ALL APPLICABLE BUILDING CODES.
- ALL WORK DONE BEYOND CONSTRUCTION LIMITS AND/OR OFF-SITE MUST BE REPAIRED, FILLED, GRADED, SEEDED OR PERFORM OTHER NECESSARY MEASURES TO ESTABLISH ORIGINAL CONDITIONS.
- UTILITIES PROTECTION  
EACH CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE OHIO UTILITIES PROTECTION SERVICE (TOLL FREE 800-362-2764) 48 HOURS PRIOR TO ANY EXCAVATING, FENCING, PLANTING OR OTHER WORK THAT DISTURBS THE EARTH FOR THE LOCATION OF EXISTING UNDERGROUND FACILITIES. ALL OTHER OWNERS OF UNDERGROUND UTILITIES WHO ARE NOT CURRENT MEMBERS OF THE OHIO UTILITIES PROTECTION SERVICE SHOULD ALSO BE NOTIFIED TWO WORKING DAYS IN ADVANCE. THE CONTRACTOR SHALL BE FULLY LIABLE FOR ANY AND ALL DAMAGES THAT MAY BE CAUSED TO EXISTING UTILITIES UPON FAILURE TO GIVE 48 HOURS ADVANCE NOTIFICATION.
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND/OR IN ACCORDANCE WITH OTHER AGENCIES HAVING LAMFUL JURISDICTION OVER THE WORK.
- CONTRACTOR WILL BE RESPONSIBLE FOR TAKING ALL NECESSARY SAFETY PRECAUTIONS, MEANS, METHODS AND TECHNIQUES FOR ALL WORK ACTIVITIES, AND SHALL ABIDE BY ALL GOVERNING LAWS AND REGULATIONS HAVING JURISDICTION.
- MAINTAIN NECESSARY BARRICADES AROUND WORK AREAS TO PROVIDE A SAFE ENVIRONMENT FOR PERSONS USING THE BLDG. & SITE.
- NO EXCAVATING, CUTTING OF STRUCTURE OR THE LIKE SHALL BE DONE TO REDUCE THE STRUCTURAL INTEGRITY OF THE BLDG. & OR ITS COMPONENTS.
- ADJACENT PROPERTIES SHALL NOT BE UTILIZED FOR THIS WORK UNLESS AUTHORIZATION IS OBTAINED FROM THAT OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE TO SUCH PROPERTY.
- ALL UNDERGROUND UTILITIES SERVICING THE BLDG. SHALL BE MAINTAINED DURING CONSTRUCTION ACTIVITY. CARE MUST BE TAKEN DURING EXCAVATION NOT TO DAMAGE ANY EXISTING UTILITY UNLESS APPROVED BY OWNER, ARCHITECT & UTILITY COMPANY OR AGENCY. BACKFILL AROUND FOUND UTILITIES IN ACCORDANCE WITH LOCAL UTILITY & GOVERNING CODES. ALL DAMAGED & DISCONNECTED UTILITIES TO BLDG. BY CONTRACTOR SHALL BE REPAIRED BY SAME AT NO COST TO THE OWNER.
- CONTRACTOR SHALL CLEAN UP ALL DIRT & DEBRIS ASSOCIATED WITH THE WORK, DAILY AS REQUIRED AND AT COMPLETION OF PROJECT.
- WATER & ELECTRIC WILL BE AVAILABLE AT THE SITE FOR USE BY CONTRACTOR. COST WILL BE PAID BY OWNER.
- ALL TRENCHES FOR UTILITIES SHALL BE FILLED IN ACCORDANCE WITH STANDARDS REQUIRED BY THE UTILITY AGENCY. A MINIMUM STANDARD FOR BACKFILL IS TO USE SAND BEDDING TO TOP OF PIPES WITH SELECT FILL MATERIAL, COMPACTED, TO GRADE AS REQUIRED.
- CONTRACTOR SHALL PROVIDE NECESSARY STAKING OF SITE FOR STRUCTURES, GRADES ETC. IN PERFORMANCE OF WORK.
- CONTRACTOR(S) PERFORMING WORK SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED WHETHER TEMPORARY OR PERMANENT.
- SITE INFORMATION WAS DEVELOPED BASED ON THE AUDITOR'S WEBSITE AND FIELD OBSERVATION. AN ACRUAL SURVEY WAS NOT PERFORMED.
- SITE HAS NOT BEEN INSPECTED FOR HAZARDOUS OR CONTAMINATED MATERIAL. THE CONTRACTOR(S) SHALL CONFER WITH OWNER BEFORE COMMENCING WORK. ANY HAZARDOUS OR CONTAMINATED MATERIAL KNOWN OR IDENTIFIED SHALL BE HANDLED IN ACCORDANCE WITH CURRENT GOVERNMENTAL REGULATIONS AND AGENCIES HAVING JURISDICTION.



Consultants:  
**ALAN A. ALBRECHT**  
STRUCTURAL ENGINEER  
**DONALD K. ALLEMANG, PE**  
PLUMBING, HVAC & ELECTRICAL ENGINEER

Project Reference: 15021  
**G.A.A.P.**  
**NEW YOUTH CENTER**  
254 AGLER ROAD  
GAHANNA, OH 43230

Date:       7 JUNE 2016

Project Status:  
 Planning  
 Programming  
 Schematic Design  
 Design Development  
 Construction Documents  
 Final Development Plan

Sheet Reference:

**SP1**

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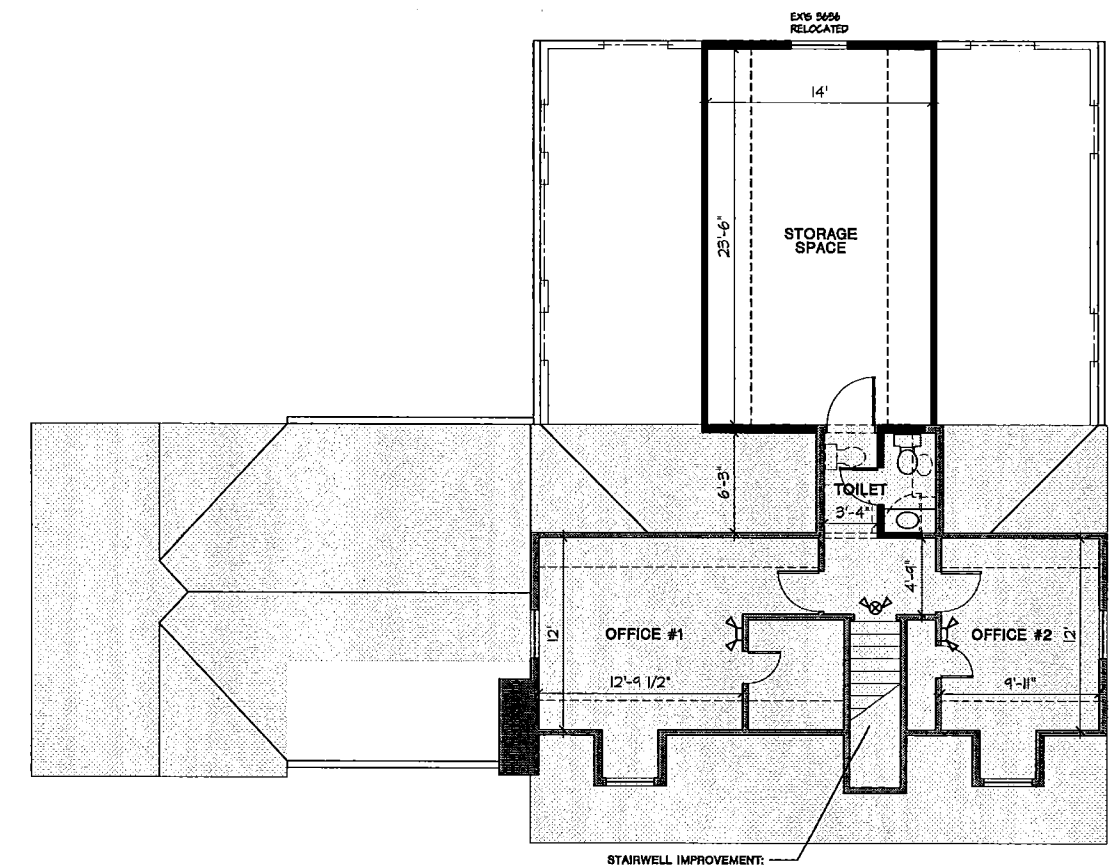
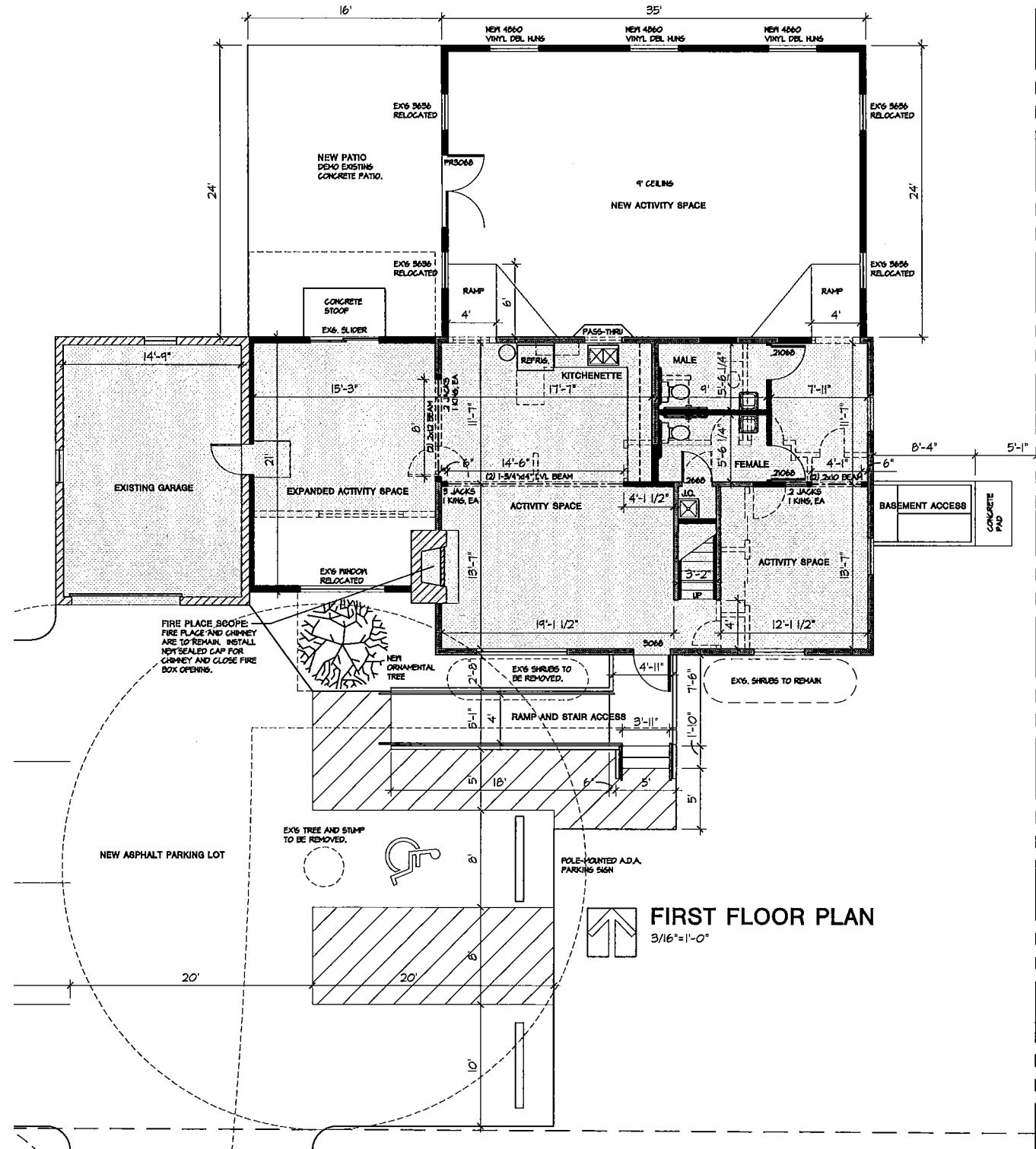


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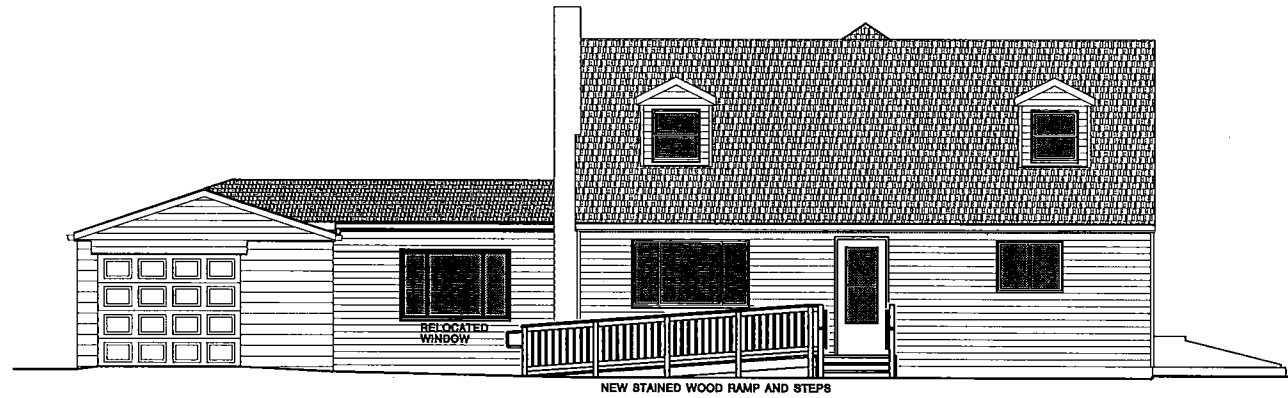
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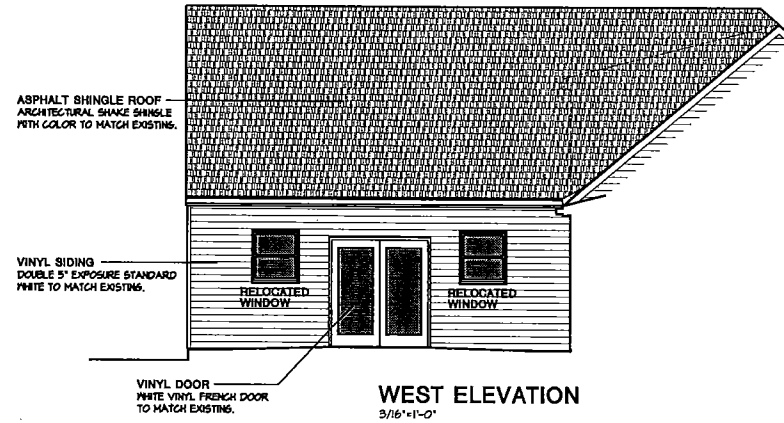


**SECOND FLOOR PLAN**  
 3/16"=1'-0"

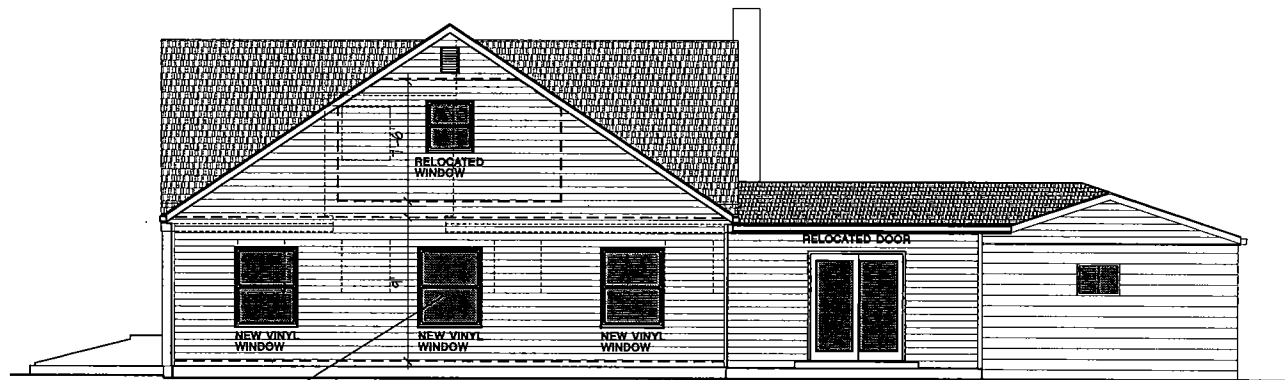




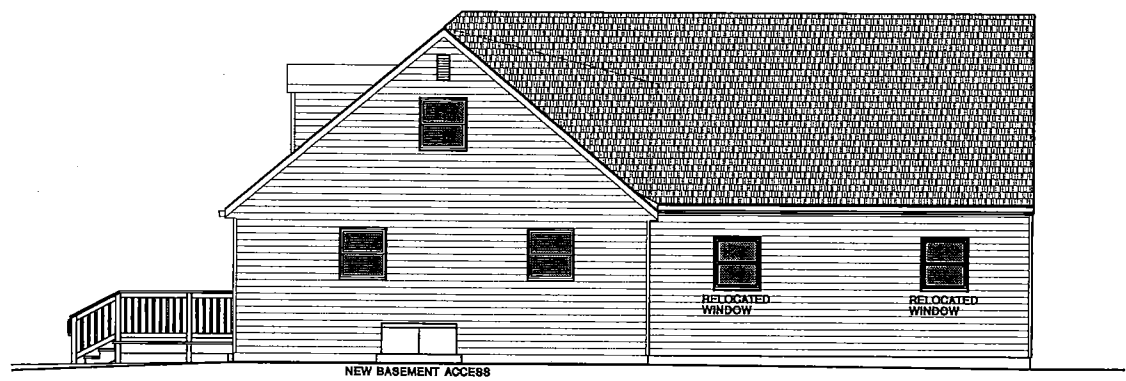
**SOUTH ELEVATION**  
3/16"=1'-0"



**WEST ELEVATION**  
3/16"=1'-0"



**NORTH ELEVATION**  
3/16"=1'-0"



**EAST ELEVATION**  
3/16"=1'-0"



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**A 2**



## CITY OF GAHANNA

### STAFF COMMENTS

Project Name: Youth Center

Project Address: 254 Agler Rd.

Planning and Development Department

#### FDP/DR Criteria

Planning Commission shall approve an application for Final Development Plan if the following four conditions are met:

1. The proposed development meets the applicable development standards of this Zoning Ordinance.

*No variances have been requested. It appears the request meets all applicable standards within the Zoning Ordinance*

2. The proposed development is in accord with appropriate plans for the area.

*The site is not located within any subarea plans, however, it is located within the West Gahanna Priority Development Area (PDA), Target Site 1A and designated as mixed use. Properties designated as mixed use are appropriate for residential and commercial uses.*

3. The proposed development would not have undesirable effects on the surrounding area.

*The scope of the project is limited and therefore appears to not create an undesirable effect on the surrounding area.*

4. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

*Staff believes the request is consistent with the existing development of the area. Agler Road, east of Stygler Road, consists of similarly sized parcels with similar uses. The proposed improvements and use does not appear to create any inconsistencies with existing development.*

*It is Planning & Development staff's opinion that the request meets the four conditions for approval.*

Planning Commission shall approve an application for Certificate of Appropriateness if it determines the proposal meets the following criteria:

1. Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.



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## CITY OF GAHANNA

*The design and materials of the proposed additions is consistent with the existing building.*

2. Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
3. Contribute to the continuing economic and community vitality of the Design Review District.
4. Maintain, protect and enhance the physical surroundings of the Design Review District.

*Additional investment in the property should enhance the built environment of the district.*

*It is Planning & Development staff's opinion that the request meets the four conditions for approval.*

### Aerial



Respectfully Submitted By:  
Michael Blackford, AICP  
Deputy Director of Planning and Development



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## CITY OF GAHANNA

### STAFF COMMENTS

Project Name: Youth Center  
Project Address: 254 Agler Rd.

The applicant seeks approval for a Final Development Plan and a Certificate of Appropriateness to convert an existing residential structure to a youth center. This is a .46 acre parcel. Although the property was used for residential for many years, it has been zoned Community Commercial since 1961. The total area of the structure will be 4,331 sq ft, with the total area of the first floor at 2,450 sq ft after the additions. The interior access stairs to the basement will be removed, and a new set of exterior steps will be provided for access. A new ADA ramp

The number of parking stalls, dimensions, and drive aisle width are as required by code. As the lot does not contain more than 10 spaces, it is not required to be lighted or striped. One handicapped space is required and provided.

The exterior materials will match those of the existing structure.

Respectfully Submitted By:

**BONNIE GARD**

Planning & Zoning Administrator  
Department of Public Service  
Division of Building & Zoning



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