

VARIANCE APPLICATION

PROPERTY INFORMATION			
Project/Property Address: 213 Camrose Ct		Project Name/Business Name: Woodside Green Parking Lot Replacement	
Parcel #: 025-006520	Zoning: (see Map)	PUD	Acreage: 32.22

VARIANCE SPECIFICATIONS
Description of Variance Request: "Section 1163.08(h) requires a 10ft wide, 3ft high screened island between rows of parking." The parking lot is situated in one of Gahanna's oldest and most densely forested parks. In addition to the modest entrance
STAFF USE ONLY: (Code Section): 1163.08(h)

APPLICANT INFORMATION	
Applicant Name (Primary Contact): Alan Little	Applicant Address: 200 S. Hamilton Rd Gahanna, Ohio 43230
Applicant E-mail: alan.little@gahanna.gov	Applicant Phone: 614-302-0291
Business Name (if applicable): City of Gahanna	

ADDITIONAL CONTACTS	
Please list all applicable contacts for correspondence	
Name(s)	Contact Information (phone/email)
Property Owner Name: (if different from Applicant) City of Gahanna	Property Owner Contact Information (phone no./email): 614.342.4000

ADDITIONAL INFORMATION ON NEXT PAGE....

INTERNAL
USE

Zoning File No. **V-0166-2022**

RECEIVED: **KAW**
DATE: **4-25-22**

PAID: **0**
DATE: **4-25-22**

Updated
Jan 2022

VARIANCE APPLICATION - SUBMISSION REQUIREMENTS

TO BE COMPLETED/SUBMITTED BY THE APPLICANT:	
1. Review Gahanna Code Chapter <u>1131</u> (visit www.municode.com) (Sign Variances, refer to Chapter <u>1165.12</u> ; Fence Variances, <u>1171.05</u> ; Flood Plain Variances, <u>1191.18</u>)	✓
2. Survey of property certified by a registered surveyor (11"x17" copy) if Applicable - Site Plan, drawings, or survey that depicts where the Variance is requested.	✓
3. Renderings, drawings, and/or pictures of the proposed project	✓
4. A statement of the reason(s) for the variance request that address the following three conditions: (not applicable for Sign, Fence, or Flood Plain Variances; see code referenced in #1 above for applicable criteria) - Special circumstances or conditions - Necessary for preservation and enjoyment of property rights - Will not adversely affect the health or safety	
5. List of contiguous property owners & their mailing address	—
6. One set of pre-printed mailing labels for all contiguous property owners	—
7. Application fee (in accordance with the <u>Building & Zoning Fee Schedule</u>)	—
8. Application & all supporting documents submitted in digital format	✓
9. Application & all supporting documents submitted in hardcopy format	✓
10. Authorization Consent Form Complete & Notarized (see page 3)	—

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature: Alan Little

Digitally signed by Alan Little
DN: cn=Alan Little, c=US, o=City of Gahanna,
ou=Parks & Recreation,
email=alan.little@gahanna.gov
Date: 2022.04.22 08:15:27 -04'00'

Date:

PLEASE NOTE:

- The Public Hearing will not occur until the City of Gahanna reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.
- The application expires if no action is taken 6 months from the date of the last staff comment letter.



AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

PROPERTY OWNER

IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

Laurie A. Judwin, Mayor, City of Gahanna
(property owner name printed)

Laurie A. Judwin
(property owner signature)

12.28.2021

(date)

Subscribed and sworn to before me on this 28th day of December, 2021

State of Ohio County of Franklin

Notary Public Signature: *Nancy Ballenger*



NANCY BALLENGER
Notary Public, State of Ohio
My Commission Expires 01-28-2023

Applicant/Property Owner/Representative

AGREEMENT TO COMPLY AS APPROVED As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

AUTHORIZATION TO VISIT THE PROPERTY I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described.

APPLICATION SUBMISSION CERTIFICATION I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

(applicant/representative/property owner name printed)

[Signature]
(applicant/representative/property owner signature)

12-30-21

(date)

Subscribed and sworn to before me on this _____ day of _____, 20____.

State of _____ County of _____

Notary Public Signature: _____

Stamp or Seal

Statement of Reasons

213 Camrose Ct

Woodside Green Park

Parking Lot Replacement

1163.08(h)

There shall be a ten-foot wide island for every two rows of parking. The island shall have a minimum three-foot high screen between the two rows of parking. The screen may be comprised of mounding, evergreen planting or a combination thereof.

Response from Gahanna Review

"Section 1163.08(h) requires a 10ft wide, 3ft high screened island between rows of parking. The proposed parking layout does not meet this requirement. A variance may be requested."

Request for Variance of 1163.08(h)

The parking lot is situated in one of Gahanna's oldest and most densely forested parks. In addition to the modest entrance island, the parking lot is surrounded by rain gardens, landscaping beds, Big Walnut Creek riparian corridor, and native shade and understory trees. In the effort to maximize parking spaces and, subsequently, resident and visitor access to the natural areas, Gahanna Parks & Recreation respectfully requests a variance from 1163.08 requirement to provide internal parking lot trees and parking islands.

Property Owner
301 Sumption Dr
Gahanna, Ohio 43230

Property Owner
299 Sumption Dr
Gahanna, Ohio 43230

Property Owner
297 Sumption Dr
Gahanna, Ohio 43230

Property Owner
295 Sumption Dr
Gahanna, Ohio 43230

Property Owner
293 Sumption Dr
Gahanna, Ohio 43230

Property Owner
291 Sumption Dr
Gahanna, Ohio 43230

Property Owner
289 Sumption Dr
Gahanna, Ohio 43230

Property Owner
287 Sumption Dr
Gahanna, Ohio 43230

Property Owner
285 Sumption Dr
Gahanna, Ohio 43230

Property Owner
281 Sumption Dr
Gahanna, Ohio 43230

Property Owner
279 Sumption Dr
Gahanna, Ohio 43230

Property Owner
277 Sumption Dr
Gahanna, Ohio 43230

Property Owner
275 Sumption Dr
Gahanna, Ohio 43230

Property Owner
273 Sumption Dr
Gahanna, Ohio 43230

Property Owner
271 Sumption Dr
Gahanna, Ohio 43230

Property Owner
218 Canby Ct
Gahanna, Ohio 43230

Property Owner
212 Canby Ct
Gahanna, Ohio 43230

Property Owner
213 Canby Ct
Gahanna, Ohio 43230

Property Owner
214 Camrose Ct
Gahanna, Ohio 43230

Property Owner
215 Camrose Ct
Gahanna, Ohio 43230

Property Owner
224 Camrose Ct
Gahanna, Ohio 43230

Property Owner
232 Camrose Ct
Gahanna, Ohio 43230

Property Owner
240 Camrose Ct
Gahanna, Ohio 43230

Property Owner
248 Camrose Ct
Gahanna, Ohio 43230

Property Owner
254 Camrose Ct
Gahanna, Ohio 43230

Property Owner
260 Camrose Ct
Gahanna, Ohio 43230

Property Owner
266 Camrose Ct
Gahanna, Ohio 43230

Property Owner
964 Camrose Ct
Gahanna, Ohio 43230

Property Owner
966 Camrose Ct
Gahanna, Ohio 43230

Property Owner
968 Camrose Ct
Gahanna, Ohio 43230

RESIDENT
301 Sumption Dr
Gahanna, Ohio 43230

RESIDENT
299 Sumption Dr
Gahanna, Ohio 43230

RESIDENT
297 Sumption Dr
Gahanna, Ohio 43230

RESIDENT
295 Sumption Dr
Gahanna, Ohio 43230

RESIDENT
293 Sumption Dr
Gahanna, Ohio 43230

RESIDENT
276 Camrose Ct
Gahanna, Ohio 43230

RESIDENT
287 Sumption Dr
Gahanna, Ohio 43230

RESIDENT
287 Sumption Dr
Gahanna, Ohio 43230

RESIDENT
270 Camrose Ct
Gahanna, Ohio 43230

RESIDENT
281 Sumption Dr
Gahanna, Ohio 43230

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279 Sumption Dr
Gahanna, Ohio 43230

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277 Sumption Dr
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275 Sumption Dr
Gahanna, Ohio 43230

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273 Sumption Dr
Gahanna, Ohio 43230

RESIDENT
271 Sumption Dr
Gahanna, Ohio 43230

RESIDENT
218 Canby Ct
Gahanna, Ohio 43230

RESIDENT
212 Canby Ct
Gahanna, Ohio 43230

RESIDENT
213 Canby Ct
Gahanna, Ohio 43230

RESIDENT
214 Camrose Ct
Gahanna, Ohio 43230

RESIDENT
215 Camrose Ct
Gahanna, Ohio 43230

Property Owner
970 Camrose Ct
Gahanna, Ohio 43230

Property Owner
972 Camrose Ct
Gahanna, Ohio 43230

Property Owner
974 Camrose Ct
Gahanna, Ohio 43230

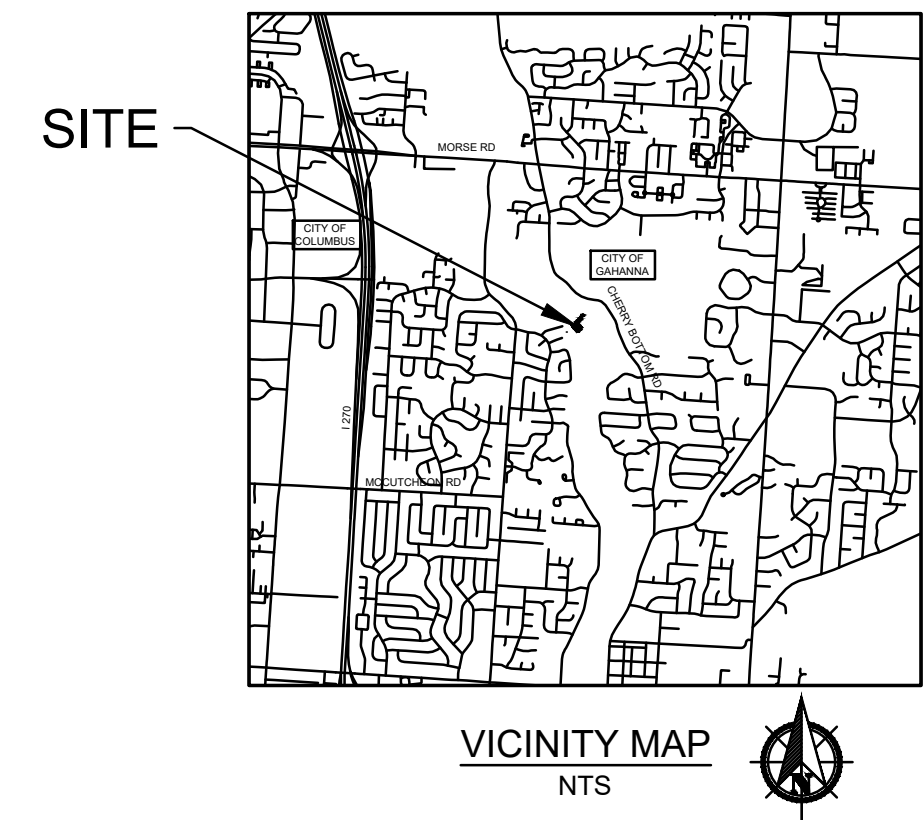
Property Owner
276 Camrose Ct
Gahanna, Ohio 43230

Property Owner
978 Camrose Ct
Gahanna, Ohio 43230

SHEET INDEX

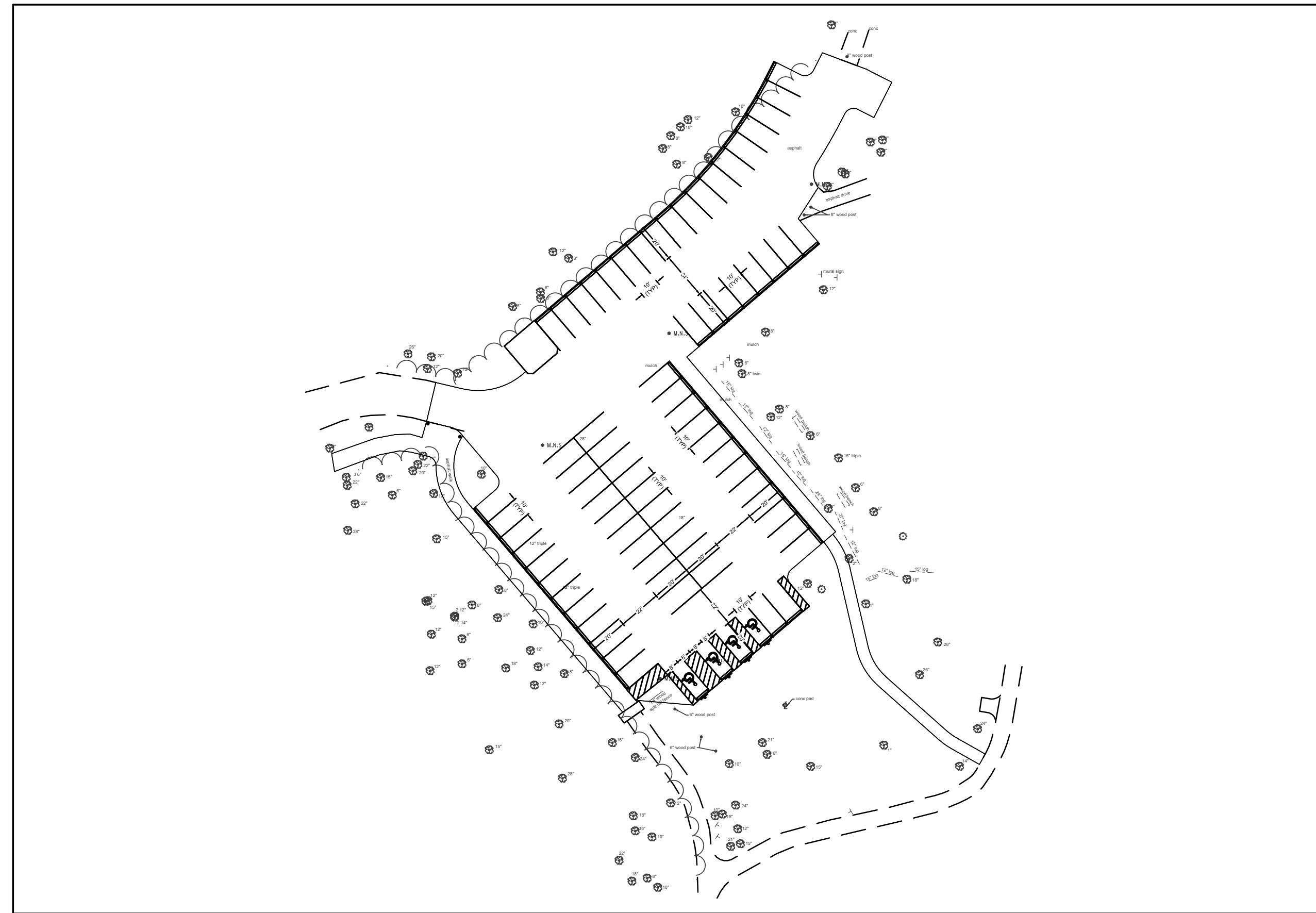
- 1 - TITLE SHEET
- 2 - GENERAL NOTES & ESTIMATE OF QUANTITIES
- 3 - GENERAL DETAILS
- 4 - EXISTING CONDITIONS & DEMOLITION PLAN
- 5 - LOCATION PLAN
- 6 - GRADING, UTILITY, & EROSION CONTROL PLAN
- 7 - EROSION & SEDIMENT CONTROL NOTES

PLANS TYPE FOR
**WOODSIDE GREEN PARK
 PARKING LOT IMPROVEMENTS**
 213 CAMROSE COURT
 GAHANNA, OH 43230



SITE DATA	
SITE ZONING:	PUD
EXISTING PARKING SPACES:	55 SPACES (INCLUDING 2 ADA SPACES)
PROPOSED PARKING SPACES:	77 SPACES (INCLUDING 4 ADA SPACES)
FEMA FLOODPLAIN:	ZONE X (39049C0192K; 6/17/2008)

*THIS PROJECT IS LOCATED WITHIN THE LIMITS OF BIG WALNUT CREEK'S FLOODPLAIN AND FLOODWAY.



INDEX MAP
1" = 50'



OWNER/ DEVELOPER
 CITY OF GAHANNA
 200 S. HAMILTON ROAD
 GAHANNA, OHIO 43230
 ALAN LITTLE
 614-342-4254
 ALAN.LITTLE@GAHANNA.GOV

ENGINEER
 AMERICAN STRUCTUREPOINT
 2550 CORPORATE EXCHANGE DRIVE, SUITE 300
 COLUMBUS, OHIO 43231
 CONTACT: DARRELL MILLER
 PHONE: 614-901-2235
 EMAIL: DMILLER@STRUCTUREPOINT.COM

STANDARD DRAWINGS
 MUNICIPALITY
 THE STANDARD CONSTRUCTION DRAWINGS LISTED ON THESE PLANS SHALL BE CONSIDERED A PART THEREOF.
 CITY OF COLUMBUS:
 2310

CITY OF GAHANNA APPROVAL
 THE SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE PURPOSE AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.

CITY ENGINEER CITY OF GAHANNA, OHIO	DATE
PARKS AND RECREATION PROJECTS MANAGER CITY OF GAHANNA, OHIO	DATE
DIRECTOR OF PARKS AND RECREATION CITY OF GAHANNA, OHIO	DATE

THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THE PROJECT AND THAT ALL OF THE MINIMUM STANDARDS HAVE BEEN MET, INCLUDING THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN MY OPINION, THEY ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. ANY VARIANCES TO THE ABOVE STANDARDS ARE CONSISTENT WITH SOUND ENGINEERING PRACTICES AND ARE NOT DETRIMENTAL TO THE PUBLIC SAFETY AND CONVENIENCE. THESE VARIANCES HAVE BEEN LISTED HEREIN AND HAVE BEEN APPROVED BY THE CITY ENGINEER.

REGISTERED ENGINEER
 GARRETT P. BAKER, E-86089, P.E. _____ DATE

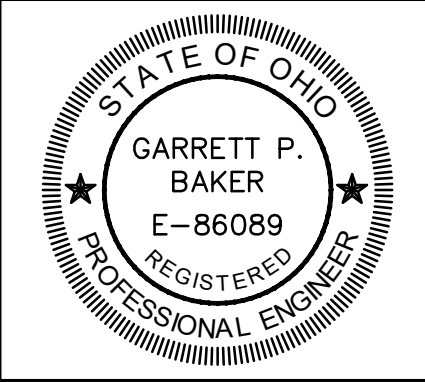
BENCHMARKS

HORIZONTAL & VERTICAL CONTROL BASED OFF OF VRS, VIRTUAL REFERENCE STATIONS WERE USED IN PLACE OF BENCHMARKS ON THE PROPOSED DEVELOPMENT.



CONSTRUCTION DOCUMENTS
FOR
**WOODSIDE GREEN PARK
 PARKING LOT IMPROVEMENTS**
 GAHANNA, FRANKLIN COUNTY, OHIO
TITLE SHEET

REVISIONS	DATE	SHEET NO.	DESCRIPTION



DATE:	11/16/2021
DRAWN BY:	GPB
CHECKED BY:	DSM
JOB NUMBER:	2021.00697

PLOT SCALE: 1:1 EDIT DATE: 3/22/21 9:56 AM EDITED BY: AHODGE DRAWING FILE: O:\2021\00697\DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\WOODSIDE\2021_00697_CE_T5.DWG



PROJECT DESCRIPTION

THIS PROJECT INVOLVES THE DEMOLITION OF AN EXISTING PARKING LOT, MINOR REGRADING AND THE ADDITION OF SEVERAL PARKING SPACES. A NEW SIDEWALK WILL BE INSTALLED FOR PEDESTRIAN ACCESS TO THE EXISTING WALKING PATH. NEW ASPHALT AND STRIPING WILL BE PLACED. ADDITIONAL HANDICAP PARKING SPACES AND THE ASSOCIATED STRIPING WILL ALSO BE ADDED.

GENERAL NOTES

- 1. THE CURRENT CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMS) TOGETHER WITH THE REQUIREMENTS OF THE CITY OF GAHANNA, OHIO, SHALL GOVERN MATERIALS AND WORKMANSHIP INVOLVED IN IMPROVEMENTS SHOWN ON THESE PLANS, EXCEPT THOSE SPECIFICATIONS MODIFIED BY THE FOLLOWING SPECIFICATIONS OR CONSTRUCTION DETAILS SET FORTH HEREIN.
2. ALL WORK IS TO BE ACCEPTABLE TO CITY OF GAHANNA OFFICIALS. NO WORK IS TO COMMENCE UNTIL ARRANGEMENTS HAVE BEEN MADE WITH THE CITY OF GAHANNA ENGINEER FOR INSPECTION.
3. THE CONTRACTOR SHALL NOTIFY THE CITY OF GAHANNA ENGINEER AT LEAST TWO WORKING DAYS PRIOR TO CONSTRUCTION.
4. ALL PERTINENT STANDARD CONSTRUCTION DRAWINGS ARE AVAILABLE UPON REQUEST AT THE OFFICE OF THE CITY OF GAHANNA ENGINEER.
5. THE CONTRACTOR IS TO SCHEDULE A PRE-CONSTRUCTION MEETING ONE BUSINESS WEEK PRIOR TO CONSTRUCTION. THE MEETING SHALL TAKE PLACE AT LEAST ONE BUSINESS WEEK PRIOR TO THE FOLLOWING: SITE CLEARING, MATERIAL DELIVERED ON-SITE, EQUIPMENT ON-SITE AND FIELD OFFICE ON-SITE.
6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONFORMANCE WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146.
7. THE PRICE(S) QUOTED SHALL INCLUDE ALL ITEMS OF LABOR, MATERIALS, TOOLS, EQUIPMENT, INSURANCE AND OTHER COSTS NECESSARY TO FULLY COMPLETE THE WORK PURSUANT TO THE CONTRACT DOCUMENTS. IT IS THE INTENTION OF THE CONTRACT DOCUMENTS TO PROVIDE AND REQUIRE A COMPLETED WORK PROJECT READY FOR OPERATION. ANY WORK ITEMS OMITTED FROM SUCH CONTRACT DOCUMENTS WHICH ARE CLEARLY NECESSARY FOR THE COMPLETION OF SUCH WORK AND ITS APPURTENANCES SHALL BE CONSIDERED A PART OF SUCH WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR CALLED FOR IN THE CONTRACT DOCUMENTS.
8. ALL FIELD TILE BROKEN DURING EXCAVATION SHALL BE REPLACED WITH PERFORATED PIPE OR CONNECTED TO THE STORM SEWER SYSTEM. THE COST FOR THIS WORK SHALL BE INCLUDED IN PRICE BID FOR THE VARIOUS RELATED ITEMS.
9. NO NATURAL DRAINAGE COURSES SHALL BE ALTERED AND NO FILL, MATERIALS OR STRUCTURES SHALL BE PLACED IN IT UNLESS PROVISIONS ARE MADE FOR THE FLOW OF WATER IN A MANNER SATISFACTORY TO THE CITY ENGINEER. AN EASEMENT SHALL BE PROVIDED ON BOTH SIDES OF ANY EXISTING IMPORTANT SURFACE DRAINAGE COURSE ADEQUATE FOR THE PURPOSE OF PROTECTING, WIDENING, DEEPENING, ENCLOSING OR OTHERWISE IMPROVING SUCH STREAM FOR DRAINAGE PURPOSES.
10. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL ADJACENT ROADS AND LANDS.
11. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY OR ALL EXISTING SIGNS, SHRUBS, FENCES, OR OTHER PHYSICAL FEATURES DAMAGED DURING THE EXECUTION OF THIS CONTRACT AT THEIR OWN EXPENSE. ALL REPAIRS SHALL BE TO THE SATISFACTION OF THE CITY OF GAHANNA.
12. THE CONTRACTOR SHALL CONFINE ACTIVITIES TO THE PROJECT SITE, EXISTING RIGHT-OF-WAYS, TEMPORARY EASEMENTS AND PERMANENT EASEMENTS, AND SHALL NOT ENTER UPON OTHER PROPERTIES WITHOUT WRITTEN PERMISSION OF THE PROPERTY OWNER.
13. DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE ENTIRE SITE.
14. THE CONTRACTOR SHALL CLEAN ADJACENT STREETS ON A DAILY BASIS IF MUD IS TRACKED FROM VEHICLES VISITING THE SITE.
15. SHOULD WATER BE ENCOUNTERED, THE CONTRACTOR SHALL FURNISH AND OPERATE SUITABLE PUMPING EQUIPMENT OF SUCH CAPACITY ADEQUATE TO DEWATER THE TRENCH. THE TRENCH SHALL BE SUFFICIENTLY DEWATERED SO THAT THE PLACEMENT OF BEDDING AND LAYING AND JOINING OF THE PIPE IS MADE IN A TRENCH FREE OF STANDING WATER. THE CONTRACTOR SHALL CONVEY ALL TRENCH WATER TO A NATURAL DRAINAGE CHANNEL OR STORM SEWER WITHOUT CAUSING ANY PROPERTY DAMAGE. THE COST FOR DEWATERING ACTIVITIES SHALL BE INCLUDED IN PRICE BID FOR THE VARIOUS RELATED ITEMS.
16. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO ENSURE CONSTRUCTION TO PLAN GRADE. THE CONTRACTOR SHALL ENSURE THERE IS A SURVEYOR'S LEVEL AND ROD ON THE PROJECT FOR USE IN PERFORMING GRADE CHECKS WHENEVER SEWER LINE STRUCTURES OR PIPES ARE BEING INSTALLED. THE CONTRACTOR SHALL MAKE THIS EQUIPMENT AVAILABLE FOR USE AND ASSIST THE CITY INSPECTOR IN PERFORMING GRADE CHECKS WHEN REQUESTED BY THE INSPECTOR. THE INSPECTOR WILL MAKE ALL REASONABLE ATTEMPTS TO CONFINE REQUESTS FOR ASSISTANCE IN PERFORMING GRADE CHECKS TO TIMES CONVENIENT TO THE CONTRACTOR. THESE CHECKS WILL BE PERFORMED TO ENSURE THAT CONSTRUCTION MATCHES PLAN GRADE, AND TO ENSURE THAT ALL EXISTING INVERTS ALONG WITH THE PROPOSED TOP OF CASTING ELEVATIONS ARE VERIFIED DURING CONSTRUCTION OF THE SEWER.
17. THE CONTRACTOR SHALL REFERENCE ALL IRON PINS OR MONUMENTS. IF ANY PINS OR MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE ACCURATELY REPLACED BY A REGISTERED SURVEYOR IN THE STATE OF OHIO AT THE COMPLETION OF THE PROJECT.
18. VERTICAL CONTROL HAS BEEN ESTABLISHED FOR THE PROJECT AS SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SURVEYS TO COMPLETE THE PROJECT INCLUDING REESTABLISHMENT OF CONTROL POINTS, PROJECT LAYOUT AND STAKING OF EASEMENTS.
19. ALL CURB RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, INCLUDING ALL SUPPLEMENTS IN ACCORDANCE WITH THE CITY OF COLUMBUS STANDARD DRAWING 2319, INCLUDING ALL SUPPLEMENTS AND/OR REPLACEMENTS, CURRENT ON THE DATE OF THE START OF PROJECT CONSTRUCTION. SIDEWALKS SHALL BE CONSTRUCTED WITH A 3/16" PER FOOT (1.56%) CROSS SLOPE.
20. NO NON-RUBBER TIRRED VEHICLES SHALL BE MOVED ON CITY STREETS, EXISTING PRIVATE ROADWAYS, OR PARKING LOTS UNLESS WRITTEN APPROVAL IS GRANTED BY THE APPROPRIATE CITY AUTHORITY OR PROPERTY OWNER. ANY DAMAGE MUST BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY OF GAHANNA AT NO COST TO THE CITY OR PROPERTY OWNER.
21. ANY MODIFICATION TO THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY OF GAHANNA.
22. THE CONTRACTOR SHALL MAKE HIS OWN PROVISIONS TO PROVIDE A SITE STAGING AREA AND

JOB TRAILER (IF REQUIRED) FOR THE PROJECT IMPROVEMENTS.

- 23. ORANGE CONSTRUCTION FENCING SHALL BE PLACED AROUND THE EXISTING TREES TO BE SAVED AND REMAIN IN PLACE DURING THE DEVELOPMENT CONSTRUCTION. THE LOCATION AND LIMITS OF THE FENCING AND ANY CLEARING NECESSARY SHALL BE AS PER THE APPROVED PLANS.
24. INCONVENIENCE TO THE ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC SHALL BE KEPT TO AN ABSOLUTE MINIMUM. ALL WORK IS TO CONTINUE ON A UNIFORM BASIS AND ON SCHEDULE, PARTICULARLY THE RESTORATION AND CLEAN UP OF DISTURBED AREAS AFTER CONSTRUCTION.
25. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT SOIL TRANSPORT DURING CONSTRUCTION ONTO PUBLIC ROADS. THE CONTRACTOR SHALL CLEAN AND SWEEP STREETS AS DIRECTED BY THE CITY. THE COST FOR STREET SWEEPING AND CLEANING IS TO BE INCLUDED IN THE PRICE BID UNDER VARIOUS ITEMS.
26. THE COST OF RELOCATING AND/OR SECURING ANY POWER POLES AS NECESSARY TO COMPLETE THE WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS OF THE CONTRACT.
27. ANY REQUIRED RELOCATION, SUPPORT, PROTECTION, RESTORATION, OR ANY OTHER ACTIVITY CONCERNED WITH THE CITY'S ELECTRICAL OR STREET LIGHTING SYSTEMS IN THE CONSTRUCTION AREA IS TO BE PERFORMED SOLELY BY THE CITY AT THE EXPENSE OF THE PROJECT. THE CITY SHALL BE NOTIFIED PRIOR TO CONSTRUCTION TO ALLOW FOR ENGINEERING AND RELOCATION OF FACILITIES.
28. IF ANY ELECTRIC FACILITY BELONGING TO THE CITY IS DAMAGED IN ANY MANNER BY THE CONTRACTOR, ITS AGENTS, SERVANTS, OR EMPLOYEES, THE CITY SHALL MAKE ALL NECESSARY REPAIRS, AND THE EXPENSE OF SUCH REPAIRS AND OTHER RELATED COSTS SHALL BE PAID BY THE CONTRACTOR TO THE CITY.

GENERAL NOTES

- 29. THE CONTRACTOR SHALL GIVE NOTICE TO THE OHIO UTILITIES PROTECTION SERVICE (PHONE 1-800-362-2764) AND TO THE OWNERS OF THE UTILITY FACILITIES SHOWN ON THE PLAN WHO ARE NOT MEMBERS OF A REGISTERED UTILITY PROTECTION SERVICE. THE ABOVE-MENTIONED NOTICE SHALL BE GIVEN AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
30. THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECTS ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL GIVE NOTICE TO OUPS AND OTHER UTILITY OWNERS PER THE GENERAL NOTES.
31. WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL EXPOSE AND VERIFY THE DEPTH OF THE EXISTING UTILITY IN ADVANCE OF THE PROPOSED CONSTRUCTION.
32. THE IDENTITY AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS AS ACCURATELY AS PROVIDED BY THE UTILITY OWNER. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR DEPTHS OF UNDERGROUND FACILITIES SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. IF DAMAGE IS CAUSED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF THE SAME AND FOR ANY RESULTING CONTINGENT DAMAGE.

THE FOLLOWING UTILITIES AND OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT AND ARE REGISTERED MEMBERS OF THE UNDERGROUND UTILITY PROTECTION SERVICE:

Table with 4 columns: UTILITY, OWNER, TELEPHONE, FAX. Lists utility providers like City of Gahanna Water Division, Sewer Division, American Electric Power, and Rob Caldwell.

WATER NOTES

- 33. ALL WATER LINE MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CURRENT RULES AND REGULATIONS OF THE CITY OF COLUMBUS, DIVISION OF WATER AND THE DIRECTION OF THE CITY OF GAHANNA.
34. WATER MAINS AND FIRE HYDRANT LEADS SHALL BE DUCTILE IRON PIPE, CLASS 53 (AWWA C151) WITH CEMENT MORTAR LINING AND SEAL COAT (AWWA C104) OR PVC, CLASS 150 MEETING AWWA C900. JOINTS SHALL BE RUBBER GASKET PUSH-ON MECHANICAL (AWWA C110).
35. FIRE HYDRANTS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE AS SHOWN ON THE CITY OF COLUMBUS L-6409 AND L-6637 STANDARD CONSTRUCTION DRAWINGS. FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250 FIRE HYDRANT, AMERICAN DARLING 4-1/2 MK73 - 5, OR APPROVED EQUAL AND PAINTED GREY AND RED.
36. ALL WATER SERVICES SHALL BE INSTALLED IN ACCORDANCE AS SHOWN ON THE CITY OF COLUMBUS L-9901 STANDARD CONSTRUCTION DRAWING. STAINLESS STEEL SERVICE SADDLES SHALL BE PROVIDED FOR ALL WATER SERVICE TAPS.
37. ALL GATE VALVES SHALL BE RESILIENT SEAT TYPE MANUFACTURED TO MEET OR EXCEED TO REQUIREMENTS OF ANSI/AWWA C509 OR THE LATEST REVISION.
38. WATERLINES SHALL BE LAID WITH A MINIMUM OF 4'-0" OF COVER FROM THE FINISHED GRADE TO THE TOP OF THE WATER LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HORIZONTAL AND VERTICAL DEFLECTIONS OR BENDS OF THE WATER LINES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. DEFLECT WATER LINES TO PROVIDE A 1'-6" VERTICAL AND 10'-0" HORIZONTAL CLEARANCE WITH SEWERS.
39. ALL WATER LINES, INCLUDING MAINS AND SERVICES, SHALL BE TESTED UNDER A MINIMUM HYDROSTATIC TEST OF 150 PSI AND IN ACCORDANCE WITH AWWA C600 AND CITY OF COLUMBUS CMS ITEMS 801.13 AND 801.14. NO PRESSURE TEST SHALL BE PERFORMED IF THE TEMPERATURE IS BELOW FREEZING.
40. THE CONTRACTOR SHALL SUBMIT TWO (2) COPIES OF THE PLANS, RESULTS OF THE PRESSURE TEST AND A LETTER REQUESTING CHLORINATION TO THE CITY OF GAHANNA. COST OF CHLORINATION SHALL BE INCLUDED IN THE PRICE BID FOR THE WATER LINE ITEMS.
41. NO PERSON SHALL INSTALL OR MAINTAIN A WATER SERVICE CONNECTION WHERE A BOOSTER PUMP HAS BEEN INSTALLED.

- 42. ALL MECHANICAL JOINTS ARE REQUIRED TO BE MEGALUGGED. CONCRETE BACKING IS STILL REQUIRED. ALL MECHANICAL PIPE DEFLECTIONS ARE REQUIRED TO BE MEGALUGGED. ALL THREADED, CONCRETE BACKED, AND JOINT RESTRAINTS MAY BE REQUIRED BY THE ENGINEER. THE HYDRANT TEE IS TO BE ALL THREADED TO THE MAINLINE VALVE FOR FUTURE EXPANSION. 1 FULL STICK OF PIPE (20') IS TO BE LAID BEFORE FOR THE PLUG.
43. ALL FITTINGS ARE TO BE GPS LOCATED PRIOR TO BACKFILL USING X, Y, AND Z COORDINATES.
44. ANY WATER USAGE FOR FILLING THE WATER MAIN AND CHLORINATION SHALL GO THROUGH A WATER METER. ANY UNMETERED WATER USE WILL BE CHARGED TO THE CONTRACTOR/DEVELOPER BASED ON FLOW RATE CALCULATIONS.
45. THE WATER LINE AND SEWER LINE TRENCH UNDER THE INFLUENCE OF PAVEMENT ARE TO BE COMPACTION TESTED.
46. INSTALL COPPERHEAD® OR EQUAL 12-GAUGE HIGH STRENGTH 452LB BREAK STRENGTH 30 MIL HDPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY BORING METHODS.
47. INSTALL COPPERHEAD® OR EQUAL 12-GAUGE EXTRA HIGH STRENGTH 1150LB BREAK STRENGTH 45 MIL HDPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY BORING METHODS.
48. FASTEN WIRE TO PIPE IN TWO PLACES PER PIPE SECTION. EXTEND TRACER WIRE TO GROUND SURFACE AT ALL VALVES AND HYDRANTS. SPLICE WIRES USING BURNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.
49. CONNECT ALL SERVICE LINE WIRES TO MAIN LINE WIRES USING BURNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.
50. CONTRACTOR SHALL TEST THE CONTINUITY OF ALL WIRE USING A THIRD-PARTY TESTER. CONTRACTOR SHALL CONTACT THE CITY OF GAHANNA DEPARTMENT OF PUBLIC SERVICE AND ENGINEERING A MINIMUM OF 24 HOURS PRIOR TO TEST. TESTER SHALL SEND A SIGNED REPORT TO CITY OF GAHANNA AFFIRMING ALL WIRE HAS CONTINUITY. CONTRACTOR SHALL REPAIR ALL DEFICIENCIES.
51. ALL WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C651.
52. THE NORMAL WORKING PRESSURE OF THE SYSTEM SHALL NOT DECREASE BELOW 35 PSI. ALL WATER MAIN IMPROVEMENTS HAVE BEEN DESIGNED TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI AT GROUND LEVEL AT ALL POINTS IN THE SYSTEM UNDER ALL CONDITIONS OF FLOW.

SANITARY SEWER NOTES

- 53. SERVICE RISERS, ITEM 914, SHALL BE INSTALLED WHERE DEPTHS FROM THE WYES TO THE EXISTING OR PROPOSED ELEVATIONS EXCEED 10'. THE TOPS OF RISERS SHALL BE NO MORE THAN 49" BELOW THE EXISTING OR PROPOSED SURFACE ELEVATION, WHICHEVER IS HIGHER.
54. A MINIMUM VERTICAL CLEARANCE OF 1.5' SHALL BE PROVIDED BETWEEN THE PROPOSED SANITARY SERVICE AND EXISTING UTILITIES OR STRUCTURES UNLESS OTHERWISE NOTED ON THESE PLANS.
55. ALL PVC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION IN CONFORMANCE WITH THE REQUIREMENTS OF ITEM 901.21 OF THE CITY OF COLUMBUS, CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT VERSION.
56. ALL SANITARY SEWER AND SANITARY SERVICES ARE TO BE MANDREL TESTED, AIR TESTED, CLEANED AND CAMERA INSPECTED.
57. ALL SANITARY MANHOLES ARE REQUIRED TO PASS A VACUUM TEST PER CITY OF COLUMBUS ITEM 901.20 AND ASTM-C-1244.
58. PIPE FOR ALL 6" SANITARY SERVICES SHALL BE PVC SEWER PIPE ASTM D-3034, SDR-35. THE SERVICES SHALL BE FIELD TESTED BY THE INFILTRATION, EXFILTRATION OR AIR TEST.
59. ALL PIPES SHALL BE LAID WITH TYPE 1 GRANULAR MATERIAL BEDDING AND BACKFILL AS SHOWN ON STANDARD CONSTRUCTION CITY OF COLUMBUS AA-S151. INSTALLATION SHALL CONFORM TO CMS SECTION 900.

STORM SEWER NOTES

- 60. ANY PLACEMENT OF STORM SEWERS BENEATH EXISTING OR PROPOSED PAVEMENT SHALL BE BACKFILLED IN ACCORDANCE WITH COLUMBUS CMS ITEM 912, COMPACTED GRANULAR BACKFILL.
61. ALL PIPES SHALL BE LAID WITH TYPE 1 GRANULAR MATERIAL BEDDING AND BACKFILL AS SHOWN ON STANDARD CONSTRUCTION CITY OF COLUMBUS AA-S151. INSTALLATION SHALL CONFORM TO CMS SECTION 901.
62. ALL CONCRETE PIPE AND STORM SEWER STRUCTURES SHALL BE STAMPED OR HAVE SUCH IDENTIFICATION NOTING THAT SAID PIPE AND/OR STORM STRUCTURES HAVE BEEN INSPECTED BY THE CITY OF COLUMBUS AND MEETS THEIR SPECIFICATIONS. PIPE AND STRUCTURES WITHOUT PROPER IDENTIFICATION WILL NOT BE PERMITTED FOR INSTALLATION.
63. ALL CURB INLETS AND MANHOLES SHALL BE CHanneled AS DIRECTED. THE COST FOR THIS WORK IS TO BE INCLUDED IN THE PRICE BID FOR VARIOUS STORM SEWER ITEMS.
64. IN CASE OF CONFLICT IN GRADE BETWEEN WATER LINES AND STORM SEWERS, THE WATER LINES SHALL BE LOWERED DURING CONSTRUCTION.
65. ALL PLASTIC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION IN CONFORMANCE WITH THE REQUIREMENTS OF COLUMBUS CMS ITEM 901.
66. ALL STORM SEWER IS TO BE MANDREL TESTED, CLEANED AND CAMERA INSPECTED.

MAINTENANCE OF TRAFFIC

- 67. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFE MOVEMENT OF PEDESTRIANS THROUGH, AROUND AND AWAY FROM THE CONSTRUCTION SITE AS DESIGNATED IN SECTION 60.01 OF THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD).
68. THE SAFETY OF PEDESTRIAN TRAFFIC SHALL BE CONSIDERED AT ALL TIMES IN THE PROVISION OF TRAFFIC CONTROL DEVICES REQUIRED BY THESE PLANS AND NOTES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE LIGHTS, SIGNS, BARRICADES AND OTHER WARNINGS TO PHYSICALLY SEPARATE THE PEDESTRIAN FROM HAZARDS INCIDENTAL TO THE CONSTRUCTION OPERATIONS SUCH AS OPEN EXCAVATIONS, ETC.
69. ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD) FOR CONSTRUCTION AND MAINTENANCE OPERATIONS. ALL DEVICES SHALL MEET FP-85 REFLECTANCE STANDARDS AND IN FULL COMPLIANCE WITH "QUALITY STANDARDS FOR WORK ZONE TRAFFIC CONTROL DEVICES" PUBLISHED BY ATTSSA. ALL TRAFFIC CONTROL DEVICES MUST MEET NCHRP 350.

- 70. STEADY BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT. ALL SIGNS, NINE SQUARE FEET (36" X 36") AND OVER SHALL HAVE YELLOW TYPE "A" LOW INTENSITY FLASHING WARNING LIGHTS AND THREE FLAGS. CONES ARE NOT APPROVED FOR USE AT NIGHT.
71. THE ROADWAY SHALL NOT BE OPENED TO TRAFFIC UNTIL PERMANENT TRAFFIC CONTROLS ARE IN PLACE OR UNTIL TEMPORARY TRAFFIC CONTROLS APPROVED BY THE INSPECTOR ARE INSTALLED. THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE PREMATURE REMOVAL OF TEMPORARY TRAFFIC CONTROLS.
72. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REINSTALLATION AND/OR REPLACEMENT OF ALL PERMANENT TRAFFIC CONTROL DEVICES DAMAGED OR REMOVED DURING THE CONSTRUCTION. PERMANENT TRAFFIC CONTROLS NO LONGER IN CONFLICT WITH TEMPORARY TRAFFIC CONTROLS SHALL BE REPLACED IMMEDIATELY.
73. ALL PERMANENT TRAFFIC CONTROLS NOT IN CONFLICT WITH THE TEMPORARY TRAFFIC CONTROLS SHALL BE MAINTAINED THROUGHOUT THE PROJECT BY THE CONTRACTOR. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR MISSING, DAMAGED, AND IMPROPERLY PLACED TRAFFIC CONTROL DEVICES.
74. ALL TRENCHES WITHIN THE ROAD RIGHT-OF-WAY SHALL BE BACKFILLED OR SECURELY PLACED DURING NON-WORKING HOURS.
75. ALL LANES SHALL BE FULLY OPEN TO TRAFFIC ON ALL PUBLIC STREETS AND ALLEYS UNLESS OTHERWISE APPROVED BY THE CITY OF GAHANNA.
76. ANY WORK DONE BY THE CITY INCLUDING INSTALLATION, RELOCATION, REMOVAL AND/OR REPLACEMENT OF PERMANENT TRAFFIC CONTROL DEVICES AS A RESULT OF WORK DONE BY THE CONTRACTOR OR AS A RESULT OF THE NEGLIGENCE OF THE CONTRACTOR SHALL BE AT THE EXPENSE OF THE CONTRACTOR.

ESTIMATE OF QUANTITIES

THESE QUANTITIES HAVE BEEN PROVIDED ONLY AS AN ESTIMATE TO THE SCOPE OF THE WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO EVALUATE THE COMPLETE PROJECT AS DETAILED IN THE NOTES, PLANS, AND SPECIFICATIONS AND PROCEDURES NECESSARY FOR THE COMPLETION OF THE PLAN IMPROVEMENTS AND SUBMIT HIS TOTAL PROJECT COST ACCORDINGLY.

Table with 4 columns: ITEM, QUANTITY, UNIT, DESCRIPTION. Lists items like Clearing & Grubbing, Full Depth Pavement Removal, Parking Block Removed, Proof Rolling, Cement Stabilized Subgrade, etc.

AMERICAN STRUCTUREPOINT INC. 2650 Corporate Exchange Dr., Ste 300 | Columbus, Ohio 43221 TEL: 614.460.1226 www.structurepoint.com

CONSTRUCTION DOCUMENTS FOR WOODSIDE GREEN PARK PARKING LOT IMPROVEMENTS GAHANNA, FRANKLIN COUNTY, OHIO GENERAL NOTES & ESTIMATE OF QUANTITIES

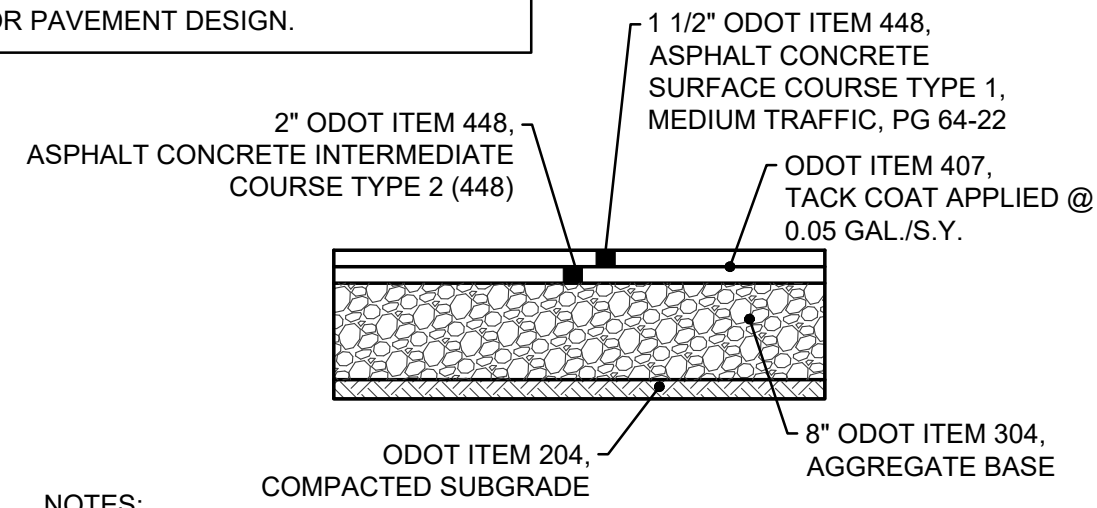
Table with 3 columns: REVISIONS, SHEET NO., DATE. Includes a grid for revisions and sheet information.



Table with 2 columns: DATE, DRAWN BY, CHECKED BY, JOB NUMBER. Values include 11/16/2021, GPB, DSM, 2021.00697.

PLOT SCALE: 1"=10' DATE: 3/30/22 - 1:00 PM EDITED BY: DMILLER DRAWING FILE: C:\2021\06997.D DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\WOODSIDE2021_00697_CETS.DWG

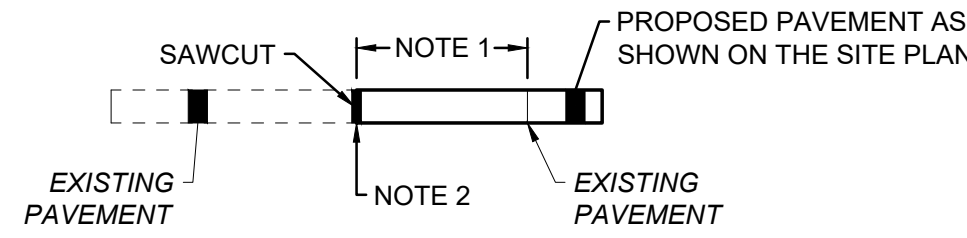
NOTE:
PAVEMENT DESIGN IS BASED ON THE
CTL ENGINEERING, INC.
RECOMMENDATION. AMERICAN
STRUCTUREPOINT IS NOT RESPONSIBLE
FOR PAVEMENT DESIGN.



NOTES:

1. COMPOSE HOT MIX ASPHALT MIXTURE WITH AGGREGATE AND ASPHALT BINDER MEETING ODOT 401 REQUIREMENTS.
2. SUBMIT AN APPROVED JOB MIX FORMULA INCLUDING MIX TYPE PROPOSED FOR USE, AGGREGATE SOURCE, TYPE, AND GRADATION, PERCENT OF ASPHALT BINDER, AND UNIT WEIGHT OF THE MIXTURE.
3. OBTAIN JOB MIX FORMULA APPROVAL BY PROVIDING A PREVIOUSLY ODOT APPROVED FORMULA OR CONTRACT AN INDEPENDENT TESTING AGENCY TO PROVIDE TESTING AND WRITTEN APPROVAL OF THE FORMULA. THE AGENCY PERFORMING THE TESTING MUST BE LEVEL III BITUMINOUS CONCRETE APPROVED BY ODOT.

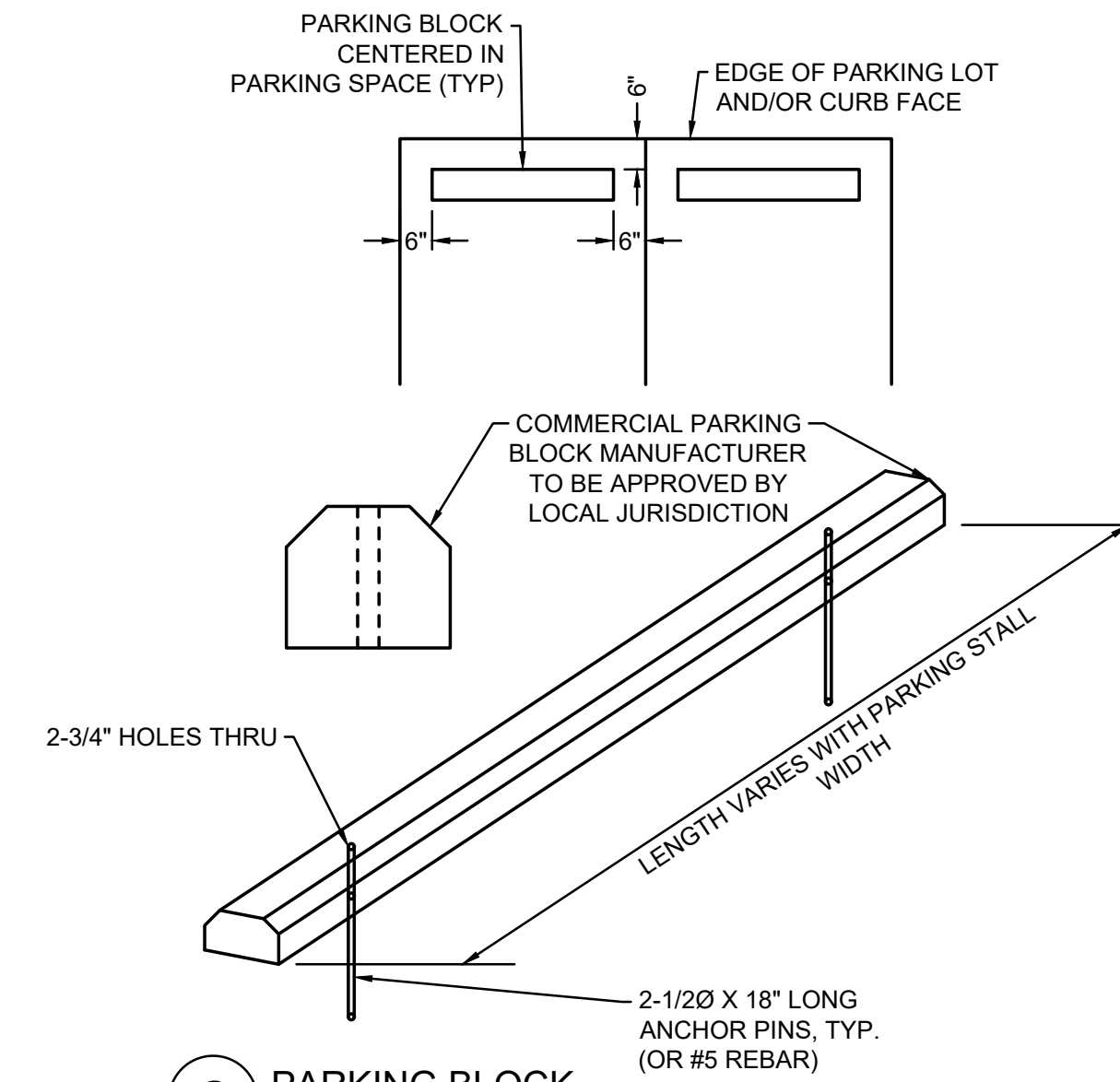
A LIGHT DUTY ASPHALT PAVEMENT
NOT TO SCALE



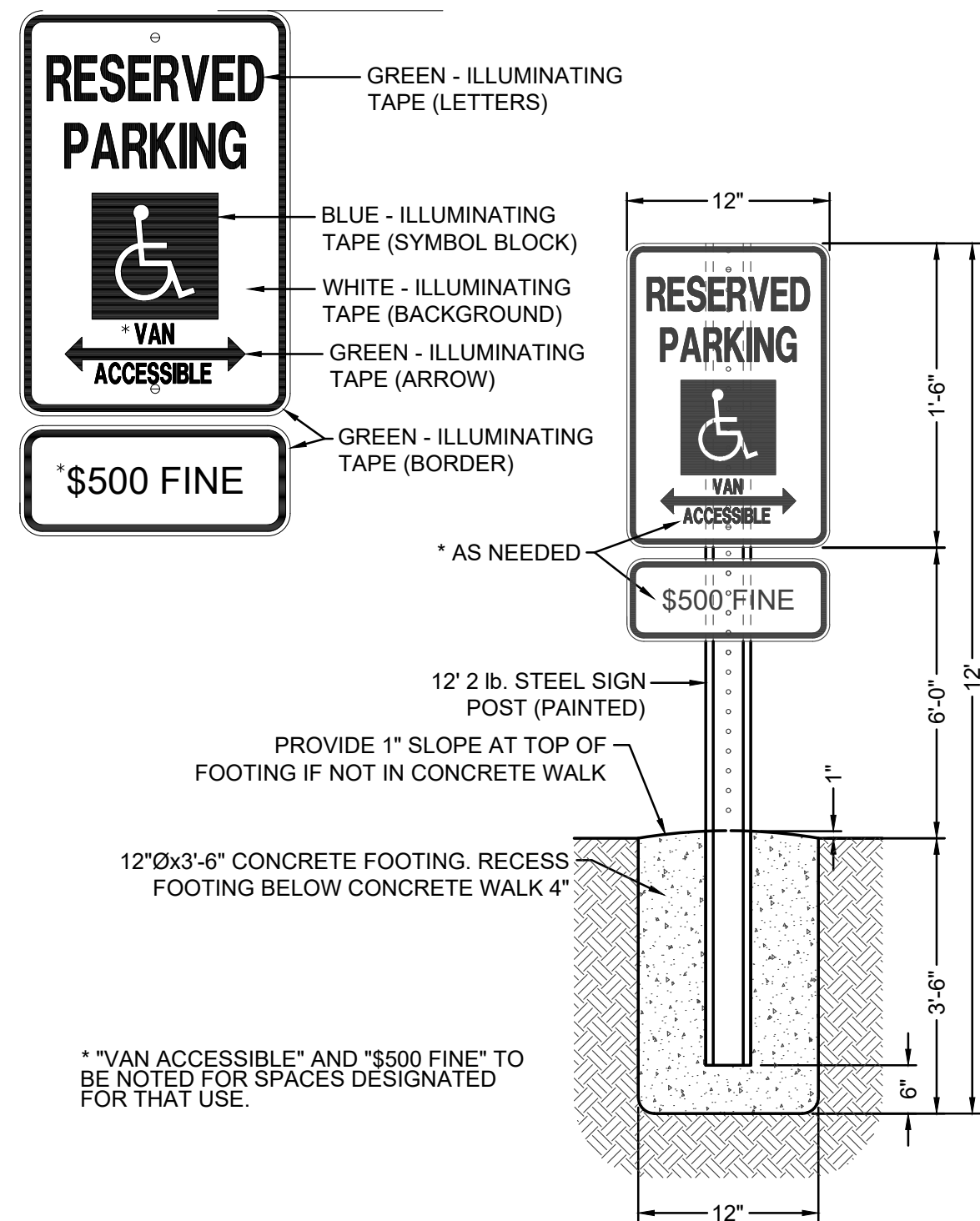
NOTES:

1. PROPOSED ASPHALT PAVEMENT REPLACEMENT SHALL BE A MINIMUM OF 2'-0" IN WIDTH FROM THE EXISTING EDGE OF PAVEMENT.
2. PROVIDE CRACK SEALING PER ODOT ITEM 423 BETWEEN EXISTING AND PROPOSED PAVEMENT.

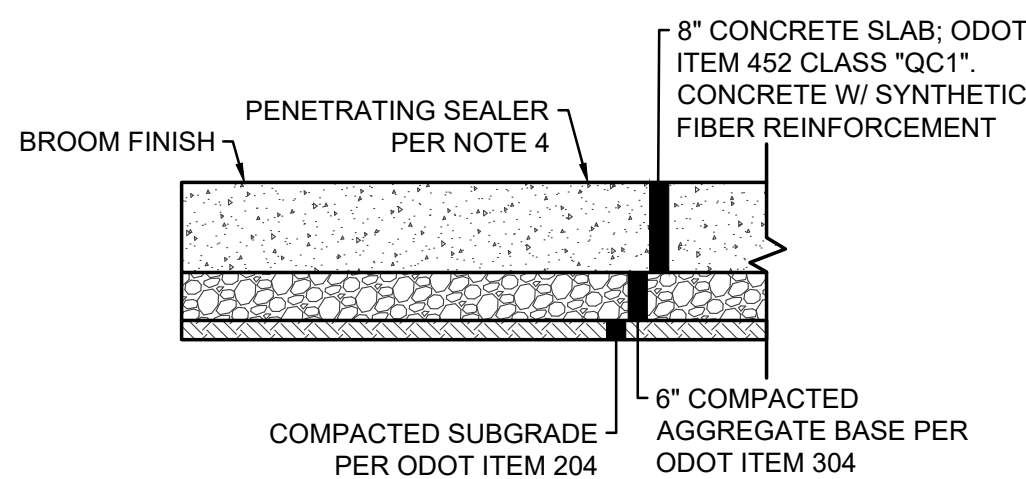
B PAVEMENT MATCHING
NOT TO SCALE



C PARKING BLOCK
NOT TO SCALE



D ADA ACCESSIBLE PARKING SIGN
NOT TO SCALE

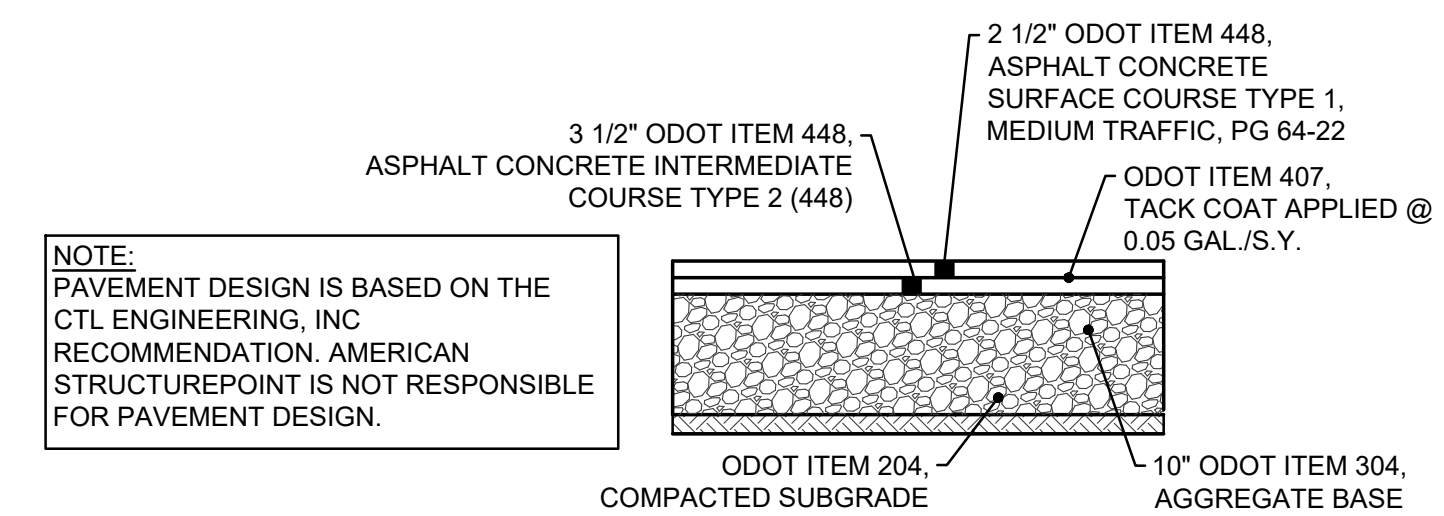


NOTE:
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CTL ENGINEERING, INC.
RECOMMENDATION. AMERICAN
STRUCTUREPOINT IS NOT RESPONSIBLE
FOR PAVEMENT DESIGN.

NOTES:

1. PROVIDE PROPORTIONING REQUIREMENTS FOR PORTLAND CEMENT CONCRETE MIX DESIGNS, MIXING, AND CONTROLS PER ODOT ITEM 499.
2. SYNTHETIC FIBER REINFORCEMENT: ASTM C1116. ACCEPTABLE PRODUCTS INCLUDE, BUT ARE NOT LIMITED TO:
A. NYCON NYLON FIBERS
B. FORTA NYLON-MONO NYLON FIBERS
C. FIBERMESH FIBERMIX STEALTH POLYPROPYLENE FIBERS
D. GRACE POLYPROPYLENE FIBERS
E. TUFF STRAND OR APPROVED EQUAL
3. SYNTHETIC FIBER REINFORCEMENT SHALL BE USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. DOSAGE RATE SHALL BE AS RECOMMENDED BY THE MANUFACTURER, BUT NOT LESS THAN 1 POUND PER CUBIC YARD.
3. DISSIPATING CURING COMPOUND: COMPLY WITH ASTM C309, TYPE 1, CLASS A OR B (CLEAR), EXCEPT MOISTURE LOSS NOT TO EXCEED 0.40 KG/SQ M. IN 72 HOURS. COMPOUND SHALL COMPLY WITH EPA'S VOC REQUIREMENTS. APPLY AT THE MANUFACTURER'S WRITTEN RECOMMENDED APPLICATION RATE. COMPLETELY REMOVE CURING COMPOUND PRIOR TO THE APPLICATION OF PENETRATIONS SEALER.
4. PENETRATING SEALER: ACCEPTABLE PRODUCTS INCLUDE, BUT ARE NOT LIMITED TO:
A. L&M CONSTRUCTION CHEMICALS - AQUAPEL PLUS
B. PROSOCO - SALTGUARD WB
C. PROTECTOSIL - CHEM-TRETE 40 VOC
D. LYMTAL INTERNATIONAL - ISO-FLEX 618-50 WB
E. BASF - MASTER PROTECT H 400
F. TEX-COTE - RAINSTOPPER RS1500

E HEAVY DUTY CONCRETE PAVEMENT
NOT TO SCALE



NOTE:
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RECOMMENDATION. AMERICAN
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NOTES:

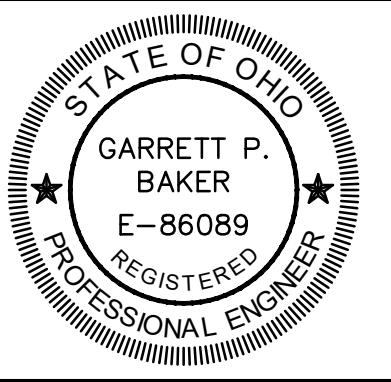
1. COMPOSE HOT MIX ASPHALT MIXTURE WITH AGGREGATE AND ASPHALT BINDER MEETING ODOT 401 REQUIREMENTS.
2. SUBMIT AN APPROVED JOB MIX FORMULA INCLUDING MIX TYPE PROPOSED FOR USE, AGGREGATE SOURCE, TYPE, AND GRADATION, PERCENT OF ASPHALT BINDER, AND UNIT WEIGHT OF THE MIXTURE.
3. OBTAIN JOB MIX FORMULA APPROVAL BY PROVIDING A PREVIOUSLY ODOT APPROVED FORMULA OR CONTRACT AN INDEPENDENT TESTING AGENCY TO PROVIDE TESTING AND WRITTEN APPROVAL OF THE FORMULA. THE AGENCY PERFORMING THE TESTING MUST BE LEVEL III BITUMINOUS CONCRETE APPROVED BY ODOT.

F HEAVY DUTY ASPHALT PAVEMENT
NOT TO SCALE



CONSTRUCTION DOCUMENTS
FOR
**WOODSIDE GREEN PARK
PARKING LOT IMPROVEMENTS**
GAHANNA, FRANKLIN COUNTY, OHIO
**GENERAL
DETAILS**

REVISIONS	DATE	SHEET NO.	DESCRIPTION



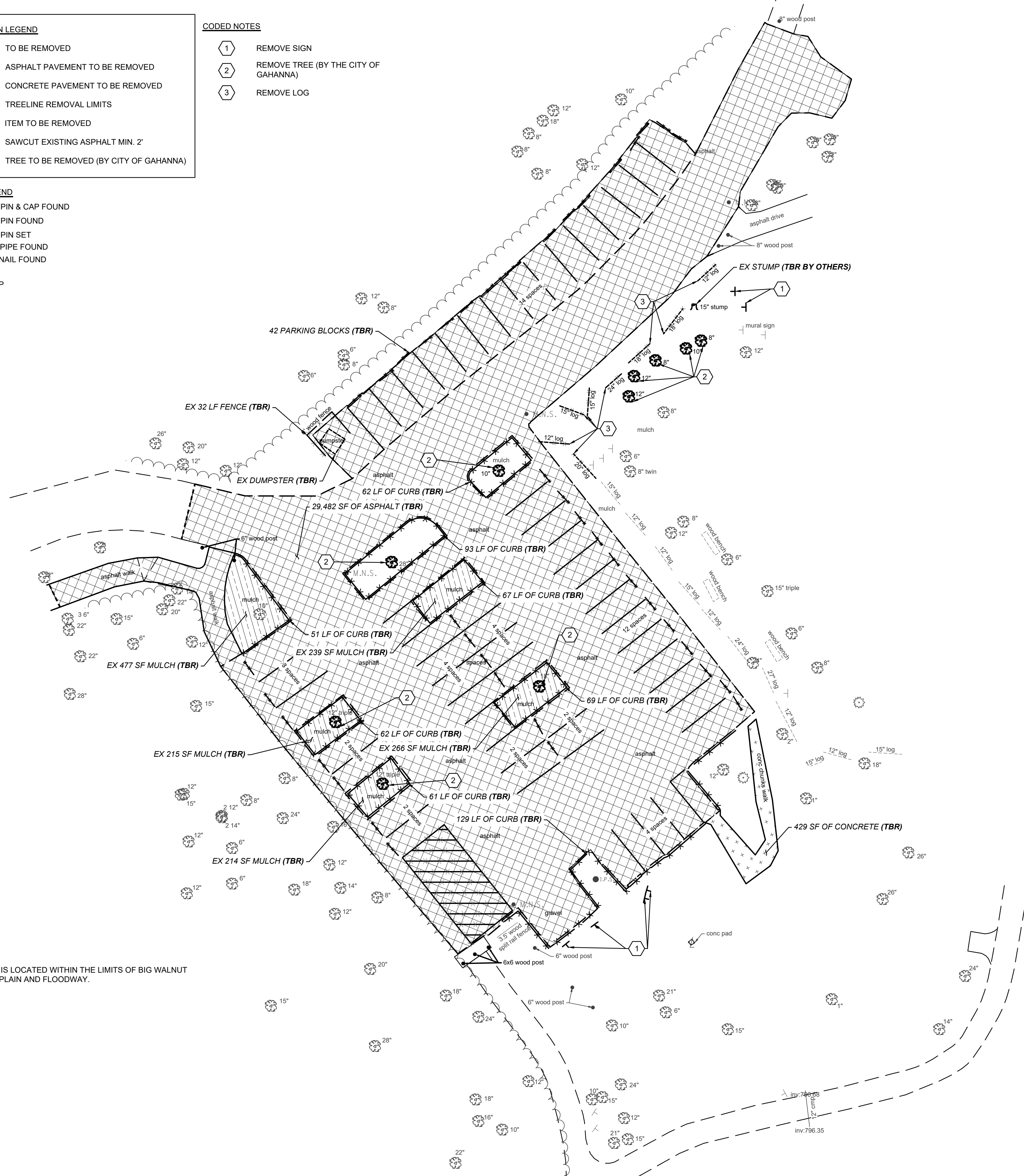
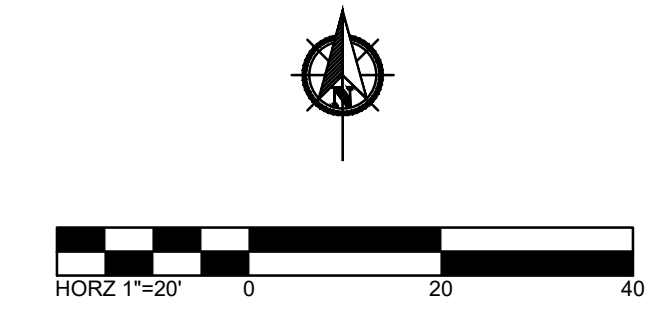
DATE:	11/16/2021
DRAWN BY:	GPB
CHECKED BY:	DSM
JOB NUMBER:	2021.00697

PLOT SCALE: 1:1 EDIT DATE: 3/1/22 - 9:56 AM EDITED BY: AHODGE DRAWING FILE: O:\2021\0697.DWG DRAWINGSCIVIL\CONSTRUCTION DOCUMENTS\WOODSIDE\2021_0697_CE_T5.DWG

DEMOLITION LEGEND	
TBR	TO BE REMOVED
[Cross-hatch pattern]	ASPHALT PAVEMENT TO BE REMOVED
[Dotted pattern]	CONCRETE PAVEMENT TO BE REMOVED
[Diagonal line pattern]	TREELINE REMOVAL LIMITS
-X-X-X-	ITEM TO BE REMOVED
- - - - -	SAWCUT EXISTING ASPHALT MIN. 2'
[Tree symbol]	TREE TO BE REMOVED (BY CITY OF GAHANNA)

CODED NOTES	
1	REMOVE SIGN
2	REMOVE TREE (BY THE CITY OF GAHANNA)
3	REMOVE LOG

EXISTING LEGEND	
⊙ I.P.F.	IRON PIN & CAP FOUND
○ I.P.F.	IRON PIN FOUND
● I.P.S.	IRON PIN SET
⊕ P.F.	IRON PIPE FOUND
⊙ M.N.F.	MAG NAIL FOUND
•	POST
⊙	STUMP
⊙	TREE



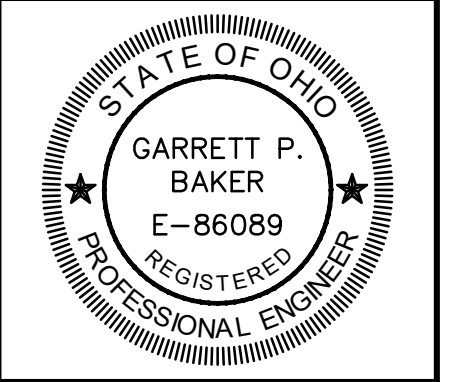
NOTE:
THIS PROJECT IS LOCATED WITHIN THE LIMITS OF BIG WALNUT CREEK'S FLOODPLAIN AND FLOODWAY.

DEMOLITION NOTES:

- CONFIRM EXISTING CONDITIONS PRIOR TO BEGINNING WORK.
- TREES SHALL BE REMOVED BY THE CITY OF GAHANNA.
- ALL TREES, SAPLINGS, CROPS, GRASS, OR MONUMENTS LOCATED WITHIN THE WORK AREA WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS ARE TO BE PRESERVED, UNLESS NOTED TO BE REMOVED OR UNLESS APPROVAL TO REMOVE IS GIVEN IN WRITING BY THE ENGINEER. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY CLAIM FROM DAMAGE TO TREES, SAPLINGS, CROPS, OR GRASSES WHICH MAY OCCUR AS THE RESULT OF THE CONSTRUCTION OPERATIONS, DAMAGE TO SIGNS, FENCES, LAWN AREAS, HEDGES, FLOWERS, SHRUBBERY, ETC. AS A RESULT OF THE CONSTRUCTION SHALL BE RESTORED IN LIKE KIND AND CHARACTER TO THE SATISFACTION OF THE ENGINEER.
- REMOVE ALL ON-GRADE SITE FEATURES WITHIN THE AREA OF WORK INCLUDING: SIDEWALKS, CURBS, CONCRETE FOUNDATIONS, CONCRETE AND ASPHALT PAVEMENT.
- SAW-CUT, FULL DEPTH, EXISTING ASPHALT PAVEMENT AND CONCRETE CURB WHERE NEW WORK ABUTS EXISTING CONSTRUCTION. USE CARE TO SAW-CUT NEAT STRAIGHT LINES. WHEN SAW-CUTTING EXISTING CONCRETE, CUT ALONG EXISTING JOINT LINES WHEREVER POSSIBLE.
- CONTRACTOR SHALL USE CAUTION TO PROTECT EXISTING SITE FEATURES TO REMAIN. REPLACE ANY DAMAGE AT NO COST TO THE OWNER.
- LEGALLY DISPOSE OF ALL CONSTRUCTION DEBRIS OFF-SITE IN ACCORDANCE WITH LOCAL CODES. NO ON-SITE BURNING.
- USE ALL MEANS NECESSARY TO CONTROL DUST ON-SITE AND PREVENT TRACKING SOIL OFF-SITE.
- THE CONTRACTOR SHALL COORDINATE THE TEMPORARY DUMPSTER LOCATION DURING CONSTRUCTION WITH THE CITY.

CONSTRUCTION DOCUMENTS
 FOR
**WOODSIDE GREEN PARK
 PARKING LOT IMPROVEMENTS**
 GAHANNA, FRANKLIN COUNTY, OHIO
**EXISTING CONDITIONS &
 DEMOLITION PLAN**

REVISIONS	DATE	SHEET NO.	DESCRIPTION

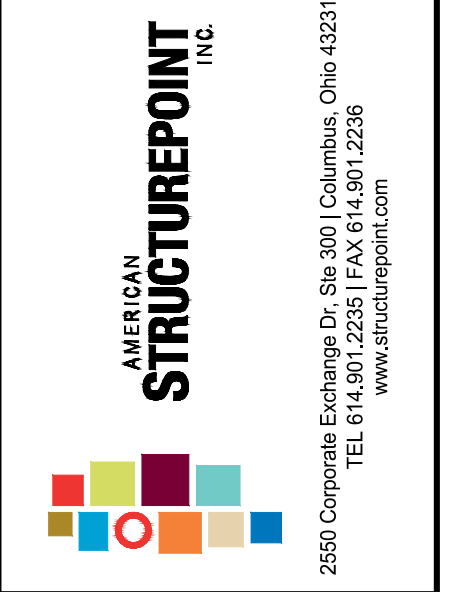
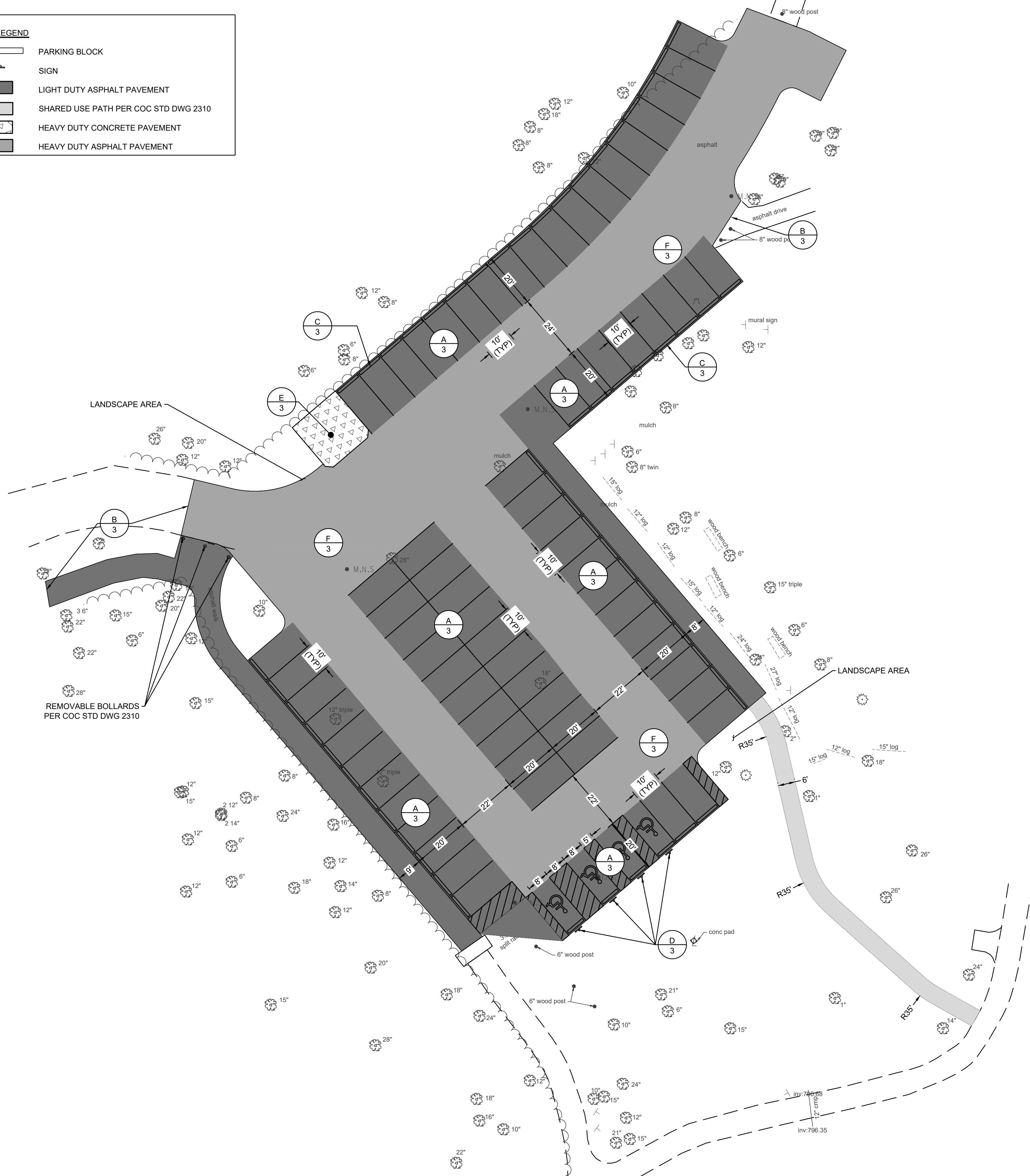
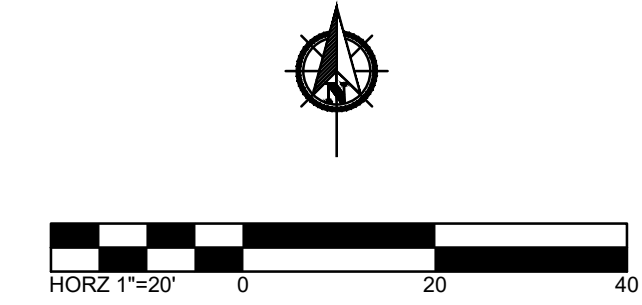


DATE:	11/16/2021
DRAWN BY:	GPB
CHECKED BY:	DSM
JOB NUMBER:	2021.00697

PLOT SCALE: 1"=122'-0" EDIT DATE: 3/1/22 - 9:32 AM EDITED BY: AHODGE DRAWING FILE: O:\2021\00697.D - DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\WOODSIDE\2021_00697_CE_DEMO.DWG

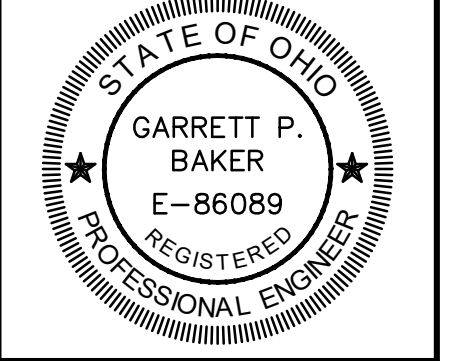
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SITE LEGEND	
	PARKING BLOCK
	SIGN
	LIGHT DUTY ASPHALT PAVEMENT
	SHARED USE PATH PER COC STD DWG 2310
	HEAVY DUTY CONCRETE PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT



CONSTRUCTION DOCUMENTS
FOR
**WOODSIDE GREEN PARK
PARKING LOT IMPROVEMENTS**
GAHANNA, FRANKLIN COUNTY, OHIO
LOCATION PLAN

REVISIONS	DATE	SHEET NO.	DESCRIPTION



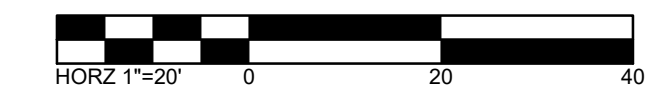
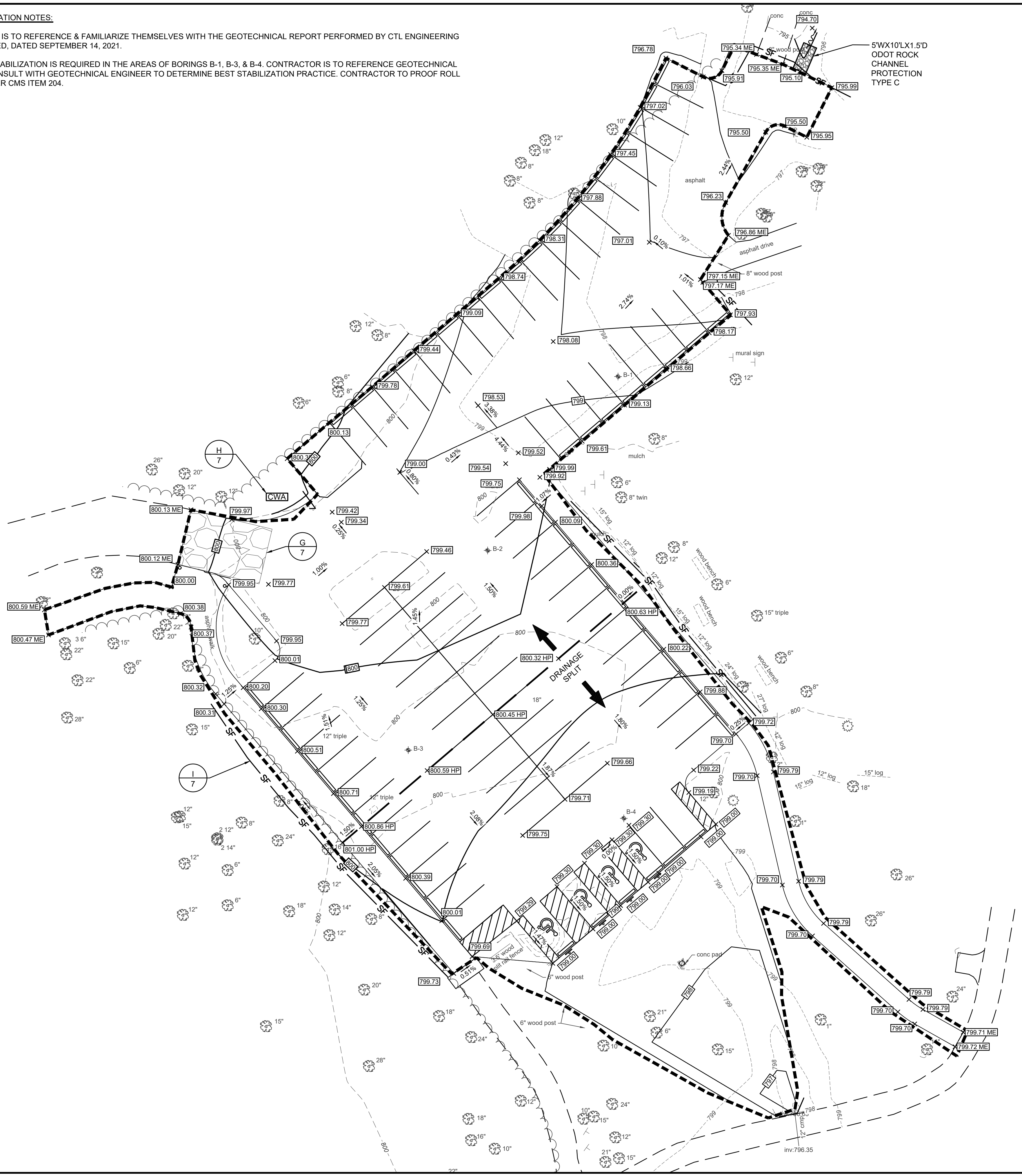
DATE:	11/16/2021
DRAWN BY:	GPB
CHECKED BY:	DSM
JOB NUMBER:	2021.00697

SOIL STABILIZATION NOTES:

CONTRACTOR IS TO REFERENCE & FAMILIARIZE THEMSELVES WITH THE GEOTECHNICAL REPORT PERFORMED BY CTL ENGINEERING INCORPORATED, DATED SEPTEMBER 14, 2021.

SUBGRADE STABILIZATION IS REQUIRED IN THE AREAS OF BORINGS B-1, B-3, & B-4. CONTRACTOR IS TO REFERENCE GEOTECHNICAL REPORT & CONSULT WITH GEOTECHNICAL ENGINEER TO DETERMINE BEST STABILIZATION PRACTICE. CONTRACTOR TO PROOF ROLL SUBGRADE PER CMS ITEM 204.

PLOT SCALE: 1" = 20' DATE: 3/22/22 - 10:24 AM EDITED BY: DANUGERAH DRAWING FILE: C:\2022\100697.D DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\WOODSIDE\2022\100697 CE GRD.DWG



EROSION CONTROL LEGEND

- LIMITS OF DISTURBANCE
- SILT FENCE
- CONCRETE WASHOUT AREA
- STABILIZED CONSTRUCTION ENTRANCE
- SOIL BORING LOCATION

SITE LEGEND

- VEGETATED FILTER STRIP
- ROCK CHANNEL PROTECTION
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

REFER TO SHEET 7 FOR EROSION CONTROL DETAILS

77 TOTAL PARKING SPACES

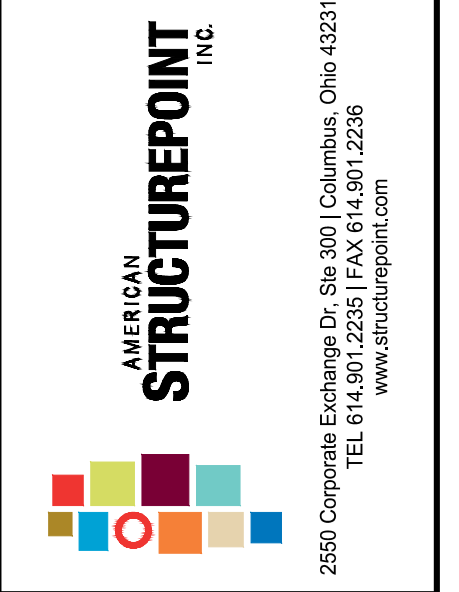
EARTHWORK & GRADING NOTES:

1. NO CONSTRUCTION WORK WILL BE PERMITTED WITHOUT APPROVED PLANS AND INSPECTION.
2. ALL PAVEMENT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION AT FACE OF CURB UNLESS OTHERWISE NOTED. ALL DIMENSIONS AND COORDINATES ARE TO FACE OF CURB OR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.
4. ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE CORRECTED AND RESTORED, AT NO COST TO THE OWNER, AS SOON AS PERMISSION IS GRANTED FROM THE ADJACENT PROPERTY OWNER(S).
5. SOIL EROSION AND SEDIMENTATION BMP MEASURES SHALL BE INSTALLED PRIOR TO START OF ANY CONSTRUCTION AND SHALL BE MAINTAINED AT ALL TIMES UNTIL CONSTRUCTION HAS BEEN COMPLETED, INCLUDING ALL GRASS BEING WELL ESTABLISHED AND/OR PERMANENT EROSION AND SEDIMENTATION BMP MEASURES IN PLACE. ALL BMP MEASURES SHALL BE TO THE SATISFACTION OF THE LOCAL AUTHORITY AND OHIO EPA.
6. USE ALL MEANS NECESSARY TO CONTROL DUST ON THE SITE AND PREVENT TRACKING SOIL OFF-SITE. CONTRACTOR SHALL, AT THE END OF EACH WORKING DAY, CLEAN ALL DIRT AND SEDIMENT TRACKED ONTO THE STREETS.
7. CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING TOPSOIL THROUGHOUT THE SITE PRIOR TO EXCAVATION. UPON COMPLETION OF FINAL GRADING, PROVIDE MINIMUM 6" OF TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION, INCLUDING LAYDOWN AREAS AND TRAILER LOCATIONS, IF LOCATED OUTSIDE THE GRADING/SEEDING LIMITS.
8. EXCAVATION AND EMBANKMENT SHALL COMPLY WITH ODOT ITEM 203 AND LOCAL AUTHORITY REQUIREMENTS.
9. THE CONTRACTOR'S BID SHALL BE COMPREHENSIVE AND INCLUDE ALL LABOR AND EQUIPMENT TO COMPLETE ALL EXCAVATION, FILL AND GRADING IN ACCORDANCE WITH THE APPROVED ENGINEERING PLANS AND SPECIFICATIONS.
10. EXCAVATION AND EMBANKMENT QUANTITIES DO NOT INCLUDE ANY PROVISION FOR UNDERCUTTING, FOOTINGS, OR UNSUITABLE MATERIAL.
11. ALL FIELD TILE BROKEN OR ENCOUNTERED DURING EXCAVATION SHALL BE REPLACED OR REPAIRED AND CONNECTED TO THE PUBLIC STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER. THE COST OF THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. THE INTENT IS TO STRIP AND SALVAGE TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE, IF APPROVED BY THE LANDSCAPE ARCHITECT AND/OR SPECIFICATIONS. TOPSOIL - AFTER COMPACTION - SHALL BE RE-SPREAD PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE PROVIDING THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE, AS NOTED ABOVE.
13. AFTER THE TOPSOIL IS REMOVED, PROOFROLL THE PAVEMENT AND BUILDING AREA SUBGRADES TO BE FILLED PER ODOT ITEM 204. SOFT AREAS SHOULD BE UNDERCUT AND STABILIZED PRIOR TO FILLING OPERATIONS. RELATIVE DEPTH OF UNDERCUT WILL BE DETERMINED WHEN SOFT AREAS ARE DISCOVERED. THE TESTING AGENCY SHALL DETERMINE THE DEPTH AND EXTENT OF THE UNDERCUT.
14. BACKFILL WITHIN A 1:1 INFLUENCE LINE OF EXISTING STRUCTURES (HOUSES, GARAGES, ETC.) OR PUBLIC INFRASTRUCTURE (PAVEMENT, CURBS, SIDEWALKS, BIKE PATHS, ETC.) SHALL BE COMPACTED GRANULAR BACKFILL OF THE STANDARD SPECIFICATIONS OR FLOWABLE CDF, TYPE II ACCORDING TO ODOT ITEM 613. ITEM 911 OF THE STANDARD SPECIFICATIONS SHALL BE USED ELSEWHERE.
15. ALL WET OR OTHERWISE UNSUITABLE SOILS MUST BE STABILIZED PRIOR TO PAVEMENT CONSTRUCTION. THIS MAY BE ACCOMPLISHED BY DRYING, REMOVAL & REPLACEMENT, DRYING & RE-COMPACTION, OR SOIL TREATMENT (LIME/CEMENT). MEANS AND METHODS SHALL BE DETERMINED BY OWNER'S TESTING AGENCY.
16. EXPOSE UTILITIES PRIOR TO BEGINNING WORK ON THAT UTILITY TO DETERMINE EFFECTS ON THE PROPOSED ALIGNMENT AND PROFILE. REPORT ELEVATION AND LOCATION TO THE ENGINEER IN ORDER THAT ANY CORRECTIONS TO THE ELEVATION AND LOCATION CAN BE MADE.
17. HANDICAP PARKING AREAS SHALL NOT HAVE SLOPES IN ANY DIRECTION THAT EXCEED 1.56%.
18. ALL EXISTING VALVES, MANHOLES, AND OTHER APPURTENANCES TO REMAIN LOCATED WITHIN THE WORK LIMITS SHALL BE ADJUSTED TO FINISHED GRADE USING METHODS APPROVED BY THE CITY ENGINEER.
19. MAXIMUM FINISH SLOPES SHALL BE 4:1, UNLESS OTHERWISE NOTED. FOR SLOPES 3:1 OR GREATER PROVIDE EROSION CONTROL MATTING PER ODOT ITEM 671 OR AS OTHERWISE PROVIDED ON THE PLANS.

EARTHWORK NOTES:

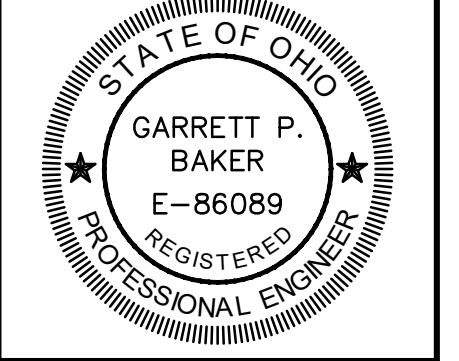
EXCAVATE AND REMOVE UNSUITABLE MATERIAL AS DEFINED IN THE GEOTECHNICAL ENGINEERING REPORT, OF WHICH SHALL BE CONSIDERED A PART OF THESE CONTRACT DOCUMENTS:

- A. STRIP AND STOCKPILE EXISTING TOPSOIL WITHIN GRADING/SEEDING LIMITS. FINAL STOCKPILE LOCATION TO BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE OWNER.
- B. SUBSEQUENT TO TOPSOIL REMOVAL, BENEATH PAVEMENT AREAS AND PROPOSED BUILDING PAD, PROOF-ROLL EXPOSED SUBGRADE WITH A FULLY-LOADED, TANDEM-AXLE DUMP TRUCK (OR EQUIVALENT) TO IDENTIFY POTENTIAL UNSUITABLE AND UNSTABLE SUBGRADE AREAS. IN LOCATIONS WHERE PROOF-ROLLING HAS FAILED, SOILS SHALL BE DISKED, DRIED AND RECOMPACTED, OR UNDERCUT AND REPLACED WITH COMPACTED ENGINEERED FILL, OR OTHERWISE IMPROVED AS DETERMINED BY THE TESTING AGENCY. IN AREAS WHERE OVER EXCAVATION HAS BEEN CHOSEN TO IMPROVE SUBGRADE, STOCKPILE OVER EXCAVATED SOILS FOR REUSE AS ENGINEERED FILL OR AS GENERAL SITE FILL IN LANDSCAPING AREAS. IF SUBGRADE AREAS STILL DO NOT MEET THE APPROVAL OF THE ENGINEER, CHEMICAL STABILIZATION WILL BE USED IN AREAS AS DIRECTED BY THE ENGINEER.



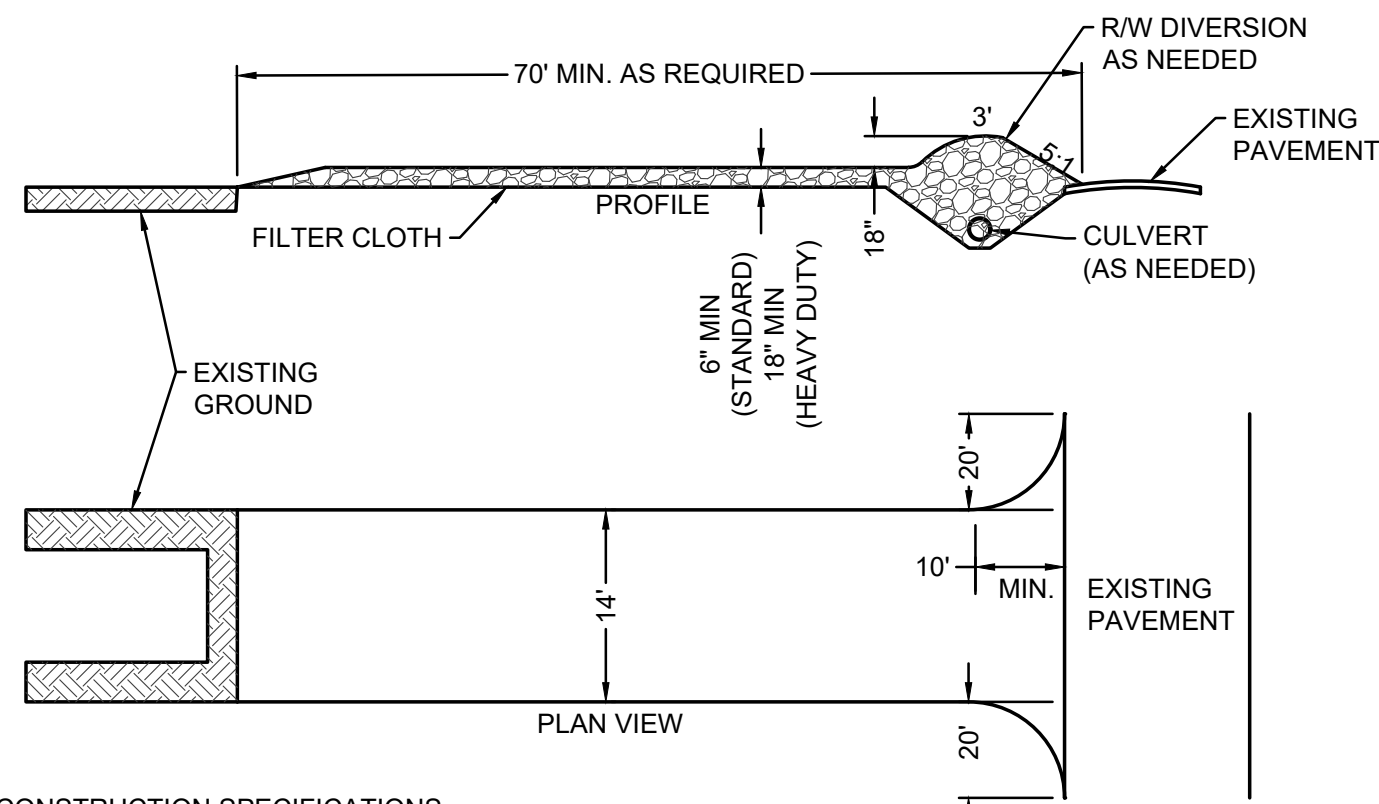
CONSTRUCTION DOCUMENTS FOR
**WOODSIDE GREEN PARK
 PARKING LOT IMPROVEMENTS**
 GAHANNA, FRANKLIN COUNTY, OHIO
**GRADING, UTILITY, &
 EROSION CONTROL PLAN**

REVISIONS	DATE	SHEET NO.	DESCRIPTION



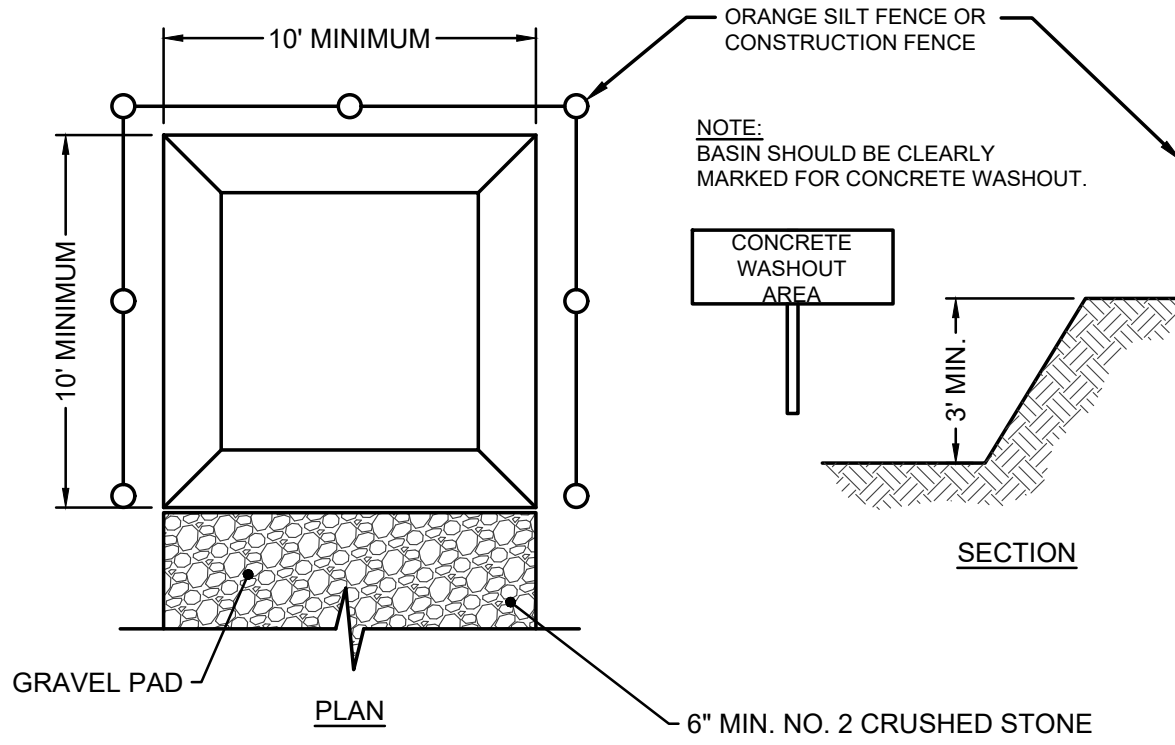
DATE:	11/16/2021
DRAWN BY:	GPB
CHECKED BY:	DSM
JOB NUMBER:	2021.00697

PLOT SCALE: 1:1; EDIT DATE: 3/22/22 - 10:24 AM; EDITED BY: DANUGERAH; DRAWING FILE: C:\2021\06987\DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\WOODSIDE\2021_06987_CE_GRD.DWG



CONSTRUCTION SPECIFICATIONS:

- STONE SIZE—ODOT # 2 (1.5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH—THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT. (EXCEPTION: APPLY 30 FT. MINIMUM TO SINGLE RESIDENCE LOTS).
 - THICKNESS -THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
 - WIDTH -THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS
 - GEOTEXTILE -A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL BE COMPOSED OF STRONG ROT-PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:
- | GEOTEXTILE SPECIFICATION FOR CONSTRUCTION ENTRANCE | |
|--|---------------------------|
| MINIMUM TENSILE STRENGTH | 200 lbs |
| MINIMUM PUNCTURE STRENGTH | 80 psi |
| MINIMUM TEAR STRENGTH | 50 lbs |
| MINIMUM BURST STRENGTH | 320 psi |
| MINIMUM ELONGATION | 20% |
| EQUIVALENT OPENING SIZE | EOS<0.6 mm |
| PERMITIVITY | 1x10 ⁻³ cm/sec |
- TIMING—THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICABLE BEFORE MAJOR GRADING ACTIVITIES.
 - CULVERT -A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
 - WATER BAR -A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR PREVENT FLOWING SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
 - CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION-SITE SHALL BE RESTRICTED FROM MUDDY AREAS. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - REMOVAL—THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED OR REPLACED WITH A PERMANENT ROADWAY OR ENTRANCE.

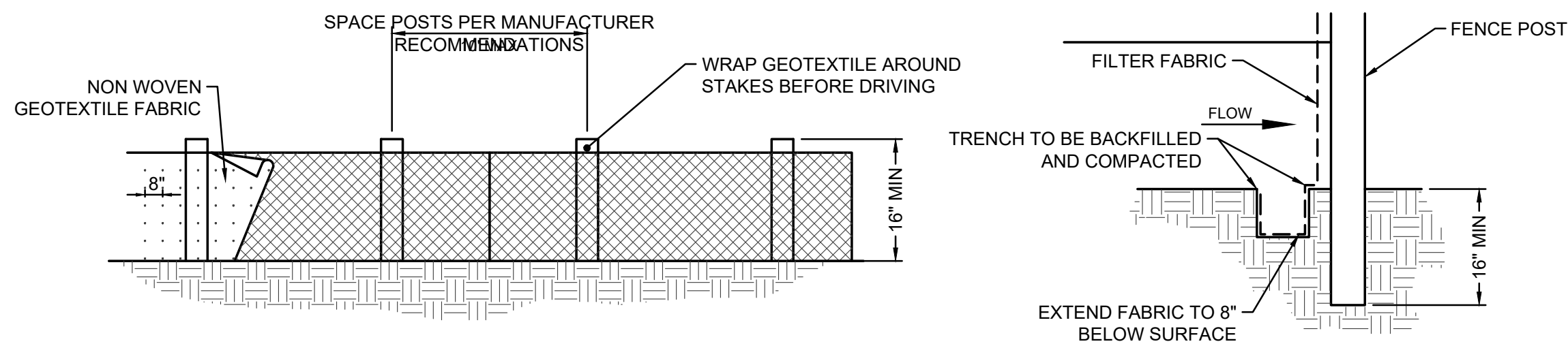


NOTE:

- ACTUAL LAYOUT DETERMINED IN THE FIELD, BY CONTRACTOR.
- THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

H CONCRETE WASHOUT AREA
NOT TO SCALE

G CONSTRUCTION ENTRANCE
NOT TO SCALE



NOTES:

- FENCE POST SHALL BE A MINIMUM LENGTH OF 32 INCHES LONG PLUS BURIAL DEPTH, COMPOSED OF NOMINAL DIMENSIONED 2x2 INCH HARDWOOD OF SOUND QUALITY. ALTERNATELY POST MATERIAL SHALL BE STEEL OR SYNTHETIC AND SHALL BE OF SUFFICIENT STRENGTH TO RESIST DAMAGE DURING INSTALLATION, TO SUPPORT APPLIED LOADS, AND SO THE GEOTEXTILE CAN BE ADEQUATELY SECURED TO POST
- FABRIC SHALL BE A NEEDLE PUNCHED NON-WOVEN GEOTEXTILE FABRIC CONSISTING OF STRONG, ROT RESISTANT, MATERIALS RESISTANT TO DETERIORATION FROM ULTRAVIOLET AND HEAT EXPOSURE.
- MINIMUM 8" FABRIC BURY REQUIRED.
- ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SO THAT WATER PONDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
- THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

- SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY HALF THE HEIGHT OF THE SILT FENCE.

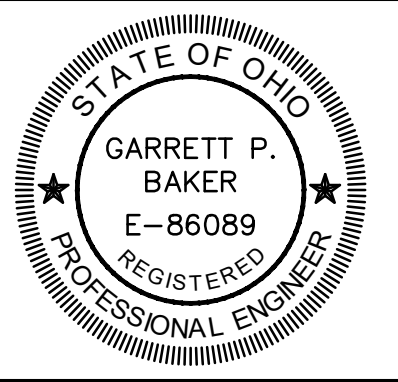
MINIMUM CRITERIA FOR SILT FENCE FABRIC (ODOT, 2002)		
MINIMUM TENSILE STRENGTH	120 lbs (535 N)	ASTM D 4632
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4632
MINIMUM PUNCTURE STRENGTH	50 lbs (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 lbs (180 N)	ASTM D 4533
APPARENT OPENING SIZE	≤ 0.84 mm	ASTM D 4751
MINIMUM PERMITIVITY	1x10 ⁻² sec. ⁻¹	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM D 4355

I SILT FENCE
NOT TO SCALE



CONSTRUCTION DOCUMENTS
FOR
**WOODSIDE GREEN PARK
PARKING LOT IMPROVEMENTS**
GAHANNA, FRANKLIN COUNTY, OHIO
**EROSION & SEDIMENT
CONTROL NOTES**

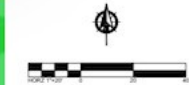
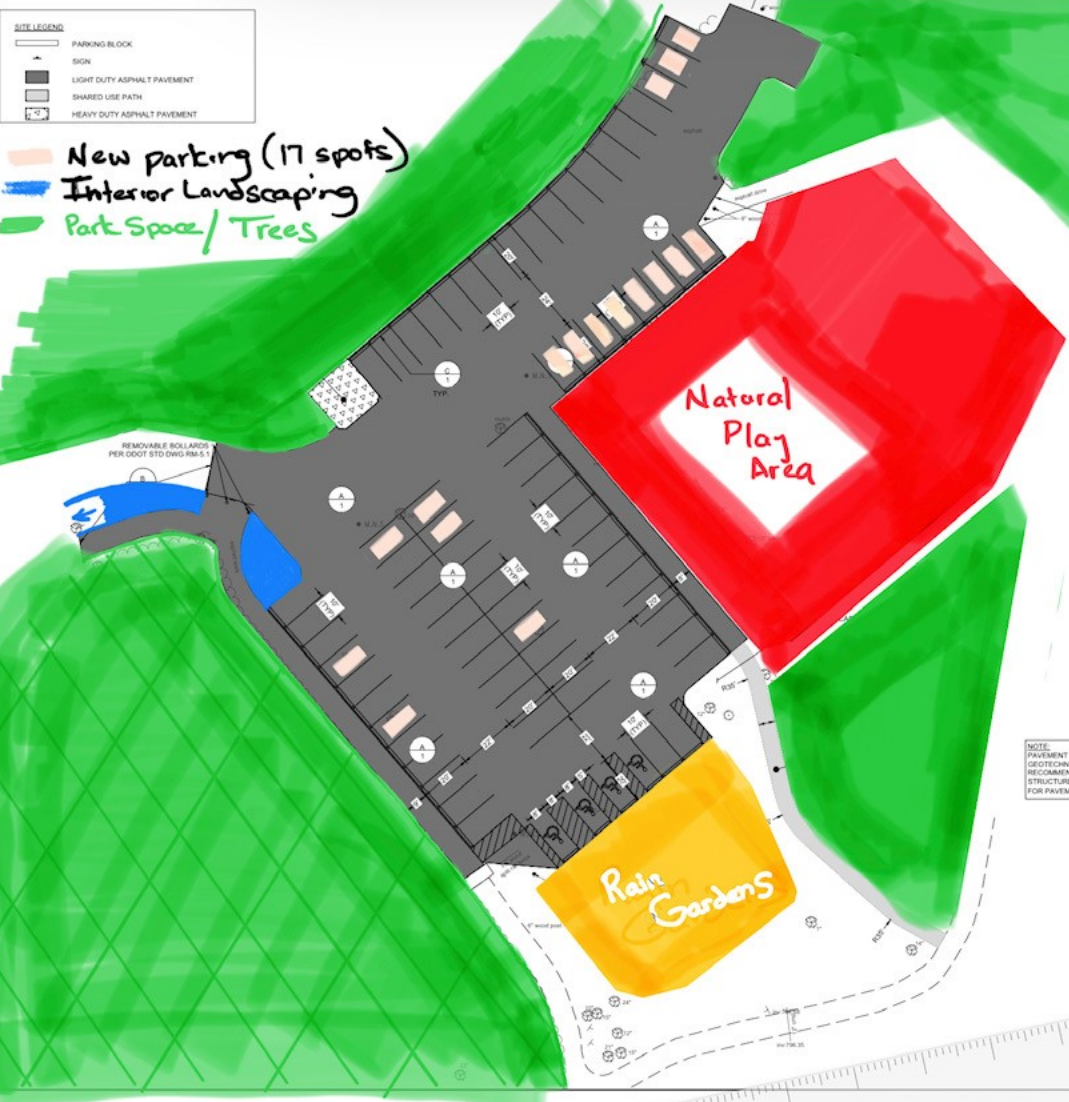
REVISIONS	DATE	SHEET NO.	DESCRIPTION



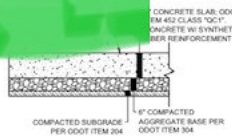
DATE:	11/16/2021
DRAWN BY:	GPB
CHECKED BY:	DSM
JOB NUMBER:	2021.00697

SITE LEGEND	
	PARKING BLOCK
	SIGN
	LIGHT DUTY ASPHALT PAVEMENT
	SHARED USE PATH
	HEAVY DUTY ASPHALT PAVEMENT

New parking (17 spots)
 Interior Landscaping
 Park Space/ Trees



SITE DATA
 SITE ZONING: PUD
 EXISTING PARKING SPACES: 55 SPACES (INCLUDING 2 ADA SPACES)
 PROPOSED PARKING SPACES: 77 SPACES (INCLUDING 4 ADA SPACES)

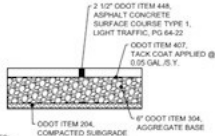


NOTE:
 PAVEMENT DESIGN IS NOT BASED ON A GEOTECHNICAL ENGINEERS RECOMMENDATION. AMERICAN STRUCTUREPOINT IS NOT RESPONSIBLE FOR PAVEMENT DESIGN.

NOTES:

- PROVIDE PROPORTIONING REQUIREMENTS FOR PORTLAND CEMENT CONCRETE MIX DESIGN, MIXING, AND CONTROLS PER ODOT ITEM 499, BUT ARE NOT LIMITED.
 - A. NYLON NYLON FIBERS
 - B. FORTA NYLON/ARamid NYLON FIBERS
 - C. FIBERGLASS FIBERGLASS STEEL TRIA POLYPROPYLENE FIBERS
 - D. GRADE POLYPROPYLENE FIBERS
 - E. TUFF STRAND OR APPROVED EQUAL
- SYNTHETIC FIBER REINFORCEMENT SHALL BE USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. DOSAGE RATE SHALL BE AS RECOMMENDED BY THE MANUFACTURER, BUT NOT LESS THAN 1 POUND PER CUBIC YARD.
- DISPENSING CURING COMPOUND: COMPLY WITH ASTM C309, TYPE 1, CLASS A OR B (CLEAR), EXCEPT MOISTURE LOSS NOT TO EXCEED 0.45 KG/50 M² IN 72 HOURS. COMPOUND SHALL COMPLY WITH SP-15 VOC REQUIREMENTS. APPLY AT THE MANUFACTURER'S WRITTEN RECOMMENDED APPLICATION RATE. COMPLETELY REMOVE CURING COMPOUND PRIOR TO THE APPLICATION OF PENETRATING SEALER.
- PENETRATING SEALER: ACCEPTABLE PRODUCTS INCLUDE, BUT ARE NOT LIMITED TO:
 - A. L&L CONSTRUCTION CHEMICALS - AQUAREX PLUS
 - B. PROSECO - GAL TIGARD WB
 - C. PROTECTOSOL - CHEM-TRETE 40 VOC
 - D. LYMAL INTERNATIONAL - ISO-FLEX 618-50 WB
 - E. BASF - MASTERPROTECT H 40
 - F. TEK-COTE - RAINSTOPPER RS1500

E HEAVY DUTY CONCRETE PAVEMENT
 NOT TO SCALE



NOTES:

- COMPOSE HOT MIX ASPHALT MIXTURE WITH AGGREGATE AND ASPHALT BINDER MEETING ODOT 401 REQUIREMENTS.
- SUBMIT AN APPROVED JOB MIX FORMULA INCLUDING MIX TYPE PROPOSED FOR USE, AGGREGATE SOURCE, TYPE, AND GRADATION, PERCENT OF ASPHALT BINDER, AND UNIT WEIGHT OF THE MIXTURE.
- OBTAIN JOB MIX FORMULA APPROVAL BY PROVIDING A PREVIOUSLY ODOT APPROVED FORMULA OR CONTRACT AN INDEPENDENT TESTING AGENCY TO PROVIDE TESTING AND WRITTEN APPROVAL OF THE FORMULA. THE AGENCY PERFORMING THE TESTING MUST BE LEVEL II BITUMINOUS CONCRETE APPROVED BY ODOT.

F SHARED USE PATH
 NOT TO SCALE



CONSTRUCTION DOCUMENTS
 FOR
**WOODSIDE GREEN PARK
 PARKING LOT IMPROVEMENTS**
 JOHNSON COUNTY, OHIO
LOCATION PLAN

REVISIONS	DATE	SHEET NO.	DESCRIPTION



DATE: 11/16/2021
 DRAWN BY: JPB
 CHECKED BY: JPB
 JOB NUMBER: 2011.00097



Planning

4. "Please include a detailed project description in the application."

The project for review is the replacement of all existing blacktop, and addition of 17 new parking spots in parking area for Woodside Green Park located at 213 Camrose Ct., Gahanna Ohio.

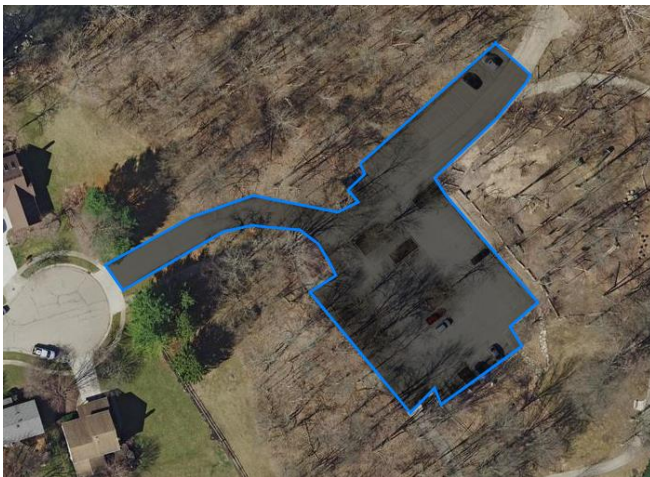
5. "Section 1163.08(c) requires a minimum of 5% of the total area of the parking lot pavement to be interior landscaped area. Provide a calculation on the plan sheets to verify this requirement is met and identify any interior landscaped areas."

The overall paved area of the project is 31,857.5 Sq Ft

5% of 31857.5 is 1592.9 Sq Ft

The remaining interior landscaped areas have an area of 2197 Sq Ft

The design has 6.9% of the total area as internal landscaped area. 6.9% satisfies 1163.08 calling for 5% of the total area of parking lot pavement to be interior landscaped area. Please see below.



6. *"Please provide details on the plan to show compliance with all requirements in section 1163.08(e) including landscaping area, parking lot trees, and any parking islands."*

1163.08(e)- One tree per 100 square feet of required landscape area or portion thereof shall be required. The minimum caliper of such trees shall be three inches as measured in accordance with ANSI requirements.

We are adding 17 new parking spots (300 ft² each). 5100 square feet in total. 5% (landscaping bed requirement) of 5100 is 255 square feet of required new landscaping beds. One tree per 100 feet of landscaping bed requirement is 2.5 new trees. I met with the City of Gahanna Forester and she is planning to add 4-5 trees to the entrance bed as part of the parking lot project, therefore we will no longer be seeking a variance for 1163.08(e).

7. *"Section 1163.08(h) requires a 10ft wide, 3ft high screened island between rows of parking. The proposed parking layout does not meet this requirement. A variance may be requested."*

The parking lot is situated in one of Gahanna's oldest and most densely forested parks. In addition to the modest entrance island, the parking lot is surrounded by rain gardens, landscaping beds, Big Walnut Creek riparian corridor, and native shade and understory trees. In the effort to maximize parking spaces and, subsequently, resident and visitor access to the natural areas, Gahanna Parks & Recreation respectfully requests a variance from 1163.08(h) requirement to provide internal parking islands for screening. To maximize parking for park visitors there is none of the required screening designed into the parking lot replacement.



June 7, 2022

City of Gahanna
200 S Hamilton Rd
Gahanna, OH 43230-2996

RE: Project 213 Camrose Ct Variance

Dear City of Gahanna:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

Parks

1. No Comments Per Julie Predieri

Development Engineer

2. Engineering has no concerns with the requested variance.

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker
Planning and Zoning Coordinator



STAFF REPORT

Request Summary

The City of Gahanna is proposing parking and landscaping alterations to the Woodside Green parking lot located at 213 Camrose Court. The property is zoned PUD – Planned Unit Development and is subject to the Design Review requirements in Section 1197.09(e) of the zoning code which only states that “the Planning Commission may wish to concentrate on demanding more open space and buffer zones between differing land uses. These design attributes should be evaluated by the Planning Commission on a case-by-case basis.”

The City proposes to restripe the entire parking lot, remove and replace required parking lot trees, and to increase the number of parking spaces from 49 to 76. Due to the extent of the parking lot alterations, the current zoning code requirements apply. The only variance requested is from Section 1163.08(h) which requires a ten-foot wide island for every two rows of parking.

Design Review

General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment;
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District;
- Contribute to the continuing economic and community vitality of the Design Review District; and
- Maintain, protect and enhance the physical surroundings of the Design Review District.

Variance

The following variances have been requested to the zoning code:

- 1) 1163.08(h) – To not provide the required 10-foot wide landscaped island between two rows of parking spaces. This would only apply to the two rows parking in the middle of the lot.
 - a) Code requires that a 10-foot wide island for every two rows of parking is provided. The island shall have a minimum three-foot high screen between the two rows of parking. The screen may be comprised of mounding, evergreen planting or a combination thereof.

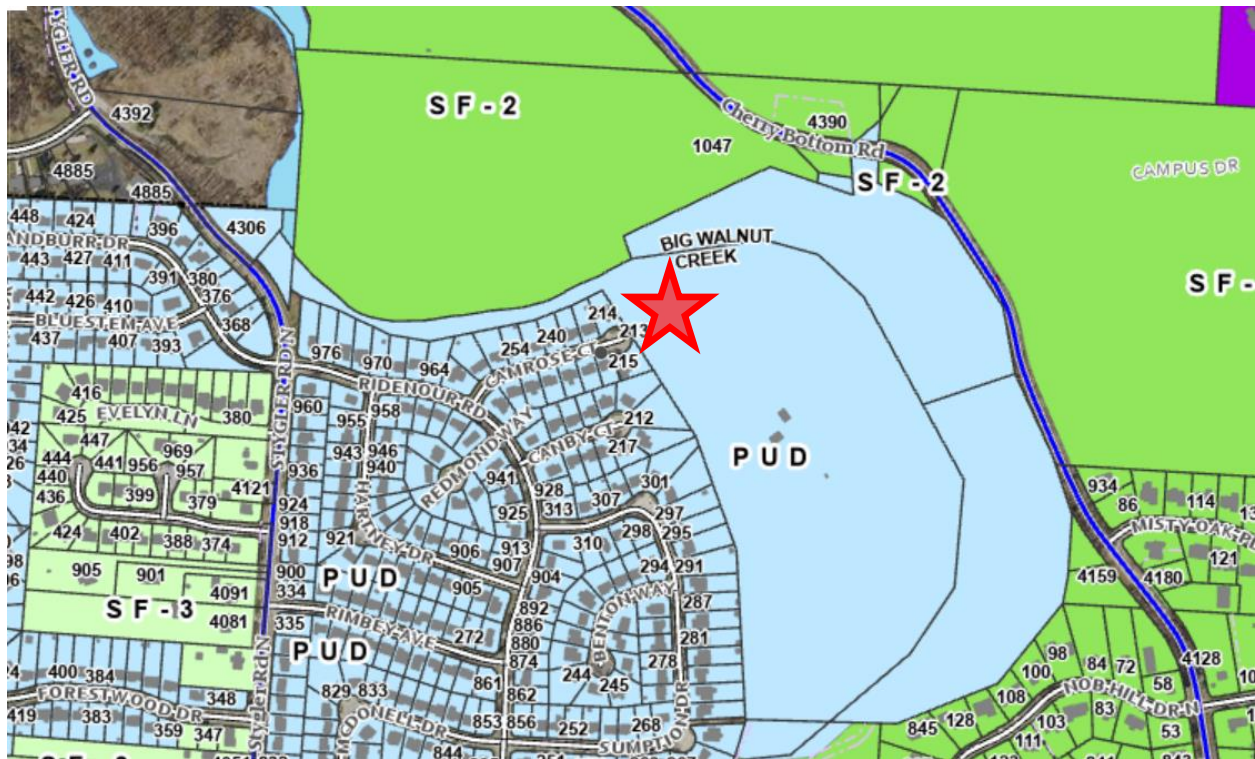
Planning Commission shall not grant a variance unless it finds that all the following conditions apply:

- a) There are special circumstances or conditions applying to the land, building or use referred to in the application.
- b) The granting of the variance is necessary for the preservation and enjoyment of substantial property rights.
- c) The granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the proposed use and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood.

Staff Comments

The proposed parking lot alterations will not negatively affect the surrounding area or neighboring properties. The additional parking will allow additional residents to travel to and use the Woodside Green Park's facilities. The proposed plan meets all other parking and landscaping zoning requirements including the minimum amount of landscaped area and shade trees.

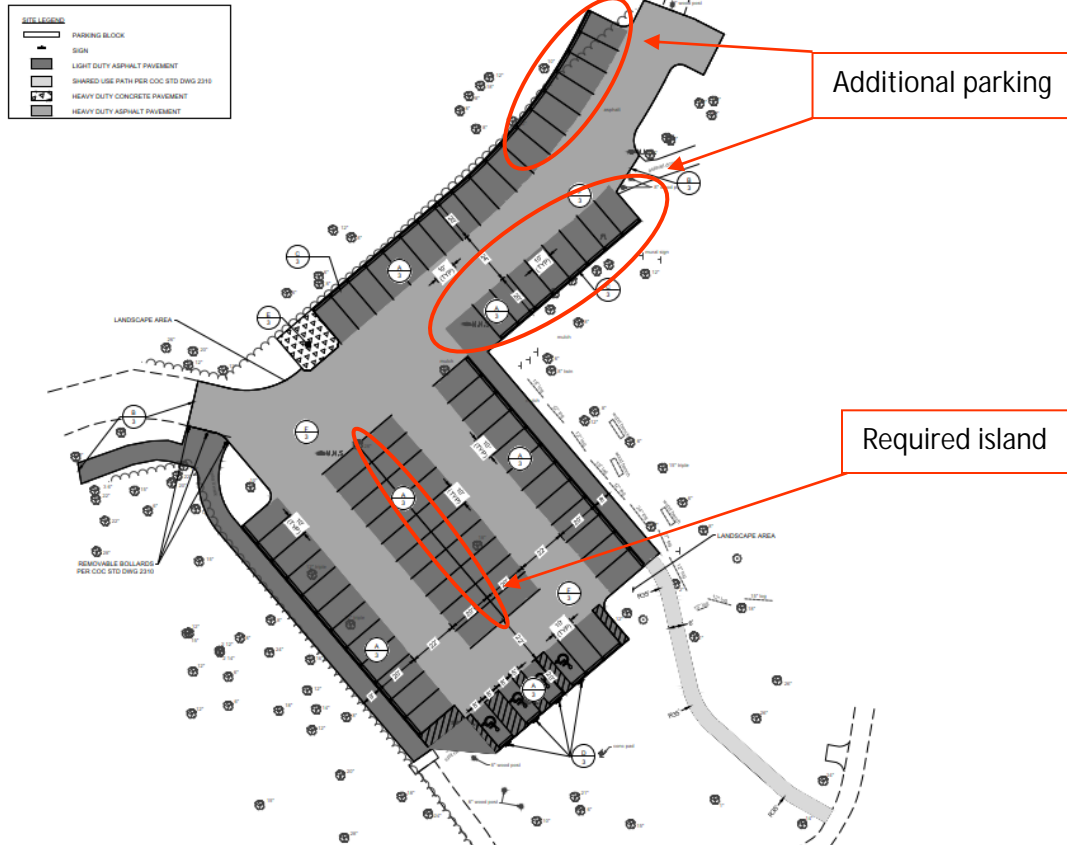
Location/Zoning Map:



Existing parking lot:



Proposed Plan:



Respectfully Submitted By:
Zack Cowan, AICP