

15030001

File No. FDP-2-2015
Date Received: 2-24-15
Scheduled Public Hearing Date: _____

Fee: 500.00
Initials: CAS
Check or Receipt No. 76501

APPLICATION FOR FINAL DEVELOPMENT PLAN
CITY OF GAHANNA PLANNING COMMISSION

Name of Final Development Plan: COLUMBUS ACADEMY - ADDITIONS & RENOVATIONS

*Applicant's Name: ANTHONY MALIK, THE COLLABORATIVE INC.

Address: 500 MADISON AVE.

Company: THE COLLABORATIVE INC.

Phone: 419-242-7405 ext 243

Fax: _____

Status: _____ Land Owner _____ Option Holder _____ Cont. Purchaser Agent

Parcel ID#: _____

Property Location: 4300 CHERRY BOTTOM RD.

Total Acreage: _____

Current Zoning: RESTRICTED INSTITUTIONAL DIST.

Developer: COLUMBUS ACADEMY

Phone: 614-509-2262

Contact: DOUG BENNETT

Title: _____

Address: 4300 CHERRY BOTTOM RD., GAHANNA OH 43230

Landowner: _____

Phone: _____

Address: _____

Applicant's Signature

24 FEBRUARY 2015
Date

Submission Requirements

1. A plan that complies with the list of Final Development Plan requirements stated in Chapter 1108.
2. 10 copies of plan **folded** (not rolled) to 8 1/2 X 11 inch size prior to submission.
3. A list of contiguous property owners and their mailing addresses.
4. Application Fee of \$500.
5. Reduced drawing to an 8 1/2 X 11 inch size.
6. One (1) color rendering of the project in plan/ perspective/ or elevation, mounted on a 18 x 24 inch size foam core, gator board or other acceptable material.
7. Submittals of electronic CAD files shall be submitted on acceptable media compressed using WinZip

In accordance with Chapter 1108 of the Codified Ordinances of Gahanna, Ohio, I hereby certify that this project, as stated above, has been for approved by the City of Gahanna Planning Commission on _____. A copy of the minutes is hereby attached.

Planning & Zoning Administrator

Date

*Note: All correspondence will be to applicant above unless otherwise stated.

Revised February 2009

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BY: CAS

PAID
FEB 24 2015

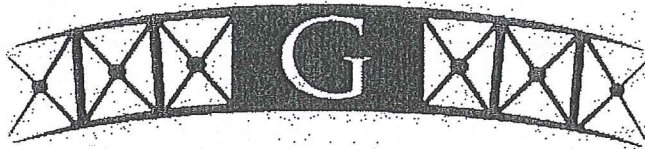
BY: CAS - CHK # 76501
\$500.00

SUBMITTAL REQUIREMENTS

	Applicant Or Agent	Planning & Zoning Administrator
A. The Final Development Plan shall contain the following:		
1. Scale: Minimum – one inch equals 100 feet.	1. <u>X</u>	1. <u>/</u>
2. The proposed name of the development, approximate total acreage, north arrow, and date.	2. <u>X</u>	2. <u>/</u>
3. The names of any public and/or private streets adjacent to or within the development.	3. <u>X</u>	3. <u>/</u>
4. Names and addresses of owners, developers and the surveyor who designed the plan.	4. _____	4. _____
5. Vicinity map showing relationship to surrounding development and its location within the community.	5. <u>X</u>	5. <u>/</u>
6. Natural features currently within proposed development, including drainage channels, tree lines bodies of water, and other significant features.	6. <u>X</u>	6. <u>/</u>
7. Current zoning district, building and parking setbacks.	7. <u>X</u>	7. <u>/</u>
8. Proposed location, size and height of building and/or structures.	8. <u>X</u>	8. <u>/</u>
9. Proposed driveway dimensions and access points.	9. <u>X</u>	9. <u>/</u>
10. Proposed parking and number of parking spaces.	10. <u>X</u>	10. <u>/</u>
11. Distance between buildings.	11. <u>X</u>	11. <u>/</u>
12. List of adjacent property owners for notification.	12. <u>N/A</u>	12. _____
13. Reduced site plan suitable for showing on an overhead projector.	13. _____	13. <u>/</u>
14. Any other information the Planning Commission may deem to be necessary to evaluate the application. These items can include such things as elevations, traffic studies, floor plans, etc.	14. <u>X</u>	14. <u>/</u>
B. In addition to the aforementioned requirements, the developer shall submit a table of development calculations. This table shall include:		
1. Parking calculations: (square footage of proposed buildings, number of spaces per square foot, number of spaces required, actual number of spaces proposed).	1. <u>X</u>	1. <u>✓</u>
2. Lot coverage calculations: (square footage of site, area of permanently impervious surfaces broken down into buildings and parking, area of uncovered land, coverage requirements, proposed lot coverage).	2. <u>N/A</u>	2. <u>/</u>
3. Setback calculations, (if needed).	3. <u>X</u>	3. <u>/</u>
4. Landscaping calculations: (square footage of pavement, proposed area of landscaping, square footage of landscaping, number of two-inch caliper trees required, number of trees proposed).	4. _____	4. _____
(Ord. 132-96. Passed 8-6-96.)		

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BY: AA



CITY OF GAHANNA

Agreement to Build as Specified

Your signature below affirms that, as the applicant ANTHONY MALIK
(Applicant Name)

_____ for COLUMBUS ACADEMY
(Business Name and/or Address)

you will build the project as approved and specified by the Planning Commission for the City of Gahanna. You, as the applicant, also agree that any necessary change to the project must go back through Planning Commission process to amend the plans.

Applicant Name Anthony Malik
(Applicant Name/Applicant Representative)

Date 24 FEBRUARY 2015

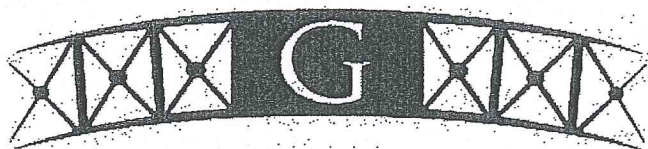
Fredena L. Williams
(Signature of Notary)

2/24/15
(Date)



Fredena L. Williams
Notary Public, State of Ohio
My Commission Expires 06-28-2017

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BY: [Signature]



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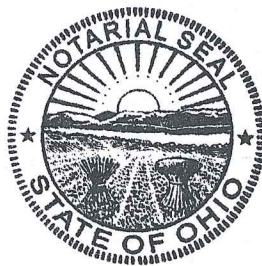
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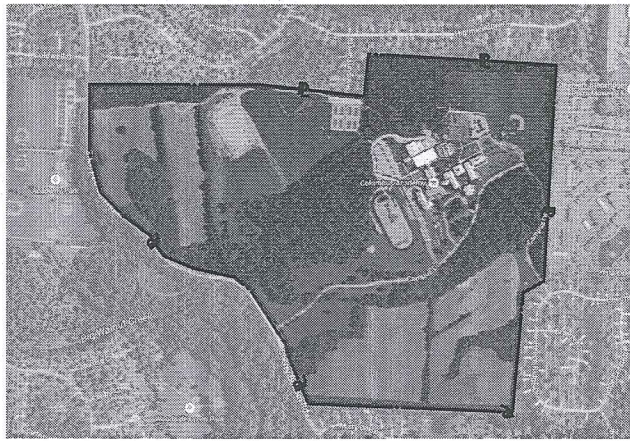
Planning Commission Information for All Applicants

1. All required information must be submitted with the application. Wednesday, 12 noon is the deadline for acceptance of all applications (type of application determines weeks of advertisement). No application will be forwarded to Planning Commission until all information is received in the Planning & Zoning Office.
2. It is the responsibility of the applicant to have a court reporter present, at the applicant's expense, if they wish to have a verbatim transcript of the meeting. Council office must be advised in advance if a court reporter is going to be present.
3. Reduced drawings suitable to an 8 ½ x 11 inch size must be submitted. If an application is amended at any time during the process, a new reduced drawing must be submitted as well as any full size drawings requested.
4. Agendas will be mailed to the applicant on the Friday prior to the Planning Commission meeting. If the agenda is to go to someone other than the applicant, it needs to be noted on the application.
5. If a list of Contiguous Property owners needs to be submitted with an application, it must be compiled in a list on a separate sheet of paper. This must include name and address of property owner. Showing them only on one of the plan sheets is not acceptable.
6. For Design Review applications, a materials list must be submitted with the application. If materials are changed during the process, then a new materials list must be submitted.
7. For Multi-tenant ground sign & Master Sign Plan applications, location must be noted: on site plan for a freestanding sign or on building elevation, if a wall sign. Color renderings must be submitted.
8. Please review "Submission Requirements" on any application before submitting to the Planning & Zoning Division.
9. Copies of specific sections of the zoning code are available in the Zoning Office at no charge. The entire zoning code with a map is available in the Council Office at a cost of \$25.00. Zoning Code is available on line and can be found @ www.gahanna.gov/departments/development/planning.asp under Code Ordinances.
10. Planning Commission members may visit the property prior to the hearing to review the application.

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D7 **CAMPUS AERIAL PHOTO**
SCALE: 1:9600

D

C

NOTES:

- EXISTING TOPOGRAPHIC CONTOURS ARE SHOWN. MINIMAL REGRADING WILL BE REQUIRED.
- APPROXIMATE LOCATIONS OF EXISTING TREES TO REMAIN ARE SHOWN. EXACT LOCATIONS OF TREES POTENTIALLY IMPACTED BY THIS PROJECT WILL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- GENERALIZED PROPOSED LANDSCAPING IS INDICATED. EXACT QUANTITIES, SPECIES, AND LOCATIONS ARE TO BE DETERMINED.
- IMPACT ON EXISTING CAMPUS SITE LIGHTING FOR THIS PROJECT WILL BE MINIMAL. FEW (IF ANY) NEW SITE LIGHTING FIXTURES ARE TO BE ADDED, AND THEY WILL AESTHETICALLY COMPLEMENT EXISTING FIXTURES.
- NET CHANGE IN PARKING CAPACITY WILL BE MINOR AND DOES NOT WARRANT ANY ADDITIONAL INTERIOR LANDSCAPING.

INDICATES LOCATION AND DIRECTION OF SITE PHOTO.

B

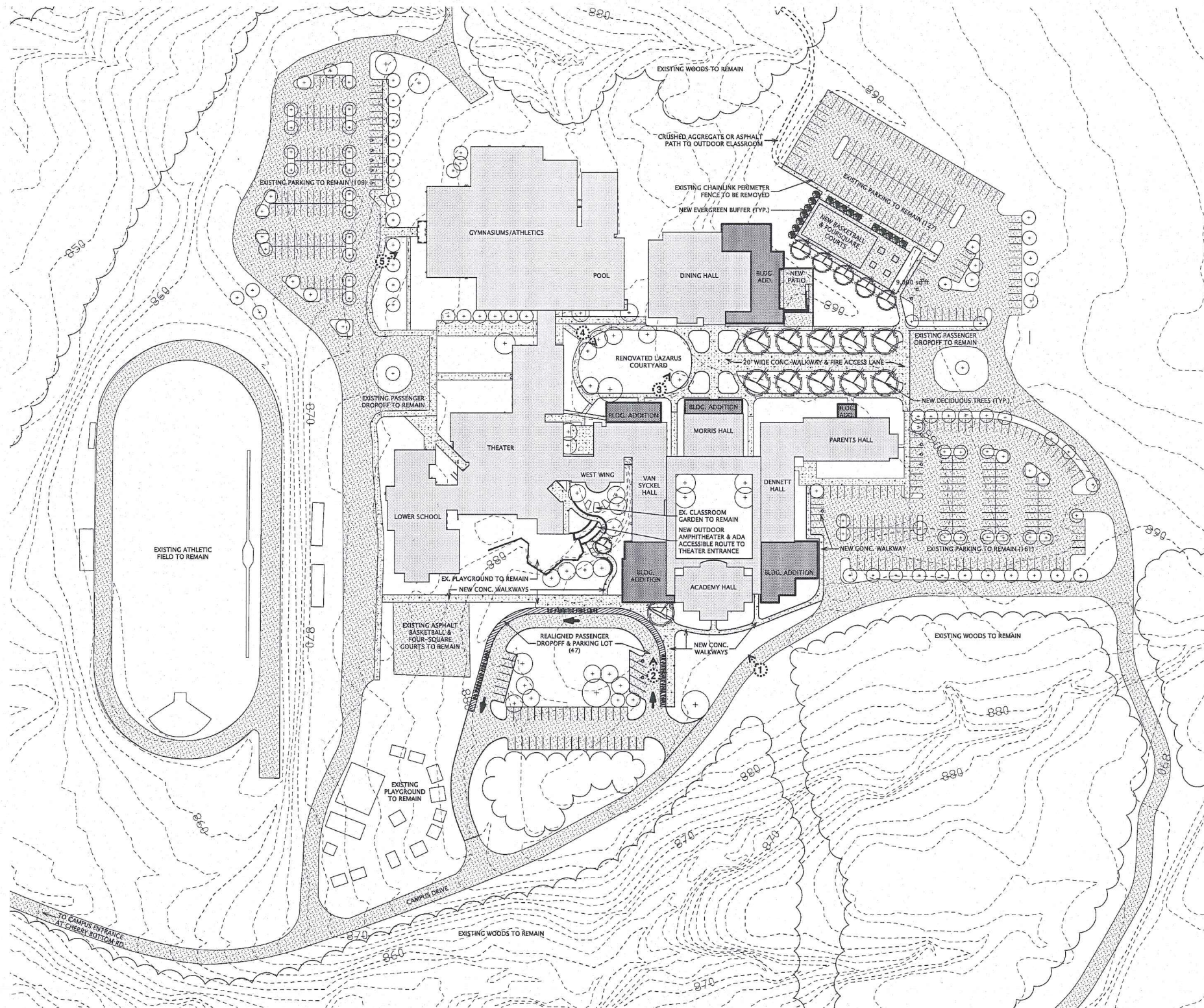
SITE SUMMARY:

ZONING: RID - RESTRICTED INSTITUTIONAL DISTRICT

LOT COVERAGE				
DESCRIPTION	EXISTING, TO REMAIN	PROPOSED	TOTAL	COVERAGE
GROSS CAMPUS AREA	9,928,362 SQ. FT.	0 SQ. FT.	9,928,362 SQ. FT.	100%
BUILDING FOOTPRINT	184,009 SQ. FT.	22,233 SQ. FT.	186,232 SQ. FT.	1.9%
PAVEMENT	471,535 SQ. FT.	79,175 SQ. FT.	550,731 SQ. FT.	5.5%

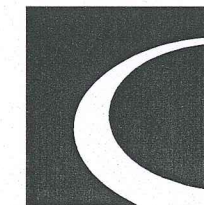
PARKING SUMMARY					
DESCRIPTION	QTY.	RATIO	SPACES REQUIRED	SPACES PROVIDED	
STUDENTS					
LOWER & MIDDLE SCHOOLS	703	1:15	47	-	
UPPER SCHOOL >16 YRS. OLD	279	1:5	56	-	
FACULTY & STAFF	200	1:1	200	-	
TOTAL	-	-	303	444	

A



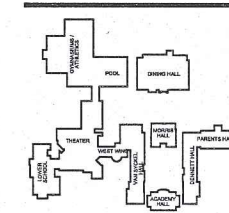
A5 **SD2.01** SCALE: 1:960

E



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D



KEY PLAN
N.T.S.

C

Columbus Academy
ADDITIONS & RENOVATIONS
4300 Cherry Bottom Rd
Gahanna, OH

B

02.24.2015 PLANNING COMMISSION REVIEW

CHECKED PGE
APPROVED PGE

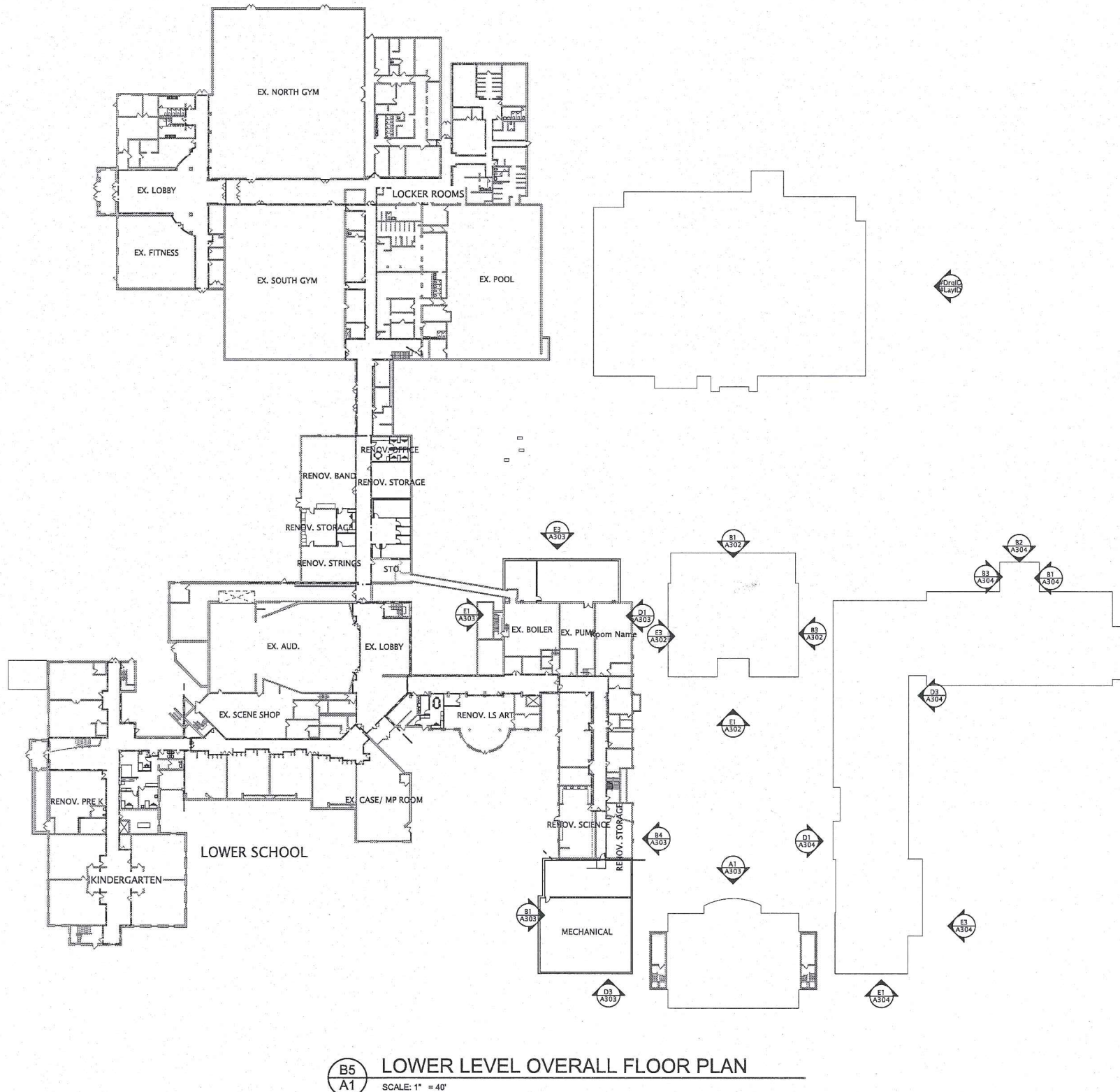
TCJ JOB NO. 106275

SHEET TITLE

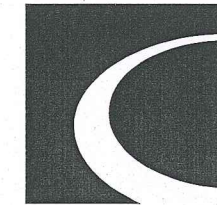


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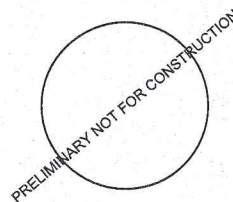
SD2.01



B5
A1
 LOWER LEVEL OVERALL FLOOR PLAN
 SCALE: 1" = 40'



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KEY PLAN
 N.T.S.

PROJECT TITLE
COLUMBUS
ACADEMY
ADDITIONS &
RENOVATIONS
 4300 Cherry Bottom Rd
 #Client City, OH

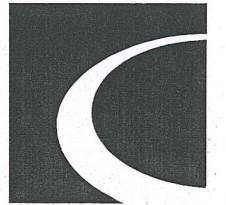
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 APPROVED XXX

TCI JOB NO. 106275

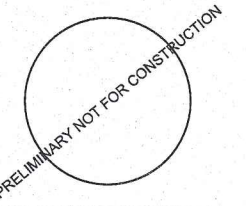
SHEET TITLE
 OVERALL FLOOR
 PLAN - LOWER
 LEVEL

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KEY PLAN
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COLUMBUS ACADEMY ADDITIONS & RENOVATIONS
 4300 Cherry Bottom Rd
 #Client City, OH

2/24/2015 PLANNING COMMISSION REVIEW

CHECKED XXX
 APPROVED XXX

TCI JOB NO. 106275

SHEET TITLE
EXTERIOR ELEVATIONS - DINING BUILDING (ZONE 6)

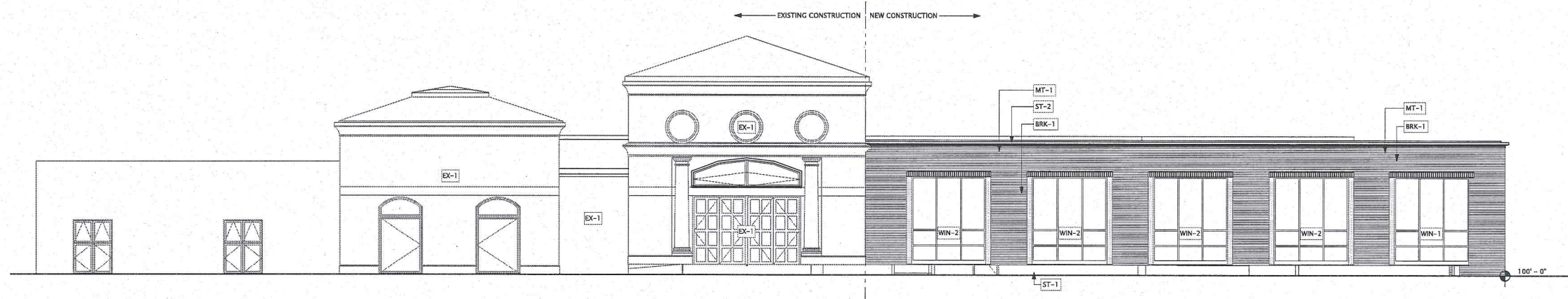
SHEET NO.

A4

7 | 6 | 5 | 4 | 3 | 2 | 1

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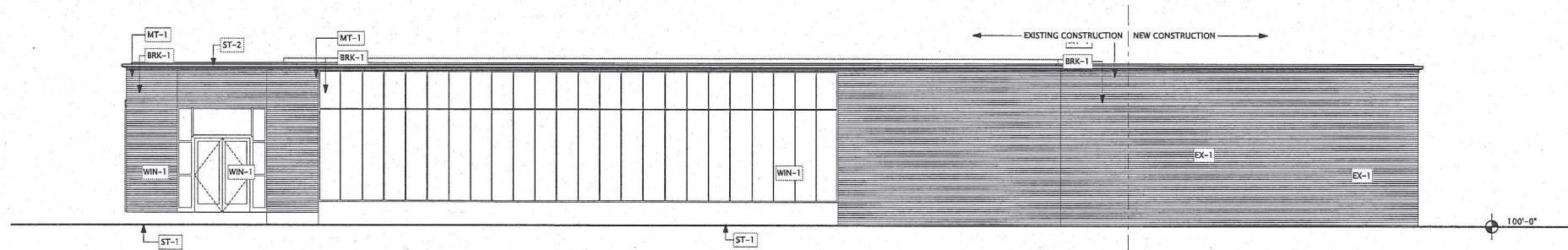


D6 DINING HALL S ELEVATION
 SCALE: 1/8" = 1'-0"

C

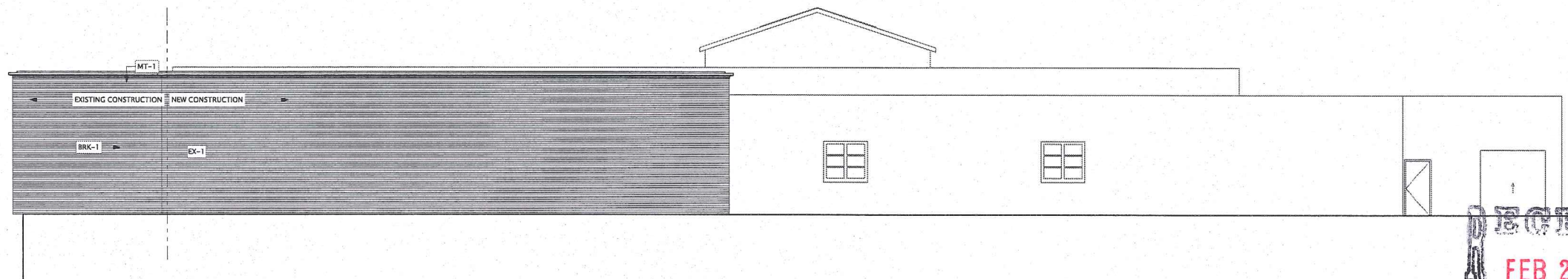
B

EXTERIOR MATERIALS	
MASONRY	WINDOWS
BRK-1 EXTERIOR BRICK	WIN-1 ALUMINUM CURTAIN WALL SYSTEM
	WIN-2 ALUMINUM STOREFRONT SYSTEM
ROOFING	EXISTING
ROOF-1 STANDING SEAM METAL ROOF	EX-1 EXISTING CONSTRUCTION TO REMAIN
INSULATED METAL PANELS	
MP-1 3" INSULATED METAL PANEL	
STONE	
ST-1 CAST STONE WATERTABLE	
ST-2 CAST STONE COPING	
ST-3 CAST STONE FASCIA	
METAL FINISHES	
MT-1 METAL COPING	
MT-2 METAL FASCIA	
MT-3 METAL SOFFIT	
1. SEALANT COLORS TO MATCH ADJACENT MATERIALS - ARCHITECT TO VERIFY 2. END DAMS REQUIRED AT EACH END OF OF HORIZONTAL MASONRY FLASHING AT DOORS, WINDOWS, ETC. 3. SEE ELEVATIONS FOR MASONRY/BRICK CONTROL JOINT LOCATIONS - TYP. SPACING IS 2'-0" AROUND EXTERIOR CORNERS, 20'-0" OC @ WALLS WITH OPENINGS, 25'-0" OC WITH WALLS WITH NO OPENINGS. EIFS CONTROL JOINTS LOCATED AS INDICATED	



B5 DINING HALL E ELEVATION
 SCALE: 1/8" = 1'-0"

A



A6 DINING HALL N ELEVATION
 SCALE: 1/8" = 1'-0"

7 | 6 | 5 | 4 | 3 | 2 | 1

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 BY: *CAS*

7 | 6 | 5 | 4 | 3 | 2 | 1

EXTERIOR MATERIALS

MASONRY
 BRK-1 EXTERIOR BRICK

ROOFING
 ROOF-1 STANDING SEAM METAL ROOF

INSULATED METAL PANELS
 MP-1 3" INSULATED METAL PANEL

STONE
 ST-1 CAST STONE WATERTABLE
 ST-2 CAST STONE COPING
 ST-3 CAST STONE FASCIA

METAL FINISHES
 MT-1 METAL COPING
 MT-2 METAL FASCIA
 MT-3 METAL SOFFIT

WINDOWS
 WIN-1 ALUMINUM CURTAIN WALL SYSTEM
 WIN-2 ALUMINUM STOREFRONT SYSTEM

EXISTING
 EX-1 EXISTING CONSTRUCTION TO REMAIN

1. SEALANT COLORS TO MATCH ADJACENT MATERIALS - ARCHITECT TO VERIFY
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E

E

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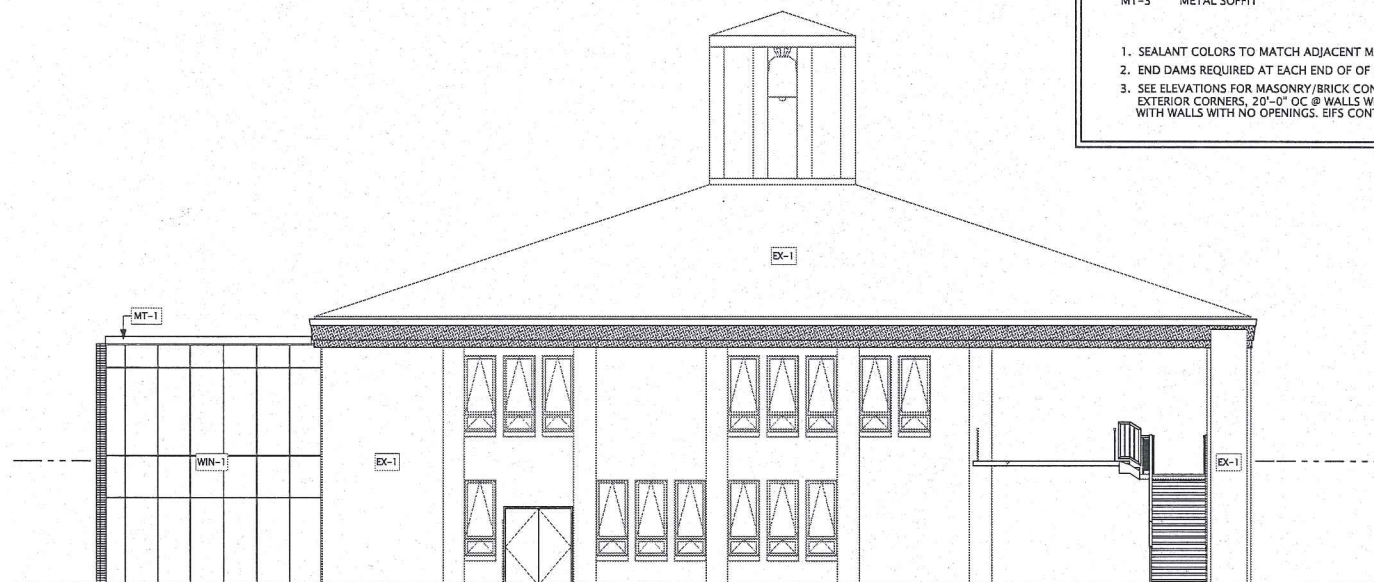
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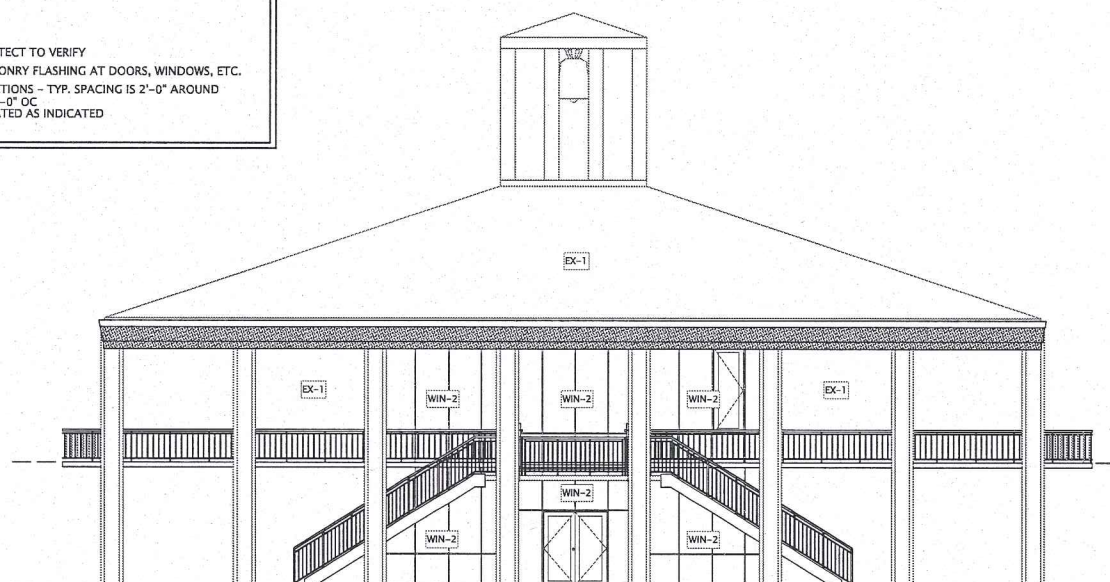
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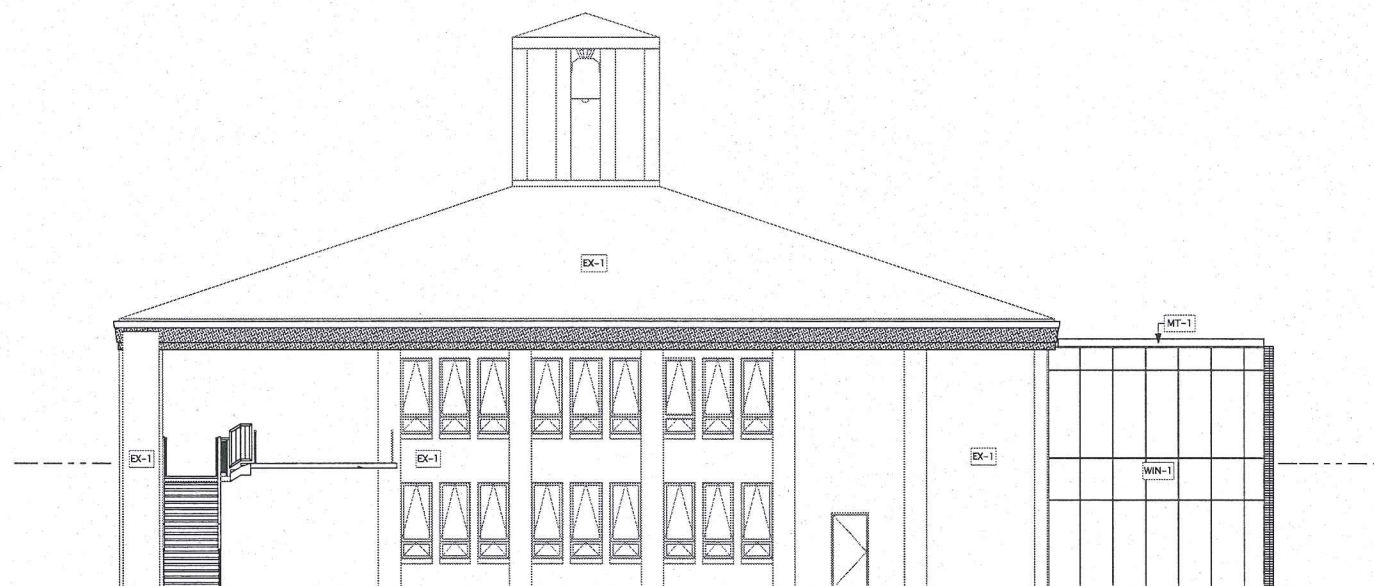
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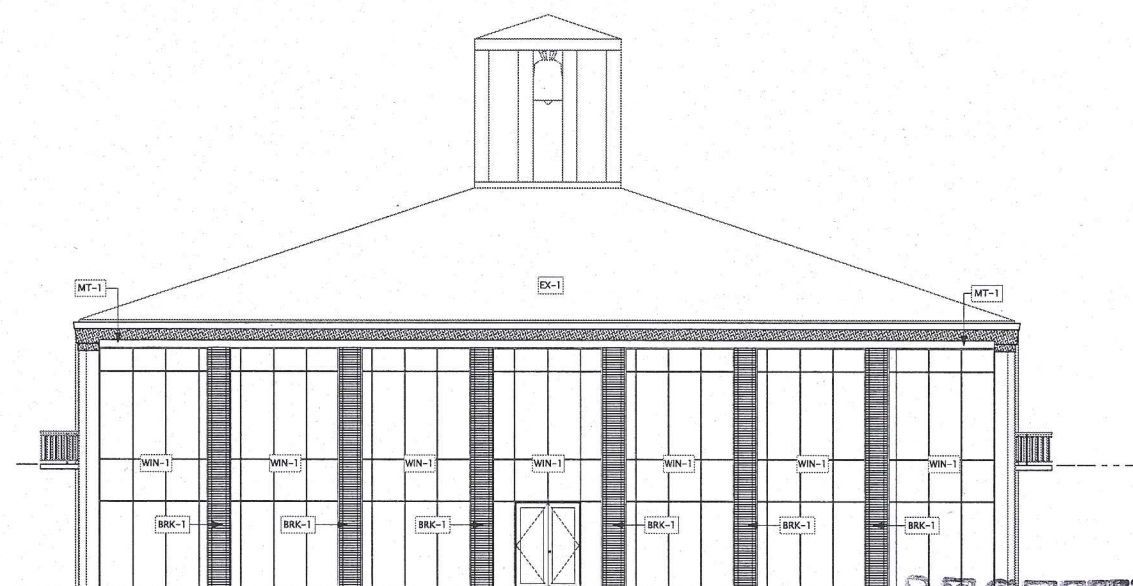
MORRIS HALL W ELEVATION
 SCALE: 1/8" = 1'-0"



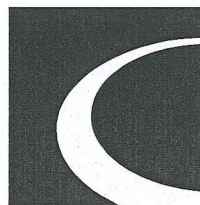
MORRIS HALL S ELEVATION
 SCALE: 1/8" = 1'-0"



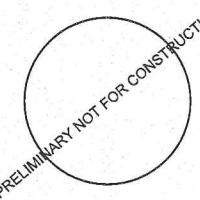
MORRIS HALL E ELEVATION
 SCALE: 1/8" = 1'-0"



MORRIS HALL N ELEVATION
 SCALE: 1/8" = 1'-0"



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 ADDITIONS &
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 4300 Cherry Bottom Rd
 #Client City, OH

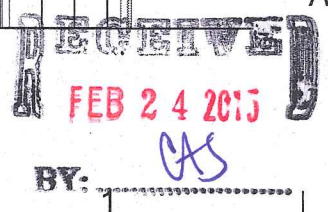
2/24/2015 PLANNING COMMISSION REVIEW

CHECKED XXX
 APPROVED XXX

TCI JOB NO. 106275

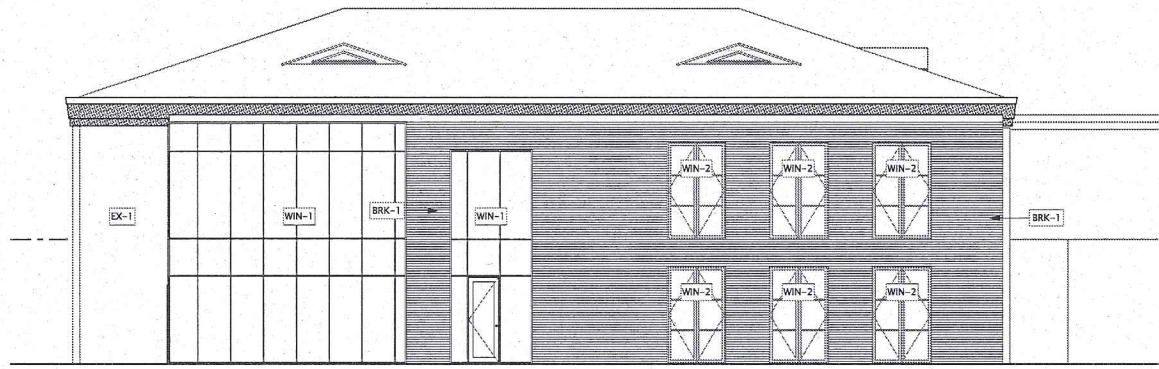
SHEET TITLE
**EXTERIOR
 ELEVATIONS -
 MORRIS HALL
 (ZONE 3)**

SHEET NO.
A5

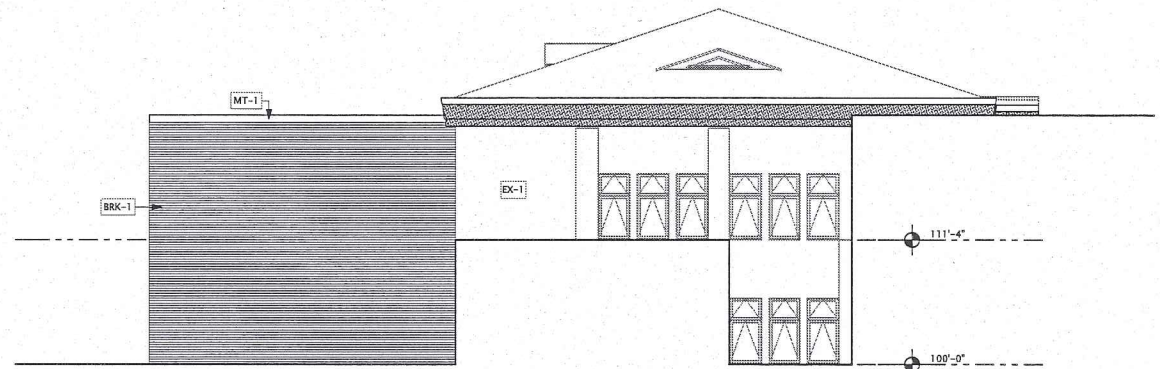


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7 | 6 | 5 | 4 | 3 | 2 | 1



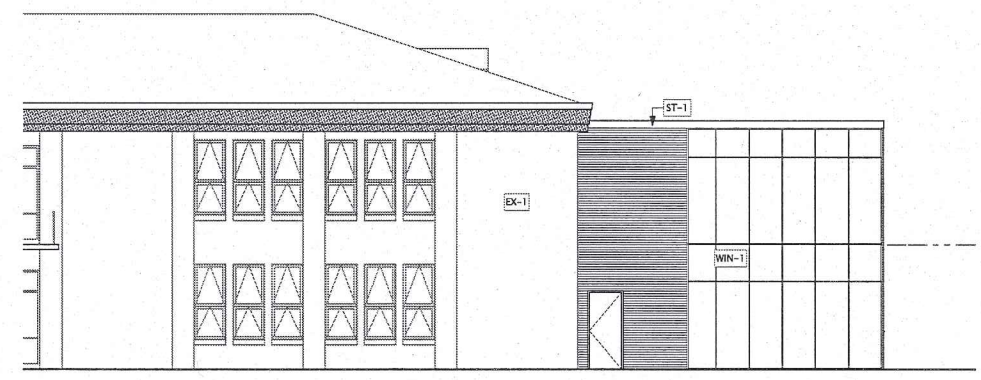
D7 VAN SYCKEL HALL N ADDITION N ELEVATION
A6 SCALE: 1/8" = 1'-0"



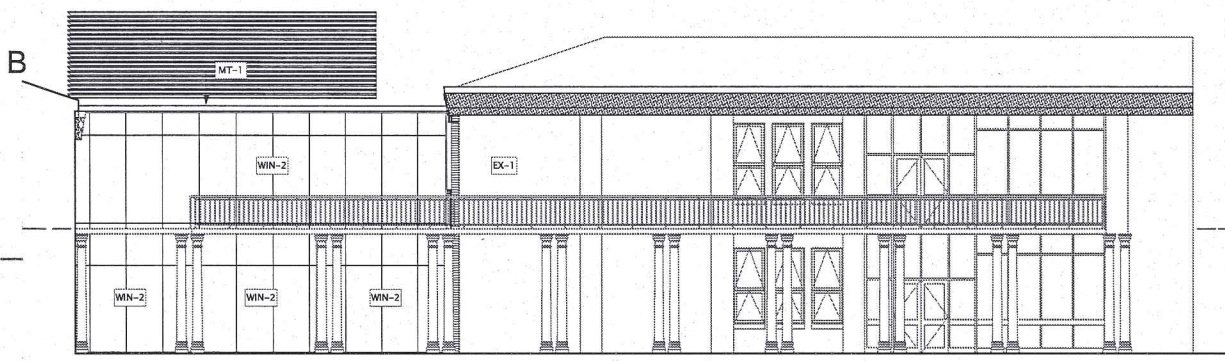
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A6 SCALE: 1/8" = 1'-0"



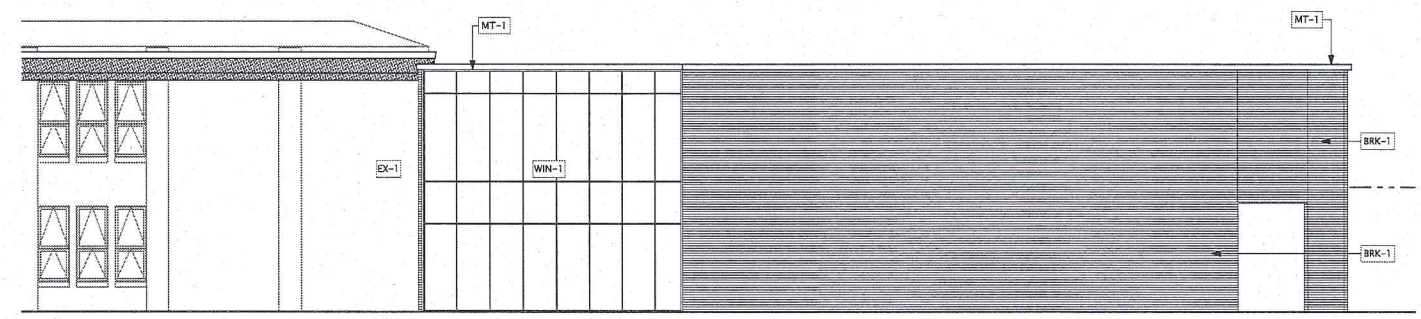
C6 VAN SYCKEL HALL S ADDITION S ELEVATION
A6 SCALE: 1/8" = 1'-0"



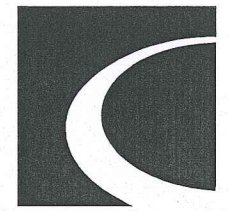
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A6 SCALE: 1/8" = 1'-0"



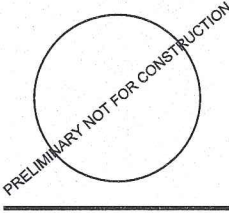
A7 VAN SYCKEL HALL S ADDITION E ELEVATION
A6 SCALE: 1/8" = 1'-0"



A4 VAN SYCKEL HALL S ADDITION W ELEVATION
A6 SCALE: 1/8" = 1'-0"



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KEY PLAN
N.T.S.

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COLUMBUS
ACADEMY
ADDITIONS &
RENOVATIONS
4300 Cherry Bottom Rd
#Client City, OH

2/24/2015 PLANNING COMMISSION REVIEW

CHECKED XXX
APPROVED XXX

TCI JOB NO. 106275

SHEET TITLE
EXTERIOR
ELEVATIONS

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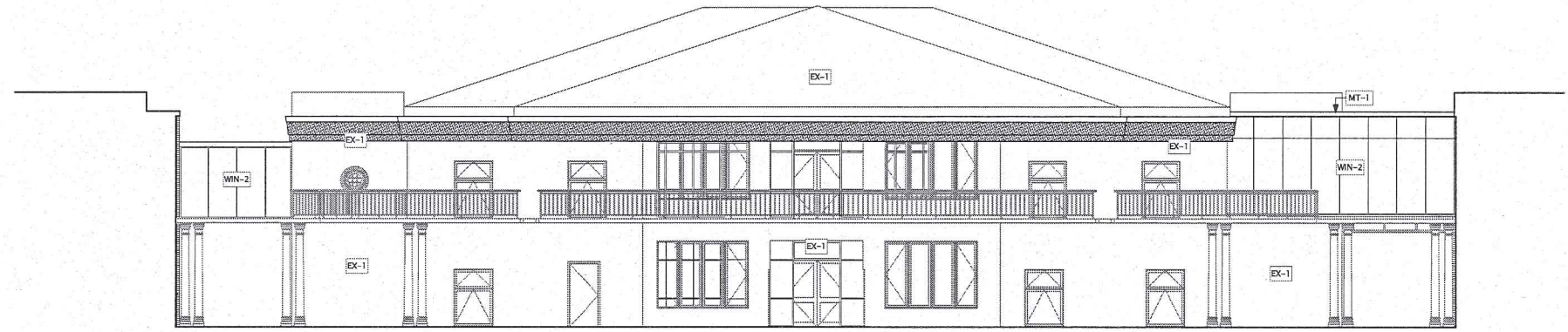
BY: [Signature]

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A6

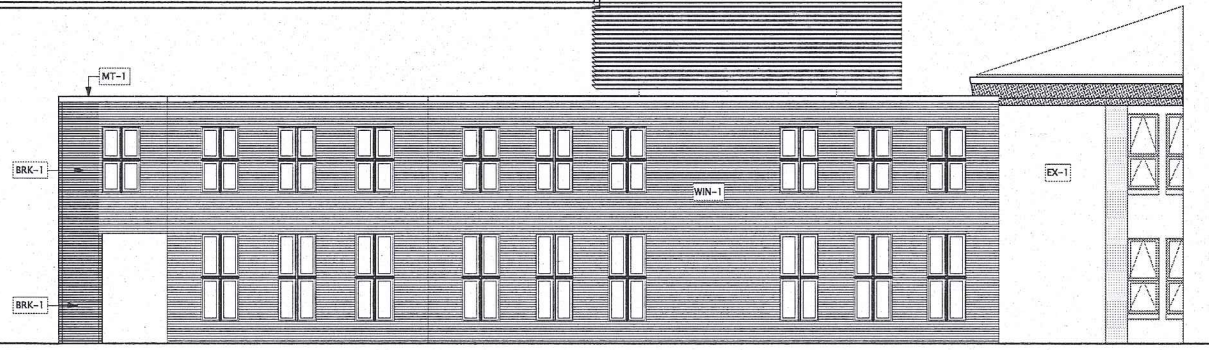
7 | 6 | 5 | 4 | 3 | 2 | 1

EXTERIOR MATERIALS	
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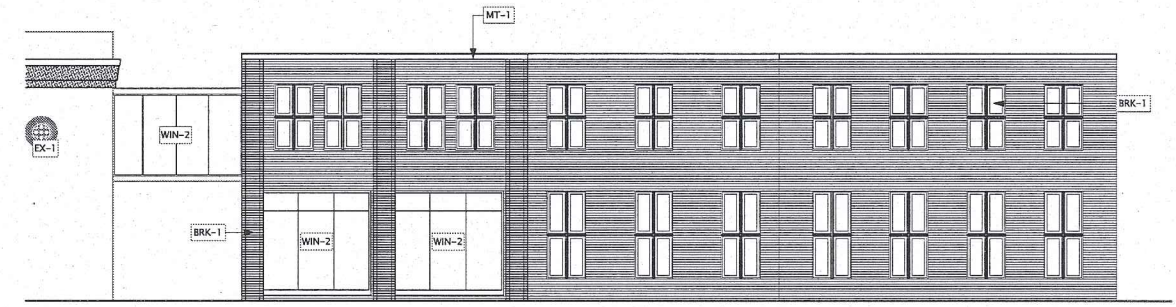
- SEALANT COLORS TO MATCH ADJACENT MATERIALS - ARCHITECT TO VERIFY
- END DAMS REQUIRED AT EACH END OF HORIZONTAL MASONRY FLASHING AT DOORS, WINDOWS, ETC.
- SEE ELEVATIONS FOR MASONRY/BRICK CONTROL JOINT LOCATIONS - TYP. SPACING IS 2'-0" AROUND EXTERIOR CORNERS, 20'-0" OC @ WALLS WITH OPENINGS, 25'-0" OC WITH WALLS WITH NO OPENINGS. EIFS CONTROL JOINTS LOCATED AS INDICATED



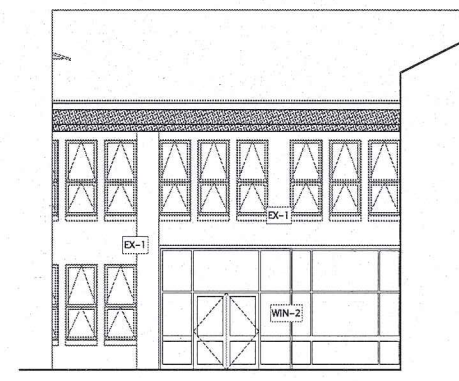
D5 N ACADEMY HALL
SCALE: 1/8" = 1'-0"



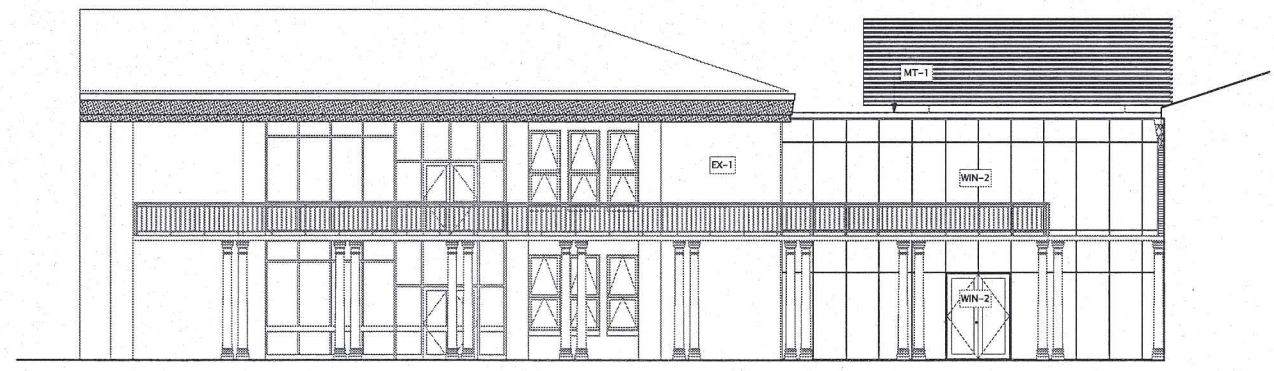
C7 DENNETT HALL S ADDITION E ELEVATION
SCALE: 1/8" = 1'-0"



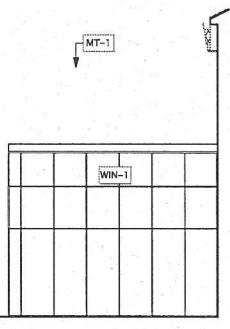
C4 DENNETT HALL S ADDITION S ELEVATION
SCALE: 1/8" = 1'-0"



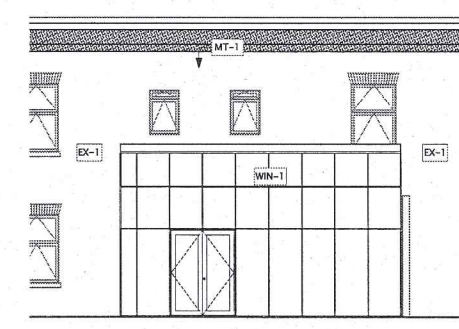
B5 DENNET NEW ENTRY
SCALE: 1/8" = 1'-0"



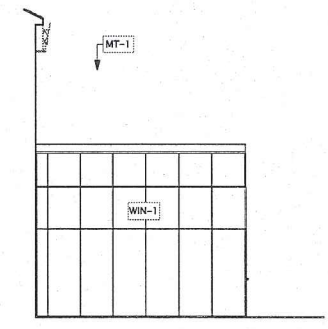
B4 DENNETT HALL S ADDITION W ELEVATION
SCALE: 1/8" = 1'-0"



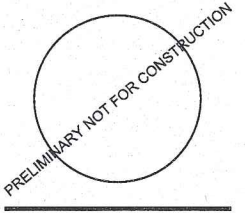
A4 PARENTS HALL ENTRY W
SCALE: 1/8" = 1'-0"



A3 PARENTS HALL ENTRY N 2
SCALE: 1/8" = 1'-0"



A2 PARENTS HALL ENTRY E
SCALE: 1/8" = 1'-0"



KEY PLAN
N.T.S.

PROJECT TITLE
COLUMBUS ACADEMY ADDITIONS & RENOVATIONS
4300 Cherry Bottom Rd
#Client City, OH

2/24/2015 PLANNING COMMISSION REVIEW

CHECKED XXX
APPROVED XXX

TCI JOB NO. 106275

SHEET TITLE
EXTERIOR ELEVATIONS

RECEIVED
FEB 24 2015

BY: [Signature]
SHEET NO. **A7**

STONERIDGE PLAZA SHOPS LLC
01301 -363N HAMILTON RD
C/O PACE FINANCIAL GROUP LLC
191 W. NATIONWIDE BLVD, STE 150
COLUMBUS, OH 43215

VISTA AT ROCKY FORK LP
4477 HAMILTON RD
C/O PACE FINANCIAL GROUP LLC
191 W NATIONWIDE BLVD, STE 150
COLUMBUS, OH 43215

STACEY AND HEATHER THIGPEN
330 HIGHMEADOW CT
GAHANNA, OH 43230

JAMES AND JOY DICKSON
322 HIGHMEADOW CT
GAHANNA, OH 43230

JOSEPH AND MOLLY TROVATO
1282 -284 PADDINGTON CT
GAHANNA, OH 43230

MICHAEL A WEST
1281 -283 PADDINGTON CT
GAHANNA, OH 43230

DAVID L JOHNSON
1282 -284 GATWICK CT
GAHANNA, OH 43230

MAHNOUSH SOLEYMANI
1281 -283 GATWICK CT
GAHANNA, OH 43230

SCOTT A & VICTORIA L CONKLE
296 HIGHMEADOW DR
GAHANNA, OH 43230

ANTHONY R & SALLY J RISTUCCI
290 HIGHMEADOW DR
GAHANNA, OH 43230

CALVIN AND KATHRYN WIJNHAMER
284 HIGHMEADOW DR
GAHANNA, OH 43230

SHANE AND ANNE MYERS
280 HIGHMEADOW DR
COLUMBUS, OH 43230

GERARD JOHNSON & PAMELA LINKE
276 HIGHMEADOW DR
GAHANNA, OH 43230

CHERYL L SALYER
272 HIGHMEADOW DR
GAHANNA, OH 43230

DONNA G KIRK
268 HIGHMEADOW DR
COLUMBUS, OH 43230

SCOTT A & CONNIE M SAMPSON
1300 GRANFIELD CT
GAHANNA, OH 43230

RATTAN DSOUZA AND RAFIKA MUNSHI
1296 GRANFIELD CT
GAHANNA, OH 43230

MATTHEW MONTECALVO AND GAIL DURANY
1292 GRANFIELD CT
GAHANNA, OH 43230

JONATHAN M VAN METER
1290 GRANFIELD CT
GAHANNA, OH 43230

JONATHAN M VAN METER
1291 GRANFIELD CT
GAHANNA, OH 43230

DEBORAH S KELLOGG
207 HIGHMEADOW DR
COLUMBUS, OH 43230

WAYNE AND WENDY SORENSON
197 HIGHMEADOW DR
COLUMBUS, OH 43230

TIMOTHY R & SUSAN M MCMULLEN
187 HIGHMEADOW DR
GAHANNA, OH 43230

DUSTIN R CULLEN
177 HIGHMEADOW DR
GAHANNA, OH 43230

JOAN AND STEVEN MAJTENYI
167 HIGHMEADOW DR
COLUMBUS, OH 43230

SANDRA TARULLO JACOBS
DOUGLAS A JACOBS
157 HIGHMEADOW DR
COLUMBUS, OH 43230

DANIEL T & VICTORIA E HALEY
147 HIGHMEADOW DR
GAHANNA, OH 43230

WILLIAM AND SHELIA J VAUGHN
137 HIGHMEAOOW DR
COLUMBUS, OH 43230

ROBERT AND SUSAN RUTHERFORD
127 HIGHMEAOOW DR
COLUMBUS, OH 43230

SUSAN AND JAMES THOMAS
117 HIGHMEADOW DR
GAHANNA, OH 43230

DION MANLEY
107 HIGHMEADOW DR
GAHANNA, OH 43230

KRISTINA M PETERS
97 HIGHMEADOW DR
COLUMBUS, OH 43230

MICHELE PARISH AND MARK STELZER
87 HIGHMEADOW DR
GAHANNA, OH 43230

ELAINE GROEZINGER
77 HIGHMEADOW DR
COLUMBUS, OH 43230

ELLEN B MAXWELL
1266 ASHBURNHAM DR
COLUMBUS, OH 43230

ROBERTA L KENORALLA
1256 ASHBURNHAM DR
GAHANNA, OH 43230

ANTHONY AND THERESA RUDD
1248 ASHBURNHAM DR
COLUMBUS, OH 43230

STEVEN & CHRISTINE WELK
1240 ASHBURNHAM DR
GAHANNA, OH 43230

CYNTHIA J HARRIS
346 BEECHER RD
COLUMBUS, OH 43230

STONERIDGE PLAZA SHOPS LLC
1247 -257 HAMILTON RD
C/O PACE FINANCIAL GROUP LLC
191 W NATIONWIDE BLVD, STE 150
COLUMBUS, OH 43215

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COLUMBUS, OH 43230

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report

- \\ Report of parcels touching irregular area - MMPC301 ///
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CLARENCE E MINGO II
FRANKLIN COUNTY AUDITOR

Report of parcels touching irregular area

DATE : MAR 13, 2015

- 025-004272 * Owner: STONERIDGE PLAZA SHOPS LLC
Address: 01301 -363N HAMILTON RD
Mail To: PACE FINANCIAL GROUP LLC
: STE 150
: 191 W NATIONWIDE BLVD
: COLUMBUS, OHIO 43215
: COLUMBUS, OHIO 43215
- 025-004281 * Owner: COLUMBUS ACADEMY
Address: CHERRY BOTTOM RD
Mail To: COLUMBUS ACADEMY
: 4300 CHERRY BOTTOM RD
: PO BOX 30745
: COLUMBUS OH 43230
- 025-004288 Owner: COLUMBUS ACADEMY 4300 CHERRY BOTTOM RD
Address: 4376 CHERRY BOTTOM RD
Mail To: COLUMBUS ACADEMY
: 4300 CHERRY BOTTOM RD
: PO BOX 30745
: COLUMBUS OH 43230
- 025-004295 * Owner: VISTA AT ROCKY FORK LP
Address: 4477 HAMILTON RD
Mail To: PACE FINANCIAL GROUP LLC
: STE 150
: 191 W NATIONWIDE BLVD
: COLUMBUS, OHIO 43215
- 025-004301 * Owner: COLUMBUS ACADEMY
Address: CHERRY BOTTOM RD
Mail To: COLUMBUS ACADEMY
: 4300 CHERRY BOTTOM RD
: PO BOX 30745
: COLUMBUS OH 43230
- 025-004421 * Owner: COLUMBUS ACADEMY FEE
Address: 4300 CHERRY BOTTOM RD
Mail To: COLUMBUS ACADEMY FEE
: 4300 CHERRY BOTTOM RD
: COLUMBUS OH 43230

report

025-005930 Owner: THIGPEN STACEY A THIGPEN HEATHER L
Address: 330 HIGHMEADOW CT
Mail To: CENLAR FED SAVINGS BANK
 : 6053 FASHION SQ DR STE200
 : MURRAY, UT 84107

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CLARENCE E MINGO II
FRANKLIN COUNTY AUDITOR

Report of parcels touching irregular area

DATE : MAR 13, 2015

025-005931 Owner: DICKSON JAMES W DICKSON JODY A
Address: 00322 HIGHMEADOW CT
Mail To: DOVENMUEHLE MORTGAGE INC
 : 1 CORPORATE DR STE 360
 : LAKE ZURICH, IL 60047

025-005947 * Owner: TROVATO JOSEPH A TROVATO MOLLY M
Address: 1282 -284 PADDINGTON CT
Mail To: HUNTINGTON MORTGAGE CORP
 : PO BOX 182661
 : COLUMBUS, OH 43218

025-005948 * Owner: WEST MICHAEL A
Address: 1281 -283 PADDINGTON CT
Mail To: WELLS FARGO REAL ESTATE
 : MAC X2302-04D
 : 1 HOME CAMPUS
 : DES MOINES, IA 50328

025-005953 * Owner: JOHNSON DAVID L
Address: 1282 -284 GATWICK CT
Mail To: BAC TAX SERVICES CORP
 : TX-975-02-01
 : 2375 N GLENVILLE DR
 : RICHARDSON, TX 75082

025-005954 * Owner: SOLEYMANI MAHNOUSH
Address: 1281 -283 GATWICK CT
Mail To: HUNTINGTON MORTGAGE CORP
 : PO BOX 182661
 : COLUMBUS, OH 43218

025-006932 Owner: CONKLE SCOTT A & VICTORIA L
Address: 00296 HIGHMEADOW DR
Mail To: LERETA
 : 1123 PARK VIEW DR
 : COVINA, CA 91724

025-006933 Owner: RISTUCCI ANTHONY R & SALLY J
Address: 00290 HIGHMEADOW DR
Mail To: OCWEN LOAN SERVICING LLC
 : 1661 WORTHINGTON RD #100
 : WEST PALM , FL 33409

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CLARENCE E MINGO II
FRANKLIN COUNTY AUDITOR

Report of parcels touching irregular area

DATE : MAR 13, 2015

report

025-006934 Owner: WIJNHAMER CALVIN WIJNHAMER KATHRYN
 Address: 00284 HIGHMEADOW DR
 Mail To: CENLAR FED SAVINGS BANK
 : 6053 FASHION SQ DR STE200
 : MURRAY, UT 84107

025-006935 Owner: MYERS SHANE A MYERS ANNE
 Address: 280 HIGHMEADOW DR
 Mail To: SHANE MYERS
 : ANNE MYERS
 : 280 HIGHMEADOW DR
 : COLUMBUS OH 43230

025-006936 Owner: JOHNSON GERARD A & PAMELA LINKE
 Address: 00276 HIGHMEADOW DR
 Mail To: GERARD A JOHNSON
 : PAMELA LINKE
 : 276 HIGHMEADOW DR
 : COLUMBUS OH 43230

025-006937 Owner: SALYER CHERYL L
 Address: 00272 HIGHMEADOW DR
 Mail To: UNION SAVINGS BANK
 : ESCROW DEPT
 : 8534 E KEMPER RD FL 2
 : CINCINNATI, OH 45249

025-006938 Owner: KIRK DONNA G
 Address: 00268 HIGHMEADOW DR
 Mail To: DONNA G KIRK
 : 268 HIGHMEADOW DR
 : COLUMBUS OH 43230

025-006939 Owner: SAMPSON SCOTT A & CONNIE M
 Address: 1300 GRANFIELD CT
 Mail To: CITIMORTGAGE INC
 : 95 METHODIST HILL DR
 : ROCHESTER, NY 14623

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 CLARENCE E MINGO II
 FRANKLIN COUNTY AUDITOR

Report of parcels touching irregular area

DATE : MAR 13, 2015

025-006940 Owner: DSOUZA RATTAN J MUNSHI RAFIKA
 Address: 1296 GRANFIELD CT
 Mail To: CHASE HOME FINANCE LLC
 : 1 CORELOGIC DR
 : WESTLAKE, TX 76262

025-006941 Owner: MONTECALVO MATTHEW J DURANY GAIL
 Address: 01292 GRANFIELD CT
 Mail To: FIFTH THIRD BANK
 : DFW4-2
 : 1 CORELOGIC DR
 : WESTLAKE, TX 76262

025-006942 * Owner: VAN METER JONATHAN M
 Address: 1290 GRANFIELD CT
 Mail To: THE STATE BANK AND TRUST
 : PO BOX 467
 : DEFIANCE, OH 43512

report

- 025-006943 Owner: VAN METER JONATHAN M
Address: 01291 GRANFIELD CT
Mail To: HUNTINGTON MORTGAGE CORP
 : PO BOX 182661
 : COLUMBUS, OH 43218
- 025-008137 Owner: KELLOGG DEBORAH S
Address: 207 HIGHMEADOW DR
Mail To: DEBORAH S KELLOGG
 : 207 HIGHMEADOW DR
 : COLUMBUS OH 43230
- 025-008138 Owner: SORENSON WAYNE R SORENSON WENDY B
Address: 197 HIGHMEADOW DR
Mail To: WENDY SORESON
 : WAYNE SORENSON
 : 197 HIGHMEADOW DR
 : COLUMBUS OH 43230
- 025-008139 Owner: MCMULLEN TIMOTHY R & SUSAN M
Address: 00187 HIGHMEADOW DR
Mail To: US BANCORP SRV PROVIDERS
 : 6053 S FASHION SQ DR
 : MURRAY, UT 84107

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CLARENCE E MINGO II
FRANKLIN COUNTY AUDITOR

Report of parcels touching irregular area

DATE : MAR 13, 2015

- 025-008140 Owner: CULLEN DUSTIN R
Address: 00177 HIGHMEADOW DR
Mail To: CENLAR FED SAVINGS BANK
 : 6053 FASHION SQ DR STE200
 : MURRAY, UT 84107
- 025-008141 Owner: MAJTENYI JOAN E MAJTENYI STEVEN I
Address: 00167 HIGHMEADOW DR
Mail To: JOAN E MAJTENYI
 : STEVEN MAJTENYI
 : 167 HIGHMEADOW DR
 : COLUMBUS OH 43230
- 025-008142 Owner: JACOBS DOUGLAS A TARULLO-JACOBS SANDRA B
Address: 00157 HIGHMEADOW DR
Mail To: SANDRA TARULLO JACOBS
 : DOUGLAS A JACOBS
 : 157 HIGHMEADOW DR
 : COLUMBUS OH 4
- 025-008143 Owner: HALEY DANIEL T & VICTORIA E
Address: 00147 HIGHMEADOW DR
Mail To: FIRST FEDERAL BANK NEWARK
 : ATTN:ESCROW PROCESSING
 : 2 N 2ND ST/PO BOX 4460
 : NEWARK, OH 43055
- 025-008144 Owner: VAUGHN WILLIAM D & SHELIA J
Address: 00137 HIGHMEADOW DR
Mail To: WILLIAM D VAUGHN
 : SHELIA J VAUGHN

report

: 137 HIGHMEADOW DR
: COLUMBUS OH 43230
025-008145 Owner: RUTHERFORD ROBERT A & SUSAN L
Address: 00127 HIGHMEADOW DR
Mail To: ROBERT A RUTHERFORD
: SUSAN L RUTHERFORD
: 127 HIGHMEADOW DR
: COLUMBUS OH 43230

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CLARENCE E MINGO II
FRANKLIN COUNTY AUDITOR

Report of parcels touching irregular area

DATE : MAR 13, 2015

025-008146 Owner: THOMAS SUSAN E THOMAS JAMES B
Address: 00117 HIGHMEADOW DR
Mail To: DOVENMUEHLE MORTGAGE INC
: 1 CORPORATE DR STE 360
: LAKE ZURICH, IL 60047

025-008147 Owner: MANLEY DION
Address: 00107 HIGHMEADOW DR
Mail To: CHASE HOME FINANCE LLC
: 1 CORELOGIC DR
: WESTLAKE, TX 76262

025-008148 Owner: PETERS KRISTINA M
Address: 00097 HIGHMEADOW DR
Mail To: KRISTINA M PETERS
: 97 HIGHMEADOW DR
: COLUMBUS OH 43230

025-008149 Owner: PARISH MICHELE S STELZER MARK J
Address: 87 HIGHMEADOW DR
Mail To: BAC TAX SERVICES CORP
: TX-975-02-01
: 2375 N GLENVILLE DR
: RICHARDSON, TX 75082

025-008150 Owner: GROEZINGER ELAINE Y TR
Address: 00077 HIGHMEADOW DR
Mail To: ELAINE GROEZINGER
: 77 HIGHMEADOW DR
: COLUMBUS OH 43230

025-008152 Owner: MAXWELL ELLEN B
Address: 01266 ASHBURNHAM DR
Mail To: ELLEN B MAXWELL
: 1266 ASHBURNHAM DR
: COLUMBUS OH 43230

025-008153 Owner: KENDRALLA ROBERTA L
Address: 01256 ASHBURNHAM DR
Mail To: CHASE HOME FINANCE LLC
: 1 CORELOGIC DR
: WESTLAKE, TX 76262

VAM59_MMPC301 Page 6

CLARENCE E MINGO II
FRANKLIN COUNTY AUDITOR

Page 5

report
Report of parcels touching irregular area

DATE : MAR 13, 2015

025-008154 Owner: RUDD ANTHONY L & THERESA A
 Address: 01248 ASHBURNHAM DR
 Mail To: ANTHONY L RUDD
 : THERESA A RUDD
 : 1248 ASHBURNHAM DR
 : COLUMBUS OH 43230

025-008155 Owner: WELK STEVEN & CHRISTINE
 Address: 01240 ASHBURNHAM DR
 Mail To: FIFTH THIRD BANK
 : DFW4-2
 : 1 CORELOGIC DR
 : WESTLAKE, TX 76262

025-010344 Owner: HARRIS CYNTHIA J
 Address: 346 BEECHER RD
 Mail To: CYNTHIA J HARRIS
 : 346 BEECHER RD
 : COLUMBUS OH 43230

025-010785 * Owner: STONERIDGE PLAZA SHOPS LLC
 Address: 1247 -257 HAMILTON RD
 Mail To: PACE FINANCIAL GROUP LLC
 : STE 150
 : 191 W NATIONWIDE BLVD
 : COLUMBUS, OHIO 43215

025-011400 Owner: BOLTZ STEVEN B & CHERYL C
 Address: 1059 REECE RIDGE DR
 Mail To: STEVEN B BOLTZ
 : CHERYL C BOLTZ
 : 1059 REECE RIDGE DR
 : COLUMBUS OH 43230



CITY OF GAHANNA

STAFF COMMENTS

Project Name: Columbus Academy – FDP & DR
Project Address: 4300 Cherry Bottom Road

Parks & Recreation HAS NO COMMENT.

Respectfully Submitted By:

Tony Collins





CITY OF GAHANNA

STAFF COMMENTS

Project Name: Columbus Academy – FDP & DR

Project Address: 4300 Cherry Bottom Road

- Stormwater Management & Water Quality shall be addressed per City Standards
- Engineering Plans in accordance to City Standards shall be submitted for Review.

Respectfully Submitted By:

Robert S. Priestes



"HERB CAPITAL OF OHIO"

200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV



CITY OF GAHANNA

STAFF COMMENTS

Project Name: Columbus Academy – FDP & DR
Project Address: 4300 Cherry Bottom Road

Planning and Development

The applicant requests Final Development Plan and Design Review approval of additions and renovations to the Columbus Academy. The site is located within the Institutional Future Land Use Designation. The goal of the Institutional land use designation is to provide the highest level of institutional and public facilities and services that efficiently and effectively meet the needs of the community. A supporting principle is to maintain high standards in public and private building design and landscape site design.

Future Land Use



Respectfully Submitted By:
Michael Blackford
Deputy Director of Planning and Development





CITY OF GAHANNA

STAFF COMMENTS

Project Name: Columbus Academy – FDP & DR
Project Address: 4300 Cherry Bottom Road

The applicant seeks approval for 22,223 sq ft of building additions to the existing 164,009 sq ft of campus buildings, to bring the total square footage to 186,232. There will also be some renovations made inside the existing structures. These additions and renovations will accommodate Columbus Academy's needs without having to build a separate middle school building.

The exterior materials will match or compliment those of the existing buildings. New lighting fixtures will be of the same style as the existing ones. Additional trees and walkways will be provided, and the passenger drop off will be realigned. Parking will remain virtually the same.

Respectfully Submitted By:
Bonnie Gard
Planning and Zoning Administrator



"HERB CAPITAL OF OHIO"



Mifflin Township Division of Fire Fire Inspection Bureau

501 Beecher Road, Gahanna, OH 43230
Phone: (614) 939-1853

Development Plan Review Response

Applicant	Columbus Academy	Reviewed by	Steve Welsh
	4300 Cherry Bottom Road	Status	Approved with conditions
	Gahanna, OH 43230	Submission Date	March 11, 2015

1. The 20 foot wide concrete walkway and fire access lane shall be constructed to heavy duty roadway specifications accessible to fire apparatus weighing 75,000 lbs.
2. Additional comments on the project could arise after the plan review process starts.

The Fire Division **APPROVES** the plan if the above condition can be met.

A handwritten signature in black ink, appearing to read "Steve Welsh".

March 11, 2015

Date

Steve Welsh, Captain, Fire Marshal