



ZONING DIVISION
 200 S. Hamilton Road
 Gahanna, Ohio 43230
 614-342-4025
 zoning@gahanna.gov
 www.gahanna.gov

FINAL DEVELOPMENT PLAN APPLICATION

PROPERTY INFORMATION		
Project/Property Address: 530 Tech Center Drive, Gahanna, OH 43230		Project Name/Business Name: Sheetz Tech Center / Sheetz, Inc.
Parcel #: 025-013767	Zoning: (see <u>Map</u>) SCPD	Acreage: Proposed 2.90 AC

PLAN SPECIFICATIONS
Project Description & Proposed Use(s): This projects consists of the development of a Sheetz quick service restaurant with fuel center. The primary building will be surrounded by parking and drive isles and an associated fuel center. The necessary utilities to serve the site such water, sanitary, electric and a private storm sewer is proposed as well.

APPLICANT INFORMATION	
Applicant Name (Primary Contact): D.W. Route	Applicant Address: 4270 Morse Road, Columbus, Ohio 43230
Applicant E-mail: Droutte@skilkengold.com	Applicant Phone: 614-418-3100
Business Name (if applicable): Skilken Gold Real Estate Development	

ADDITIONAL CONTACTS	
Please list all applicable contacts for correspondence	
Name(s)	Contact Information (phone/email)
Engineer- V3 Companies	Braydon Putnam - 330-575-6830 - bputnam@v3co.com Andrew Gardner - 614-236-3650 - agardner@v3co.com
Property Owner Name: (if different from Applicant) CP Crescent LLC	Property Owner Contact Information (phone no./email):

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature: D.W. Route Date: 3/26/24

ADDITIONAL INFORMATION ON NEXT PAGE....

INTERNAL
USE

Zoning File No. DP-24-8

RECEIVED: KAW
DATE: 04-02-2024

PAID: \$1000.00
DATE: 04-02-2024

Updated
Apr 2022

FINAL DEVELOPMENT PLAN APPLICATION - SUBMISSION REQUIREMENTS

TO BE COMPLETED/SUBMITTED BY THE APPLICANT:
1. Review Gahanna Code Chapter 1108 (visit www.municode.com) & Chapter 914 , Tree Requirements
2. Pre-application conference with staff. Contact zoning@gahanna.gov to schedule
3. The Final Development Plan shall include the following: <ol style="list-style-type: none"> a. Scale: Minimum - one inch equals 100 feet. b. The proposed name of the development, approximate total acreage, north arrow, and date c. The names of any public and/or private streets adjacent to or within the development d. Names and addresses of owners, developers and the surveyor who designed the plan e. Vicinity map showing relationship to surrounding development and its location within the community f. Natural features currently within proposed development, including drainage channels, tree lines, bodies of water, and other significant features g. Zoning district, building and parking setbacks h. Proposed location, size and height of building and/or structures i. Location and dimensions of proposed driveways and access points j. Proposed parking and number of parking spaces k. Distance between buildings
4. A table of development calculations is required which shall include: <ol style="list-style-type: none"> a. Parking calculations: (square footage of proposed buildings, number of spaces per square foot, number of spaces required, and actual number of spaces proposed) b. Lot coverage calculations: (square footage of site, area of permanently impervious surfaces broken down into buildings and parking, area of uncovered land, coverage requirements, proposed lot coverage) c. Setback calculations necessary when commercial abuts residential (if needed; see chapter 1167.20) d. Landscaping calculations: (square footage of pavement, proposed area of landscaping, square footage of landscaping, number of trees required, and number of trees proposed; see chapter 1163.08)
5. Any other information the Planning Commission may deem to be necessary to evaluate the application. These items can include such things as elevations, traffic studies, floor plans, etc.
6. List of contiguous property owners & their mailing address
7. One set of pre-printed mailing labels for all contiguous property owners
8. Application fee (<i>in accordance with the Building & Zoning Fee Schedule</i>)
9. Application & all supporting documents submitted in digital format
10. Application & all supporting documents submitted in hardcopy format
11. One (1) copy 24"x36" or 11"x17" prints of the plans
12. Authorization Consent Form Complete & Notarized (see page 3)

PLEASE NOTE:

- The Public Hearing will not occur until the City of Gahanna reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.
- The application expires if no action is taken 6 months from the date of the last staff comment letter.

AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

PROPERTY OWNER

IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

CP Crescent, LLC
(property owner name printed)

William S. Riat
(property owner signature)

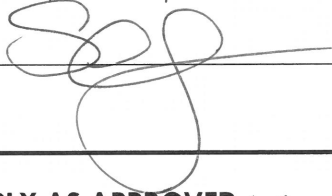
William S. Riat, Member of Management Committee
(date)

3/27/24
(date)

Subscribed and sworn to before me on this 27th day of March, 2024.

State of Ohio County of Franklin

Notary Public Signature: _____




Steven K. Dankof, Jr., Attorney At Law
NOTARY PUBLIC - STATE OF OHIO
My commission has no expiration date
Sec. 147.03 R.C.

Applicant/Property Owner/Representative

AGREEMENT TO COMPLY AS APPROVED As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

AUTHORIZATION TO VISIT THE PROPERTY I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described.

APPLICATION SUBMISSION CERTIFICATION I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

D.W. Route
(applicant/representative/property owner name printed)

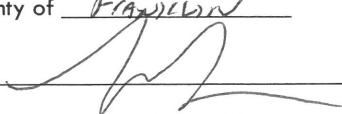
D.W. Route
(applicant/representative/property owner signature)

3-28-24
(date)

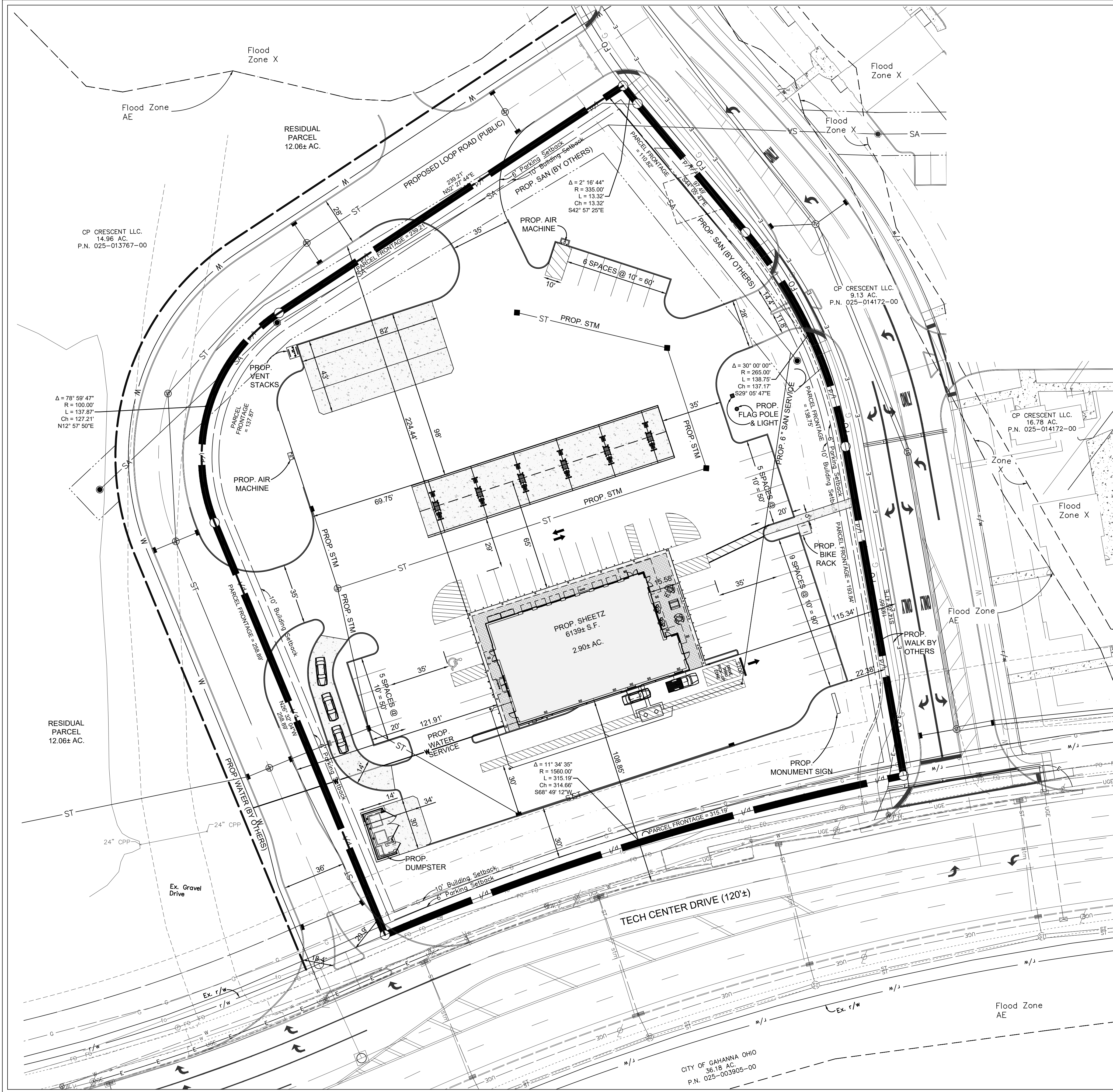
Subscribed and sworn to before me on this 28th day of March, 2024.

State of Ohio County of Franklin

Notary Public Signature: _____




ANDREW JANITZKI
Notary Public, State of Ohio
Commission #: 2021-AT-841888
Stamp & Seal



LOCATION MAP
NO SCALE

PARKING CALCULATIONS				
AREA	SQUARE FOOTAGE	MIN. PARKING REQ'D*	TOTAL PARKING PROVIDED	PARKING RATIO
RESTAURANT SPACE	3,069± S.F.	21	30	9.78/1000 S.F. 1/102 S.F.
RETAIL SPACE	3,069± S.F.	13	19	6.19/1000 S.F. 1/162 S.F.
OVERALL BUILDING	6,139± S.F.	34	49	7.98/1000 S.F. 1/125 S.F.

PER CHAPTER 1163 OF THE GAHANNA ZONING CODE, 1 PARKING SPACE IS REQUIRED FOR EVERY 250 S.F. OF RETAIL USE.
PER CHAPTER 1163 OF THE GAHANNA ZONING CODE, 1 PARKING SPACE IS REQUIRED FOR EVERY 150 S.F. OF RESTAURANT USE, PARTIAL SERVICE, OVER 5 TABLES.
PER ADA REQUIREMENTS, THERE IS A MINIMUM OF TWO REQUIRED ACCESSIBLE PARKING SPACES BASED ON THE PARKING COUNT BETWEEN 26 TO 50 SPACES. TWO ARE PROVIDED. (ONE ACCESSIBLE VAN AND ONE STANDARD SPACE).

TOTAL SITE DEVELOPMENT INFORMATION

EXISTING PROPERTY OWNER: CP CRESCENT LLC
 EXISTING PROPERTY USE: UNDEVELOPED
 EXISTING SITE ACREAGE: 14.96 ACRES

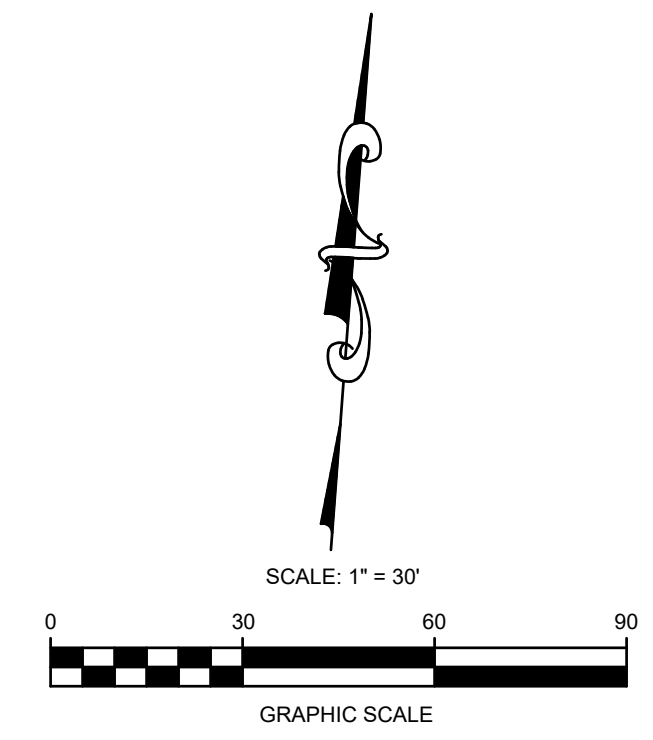
PROPOSED 'SPLIT' SITE ACREAGE:
 RESIDUAL PARCEL: 11.97 ACRES
 PROP. SHEETZ PARCEL: 2.99 ACRES

EXISTING ZONING: SCPD - SELECT COMMUNITY PLANNED DISTRICT

ADJACENT ZONING NORTH: SCPD - SELECT COMMUNITY PLANNED DISTRICT
 ADJACENT ZONING SOUTH: SCPD - SELECT COMMUNITY PLANNED DISTRICT
 ADJACENT ZONING EAST: SCPD - SELECT COMMUNITY PLANNED DISTRICT
 ADJACENT ZONING WEST: SCPD - SELECT COMMUNITY PLANNED DISTRICT

EX. BUILDING COVERAGE: 0.00 ACRES (~0%)
 EX. PAVEMENT COVERAGE: 0.02 ACRES (~0.74%)
 EX. SIDEWALK COVERAGE: 0.00 ACRES (~0%)

PROP. BUILDING COVERAGE: 0.14 ACRES (4.9%)
 PROP. PAVEMENT COVERAGE: 1.73 ACRES (59.7%)
 PROP. SIDEWALK COVERAGE: 0.08 ACRES (2.81%)
 TOTAL LOT COVERAGE: 67.41%



ENGINEER
 V3 COMPANIES
 550 POLARIS PARKWAY, STE. 250
 WESTERVILLE, OHIO 43082
 PHONE: 614-761-1661
 FAX: 614-761-1328
 CONTACT: ANDREW GARDNER, P.E.
 E-MAIL: AGARDNER@V3CO.COM

DEVELOPER
 SKILKEN GOLD
 4270 MORSE ROAD
 COLUMBUS, OHIO 43230
 PHONE: 380-800-7822
 CONTACT: D.W. ROUTTE
 EMAIL: DROUTTE@SKILKENGOLD.COM

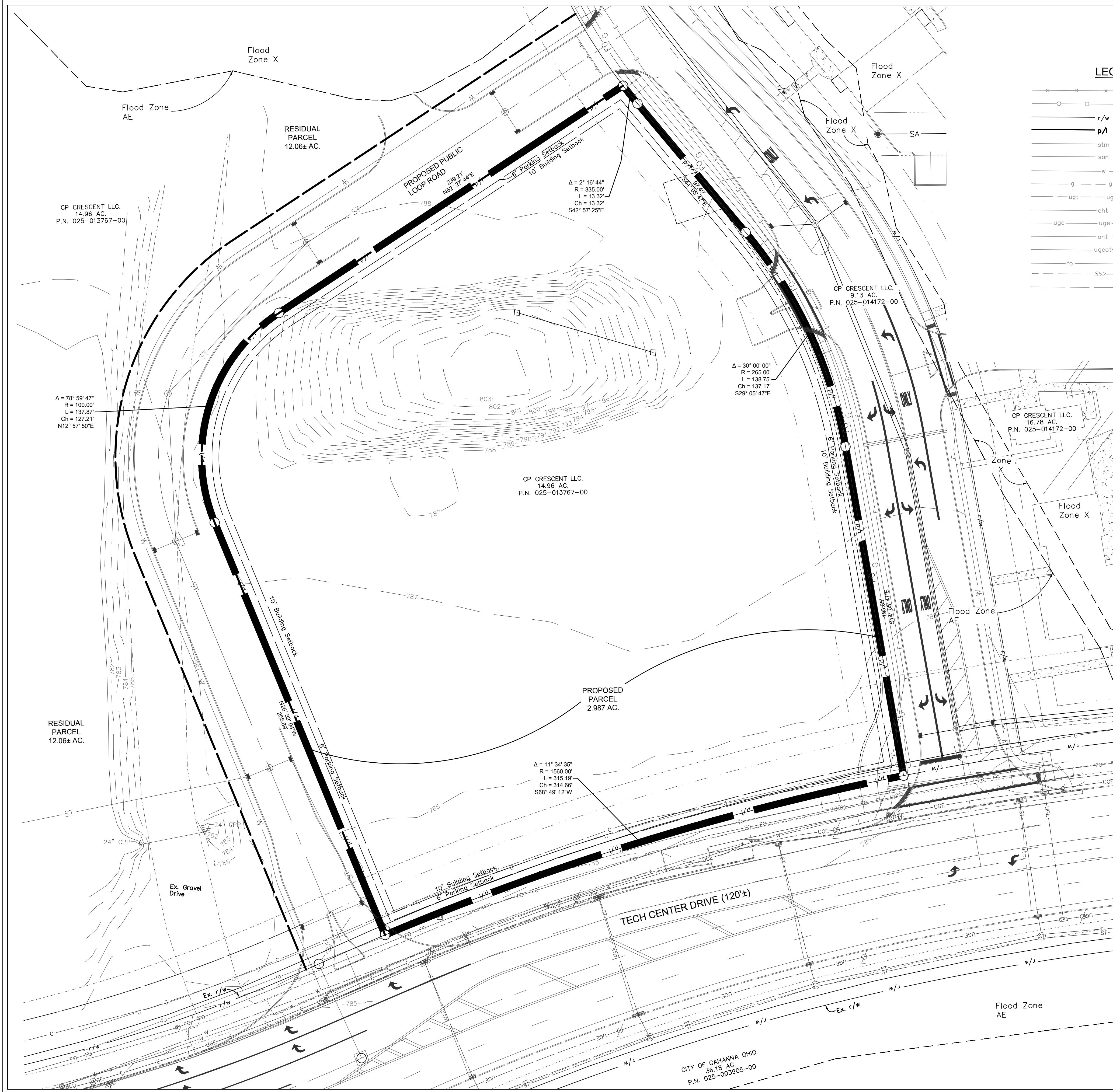
REVISIONS		NO.	DATE	DESCRIPTION

PROJECT NO.: 230944
 ORIGINAL ISSUE DATE: 05/20/2024
 PROJECT MANAGER: AAG
 DESIGNED BY: BNP
 DRAWN BY: RUB

FINAL DEVELOPMENT PLAN
SHEETZ TECH CENTER
 OHIO
 S04
 GAHANNA

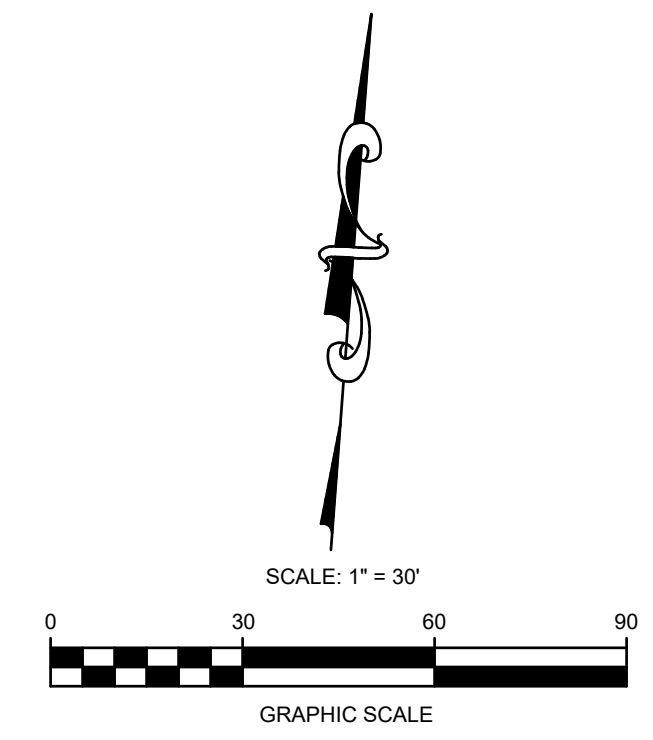
550 Polaris Parkway,
 Suite 250
 Westerville, OH 43082
 614.761.1661 phone
 www.v3co.com

DRAWING NO.
1

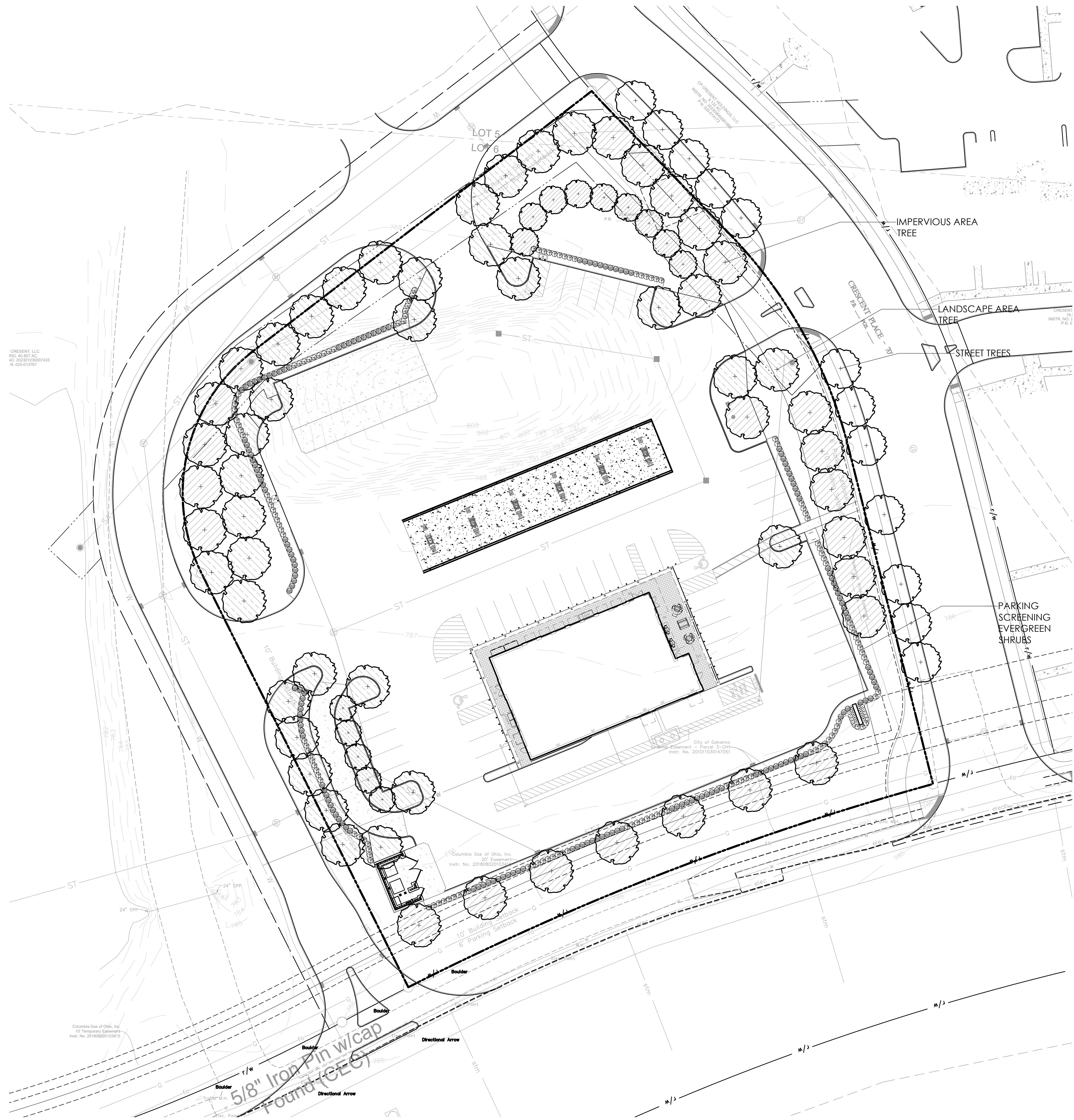


LEGEND

—*—*—*—*—	FENCE
—○—○—○—○—	GUARDRAIL
—r/w—	RIGHT-OF-WAY
—p/l—	PROPERTY LINE
—stm—	STORM SEWER
—san—	SANITARY SEWER
—w—	WATER
—g—g—g—	GAS
—ugt—ugt—ugt—	TELEPHONE (UNDERGROUND)
—oht—	TELEPHONE (OVERHEAD)
—uge—uge—uge—	ELECTRIC (UNDERGROUND)
—oht—	ELECTRIC (OVERHEAD)
—ugcatv—	CATV (UNDERGROUND)
—fo—fo—	FIBER OPTIC (UNDERGROUND)
—66.2—	EXISTING CONTOURS
---	UNDERLYING PROPERTY LINE



EXISTING CONDITIONS PLAN SHEETZ TECH CENTER GAHANNA OHIO	PROJECT NO.: 230944 PROJECT MANAGER: AAG DESIGNED BY: BNP DRAWN BY: RUB	ORIGINAL ISSUE DATE: 05/20/2024	REVISIONS NO. DATE DESCRIPTION
	550 Polaris Parkway, Suite 250 Westerville, OH 43082 614.761.1661 phone www.v3co.com		DRAWING NO. 2

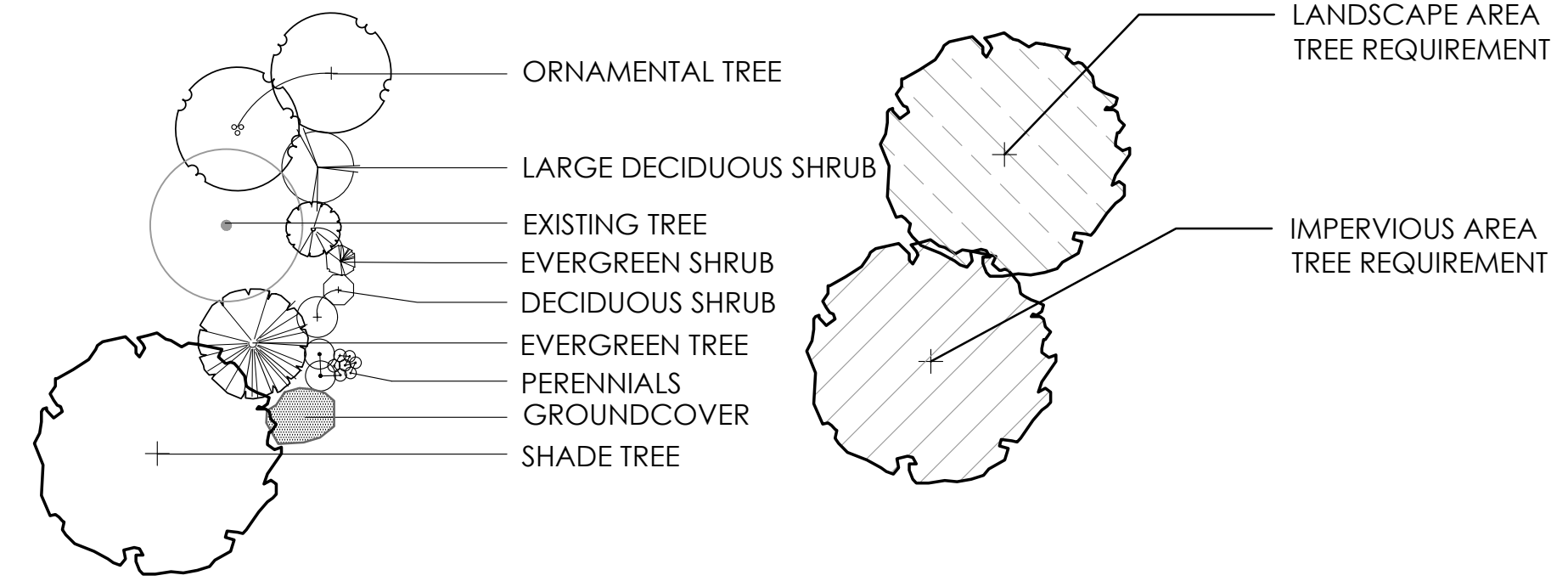


LANDSCAPE REQUIREMENTS

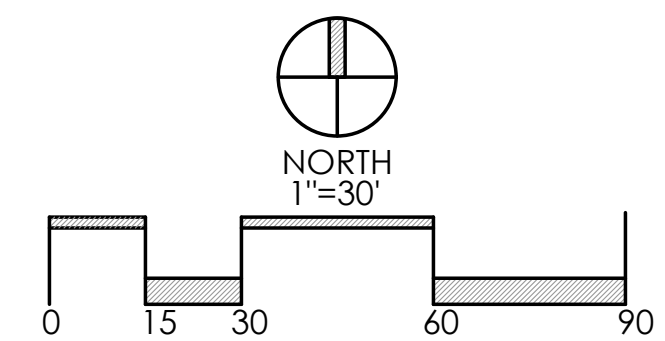
REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM TREES REQUIRED (914.05)		
NEW STRUCTURES, PARKING AREAS, LOADING AREAS, OR OTHER IMPERVIOUS SURFACES SHALL PLANT A MINIMUM OF ONE SHADE TREE CALIPER INCH PER 1,000 SQUARE FEET OF IMPERVIOUS SURFACE.	±83,354.11 SF OF IMPERVIOUS SURFACE. 83.35 CAL. INCHES OF SHADE TREE REQUIRED.	85 CALIPER INCHES OF SHADE TREE PROVIDED -(34) 2.5" CALIPER TREES
INTERIOR LANDSCAPE REQUIREMENTS (1163.08)		
(B) ALL PARKING AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE SCREENED FROM VIEW BY USE OF AN EVERGREEN HEDGE, MASONRY WALL (BRICK OR STONE), MOUND OR COMBINATION THEREOF TO A HEIGHT OF THREE FEET.	EVERGREEN HEDGE, MASONRY WALL (BRICK OR STONE), MOUND OR COMBINATION THEREOF TO A HEIGHT OF THREE FEET.	EVERGREEN HEDGE TO A HEIGHT OF 3' PROVIDED.
(C) THE REQUIRED AMOUNT OF INTERIOR LANDSCAPING AREA SHALL BE FIVE PERCENT OF THE TOTAL AREA OF THE PARKING LOT PAVEMENT.	PARKING LOT PAVEMENT AREA = ±73,381.76 SF 73,381.76 X 5% = 3,669.88 SF OF INTERIOR LANDSCAPE AREA REQUIRED	±3,875.80 SF OF INTERIOR LANDSCAPE AREA PROVIDED
(D) THE MINIMUM SIZE OF THE TOTAL AREA OF ANY ONE LANDSCAPE AREA SHALL BE 50 SQUARE FEET WITH THE MINIMUM DIMENSION BEING FIVE FEET.	50 SF MINIMUM LANDSCAPE AREA REQUIRED WITH MINIMUM DIMENSION BEING 5 FEET	NO LANDSCAPE AREA SMALLER THAN 50 SF AND NO DIMENSION LESS THAN 5 FEET PROVIDED
(E) ONE TREE PER 100 SQUARE FEET OF REQUIRED LANDSCAPE AREA OR PORTION THEREOF SHALL BE REQUIRED. THE MINIMUM CALIPER OF SUCH TREES SHALL BE THREE INCHES AS MEASURED IN ACCORDANCE WITH ANSI REQUIREMENTS.	37 TREES REQUIRED FOR 3,864.69 SF OF LANDSCAPE AREA REQUIRED	37 TREES PROVIDED

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS

SITE COMPLIANCE PLAN

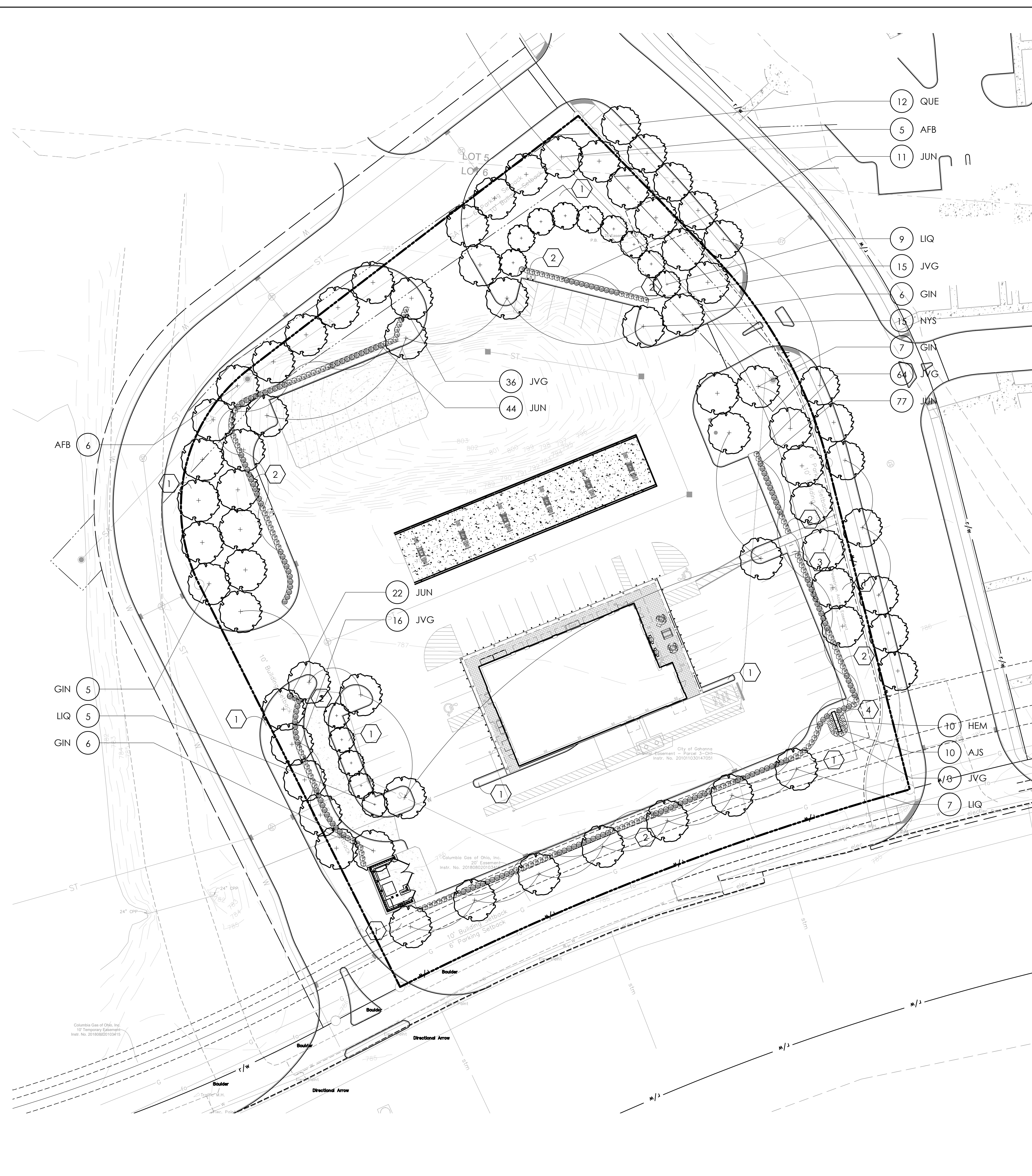
SHEETZ TECH CENTER

PREPARED FOR
V3 COMPANIES
550 POLARIS PARKWAY, SUITE 225
WESTERVILLE, OH 43082

Paris Planning & Design

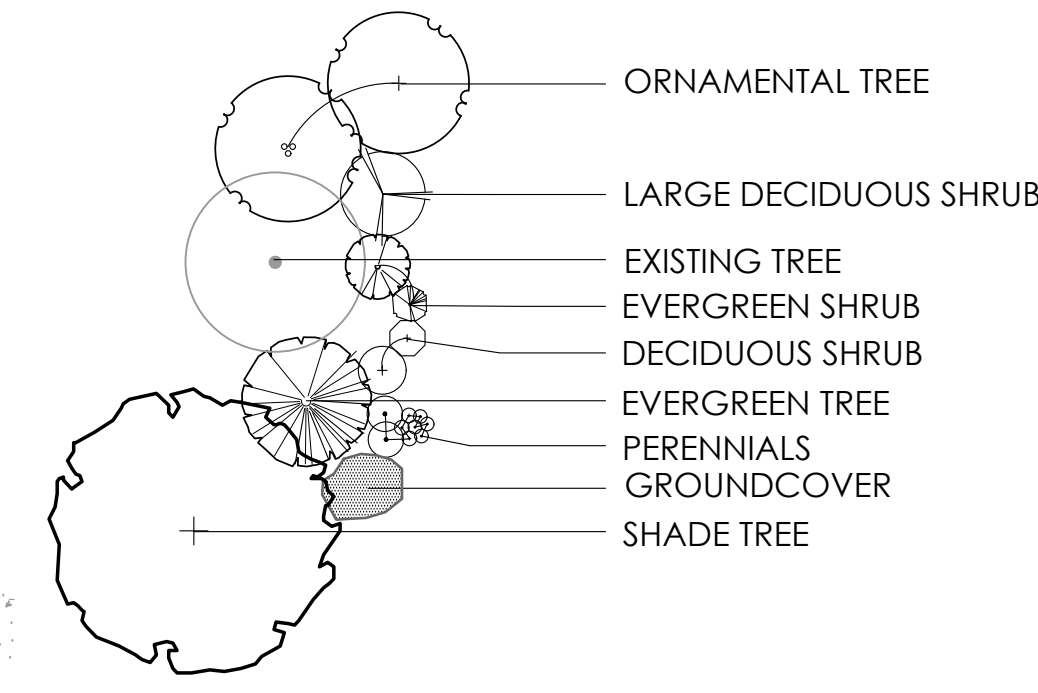
LAND PLANNING
LANDSCAPE ARCHITECTURE
Hilliard, OH 43026
P (614) 487-1964
www.parisplanninganddesign.com

DATE	06/11/24
PROJECT	XXXXXX
SHEET	



PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES

- 1 LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 2 LANDSCAPE AREA, PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 3 BIKE RACK. SEE ENGINEERING PLANS FOR MORE INFORMATION.
- 4 MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.

PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.
TREES					
11	AFB	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE FREEMAN MAPLE	3" CAL.	B&B
24	GIN	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	3" CAL.	B&B
21	LIQ	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	3" CAL.	B&B
15	NYS	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE TUPELO BLACKGUM	3" CAL.	B&B
12	QUE	QUERCUS BICOLOR	SWAMP WHITE OAK	3" CAL.	B&B
SHRUBS					
154	JUN	JUNIPERUS X PFITZERIANA 'AUREA IMPROVED'	GOLD COAST JUNIPER	18" HGT.	CONT.
134	JVG	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	18" HGT.	CONT.
PERENNIALS/ORNAMENTAL GRASSES					
10	AJS	SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY SEDUM	NO. 1	CONT.
10	HEM	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	NO. 1	CONT.

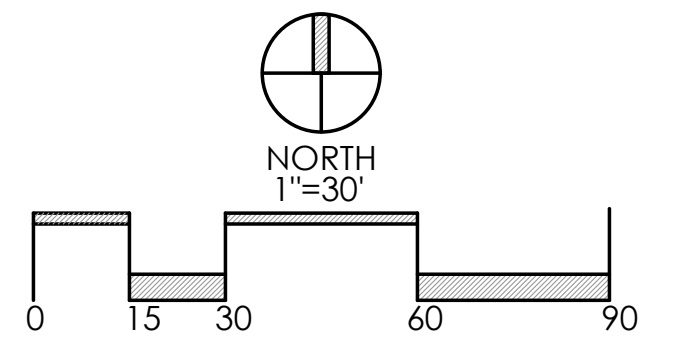
REVISIONS

OVERALL LANDSCAPE PLAN

SHEETZ TECH CENTER
PREPARED FOR
V3 COMPANIES
550 POLARIS PARKWAY, SUITE 225
WESTERVILLE, OH 43082

Paris Planning & Design
LANDSCAPE ARCHITECTURE
Hilliard, OH 43026
4876 Cemetery Road
P (614) 487-1964
www.parisplanninganddesign.com

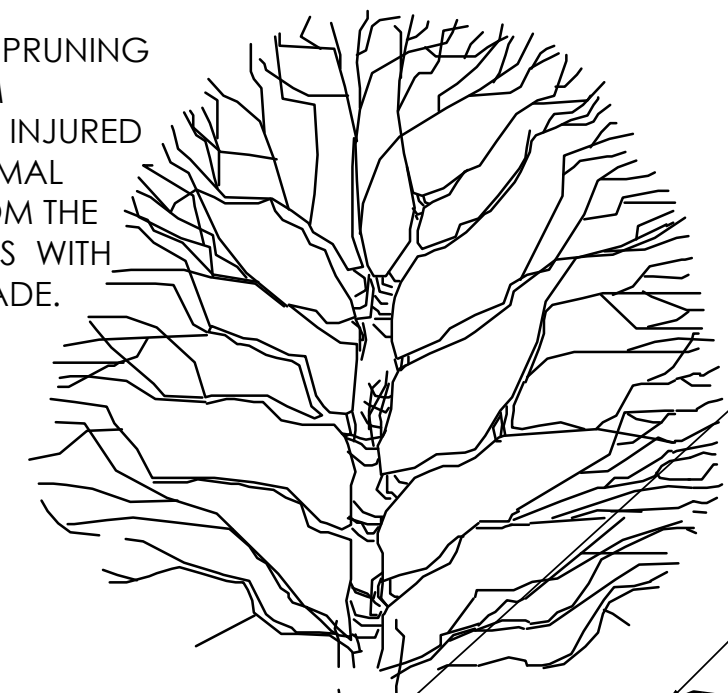
PRELIMINARY
NOT FOR CONSTRUCTION



DATE	06/11/24
PROJECT	XXXXXX
SHEET	

NOTE:
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. REMOVE EXCESS SOIL FROM THE TOP OF ROOT MASS. PLANT SHRUBS WITH TOP OF ROOT MASS AT FINISH GRADE.

DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS



EXPOSE ROOT FLARE AT TIME OF PLANTING. ROOT FLARE TO BE PLANTED AT GRADE
HARDWOOD BARK MULCH COLLAR

MULCH PULLED AWAY FROM ROOT FLARE
PLANTING MIXTURE
REMOVE TOP 1/3 OF BURLAP AND TWINE
SCARIFY 4" DEEP AND RECOMPACT

6" MIN.

2 SHRUB PLANTING DETAIL
N.T.S.

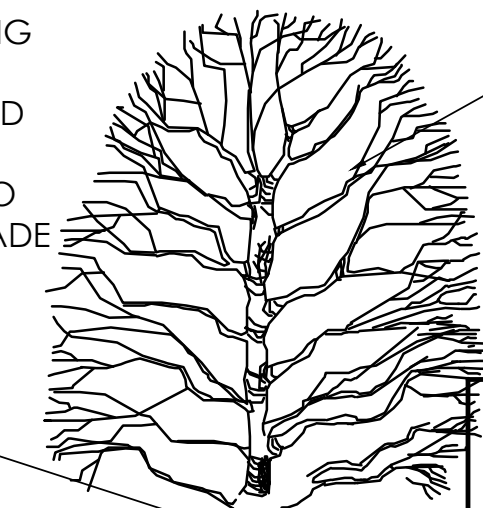
01-1300

NOTE:
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. PLANT TREES AND EVERGREENS SO THE ROOT FLARE IS WITH FLUSH FINISH GRADE

FLEXIBLE TREE WEBBING MATERIAL 3/4" WIDE- GREEN COLOR

2" X 2" X 8' WOOD STAKE, 2 PER TREE

ROOT FLARE FLUSH WITH FINISHED GRADE



*DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS

MULCH COLLAR-PULL MULCH AWAY FROM TRUNK OF TREE

REMOVE TOP 1/3 (12" MIN.) OF BURLAP AND TWINE

DO NOT CUT MAIN LEADER

1 DECIDUOUS TREE
N.T.S.

01-1001

REVISIONS	

SITE DETAILS I

SHEETZ TECH CENTER
PREPARED FOR
V3 COMPANIES
550 FOLARIS PARKWAY, SUITE 225
WESTERVILLE, OH 43082

Paris Planning & Design
LANDSCAPE ARCHITECTURE
4876 Cemetery Road
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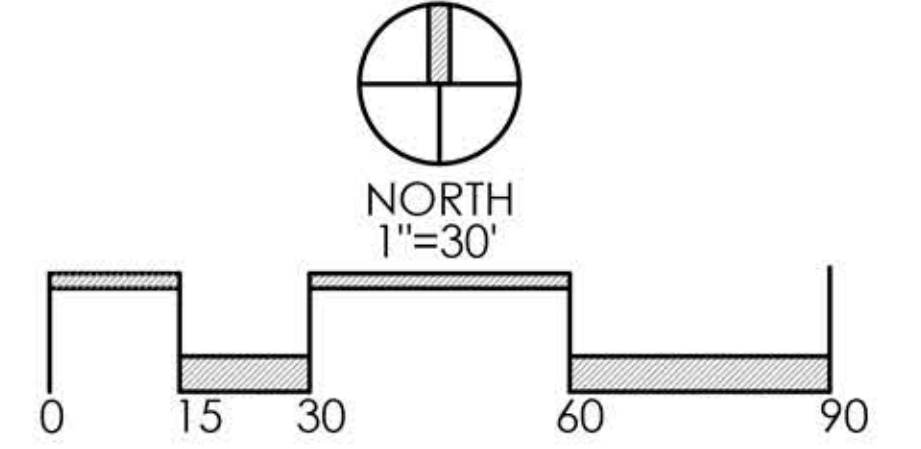
DATE	06/11/24
PROJECT	XXXXXX
SHEET	

SD-1

PRELIMINARY
NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION



REVISIONS	

ILLUSTRATIVE PLAN

SHEETZ TECH CENTER
 PREPARED FOR
V3 COMPANIES
 550 POLARIS PARKWAY, SUITE 225
 WESTERVILLE, OH 43082

Paris Planning & Design
 LAND PLANNING • LANDSCAPE ARCHITECTURE
 Hilliard, OH 43026
 4876 Cemetery Road
 p (614) 487-1964
 www.parisplanninganddesign.com

DATE	06/11/24
PROJECT	XXXXXX
SHEET	

L-1.1

PROJECT NAME:
NEW SHEETZ STORE

**GAHANNA
TECH CENTER DR**

Int. of Tech Center Drive
and Hamilton Road
Gahanna, Oh 43230

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

KEYPLAN

ISSUE: **05.21.2024**
SITE ID NO: 214520
AUTHOR BY: RJK
REVIEW BY: RJH
VERSION: 6139_v1.6

EXTERIOR
ELEVATIONS

A200

PRELIMINARY ELEVATIONS

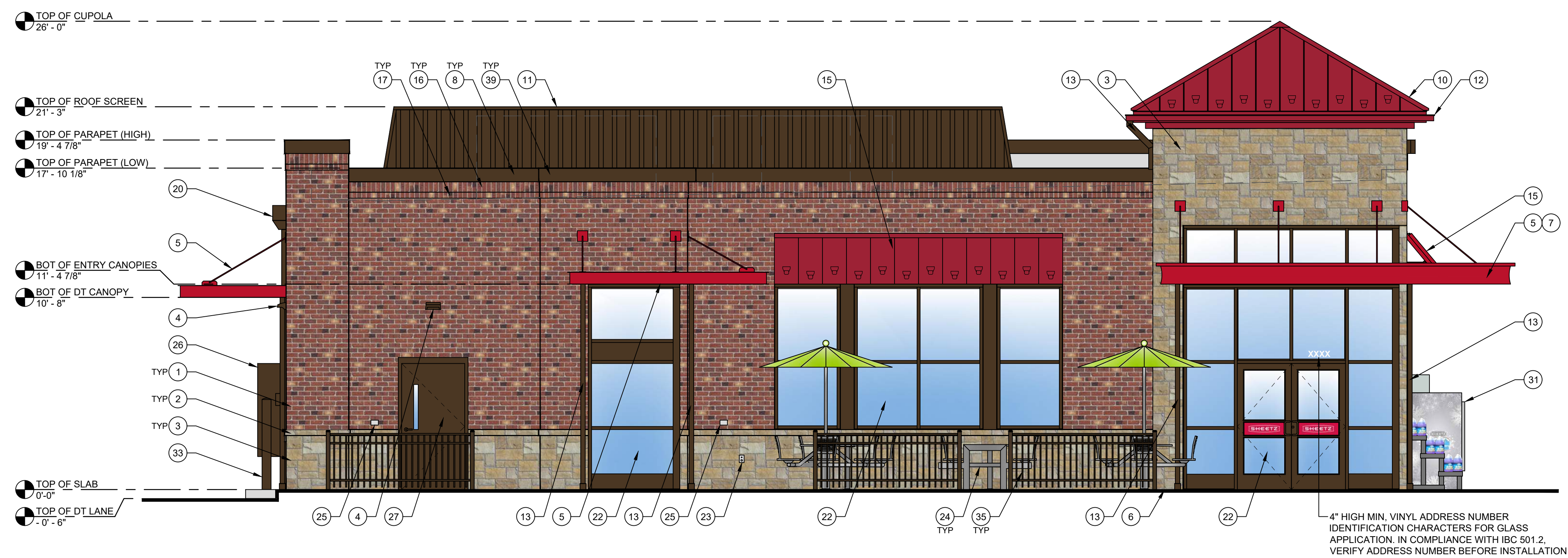


1 FRONT ELEVATION
1/4" = 1'-0"

- TYPICAL EXTERIOR ELEVATION NOTES:**
- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
 - FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
 - EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 9005 JOINT SEALANTS. GENERAL BUILDING FASCIADE WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

EXTERIOR ELEVATION KEYNOTES:

- BRICK VENEER, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC
- CAST STONE SILL, COLOR: CRAB ORCHARD. SEE MASONRY SPEC
- ANCHORED CAST STONE MASONRY VENEER, COLOR: CRAB ORCHARD. SEE MASONRY SPEC
- EXTERIOR LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
- ARCHITECTURAL CANOPY, COLOR: REGAL RED, PREMIUM TWO-COAT KYMAR FINISH
- BRICK PAVER WALKWAY
- LIGHTED CURVED FASCIA CANOPY ATTACHMENT
- METAL COPING, COLOR: DARK BRONZE
- WALL MOUNTED BUILDING SIGN, SEE SHEET A200.
- STANDING SEAM METAL ROOF, COLOR: BRITE RED
- ROOF EQUIPMENT SCREEN, COLOR: DARK BRONZE
- GUTTER, COLOR TO MATCH CUPOLA COLOR
- DOWNSPOUT, COLOR: DARK BRONZE
- DRIVE-THRU WINDOW (IF APPLICABLE)
- METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY, ROOF COLOR: BRITE RED, FRAME COLOR: DARK BRONZE
- BRICK SOLDIER COURSE, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC
- BRICK ROWLOCK COURSE, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC
- CONTROL JOINT, SEE MASONRY SPEC
- STEEL ROOF LADDER AND CRANKY POST, COLOR: DARK BRONZE
- STANDARD THROUGH WALL SCUPPER WITH CONDUCTOR HEAD & DOWNSPOUT, COLOR: DARK BRONZE
- OVERFLOW SCUPPER
- ALUMINUM STOREFRONT SYSTEM, SEE A600
- EXTERIOR HOSE BIB, REFER TO PLUMBING DRAWINGS
- OUTDOOR FURNITURE
- ELECTRICAL RECEPTACLE, REFER TO ELECTRICAL DRAWINGS
- ELECTRICAL EQUIPMENT, REFER TO ELECTRICAL DRAWINGS
- HM DOOR AND FRAME, COLOR: DARK BRONZE
- EMERGENCY WATER CONNECTION, REFER TO PLUMBING DRAWINGS
- SEAMLESS ALUM PANEL SYSTEM WITH EXPOSED FASTENERS, COLOR: DARK BRONZE
- PROPANE LOCKER
- ICE MERCHANDISER
- RTI FILLPORT
- STEEL BOLLARD, COLOR: DARK BRONZE
- CO2 FILLPORT
- DECORATIVE ALUMINUM FENCE, COLOR: DARK BRONZE
- AUTOMATIC DOOR PUSH PLATE AND BOLLARD, BOLLARD COLOR: DARK BRONZE
- GAS METER AND RISER, REFER TO CIVIL UTILITY PLAN, COLOR: DARK BRONZE
- MTO GRAPHIC DECAL, SEE SHEET A200.
- LIGHT CHANNEL AT PARAPET COPING, SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.



2 LEFT ELEVATION
1/4" = 1'-0"

4" HIGH MIN. VINYL ADDRESS NUMBER IDENTIFICATION CHARACTERS FOR GLASS APPLICATION. IN COMPLIANCE WITH IBC 501.2. VERIFY ADDRESS NUMBER BEFORE INSTALLATION

PROJECT NAME:
NEW SHEETZ STORE

**GAHANNA
TECH CENTER DR**

Int. of Tech Center Drive
and Hamilton Road
Gahanna, Oh 43230

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

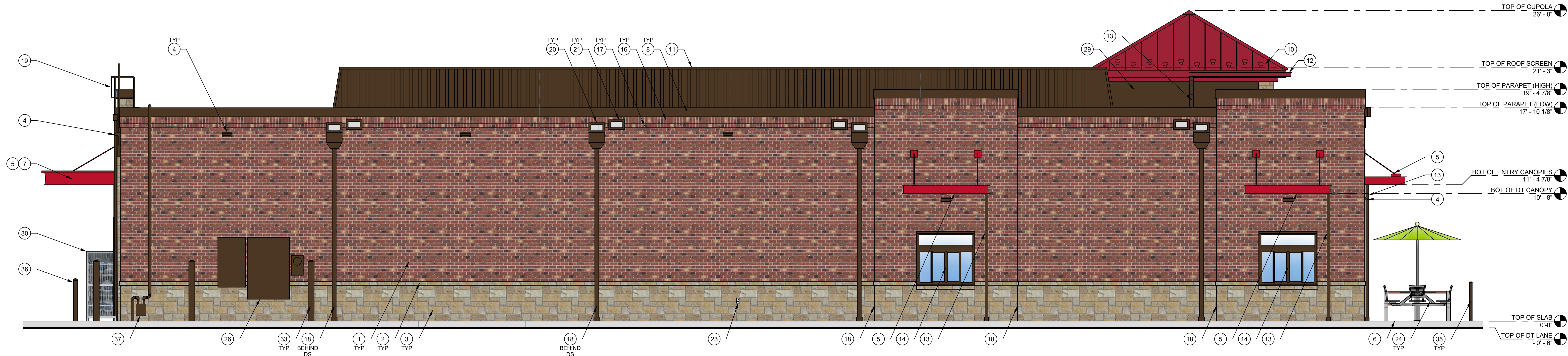
KEYPLAN

ISSUE: **05.21.2024**
SITE ID NO: 214520
AUTHOR BY: RJK
REVIEW BY: RJH
VERSION: 6139_v1.6

EXTERIOR
ELEVATIONS

A201

PRELIMINARY ELEVATIONS



3 REAR ELEVATION
1/4" = 1'-0"

TYPICAL EXTERIOR ELEVATION NOTES:

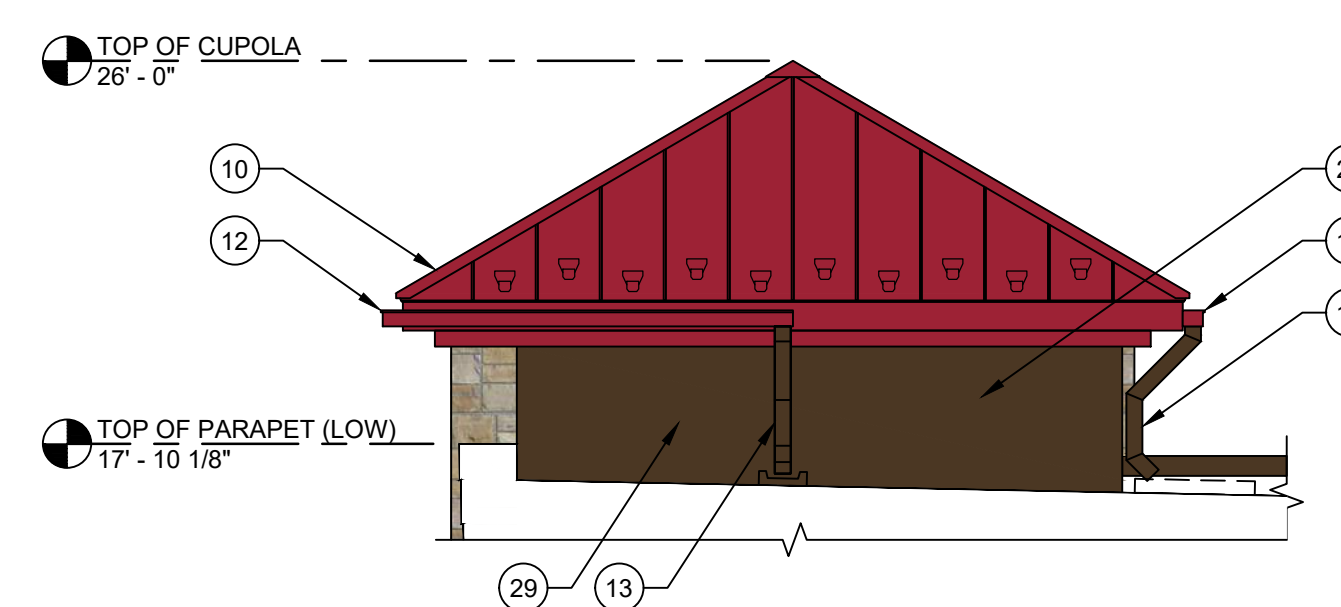
- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
- EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 9005 JOINT SEALANTS. GENERAL BUILDING FASCIAE WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

EXTERIOR ELEVATION KEYNOTES:

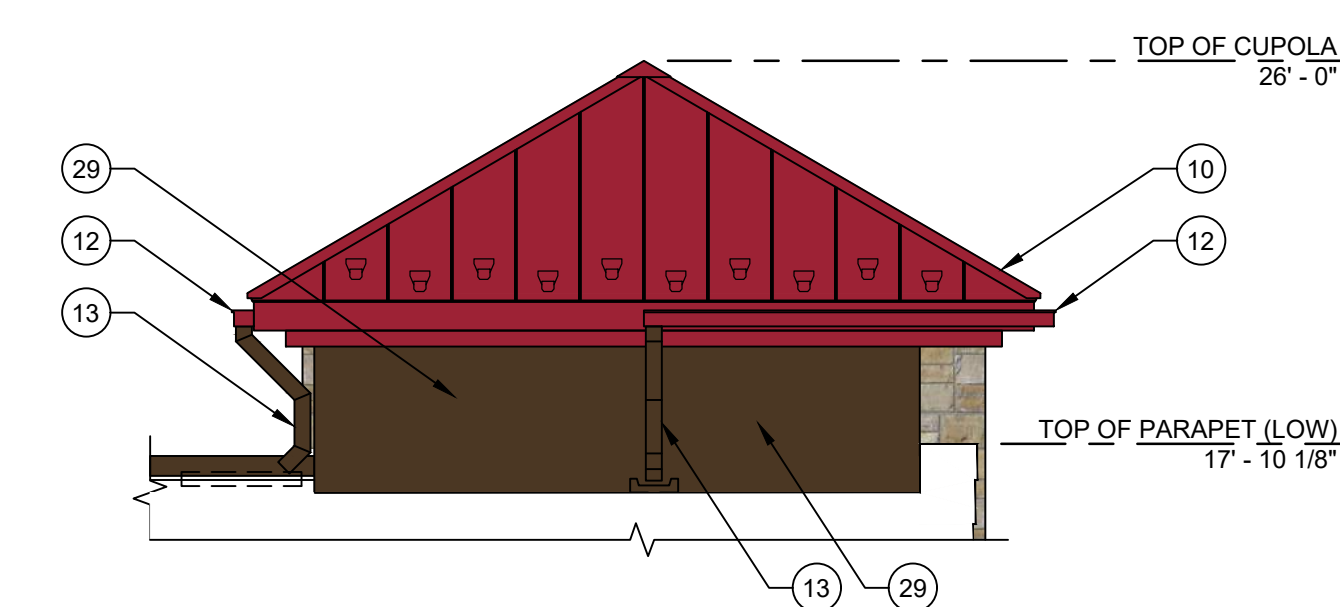
- BRICK VENEER, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC
- CAST STONE SILL, COLOR: CRAB ORCHARD. SEE MASONRY SPEC
- ANCHORED CAST STONE MASONRY VENEER, COLOR: CRAB ORCHARD. SEE MASONRY SPEC
- EXTERIOR LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
- ARCHITECTURAL CANOPY, COLOR: REGAL RED, PREMIUM TWO-COAT KYMAR FINISH
- BRICK PAVER WALKWAY
- LIGHTED CURVED FASCIA CANOPY ATTACHMENT
- METAL COPING, COLOR: DARK BRONZE
- WALL MOUNTED BUILDING SIGN, SEE SHEET A200.
- STANDING SEAM METAL ROOF, COLOR: BRITE RED
- ROOF EQUIPMENT SCREEN, COLOR: DARK BRONZE
- GUTTER, COLOR TO MATCH CUPOLA COLOR
- DOWNSPOUT, COLOR: DARK BRONZE
- DRIVE-THRU WINDOW (IF APPLICABLE)
- METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY, ROOF COLOR: BRITE RED, FRAME COLOR: DARK BRONZE
- BRICK SOLDIER COURSE, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC
- BRICK ROWLOCK COURSE, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC
- CONTROL JOINT, SEE MASONRY SPEC
- STEEL ROOF LADDER AND CRANKY POST, COLOR: DARK BRONZE
- STANDARD THROUGH WALL SCUPPER WITH CONDUCTOR HEAD & DOWNSPOUT, COLOR: DARK BRONZE
- OVERFLOW SCUPPER
- ALUMINUM STOREFRONT SYSTEM, SEE A600
- EXTERIOR HOSE BIB, REFER TO PLUMBING DRAWINGS
- OUTDOOR FURNITURE
- ELECTRICAL RECEPTACLE, REFER TO ELECTRICAL DRAWINGS
- ELECTRICAL EQUIPMENT, REFER TO ELECTRICAL DRAWINGS
- HM DOOR AND FRAME, COLOR: DARK BRONZE
- EMERGENCY WATER CONNECTION, REFER TO PLUMBING DRAWINGS
- SEAMLESS ALUM PANEL SYSTEM WITH EXPOSED FASTENERS, COLOR: DARK BRONZE
- PROPANE LOCKER
- ICE MERCHANDISER
- RTI FILLPORT
- STEEL BOLLARD, COLOR: DARK BRONZE
- CO2 FILLPORT
- DECORATIVE ALUMINUM FENCE, COLOR DARK BRONZE
- AUTOMATIC DOOR PUSH PLATE AND BOLLARD, BOLLARD COLOR: DARK BRONZE
- GAS METER AND RISER, REFER TO CIVIL UTILITY PLAN, COLOR: DARK BRONZE
- MTO GRAPHIC DECAL, SEE SHEET A200.
- LIGHT CHANNEL AT PARAPET COPING, SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.



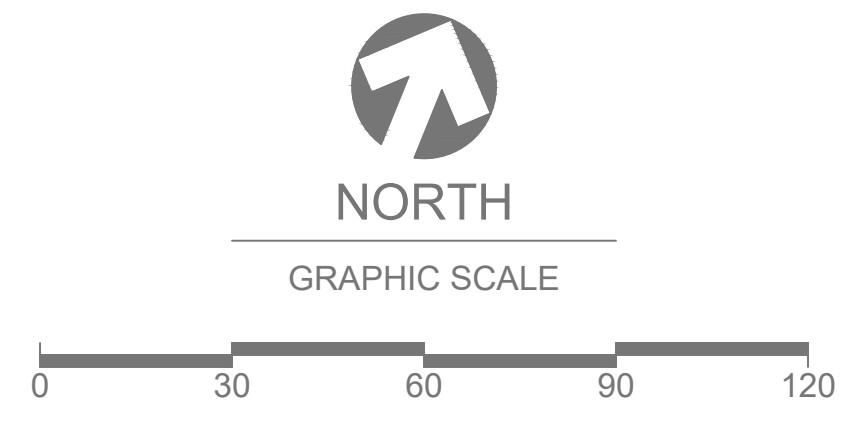
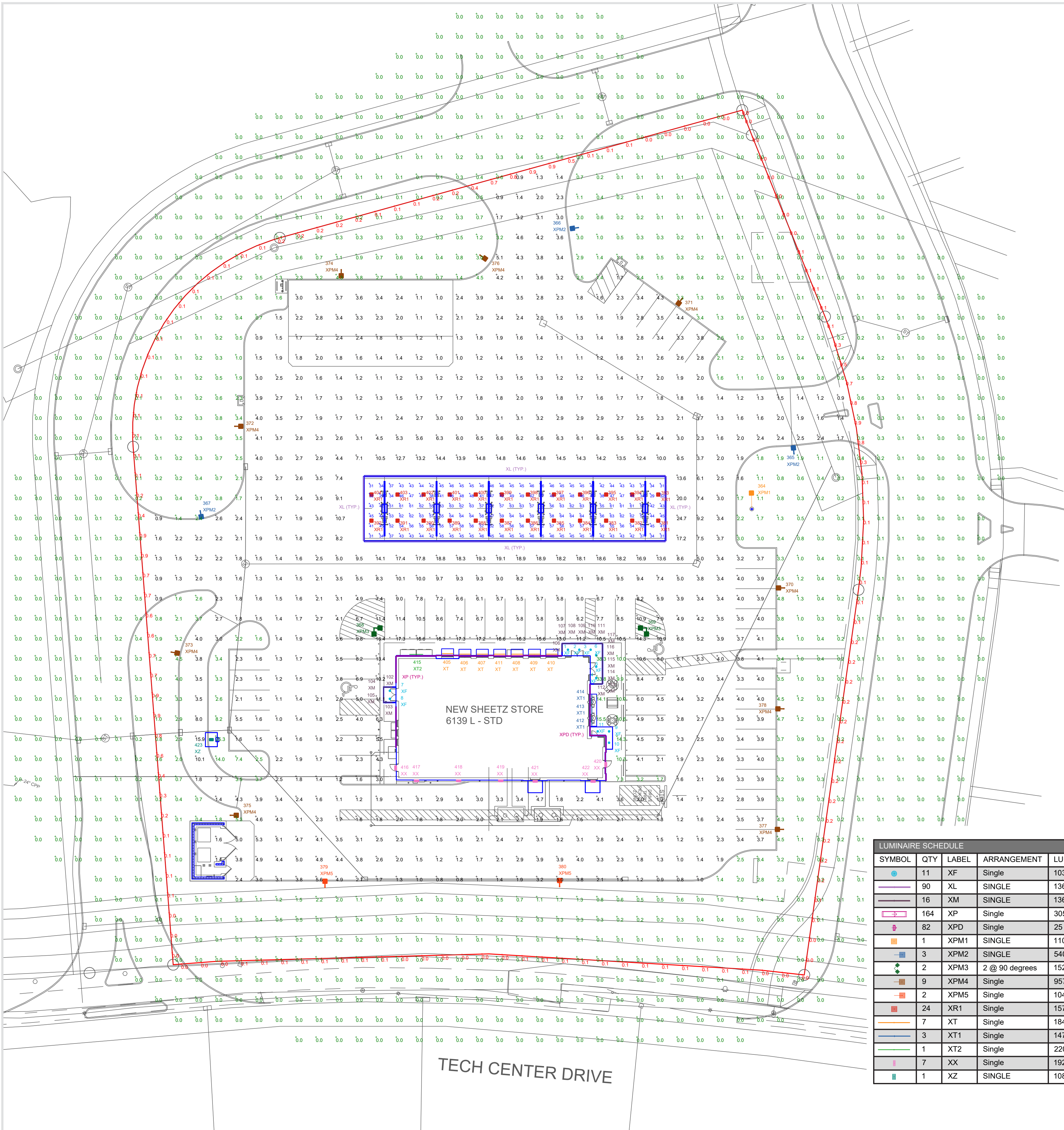
4 RIGHT ELEVATION
1/4" = 1'-0"



5 CUPOLA ELEVATION FROM ROOF
1/4" = 1'-0"



6 CUPOLA ELEVATION FROM ROOF
1/4" = 1'-0"



NOTE:
- ALL AREA LIGHTS ON NEW 20 FT. POLE MOUNTED ON 3 FT. CONCRETE BASE

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

LUMINAIRE LOCATION SUMMARY				
LUM NO.	LABEL	MTG. HT.	TILT	ROLL
1 - 11	XF	11.33	0	0
12	XL	20.875	0	0
49	XL	18.06	0	0
86	XL	18.25	5	0
87	XL	18.599	5	0
88	XL	18.948	5	0
89	XL	19.297	5	0
90	XL	19.646	5	0
91	XL	19.995	5	0
92	XL	20.344	5	0
93	XL	20.693	5	0
94	XL	18.25	5	0
95	XL	18.599	5	0
96	XL	18.948	5	0
97	XL	19.297	5	0
98	XL	19.646	5	0
99	XL	19.995	5	0
100	XL	20.344	5	0
101	XL	20.693	5	0
102	XM	12	0	0
118	XP	18	0	0
209	XP	19	0	0
220	XP	18	0	0
282	XPD	18	0	0
320	XPD	19	0	0
323	XPD	18	0	0
364	XPM1	1	166	0
365	XPM2	23	0	0
368	XPM3	23	0	0
370	XPM4	23	0	0
379	XPM5	23	0	0
381	XR1	17.71	0	0
393	XR1	18.83	0	0
405	XT	13.5	0	25
412	XT1	13.5	0	-25
415	XT2	15	0	0
416	XX	15.42	0	0
420	XX	11.333	0	0
421	XX	9.33	0	0
423	XZ	11	0	0

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	4.16	24.7	0.8	5.20	30.88
PROPERTY LINE	0.21	0.9	0.0	N.A.	N.A.
UNDEFINED	0.51	38.3	0.0	N.A.	N.A.
UNDER CANOPY	48.98	64	29	1.69	2.21

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
●	11	XF	Single	1037	1.000	B1-U0-G0	13	143	LF Illumination LLC (Ledli)	BULLET MINI-5911-1AA-T-13C-9240-M-DMU-BLACK COLOR 90CRI
—	90	XL	SINGLE	136	1.000	N.A.	4.12	370.8	BLAIR COMPANIES	4 FT. LINEAR STRIP LIGHT (BY OTHERS, SHOWN FOR CONTRIBUTION)
—	16	XM	SINGLE	136	0.700	N.A.	4.12	65.92	Blair Companies	LB-110-00-XX-025-RD[1]FR4-15
—	164	XP	Single	305	1.000	N.A.	3.66	600.24	P-LED	STREET WRAP FLEX BACK BEND 4000K
—	82	XPD	Single	25	1.000	N.A.	0.305	25.01	P-LED	STREET WRAP FLEX BACK BEND 4000K
■	1	XPM1	SINGLE	11000	1.020	B4-U0-G1	68	68	Cree Lighting	OSQ-ML-C-AA-XX w/PGM-1 + OSQM-C-11L-40K7-33-UL-NM-XX
■	3	XPM2	SINGLE	5400	1.020	B1-U0-G1	55	165	Cree Lighting	OSQ-ML-C-DA-XX + OSQM-C-9L-40K7-4B-UL-NM-XX
■	2	XPM3	2 @ 90 degrees	15200	1.020	B3-U0-G2	97	388	Cree Lighting	OSQ-ML-C-DA-XX + OSQM-C-16L-40K7-4M-UL-NM-XX
■	9	XPM4	Single	9575	1.020	B2-U0-G2	97	873	Cree Lighting	OSQ-ML-C-DA-XX + OSQM-C-16L-40K7-4B-UL-NM-XX
■	2	XPM5	Single	10450	1.020	B2-U0-G2	97	194	Cree Lighting	OSQ-ML-C-DA-XX + OSQM-C-16L-40K7-3B-UL-NM-XX
■	24	XR1	Single	15700	1.020	B3-U3-G2	127	3048	Cree Lighting	CPS-20L-50K9-DF-UL-DM-XX-Q9-HZ
■	7	XT	Single	1840	1.000	N.A.	20	140	SPI Lighting Inc.	SEW12146 5FT L20W AN08 120-277V 4000K SMA PSE OAP6 MOD=FIXTURE HEAD TO BE LOCKED IN PLACE AIMING AWAY FROM BLDG.
■	3	XT1	Single	1472	1.000	N.A.	16	48	SPI Lighting Inc.	SEW12146 4FT L16W AN08 120-277V 4000K SMA PSE OAP6 MOD=FIXTURE HEAD TO BE LOCKED IN PLACE AIMING AWAY FROM BLDG.
■	1	XT2	Single	2208	1.000	N.A.	24	24	SPI Lighting Inc.	SEW12146 6FT L24W AN08 120-277V 4000K SMA PSE OAP12
■	7	XX	Single	1921	1.000	B1-U0-G0	16	112	WILLIAMS OUTDOOR	VWM-H-L17/840-TL-DBZ-CGL-DIM-UNV (BRONZE COLOR 80CRI)
■	1	XZ	SINGLE	10847	1.030	B3-U0-G1	132	132	CREE, INC.	BXCT9020&/CAN-228-SL-RM-06-E-UL-XX-525 (BRIGHT RED FINISH, ORDERED SEPARATELY)

REV.	BY	DATE	DESCRIPTION
R1	JAN	4/19/24	REVISED PER CITY COMMENTS
R2	DAR	5/6/24	REVISED PER UPDATED BASE PLAN AND TO COMPLY WITH 1.0 FC TRESPASS LIMIT AT PROPERTY LINES

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SCALE: 1" = 30'
LAYOUT BY: JAN
DWG SIZE: D DATE: 03/13/24

PROJECT NAME:
SHEETZ (CONCEPT)
GAHANNA, OH
DRAWING NUMBER:
RL-9461-S1-R2



AREA	QTY	LABEL	DESCRIPTION
	1	XPM1	OSQ-ML-C-AA-XX W/PGM-1 + OSQM-C-11L-40K7-33-UL-NM-XX
	3	XPM2	OSQ-ML-C-DA-XX + OSQM-C-9L-40K7-4B-UL-NM-XX
	3	XPM3	OSQ-ML-C-DA-XX + OSQM-C-16L-40K7-4B-UL-NM-XX
	9	XPM4	OSQ-ML-C-DA-XX + OSQM-C-16L-40K7-4B-UL-NM-XX
	2	XPM5	OSQ-ML-C-DA-XX + OSQM-C-16L-40K7-3B-UL-NM-XX

CANOPY	QTY	LABEL	DESCRIPTION
	1	XZ	BXCT8020&/CAN-228-SL-RM-06-E-UL-XX-525 (BRIGHT RED FINISH, ORDERED SEPARATELY)

ADDITIONAL FIXTURE INFO

OSQ Series

OSQ™ LED Area/Flood Luminaire featuring Patented NanoComfort™ Technology - Version C

Product Description
The OSQ™ Area/Flood luminaire boasts extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integrated, weatherlight LED driver compartment. Versatile mounting configurations offer simple installation to slim, low profile design minimizes wind load requirements and benefits suspended use. The slim, low profile design minimizes wind load requirements and benefits suspended use. The slim, low profile design provides even, quality illumination. Medium is suitable upgrade for HID applications up to 400 Watts. Large is suitable upgrade for HID applications up to 1000 Watts. Extra Large is suitable upgrade for HID applications up to multiple 1000 Watts.

Applications: For use in schools, campuses, car dealerships, office complexes, high-mast and internal roadways.

Performance Summary
Utilizes Patented NanoComfort™ Technology
Utilizes Cree™ TrueBlue™ Technology on 500K Luminaire
Assembled in the USA by Cree Lighting from US and imported parts
Initial Delivered Lumens: 4,000 - 75,000
Efficacy: Up to 171 LPW
CRI: Minimum 79 CRI (500K, 4000K & 5700K); 90 CRI (3000K)
CTI: 300K, 4000K, 5000K, 5700K
Limited Warranty: 10 years for luminaire; 10 years for ColorCast DataSurf® Finish, 5 years for BML sensor; up to 5 years for Synapse® accessories; 1 year for luminaire accessories

Ordering Information
The OSQ Series luminaire is comprised of three components that must be ordered separately:
Example: OSQ-ML-C-AA-XX - Luminaire; OSQM-C-11L-40K7-33-UL-NM-XX - Mount
Mount Luminaire must be ordered separately*

Luminaire	Weight
OSQ-ML-C-11L-40K7-33-UL-NM-XX	11.2 lbs. (5.1 kg)

Family	Series	Luminaire	UV	Label	Mount	Color	Options
OSQ	C	AA	None	None	None	None	None
OSQ	C	DA	None	None	None	None	None
OSQ	C	EA	None	None	None	None	None
OSQ	C	FA	None	None	None	None	None
OSQ	C	GA	None	None	None	None	None
OSQ	C	HA	None	None	None	None	None
OSQ	C	IA	None	None	None	None	None
OSQ	C	JA	None	None	None	None	None
OSQ	C	KA	None	None	None	None	None
OSQ	C	LA	None	None	None	None	None
OSQ	C	MA	None	None	None	None	None
OSQ	C	NA	None	None	None	None	None
OSQ	C	OA	None	None	None	None	None
OSQ	C	PA	None	None	None	None	None
OSQ	C	QA	None	None	None	None	None
OSQ	C	RA	None	None	None	None	None
OSQ	C	SA	None	None	None	None	None
OSQ	C	TA	None	None	None	None	None
OSQ	C	UA	None	None	None	None	None
OSQ	C	VA	None	None	None	None	None
OSQ	C	WA	None	None	None	None	None
OSQ	C	XA	None	None	None	None	None
OSQ	C	YA	None	None	None	None	None
OSQ	C	ZA	None	None	None	None	None

228 Series™


228 Series™ LED Recessed Canopy Luminaire

Product Description
Slim, low profile, easy mounting from below or above the deck. Luminaire uses an rugged cast aluminum with high performance extruded aluminum heat sink specifically designed for LED. Luminaire mounts directly to the canopy deck and is secured in place with compression molded trim frame. Luminaire housing is provided with factory applied foam gasket and provides for a weatherlight seal between luminaire housing and canopy deck. Suitable for use in single or double skin canopies. 12" (305mm) or 18" (457mm) wide panels. Designed for canopies of 1/2" (12.7mm) thickness. Applications: Petroleum storage complexes, drive-thru banks and restaurants, retail and grocery.


Performance Summary
Patented NanoOptic™ Product Technology
Assembled in the U.S.A. or U.S. and imported parts
CRI: Minimum 79 CRI
CTI: 400K (N-), 300K, 3700K (N-), 500K Standard
Limited Warranty: 10 years on luminaire/10 years on ColorCast DataSurf® Finish
* See www.creeled.com/usa for warranty terms

Series	Part No.	Weight
228	228-12	11.2 lbs. (5.1 kg)
228	228-18	11.2 lbs. (5.1 kg)
228	228-24	11.2 lbs. (5.1 kg)
228	228-30	11.2 lbs. (5.1 kg)
228	228-36	11.2 lbs. (5.1 kg)
228	228-42	11.2 lbs. (5.1 kg)
228	228-48	11.2 lbs. (5.1 kg)
228	228-54	11.2 lbs. (5.1 kg)
228	228-60	11.2 lbs. (5.1 kg)
228	228-66	11.2 lbs. (5.1 kg)
228	228-72	11.2 lbs. (5.1 kg)
228	228-78	11.2 lbs. (5.1 kg)
228	228-84	11.2 lbs. (5.1 kg)
228	228-90	11.2 lbs. (5.1 kg)
228	228-96	11.2 lbs. (5.1 kg)
228	228-102	11.2 lbs. (5.1 kg)
228	228-108	11.2 lbs. (5.1 kg)
228	228-114	11.2 lbs. (5.1 kg)
228	228-120	11.2 lbs. (5.1 kg)
228	228-126	11.2 lbs. (5.1 kg)
228	228-132	11.2 lbs. (5.1 kg)
228	228-138	11.2 lbs. (5.1 kg)
228	228-144	11.2 lbs. (5.1 kg)
228	228-150	11.2 lbs. (5.1 kg)
228	228-156	11.2 lbs. (5.1 kg)
228	228-162	11.2 lbs. (5.1 kg)
228	228-168	11.2 lbs. (5.1 kg)
228	228-174	11.2 lbs. (5.1 kg)
228	228-180	11.2 lbs. (5.1 kg)
228	228-186	11.2 lbs. (5.1 kg)
228	228-192	11.2 lbs. (5.1 kg)
228	228-198	11.2 lbs. (5.1 kg)
228	228-204	11.2 lbs. (5.1 kg)
228	228-210	11.2 lbs. (5.1 kg)
228	228-216	11.2 lbs. (5.1 kg)
228	228-222	11.2 lbs. (5.1 kg)
228	228-228	11.2 lbs. (5.1 kg)
228	228-234	11.2 lbs. (5.1 kg)
228	228-240	11.2 lbs. (5.1 kg)
228	228-246	11.2 lbs. (5.1 kg)
228	228-252	11.2 lbs. (5.1 kg)
228	228-258	11.2 lbs. (5.1 kg)
228	228-264	11.2 lbs. (5.1 kg)
228	228-270	11.2 lbs. (5.1 kg)
228	228-276	11.2 lbs. (5.1 kg)
228	228-282	11.2 lbs. (5.1 kg)
228	228-288	11.2 lbs. (5.1 kg)
228	228-294	11.2 lbs. (5.1 kg)
228	228-300	11.2 lbs. (5.1 kg)
228	228-306	11.2 lbs. (5.1 kg)
228	228-312	11.2 lbs. (5.1 kg)
228	228-318	11.2 lbs. (5.1 kg)
228	228-324	11.2 lbs. (5.1 kg)
228	228-330	11.2 lbs. (5.1 kg)
228	228-336	11.2 lbs. (5.1 kg)
228	228-342	11.2 lbs. (5.1 kg)
228	228-348	11.2 lbs. (5.1 kg)
228	228-354	11.2 lbs. (5.1 kg)
228	228-360	11.2 lbs. (5.1 kg)
228	228-366	11.2 lbs. (5.1 kg)
228	228-372	11.2 lbs. (5.1 kg)
228	228-378	11.2 lbs. (5.1 kg)
228	228-384	11.2 lbs. (5.1 kg)
228	228-390	11.2 lbs. (5.1 kg)
228	228-396	11.2 lbs. (5.1 kg)
228	228-402	11.2 lbs. (5.1 kg)
228	228-408	11.2 lbs. (5.1 kg)
228	228-414	11.2 lbs. (5.1 kg)
228	228-420	11.2 lbs. (5.1 kg)
228	228-426	11.2 lbs. (5.1 kg)
228	228-432	11.2 lbs. (5.1 kg)
228	228-438	11.2 lbs. (5.1 kg)
228	228-444	11.2 lbs. (5.1 kg)
228	228-450	11.2 lbs. (5.1 kg)
228	228-456	11.2 lbs. (5.1 kg)
228	228-462	11.2 lbs. (5.1 kg)
228	228-468	11.2 lbs. (5.1 kg)
228	228-474	11.2 lbs. (5.1 kg)
228	228-480	11.2 lbs. (5.1 kg)
228	228-486	11.2 lbs. (5.1 kg)
228	228-492	11.2 lbs. (5.1 kg)
228	228-498	11.2 lbs. (5.1 kg)
228	228-504	11.2 lbs. (5.1 kg)
228	228-510	11.2 lbs. (5.1 kg)
228	228-516	11.2 lbs. (5.1 kg)
228	228-522	11.2 lbs. (5.1 kg)
228	228-528	11.2 lbs. (5.1 kg)
228	228-534	11.2 lbs. (5.1 kg)
228	228-540	11.2 lbs. (5.1 kg)
228	228-546	11.2 lbs. (5.1 kg)
228	228-552	11.2 lbs. (5.1 kg)
228	228-558	11.2 lbs. (5.1 kg)
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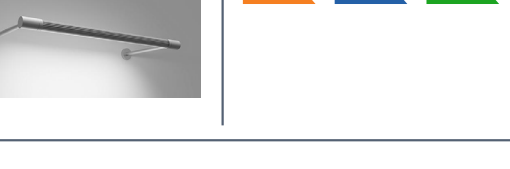
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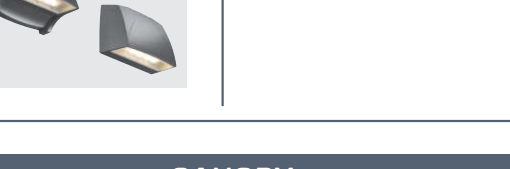
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WALL MOUNTED




WALL MOUNTED




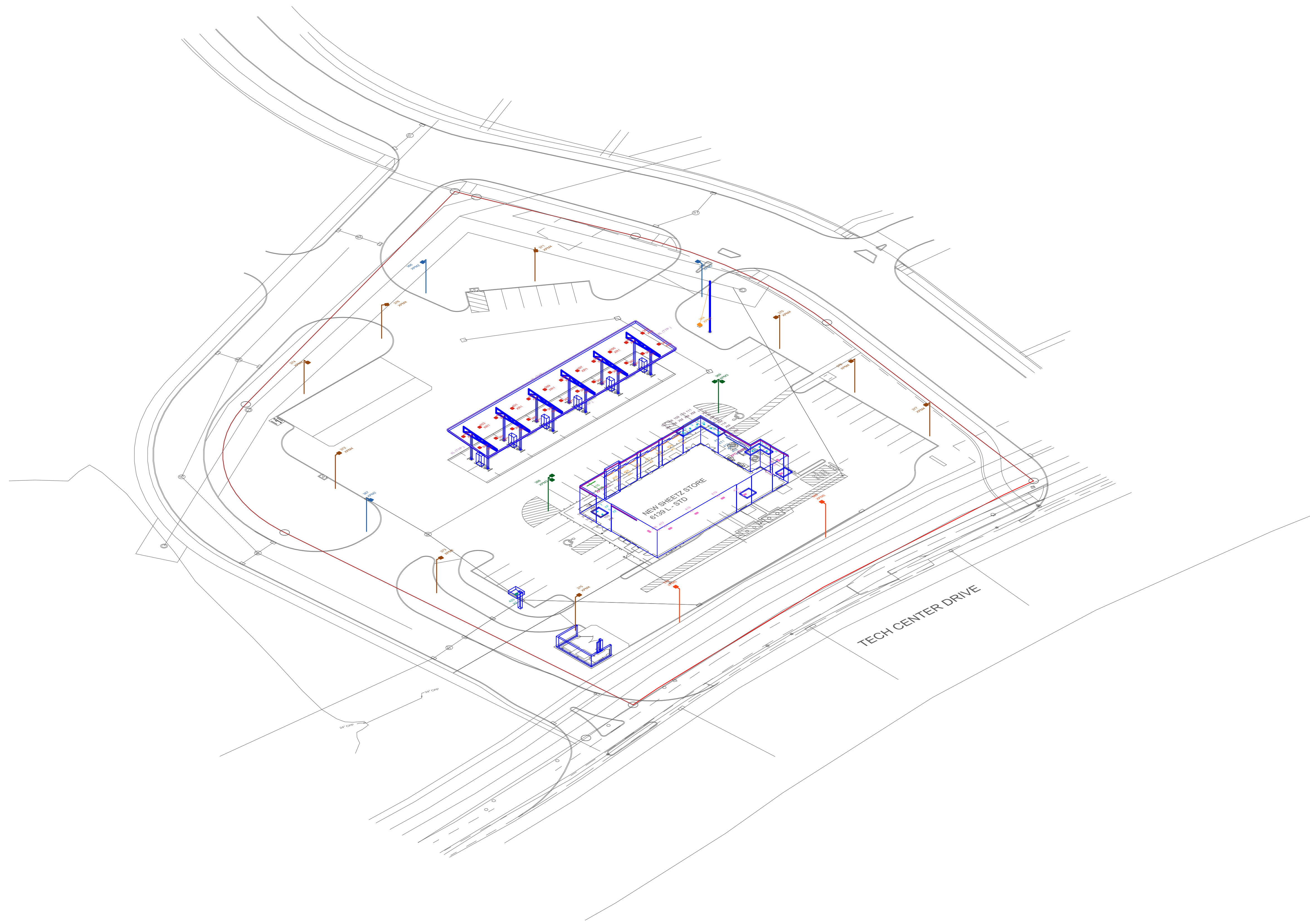
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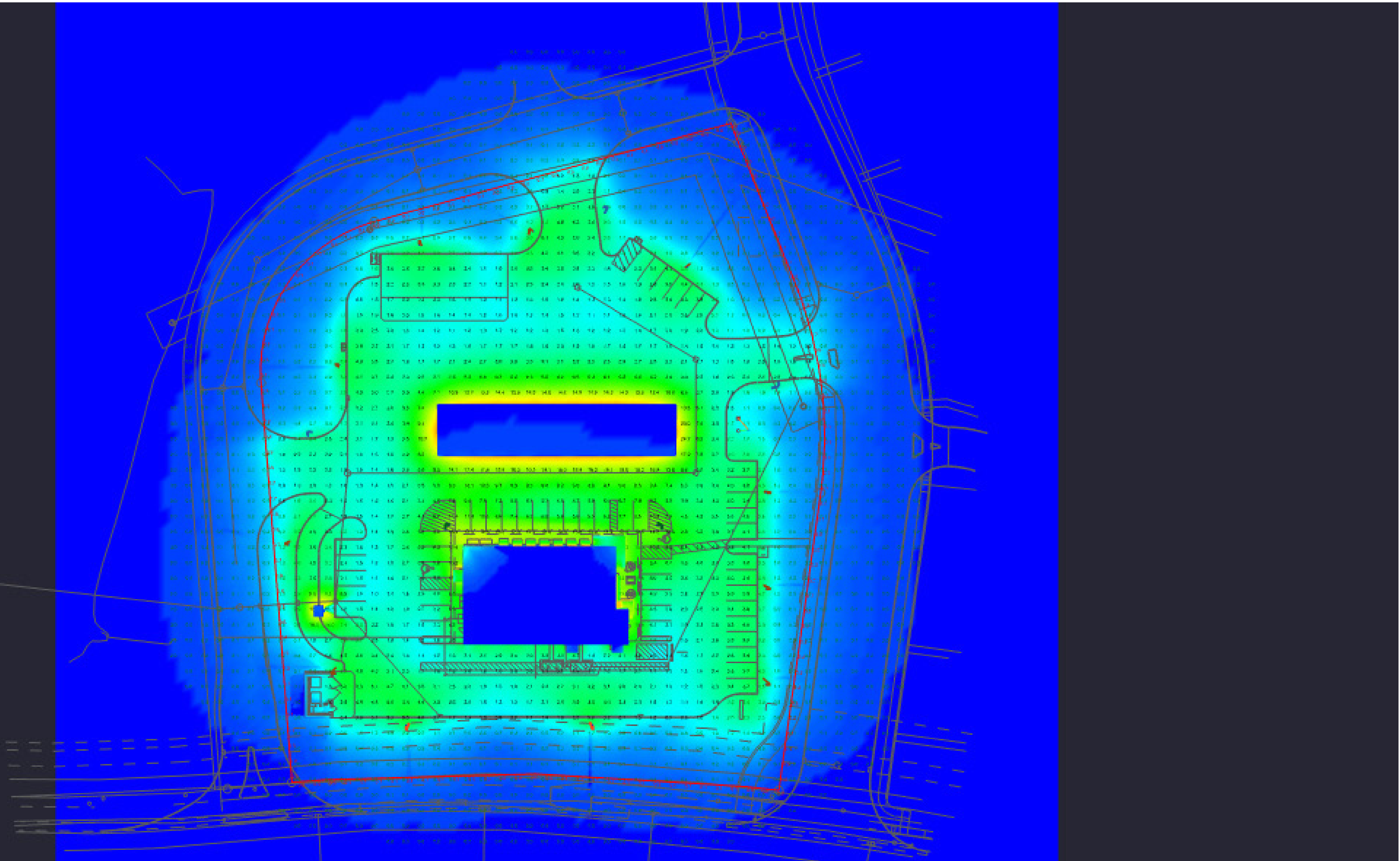
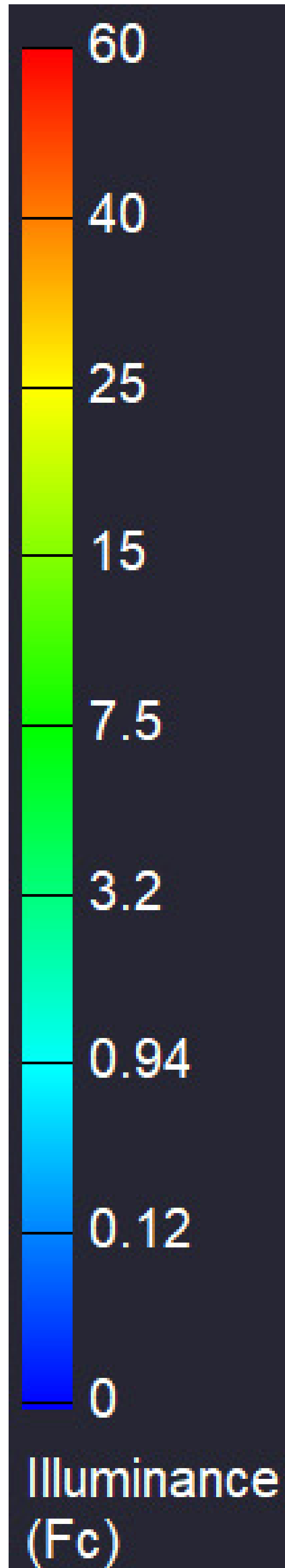


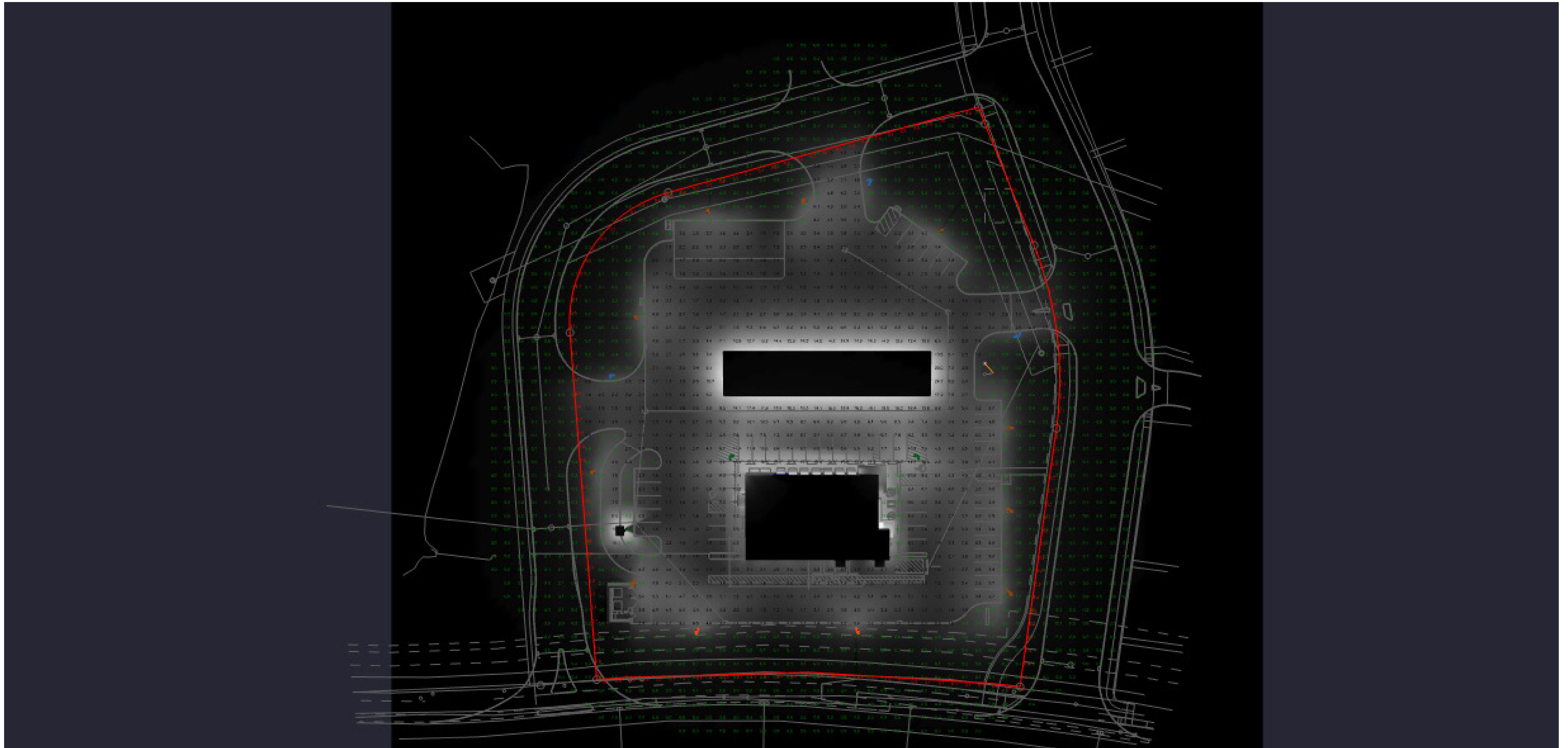
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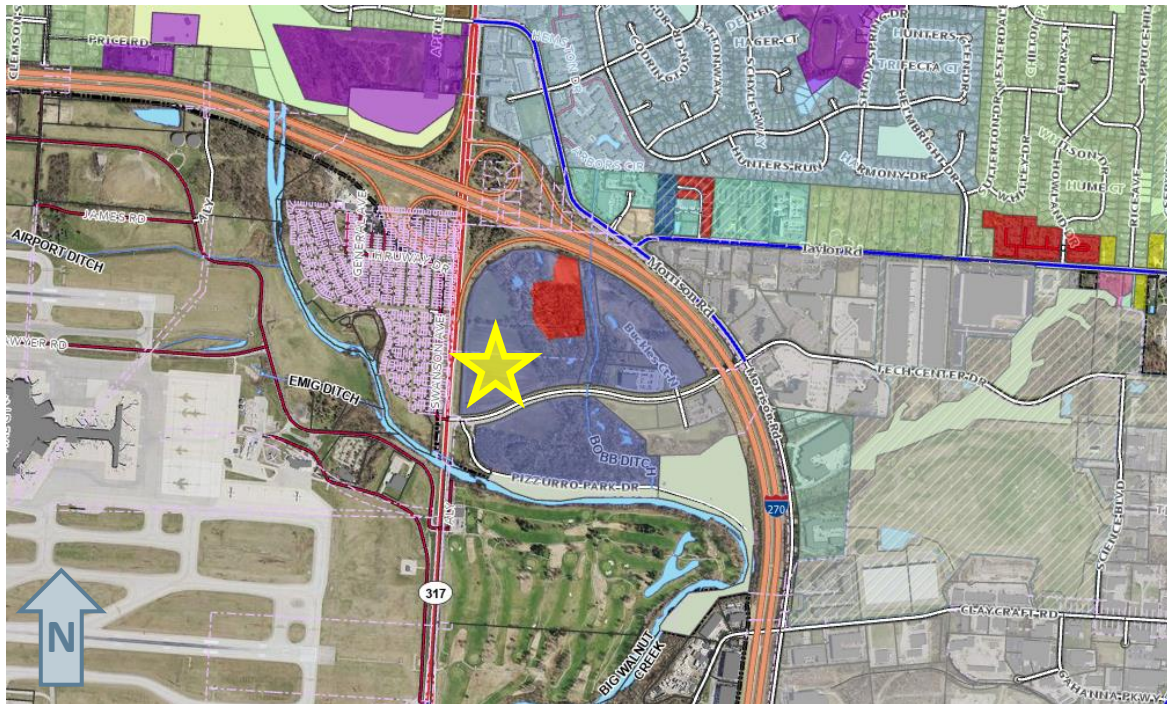


PLANNING COMMISSION STAFF REPORT

Project Summary – Sheetz

- Meeting Date:** July 24, 2024
- Location:** 1070 Tech Center Drive
- Zoning:** Select Commercial Planned District (SCPD)
- Application Type(s):** Final Development Plan (FDP), Design Review (DR), Variance (V), and Conditional Use (CU)
- Staff Representative:** Maddie Capka, Planner II
- Recommendation:** Staff recommends approval of all four applications as submitted.

Location Map:



Staff Review

Overview

The applicant is requesting approval of three applications for the construction of a Sheetz gas station and associated quick service restaurant at 1070 Tech Center Drive. The proposed site is 2.99 acres and is currently undeveloped. The site is part of the Crescent at Central Park development. Since the lot is surrounded by roads on all sides, each property line is considered the front, and so the setbacks are the same for each line. The lot and surrounding loop road will be created through a separate Final Plat application, which is currently under staff review.

The proposed restaurant/retail building is located on the southern portion of the lot along Tech Center Dr, and is 6,139 SF. There is also a drive thru proposed south of the main building. There are 6 fuel pumps to the north of the primary building, and they are covered by a canopy.

The main building façade will be constructed primarily of brick veneer with a stone base and a red standing seam metal roof. The building design and materials are consistent with the Sheetz brand and other locations in the area. The fuel pumps are located north of the building and will have a red canopy to match the roof of the primary building.

Parking and Landscaping

Code requires a minimum of 34 parking spaces for this project: 21 for the restaurant portion of the building and 13 for the retail portion. The applicant proposes 49 spaces, exceeding minimum requirements.

Along with parking space minimums, there are also interior landscaping requirements that must be met. Code requires ~3,600 SF of landscaping area for this project, and ~3,800 SF is provided. 37 trees are proposed to meet interior planting requirements. Chapter 914 contains additional tree planting requirements based on the area of new impervious surface. In this case, 84 caliper inches are required and 85 inches are provided. Since the site is surrounded by ROWs on all sides, 3 ft high shrubs are provided around the entire parking lot to meet screening requirements.

Review Criteria

Final Development Plan (FDP)

Planning Commission shall approve an FDP application if the following four conditions are met:

1. The proposed development meets the applicable development standards of this Zoning Ordinance.
2. The proposed development is in accord with appropriate plans for the area.
3. The proposed development would not have undesirable effects on the surrounding area.
4. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

Design Review (DR)

General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect, and enhance the physical surroundings of the Design Review District.

In addition to the general requirements, the site is subject to the standards of Design Review District 3 (DRD-3) since it is zoned commercial. The following design standards apply:

- Entrances and exits shall be well decorated and landscaped to minimize unsightly appearance.
- Landscape islands shall be in the center and perimeter of the parking areas.
- Earth mounding and trees should be considered to reduce neighborhood noise.
- Generous use of vegetation is encouraged.
- Preferred building materials include brick, stone, cement, decorative aluminum, and wood.

Variance (V)

The following variance has been requested:

1. 1167.18(c)(1) – Screening Requirements
 - a. Code requires that all dumpsters are located to the rear of the main structure.
 - b. The lot is surrounded by roads on all sides, so every yard is considered the front and there is no rear yard to place the dumpster in.

Planning Commission shall not grant a variance unless it finds that all the following conditions apply:

- a) There are special circumstances or conditions applying to the land, building or use referred to in the application.
- b) The granting of the variance is necessary for the preservation and enjoyment of substantial property rights.
- c) The granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the proposed use and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood.

Conditional Use (CU)

Requests for a conditional use shall be approved if the following four conditions are met:

1. The proposed use is a conditional use of the zoning district and the applicable development standards established in this zoning ordinance are met.
2. The proposed development is in accord with the appropriate plans for the area.

3. The proposed development will not have undesirable effects on the surrounding area.
4. The proposed development will be in keeping with the existing land use character and physical development potential of the area.

Recommendation

Staff recommends approval of all four applications as submitted. Staff believes the FDP and DR criteria have been met and the proposed development matches the land use character of the area. The DRD-3 criteria have also been met since all landscaping requirements have been met or exceeded and there is screening around the entire exterior of the parking lot.

The requested variance would be necessary regardless of site layout, since there is no rear yard on the site that the dumpster could be placed in. This means that there are special circumstances applying to the land that justify approval of the variance request.

The proposed use, gasoline service station, is a conditional use in SCPD, and staff believes the Conditional Use criteria is met. The use is appropriate for the area due to its close proximity to both Hamilton Road and I-270. The area is also primarily commercial and medical with one multi-family site. The Land Use Plan designates this area as “mixed use”, which recommends a complementary blend of uses including retail, office, and residential. There is a mix of uses in the area, both existing and under construction, and a gas station complements these uses more than it would single-family residential.