

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION

PROPERTY INFORMATION		
Project/Property Address:		Project Name/Business Name:
Parcel #: 025-013793	Zoning: <i>(see Map)</i>	Acreage:

PLAN SPECIFICATIONS	
Application Type: <i>(check all that apply)</i>	<input type="checkbox"/> Site Plan <input type="checkbox"/> Landscaping <input type="checkbox"/> Building Design <input type="checkbox"/> Demolition <i>Olde Gahanna only</i> <input type="checkbox"/> Other
Project Description:	

APPLICANT INFORMATION	
Applicant Name <i>(Primary Contact):</i>	Applicant Address:
Applicant E-mail:	Applicant Phone:
Business Name <i>(if applicable):</i>	

ADDITIONAL CONTACTS	
Please list all applicable contacts for correspondence	
Name(s)	Contact Information (phone/email)
Property Owner Name: <i>(if different from Applicant)</i>	Property Owner Contact Information (phone no./email):

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature: *Katie Getz* Date: _____

ADDITIONAL INFORMATION ON NEXT PAGE....

INTERNAL
USE

Zoning File No. <u>DR-0471-2022</u>

RECEIVED: <u>KAW</u>
DATE: <u>12-16-22</u>

PAID: <u>200.00</u>
DATE: <u>12-16-22</u>

**Updated
Apr 2022**

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS - SUBMISSION REQUIREMENTS

TO BE COMPLETED/SUBMITTED BY APPLICANT:

1. Review Gahanna Code Section 1197 (visit www.municode.com)
2. Materials List (see page 3) – does not apply to demolition applicants
3. Authorization Consent Form Complete & Notarized (see page 4)
4. Application & all supporting documents submitted in digital format
5. Application & all supporting documents submitted in hardcopy format
6. Application fee paid (in accordance with the Building & Zoning Fee Schedule)
7. Color rendering(s) of the project in plan/perspective/or elevation
8. One (1) copy 24"x36" or 11"x17" prints of the plans
Building Construction, Exterior Remodeling, and Additions (Including Parking Lots and Landscaping)
1. SITE PLAN that includes the following: (include: scale, north arrow, & address) if applicable
- All property & street pavement lines
- Property size
- Proposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent streets
- Location of all existing and proposed buildings on the site
- Location of all existing & proposed exterior lighting standards
- Breakdown of parking spaces required & spaces provided (see Gahanna Code Section 1163)
- Provide lot coverage breakdown of building & paved surface areas
2. LANDSCAPE PLAN (including plant list)
- Existing landscaping that will be retained & proposed landscaping shall be differentiated & shown on the plan. The type, size, number, & spacing of all plantings & other landscape features must be illustrated
- Designation of required buffer screens (if any)
- Interior landscaping breakdown for paved surface (see Gahanna Code Section 1163)
3. ELEVATIONS from all sides
- Fenestration, doorways, & all other projecting & receding elements of the building exterior
4. LIGHTING STANDARD DRAWING that includes the following: (exterior only)
- All sizing specifications
- Information on lighting intensity (no. of watts, iso foot candle diagram)
- Materials, colors, & manufacturer's cut sheet
5. OPTIONAL REQUIREMENTS AT THE DISCRETION OF PLANNING COMMISSION:
- Scale model
- Section profiles
- Perspective drawing
Demolition or Removal of Existing Structures Requirements
1. ONE OR MORE OF THE FOLLOWING CONDITIONS MUST EXIST:
- That the building contains no features of special architecture or is not a historical building or culturally significant or is not consistent in design & style with other structures within the district
- That there exists no viable economic use for the building in its current state or as it might be restored or that there is not a feasible and prudent alternative to demolition and that the approval of the demolition is necessary for the preservation and enjoyment of substantial property rights
- That the applicant has a definite plan for redevelopment of the site which meets the standards of this Code and the proposed redevelopment will not materially affect adversely the health or safety of persons residing or working in the district where the demolition will occur and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood

MATERIAL LIST			
<i>NOT REQUIRED FOR DEMOLITION</i>			
ITEM	MATERIAL TYPE	COLOR NAME	COLOR NUMBER
Facade			
Facade			
Facade			
Awnings			
Lighting			
Roofing			
Trim			
Other (please specify)			
Other (please specify)			
Other (please specify)			

PLEASE NOTE:

- The Public Hearing will not occur until the City of Gahanna reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.
- The application expires if no action is taken 6 months from the date of the last staff comment letter.

AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

PROPERTY OWNER

IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. ^{Applicant is responsible for} I agree to be bound by all terms and agreements made by the applicant/representative.

ROMANY ASSOCIATES, LLC and M.L.F.O., LLC and DUKE PROPERTIES, LLC

By: Equity Management Group, Inc., Manager ^(property owner name printed)

Beta Collier, President
(property owner signature)

11/04/22
(date)

Subscribed and sworn to before me on this 4th day of November, 2022.

State of Kentucky County of Fayette

Notary Public Signature: Megan L Bayer



Megan L. Bayer
NOTARY PUBLIC
State at Large, Kentucky
ID # 611402
My Commission Expires
November 17, 2022

Applicant/Property Owner/Representative

AGREEMENT TO COMPLY AS APPROVED As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

AUTHORIZATION TO VISIT THE PROPERTY I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described.

APPLICATION SUBMISSION CERTIFICATION I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

Katie Getz

(applicant/representative/property owner name printed)

Katie Getz
(applicant/representative/property owner signature)

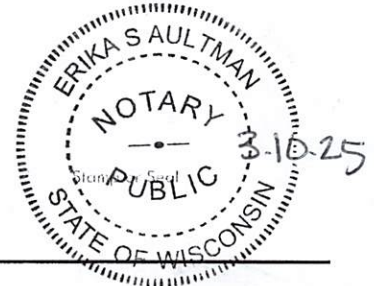
12/14/2022

(date)

Subscribed and sworn to before me on this 14th day of December, 2022.

State of Wisconsin County of Iowa

Notary Public Signature: Erika S Aultman



GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE OH DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES' SPECIFICATIONS AND REQUIREMENTS.
3. THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS QUALITY LEVEL "D" UNLESS OTHERWISE NOTED.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING ALL REQUIRED GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED.
10. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES.
11. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS.
13. SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER.

EROSION CONTROL MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION AS REQUIRED BY ALL JURISDICTIONS UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A CERTIFIED PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
1. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.
3. THE CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
4. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION.
5. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

TYPICAL OWNER/ENGINEER OBSERVATIONS

CONTRACTOR SHALL NOTIFY OWNER AND/OR ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

- PRE-CONSTRUCTION MEETING, SUBGRADE PREPARATION, BASE INSTALLATION ASPHALT INSTALLATION, UNDERGROUND PIPING AND UTILITIES INSTALLATION, INSTALLATION OF STRUCTURES, CHECK VALVES, HYDRANTS, METERS, ETC., SIDEWALK INSTALLATION, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES

EROSION CONTROL NOTES

- 1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF OH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE.
4. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS.
5. TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN SHALL BE INITIATED AS SOON AS IS PRACTICABLE.
13. ALL STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB.
15. EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT.
16. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THIS PROJECT.
17. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT, THE EROSION CONTROL PLAN WILL HAVE TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.

PAVING AND STRIPING NOTES

- 1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR OH/DOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D) AND CITY STANDARDS.
3. CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, ROADWAY LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AS SHOWN ON THE PLANS.
4. ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE CURB.
5. THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
6. ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.
7. THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE.
8. CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER FOLLOWED BY A COAT OF GLASS BEADS AS APPLICABLE PER THE PROJECT DOCUMENTS.
9. ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
10. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A). GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS.
11. MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

GRADING AND DRAINAGE NOTES

- 1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL ADJUST BMP'S AS NECESSARY AND REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
3. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS SO THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO NEW OR EXISTING DRAINAGE OUTLETS.
4. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
5. BACKFILL FOR UTILITY LINES SHALL BE PLACED PER DETAILS, STANDARDS, AND SPECIFICATIONS SO THAT THE UTILITY WILL BE STABLE.
6. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF 4" OF TOPSOIL AT COMPLETION OF WORK.
7. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING.
8. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
9. THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS.
11. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO OH/DOT STANDARDS.
12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL.
14. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING.
15. THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS.
16. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS AND OH/DOT SPECIFICATION.
17. ALL CONCRETE/ASPHALT SHALL BE INSTALLED PER GEOTECH REPORT, CITY OF GAHANNA AND OH/DOT SPECIFICATIONS.
18. SPOT ELEVATIONS ARE TO FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
19. LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED ON THE PLAN.
20. IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.
21. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.
22. BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
23. ALL PROPOSED GRADES ONSITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS.
24. ADHERE TO ALL TERMS AND CONDITIONS AS NECESSARY IN THE GENERAL N.P.D.E.S. PERMIT AND STORMWATER POLLUTION PREVENTION PLAN FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
25. ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
26. CONTRACTOR SHALL ENSURE MINIMUM GRADES ARE MET WITHIN PAVED AREAS, 1.2% FOR ASPHALT PAVING AND 0.6% FOR CONCRETE PAVING.

THIRD PARTY TEST REPORTS REQUIRED

- TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:
• DENSITY TEST REPORTS
• BACTERIOLOGICAL TESTS OF WATER SYSTEM
• PRESSURE TEST OF WATER/SEWER
• LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
• ANY OTHER TESTING REQUIRED BY THE AGENCY/MUNICIPALITY

PRELIMINARY - NOT FOR CONSTRUCTION

STARBUCKS #10057 - MORSE & HAMILTON PREPARED FOR STARBUCKS

SHEET NUMBER C100

GENERAL NOTES

Table with 4 columns: KHA PROJECT #60924029, DATE 07/27/2022, SCALE AS SHOWN, DESIGNED BY SJS, DRAWN BY SJS, CHECKED BY MTL.

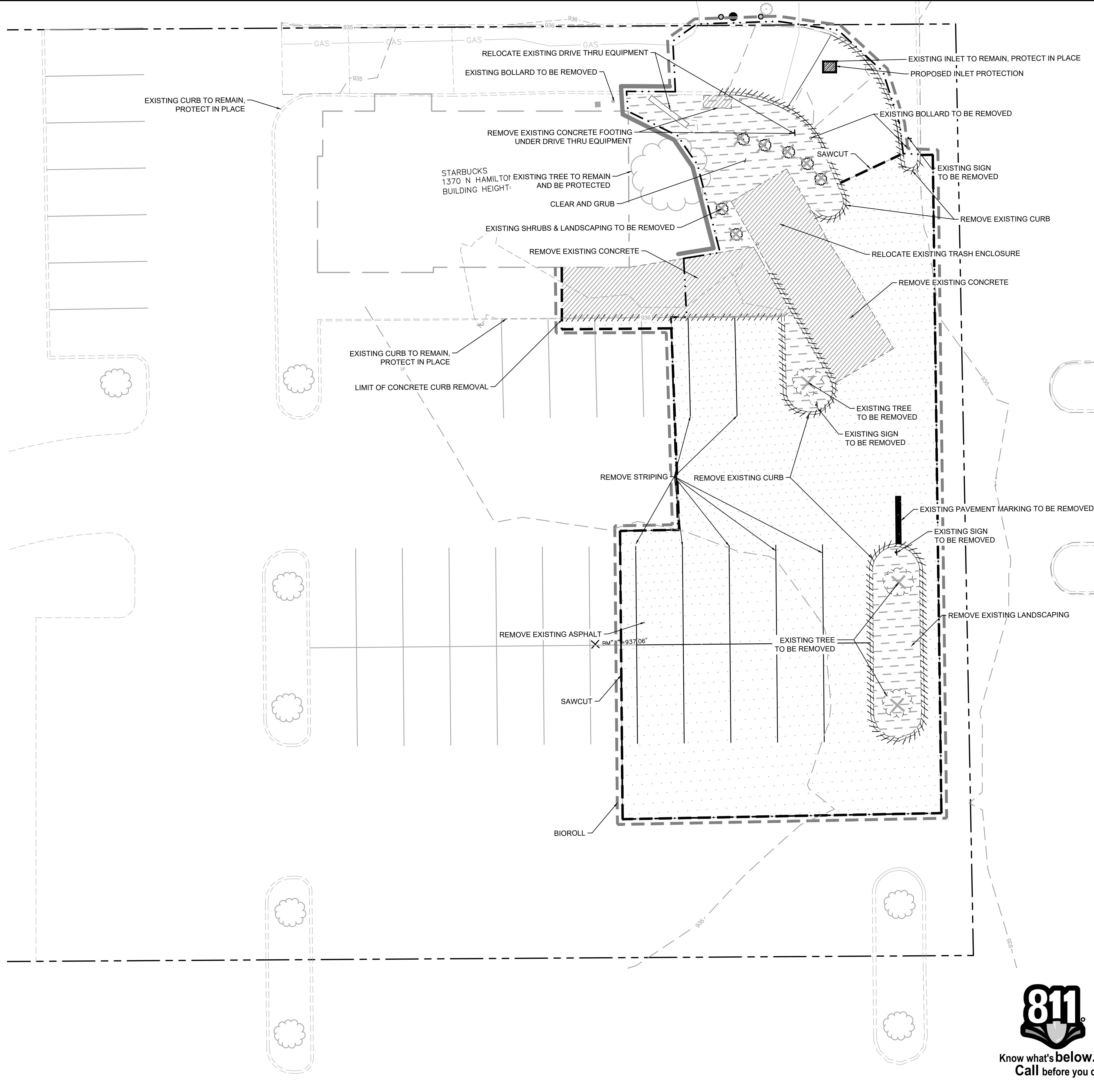


Ryan Grassly



2022 KIMLEY-HORN AND ASSOCIATES, INC. 7965 N HIGH STREET, SUITE 200, COLUMBUS, OH 43235 PHONE: 641-472-8830 WWW.KIMLEY-HORN.COM

Table with 3 columns: No., REVISIONS, DATE.



DEMOLITION PLAN NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, WALLS, LINES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PRECEDING WITH THE WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH COLUMBUS, FRANKLIN COUNTY AND OHIO DOT.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY WATER DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF COLUMBUS DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- REFER TO SURVEY FOR ALL EXISTING INVERT AND RIM ELEVATIONS.
- ALL UTILITIES SHOWN ARE EXISTING UTILITIES.
- IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH ALL STATE OF OHIO REQUIREMENTS.
- IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAIN TILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAIN TILE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.

EROSION CONTROL PLAN NOTES

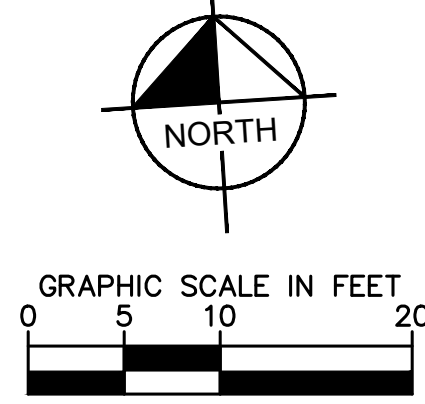
- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
- THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
- WITHIN TWO WEEKS (14 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
- ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
- REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
- THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
- IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

SEQUENCE OF CONSTRUCTION:

- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAV/DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:
- INSTALL INLET PROTECTION AT EXISTING STORMWATER CULVERTS.
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1). CONCRETE WASHOUT PIT (1) AND INSTALL SILT FENCE.
 - PREPARE TEMPORARY PARKING AND STORAGE AREA.
 - CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT TRAPS.
 - PERFORM CLEARING AND GRUBBING OF THE SITE. PERFORM MASS GRADING, ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
 - START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
 - TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION. DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY NPDES AND/OR CITY OF GAHANNA GRADING PERMIT.

LEGEND

	PROPERTY LINE		EXISTING SIGN
	REMOVE BITUMINOUS SURFACE		EXISTING FLARED END SECTION
	REMOVE CONCRETE SURFACE		EXISTING STORM MANHOLE
	REMOVE BUILDING		EXISTING STORM CATCH-BASIN
	CLEARING & GRUBBING		EXISTING GAS METER
	FULL DEPTH SAWCUT		EXISTING POST INDICATOR VALVE
	REMOVE TREE		EXISTING WELL
	REMOVE CONCRETE CURB & GUTTER		EXISTING AUTOMATIC SPRINKLER
	REMOVE UTILITY LINES		EXISTING ROOF DRAIN
	FILL & ABANDON UTILITY LINES		EXISTING GATE VALVE
	LIMITS OF CONSTRUCTION		EXISTING HYDRANT
	EXISTING OVERHEAD POWER LINE		EXISTING METAL COVER
	EXISTING CHAINLINK FENCE		EXISTING ELECTRICAL METER
	EXISTING J-BARRIER		EXISTING AIR CONDITIONER
	EXISTING RETAINING WALL		EXISTING TELEPHONE MANHOLE
	EXISTING SANITARY SEWER		EXISTING CABLE BOX
	EXISTING STORM SEWER		EXISTING GUY WIRE
	EXISTING WATERMAIN		EXISTING POWER POLE
	EXISTING GAS MAIN		EXISTING LIGHT POLE
	EXISTING UNDERGROUND TELEPHONE		
	EXISTING UNDERGROUND CABLE		
	EXISTING CONTOUR		
	EXISTING CURB & GUTTER		
	EXISTING TREE		
	EXISTING TREE LINE		
	INLET PROTECTION		
	LIMITS OF DISTURBANCE		
	BIOROLL		



PRELIMINARY - NOT FOR CONSTRUCTION

STARBUCKS #10057 - MORSE & HAMILTON
PREPARED FOR
STARBUCKS

GAHANNA

2022 KIMLEY-HORN AND ASSOCIATES, INC.
7905 N HIGH STREET, SUITE 200, COLUMBUS, OH 43235
PHONE: 614-72-8830
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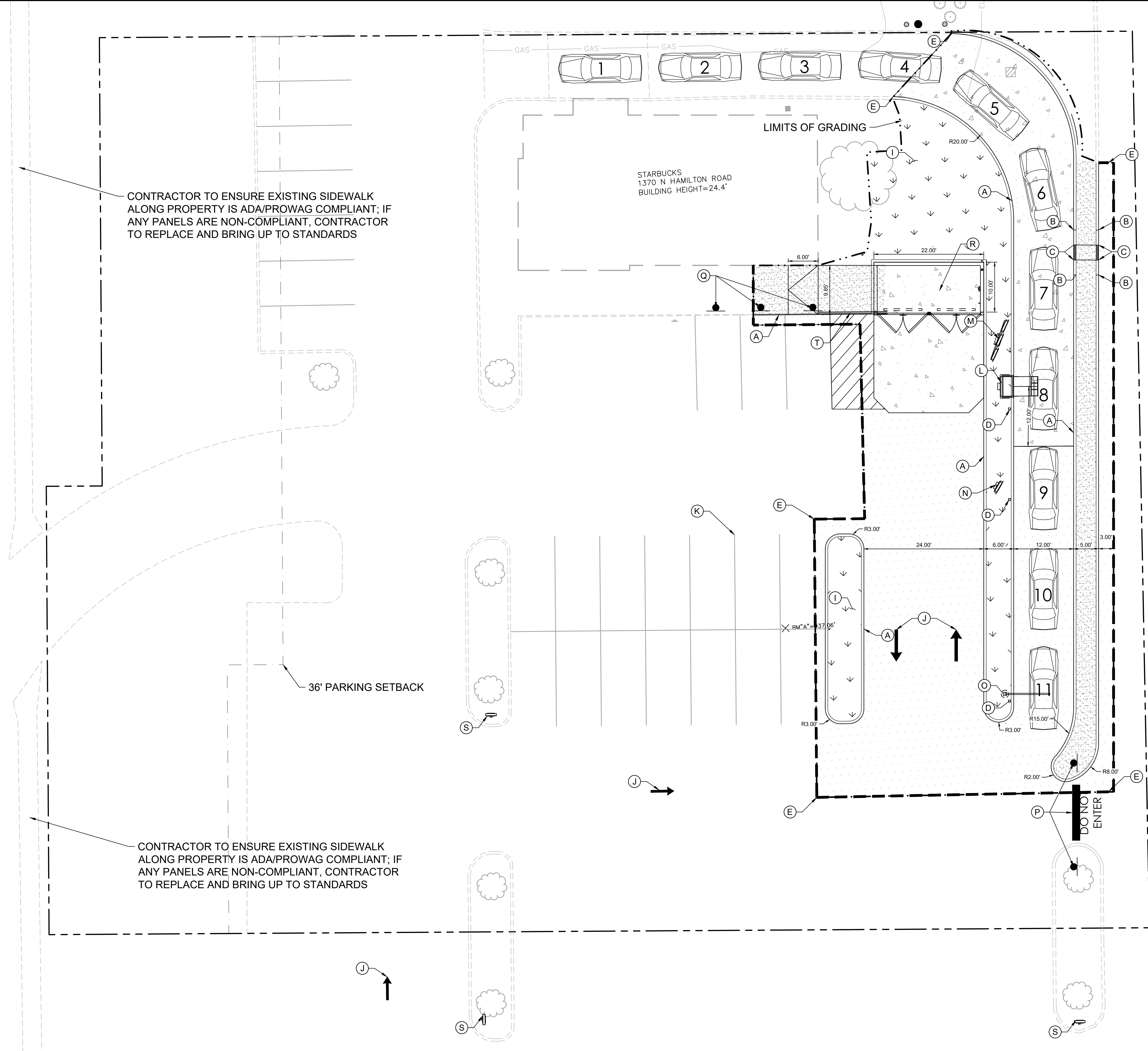
KHA PROJECT	160924029	DATE	07/27/2022	SCALE	AS SHOWN	DESIGNED BY	SJS	DRAWN BY	BSK	CHECKED BY	MTL
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Ryan Grassly

REVISIONS	DATE

SHEET NUMBER
C200

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CONTRACTOR TO ENSURE EXISTING SIDEWALK ALONG PROPERTY IS ADA/PROWAG COMPLIANT; IF ANY PANELS ARE NON-COMPLIANT, CONTRACTOR TO REPLACE AND BRING UP TO STANDARDS

CONTRACTOR TO ENSURE EXISTING SIDEWALK ALONG PROPERTY IS ADA/PROWAG COMPLIANT; IF ANY PANELS ARE NON-COMPLIANT, CONTRACTOR TO REPLACE AND BRING UP TO STANDARDS

LEGEND

	PROPERTY LINE
	SETBACK LINE
	LIMITS OF GRADING
	PROPOSED CURB AND GUTTER
	PROPOSED STANDARD DUTY ASPHALT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK

PROPERTY SUMMARY

STARBUCKS #10057 - MORSE & HAMILTON	
TOTAL PROPERTY AREA	38,365 SF (0.88 AC)
EXISTING IMPERVIOUS AREA	30,404 SF (0.70 AC)
EXISTING PERVIOUS AREA	7,961 SF (0.18 AC)
PROPOSED IMPERVIOUS AREA	30,122 SF (0.69 AC)
PROPOSED PERVIOUS AREA	8,243 SF (0.19 AC)
TOTAL DISTURBED AREA	7,937 SF (0.18 AC)

ZONING SUMMARY

EXISTING ZONING	CC-2: COMMUNITY COMMERCIAL MODIFIED
PARKING SETBACKS	SIDE/REAR = N/A RIGHT OF WAY = 36'

BUILDING DATA SUMMARY

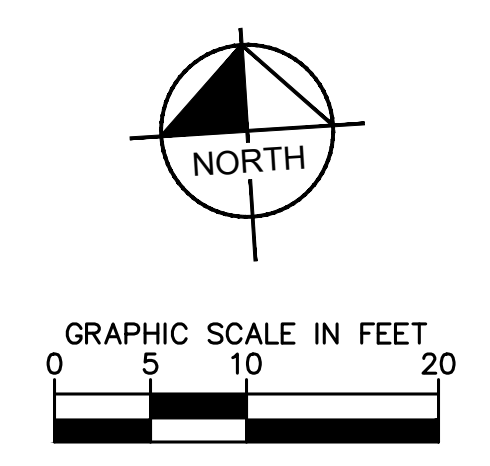
AREAS	
BUILDING A AREA	1,856 SF
PERCENT OF TOTAL PROPERTY AREA	4.8%

PARKING

REQUIRED PARKING	35 SPACES @ 1/50 SF
PROPOSED PARKING	47 SPACES @ 25.3 RATIO
ADA STALLS REQUIRED / PROVIDED	2 STALLS / 2 STALLS

KEYNOTE LEGEND

(A)	6" CONCRETE CURB
(B)	TRANSITION CURB, SEE DETAILS
(C)	3" CURB CUT
(D)	NON-ILLUMINATED BOLLARD (REFER TO DETAILS)
(E)	MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
(F)	EXISTING ACCESSIBLE PARKING AREA
(G)	AREA STRIPED WITH 4" SYSL @ 45° 2' O.C.
(H)	PEDESTRIAN CROSSWALK
(I)	LANDSCAPE AREA - SEE LANDSCAPE PLANS
(J)	PROPOSED DIRECTIONAL PAVEMENT MARKINGS
(K)	PROPOSED PARKING STALL STRIPING
(L)	RELOCATED DIGITAL ORDER SCREEN AND CONTROL BOX, SEE ARCH PLANS FOR MORE DETAILS
(M)	RELOCATED 5 - PANEL MENU BOARD, SEE ARCH PLANS FOR MORE DETAILS
(N)	RELOCATED PRE-MENU BOARD, SEE ARCH PLANS FOR MORE DETAILS
(O)	CLEARANCE BAR, SEE ARCH PLANS FOR MORE DETAILS
(P)	"DO NOT ENTER" SIGNAGE
(Q)	MOBILE ORDER PICKUP SIGNAGE
(R)	RELOCATED TRASH ENCLOSURE
(S)	DIRECTIONAL SIGNAGE
(T)	FLUSH CURB (REFER TO GRADING PLAN)



PRELIMINARY - NOT FOR CONSTRUCTION

STARBUCKS #10057 - MORSE & HAMILTON PREPARED FOR STARBUCKS

GAHANNA OH

SHEET NUMBER C300

KHA PROJECT: 160924029

DATE: 07/27/2022

SCALE: AS SHOWN

DESIGNED BY: SJS

DRAWN BY: BSK

CHECKED BY: MTL

Kimley»Horn

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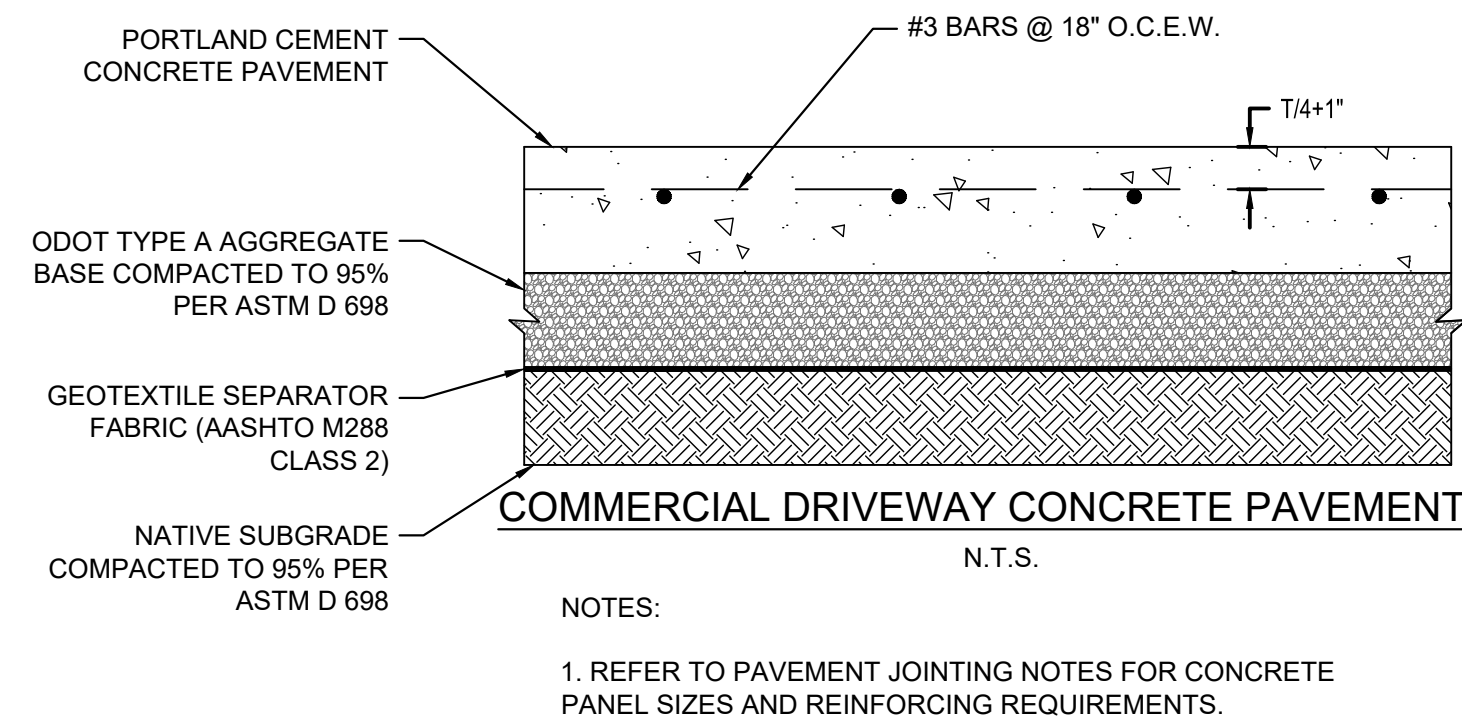
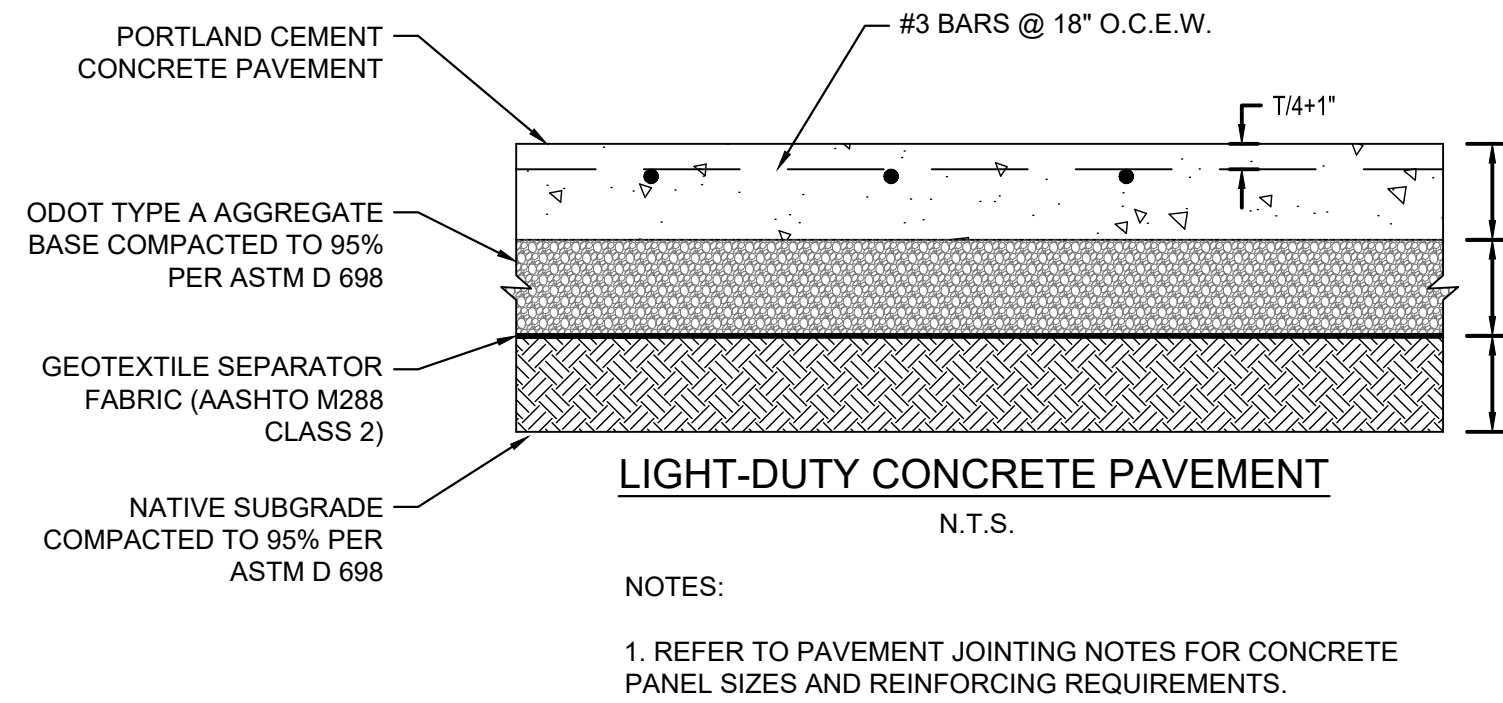
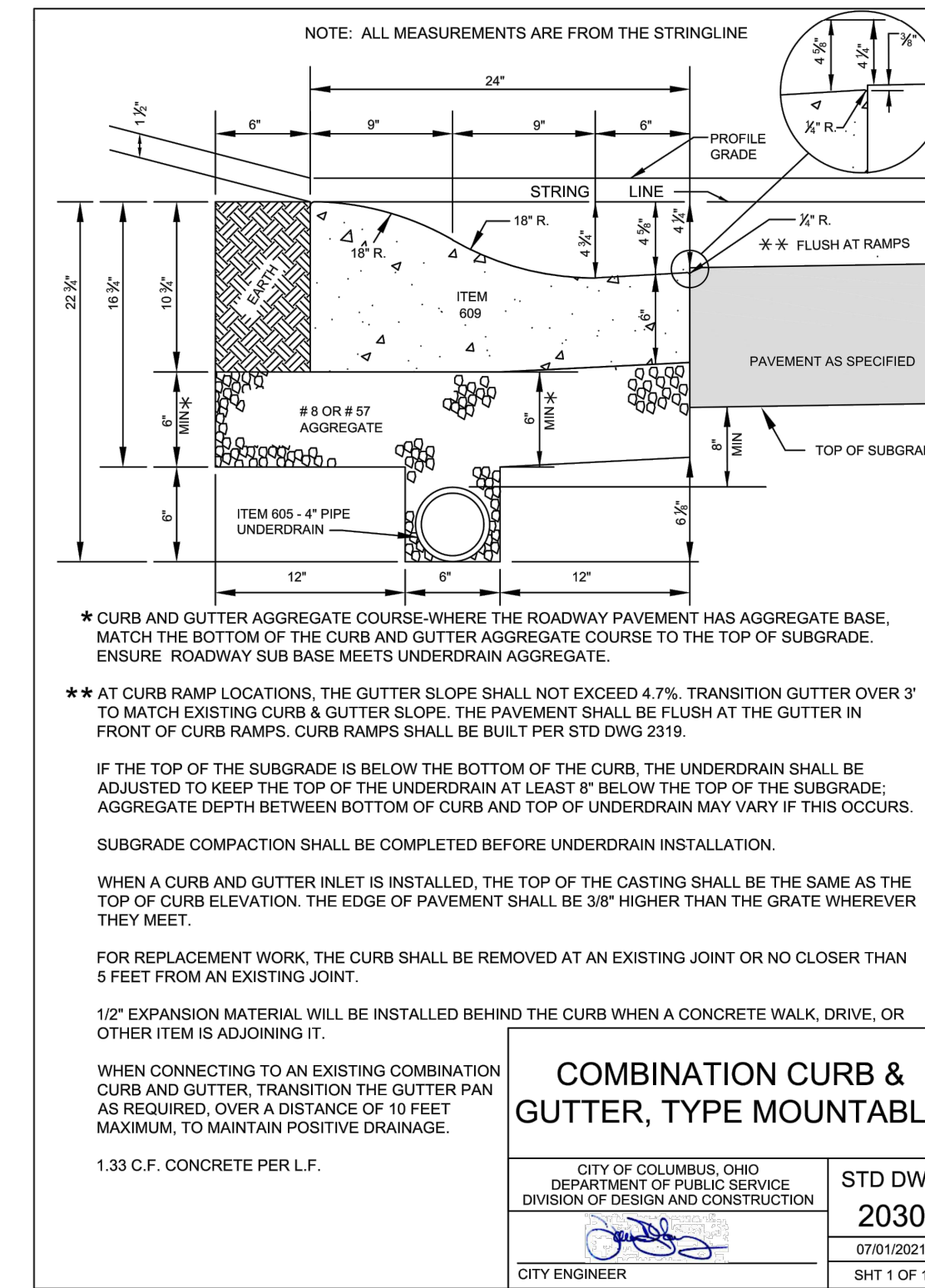
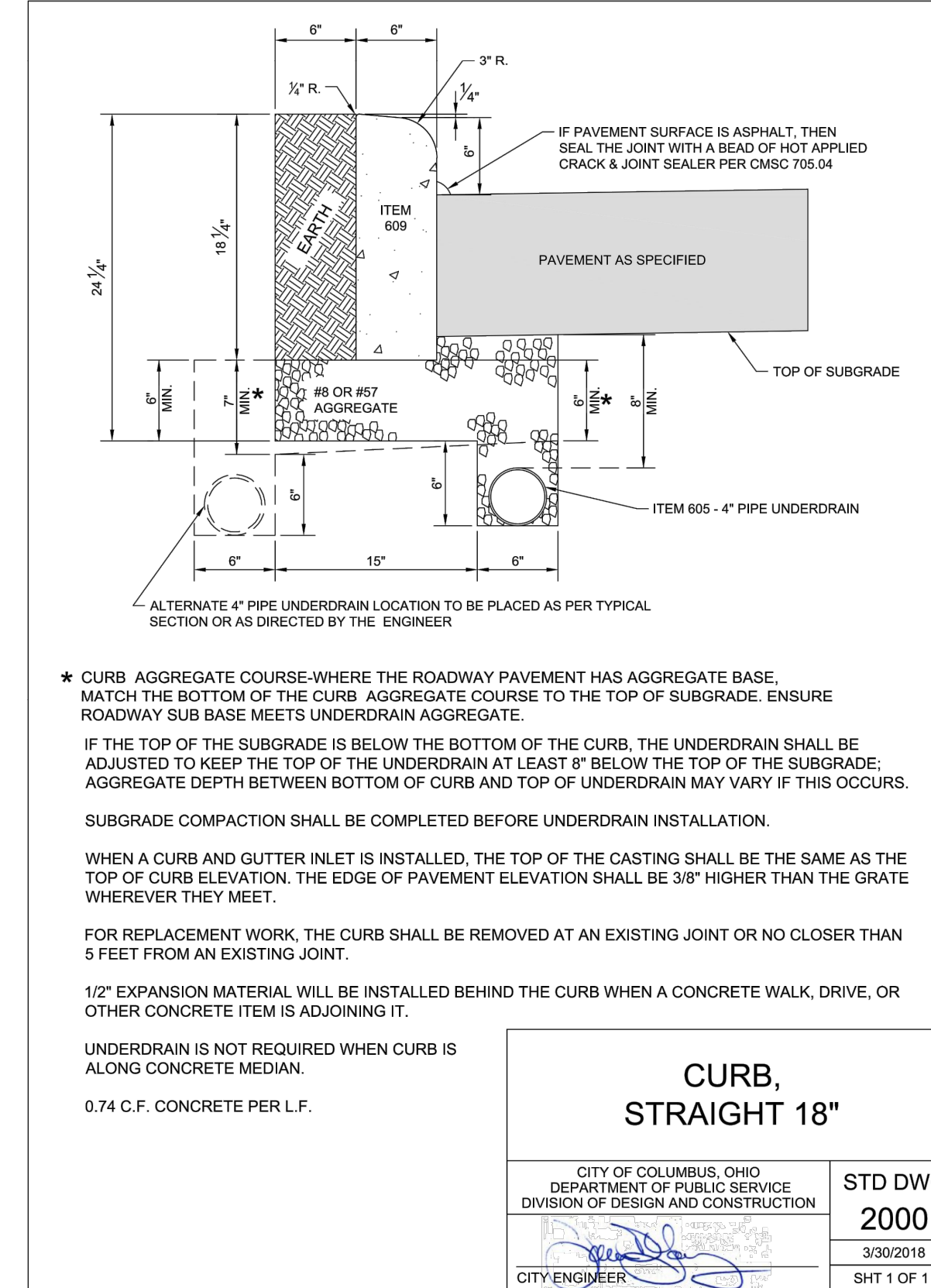
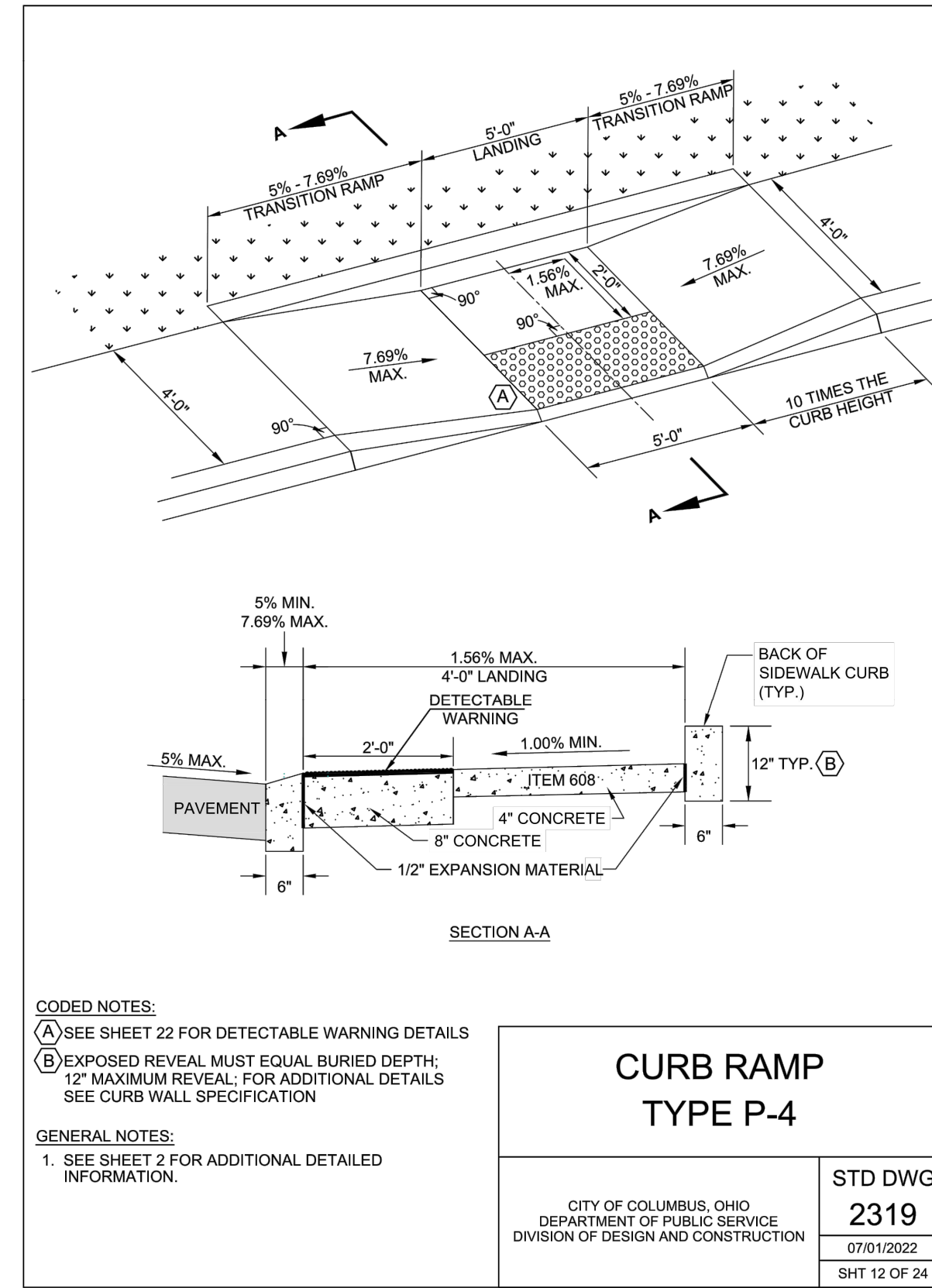
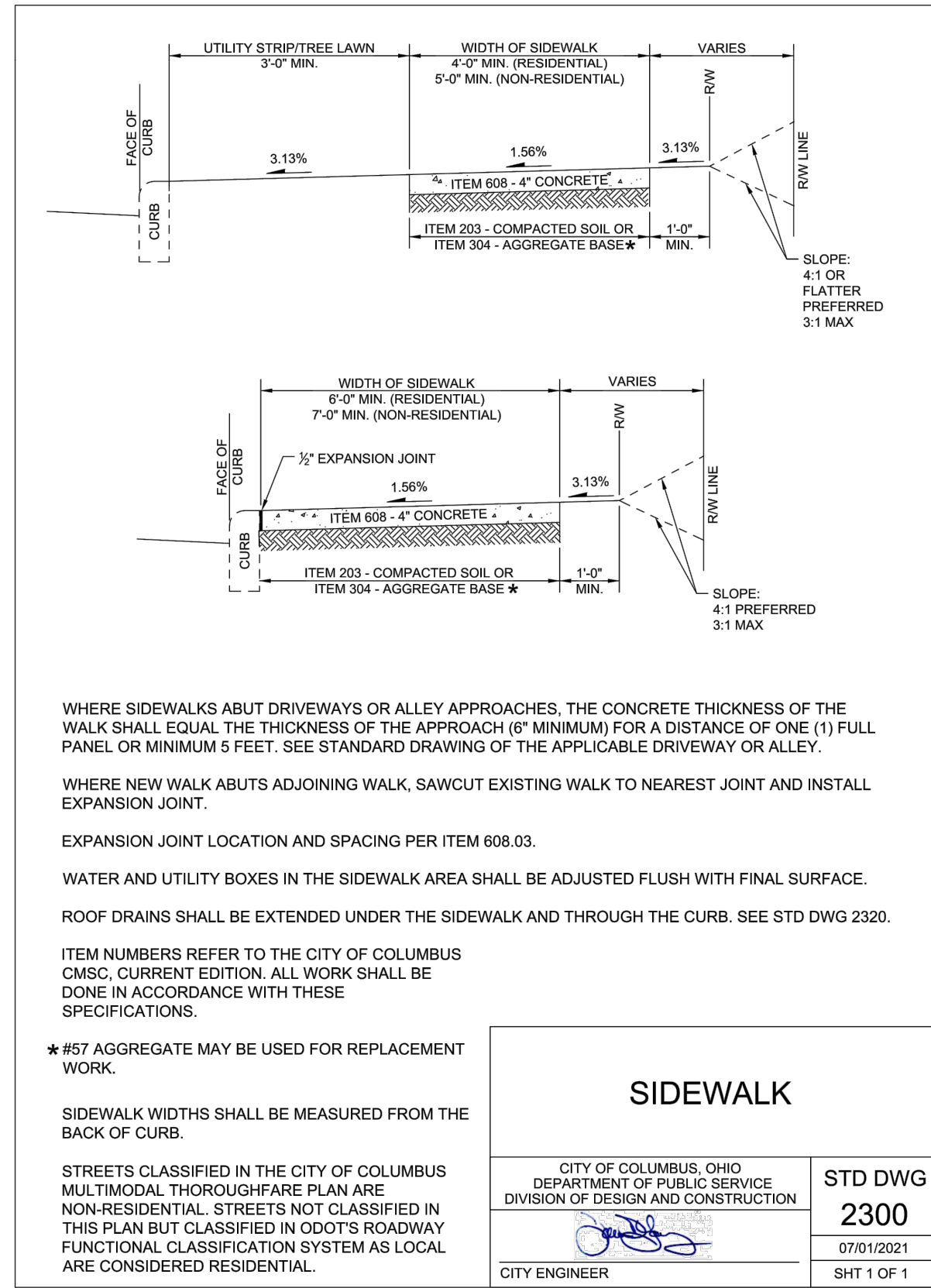
RYAN GRASSLY
E-84879

Ryan Grassly

No.	REVISIONS	DATE	BY

K:\ITWC_LDEV\Starbucks_FY22 Reno Program\10057 Columbus, OH - Market at Morse & Hamilton\3 Design\CAD\PlanSheets\C4-SITE DETAILS.dwg March 09, 2023 - 3:56pm

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PAVEMENT JOINTING NOTES:

1. JOINT SPACING FOR CONCRETE PAVEMENT SHALL BE PROVIDED SUCH THAT NO PANEL EXCEEDS THE 1.25L:1.00W RATIO. MAXIMUM PANEL SIZE FOR CONCRETE PAVEMENTS 6-INCHES IN THICKNESS OR GREATER SHALL BE 12 FEET X 15 FEET. MAXIMUM PANEL SIZE OF CONCRETE PAVEMENTS LESS THAN 6-INCHES IN THICKNESS SHALL BE 10 FEET X 12.5 FEET, UNLESS OTHERWISE NOTED. JOINTS SHOULD BE CUT AS SOON AS CONCRETE WILL SUPPORT MACHINERY (WITHIN 6 TO 12 HOURS OF CONCRETE PLACEMENT).
2. ODD-SHAPED CONCRETE PANELS SHALL BE REINFORCED. AN ODD-SHAPED PANEL IS CONSIDERED TO BE ONE WHICH THE LONGER DIMENSION EXCEEDS THE SHORTER DIMENSION BY MORE THAN 25% OR A PANEL WHICH CONTAINS A PENETRATION LARGER THAN 18" X 18".
3. JOINTS MUST INTERSECT PAVEMENT-FREE EDGE AT A 90-DEGREE ANGLE TO THE PAVEMENT EDGE AND MUST EXTEND STRAIGHT FOR A MINIMUM OF 2 FEET FROM THE PAVEMENT EDGE UNLESS OTHERWISE NOTED.
4. EXPANSION JOINTS SHOULD BE INSTALLED TO SURROUND OR TO SEPARATE ALL STRUCTURES OR FEATURES WHICH PROJECT THROUGH OR AGAINST CONCRETE PAVEMENT.

No.	REVISIONS	DATE	BY

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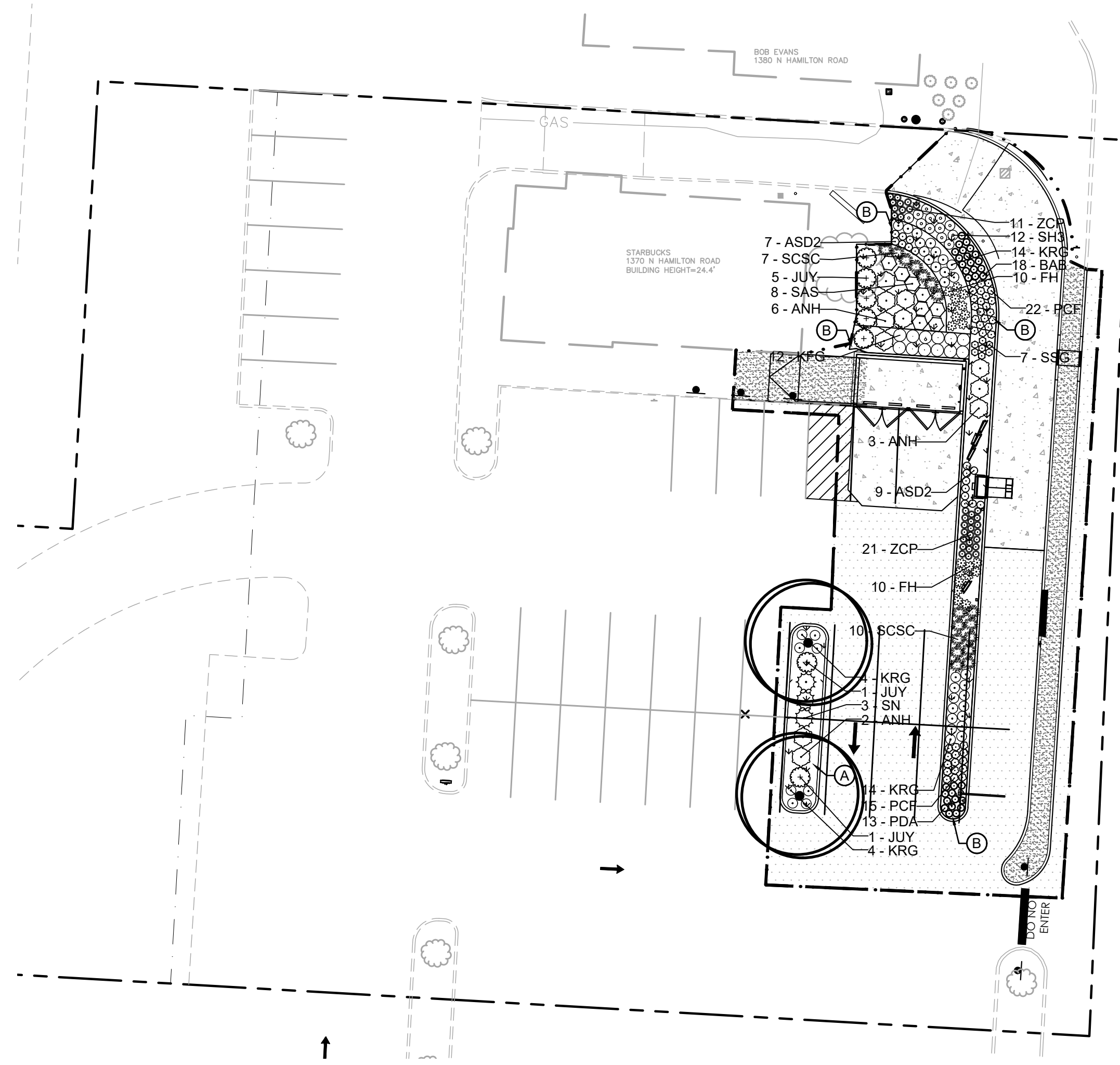
KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
160924029	07/27/2022	AS SHOWN	BSK	BSK	MTL

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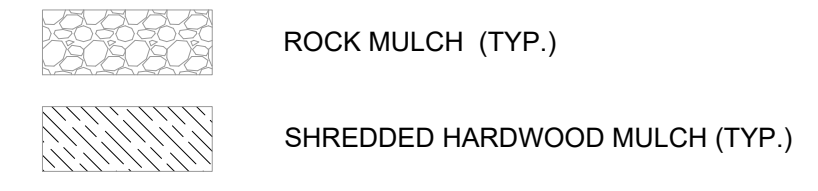
STARBUCKS #10057 - MORSE & HAMILTON
PREPARED FOR
STARBUCKS

GAHANNA OH

SHEET NUMBER
C500



LANDSCAPE LEGEND



LANDSCAPE KEYNOTES (A)

- (A) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
- (B) ROCK MULCH (TYP.)

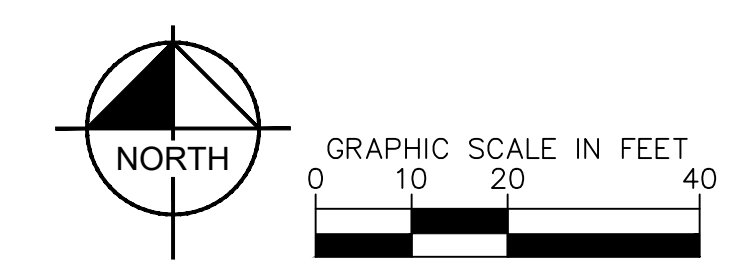
TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME
	SRO	2	QUERCUS X 'QRSW18' / STREETWISE® RED OAK
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	SAS	8	SORBARIA SORBIFOLIA 'SEM' / SEM ASH LEAF SPIREA
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	ANH	11	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE HYDRANGEA
	SN	3	SPIRAEA NIPPONICA 'SNOWMOUND' / SNOWMOUND SPIREA
CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	JUY	7	TAXUS CUSPIDATA 'CAPITATA' / JAPANESE UPRIGHT YEW
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME
	ASD2	16	HEMEROCALLIS X 'APRICOT SPARKLES' / APRICOT SPARKLES DAYLILY
	BAB	18	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA GRASS
	FH	20	HOSTA X 'FRANCEE' / PLANTAIN LILY
	KFG	12	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRA
	KRG	36	CALAMAGROSTIS BRACHYTRICHA / KOREAN FEATHER REED GRASS
	PCF	37	ECHINACEA PURPUREA / PURPLE CONEFLOWER
	PDA	13	ASTER NOVAE-ANGLIAE 'PURPLE DOME' / PURPLE DOME NEW ENGLAND ASTER
	SCSC	17	SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM
	SUR	12	SPOPOBOLUS HETEROLEPIS / GRAPE BOROSEED

LANDSCAPE NOTES

1. CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL 811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING. CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER MNL A & ANSI STANDARD PLANTING PRACTICES.
9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
16. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL IN COLOR, OR APPROVED

18. EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING; 3/16" THICK x 5" TALL, COLOR BLACK, OR SPADED EDGE, AS INDICATED. STEEL EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH TOP OF EDGER AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
19. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
20. PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR. SYSTEM SHALL INCLUDE A RAIN SENSOR AND APPROPRIATE TECHNOLOGY.

21. PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
24. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD; 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 45 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECIRES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.
25. SEE ELECTRICAL PLANS FOR SITE LIGHTING.
26. OWNER AND ARCHITECT TO CONFIRM SITE FURNISHES SUCH AS BENCHES, TABLES AND CHAIRS, AND TRASH/RECYCLING RECEPTACLES.



PRELIMINARY - NOT FOR CONSTRUCTION

STARBUCKS #10057 - MORSE & HAMILTON
PREPARED FOR
STARBUCKS

LANDSCAPE PLAN

KHA PROJECT	160924029
DATE	07/27/2022
SCALE	AS SHOWN
DESIGNED BY	SSL
DRAWN BY	SSL
CHECKED BY	RAH

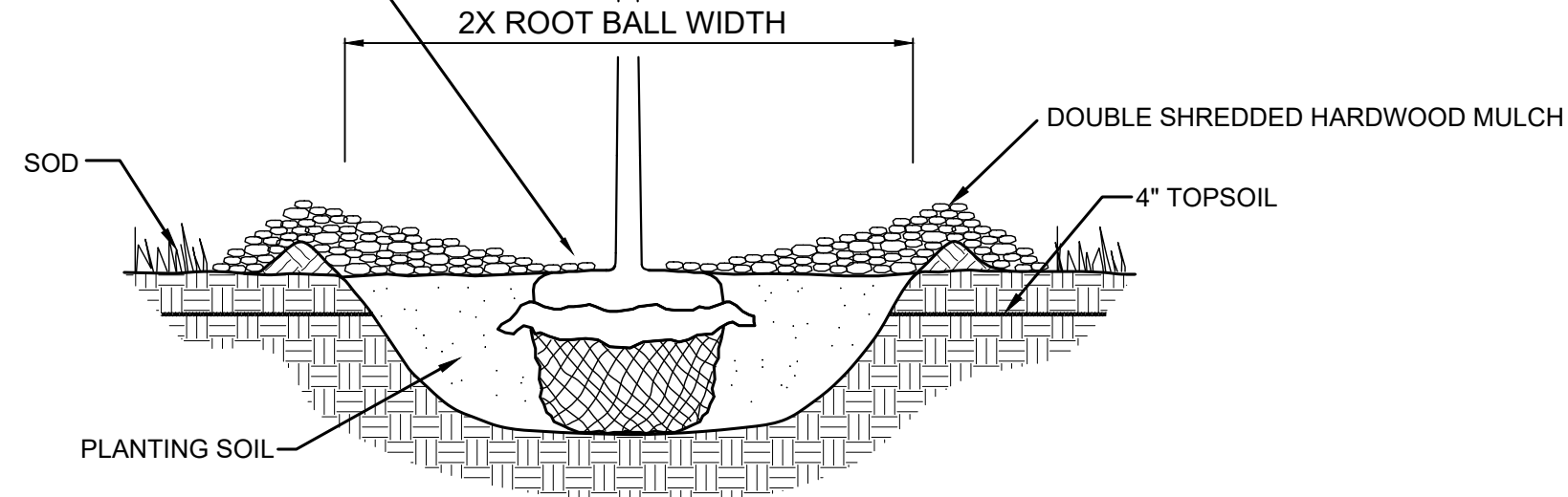


No.	REVISIONS	DATE	BY

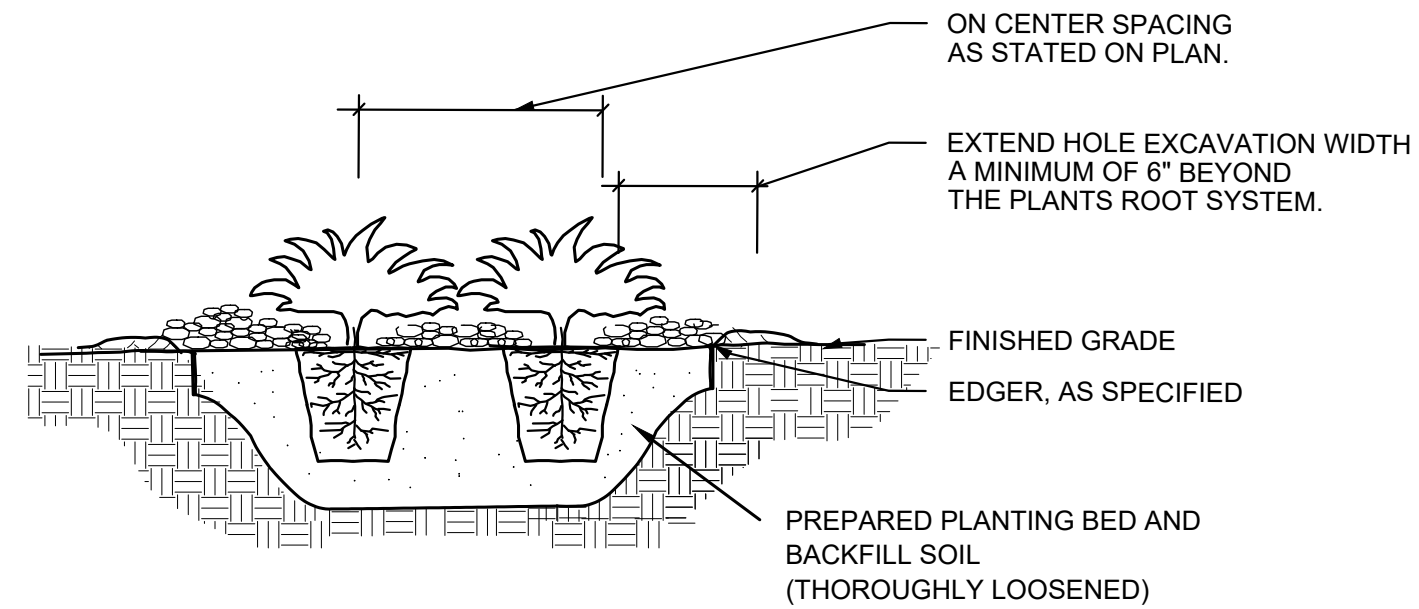
NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING.
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
4. SLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
5. BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
6. PLUMB AND BACKFILL WITH PLANTING SOIL.
7. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
8. BACK FILL VOIDS AND WATER SECOND TIME.
9. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
10. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.
11. HARDWOOD MULCH AT THE BASE OF PROPOSED TREES IS TO BE PULLED AWAY FROM THE TRUNK.

MULCH AROUND TREE TRUNK BASE TO BE PULLED BACK AWAY FROM TRUNK BASE



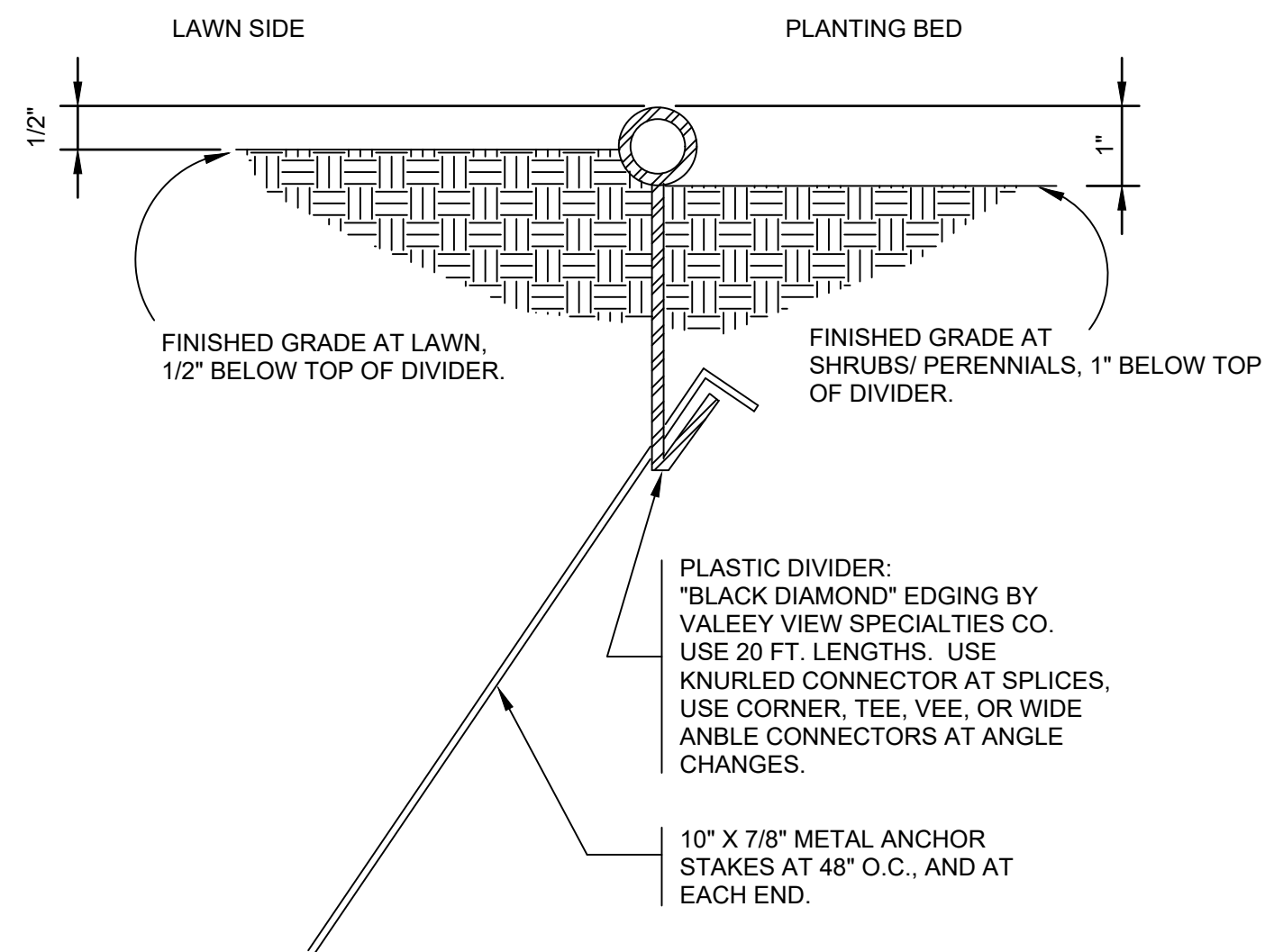
1 TREE PLANTING DETAIL
SCALE: N.T.S.



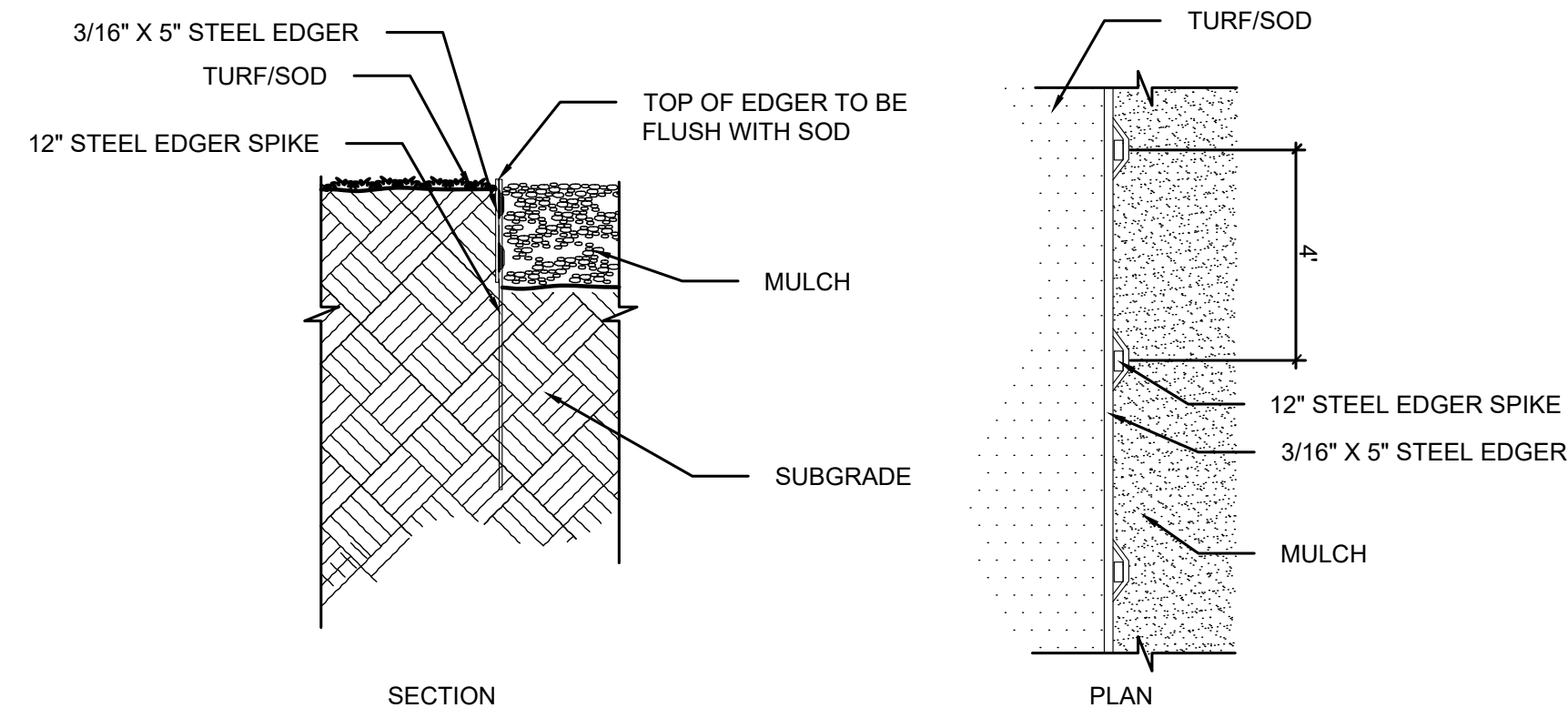
NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
4. PLUMB AND BACKFILL WITH PLANTING SOIL.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACK FILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
8. MIX IN 3-4" OF ORGANIC COMPOST.

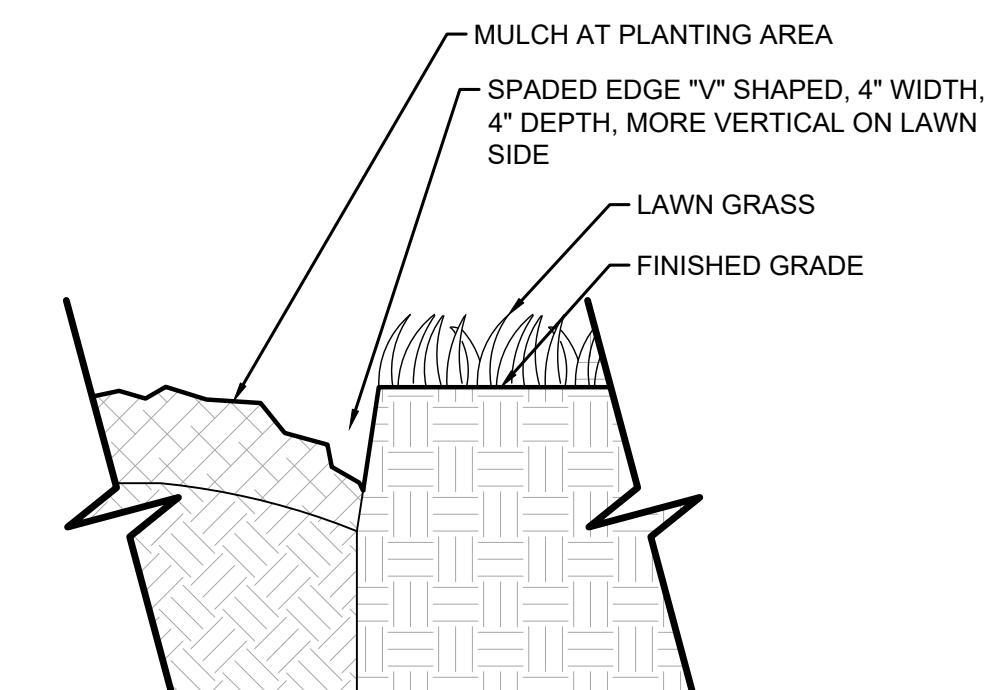
2 SHRUB / PERENNIAL PLANTING DETAIL
SCALE: N.T.S.



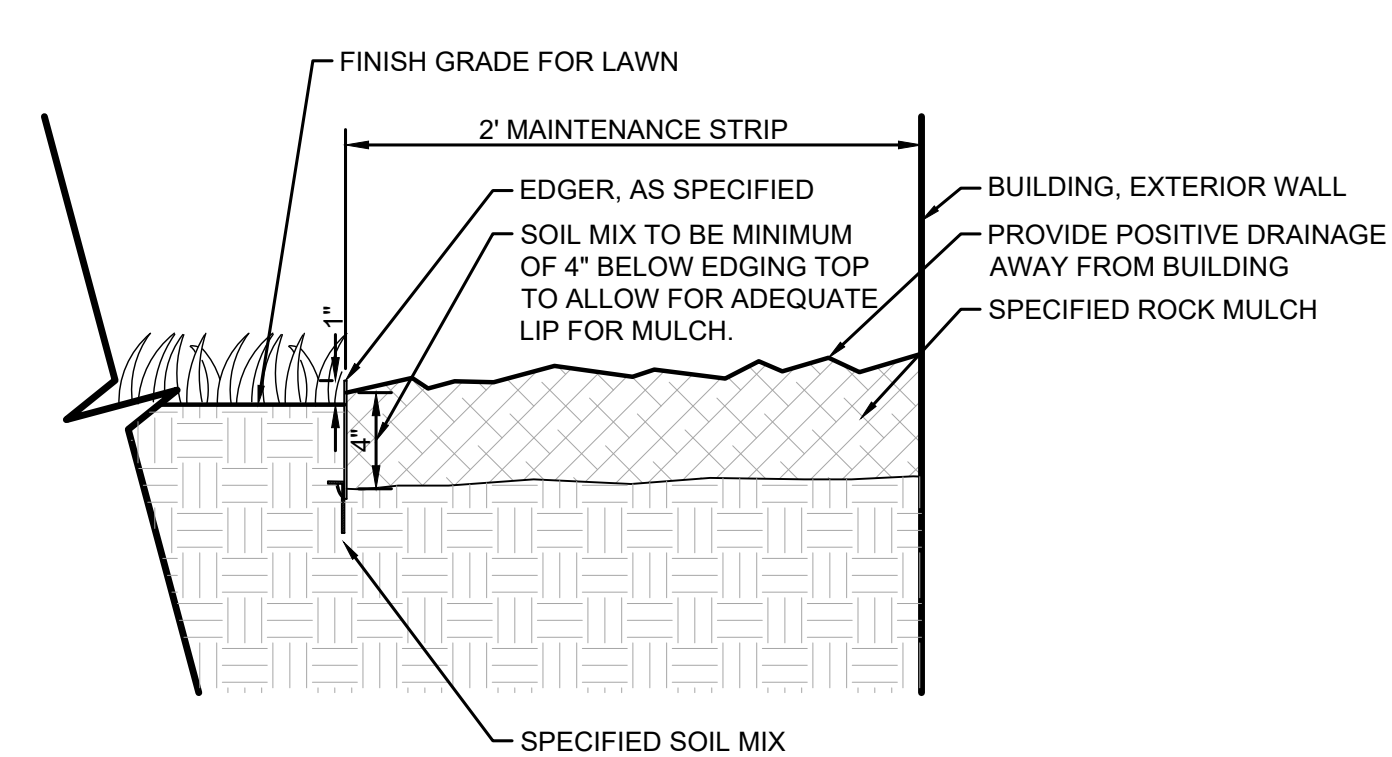
3 POLY EDGER DETAIL
SCALE: N.T.S.



4 STEEL EDGER DETAIL
SCALE: N.T.S.



5 SPADED EDGE DETAIL
SCALE: 1-1/2"=1'



6 MAINTENANCE STRIP DETAIL
SCALE: 1-1/2"=1'

LANDSCAPE NOTES

1. CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS: ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC. ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING. CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
16. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MNDOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL IN COLOR, OR APPROVED EQUAL. ROCK MULCH TO BE RIVER ROCK, 1 1/2" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
18. EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
19. EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING; 3/16" THICK x 5" TALL, COLOR BLACK, OR SPADED EDGE, AS INDICATED. STEEL EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH TOP OF EDGER AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
20. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MNDOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
21. PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR. SYSTEM SHALL INCLUDE A RAIN SENSOR AND APPROPRIATE TECHNOLOGY.
22. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
23. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
24. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
25. RAIN GARDEN NOTE: PROVIDE AND INSTALL EROSION CONTROL BLANKET AT RAIN GARDEN AREA SIDE SLOPES AFTER ALL PLANTING HAVE BEEN INSTALLED. BLANKET TO BE ONE SEASON GEOJUTE, MNDOT CATEGORY 2 (STRAW 1S WOOD FIBER 1S), OR APPROVED EQUAL. BLANKET TO BE OVERLAPPED BY 4" AND ANCHORED BY SOD STAPLES. PLACE BLANKET PERPENDICULAR TO THE SLOPE. TRENCH IN EDGES OF BLANKET AREA TO PREVENT UNDER MINING. PROVIDE SILT FENCE AT TOP OF SLOPE AS NEEDED. SHREDDED HARDWOOD MULCH TO MATCH OTHER PROJECT PLANTING MULCH. PLACE 4" DEPTH OF MULCH AT ALL PLANTING AND EROSION CONTROL BLANKET AREA (NO FILTER FABRIC). SEE RAIN GARDEN DETAIL FOR FURTHER INFORMATION. RAIN GARDEN TO PROVIDE PROPER INFILTRATION AND DRAINAGE REQUIREMENTS PER ENGINEERS APPROVAL.
26. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD; 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 45 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECIPIES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.
27. SEE ELECTRICAL PLANS FOR SITE LIGHTING.
28. OWNER AND ARCHITECT TO CONFIRM SITE FURNISHINGS SUCH AS BENCHES, TABLES AND CHAIRS, AND TRASH/RECYCLING RECEPTACLES.

PRELIMINARY - NOT FOR CONSTRUCTION

STARBUCKS #10057 - MORSE & HAMILTON
PREPARED FOR
STARBUCKS

GAHANNA OH

KIMLEY-HORN PROJECT #160924029
DATE 07/27/2022
SCALE AS SHOWN
DESIGNED BY SSL
DRAWN BY SSL
CHECKED BY RAH

Kimley-Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
7965 N HIGH STREET, SUITE 200, COLUMBUS, OH 43235
PHONE: 614-772-8830
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY

SHEET NUMBER
L101

PROJECT GENERAL NARRATIVE AND REQUIREMENTS:

1. THESE CONSTRUCTION DOCUMENTS ARE SPECIFICALLY APPLICABLE TO FOUNDATIONS SUPPORTING THE COMPONENTS LISTED BELOW:

COMPONENT NAME	COMPONENT DIMENSIONS (WxHxD, FT)	COMPONENT WEIGHT (LBS)
PRE-MENU BOARD	2'-5 1/8" x 5'-1 1/8" x 8 3/4"	141.37
3-PANEL MENU BOARD	5'-2 3/4" x 5'-1 1/8" x 1'-6 1/8"	277.10
5-PANEL MENU BOARD	7'-10 1/2" x 5'-1 1/8" x 1'-6 7/8"	360
DIGITAL ORDER SCREEN	3'-1 1/8" x 4'-1 3/4" x 9 3/8"	391
DIRECTIONAL SIGN	2'-7" x 3'-10" x 5 1/4"	65
SPEAKER POST	10 3/8" x 3'-10" x 10 3/8"	32
CANOPY	10'-3 7/8" x 4'-6" x 8'-7 1/8"	602
DIGITAL ORDER SCREEN WITH CANOPY	10'-3 7/8" x 4'-6" x 8'-7 1/8"	993

2. FOUNDATION DESIGN IS BASED ON THE DESIGN CRITERIA.
3. IF GROUND SNOW LOAD IN PROJECT LOCATION EXCEEDS THAT LISTED IN THE DESIGN CRITERIA, THE ENGINEER OF RECORD SHOULD BE CONTACTED IMMEDIATELY. THE AUTHORITY HAVING JURISDICTION IS TO APPROVE THAT THE SNOW LOAD IS ACCEPTABLE WITH THEIR LOCALLY ADOPTED CODES AND STANDARDS.
4. IF THE PROJECT IS LOCATED IN AN AREA CLASSIFIED AS SITE CLASS E OR F, A SITE-SPECIFIC GEOTECHNICAL ANALYSIS IS REQUIRED AND THE ENGINEER OF RECORD SHOULD BE CONTACTED IMMEDIATELY.
5. THE CONTRACTOR'S SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE ALL COORDINATION, MATERIALS, LABOR, AND OVERHEAD NECESSARY FOR COMPLETION OF THE FOLLOWING:
- A. ALL STRUCTURES ARE DESIGNED TO ACT AS A STRUCTURAL UNIT UPON COMPLETION. CONTRACTOR SHALL DESIGN AND PROVIDE NECESSARY BRACING, TEMPORARY SUPPORTS, AND SHORING TO RESIST FORCES ON THE STRUCTURE DURING CONSTRUCTION.
 - B. VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO STARTING WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - C. VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING WORK.
 - D. CONTRACTOR MUST EXERCISE EXTREME CARE DURING THE EXCAVATION AND CONSTRUCTION FOR NEW STRUCTURE TO AVOID DAMAGE TO EXISTING STRUCTURES. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MEANS AND METHODS REQUIRED TO FACILITATE CONSTRUCTION OF THE WORK AND ENSURING THE SAFETY, STABILITY AND INTEGRITY OF ADJACENT STRUCTURES AND FACILITIES.
 - E. CONTRACTOR MUST ENGAGE A GEOTECHNICAL ENGINEER TO FIELD VERIFY SOIL PARAMETERS NOTED IN THE FOUNDATION NOTES AND CONCRETE CLASS NOTED UNDER CONCRETE NOTES.

DESIGN CRITERIA:

1. DESIGN CRITERIA IS BASED ON THE CONTROLLING GEOGRAPHICAL LOADINGS CONSIDERING CLIENT-PROVIDED PROJECT LOCATIONS IN THE UNITED STATES.
2. THE DESIGN CRITERIA PERTAINING TO EACH SPECIFIC SITE WILL DIFFER FROM THE DESIGN CRITERIA LISTED BELOW. THE DESIGN CRITERIA LISTED BELOW IS CONSERVATIVE RELATIVE TO THE SITE SPECIFIC DESIGN WITH THE CONSIDERATION OF PROJECT GENERAL NARRATIVE AND REQUIREMENTS NOTE 4, ABOVE.
2. BUILDING CODE:
DESIGNED IN ACCORDANCE WITH 2015, 2018 AND 2021 INTERNATIONAL BUILDING CODES.
3. DESIGN LOADS
RISK CATEGORY = II
DEAD LOAD:
SELF WEIGHT OF MATERIAL
WIND:
DESIGN WIND SPEED (3 SEC. GUST) = 169 MPH (ULTIMATE)
WIND EXPOSURE = D
SNOW:
GROUND SNOW LOAD, PG = 100 PSF
SEISMIC:
SEISMIC IMPORTANCE FACTOR, IE = 1.0
MAPPED SPECTRAL RESPONSE ACCELERATION PARAMETERS:
S_s = 2.432g
S₁ = 0.853g
SITE CLASS = D
DESIGN SPECTRAL RESPONSE ACCELERATION PARAMETERS:
S_{ps} = 1.622g
S_{pl} = 0.853g
SEISMIC DESIGN CATEGORY = E
RESPONSE MODIFICATION COEFFICIENT (R_o) = 3.0

**NOTE: PRIOR TO CONSTRUCTION, SITE-SPECIFIC VALUES SHOULD BE DETERMINED FOR EACH PROPOSED PROJECT LOCATION. SHOULD SITE-SPECIFIC VALUES EXCEED THOSE NOTED ABOVE, THE ENGINEER OF RECORD SHALL BE CONTRACTED IMMEDIATELY.

FOUNDATIONS:

- FOUNDATIONS ARE DESIGNED USING PRESUMPTIVE SOIL VALUES IN ACCORDANCE WITH THE BUILDING CODE.
- ALL FOOTING EXCAVATIONS SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE.
- IBC PRESUMPTIVE VERTICAL BEARING CAPACITY: 1,500 PCF
- IBC PRESUMPTIVE LATERAL BEARING CAPACITY: 100 PCF
- MINIMUM DEPTH OF ALL FOUNDATIONS SHALL BE 6 INCHES BELOW THE FROST DEPTH OR THE EMBEDMENT NOTED IN THE DRILLED SHAFT FOUNDATION PROPERTY TABLE, WHICHEVER IS GREATER.
- ASCE PRESUMPTIVE WATER SUBMERGED SOIL WEIGHT = 48 PCF.

CONCRETE:

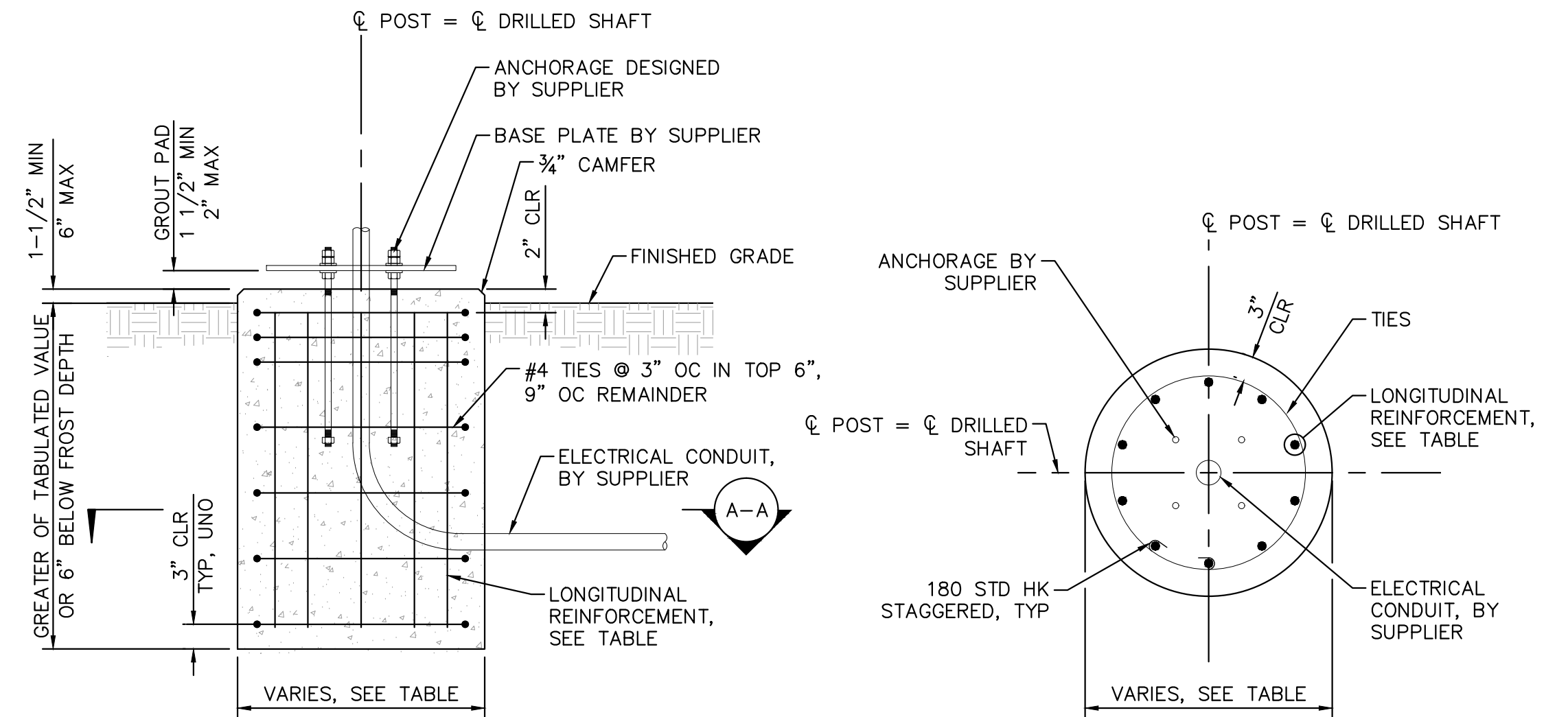
- READY-MIX CONCRETE WORK SHALL CONFORM TO ASTM C94.
- STRUCTURAL CONCRETE MATERIALS SHALL CONFORM TO THE FOLLOWING:
 - A. TYPE V PORTLAND CEMENT - ASTM C150
 - B. AGGREGATES (3/4" MAX.) - ASTM C33
 - C. AIR ENTRAINING (6% ± 1.5%)
 - D. WATER REDUCING - ASTM C494
 - E. FLY ASH (MAX 25% BY WEIGHT), TYPE F - ASTM C618
 - F. WATER - CLEAN AND POTABLE
 - G. REINFORCING STEEL: ASTM A615 GRADE 60
 - H. GROUT SHALL BE NON-SHRINK, NON-METALLIC
 - I. USE OF CALCIUM CHLORIDE IS NOT PERMITTED
- STRUCTURAL CONCRETE MIX SHALL CONFORM TO THE FOLLOWING:
 - A. CONCRETE MIXES AND EXPOSURE CLASS ACCORDING TO ACI 318-14 AND ACI 318-19

FOUNDATIONS	F'C PSI	CLASS	MAX WATER-TO-CEMENT RATIO
	4,500	S1/F2	0.45

CONCRETE EXPOSURE CLASS S1 IS ADEQUATE FOR SOILS WITH A C₃A CONTENT UP TO 8.0%.
- REQUIRED SLUMP: 2" TO 4" (BEFORE ADDITION OF SUPERPLASTICIZER)
- ALL CONCRETE MATERIALS, PLACING, AND HANDLING SHALL BE IN ACCORDANCE WITH THE LATEST CODE - ADOPTED EDITION OF ACI 318 AND ACI 301 IN EACH PROJECT LOCATION. CONCRETE WORK SHALL CONFORM TO THE LATEST CODE-ADOPTED VERSION OF ACI 318 IN EACH PROJECT LOCATION.
- CONCRETE COVER FOR REINFORCEMENT BARS SHALL CONFORM TO THE FOLLOWING, UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
 - A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - B. CONCRETE EXPOSED TO EARTH/WEATHER (NO. 6 - NO. 18 BARS): 2 INCHES
 - C. CONCRETE EXPOSED TO EARTH/WEATHER (NO. 5 AND SMALLER): 1 1/2 INCHES
- DETAILING OF REBAR SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE ACI DETAILING MANUAL AND CONCRETE REINFORCING INSTITUTE'S LATEST EDITION OF "MANUAL OF STANDARD PRACTICE".
- ALL DIMENSIONS PERTAINING TO LOCATION OF REINFORCING BARS ARE TO CENTERLINE OF BARS EXCEPT WHERE THE CLEAR DIMENSION IS SHOWN TO FACE OF REINFORCING BAR.
- REINFORCEMENT DETAIL DIMENSIONS SHALL BE OUT-TO-OUT OF BARS.
- ACI STANDARD HOOKS SHALL BE USED UNLESS OTHERWISE NOTED.
- ALL CONTINUOUS BARS SHALL HAVE CLASS "B" TENSION LAP SPLICES.
- BARS SHALL BE FIELD TIED. WELDING IS NOT PERMITTED. FIELD HEATING TO BEND IS NOT PERMITTED.
- SUPPORT REINFORCEMENT IN ITS PROPER LOCATION FROM THE FORMWORK DURING CONCRETE OPERATION.
- FORM TIES AND REINFORCING BAR SUPPORTS SHALL BE OF NON-CORROSIVE MATERIAL INCLUDING, BUT NOT LIMITED TO, FIBERGLASS, PLASTIC, AND/OR CONCRETE BLOCK.

DRILLED SHAFT FOUNDATION PROPERTIES			
COMPONENT NAME	DRILLED SHAFT DIAMETER*	EMBEDMENT DEPTH	LONGITUDINAL REINFORCEMENT
PRE-MENU BOARD	2'-6"	5'-0"	(9)-#6
3-PANEL MENU BOARD	2'-6"	6'-6"	(9)-#6
5-PANEL MENU BOARD	2'-6"	7'-0"	(9)-#6
DIGITAL ORDER SCREEN	2'-6"	5'-6"	(9)-#6
DIRECTIONAL SIGN	2'-0"	5'-0"	(6)-#6
SPEAKER POST	2'-0"	5'-0"	(6)-#6

*CONTRACTOR TO COORDINATE BASE PLATE AND ANCHOR CONFIGURATION W/ SHAFT GEOMETRY PRIOR TO STEEL FABRICATION.

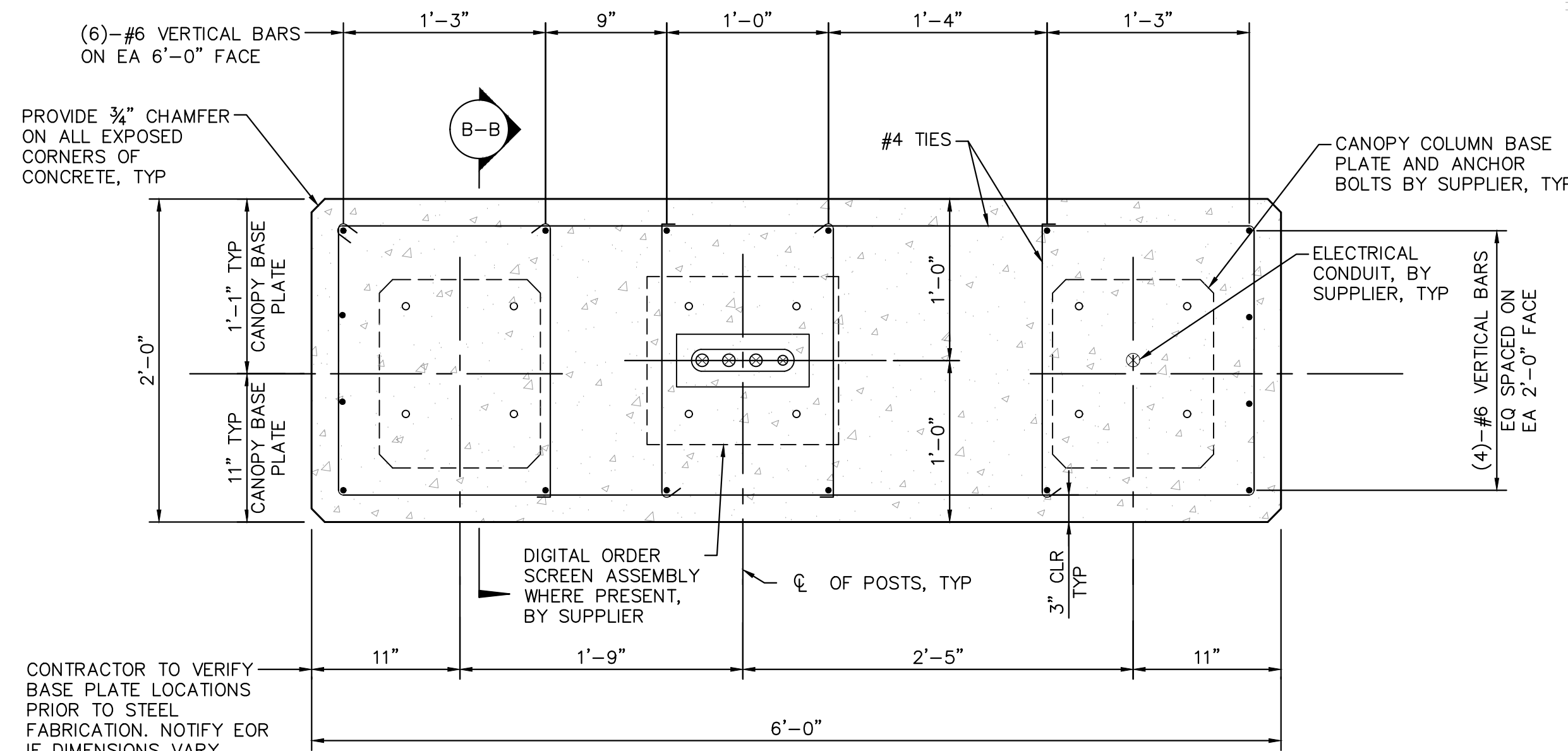


DRILLED SHAFT FOUNDATION ELEVATION

SCALE: NOT TO SCALE

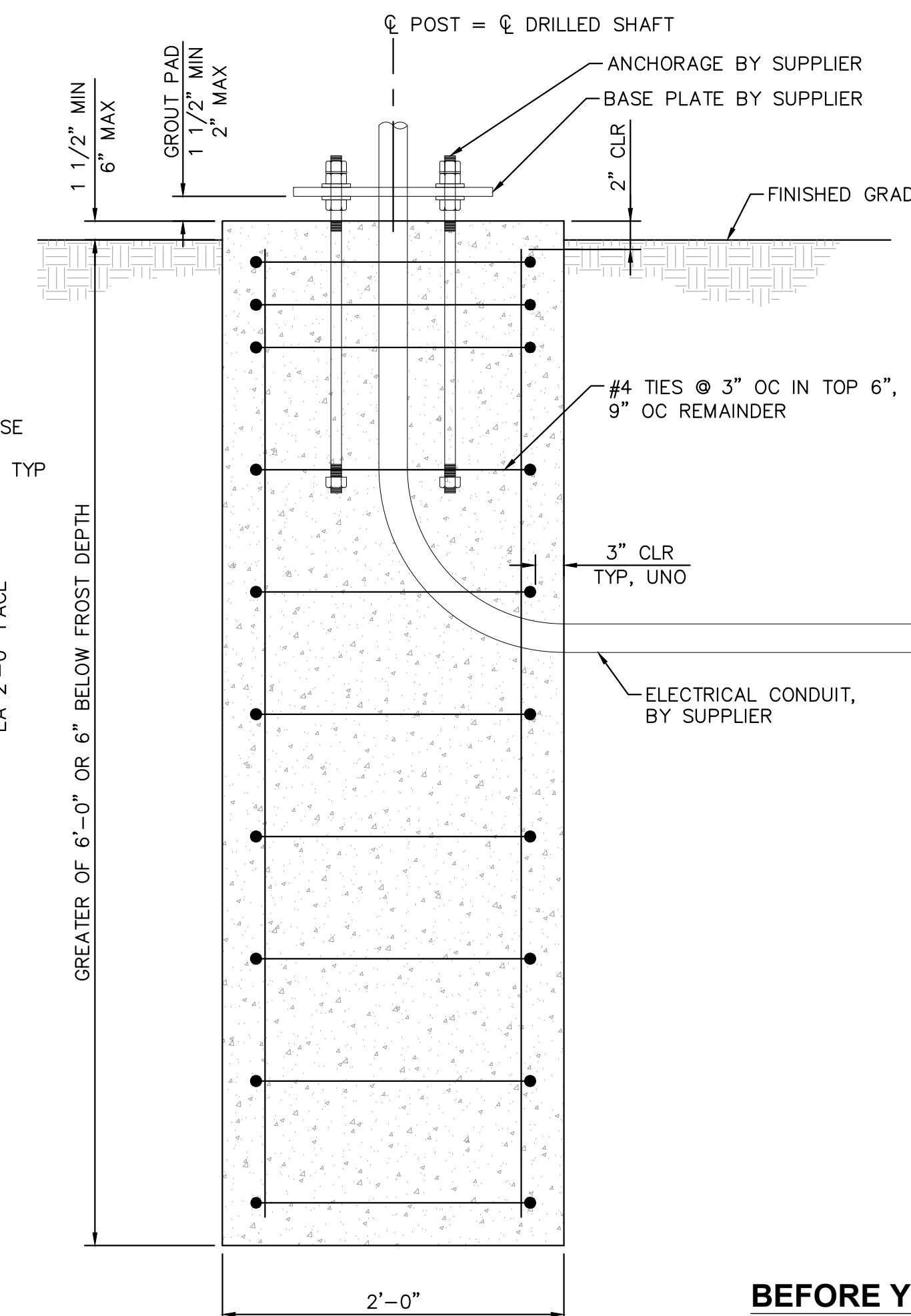
DRILLED SHAFT FOUNDATION SECTION A-A

SCALE: NOT TO SCALE



CANOPY FOUNDATION PLAN VIEW

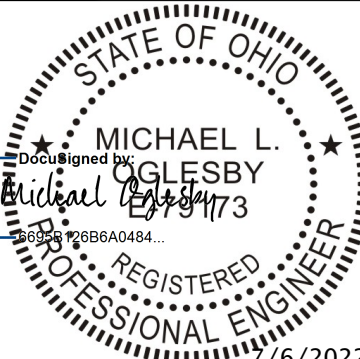
SCALE: 1" = 1'-6"



CANOPY FOUNDATION SECTION B-B

SCALE: 1" = 1'-6"

Kimley»Horn
111 EAST BROADWAY, SUITE 600
SALT LAKE CITY, UTAH 84111



KHA PROJECT	093868001
DATE	6/29/2022
SCALE	AS SHOWN
DESIGNED BY	JML
DRAWN BY	CAR
CHECKED BY	CNH

STRUCTURAL NOTES AND DRIVE THRU FOUNDATION DETAILS

PREPARED FOR
STARBUCKS CORPORATION
VARIES, MULTIPLE SITES



BEFORE YOU DIG, CALL 811
Know what's below. Call before you dig.

SHEET NUMBER
S-100



MEMORANDUM

To: Kelly Wicker, Planning and Zoning Coordinator

From: Matt Lingam, Project Manager
Kimley-Horn and Associates, Inc.

Date: January 31, 2023

Subject: Project 1360 Hamilton Rd Design Review/C of A

Kimley-Horn has reviewed the comments provided by the Gahanna Department of Planning, OH dated January 25, 2023 and has modified the plans accordingly. The comments and responses are listed below. Responses to comments are in ***bold italics***.

FIRE DISTRICT COMMENTS

1. The fire division has no objections to the drive through lane at 1370 North Hamilton Road – Starbucks.
The comment has been acknowledged.

PLANNING COMMENTS

1. Please submit color renderings of the proposed modifications, per application requirements.
There are no revisions to the building as a part of this application and therefore renderings have not been provided.
2. Informational Comment: All proposed signage requires the approval of a sign permit. No signage is considered with the Design Review application.
A sign permit will be applied for in a supplemental submittal.
3. Informational Comment: Parking requirements are still met with the proposed removal of spaces.
The comment has been acknowledged.
4. Per application requirements, please update the landscape plan to include all of the existing trees and shrubs that are to remain on the site. Please note that one tree of at least three caliper inches is required per 100 SF of landscape area, per Chapter 1163.08(e). If this requirement cannot be met, you may apply for a variance.
We have proposed two 3" caliper trees within the parking island that is being relocated.

PARKS COMMENTS

1. It appears as though trees are being removed, and impervious surface is being added. However, I cannot find plans for new tree plantings in this landscape plan. "All projects for which as FDP is required in which there are new structures, parking areas, loading areas, or other impervious surfaces shall plant a minimum of one shade tree caliper inch per 1,000 square feet of impervious surface unless located within the Planned Industrial District (PID) zoning districts." (914.05 – Minimum Trees Required). Unless I am mistaken, plans should include new trees.

The impervious coverage will be reduced overall for the area of disturbance. We have proposed two 3" caliper trees within the parking island that is being relocated.

BUILDING COMMENTS

1. Separate plan review and building permits will be required for the structures.

The comment has been acknowledged.

ASSISTANT CITY ENGINEER COMMENTS

1. Sidewalk along Hamilton Road to be evaluated for ADA/PORWAG compliance; any defective panels or accessible noncompliance shall be brought up to standard.

The contractor will evaluate the existing sidewalk along Hamilton Road to ensure ADA compliance within the ROW sidewalk

Thank you for the thorough review of the layout. Please contact me with any questions regarding the responses.

Sincerely,
KIMLEY-HORN AND ASSOCIATES, INC.



Matthew Lingam
Project Manager



MEMORANDUM

To: Kelly Wicker, Planning and Zoning Coordinator

CC: Tom Komlanc & Robert Settles – Department of Engineering
Maddie Capka – Department of Planning
Ken Fultz – Building Division
Julie Predieri – Parks Department
Chad Mast, Jefferson Township &
Russell Welsh, Mifflin Township - Fire Department
Dave Reutter – Franklin County Soil and Water

From: Matt Lingam Project Manager
Kimley-Horn and Associates, Inc.

Date: March 9, 2023

Subject: RE: Project 1370 Hamilton Rd Design Review/C of A

Kimley-Horn has reviewed the comments provided by the City of Columbus, Ohio dated February 27, 2023 and has modified the plans accordingly. The comments and responses are listed below. Responses to comments are in ***bold italics***.

FIRE DISTRICT

1. The fire division has no objections to the drive through lane at 1370 North Hamilton Road – Starbucks.
The comment has been acknowledged.

PLANNING

2. Informational Comment: All proposed signage requires the approval of a sign permit. No signage is considered with the Design Review application.
Sign permits for all proposed signage will be acquired upon Design Review approval.
3. Informational Comment: Parking requirements are still met with the proposed removal of spaces.
The comment has been acknowledged.

4. The response to the comment letter states that 2 trees are being planted on site, L100 shows 2 trees, but the chart on L100 lists three trees to be planted. Please update for consistency.
The Landscape Plan has been updated to correspond the proposed trees between the plan and the planting schedule.

5. The property summary on C300 lists the total property area as 38,365 SF but the impervious and pervious area calculations do not add up to this number. Please update so the calculations are accurate. The total SF of the parking lot is necessary to determine how much landscaping and how many trees are required per Chapter 1163.08(c-e).
The property summary table on the Site Plan sheet has been updated to represent the full site area. The area is compliant with the landscaping requirements provided in Chapter 1163.08(c-e) of the City ordinance.

6. Informational Comment: The parking lot being modified (the removal of spaces and relocation of an island) means that it must be brought into compliance with the interior landscape requirements outlined in Chapter 1163.08.
The comment has been acknowledged.

BUILDING

7. Separate plan review and building permits will be required for the structures
The comment has been acknowledged.

CITY ENGINEER

8. Sidewalk along Hamilton Road to be evaluated for ADA/PROWAG compliance; any defective panels or accessible non compliance shall be brought up to standard
The sidewalk along Hamilton Road has been noted to be reviewed for ADA compliance. A note has been provided for the contractor to replace any non-compliant

PARKS

9. I see that the tree planting detail shows the mulch pulled back away from the trunk, but I'd like to see that written in the notes
The tree planting detail has been updated to provide a callout to pull the adjacent mulch back from the trunk base and a note has been provided.

Thank you for the thorough review of the layout. Please contact me with any questions regarding the responses.

Sincerely,
KIMLEY-HORN AND ASSOCIATES, INC.



Matthew Lingam, Project Manager



March 22, 2023

Starbucks
319 Elaines Court
Dodgeville, WI 53533

RE: Project 1370 Hamilton Rd Design Review/C of A

Dear Starbucks:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

Fire District

1. The fire division has no objections to the drive through lane at 1370 North Hamilton Road – Starbucks.

Building

2. Separate plan review and building permits will be required for the structures.

Engineering

3. Sidewalk along Hamilton Road to be evaluated for ADA/PROWAG compliance; any defective panels or accessible non compliance shall be brought up to standard.

Planning

4. Informational Comment: The site meets all interior landscaping requirements per Ch 1163.08.

If you have general comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025. If your questions are specific to a certain department's comments please reach out to that department:

- **Building:** 614-342-4010 or Building@Gahanna.gov
- **Engineering:** 614-342-4050 or Engineering@Gahanna.gov
- **Floodplain:** 614-342-4050 or Engineering@Gahanna.gov
- **Planning:** 614-342-4025 or Zoning@Gahanna.gov
- **Zoning:** 614-342-4025 or Zoning@Gahanna.gov

Sincerely,

Kelly Wicker
Planning and Zoning Coordinator



STAFF REPORT

Request Summary

The applicant is requesting approval of a Design Review to reconfigure the drive thru and landscaping at an existing Starbucks location. There are no modifications proposed to the existing building itself. The site is located at 1370 N Hamilton Road and is zoned CC-2 – Community Commercial-Modified. It is on the eastern side of Hamilton Road, in front of the Market at Hamilton. The zoning designates the site as part of Design Review District 3 (DRD-3).

This proposal includes the removal of some existing concrete, shrubbery and landscaping, three trees, and various signs and bollards. 14 parking spaces and one island will be removed, along with the landscaping and trees on the island. Parking space and interior landscaping requirements are still met after this removal. Additionally, two new trees are to be planted on-site. The drive thru menu board and associated equipment will be relocated. The new drive thru will contain 11 stacking spaces for cars.

There will be a new island separating the drive thru from the parking lot and will be entirely landscaped, along with the area adjacent to the existing structure. An additional curb separating the drive thru from the adjacent lot is also proposed. The trash enclosure is to be relocated to the west of the drive thru lane and meets all trash receptacle requirements, including screening.

Design Review

General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect and enhance the physical surroundings of the Design Review District.

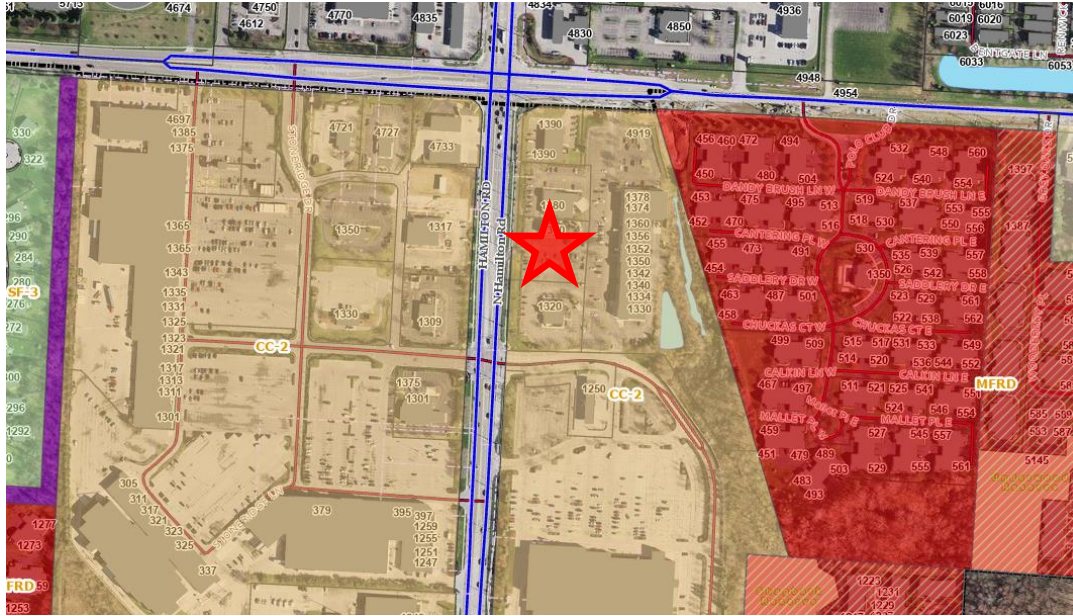
Additionally, here are relevant Design Review standards as part of DRD-3:

- The entrances and exits from commercial development should be well decorated and landscaped to minimize unsightly visual appearance
- Landscaped islands shall be in the center and at the perimeter of commercial development parking areas

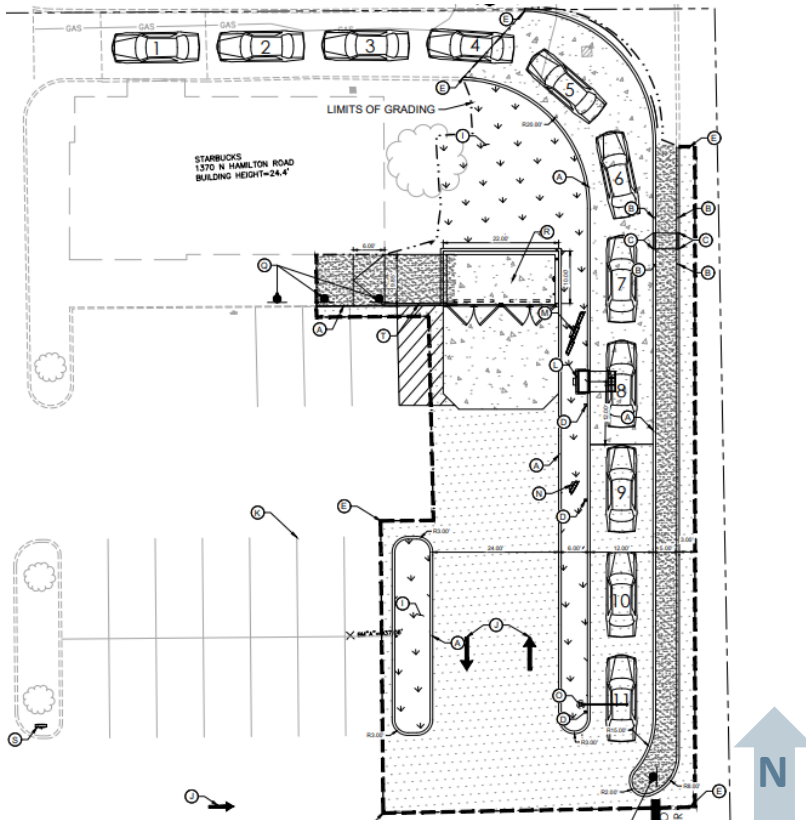
Staff Comments

Staff recommends approval of the Design Review as submitted. As it exists, the current drive thru contributes to circulation issues both on-site and on adjacent sites. One of the goals of this application is to relieve these circulation problems. All relevant Design Review criteria is met, and the site will align more with the DRD-3 standards with the proposed changes. All parking and landscaping requirements are still met with the proposed modifications. All proposed signage will be reviewed through the permanent sign application process. There are no changes proposed to the existing building.

Location/Zoning Map



Submitted Site Plan



Respectfully Submitted By:
Maddie Capka
Planner