



City of Gahanna
Signature Report
Statutory Resolution

200 South Hamilton Road
Gahanna, Ohio 43230

File Number: SR-0003-2000

Date Passed: 4/17/00

A RESOLUTION MAKING FINDINGS AND DETERMINATIONS AS PERMITTED IN SECTIONS 3735.65 TO 3735.70 OF THE OHIO REVISED CODE IN EFFECT PRIOR TO JULY 1, 1994, ESTABLISHING MODIFYING, AMENDING AND DESCRIBING THE BOUNDARIES OF A "COMMUNITY REINVESTMENT AREA #4," (BUCKLES TRACT) PARTNERSHIP, DESIGNATING A HOUSING OFFICER TO ADMINISTER THE PROGRAM, CREATING A COMMUNITY REINVESTMENT AREA HOUSING COUNCIL; AMENDING SUBSTITUTE RESOLUTION NO. 16-95; AND DECLARING AN EMERGENCY

WHEREAS, this Council desires to pursue all reasonable and legitimate incentive measures to assist in encouraging housing maintenance and economic and community development in areas that have not enjoyed reinvestment by remodeling or new construction; and

WHEREAS, this Council has been briefed on new state law enabling legislation that allows for financial incentive to be offered within "community reinvestment areas"; and

WHEREAS, this Council has made a survey of housing as specified in Section 3735.66 of the Ohio Revised Code; and

WHEREAS, areas were found that contain housing facilities, or structures of historical significance, and wherein new housing construction and repair of existing facilities or structures are presently being discouraged; and

WHEREAS, the maintenance and construction of structures in such areas would serve to encourage economic stability, maintain real property values, and generate new employment opportunities;

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF GAHANNA, STATE OF OHIO:

Section 1. That, for the purposes of fulfilling the requirements set forth under Sections 3735.65 to 3735.70, inclusive, of the Ohio Revised Code, which were in effect prior to July 1, 1994, this Council reestablishes Community Reinvestment Area #4.

Section 2. That the boundaries of Community Reinvestment Area #4 are as described in EXHIBIT B, attached, hereto and incorporated herein by reference, adding thereto an 8.546 acre tract, said added portion described in EXHIBIT A, attached hereto and made a part herein.

Section 3. That within Community Reinvestment Area #4 tax exemptions for improvements to real property as described in Section 3735.67 of the Ohio Revised Code in effect prior to July 1, 1994, will be granted for the following periods:

- (a) Ten (10) years at eighty percent (80%) for the remodeling of every dwelling containing not more than two-family units upon which the cost of remodeling is at least two thousand five hundred dollars (\$2,500) as described in Section 3735.67(D)(1) of the Ohio Revised Code in effect prior to July 1, 1994.
- (b) Ten (10) years at eighty percent (80%) for the remodeling or expansion of every dwelling containing more than two units, and commercial or industrial properties, upon which the cost of remodeling is at least five thousand dollars

(\$5,000) as described in Section 3735.67(D)(2) of the Ohio Revised Code in effect prior to July 1, 1994.

(c) Ten (10) years at eighty percent (80%) for the construction of every dwelling, commercial or industrial structure as described in Section 3735.67(D)(3) of the Ohio Revised Code in effect prior to July 1, 1994.

Section 4. That to administer and implement the provisions of this Resolution, the Mayor is designated as the Housing Officer as described in Sections 3735.65-70 of the Ohio Revised Code in effect prior to July 1, 1994.

Section 5. That Council reserves the right to re-evaluate the designation of Community Reinvestment Area #4 after January 1, 1994, and for any time period thereafter as a continuous review, at which time Council may direct the Housing Officer not to accept any new applications for exemptions as described in Section 3735.67 of the Ohio Revised Code in effect prior to July 1, 1994.

Section 6. That this Council finds that the area included within Community Reinvestment Area #4 is one in which housing facilities or commercial/industrial facilities are located and new facility construction and repair of existing facilities or structures is not presently occurring at its fullest potential.

Section 7. That a "Community Reinvestment Area Housing Council" created by Resolution No. 29-92 is hereby restated as consisting of seven (7) members who shall be citizens of the City of Gahanna, to perform the duties required of such Council for the Community Reinvestment Area #4, as herein modified and amended, with two (2) members appointed by City Council, two (2) members appointed by the Mayor, and one (1) member appointed by the Gahanna Planning Commission, and the majority of the foregoing members then appointing two (2) additional members who shall be residents of the Municipality, and with terms and vacancies as determined in Resolution NO. 29-92

Section 8. That a copy of this Resolution will be forwarded to the Franklin County Auditor by the Clerk of Council for information and reference.

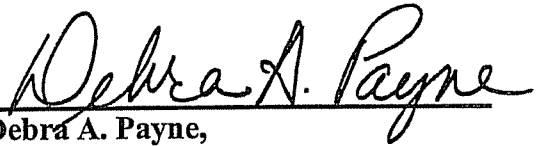
Section 9. That this resolution shall be in full force and effect at the earliest period allowed by law.

Attachments:

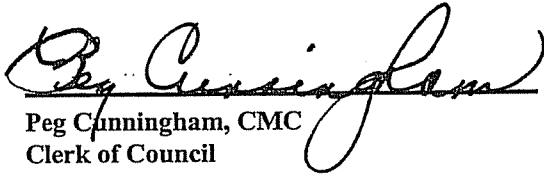
EXHIBIT B;
EXHIBIT A

Authority: Sections 3735.65 to
3735.70 of the Ohio Revised Code
in effect prior to July 1, 1994.

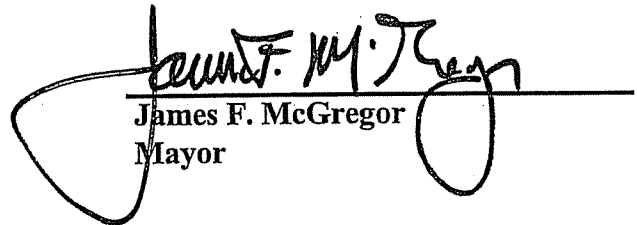
This Statutory Resolution was Adopted as an Emergency, this 17th day of April, 2000.


Debra A. Payne,
President of Council

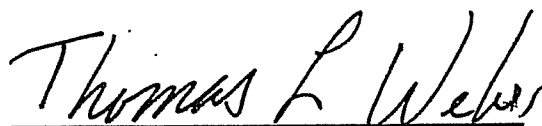
ATTESTED to and PRESENTED to the
Mayor,
this ~~17th~~ day of April, 2000.


Peg Cunningham, CMC
Clerk of Council

APPROVED by the Mayor, this
~~17th~~ day of April, 2000.


James F. McGregor
Mayor

Approved as to for


Thomas L. Weber
City Attorney

**DESCRIPTION OF A 8.546 ACRE TRACT (TO BE REZONED)
ON TAYLOR ROAD, EAST OF CHADWOOD DRIVE,
GAHANNA, OHIO**

Situated in the State of Ohio, County of Franklin, City of Gahanna, in Lot No. 4, Quarter Township 3, Township 1 North, Range 16 West, United State Military Lands, and being the remaining portions of the following six (6) tracts of land:

1. original 1.5 acre tract of land conveyed to Josephine L. Vesner by deeds of record in Official Record 187, Page C 13 (undivided 1/2 interest) and Official Record 1872, Page D 08 (undivided 1/2 interest),
2. original 1.5 acre tract of land conveyed to Robert L. & Patricia A. Kyle by deed of record in Official Record 2644, Page I 01,
3. original 1.5 acre tract of land conveyed to Shannon M. & Lynn W. Goldrick by deed of record in Official Record 5877, Page G 02,
4. original 1.5 acre tract of land conveyed to Geraldine Rutter by deed of record in Official Record 624, Page A 07,
5. original 1.001 acre tract of land conveyed to William A., Jr. & Darcy A. Allison by deed of record in Official Record 27814, Page C 12, and
6. original 1.997 acre tract of land conveyed to Lawrence C. & Mary E. Norton by deed of record in Official Record 26990, Page G 05;

all references to the Recorder's Office, Franklin County, Ohio, said rezoning tract bounded and described as follows:

Beginning, for reference, at a point at the intersection of the centerline of Taylor Road (variable width) with centerline of Chadwood Drive (30 feet in width), as shown upon the plat of Taylor Falls, of record in P.B. 85, Page 12;

thence S 85° 47' 21" E along the centerline of Taylor Road a distance of 125.00 feet to a point at the southwest corner of a 0.068 acre tract of land conveyed to The City of Gahanna by deed of record in Instrument 199805060110520;

thence N 4° 12' 56" E along the west line of said 0.068 acre tract a distance of 30.00 feet to a point at the true place of beginning of the tract herein intended to be described;

thence continuing N 4° 12' 56" E along a portion of the west line of said original 1.5 acre tract conveyed to Josephine L. Vesner and along the east line of Reserve "A", as shown upon said plat of Taylor Falls a distance of 632.59 feet to a point at the northwest corner of said original 1.5 acre tract conveyed to Josephine L. Vesner, at the northeast corner of said Reserve "A" and in the south line of Lot No. 533, as shown upon the plat of Hunters Ridge, Section 8, of record in Plat Book 61, Page 22;

thence S 85° 46' 53" E along the north line of said original 1.5 acre tract conveyed to Josephine L. Vesner, along the north line of said original 1.5 acre tract conveyed to Robert L. & Patricia A. Kyle, along the north line of said original 1.5 acre tract conveyed to Shannon M. & Lynn W. Goldrick, along the north line of said original 1.5 acre tract conveyed to Geraldine Rutter, along the north line of said original 1.997 acre tract, along a portion of the south line of said Lot No.

533, along the south lines of Lots Nos. 558, 557, 556, 555, 554 and along a portion of the south line of Lot No. 553, all shown upon the plat of Hunters Ridge, Section 9, of record in Plat Book 65, Page 2, a distance of 588.49 feet to a point at the northeast corner of said original 1.997 acre tract and at the northwest corner of an original 3 acre tract of land conveyed to Lillian Tucker by deeds of record in Deed Book 1696, Page 416 (undivided 1/2 interest) and Deed Book 3612, Page 667 (undivided 1/2 interest);

thence S 4° 12' 56" W along a portion of the east line of said original 1.997 acre tract and along a portion of the west line of said original 3 acre tract a distance of 632.51 feet to a point at the northeast corner of a 0.067 acre tract of land conveyed to The City of Gahanna by deed of record in Instrument 19980506110518 and at the northwest corner of a 0.136 acre tract of land conveyed to The City of Gahanna by deed of record in Instrument 199805220124698;

thence N 85° 47' 21" W crossing a portion of said original 1.997 acre tract and along the north line of said 0.067 acre tract, crossing a portion of said original 1.001 acre tract and along the north line of a 0.069 acre tract of land conveyed to The City of Gahanna by deed of record in Instrument 199805060110511, crossing a portion of said original 1.5 acre tract conveyed to Geraldine Rutter and along the north line of a 0.066 acre tract of land conveyed to The City of Gahanna by deed of record in Instrument 199806080140143, crossing a portion of said original 1.5 acre tract conveyed to Shannon M. & Lynn W. Goldrick and along the north line of a 0.068 acre tract of land conveyed to The City of Gahanna by deed of record in Instrument 199806110144546, crossing a portion of said original 1.5 acre tract conveyed to Robert L. & Patricia A. Kyle and along the north line of a 0.068 acre tract of land conveyed to The City of Gahanna by deed of record in Instrument 199805220124694 and crossing a portion of said original 1.5 acre tract conveyed to Josephine L. Vesner and along the north line of a 0.068 acre tract of land conveyed to The City of Gahanna by deed of record in Instrument 199805060110520 a distance of 558.49 feet to the true place of beginning;

containing 8.546 acres of land more or less and being subject to all easements and restrictions of record.

The above description was prepared by Kevin L. Baxter, Ohio Surveyor No. 7697, of C.F. Bird & R.J. Bull, Inc., Consulting Engineers & Surveyors, Columbus, Ohio, from best available Court House records in August, 1999. Basis of bearings is the centerline of Taylor Road, being assumed at S 85° 47' 21" E, and all other bearings are based upon this meridian.

Kevin L. Baxter

Kevin L. Baxter
Ohio Surveyor #7697



