

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS

Project/Property Address or Location: 475/485 Rocky Fork Blvd., Gahanna, OH 43230		Project Name/Business Name Mifflin Fire, Education/Admin Building	
Parcel ID No.(s): 025-003870, 025-006927	Zoning Designation: RID	Total Acreage: 1.76	
Please check all that apply:			
SITE PLAN <input checked="" type="checkbox"/>	LANDSCAPING <input type="checkbox"/>	BUILDING DESIGN <input type="checkbox"/>	DEMOLITION <small>only applicable to Code Chapter 1150, Olde Gahanna</small> <input type="checkbox"/>
OTHER <input type="checkbox"/>			
Project Description: Relocation of existing parking to serve the adjacent buildings on 475 and 485. Reconstruction of the existing drive to reduce "bottoming out" that has been occurring. Addition of new side door to apparatus bays to reduce opening and closing of garage doors.			
APPLICANT Name -do <u>not</u> use a business name: Nancy White		Applicant Address: 155 Olde Ridenour Road, Gahanna, OH 43230	
Applicant E-mail: Whiten@mifflin-oh.gov		Applicant Phone No.: 614-471-4494	
BUSINESS Name (if applicable):			
ADDITIONAL CONTACTS Please List Primary Contact for Correspondence (please list all applicable contacts)			
Name(s): Chief Fred Kauser		Contact Information (phone no./email): 614-496-6319	
PROPERTY OWNER Name: (if different from Applicant)		Property Owner Contact Information (phone no./email):	

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED (see page 2 & 3)

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant/Primary Contact Signature: Nancy M. White Date: 5/21/2020

INTERNAL USE

Zoning File No. DR-0176-2020

RECEIVED: AW
DATE: 7-23-2020

PAID: \$100.00
DATE: 7-23-2020

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION-SUBMISSION REQUIREMENTS

TO BE COMPLETED/SUBMITTED BY APPLICANT:	
1.	Review Gahanna Code Section 1197 (visit www.municode.com)
2.	Materials List (see page 3) – does not apply to demolition applicants
3.	Authorization Consent Form Complete & Notarized (see page 4)
4.	Application & all supporting documents submitted in digital format
5.	Application & all supporting documents submitted in hardcopy format
6.	Application fee paid (in accordance with the Building & Zoning Fee Schedule)
7.	Color rendering(s) of the project in plan/perspective/or elevation
8.	One copy 24"x36" or 11"x17" prints of the plans
Building Construction, Exterior Remodeling, and Additions (Including Parking Lots and Landscaping)	
1.	SITE PLAN that includes the following: (include: scale, north arrow, & address) if applicable
-	All property & street pavement lines
-	Property size
-	Proposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent streets
-	Location of all existing and proposed buildings on the site
-	Location of all existing & proposed exterior lighting standards
-	Breakdown of parking spaces required & spaces provided (see Gahanna Code Section 1163)
-	Provide lot coverage breakdown of building & paved surface areas
2.	LANDSCAPE PLAN (including plant list)
-	Existing landscaping that will be retained & proposed landscaping shall be differentiated & shown on the plan. The type, size, number, & spacing of all plantings & other landscape features must be illustrated
-	Designation of required buffer screens (if any)
-	Interior landscaping breakdown for paved surface (see Gahanna Code Section 1163)
3.	ELEVATIONS from all sides
-	Fenestration, doorways, & all other projecting & receding elements of the building exterior
4.	LIGHTING STANDARD DRAWING that includes the following: (exterior only)
-	All sizing specifications
-	Information on lighting intensity (no. of watts, iso foot candle diagram)
-	Materials, colors, & manufacturer's cut sheet
5.	OPTIONAL REQUIREMENTS AT THE DISCRETION OF PLANNING COMMISSION:
-	Scale model
-	Section profiles
-	Perspective drawing
Demolition or Removal of Existing Structures Requirements	
1.	ONE OR MORE OF THE FOLLOWING CONDITIONS MUST EXIST:
-	That the building contains no features of special architecture or is not a historical building or culturally significant or is not consistent in design & style with other structures within the district
-	That there exists no viable economic use for the building in its current state or as it might be restored or that there is not a feasible and prudent alternative to demolition and that the approval of the demolition is necessary for the preservation and enjoyment of substantial property rights
-	That the applicant has a definite plan for redevelopment of the site which meets the standards of this Code and the proposed redevelopment will not materially affect adversely the health or safety of persons residing or working in the district where the demolition will occur and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood

MATERIAL LIST

NOT REQUIRED FOR DEMOLITION APPLICANTS

Item	Manufacturer Name	Color Name	Color Number
Awnings			
Brick			
Gutters and Downspouts			
Lighting			
Roofing			
Siding			
Stucco			
Trim			
Windows			
Other (please specify)			
Other (please specify)			

Please Note:

The Public Hearing will not occur until the City Of Gahanna Staff reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.

AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

PROPERTY OWNER

IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

_____ (property owner name printed)

_____ (property owner signature) _____ (date)

Subscribed and sworn to before me on this _____ day of _____, 20_____.

State of _____ County of _____

Stamp or Seal

Notary Public Signature: _____

Applicant/Property Owner/Representative

AGREEMENT TO COMPLY AS APPROVED As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

AUTHORIZATION TO VISIT THE PROPERTY I hereby authorize City representatives to visit, photograph and post notice *(if applicable)* on the subject property as described.

APPLICATION SUBMISSION CERTIFICATION I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

NANCY M. WHITE
_____ (applicant/representative/property owner name printed)

Nancy M. White _____ (applicant/representative/property owner signature) _____ (date)
5/21/2020

Subscribed and sworn to before me on this 21 day of May, 2020

State of Ohio County of Franklin

Notary Public Signature: Melanie A. Bamente



Melanie A. Bamente
Notary Public, State of Ohio
My Commission Expires 01-18-2022

475 ROCKY FORK BLVD., GAHANNA, OHIO

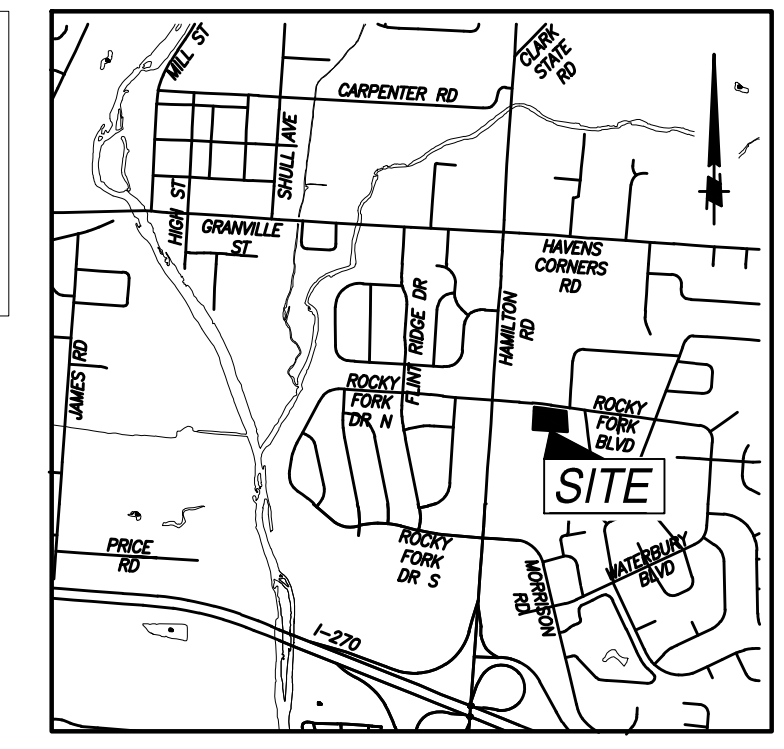
MIFFLIN TWP. FIRE DEPARTMENT - STATION 131

CONCRETE REPAIR

SITE CONSTRUCTION PLANS

PV-420

PLANNING COMMISSION APPROVAL
 FDP- -2020 DATE:
 DR- -2020 DATE:
 V- -2020 DATE:
 SIGN 173-20 DATE:
 SIGN 174-20 DATE:



LOCATION MAP
SCALE: 1"=2000'

STANDARD CONSTRUCTION DRAWINGS

STANDARD DRAWINGS REFERENCED WITHIN STANDARD DRAWINGS MAY NOT BE INCLUDED IN THIS LIST. THE STANDARD DRAWINGS LISTED ON THIS PLAN SHALL BE CONSIDERED A PART THEREOF:

CITY OF COLUMBUS - DIVISION OF:

DESIGN AND CONSTRUCTION	SEWERAGE AND DRAINAGE
1441 (04-22-19)	AA-S133A (08-08-14)
1500 (09-15-15) (MOD)	AA-S134A (08-08-14)
1510 (09-15-15) (MOD)	AA-S139 (08-08-14) (MOD)
2000 (03-30-18)	AA-S141 (12-08-13)
2020 (03-30-18)	AA-S149 (10-15-14)
2202 (12-31-18) (OPT SHT. 5)(MOD)	AA-S150 (07-09-12)
2300 (04-30-18) (MOD)	AA-S151 (07-09-12)
2319 (03-30-18)	AA-S154 (07-09-12)

HORIZONTAL AND VERTICAL CONTROL (BY OHM)

HORIZONTAL AND VERTICAL CONTROL IS BASED ON INFORMATION PROVIDED BY OHM - COLUMBUS, OHIO (SEE EXISTING CONDITIONS PLAN FOR INFORMATION)

POINT #	NORTHING	EASTING	ELEV	DESCRIPTION
CP 100	733473.797	1866517.620	807.35	30" IRON PIN SET WITH RED CAP STAMPED "OHM"
CP 101	733523.486	1866120.816	805.05	30" IRON PIN SET WITH RED CAP STAMPED "OHM"
CP 102	733270.735	1866161.562	807.37	MAG NAIL SET
CP 103	733269.298	1866508.052	808.24	30" IRON PIN SET WITH RED CAP STAMPED "OHM"

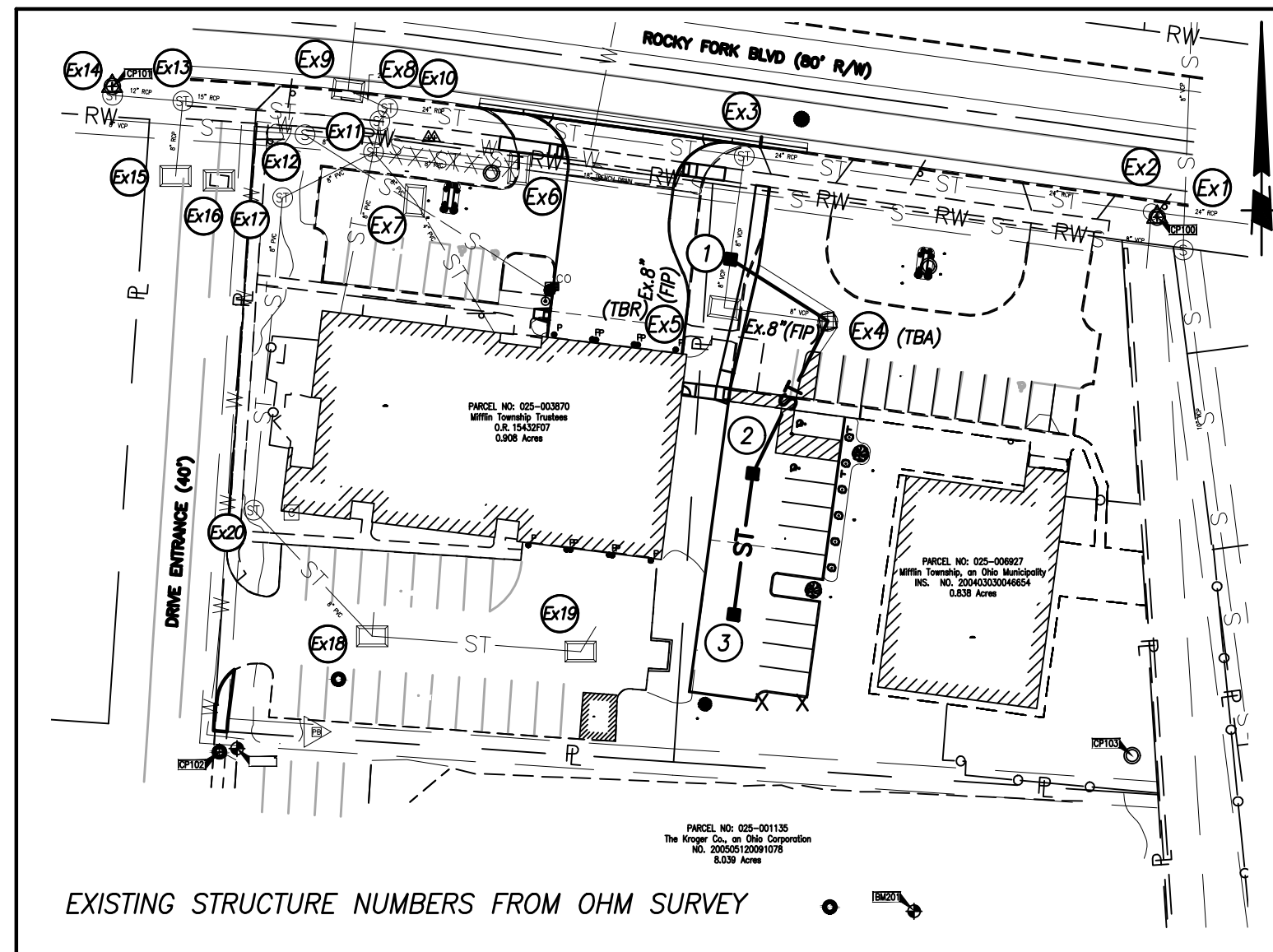
BENCHMARKS (BASED ON NAVD88)				
BM 200	733570.854	1866224.844	806.55	SE FLANGE BOLT OF FIRE HYDRANT 6' E OF BIKE LANE SIGN IN BETWEEN DRIVE ENTRANCES FOR GAHANNA SENIOR CENTER AND GAHANNA POLICE DEPARTMENT
BM 201	733210.247	1866425.329	806.17	CHISELED "X" ON NW CORNER OF CONCRETE PAD 50' SOUTH OF EDGE OF PAVEMENT 30' W OF BUILDING CORNER 85' SE OF ELECTRIC TRANSFORMER
BM 202	733272.028	1866168.236	809.81	TAG BOLT OF FIRE HYDRANT 7' E OF BACK OF CURB 18' SW OF PARKING LOT FOR MIFFLIN TOWNSHIP FIRE DEPARTMENT

UTILITIES

THE FOLLOWING UTILITIES AND OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT AND ARE REGISTERED MEMBERS OF THE UNDERGROUND UTILITY PROTECTION SERVICE:

UTILITY	OWNER	TELEPHONE	FAX
WATER FACILITIES	CITY OF GAHANNA WATER DIVISION 200 S. HAMILTON RD GAHANNA, OH 43230	(614) 342-4440	(614) 342-4100
SEWER FACILITIES	CITY OF GAHANNA SEWER DIVISION 200 S. HAMILTON RD GAHANNA, OH 43230	(614) 342-4440	(614) 342-4100
ELECTRIC FACILITIES	AMERICAN ELECTRIC POWER 850 TECH CENTER DR GAHANNA, OH 43230	(614) 883-6811	(614) 883-6868
GAS	COLUMBIA GAS OF OHIO (DISTRIBUTION) ATTN: ROB CALDWELL 3550 JOHNNY APPLESEED CT. COLUMBUS, OH 43231	P:(614) 818-2104 C:(614) 370-1906 E-MAIL: RCALDWELL@NISOURCE.COM	(614) 460-4265
TELEPHONE	AT&T 150 E. GAY ST COLUMBUS, OH 43212	(800) 660-1000	(614) 223-6296

SEE GENERAL NOTES FOR CONTRACTOR RESPONSIBILITIES.



SITE MAP
SCALE: 1"=60'

FIRE STATION BUILDING
 PARCEL NO: 025-003870
 MIFFLIN TOWNSHIP TRUSTEES
 O.R.15432F07
 AREA: 39,593 SF (0.908 Ac)
 ZONED: RID

OFFICE BUILDING
 PARCEL NO: 025-006927
 MIFFLIN TOWNSHIP, AN OHIO MUNICIPALITY
 INS. NO. 200403030046654
 AREA: 36,498 SF (0.838 Ac)
 ZONED: RID

PRE-DEVELOPMENT
 SITE IMPERVIOUS:
 BUILDINGS 10,905 SF (0.250 Ac)
 DRIVES/WALKS 19,881 SF (0.456 Ac)
 TOTAL IMPERVIOUS: 30,786 SF (0.706 Ac)
 TOTAL LOT COVERAGE: 77.76% (30,786 SF)
 SITE PERVIOUS:
 GRASS 8,807 SF (0.202 Ac)
 WITHIN R/W:
 PERVIOUS 299 SF (0.007 Ac)
 IMPERVIOUS 1,932 SF (0.044 Ac)

PRE-DEVELOPMENT
 SITE IMPERVIOUS:
 BUILDINGS 5,155 SF (0.118 Ac)
 DRIVES/WALKS 9,720 SF (0.223 Ac)
 TOTAL IMPERVIOUS: 14,875 SF (0.341 Ac)
 TOTAL LOT COVERAGE: 40.76% (14,875 SF)
 SITE PERVIOUS:
 GRASS 21,623 SF (0.497 Ac)
 WITHIN R/W:
 PERVIOUS N/A
 IMPERVIOUS N/A

POST-DEVELOPMENT
 SITE IMPERVIOUS:
 BUILDINGS 10,905 SF (0.251 Ac)
 DRIVES/WALKS 15,337 SF (0.351 Ac)
 TOTAL IMPERVIOUS: 26,242 SF (0.602 Ac)
 TOTAL LOT COVERAGE: 66.28% (26,242 SF)
 SITE PERVIOUS:
 GRASS 13,351 SF (0.306 Ac)
 WITHIN R/W:
 PERVIOUS 615 SF (0.014 Ac)
 IMPERVIOUS 1,616 SF (0.037 Ac)

POST-DEVELOPMENT
 SITE IMPERVIOUS:
 BUILDINGS 5,155 SF (0.118 Ac)
 DRIVES/WALKS 14,915 SF (0.343 Ac)
 TOTAL IMPERVIOUS: 20,070 SF (0.461 Ac)
 TOTAL LOT COVERAGE: 55.00% (20,070 SF)
 SITE PERVIOUS:
 GRASS 16,428 SF (0.377 Ac)
 WITHIN R/W:
 PERVIOUS N/A
 IMPERVIOUS N/A

DEVELOPER / OWNER

MIFFLIN TOWNSHIP TOWNSHIP TRUSTEES
 155 OLDE RIDENOUR ROAD
 GAHANNA, OHIO 43230
 NANCY WHITE
 614.471.4494

ENGINEER

MOODY ENGINEERING
 300 SPRUCE STREET, SUITE 200
 COLUMBUS, OHIO 43215
 JAMES LEESEBERG, P.E., P.S.
 O: 614.280.8999
 C: 614.832.5591
 jleeberg@moody-eng.com

ARCHITECT

NOT APPLICABLE

LANDSCAPE ARCHITECT

NOT APPLICABLE

UNDERGROUND UTILITIES

TWO WORKING DAYS
BEFORE YOU DIG
 CALL 1-800-362-2764 (TOLL FREE)
 OHIO UTILITIES PROTECTION SERVICE
 NON-MEMBERS
 MUST BE CALLED DIRECTLY

STORMWATER MANAGEMENT NOTE

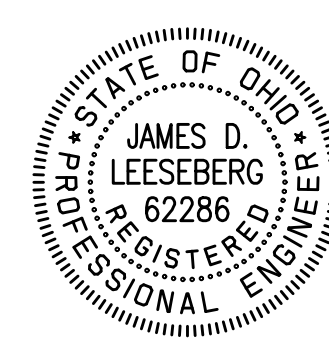
THE PROPOSED IMPROVEMENTS TO THE SITE MINIMALLY IMPACT THE TOTAL IMPERVIOUS AREA. THE PROPOSED STORM SYSTEM CONTAINS THE FLOW GENERATED AND REDUCES THE RUN-OFF BY USING THE EXISTING 8" LINE AS A METERING PIPE. THE SITE DISTURBANCE DOES NOT MEET THE MINIMUM THRESHOLD FOR PERMITTING WITH THE OEPA.

ENGINEER'S CERTIFICATION

THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT, AND THAT ALL OF THE MINIMUM LOCAL STANDARDS HAVE BEEN MET, INCLUDING THOSE GREATER THAN MINIMUM WHERE, IN MY OPINION, ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. ANY VARIANCES TO THE ABOVE STANDARDS ARE CONSISTENT WITH SOUND ENGINEERING PRACTICES AND ARE NOT DETRIMENTAL TO PUBLIC SAFETY AND CONVENIENCE.

PREPARED BY:

MOODY ENGINEERING
 300 SPRUCE STREET
 SUITE 200
 COLUMBUS, OHIO 43215
 P: 614 280 9355
 MOODY-ENG.COM



REGISTERED ENGINEER _____ DATE _____

INDEX OF SHEETS

C001	TITLE SHEET
C002	GENERAL NOTES, MAINTENANCE OF TRAFFIC, AND QUANTITIES
C003	EXISTING CONDITIONS SURVEY - OHM
C004	SWPPP DETAILS AND PLAN
C101	PROJECT DEMOLITION PLAN
C201	PROJECT LAYOUT PLAN
C301	PROJECT GRADING PLAN
C302	STORM PROFILE AND PROJECT DETAILS
C401-C405	STANDARD DRAWING

ALL SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE PURPOSE AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLAN.

APPROVED: CITY OF GAHANNA, OHIO

CITY ENGINEER _____ DATE _____

WATER RESOURCES ENGINEER _____ DATE _____

DIRECTOR OF PUBLIC SERVICE AND ENGINEERING _____ DATE _____

FIRE CHIEF, MIFFLIN TOWNSHIP DIVISION OF FIRE, FRANKLIN COUNTY, OHIO _____ DATE _____

#	Date	Change Description

Station 131
Concrete Repair
 475 Rocky Fork Blvd.
 Gahanna, Ohio 43230
 for
 Mifflin Township

MOODY ENGINEERING
 300 SPRUCE STREET
 SUITE 200
 COLUMBUS, OHIO 43215
 P: 614 280 8999
 MOODY-ENG.COM

PROGRESS DRAWING
 NOT FOR CONSTRUCTION

Dwg. Coord.: JDL Tech. Coord.: jan M-#: 19028

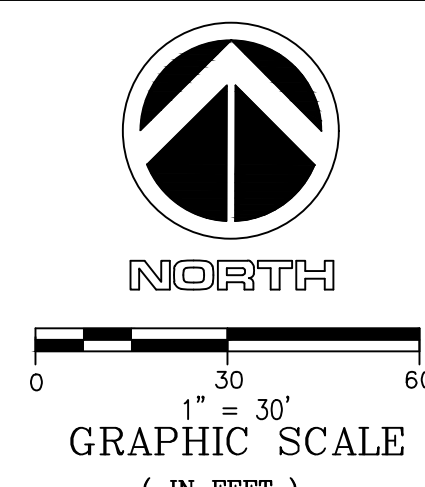
TITLE SHEET
C001

BID DOCUMENTS August 14, 2020

PV-420

EXISTING CONDITIONS SURVEY
 MIFFLIN TOWNSHIP FIREHOUSE
 STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF GAHANNA
 PART OF RESERVE "F" OF THE HUNTER'S RIDGE SECTION NO. 2

General Survey Notes



NO BOUNDARY SURVEY WAS PERFORMED
 THERE ARE 40 PAINTED PARKING SPACES, 2 OF WHICH ARE HANDICAP PARKING.
 STRUCTURES 7, 11, 18 & 19 HAVE PIPES COMING FROM THE BUILDING
 (A) - 40' WIDE DRIVE ENTRANCE INCLUDED WITHIN KROGER PARCEL
 (B) - HUNTER'S RIDGE SECTION 2 P.B. 43 PG. 18

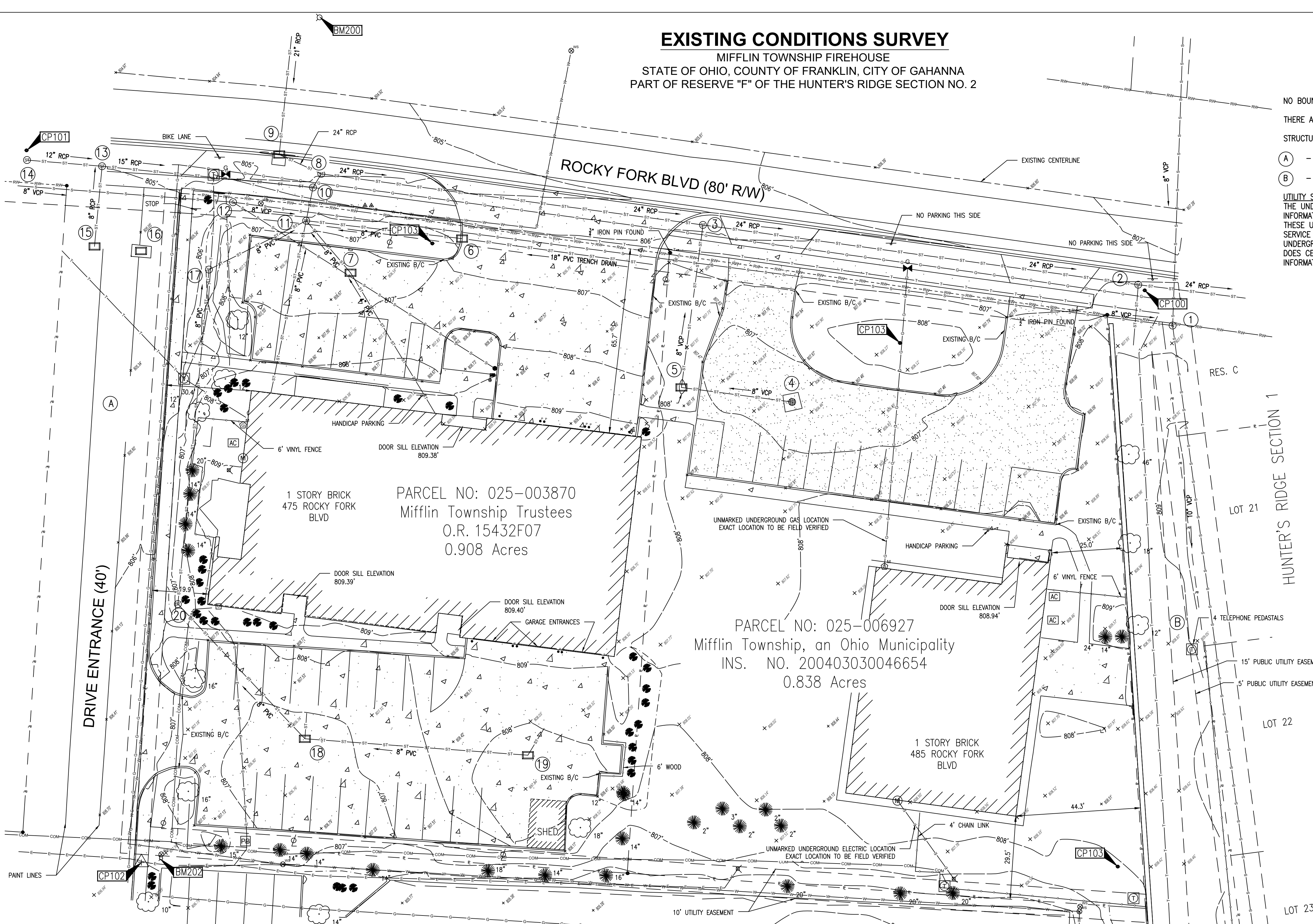
UTILITY STATEMENT:
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING UTILITY PLANS. THE SURVEYOR MAKES NO PROMISES THAT THESE UNDERGROUND UTILITIES SHOWN COMPRISE OF ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE SHOWN IN THEIR EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE WITH THE GIVEN INFORMATION. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CONTROL POINTS & BENCHMARKS

OHIO STATE PLANE COORD., SOUTH ZONE, NSRS 2007				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP 100	733473.797	1866517.620	807.35	30" IRON PIN SET WITH RED CAP STAMPED "OHM"
CP 101	733523.486	1866120.816	805.05	30" IRON PIN SET WITH RED CAP STAMPED "OHM"
CP 102	733270.735	1866161.562	807.37	MAG NAIL SET
CP 103	733269.298	1866508.052	808.24	30" IRON PIN SET WITH RED CAP STAMPED "OHM"
BENCHMARKS (BASED ON NAVD88)				
BM 200	733570.854	1866224.844	806.55	SE FLANGE BOLT OF FIRE HYDRANT 8' E OF BIKE LANE SIGN IN BETWEEN DRIVE ENTRANCES FOR GAHANNA SENIOR CENTER AND GAHANNA POLICE DEPARTMENT
BM 201	733210.247	1866425.329	806.17	CHISELED "X" ON NW CORNER OF CONCRETE PAD 50' SOUTH OF EDGE OF PAVEMENT 30' W OF BUILDING CORNER 85' SE OF ELECTRIC TRANSFORMER
BM 202	733272.028	1866168.236	809.81	TAG BOLT OF FIRE HYDRANT 7' E OF BACK OF WURB 18' SW OF PARKING LOT FOR MIFFLIN TOWNSHIP FIRE DEPARTMENT

LEGEND

- COM — EXISTING TELEPHONE LINE
- ST — EXISTING STORM LINE
- S — EXISTING SANITARY
- G — EXISTING GAS LINE
- W — EXISTING WATER LINE
- E — EXISTING ELECTRIC
- F — EXISTING FENCE
- EXISTING CATCH BASIN
- EXISTING FIRE HYDRANT
- EXISTING TELEPHONE PULLBOX/PEDESTAL/ RISER
- ⊗ EXISTING ELECTRIC TRANSFORMER
- ⊙ EXISTING ELECTRIC METER
- ⊕ EXISTING SANITARY MANHOLE
- ⊗ EXISTING STORM MANHOLE
- ⊙ EXISTING WATER SERVICE VALVE
- ⊙ SPRINKLER HEAD
- ⊙ TELEPHONE MANHOLE
- ⊙ GAS METER
- ⊙ LIGHT POLE
- ⊙ EXISTING SIGN
- ⊙ POST
- ⊙ EXISTING GAS VALVE
- EXISTING EVERGREEN TREE
- EXISTING BUSH
- EXISTING TREE
- IRON PIPE FOUND
- 7/8" IRON PIN SET
- △ MAG NAIL SET
- ▭ BUILDING
- ▭ CONCRETE
- ▭ ASPHALT



Structure Inventory
 * Details in General Survey Notes Section

① #417 SAN. MH T/C 808.02' 8" VCP N INV 794.67 10" VCP S INV 794.43 8" VCP W INV 794.44	⑤ #849 SQUARE CB T/C 806.82' 8" VCP N INV 802.26' 8" VCP E INV 802.27'	⑨ #1189 SQUARE CI T/C 803.70 21" RCP N INV 800.96' 24" RCP E INV 800.85'	⑬ #1209 SAN MH T/C 805.56' 8" VCP W INV 795.85' 8" VCP E INV 795.77' 6" PVC SE INV 802.61'	⑰ #1313 STORM MH T/C 806.44' 8" PVC NE INV 801.54' 8" PVC S INV 801.64'
② #427 STORM MH T/C 807.24' 18" CPP E INV 799.95' 18" CPP S INV 799.69' 18" CPP W INV 799.93'	⑥ #950 SQUARE CB T/C 806.10' 8" PVC W INV 802.34' 18" PVC E INV 804.59' TRENCH DRAIN FROM THE EAST	⑩ #1168 STORM MH T/C 805.23' 8" PVC S INV 801.79' 15" RCP W INV 801.19 ?" RCP NE INV 801.09' CAN'T SEE THE PIPE TO THE NE	⑭ #1267 STORM MH T/C 804.93' 12" RCP E INV 801.26' 12" RCP SW INV 801.22'	⑱ #1707 SQUARE CB T/C 806.50' 8" PVC NW INV 802.34' 8" PVC E INV 802.36' 6" PVC N INV 803.11'
③ #685 STORM MH T/C 805.95' 24" RCP E INV 800.30' 24" RCP W INV 800.30' 8" VCP S INV 801.61'	⑦ #1125 SQUARE CB T/C 806.01' 8" PVC NW INV 802.40' 4" PVC S INV 803.31'	⑪ #1169 STORM MH T/C 806.65' 8" PVC N INV 801.55' 8" PVC E INV 802.00' 8" PVC SE INV 802.02' 8" PVC SSW INV 802.50' 8" PVC SW INV 801.57'	⑮ #1297 SQUARE CB T/C 804.87' 8" RCP N INV 801.57'	⑲ #1706 SQUARE CB T/C 807.42' 6" PVC N INV 804.26' 8" PVC W INV 802.61'
④ #801 SQUARE CB T/C 806.15' 8" PVC W INV 802.30'	⑧ #1160 STORM MH T/C 804.84' 24" RCP W INV 800.84' 24" RCP E INV 800.79' ?" RCP SW INV 800.86' CAN'T SEE THE PIPE TO THE SW			⑳ #77005 STORM MH T/C 806.81' 8" PVC N INV 801.84' 8" PVC SE INV 801.86'

PARCEL NO: 025-001135
 The Kroger Co., an Ohio Corporation
 NO. 200505120091078
 8.039 Acres

THIS PLAT WAS PREPARED FROM AN ACTUAL FIELD SURVEY PERFORMED BY OHM ADVISORS ALONG WITH PUBLIC RECORDS ON FILE IN THE FRANKLIN COUNTY RECORDER'S OFFICE IN FRANKLIN COUNTY ENGINEER'S OFFICE UNDER MY DIRECT SUPERVISION IN MARCH, 2019.

JOHN J. RAAB, PS 7863
 DATE 11/30/2018

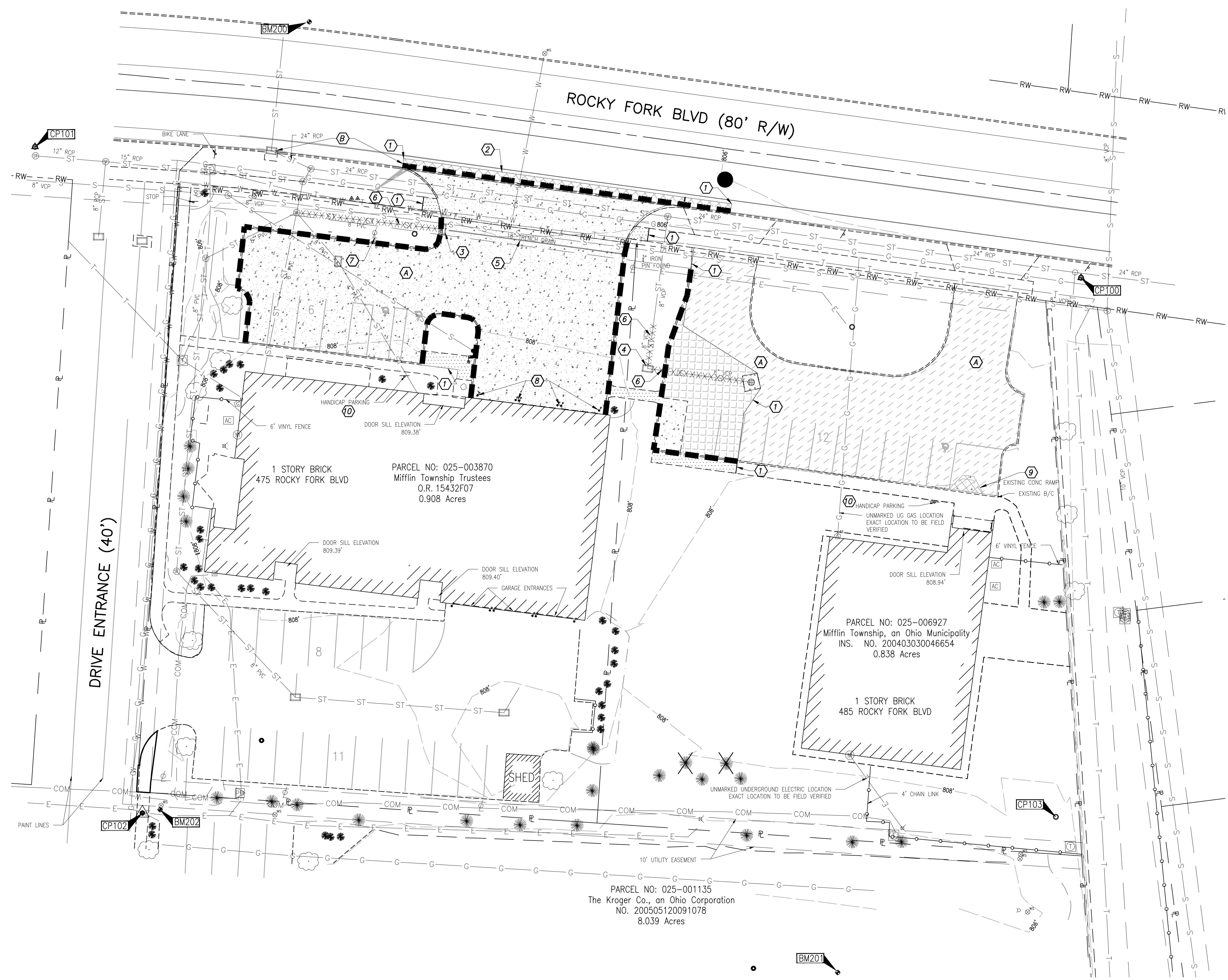
C003

DRAFT

EXISTING CONDITIONS SURVEY - OHM

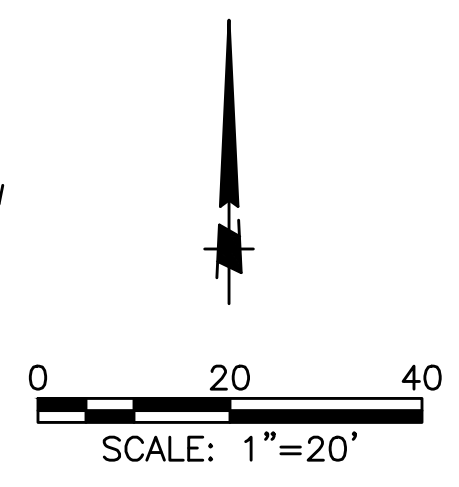
ARCHITECTS ENGINEERS PLANNERS
 580 N. Fourth St.
 Suite 630
 Columbus, Ohio
 43215
 OHM-ADVISORS.COM

P:\19028-MIFFLIN_FIRE_E-A-BUILDINGS\COND. SURVY-3 PLAT-PRINTED-10/17/2020-1:17 AM



SITE NOTES

- (A) THE CONTRACTOR SHALL NOTIFY ALL PROPERTY OWNERS WHEN PROJECT WORK WILL CLOSE ACCESS TO PROPERTY DRIVES AND PARKING AREAS.
- (B) THE CONTRACTOR SHALL VERIFY THE DEPTH OF THE UNDERDRAIN TO ENSURE PROPER DRAINAGE OF THE 8" AGGREGATE BASE OF THE CONCRETE APRON BY BEING LOWER THAN THE DEPTH OF THE BASE AND THEN WITH PROPER FLOW TO THE CURB INLET TO THE WEST.
IN THE EVENT PROPER DRAINAGE OF THE UNDERDRAIN IS NOT POSSIBLE AS IT EXISTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY FOR WRITTEN APPROVAL TO REMOVE THE EXISTING CURB AND GUTTER TO A POINT WHERE PROPER DRAINAGE IS POSSIBLE OR A NEW UNDERDRAIN TAP IS MADE TO THE CURB INLET.
PAYMENT WILL BE MADE AT PRICES BID ON VARIOUS PERTINENT ITEMS OF THE CONTRACT.



- (1) SAWCUT ALL EXISTING PAVEMENTS, WALKWAYS, CURBS, ETC. BEFORE REMOVAL. IF DURING CONSTRUCTION, THE CONTRACTOR PAVEMENTS, WALKWAYS, CURBS, ETC. BEYOND THE ORIGINAL SAWCUT. THE CONTRACTOR SHALL THE DAMAGED AREA TO NEAT LINES AS DIRECTED BY THE ENGINEER AND/OR THE CITY. THE COST OF THE ORIGINAL SAWCUT SHALL BE INCLUDED IN THE COST BID FOR THE VARIOUS APPROPRIATE ITEMS. THERE WILL BE NO PAYMENT FOR SAWCUTTING NEEDED TO FIX DAMAGED AREAS.

CODED NOTES

- (1) FULL DEPTH SAWCUT - PAVEMENT / WALK - SEE NOTE THIS SHEET
- (2) PAVEMENT REMOVED - ASPHALT, FULL DEPTH - PER COLS. STD. DWG. 1441
- (3) EXISTING CURB INLET TO BE REMOVED
- (4) EXISTING CATCH BASIN TO BE REMOVED
- (5) EXISTING TRENCH DRAIN TO BE REMOVED
- (6) EXISTING STORM SEWER TO BE ABANDONED PER CMSC ITEM 202
- (7) EXISTING POLE TO BE REMOVED -ELECTRIC TO BE REDIRECTED TO PROPOSED SIGN
- (8) EXISTING BOLLARDS (6) TO BE REMOVED
- (9) EXISTING CONCRETE RAMP TO BE REMOVED
- (10) EXISTING HANDICAP PARKING SIGN TO BE REMOVED AND STORED FOR RE-ERECTION

LEGEND

- PAVEMENT REPLACED - ASPHALT, FULL DEPTH PER COLS. STD. DWG. 1441
- PAVEMENT REMOVED - CONCRETE, FULL DEPTH
- PAVEMENT REMOVED - ASPHALT, FULL DEPTH
- WEARING COURSE REMOVED - ASPHALT, 1" MILL
- WALK REMOVED - CONCRETE REMOVE TO NEAREST JOINT
- CURB REMOVED - CONCRETE REMOVE TO NEAREST JOINT
- STORM SEWER TO BE FILLED IN PLACE PER CMSC ITEM 202
- TREE REMOVED

#	Date	Change Description

Station 131 Concrete Repair
475 Rocky Fork Blvd.
Gahanna, Ohio 43230
for Mifflin Township

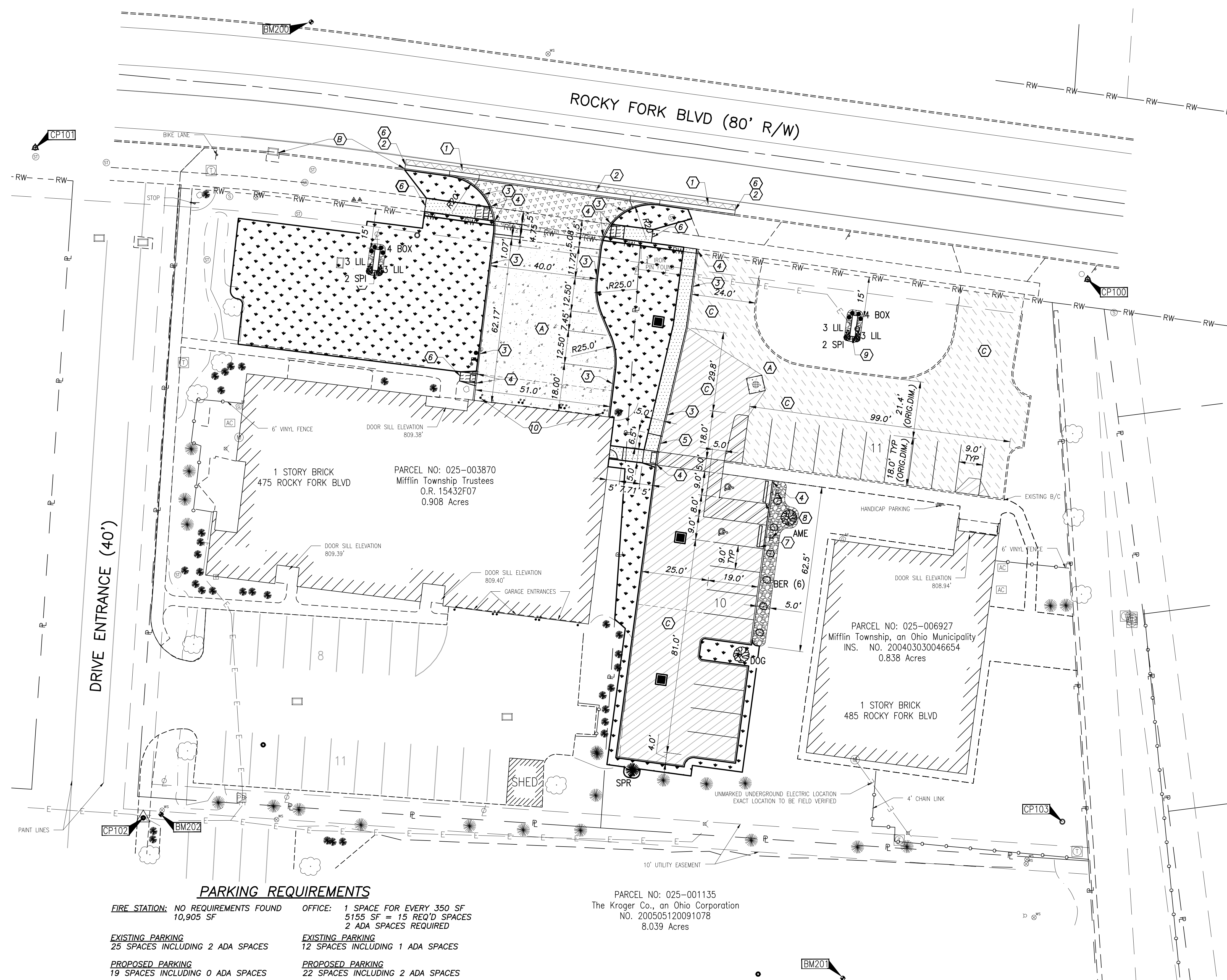
MOODY ENGINEERING
300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215
P: 614 280 8999
MOODY-ENG.COM

PROGRESS DRAWING NOT FOR CONSTRUCTION

Dwg. Coord.: JDL	Tech. Coord.: jan	M-E#: 19028
------------------	-------------------	-------------

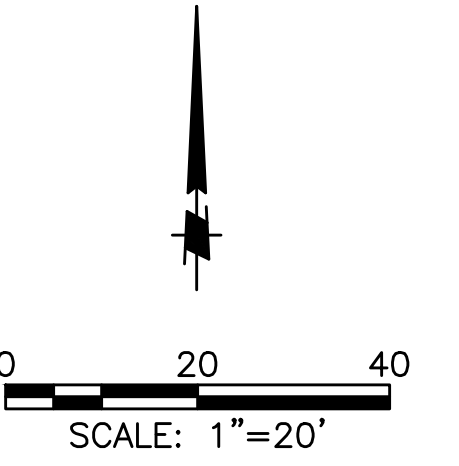
PROJECT DEMOLITION PLAN
BID DOCUMENTS

C101
August 14, 2020



SITE NOTES

- (A) THE CONTRACTOR SHALL NOTIFY ALL PROPERTY OWNERS WHEN PROJECT WORK WILL CLOSE ACCESS TO PROPERTY DRIVES AND PARKING AREAS.
- (B) THE CONTRACTOR SHALL VERIFY THE DEPTH OF THE UNDERDRAIN TO ENSURE PROPER DRAINAGE OF THE 8" AGGREGATE BASE OF THE CONCRETE APRON BY BEING LOWER THAN THE DEPTH OF THE BASE AND THEN WITH PROPER FLOW TO THE CURB INLET TO THE WEST. IN THE EVENT PROPER DRAINAGE OF THE UNDERDRAIN IS NOT POSSIBLE AS IT EXISTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY FOR WRITTEN APPROVAL TO REMOVE THE EXISTING CURB AND GUTTER TO A POINT WHERE PROPER DRAINAGE IS POSSIBLE OR A NEW UNDERDRAIN TAP IS MADE TO THE CURB INLET. PAYMENT SHALL BE MADE AT THE COST BID FOR THE VARIOUS APPROPRIATE ITEMS.
- (C) THE CONTRACTOR SHALL PLACE THE 1 1/2" ASPHALT CONCRETE SURFACE COARSE, TYPE 1 (448, PG64-22) AND THE 1" ASPHALT CONCRETE SURFACE COARSE, TYPE 1 (OVERLAY) (448, PG64-22) AT THE SAME TIME TO PROVIDE FEWER SEAMS AND SMOOTH ELEVATION TRANSITIONS IN THE SURFACE COARSE.
SEE DETAIL SHEET C401 FOR SITE DEVELOPMENT DETAILS



CODED NOTES

- (1) PAVEMENT REPLACED - ASPHALT, FULL DEPTH - PER COLS. STD. DWG. 1441
- (2) COMBINATION CURB AND GUTTER, TYPE SPECIAL 8", PER COLS. STD. DWG. 2020
- (3) STRAIGHT 18" CURB - PER COLS. STD. DWG. 2000
- (4) TAPER CURB HEIGHT FROM 6" TO 0" IN 1'
- (5) TAPER CURB/WALK HEIGHT 6" TO 0" IN 6'
- (6) MATCH PROP. IMPROVEMENT TO SHAPE OF EX. OVER LAST 2'
- (7) PROPOSED PARKING BLOCK - SEE PLAN DETAIL, SHEET C302
- (8) EXISTING HANDICAP PARKING SIGN - REMOVE FROM STORAGE AND RE-ERECT - SEE PLAN DETAIL, SHEET C302
- (9) PROPOSED SITE SIGN - PROVIDE 2" CONDUIT & WIRING FROM ADJACENT LIGHT POLE
- (10) 6" DIA. BOLLARDS (6) - SEE PLAN DETAIL, SHEET C302

LEGEND

- PAVEMENT REPLACED - ASPHALT, FULL DEPTH PER COLS. STD. DWG. 1441
- ASPHALT PAVEMENT SECTION (SEE DETAIL 1, SHT. C401)
- 1" ASPHALT CONCRETE SURFACE COARSE, TYPE 1 (OVERLAY) (448, PG64-22)
- 4" CONCRETE SIDEWALK/WALK (SEE DETAIL 6, SHT. C401)
- 8" CONCRETE SIDEWALK/WALK (SEE DETAIL 6, SHT. C401)
- 10" CONCRETE PAVEMENT SECTION (APRON IN R/W) (SEE DETAIL 2, SHT. C401)
- 10" CONCRETE PAVEMENT SECTION (ONSITE DRIVE) (SEE DETAIL 2, SHT. C401)
- LANDSCAPING, SEE DETAIL 6 SHEET C302
- TOPSOIL & GRASS
- NEW CONCRETE CURB - SEE ABOVE

PARKING REQUIREMENTS

FIRE STATION: NO REQUIREMENTS FOUND
10,905 SF

OFFICE: 1 SPACE FOR EVERY 350 SF
5155 SF = 15 REQ'D SPACES
2 ADA SPACES REQUIRED

EXISTING PARKING: 25 SPACES INCLUDING 2 ADA SPACES

EXISTING PARKING: 12 SPACES INCLUDING 1 ADA SPACES

PROPOSED PARKING: 19 SPACES INCLUDING 0 ADA SPACES

PROPOSED PARKING: 22 SPACES INCLUDING 2 ADA SPACES

SITE DATA

PRE-DEVELOPMENT	POST-DEVELOPMENT
BUILDINGS 16,060 SF (0.369 Ac)	BUILDINGS 16,060 SF (0.369 Ac)
DRIVES/WALKS 29,601 SF (0.680 Ac)	DRIVES/WALKS 30,252 SF (0.694 Ac)
GRASS 30,430 SF (0.700 Ac)	GRASS 29,779 SF (0.684 Ac)
R/W PERVIOUS 299 SF (0.007 Ac)	R/W PERVIOUS 615 SF (0.014 Ac)
R/W IMPERVIOUS 1,932 SF (0.044 Ac)	R/W IMPERVIOUS 1,616 SF (0.037 Ac)

5,220 SF OF NEW PARKING
5% = 261 SF LANDSCAPE (REQ)
360 SF LANDSCAPE PROVIDED
1 TREE/100 SF = 3 TREES REQ/PROVIDED

PARCEL NO: 025-001135
The Kroger Co., an Ohio Corporation
NO. 200505120091078
8.039 Acres

PARCEL NO: 025-003870
Mifflin Township Trustees
O.R. 15432F07
0.908 Acres

PARCEL NO: 025-006927
Mifflin Township, an Ohio Municipality
INS. NO. 200403030046654
0.838 Acres

#	Date	Change Description

Station 131
Concrete Repair
475 Rocky Fork Blvd.
Gahanna, Ohio 43230
for
Mifflin Township

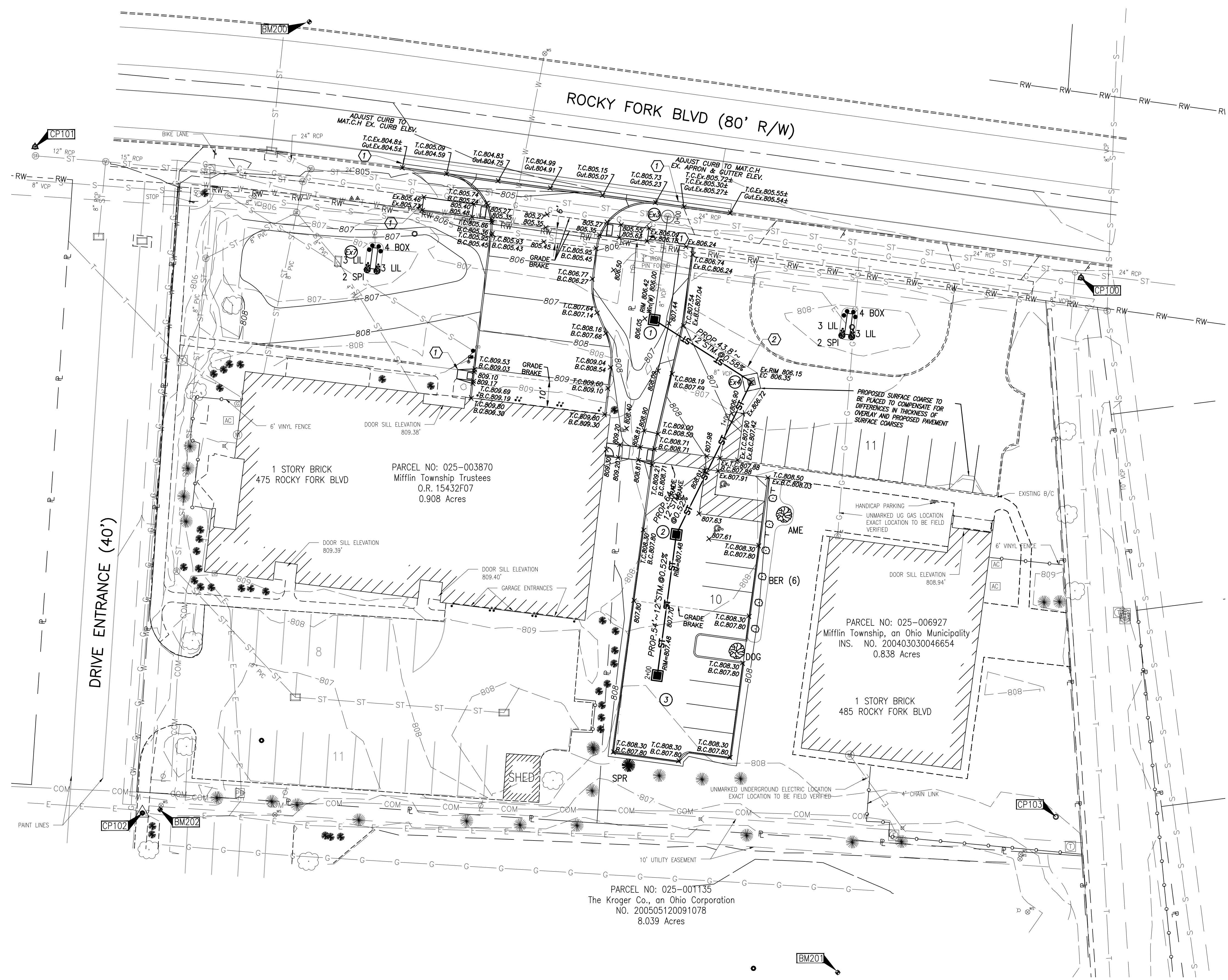
300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215
P: 614 280 8999
MOODY-ENG.COM

PROGRESS DRAWING
NOT FOR CONSTRUCTION

Dwg. Coord.: JDL Tech. Coord.: jan M-E#: 19028

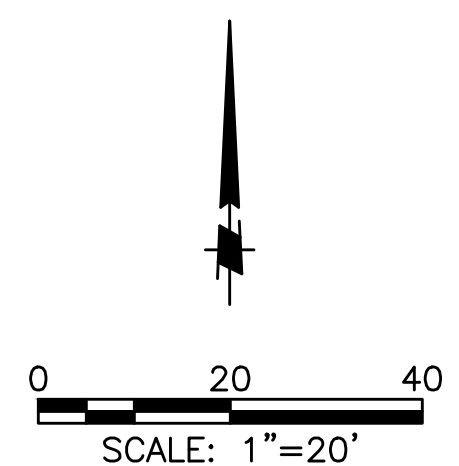
PROJECT LAYOUT PLAN
C201

BID DOCUMENTS August 14, 2020



SITE NOTES

THE CONTRACTOR SHALL PLACE THE 1 1/2" ASPHALT CONCRETE SURFACE COARSE, TYPE 1 (448, PG64-22) AND THE 1" ASPHALT CONCRETE SURFACE COARSE, TYPE 1 (OVERLAY) (448, PG64-22) AT THE SAME TIME TO PROVIDE FEWER SEAMS AND SMOOTH ELEVATION TRANSITIONS IN THE SURFACE COARSE.



CODED NOTES

- ① MATCH EXISTING
- ② PAVEMENT REPLACEMENT PER STD. DWG. 1441

- 807 — PROPOSED CONTOUR
- - - 807 - - - EXISTING CONTOUR

PLANTING LEGEND

- | | |
|------------------------------|------------------------------------|
| SPR Avatar Blue Spruce, | PICEA pungens 'Avatar' |
| AME Tradition Serviceberry, | AMELANCHIER canadensis 'Tradition' |
| DOG White Flowering Dogwood, | CORNUS florida |
| BER Mentor Barberry, | BERBERIS x mentorensis |
| BOX Boxwood, | MICROPHYLLA koreana 'Wintergreen' |
| LIL Daylily, | HERMEROCALLIS 'Stella de Oro' |
| SPI Spirea, | SPIREA x bumalda 'Anthony Waterer' |

#	Date	Change Description

Station 131 Concrete Repair
475 Rocky Fork Blvd.
Gahanna, Ohio 43230
for Mifflin Township

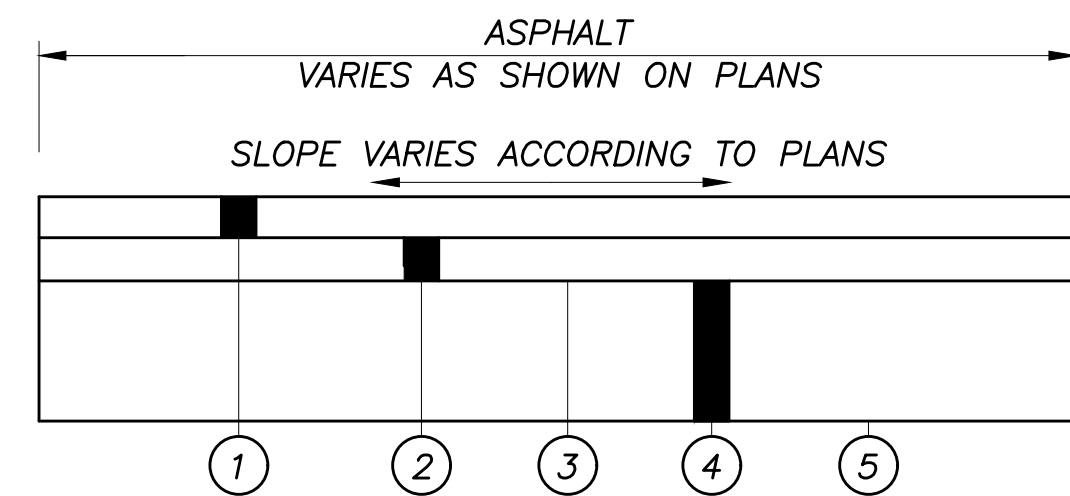
MOODY ENGINEERING
300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215
P: 614 280 8999
MOODY-ENG.COM

Dwg. Coord.: JDL Tech. Coord.: jan M-E#: 19028

PROJECT GRADING PLAN **C301**

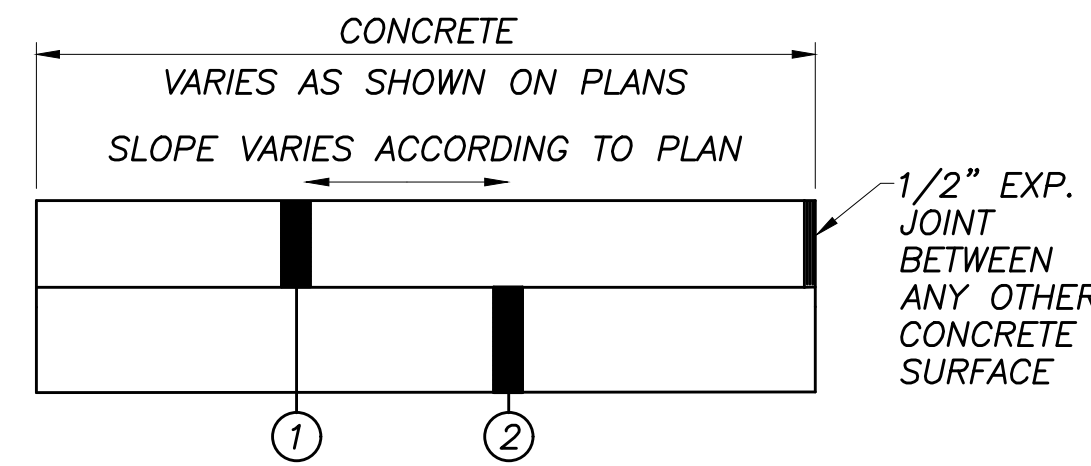
BID DOCUMENTS August 14, 2020

PROGRESS DRAWING NOT FOR CONSTRUCTION



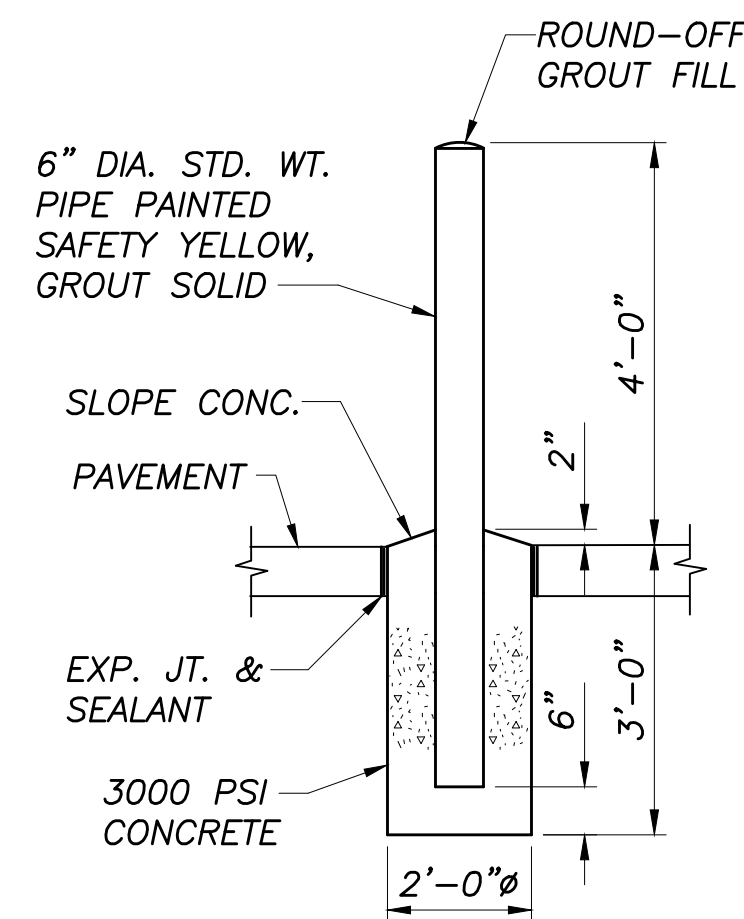
- ① ITEM 441 - 1 1/2" ASPHALT CONCRETE SURFACE COARSE, TYPE 1 (448, PG64-22)
- ② ITEM 441 - 1 1/2" ASPHALT CONCRETE INTERMEDIATE COARSE, TYPE 1 (448, PG64-22)
- ③ ITEM 408 - BITUMINOUS PRIME COAT @ 0.40 GAL./SY
- ④ ITEM 304 - 8" AGGREGATE BASE
- ⑤ ITEM 204 - SUBGRADE COMPACTION

① **ASPHALT PAVEMENT SECTION**
NO SCALE

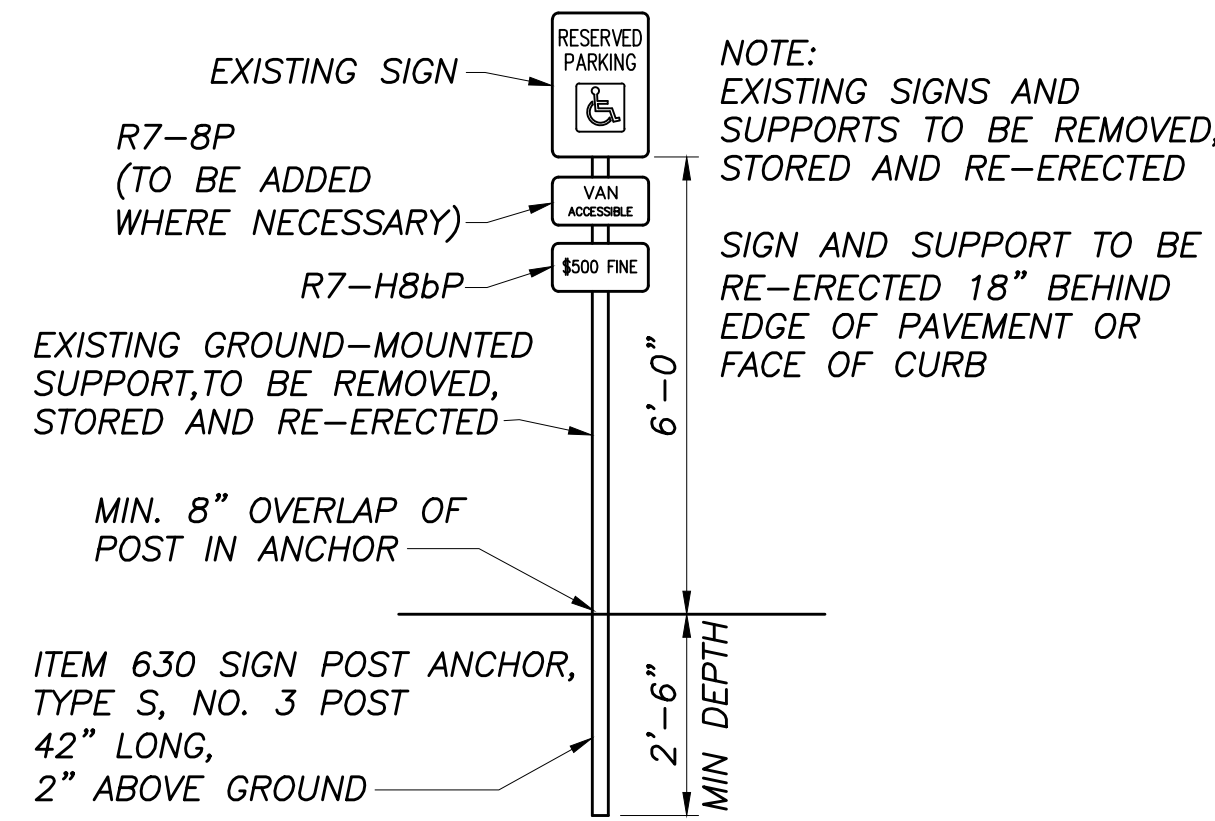


- ① ITEM 452 - 10" NON-REINFORCED CONCRETE PAVEMENT
- ② ITEM 304 - 8" AGGREGATE BASE (ONSITE) (IN R/W)

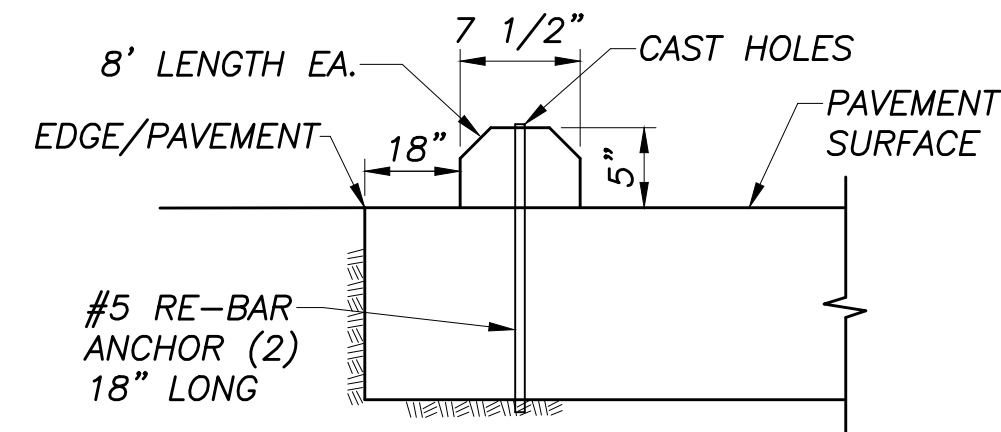
② **CONCRETE PAVEMENT SECTION**
NO SCALE



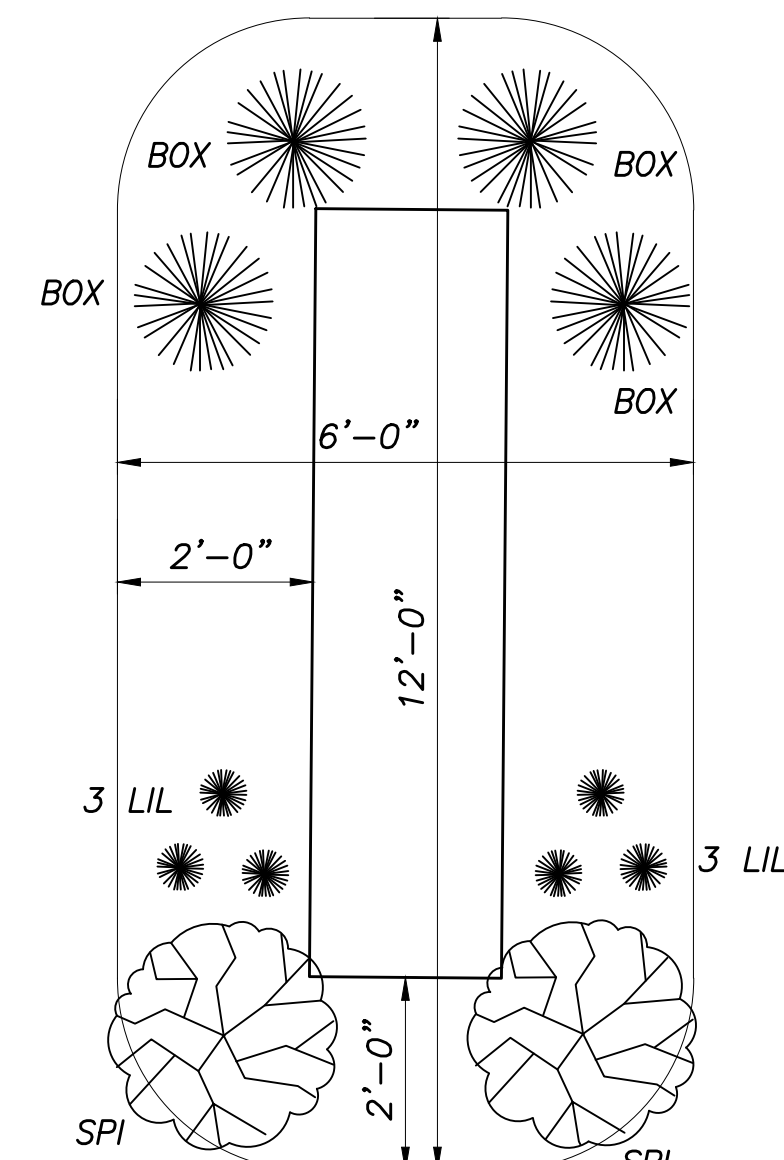
⑤ **BOLLARD DETAIL**
NO SCALE



③ **HANDICAP PARKING SIGN**
NO SCALE

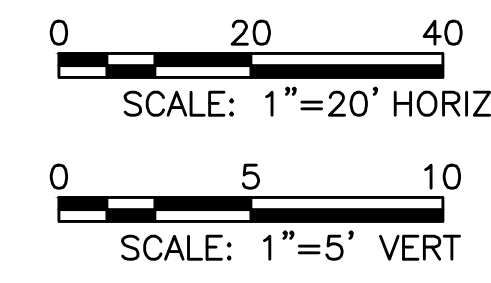
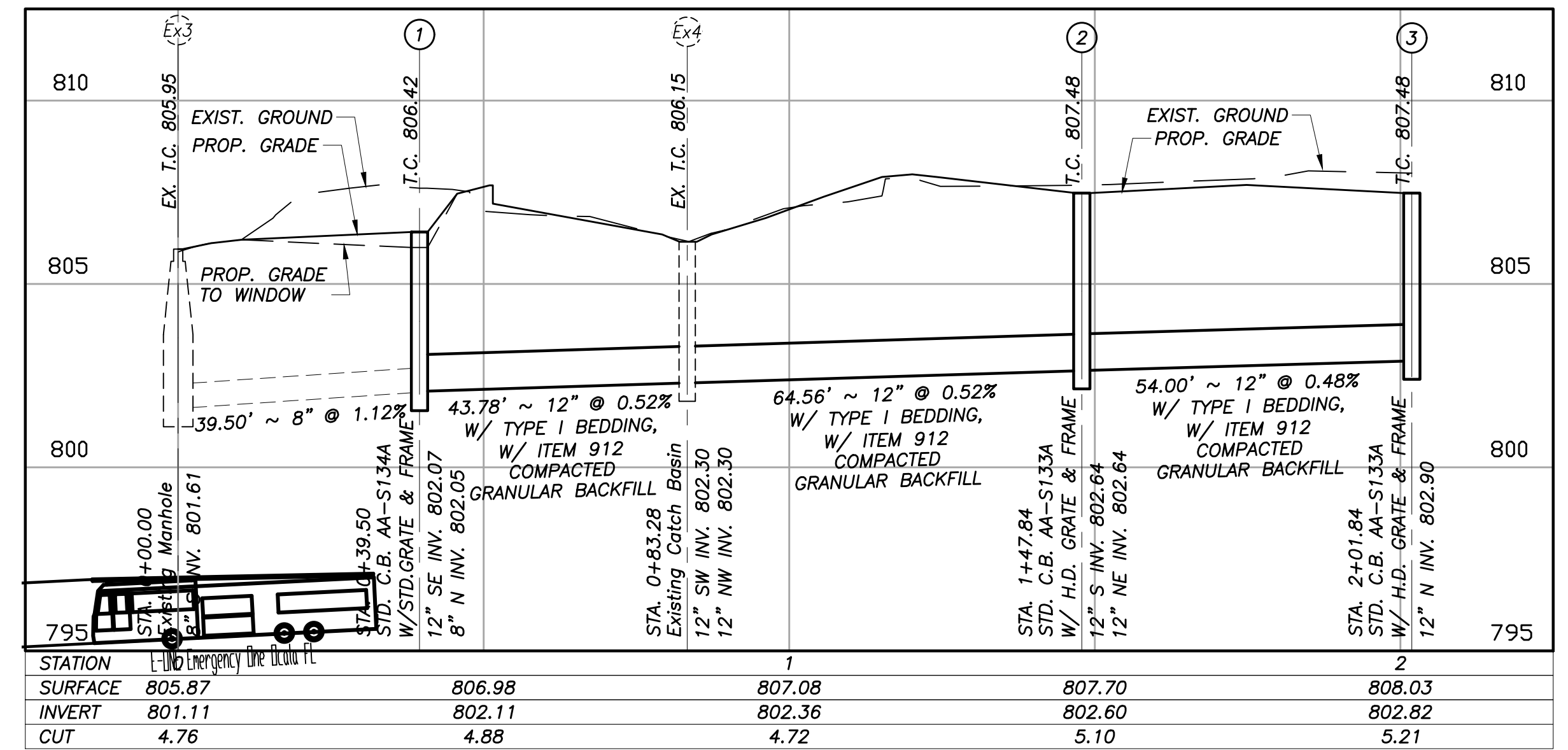


④ **PARKING BLOCK DETAIL**
NO SCALE



⑥ **SIGN PLANTING**
NO SCALE

- BOX MICROPHYLLA koreana 'Wintergreen', Boxwood, #5 Container
- LIL HERMEROCALLIS 'Stella de Oro', Daylily, #2 Container
- SPI SPIREA x bumalda 'Anthony Waterer', Spirea, B&B



NOTE: THE CONTRACTOR SHALL CONSTRUCT THE PROPOSED STORM SEWER AND CATCH BASINS PER ALL CURRENT AND PERTINENT CITY OF COLUMBUS CONSTRUCTION STANDARDS AND STANDARD DRAWINGS WHETHER LISTED ON THIS PLAN OR NOT.

CITY OF COLUMBUS, STORM SEWER STANDARD DRAWINGS: AA-S133A, AA-S134A, AA-S139, AA-S141, AA-S149, AA-S150, AA-S151

STORM SEWER PIPE SPECIFICATION FOR THE PLAN IMPROVEMENTS MAY BE IN ACCORDANCE WITH THE FOLLOWING AND COLUMBUS CMSC: (EXCEPT WHERE SPECIFICALLY DESIGNATED WITHIN THE PROFILES.)

REINFORCED CONCRETE PIPE ASTM C-76 (CMSC 706.02). PROVIDE ROUND RUBBER JOINT (O-RING) CONFORMING TO ASTM C361 WHERE WATERTIGHT JOINTS ARE SPECIFIED ON THE PROFILES.

- CONCRETE CLASSIFICATION SHALL BE IN CONFORMANCE WITH THE FOLLOWING UNLESS OTHERWISE REFERENCED BY THE PROFILES:
12" - 24" DIAMETER PIPE CLASS IV
27" - 30" DIAMETER PIPE CLASS III
- P.V.C. SEWER PIPE ASTM D3034 WITH JOINTS AS PER ASTM D3212. PVC SEWER PIPE PLACEMENT SHALL BE LIMITED TO SEWERS THROUGH 15" DIAMETER.
- SMOOTH-LINED CORRUGATED POLYETHYLENE PIPE (CMSC 720.12). PROVIDE JOINT CONFORMING TO ASTM D3212 WHERE WATERTIGHT JOINTS ARE SPECIFIED ON THE PROFILES:
8" THRU 30" DIAMETER PIPE

#	Date	Change Description

Station 131 Concrete Repair
475 Rocky Fork Blvd.
Gahanna, Ohio 43230
for Mifflin Township

MOODY ENGINEERING
300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215
P: 614 280 8999
MOODY-ENG.COM

PROGRESS DRAWING
NOT FOR CONSTRUCTION

Dwg. Coord.: JDL Tech. Coord.: jan M-E#: 19028

STORM PROFILE AND PROJECT DETAILS

1. OWNER'S NAME
2. A 24 HOUR EMERGENCY CONTACT PHONE NUMBER.

ALL STEEL PLATES MUST HAVE THE FOLLOWING INFORMATION CLEARLY AND LEGIBLY ETCHED INTO THEIR TOP SURFACE:

- OWNER'S NAME.
- A 24 HOUR EMERGENCY CONTACT PHONE NUMBER.
- CONTACT CITY OF COLUMBUS DIVISION OF INFRASTRUCTURE MANAGEMENT TO REPORT LOCATION OF STEEL PLATE (614) 645-5550

MINIMUM THICKNESS OF STEEL PLATES	
SIZE OF PLATE	THICKNESS
4' x 4'	1/2"
4' x 6'	3/4"
LARGER	1"

NO STEEL PINS ARE PERMITTED.

SEE SHEET 13 FOR SIGNING REQUIREMENTS.

STEEL PLATE REQUIREMENTS

PAVEMENT & UTILITY CUT REPAIR STANDARDS

CITY OF COLUMBUS, OHIO
DEPARTMENT OF PUBLIC SERVICE
DIVISION OF DESIGN AND CONSTRUCTION

STD DWG
1441
4/22/2019
SHT 12 OF 13

NOTES

1. ADVANCE WARNING SIGNAGE

SIZE: MINIMUM SIGN SIZE IS 36". INCREASE SIZE TO 48" ON ROADWAYS WITH POSTED SPEED EQUAL TO OR GREATER THAN 45 MPH OR ON ARTERIAL ROADWAYS WITH 4 LANES OR MORE. ONE-WAY STREETS REQUIRE SIGNS POSTED ON BOTH SIDES OF ROADWAY.

SPACING: SPACING BETWEEN SIGNS IS 100' FOR SPEEDS LESS THAN OR EQUAL TO 40 MPH AND 350' FOR SPEEDS GREATER THAN OR EQUAL TO 45 MPH PER TABLE 2: ADVANCE WARNING SIGNS. FIRST SIGN IN SERIES IS PLACED 100' OR 350' PRIOR TO THE FIRST DRUM OR DEVICE. MAINTAIN 200' CLEARANCE FROM EXISTING SIGNAGE WHENEVER POSSIBLE. INSTALL TYPE A LOW INTENSITY FLASHING LIGHTS ON SIGNS AS DIRECTED BY THE OMUTCD PART 6 SECTION 6F-83, CURRENT EDITION, WHEN TEMPORARY TRAFFIC CONTROL DEVICES ARE USED FOR NIGHTTIME ROADWAY AND PEDESTRIAN MAINTENANCE OF TRAFFIC CONTROL SETUPS.

CONFLICTING SIGNS: REMOVE OR COVER EXISTING SIGNS LOCATED WITHIN 250' OF FIRST WARNING SIGN AND ALL CONFLICTING SIGNS WITHIN WORK ZONE. END ROAD WORK SIGNS, G-20-X, SHALL ONLY BE USED WHEN CONSTRUCTION EXCEEDS 180 DAYS, AS WHEN SHOWN IN A ROADWAY MAINTENANCE OF TRAFFIC PLAN, OR AS DIRECTED BY THE ENGINEER.

2. CHANNELIZING DEVICES

DRUMS: DRUMS SHALL HAVE TYPE C OR TYPE D 360 DEGREE STEADY BURN WARNING LIGHTS FOR USE AT NIGHT. DURING DAYTIME OPERATIONS 42" CHANNELIZING DEVICES MAY BE SUBSTITUTED FOR DRUMS WITH THE PERMISSION OF THE ENGINEER.

DEVICE SPACING: 40' ON TANGENTS, 20' TAPERS, 6' TO 8' ON RADII 10' MINIMUM LANE WIDTHS SHALL BE MAINTAINED. A MINIMUM OF 5 DRUMS SHALL BE USED TO CLOSE THE UPSTREAM SHOULDER.

DRUM MOUNTED SIGNS: CONTRACTOR MAY USE A POLYPROPYLENE FLUTED SHEET FOR SIGNING WHEN PLACING ON TOP OF DRUMS. SIGNS SHALL BE ATTACHED TO THE DRUMS USING APPROPRIATE HARDWARE. ONLY "KEEP RIGHT", "ONE-WAY", AND TURN RESTRICTION SIGNS SHALL BE POSTED ON TOP OF DRUMS.

ALL SIGNS SHALL MAINTAIN RETROREFLECTIVITY. SIGN SUBSTRATE SHALL CONFORM TO FHWA SIGN SUBSTRATES FOR PLASTIC DRUMS AND WORK ZONE ACCEPTANCE LETTER WZ-45 "CRASHWORTHY WORK ZONE DEVICES" AS OF OCTOBER 1, 2000.

3. TAPER LENGTHS

TAPER LENGTH CRITERIA FOR TEMPORARY TRAFFIC CONTROL ZONES SHALL BE PER TABLE 1: TAPER LENGTHS FOR TEMPORARY TRAFFIC CONTROL ZONE FOR CALCULATED TAPER LENGTHS.

EXIT TAPERS SHALL BE 100' PER LANE, MAXIMUM.

4. TEMPORARY MARKINGS

WHEN LANE CLOSURES EXCEED 14 CALENDAR DAYS, TEMPORARY MARKINGS (740.06) TAPE, MINIMUM 4'-0" LONG SEGMENTS SHALL BE INSTALLED FOR ALL CENTERLINES, CHANNELS, AND LANE LINES. CONFLICTING MARKINGS SHALL BE COVERED WITH NON-REFLECTIVE TAPE OR REMOVED. ITEM 642 PAINT SHALL BE USED IF AN AREA IS TO BE MILLED AND/OR RESURFACED OR PLACED ON THE INTERMEDIATE ASPHALT COURSE.

5. GENERAL NOTES AND MODIFICATIONS OF STANDARD CONSTRUCTION DRAWINGS

THE USE OF ANY MAINTENANCE OF TRAFFIC STANDARD DRAWING SHALL REQUIRE A MAINTENANCE OF TRAFFIC TABLE PROVIDED BY THE DIVISION OF DESIGN AND CONSTRUCTION. MODIFICATIONS TO THE TEMPORARY TRAFFIC CONTROL STANDARD CONSTRUCTION DRAWINGS MAY OCCUR WHEN FIELD CONDITIONS DICTATE THAT THE APPLICATION OF THE STANDARD DRAWING DOES NOT MEET ITS INTENDED PURPOSE. ONLY THE ENGINEER MAY DEVIATE FROM THESE DRAWINGS.

6. SCD 1500 REFERENCE

ALL NOTES, TABLES, FIGURES, AND LEGENDS INCLUDED AS PART OF SCD 1500 ARE TO BE APPLIED TO ALL OTHER MAINTENANCE OF TRAFFIC SCD (1501-1599).

TABLE 1: TAPER LENGTHS FOR TEMPORARY TRAFFIC CONTROL ZONES¹

D: TAPER RATE (SHOULDER) CLOSURE OMUTCD 0.33L = WS / 60

WIDTH OF SHOULDER	0.33L = WS							
	25 MPH	30 MPH	35 MPH	40 MPH	45 MPH	50 MPH	55 MPH	60 MPH
6'	*	*	*	53'	89'	99'	109'	119'
7'	*	*	47'	62'	104'	116'	127'	139'
8'	*	*	54'	70'	119'	132'	145'	158'
9'	*	45'	61'	79'	134'	149'	163'	178'
10'	*	50'	67'	88'	149'	165'	182'	198'
11'	*	54'	74'	97'	163'	182'	200'	218'
12'	*	59'	81'	106'	178'	198'	218'	238'

E: TAPER RATE (MERGE) CLOSURE OMUTCD L = WS / 60

WIDTH OF LANE CLOSED	L = WS							
	25 MPH	30 MPH	35 MPH	40 MPH	45 MPH	50 MPH	55 MPH	60 MPH
10'	104'	150'	204'	267'	450'	500'	550'	600'
11'	115'	165'	225'	293'	495'	550'	605'	660'
12'	126'	180'	245'	320'	540'	600'	660'	720'
13'	135'	195'	265'	347'	585'	650'	715'	780'

F: TAPER RATE (SHIFT) CLOSURE OMUTCD 0.5L = WS / 60

WIDTH OF LANE SHIFT	L = WS							
	25 MPH	30 MPH	35 MPH	40 MPH	45 MPH	50 MPH	55 MPH	60 MPH
10'	52'	75'	102'	133'	450'	500'	550'	600'
11'	57'	83'	112'	147'	495'	550'	605'	660'
12'	62'	90'	123'	160'	540'	600'	660'	720'
13'	68'	98'	133'	173'	585'	650'	715'	780'

NOTES:

- WHEN PAVED SHOULDERS ARE CLOSED IN CONJUNCTION WITH A RIGHT LANE CLOSURE OR SHIFT ADD SHOULDER WIDTH TO LANE WIDTH TO CALCULATE TAPER LENGTH.
- FOR PAVED SHOULDERS UNDER 6' USE 40 TAPER LENGTH.
- L = TAPER LENGTH, W = WIDTH OF OFFSET, S = POSTED SPEED LIMIT OR 85TH PERCENTILE SPEED * 40'

¹ TABLE DERIVED FROM OMUTCD, CURRENT EDITION, PART 6, TABLES 6C-3 AND 6C-4

MODIFICATION: TABLE DISTANCES VARY PER CITY OF GAHANNA REQUEST

NOTES AND TABLES

MAINTENANCE OF TRAFFIC GENERAL NOTES

CITY OF COLUMBUS, OHIO
DEPARTMENT OF PUBLIC SERVICE
DIVISION OF DESIGN AND CONSTRUCTION

STD DWG
1500
9/15/2015
SHT 1 OF 3

SIGNS ARE TO BE 36"x36" FOR RESIDENTIAL AND DOWNTOWN AREAS AND 48"x48" ON MULTI-LANE, HIGH SPEED (45 MPH OR GREATER) ROADWAYS.

SIGN COC-327 (R/L) IS REQUIRED AT ALL PLATE LOCATIONS. SIGN COC-328 IS REQUIRED WHEN POSTED SPEED IS 35 MPH OR GREATER.

SIGNS SHOULD BE PLACED IN ALL DIRECTIONS THAT ARE AFFECTED. SIGN SPACING SHALL INCREASE TO 250' WHEN SPEED EXCEEDS 45 MPH.

SIGNS SHOULD BE DUAL MOUNTED ON MULTI-LANE, ONE-WAY ROADWAYS.

ALL SIGNS SHALL BE MOUNTED IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD).

SIGNS SHALL NOT BE PLACED IN A MANNER THAT WOULD BLOCK PARKING, BIKE LANES, OR RESTRICT A PEDESTRIAN FROM USING ANY SIDEWALK INCLUDING CURB RAMPS. PAR SHALL BE MAINTAINED AT ALL TIMES.

STEEL PLATE REQUIREMENTS

PAVEMENT & UTILITY CUT REPAIR STANDARDS

CITY OF COLUMBUS, OHIO
DEPARTMENT OF PUBLIC SERVICE
DIVISION OF DESIGN AND CONSTRUCTION

STD DWG
1441
4/22/2019
SHT 13 OF 13

SCD 1500 NOTES

1A. SEE SCD 1500 NOTE 3. TAPER LENGTHS ARE TO BE CALCULATED USING FORMULAS FROM THE SCD 1500, TABLE 1: TAPER LENGTHS FOR TEMPORARY TRAFFIC CONTROL ZONES.

NOTES

- IF TANGENT DISTANCE ALONG THE TEMPORARY DIVERSION IS LESS THAN 540', A DOUBLE REVERSE CURVE SIGN (W24-1) SHOULD BE USED IN PLACE OF INITIAL REVERSE CURVE SIGN AND THE SECOND REVERSE CURVE SIGN SHALL BE OMITTED.
- FOR ADVANCE WARNING SIGN ON SIDE STREET APPLICATION PLACE SIGN A MAXIMUM OF 200' FROM STOP LINE OR TRAFFIC CONTROL.

MODIFICATION: BARREL AND SIGNAGE TO BE PLACED PER PLAN

3-LANE SECTION WITH SHIFT

LANE CLOSURES

CITY OF COLUMBUS, OHIO
DEPARTMENT OF PUBLIC SERVICE
DIVISION OF DESIGN AND CONSTRUCTION

STD DWG
1510
9/15/2015
SHT 3 OF 5

NOTE:
THE STANDARD DRAWING PAGES SHOWN ON THESE PLAN SHEETS MAY NOT INCLUDE ALL THE PAGES OF THE CITY OF COLUMBUS STANDARD DRAWING. IT IS THE INTENT THAT THESE SHOWN PAGES ARE THE NECESSARY PAGES FROM EACH STANDARD DRAWING SET TO COMPLETE THE PROPOSED CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REVIEW EACH REFERENCED STANDARD DRAWING TO VERIFY THAT NO OTHER PAGES OF THE STANDARD DRAWING IS NECESSARY AND/OR TO INCLUDED THE NECESSARY PAGES FOR CONSTRUCTION.

#	Date	Change Description

Station 131 Concrete Repair
475 Rocky Fork Blvd.
Gahanna, Ohio 43230
for Mifflin Township

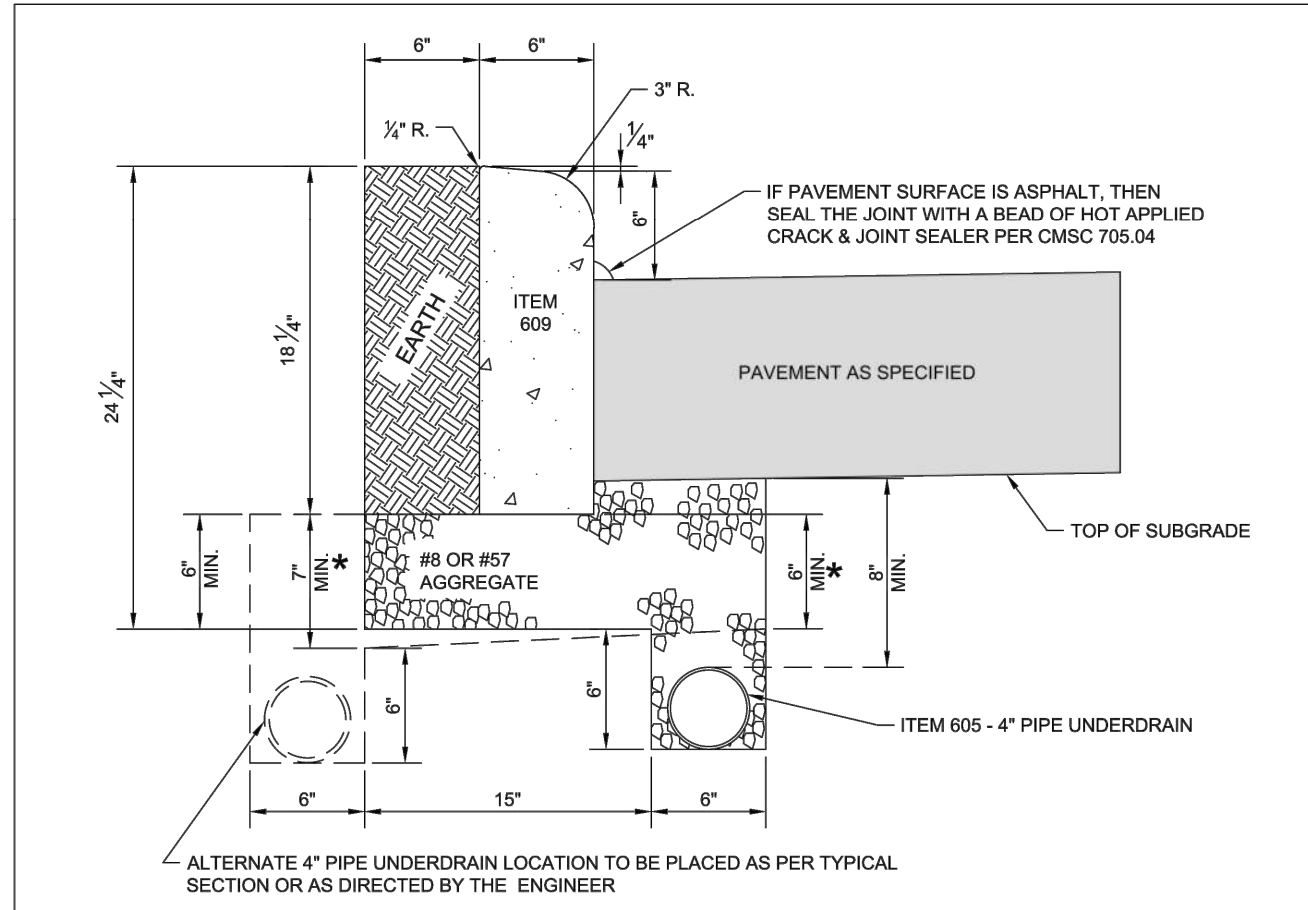
MOODY ENGINEERING
300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215
P: 614 280 8999
MOODY-ENG.COM

PROGRESS DRAWING NOT FOR CONSTRUCTION

Dwg. Coord.: JDL Tech. Coord.: jan M-E#: 19028

STANDARD DRAWING C402

BID DOCUMENTS August 14, 2020



*** CURB AGGREGATE COURSE**-WHERE THE ROADWAY PAVEMENT HAS AGGREGATE BASE. MATCH THE BOTTOM OF THE CURB AND GUTTER AGGREGATE COURSE TO THE TOP OF SUBGRADE. ENSURE ROADWAY SUB BASE MEETS UNDERDRAIN AGGREGATE.

IF THE TOP OF THE SUBGRADE IS BELOW THE BOTTOM OF THE CURB, THE UNDERDRAIN SHALL BE ADJUSTED TO KEEP THE TOP OF THE UNDERDRAIN AT LEAST 8" BELOW THE TOP OF THE SUBGRADE; AGGREGATE DEPTH BETWEEN BOTTOM OF CURB AND TOP OF UNDERDRAIN MAY VARY IF THIS OCCURS.

SUBGRADE COMPACTION SHALL BE COMPLETED BEFORE UNDERDRAIN INSTALLATION.

WHEN A CURB AND GUTTER INLET IS INSTALLED, THE TOP OF THE CASTING SHALL BE THE SAME AS THE TOP OF CURB ELEVATION. THE EDGE OF PAVEMENT ELEVATION SHALL BE 3/8" HIGHER THAN THE GRATE WHEREVER THEY MEET.

FOR REPLACEMENT WORK, THE CURB SHALL BE REMOVED AT AN EXISTING JOINT OR NO CLOSER THAN 5 FEET FROM AN EXISTING JOINT.

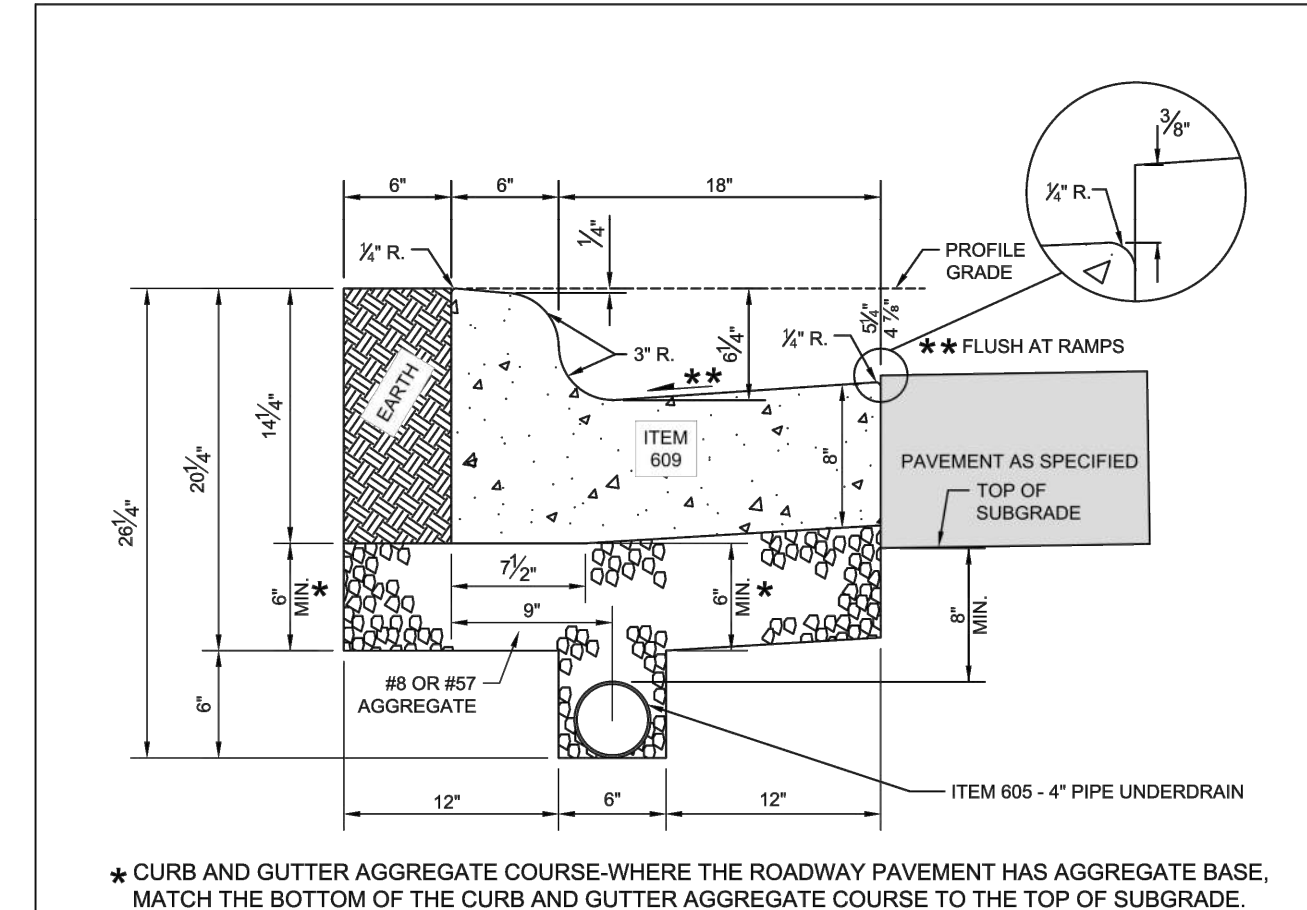
1/2" EXPANSION MATERIAL WILL BE INSTALLED BEHIND THE CURB WHEN A CONCRETE WALK, DRIVE, OR OTHER CONCRETE ITEM IS ADJOINING IT.

UNDERDRAIN IS NOT REQUIRED WHEN CURB IS ALONG CONCRETE MEDIAN.

0.74 C.F. CONCRETE PER L.F.

**CURB,
STRAIGHT 18"**

CITY OF COLUMBUS, OHIO DEPARTMENT OF PUBLIC SERVICE DIVISION OF DESIGN AND CONSTRUCTION	STD DWG 2000 3/30/2018 SHT 1 OF 1
CITY ENGINEER	



*** CURB AND GUTTER AGGREGATE COURSE**-WHERE THE ROADWAY PAVEMENT HAS AGGREGATE BASE, MATCH THE BOTTOM OF THE CURB AND GUTTER AGGREGATE COURSE TO THE TOP OF SUBGRADE. ENSURE ROADWAY SUB BASE MEETS UNDERDRAIN AGGREGATE.

**** AT CURB RAMP LOCATIONS**, THE GUTTER SLOPE SHALL NOT EXCEED 4.7%. TRANSITION GUTTER OVER 3' TO MATCH EXISTING CURB & GUTTER SLOPE. THE PAVEMENT SHALL BE FLUSH AT THE GUTTER IN FRONT OF CURB RAMP. CURB RAMP SHALL BE BUILT PER STD DWG 2319.

IF THE TOP OF THE SUBGRADE IS BELOW THE BOTTOM OF THE CURB, THE UNDERDRAIN SHALL BE ADJUSTED TO KEEP THE TOP OF THE UNDERDRAIN AT LEAST 8" BELOW THE TOP OF THE SUBGRADE; AGGREGATE DEPTH BETWEEN BOTTOM OF CURB AND TOP OF UNDERDRAIN MAY VARY IF THIS OCCURS.

SUBGRADE COMPACTION SHALL BE COMPLETED BEFORE UNDERDRAIN INSTALLATION.

WHEN A CURB AND GUTTER INLET IS INSTALLED, THE TOP OF THE CASTING SHALL BE THE SAME AS THE TOP OF CURB ELEVATION. THE EDGE OF PAVEMENT SHALL BE 3/8" HIGHER THAN THE GRATE WHEREVER THEY MEET.

FOR REPLACEMENT WORK, THE CURB SHALL BE REMOVED AT AN EXISTING JOINT OR NO CLOSER THAN 5 FEET FROM AN EXISTING JOINT.

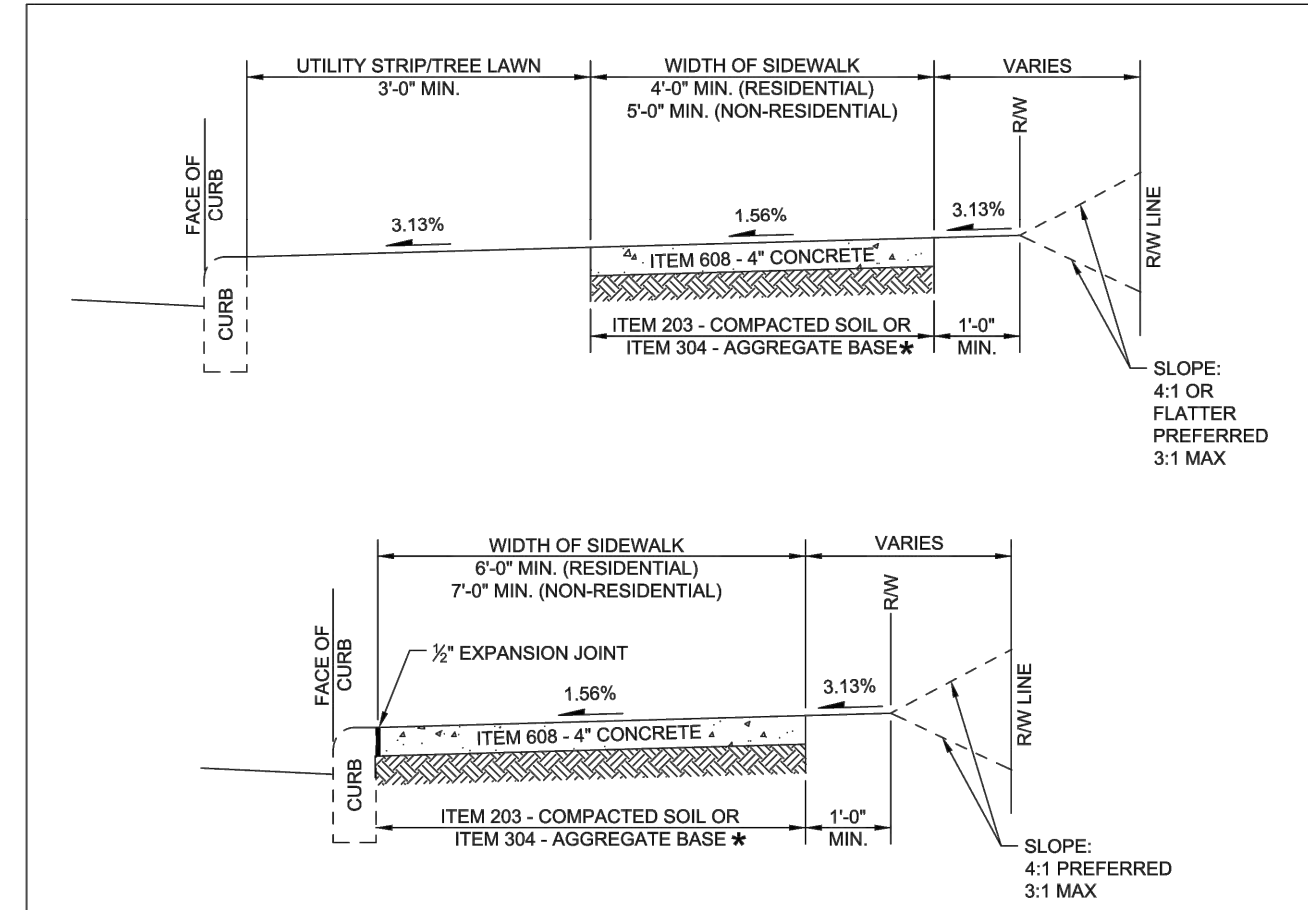
1/2" EXPANSION MATERIAL WILL BE INSTALLED BEHIND THE CURB WHEN A CONCRETE WALK, DRIVE, OR OTHER ITEM IS ADJOINING IT.

WHEN CONNECTING TO AN EXISTING COMBINATION CURB AND GUTTER, TRANSITION THE GUTTER PAN AS REQUIRED, OVER A DISTANCE OF 10 FEET MAXIMUM, TO MAINTAIN POSITIVE DRAINAGE.

1.59 C.F. CONCRETE PER L.F.

**COMBINATION CURB &
GUTTER, TYPE SPECIAL 8"**

CITY OF COLUMBUS, OHIO DEPARTMENT OF PUBLIC SERVICE DIVISION OF DESIGN AND CONSTRUCTION	STD DWG 2020 3/30/2018 SHT 1 OF 1
CITY ENGINEER	



WHERE SIDEWALKS ABUT DRIVEWAYS OR ALLEY APPROACHES, THE CONCRETE THICKNESS OF THE WALK SHALL EQUAL THE THICKNESS OF THE APPROACH (6" MINIMUM) FOR A DISTANCE OF ONE (1) FULL PANEL OR MINIMUM 5 FEET. SEE STANDARD DRAWING OF THE APPLICABLE DRIVEWAY OR ALLEY.

WHERE NEW WALK ABUTS ADJOINING WALK, SAWCUT EXISTING WALK TO NEAREST JOINT AND INSTALL EXPANSION JOINT.

EXPANSION JOINT LOCATION AND SPACING PER ITEM 608.03.

WATER AND UTILITY BOXES IN THE SIDEWALK AREA SHALL BE ADJUSTED FLUSH WITH FINAL SURFACE.

ROOF DRAINS SHALL BE EXTENDED UNDER THE SIDEWALK AND THROUGH THE CURB. SEE STD DWG 2320.

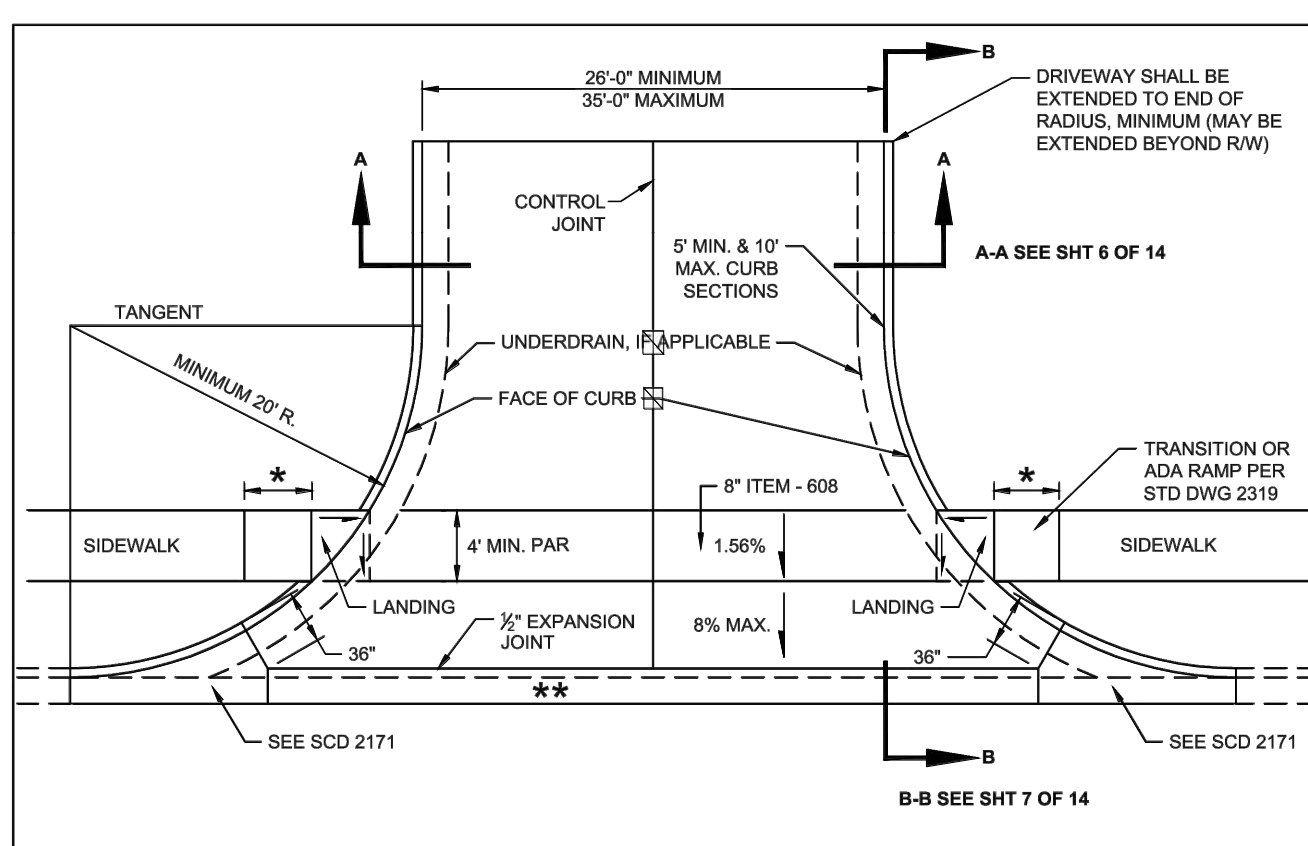
ITEM NUMBERS REFER TO THE CITY OF COLUMBUS CMSC, CURRENT EDITION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE SPECIFICATIONS.

*** #57 AGGREGATE MAY BE USED FOR REPLACEMENT WORK.**

SIDEWALK

**MODIFICATION: SIDEWALK
CROSS SLOPE MAX. 2.00%
PER CITY OF GAHANNA**

CITY OF COLUMBUS, OHIO DEPARTMENT OF PUBLIC SERVICE DIVISION OF DESIGN AND CONSTRUCTION	STD DWG 2300 04/30/18 SHT 1 OF 1
CITY ENGINEER	



*** 8" CONCRETE SIDEWALK** FOR 1 FULL PANEL (MIN. 5 FT.) BEYOND EDGE OF DRIVE.

**** MAINTAIN 4" PIPE UNDERDRAIN**. CURB OR COMBINED CURB AND GUTTER SHALL BE TAKEN OUT AND REPLACED WITH CONCRETE, SEPARATED FROM THE DRIVE BY 1/2" PREMOULDED EXPANSION JOINT. WHEN LESS THAN 5 FT. OF A CURB SECTION REMAINS AFTER THE CURB CUT IS LOCATED, IT SHALL ALSO BE REMOVED AND REPLACED. CURB/GUTTER SHALL BE CONSTRUCTED IN MINIMUM 5 FT. SECTIONS AND MAXIMUM 10 FT. SECTIONS.

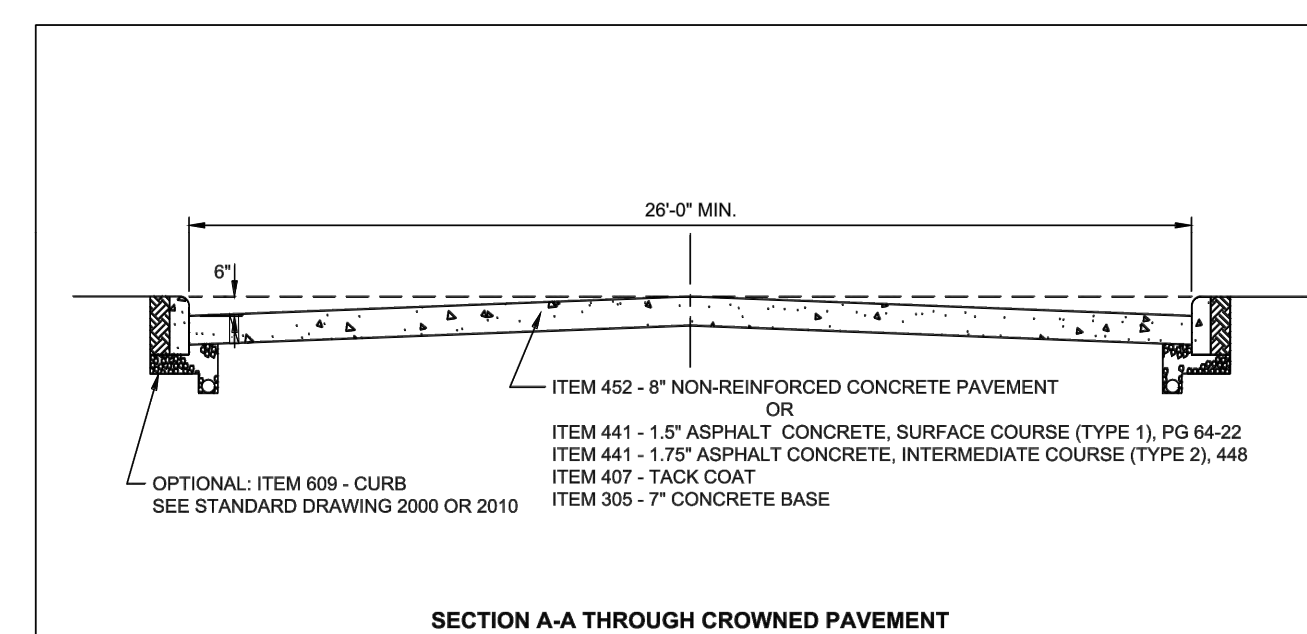
PAR = PEDESTRIAN ACCESS ROUTE. SET PAR THROUGH APPROACH AT SIDEWALK GRADE TO AVOID RAMP OR TRANSITION. IF NOT POSSIBLE, THEN MINIMIZE TRANSITION FROM SIDEWALK TO APPROACH.

NO DOWELS REQUIRED ON DRIVES.

WHEN A CURB OR CURB AND GUTTER ARE PRESENT ALL DRIVEWAYS SHALL BE ITEM 452 CONCRETE PAVEMENT

**CURBED ROADWAY WITH RADIUS
DRIVEWAY, NON-RESIDENTIAL**

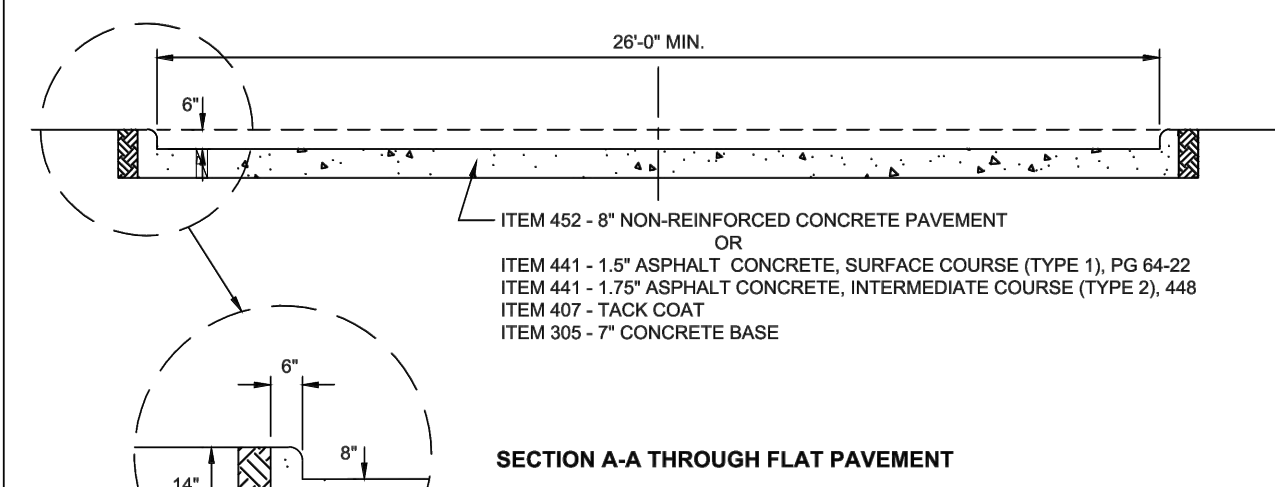
CITY OF COLUMBUS, OHIO DEPARTMENT OF PUBLIC SERVICE DIVISION OF DESIGN AND CONSTRUCTION	STD DWG 2202 07/01/20 SHT 5 OF 14
CITY ENGINEER	



SECTION A-A THROUGH CROWNED PAVEMENT

ITEM 452 - 8" NON-REINFORCED CONCRETE PAVEMENT
OR
ITEM 441 - 1.5" ASPHALT CONCRETE, SURFACE COURSE (TYPE 1), PG 64-22
ITEM 441 - 1.75" ASPHALT CONCRETE, INTERMEDIATE COURSE (TYPE 2), 448
ITEM 407 - TACK COAT
ITEM 305 - 7" CONCRETE BASE

OPTIONAL: ITEM 609 - CURB
SEE STANDARD DRAWING 2000 OR 2010

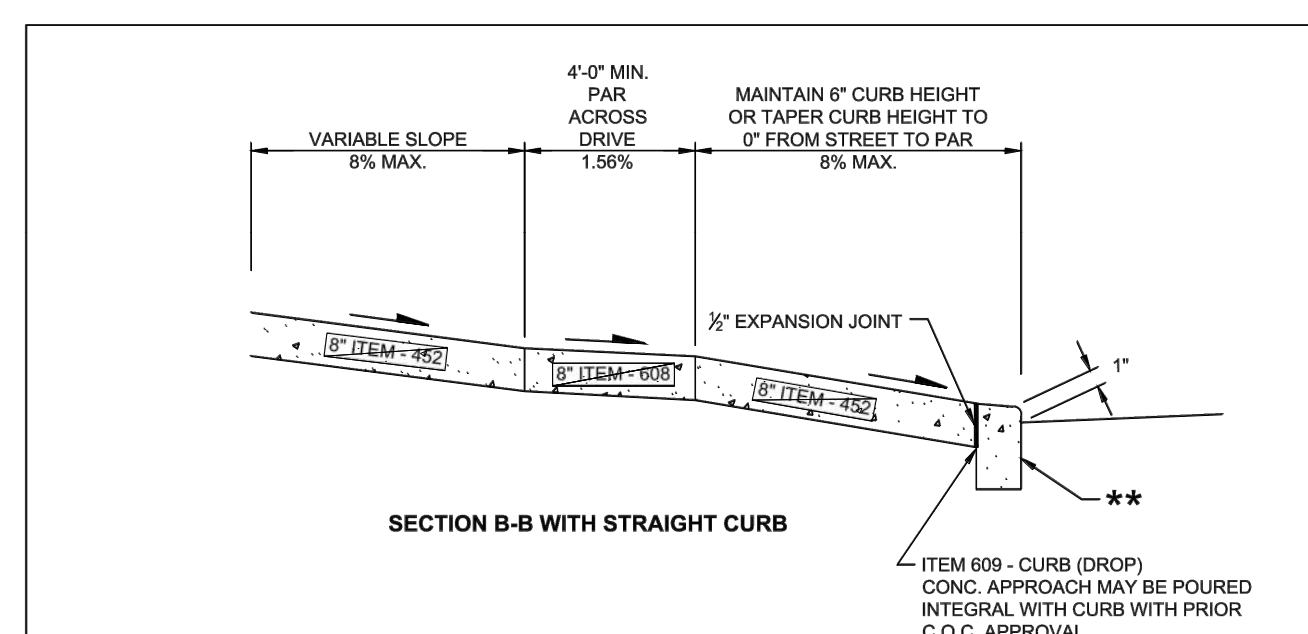


SECTION A-A THROUGH FLAT PAVEMENT

ITEM 452 - 8" NON-REINFORCED CONCRETE PAVEMENT
OR
ITEM 441 - 1.5" ASPHALT CONCRETE, SURFACE COURSE (TYPE 1), PG 64-22
ITEM 441 - 1.75" ASPHALT CONCRETE, INTERMEDIATE COURSE (TYPE 2), 448
ITEM 407 - TACK COAT
ITEM 305 - 7" CONCRETE BASE

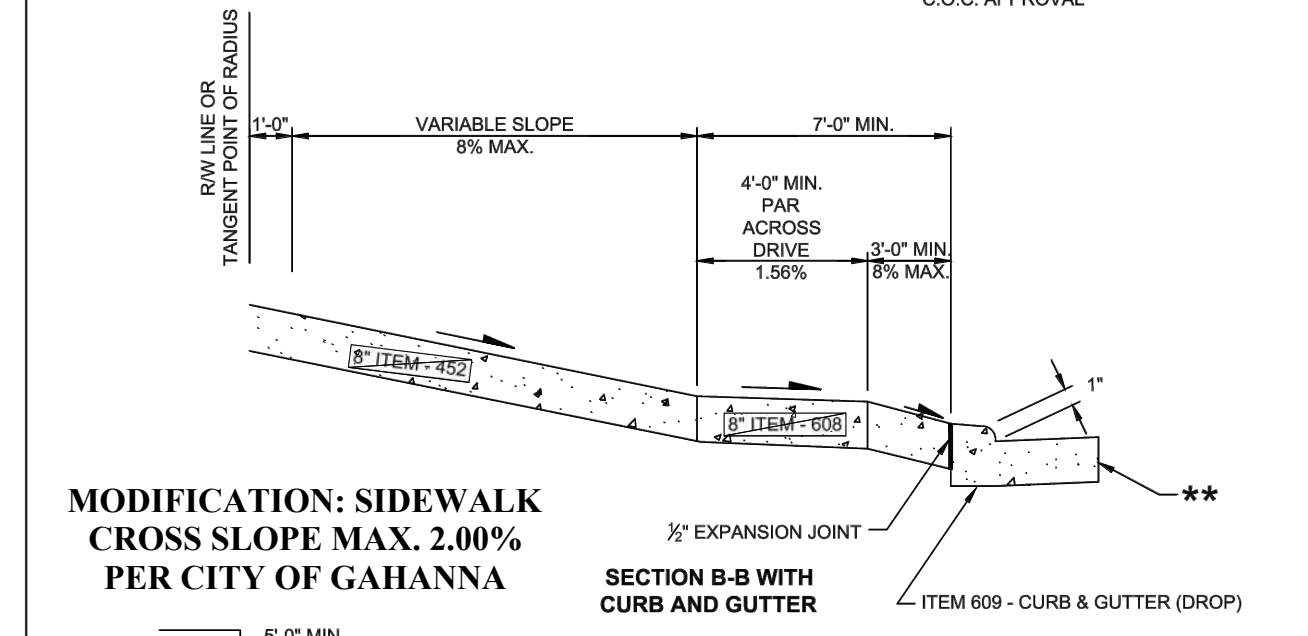
**CURBED ROADWAY WITH RADIUS
DRIVEWAY, NON-RESIDENTIAL**

CITY OF COLUMBUS, OHIO DEPARTMENT OF PUBLIC SERVICE DIVISION OF DESIGN AND CONSTRUCTION	STD DWG 2202 07/01/20 SHT 6 OF 14
CITY ENGINEER	



SECTION B-B WITH STRAIGHT CURB

ITEM 609 - CURB (DROP)
CONC. APPROACH MAY BE POURED INTEGRAL WITH CURB WITH PRIOR C.O.C. APPROVAL.



**MODIFICATION: SIDEWALK
CROSS SLOPE MAX. 2.00%
PER CITY OF GAHANNA**

SECTION B-B WITH CURB AND GUTTER

PAR = PEDESTRIAN ACCESS ROUTE. SET PAR THROUGH APPROACH AT SIDEWALK GRADE TO AVOID RAMP OR TRANSITION. IF NOT POSSIBLE, THEN MINIMIZE TRANSITION FROM SIDEWALK TO APPROACH.

*** 6" ITEM - 608**

**** STRAIGHT CURB OR CONCRETE CURB & GUTTER.**

**CURBED ROADWAY WITH RADIUS
DRIVEWAY, NON-RESIDENTIAL**

CITY OF COLUMBUS, OHIO DEPARTMENT OF PUBLIC SERVICE DIVISION OF DESIGN AND CONSTRUCTION	STD DWG 2202 07/01/20 SHT 7 OF 14
CITY ENGINEER	

NOTE:
THE STANDARD DRAWING PAGES SHOWN ON THESE PLAN SHEETS MAY NOT INCLUDE ALL THE PAGES OF THE CITY OF COLUMBUS STANDARD DRAWING. IT IS THE INTENT THAT THESE SHOWN PAGES ARE THE NECESSARY PAGES FROM EACH STANDARD DRAWING SET TO COMPLETE THE PROPOSED CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REVIEW EACH REFERENCED STANDARD DRAWING TO VERIFY THAT NO OTHER PAGES OF THE STANDARD DRAWING IS NECESSARY AND/OR TO INCLUDED THE NECESSARY PAGES FOR CONSTRUCTION.

#	Date	Change Description

**Station 131
Concrete Repair**
475 Rocky Fork Blvd.
Gahanna, Ohio 43230
for
Mifflin Township

**300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215**
P: 614 280 8999
MOODY-ENG.COM

Dwg. Coord.: JDL Tech. Coord.: jan M-E#: 19028

STANDARD DRAWING C403

BID DOCUMENTS August 14, 2020

ALL NUMBERING BEGINS FROM THE NORTHWEST CORNER AND GOES CLOCKWISE. EACH CORNER HAS ITS SPECIFIC NUMBER THAT SHALL BE USED IF CURB RAMPS ARE IN THESE LOCATIONS.

* MEDIAN RAMPS ON THE WEST AND/OR EAST LEGS WOULD BE M1, M8, AND M4, M5 RESPECTIVELY.

INTERSECTION CURB RAMP NUMBERING SYSTEM

CITY OF COLUMBUS, OHIO
DEPARTMENT OF PUBLIC SERVICE
DIVISION OF DESIGN AND CONSTRUCTION

STD DWG
2319
07/01/20
SHT 1 OF 22

CITY ENGINEER

GENERAL NOTES, CURB RAMPS

- CURB RAMPS SHALL BE INSTALLED PER STD DWGS 2300, 2303, 2319, CMSC 608, AND DPS ADA RULES AND REGULATIONS.
- MATERIAL: THE RAMP PANEL AND FLARED SIDES SHALL BE CONCRETE.
- RAMP TYPES ARE CATEGORIZED BELOW IN TIERS BY REQUIRED ORDER OF USE. LOCATING THE RAMP AS CLOSE AS POSSIBLE TO THE INTERSECTION FOLLOWING THE CURB RAMP DESIGN BOUNDARY CONTAINED IN THE ADA RULES AND REGULATIONS IS THE FIRST PRIORITY. THE DESIGNER SHALL NOT USE A LOWER TIERED RAMP WITHOUT FIRST DETERMINING AND HAVING JUSTIFICATION THAT THE UPPER TIER RAMPS ARE NOT CONSTRUCTIBLE.

CITY OF COLUMBUS RAMP TYPE HIERARCHY

TIER 1 (THESE PERPENDICULAR RAMPS SHOULD BE UTILIZED WHENEVER POSSIBLE.)

- TYPE D
- TYPE C
- TYPE A

TIER 2 (PARALLEL RAMPS SHOULD ONLY BE USED DUE TO RIGHT OF WAY (ROW) OR OTHER SPACE CONSTRAINTS WHERE A TIER 1 RAMP CANNOT BE USED.)

- TYPE P-6 (6' OF ROW AVAILABLE)
- TYPE P-7 (7' OF ROW AVAILABLE)
- TYPE P-5 (5' OF ROW AVAILABLE)
- TYPE P-4 (4' OF ROW AVAILABLE)

TIER 3 (TIER 3 RAMPS CAN ONLY BE USED WITH WRITTEN APPROVAL BY THE CITY ENGINEER OR DESIGNEE. TIER 3 RAMPS SHALL BE IDENTIFIED IN THE DESIGN SCOPE OR APPROVAL REQUESTED BY THE DESIGNER JUSTIFYING THAT THIS RAMP TYPE IS NECESSARY.)

- TYPE J (MODIFIED ALLEY RAMP), USE SHOULD BE LIMITED DUE TO DRAINAGE CONCERNS
- RADIAL RAMPS
- SINGLE SHARED RAMPS

SPECIALTY RAMPS (SHALL ONLY BE USED FOR THE LISTED SITUATION, OR WRITTEN APPROVAL BY THE CITY ENGINEER OR DESIGNEE.)

- TYPE G - ONLY TO BE USED ON ALLEY CROSSINGS
- TYPE H - ONLY TO BE USED ON ALLEY CROSSINGS
- TYPE L-1 - ONLY FOR MEDIAN CROSSINGS
- TYPE L-2 - ONLY FOR MEDIAN CROSSINGS
- PEDESTRIAN PADS - USED FOR ACCESS TO PUSHBUTTONS WHERE THERE IS NO EXISTING SIDEWALK. THE INTENT IS TO PROVIDE ACCESS TO CROSS THE INTERSECTION IN BOTH DIRECTIONS WITHOUT ENTERING THE STREET TO ACCESS TO OTHER CROSSING. THE FOLLOWING IS THE ORDER OF PREFERENCE ON PEDESTRIAN PADS:
 - PP-1 TWO CONNECTED RAMPS WITH UTILITY STRIP
 - PP-2 TWO CONNECTED RAMPS WITH SIDEWALK AGAINST CURB
 - PP-3 USED AS SINGLE SHARED RAMP THAT CAN ACCESS BOTH CROSSWALK LEGS AND THE PUSHBUTTON
 - PP-3 USED TO ONLY ACCESS THE LEG OF THE INTERSECTION CONTROLLED BY THE PUSHBUTTON

4. RAMP RUNNING SLOPE: THE RUNNING SLOPE SHALL BE NO GREATER THAN 7.69%. THE MINIMUM SLOPE FOR ANY RAMP SHALL BE 5% AND SHOULD BE MAXIMIZED UP TO 7.69% WHENEVER POSSIBLE FOR DRAINAGE.

5. ALL JOINTS BETWEEN NEW AND EXISTING MATERIALS SHALL BE FLUSH.

6. LANDINGS:

- LANDINGS SHALL HAVE A MAXIMUM 1.56% SLOPE IN ALL DIRECTIONS FOR ALL CURB RAMP TYPES.
- A PARALLEL RAMP, CONSTRAINED ON TWO (2) SIDES, E.G., TYPE P-7, SHALL HAVE A LANDING 5-FT WIDE BY 5-FT DEEP A PARALLEL RAMP, CONSTRAINED ON ONE (1) SIDE, E.G., TYPES P-4, 5, & 6, SHALL HAVE A LANDING NO LESS THAN 4-FT MINIMUM BY 5-FT. THE 5-FT DIMENSION SHALL BE PROVIDED AS SHOWN IN THESE STANDARD DRAWINGS.

CURB RAMP GENERAL NOTES

CITY OF COLUMBUS, OHIO
DEPARTMENT OF PUBLIC SERVICE
DIVISION OF DESIGN AND CONSTRUCTION

STD DWG
2319
07/01/20
SHT 2 OF 22

- ALL PERPENDICULAR RAMPS SHALL HAVE A LANDING NO LESS THAN 4-FT MINIMUM BY 4-FT. A PERPENDICULAR RAMP THAT IS CONSTRAINED AT THE BACK OF SIDEWALK SHALL HAVE A LANDING 4-FT BY 5-FT. THE 5-FT DIMENSION SHALL BE PROVIDED IN THE DIRECTION OF RAMP RUN, AS SHOWN IN THESE STANDARD DRAWINGS.
- LANDING AT INTERSECTING SIDEWALKS - WHEREVER SIDEWALKS INTERSECT, THERE SHALL BE A LANDING.
- STREET COUNTER SLOPE: THE COUNTER SLOPE AT THE BASE OF THE RAMP SHALL BE A MAXIMUM OF 5% FOR A MINIMUM OF 2-FT.
- CLEAR SPACE: AT MARKED CROSSINGS THE RAMP AND STREET CLEAR SPACE MUST BE FULLY CONTAINED WITHIN THE MARKED CROSSWALK. AT UNMARKED CROSSINGS THE RAMP AND CLEAR MUST BE WITHIN THE CURB RAMP DESIGN BOUNDARY.
- SURFACES: RAMP, FLARE, AND LANDING SURFACES MUST BE STABLE AND SLIP RESISTANT. RAMPS SHALL BE BROOM FINISHED, TRANSVERSE TO THE DIRECTION OF TRAVEL. GRATINGS, VALVE BOXES, AND UTILITY BOXES SHALL NOT BE LOCATED IN THE RAMP OR LANDING.
- DETECTABLE WARNINGS: DETECTABLE WARNINGS SHALL BE INSTALLED ACCORDING TO THESE STANDARD DRAWINGS, CMSC 608, AND DPS ADA RULES AND REGULATIONS.
- CURB WALLS MAY BE NECESSARY FOR CURB RAMP CONSTRUCTION WHERE SPACE RESTRICTION DO NOT ALLOW FOR GRADING WITHIN ROW AT A 3:1 SLOPE OR FLATTER. THE MAXIMUM HEIGHT OF 6" THICK, NON-REINFORCED CURB WALL IS 12" ABOVE THE SIDEWALK SURFACE. THE BURIED PORTION OF THE NON-REINFORCED CURB WALL SHALL BE EQUAL TO THE EXPOSED REVEAL. RETAINING EMBANKMENT TO A HEIGHT OF MORE THAN 12" ABOVE THE SIDEWALK WILL REQUIRE A DESIGNED RETAINING WALL OR CELLULAR WALL.
- RAMPS MUST BE CONSTRUCTED TO ALLOW FOR POSITIVE DRAINAGE. THE RAMP ITSELF SHALL NOT HOLD EXCESS WATER AND THE ADJACENT PAVEMENT SHALL NOT BE ALTERED TO INHIBIT FLOW OF WATER. IF AN EXISTING CONSTRAINT PREVENTS BUILDING THE RAMP AND ADJACENT AREA WITH POSITIVE DRAINAGE IT MUST BE BROUGHT TO THE CITY'S ATTENTION PRIOR TO CONSTRUCTION AND FINAL DESIGN APPROVED BY THE CITY.

CURB RAMP GENERAL NOTES

CITY OF COLUMBUS, OHIO
DEPARTMENT OF PUBLIC SERVICE
DIVISION OF DESIGN AND CONSTRUCTION

STD DWG
2319
07/01/20
SHT 3 OF 22

DA	Wn	VOLUME OF EXCAVATION CU.YD./L.F./IN. OF DEPTH
6	24	.0062
8	27	.0069
10	30	.0077
12	32	.0082
15	36	.0093
18	40	.0103
21	44	.0113
24	48	.0123
27	52	.0134
30	57	.0146
33	61	.0157
36	64	.0164
42	71	.0182
48	78	.0209
54	87	.0223
60	96	.0247
66	105	.0270
72	116	.0298
78	123	.0316
84	130	.0334
90	136	.0349
96	143	.0368
102	151	.0388
108	160	.0411

NOTES:

- ALL DIMENSIONS ARE EXPRESSED IN INCHES.
4" FOR 6" TO 27" PIPE
6" FOR 30" TO 108" PIPE
- ON SANITARY SEWER CONSTRUCTION TRENCH DAMS ARE REQUIRED FROM THE BOTTOM OF THE STONE FOUNDATION AS SPECIFIED UNDER 911.04.

CITY OF COLUMBUS, OHIO
DEPARTMENT OF PUBLIC UTILITIES
DIVISION OF SEWERAGE & DRAINAGE

STONE FOUNDATION
FOR 6" TO 108"
DIAMETER PIPE

STANDARD DRAWING
AA-S154
REVISED 7/9/12
PAGE 1

FOR ONSITE RAMP AT TOP OF DRIVE

CURB RAMP TYPE C

CITY OF COLUMBUS, OHIO
DEPARTMENT OF PUBLIC SERVICE
DIVISION OF DESIGN AND CONSTRUCTION

STD DWG
2319
07/01/20
SHT 5 OF 22

FOR RAMPS WITHIN RIGHT-OF-WAY

CURB RAMP TYPE H

CITY OF COLUMBUS, OHIO
DEPARTMENT OF PUBLIC SERVICE
DIVISION OF DESIGN AND CONSTRUCTION

STD DWG
2319
07/01/20
SHT 8 OF 22

NOTE:
THE STANDARD DRAWING PAGES SHOWN ON THESE PLAN SHEETS MAY NOT INCLUDE ALL THE PAGES OF THE CITY OF COLUMBUS STANDARD DRAWING. IT IS THE INTENT THAT THESE SHOWN PAGES ARE THE NECESSARY PAGES FROM EACH STANDARD DRAWING SET TO COMPLETE THE PROPOSED CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REVIEW EACH REFERENCED STANDARD DRAWING TO VERIFY THAT NO OTHER PAGES OF THE STANDARD DRAWING IS NECESSARY AND/OR TO INCLUDED THE NECESSARY PAGES FOR CONSTRUCTION.

#	Date	Change Description

Station 131 Concrete Repair
475 Rocky Fork Blvd.
Gahanna, Ohio 43230
for
Mifflin Township

300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215
P: 614 280 8999
MOODY-ENG.COM

PROGRESS DRAWING
NOT FOR CONSTRUCTION

Dwg. Coord.: JDL Tech. Coord.: jan M-E#: 19028

STANDARD DRAWING C404

BID DOCUMENTS August 14, 2020

**STANDARD CATCH BASIN (21\"/>

STANDARD DRAWING AA-S133A
REVISED 8/8/14
PAGE 1**

**STANDARD CATCH BASIN (24\"/>

STANDARD DRAWING AA-S134A
REVISED 8/8/14
PAGE 1**

LIGHT DUTY GRATE AND ANGLE FRAME FOR STANDARD CATCH BASIN

STANDARD DRAWING AA-S139
REVISED 12/6/13
PAGE 1

HEAVY DUTY GRATE AND ANGLE FRAME FOR STANDARD CATCH BASIN

STANDARD DRAWING AA-S141
REVISED 12/6/13
PAGE 1

**TYPE I BEDDING FOR FLEXIBLE SEWER PIPE 6\"/>

STANDARD DRAWING AA-S149
REVISED 10/15/14
PAGE 1**

TRENCH INSTALLATION WITH MAXIMUM WIDTH SPECIFIED

STANDARD DRAWING AA-S150
REVISED 7/9/12
PAGE 1

**TYPE I BEDDING FOR RIGID SEWER PIPE 6\"/>

STANDARD DRAWING AA-S151
REVISED 7/9/12
PAGE 1**

NOTE:
THE STANDARD DRAWING PAGES SHOWN ON THESE PLAN SHEETS MAY NOT INCLUDE ALL THE PAGES OF THE CITY OF COLUMBUS STANDARD DRAWING. IT IS THE INTENT THAT THESE SHOWN PAGES ARE THE NECESSARY PAGES FROM EACH STANDARD DRAWING SET TO COMPLETE THE PROPOSED CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REVIEW EACH REFERENCED STANDARD DRAWING TO VERIFY THAT NO OTHER PAGES OF THE STANDARD DRAWING IS NECESSARY AND/OR TO INCLUDED THE NECESSARY PAGES FOR CONSTRUCTION.

#	Date	Change Description

Station 131 Concrete Repair
475 Rocky Fork Blvd.
Gahanna, Ohio 43230
for Mifflin Township

MOODY ENGINEERING
300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215
P: 614 280 8999
MOODY-ENG.COM

Dwg. Coord.: JDL Tech. Coord.: jan
M-E#: 19028

STANDARD DRAWING C405

BID DOCUMENTS August 14, 2020



August 7, 2020

Mifflin Township

RE: Project 475-485 Rocky Fork Blvd

Dear Mifflin Township:

The following comments were generated from the review of the submitted plans and documents for the referenced project. For the next submittal, please provide a disposition of comments, revised plans, and/or other information as requested for further review. The disposition of comments needs to include both the original comment and the appropriate response. If desired, these comments can be emailed. Re-submitted plans that do not include the disposition of comments document will not be reviewed and will be returned to you.

Fire District

1. The current and proposed parking lots has a driving lane the exceeds the 20 foot unobstructed width requirement. This complies with Section 503.2.1 of the 2017 Ohio Fire Code

503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with paragraph (C)(6)(503.6) of this rule, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

2. The fire inspection bureau shall make comments to the building official on the proposed building entrance when construction plans have been submitted for review.

Community Development

3. Chapter 1163.08(c) requires landscaping based on the total size of the parking lot. This would only affect 485 Rocky Fork since this parking lot is expanding. The code requires landscape islands equal to 5% of the total parking lot. One tree per 100 square feet of landscaping area is required. Please revise the plans accordingly. *Landscape islands will be added based on the area of the new parking lot.*
4. Chapter 1154.03(a)(7) requires parking areas to be setback a minimum of 15'. The new parking at 485 Rocky Fork appears to be located within the required setback. The site needs to be revised accordingly, a variance requested, or the two properties combined. Staff has no objections to a variance. *Per 1123.45 Parking space is defined as "the required for parking one automobile, not including passageways." The parking spaces for this development are on the other side of the drive aisle (passageway) there we meet the required 15' setback.*

Engineering

5. No comments at this time. Engineering staff is currently reviewing a full engineering plan submittal. *Engineering comments have been addressed and are ready to be returned to the Engineering Dept.*

Parks

6. No Comment per Julie Prederi

Page 2 of 2
August 7, 2020
Re: Project 475-485 Rocky Fork Blvd
475-485 Rocky Fork Blvd

Building

7. The parking area will be required to comply with the Ohio Building Code and ICC A117.1 for handicapped accessibility.

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker
Administrative Assistant



October 20, 2020

Mifflin Township

RE: Project 475-485 Rocky Fork Blvd Design Review

Dear Mifflin Township:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

Fire District

1. The current and proposed parking lots has a driving lane the exceeds the 20 foot unobstructed width requirement. This complies with Section 503.2.1 of the 2017 Ohio Fire Code

503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with paragraph (C)(6)(503.6) of this rule, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

2. The fire inspection bureau shall make comments to the building official on the proposed building entrance when construction plans have been submitted for review.

Engineering

3. No comments at this time. Engineering staff is currently reviewing a full engineering plan submittal.

Parks

4. No Comment per Julie Prederi

Building

5. The parking area will be required to comply with the Ohio Building Code and ICC A117.1 for handicapped accessibility.

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker
Administrative Assistant

PLANNING AND DEVELOPMENT STAFF REPORT

Request Summary

A design review application has been filed in order to make modest changes to the parking and access areas for properties located at 475 and 485 Rocky Fork Blvd. Both properties are zoned Restricted Institutional District (RID) and owned and operated by Mifflin Township.

Chapter 1163.04 requires a design review application and Planning Commission approval to virtually all changes to a parking lot. The requested changes are consistent with code requirements and no variances are necessary.

Design Review

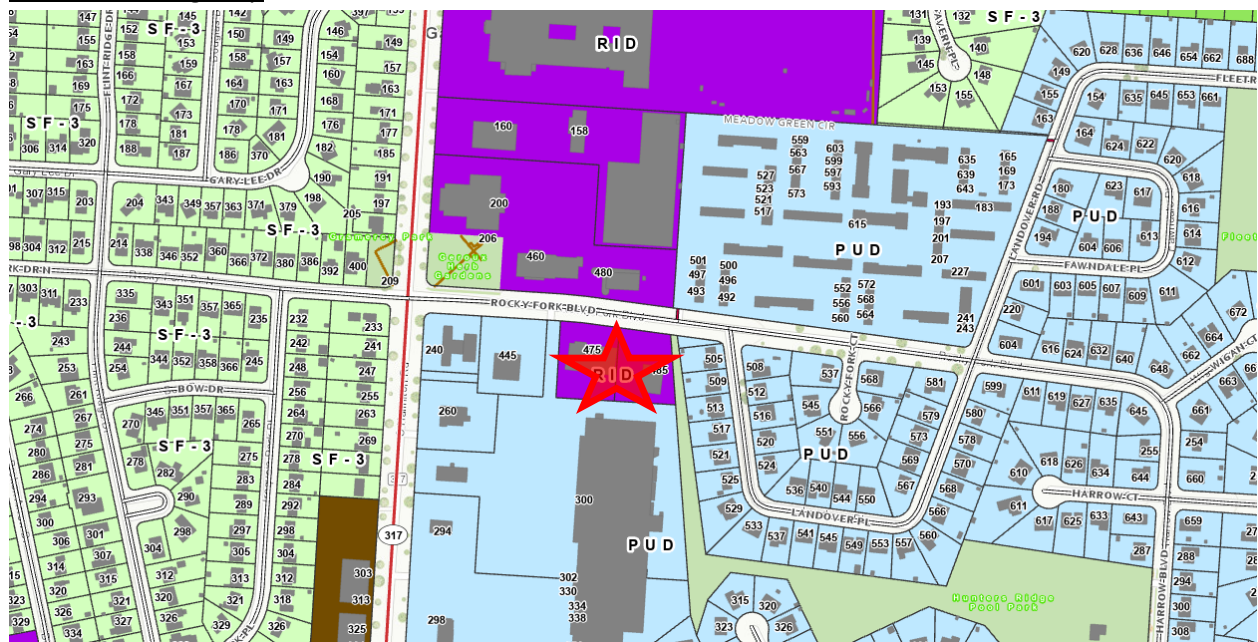
General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect and enhance the physical surroundings of the Design Review District.

Recommendation

Staff recommends approval of this request as it meets all applicable code requirements.

Location/Zoning Map





Respectfully Submitted By:
Michael Blackford, AICP
City Planner/Zoning Administrator