



DEPARTMENT OF PLANNING

ZONING DIVISION
200 S. Hamilton Road
Gahanna, Ohio 43230
614-342-4025
zoning@gahanna.gov
www.gahanna.gov

FINAL DEVELOPMENT PLAN APPLICATION

PROPERTY INFORMATION			
Project/Property Address: 611-659 Eastgate Parkway		Project Name/Business Name: Eastgate Commercial Park - Phase 2	
Parcel #: 027-000146-00	Zoning: (see <i>Map</i>)	OCT	Acreage: 2.33 Phase 2 (7.49 Original)

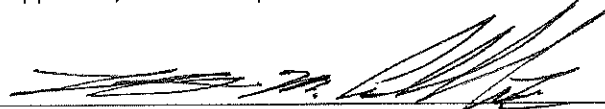
PLAN SPECIFICATIONS
Project Description & Proposed Use(s): The proposed development of Eastgate Commercial Park, Phase 2. The project includes 3 new buildings and associated parking. This project will include storm water management and utility services.

APPLICANT INFORMATION	
Applicant Name (Primary Contact): Robert Leveck	Applicant Address: 625 Eastgate Pkwy, Gahanna, Ohio 43230
Applicant E-mail: rleveck@leveckconstruction.com	Applicant Phone: 614-582-4765
Business Name (if applicable):	

ADDITIONAL CONTACTS	
Please list all applicable contacts for correspondence	
Name(s)	Contact Information (phone/email)
Ryan Badger - ADR & Associates, Ltd.	740-345-1921 rbadger@adrinnovation.com
Property Owner Name: (if different from Applicant)	Property Owner Contact Information (phone no./email):

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature:  Date: **12/13/21**

ADDITIONAL INFORMATION ON NEXT PAGE....

INTERNAL USE

Zoning File No. FDP-06652021

RECEIVED: KAW
DATE: 12-22-21

PAID: 1000.00
DATE: 12-22-21

Updated Aug 2021

FINAL DEVELOPMENT PLAN APPLICATION - SUBMISSION REQUIREMENTS

TO BE COMPLETED/SUBMITTED BY THE APPLICANT:
1. Review Gahanna Code Chapter 1108 (visit www.municode.com) & Chapter 914 , Tree Requirements
2. Pre-application conference with staff. Contact zoning@gahanna.gov to schedule
3. The Final Development Plan shall include the following: <ul style="list-style-type: none"> a. Scale: Minimum - one inch equals 100 feet. b. The proposed name of the development, approximate total acreage, north arrow, and date c. The names of any public and/or private streets adjacent to or within the development d. Names and addresses of owners, developers and the surveyor who designed the plan e. Vicinity map showing relationship to surrounding development and its location within the community f. Natural features currently within proposed development, including drainage channels, tree lines, bodies of water, and other significant features g. Zoning district, building and parking setbacks h. Proposed location, size and height of building and/or structures i. Location and dimensions of proposed driveways and access points j. Proposed parking and number of parking spaces k. Distance between buildings
4. A table of development calculations is required which shall include: <ul style="list-style-type: none"> a. Parking calculations: (square footage of proposed buildings, number of spaces per square foot, number of spaces required, and actual number of spaces proposed) b. Lot coverage calculations: (square footage of site, area of permanently impervious surfaces broken down into buildings and parking, area of uncovered land, coverage requirements, proposed lot coverage) c. Setback calculations necessary when commercial abuts residential (if needed; see chapter 1167.20) d. Landscaping calculations: (square footage of pavement, proposed area of landscaping, square footage of landscaping, number of trees required, and number of trees proposed; see chapter 1163.08)
5. Any other information the Planning Commission may deem to be necessary to evaluate the application. These items can include such things as elevations, traffic studies, floor plans, etc.
6. List of contiguous property owners & their mailing address
7. One set of pre-printed mailing labels for all contiguous property owners
8. Application fee (in accordance with the Building & Zoning Fee Schedule)
9. Application & all supporting documents submitted in digital format
10. Application & all supporting documents submitted in hardcopy format
11. One (1) copy 24"x36" or 11"x17" prints of the plans
12. Authorization Consent Form Complete & Notarized (see page 3)

PLEASE NOTE:

The Public Hearing will not occur until the City of Gahanna reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.

AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

PROPERTY OWNER

IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

Eastgate Commercial Park, LLC
(property owner name printed)

[Signature]
(property owner signature) 12/17/21
(date)

Subscribed and sworn to before me on this 17th day of December, 20 21.
State of Ohio County of Franklin
Notary Public Signature: Fredena L. Williams



Applicant/Property Owner/Representative

AGREEMENT TO COMPLY AS APPROVED As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

AUTHORIZATION TO VISIT THE PROPERTY I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described.

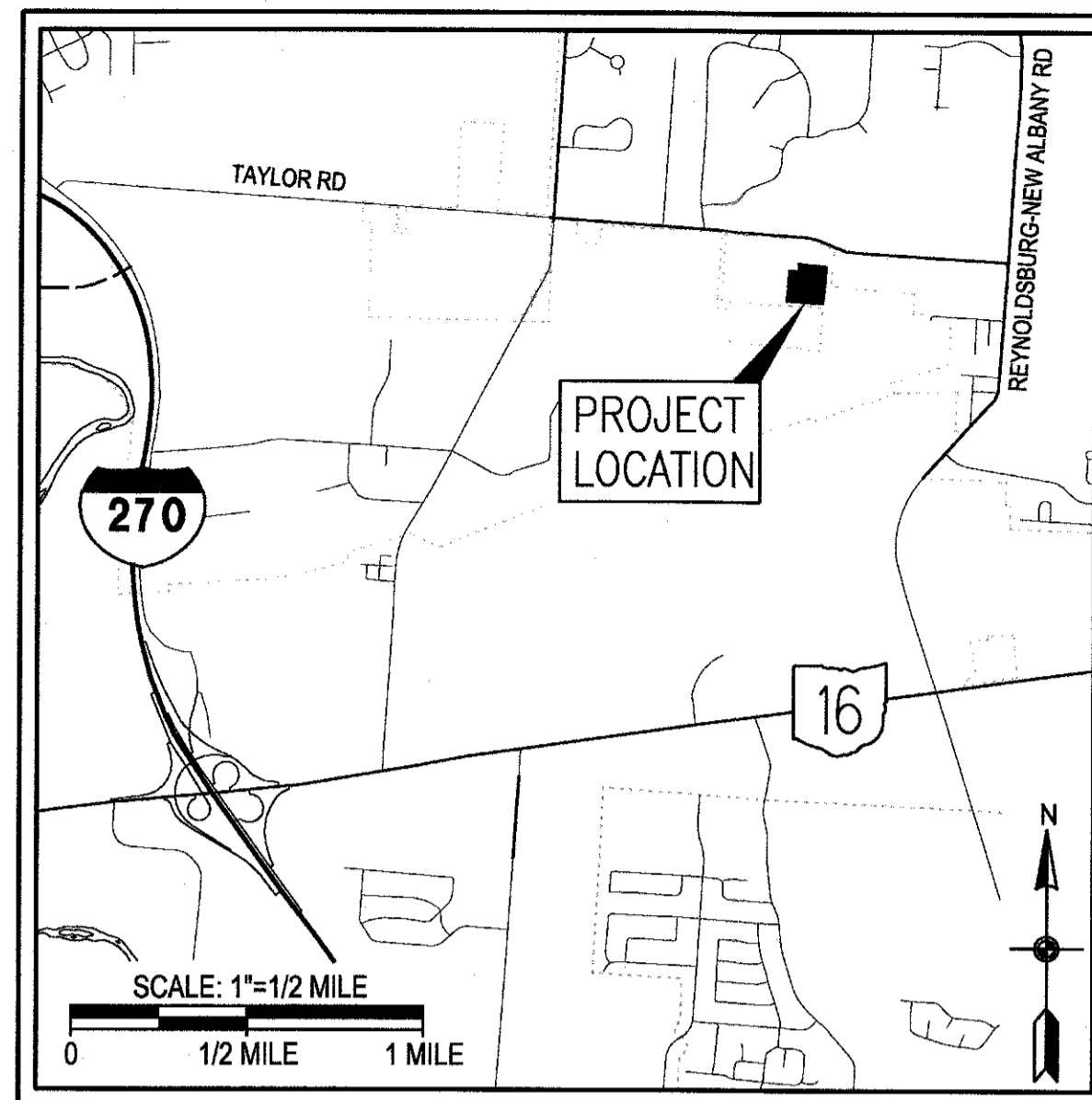
APPLICATION SUBMISSION CERTIFICATION I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

Eastgate Commercial Park, LLC
(applicant/representative/property owner name printed)

[Signature]
(applicant/representative/property owner signature)

Subscribed and sworn to before me on this 17th day of December, 20 21.
State of Ohio County of Franklin
Notary Public Signature: Fredena L. Williams





2022

EASTGATE COMMERCIAL PARK, PHASE II

FINAL DEVELOPMENT PLAN

643 THROUGH 657 EASTGATE PARKWAY

THE CITY OF GAHANNA

PLANNING COMMISSION APPROVAL DATE: 00/00/0000
 PLANNING COMMISSION APPROVAL NUMBER: DR-XXXX-XXXX
 PLANNING COMMISSION APPROVED VARIANCE: V-0013-2019
 SECTION 1155.04 (c)(1)(A) - PARKING SETBACK
 SECTION 1163.06 (A) - LIGHTING

OEPA NOI APPROVAL NUMBER: 4GC07012*AG DATE: 10/25/2019

OWNER / DEVELOPER

EASTGATE COMMERCIAL PARK, LLC
 Attn.: ROBERT LEVECK
 1500 WEST THIRD AVENUE, SUITE 120
 COLUMBUS, OHIO 43212
 (614) 582-4765
 rleveck@leveckconstruction.com

INDEX OF SHEETS

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INFORMATION PROVIDED BY OTHERS

LANDSCAPING PLAN	A2.00
LIGHING PLAN	1-5

PROJECT DATA

TOTAL AREA:	7.62 ACRES
PROJECT EARTH DISTURB AREA:	2.33 ACRES
ESTIMATED CONTRACTOR (OUTSIDE PROJECT) EARTH DISTURBED AREA:	0.00 ACRES
NOTICE OF INTENT EARTH DISTURBED AREA:	2.33 ACRES
IMPERVIOUS AREA FOR PRE-CONSTRUCTION SITE:	3.61 ACRES
IMPERVIOUS AREA FOR POST-CONSTRUCTION SITE:	5.02 ACRES
RECEIVING WATERS:	UN-NAMED TRIBUTARY TO BLACKLICK CREEK

100 YEAR DETENTION TABLE

DESCRIPTION	VOLUME REQUIRED (C.F.)	ELEVATION REQUIRED	VOLUME PROVIDED (C.F.)	ELEV. FOR PROVIDED VOLUME
DRY BASIN	100,114	915.63	152,467	917.50

THE CITY OF GAHANNA SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND GENERAL LOCATION OF THE PROPOSED IMPROVEMENT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHO PREPARED AND CERTIFIED THESE PLANS.

CITY OF GAHANNA _____ DATE
 DIRECTOR, PUBLIC SERVICE AND ENGINEERING

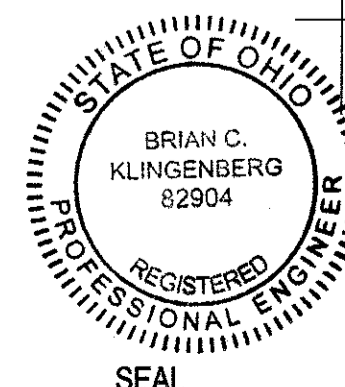
CITY OF GAHANNA _____ DATE
 WATER RESOURCE ENGINEER

CITY OF GAHANNA _____ DATE
 CITY ENGINEER



Newark Office:
 88 West Church Street
 Newark, OH 43055
 (740) 345-1921 (ph)
 (740) 345-4994 (fax)
 www.adrinnovation.com

CITY OF COLUMBUS STANDARD CONSTRUCTION DRAWINGS	
AA-S133B	8/8/14
AA-S141	12/6/13
AA-S149	10/15/14
AA-S169	12/6/13



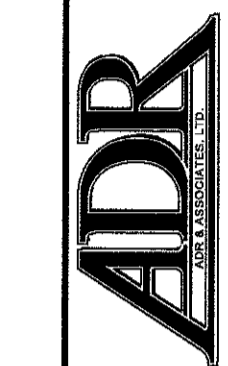
Brian Klingenberg
 BRIAN C. KLINGENBERG, P.E.
 OHIO PROFESSIONAL ENGINEER #82904

5-23-2022
 DATE

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BY

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REVISIONS

TITLE SHEET

EASTGATE COMMERCIAL PARK, PHASE II
 FINAL DEVELOPMENT PLAN
 THE CITY OF GAHANNA, OHIO

MAY 20, 2022
 JOB #21-079

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GENERAL NOTES

SANITARY SEWER NOTES:

ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.

SERVICE RISERS, ITEM 914, SHALL BE INSTALLED WHERE DEPTHS FROM THE WYES TO THE EXISTING OR PROPOSED ELEVATIONS EXCEED 10'. THE TOPS OF RISERS SHALL BE NO MORE THAN ±9" BELOW THE EXISTING OR PROPOSED SURFACE ELEVATION, WHICHEVER IS HIGHER.

THE SITE UTILITY CONTRACTOR SHALL CALL THE CITY OF GAHANNA UTILITIES DEPARTMENT FOR INSPECTION OF TAPS, NEW WATER SERVICES, AND FIRE HYDRANTS. CALL (614) 342-4440 24 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION.

A MINIMUM VERTICAL CLEARANCE OF 1.5 FEET SHALL BE PROVIDED BETWEEN THE PROPOSED SANITARY SERVICE AND EXISTING UTILITIES OR STRUCTURES UNLESS OTHERWISE NOTED ON THESE PLANS.

ALL PVC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION IN CONFORMANCE WITH THE REQUIREMENTS OF ITEM 901 OF THE CITY OF COLUMBUS. CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT VERSION.

ALL SANITARY SEWER AND SANITARY SERVICES ARE TO BE MANDREL TESTED, AIR TESTED, CLEANED AND CAMERA INSPECTED.

ALL SANITARY MANHOLES ARE REQUIRED TO PASS A VACUUM TEST PER CITY OF COLUMBUS ITEM 901.20 AND ASTM-C-1244.

PIPE FOR ALL 6" SANITARY SERVICES SHALL BE PVC SEWER PIPE ASTM D-3034, SDR-35. THE SERVICES SHALL BE FIELD TESTED BY THE INFILTRATION, EXFILTRATION OR AIR TEST.

ALL PIPES SHALL BE LAID WITH TYPE 1 GRANULAR MATERIAL BEDDING AND BACKFILL AS SHOWN ON STANDARD CONSTRUCTION CITY OF COLUMBUS AA-S151. INSTALLATION SHALL CONFORM TO CMS SECTION 900.

STORM SEWER NOTES:

ANY PLACEMENT OF STORM SEWERS BENEATH EXISTING OR PROPOSED PAVEMENT SHALL BE BACKFILLED IN ACCORDANCE WITH COLUMBUS CMS ITEM 912, COMPACTED GRANULAR BACKFILL.

ALL PIPES SHALL BE LAID WITH TYPE 1 GRANULAR MATERIAL BEDDING AND BACKFILL AS SHOWN ON STANDARD CONSTRUCTION CITY OF COLUMBUS AA-S151. INSTALLATION SHALL CONFORM TO CMS SECTION 900.

ALL CONCRETE PIPE AND STORM SEWER STRUCTURES SHALL BE STAMPED OR HAVE SUCH IDENTIFICATION NOTING THAT SAID PIPE AND/OR STORM STRUCTURES HAVE BEEN INSPECTED BY THE CITY OF COLUMBUS AND MEETS THEIR SPECIFICATIONS. PIPE AND STRUCTURES WITHOUT PROPER IDENTIFICATION WILL NOT BE PERMITTED FOR INSTALLATION.

ALL CURB INLETS AND MANHOLES SHALL BE CHanneled AS DIRECTED. THE COST FOR THIS WORK IS TO BE INCLUDED IN THE PRICE BID FOR VARIOUS STORM SEWER ITEMS.

IN CASE OF CONFLICT IN GRADE BETWEEN WATER LINES AND STORM SEWERS, THE WATER LINES SHALL BE LOWERED DURING CONSTRUCTION.

ALL PLASTIC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION IN CONFORMANCE WITH THE REQUIREMENTS OF COLUMBUS CMS ITEM 901.

ALL STORM SEWER IS TO BE MANDREL TESTED, CLEANED AND CAMERA INSPECTED.

MAINTENANCE OF TRAFFIC:

ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD) FOR CONSTRUCTION AND MAINTENANCE OPERATIONS. ALL DEVICES SHALL MEET FP-85 REFLECTANCE STANDARDS AND IN FULL COMPLIANCE WITH "QUALITY STANDARDS FOR WORK ZONE TRAFFIC CONTROL DEVICES" PUBLISHED BY ATTSSA. ALL TRAFFIC CONTROL DEVICES MUST MEET NCHRP 350.

STEADY BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT. ALL SIGNS, NINE SQUARE FEET (36" X 36") AND OVER SHALL HAVE YELLOW TYPE "A" LOW INTENSITY FLASHING WARNING LIGHTS AND THREE FLAGS. CONES ARE NOT APPROVED FOR USE AT NIGHT.

THE ROADWAY SHALL NOT BE OPENED TO TRAFFIC UNTIL PERMANENT TRAFFIC CONTROLS ARE IN PLACE OR UNTIL TEMPORARY TRAFFIC CONTROLS APPROVED BY THE INSPECTOR ARE INSTALLED. THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE PREMATURE REMOVAL OF TEMPORARY TRAFFIC CONTROLS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REINSTALLATION AND/OR REPLACEMENT OF ALL PERMANENT TRAFFIC CONTROL DEVICES DAMAGED OR REMOVED DURING THE CONSTRUCTION. PERMANENT TRAFFIC CONTROLS NO LONGER IN CONFLICT WITH TEMPORARY TRAFFIC CONTROLS SHALL BE REPLACED IMMEDIATELY.

ALL PERMANENT TRAFFIC CONTROLS NOT IN CONFLICT WITH THE TEMPORARY TRAFFIC CONTROLS SHALL BE MAINTAINED THROUGHOUT THE PROJECT BY THE CONTRACTOR. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR MISSING, DAMAGED, AND IMPROPERLY PLACED TRAFFIC CONTROL DEVICES.

ALL TRENCHES WITHIN THE ROAD RIGHT-OF-WAY SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

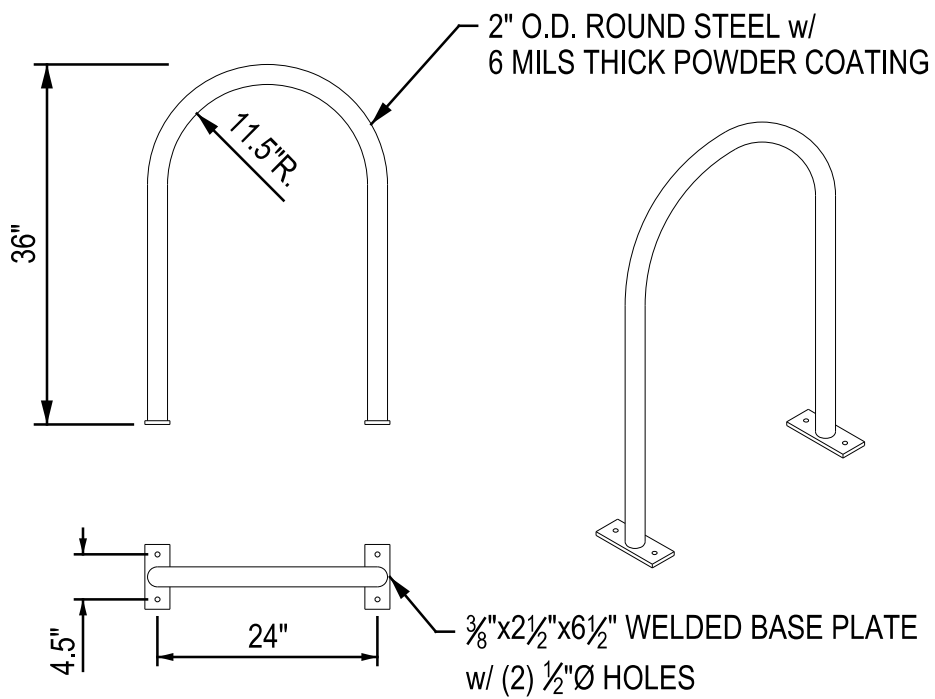
ALL LANES SHALL BE FULLY OPEN TO TRAFFIC ON ALL PUBLIC STREETS AND ALLEYS UNLESS OTHERWISE APPROVED BY THE CITY OF GAHANNA.

ANY WORK DONE BY THE CITY INCLUDING INSTALLATION, RELOCATION, REMOVAL AND/OR REPLACEMENT OF PERMANENT TRAFFIC CONTROL DEVICES AS A RESULT OF WORK DONE BY THE CONTRACTOR OR AS A RESULT OF THE NEGLIGENCE OF THE CONTRACTOR SHALL BE AT THE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFE MOVEMENT OF PEDESTRIANS THROUGH, AROUND AND AWAY FROM THE CONSTRUCTION SITE AS DESIGNATED IN SECTION 60.01 OF THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD).

THE SAFETY OF PEDESTRIAN TRAFFIC SHALL BE CONSIDERED AT ALL TIMES IN THE PROVISION OF TRAFFIC CONTROL DEVICES REQUIRED BY THESE PLANS AND NOTES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE LIGHTS, SIGNS, BARRICADES AND OTHER WARNINGS TO PHYSICALLY SEPARATE THE PEDESTRIAN FROM HAZARDS INCIDENTAL TO THE CONSTRUCTION OPERATIONS SUCH AS OPEN EXCAVATIONS, ETC.

BICYCLE PARKING INVERTED "U" RACK DETAIL



RACK SHALL BE SURFACE MOUNTED WITH 3/8"x1" TORX BOLT & 3/8"x1" S/S DROP-IN ANCHOR (4 PER RACK). FOR IN-GROUND MOUNT, RACK SHALL BE 48" IN HEIGHT WITH 12" ENBEDMENT. (EACH "U" RACK SERVES TWO BICYCLE PARKING SPACES)

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REVISIONS

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GENERAL NOTES

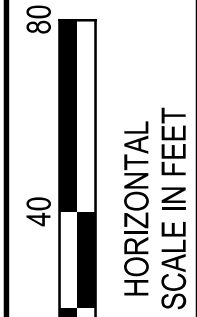
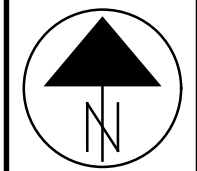
EASTGATE COMMERCIAL PARK, PHASE II
FINAL DEVELOPMENT PLAN
THE CITY OF GAHANNA, OHIO

MAY 20, 2022
JOB #21-079

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SCHEMATIC PLAN



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REVISIONS

SCHEMATIC PLAN

EASTGATE COMMERCIAL PARK, PHASE II FINAL DEVELOPMENT PLAN THE CITY OF GAHANNA, OHIO

MAY 20, 2022
JOB #21-079

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SURVEY INFORMATION

SURVEY INFORMATION BASED ON FIELD OBSERVATION BY SMART SERVICES, INC.

FOR MORE INFORMATION CONTACT:
SMART SERVICES, INC.
88 W CHURCH STREET
NEWARK, OH 43055
(740) 345-4700

CONTROL POINTS

POINT	NORTHING	EASTING	ELEV.	DESCRIPTION
CNPT #1	728235.647	1878559.197	922.94'	5/8" REBAR W/ CAP "TRAVERSE"
CNPT #2	728094.302	1878206.513	909.62	5/8" REBAR W/ CAP "TRAVERSE"
CNPT #3	728631.634	1878248.202	915.34	5/8" REBAR W/ CAP "TRAVERSE"
CNPT #4	728649.150	1878916.790	936.83	5/8" REBAR W/ CAP "TRAVERSE"
BM #1	728413.6	1878575.4	923.59	SQUARE CHISELED IN N.W. CORNER OF CONC. PAD FOR DUMPSTER
BM #2	728264.2	1878228.5	909.47	SQUARE CHISELED NEAR E. CORNER OF CONC. RETAINING WALL

DATE OF FIELD SURVEY: AUGUST 17-18, 2021
 COORDINATE SYSTEM: OHIO STATE PLANE, SOUTH ZONE (3402)
 HORIZONTAL REFERENCE DATUM: NAD83 (2011)
 ELLIPSOID: GRS80
 VERTICAL REFERENCE DATUM: NAVD88
 GEOD MODEL: GEOD18
 UNITS: US SURVEY FEET (SFT)
 ORIGINAL SURVEY SUBDIVISION: UNITED STATES MILITARY LANDS
 TOWNSHIP: CITY OF GAHANNA, JEFFERSON TWP., THIRD QUARTER OF T-1N, R-16W

PROPERTY LINES AS SHOWN ARE PER FIELD SURVEY DATA (FOUND PINS) AND RECORD DEEDS. THE PROPERTY LINES WERE BEST FIT ONTO PINS FOUND. THIS IS NOT A SURVEY PER OAC 4733-37.

UTILITIES

OUPS NOTIFICATION RESPONSES: B122401494-00B (MARKINGS)
 B122401496-00B (PLANS)

MEMBERS IDENTIFIED:
 AEP OHIO (USIC)
 COLUMBUS GAS OF OH - COLUMBUS
 FRANKLIN COUNTY ENGS
 CITY OF GAHANNA
 JEFFERSON WATER & SEWER
 AT&T - OHIO
 EVERSTREAM SOLUTIONS / USIC
 CHARTER COMM (SPECTRUM/ TIME WARNER)

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND EVIDENCE AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OF THE SURVEYED AREA.

FLOOD INFORMATION:

THE PROPERTY FALLS WITHIN THE LIMITS OF FLOOD ZONE "X" AS SHOWN ON FIRM MAP No. 39049C0352K DATED JUNE 17, 2008.

ZONING INFORMATION:

OFFICE, COMMERCE AND TECHNOLOGY DISTRICT (OCT)
 BUILDING SETBACKS: 60' FRONT
 25' SIDE
 30' REAR
 PARKING SETBACKS: 45' FRONT
 10' SIDE
 10' REAR

PARKING CALCULATIONS:

PHASE 1:
 3 BUILDINGS @ 8,520 SQ. FT. = 25,560 SQ. FT.
 1 BUILDINGS @ 15,000 SQ. FT. = 15,000 SQ. FT.
 1 BUILDINGS @ 24,100 SQ. FT. = 24,100 SQ. FT.
 TOTAL PHASE 1 SQ. FT. = 64,660

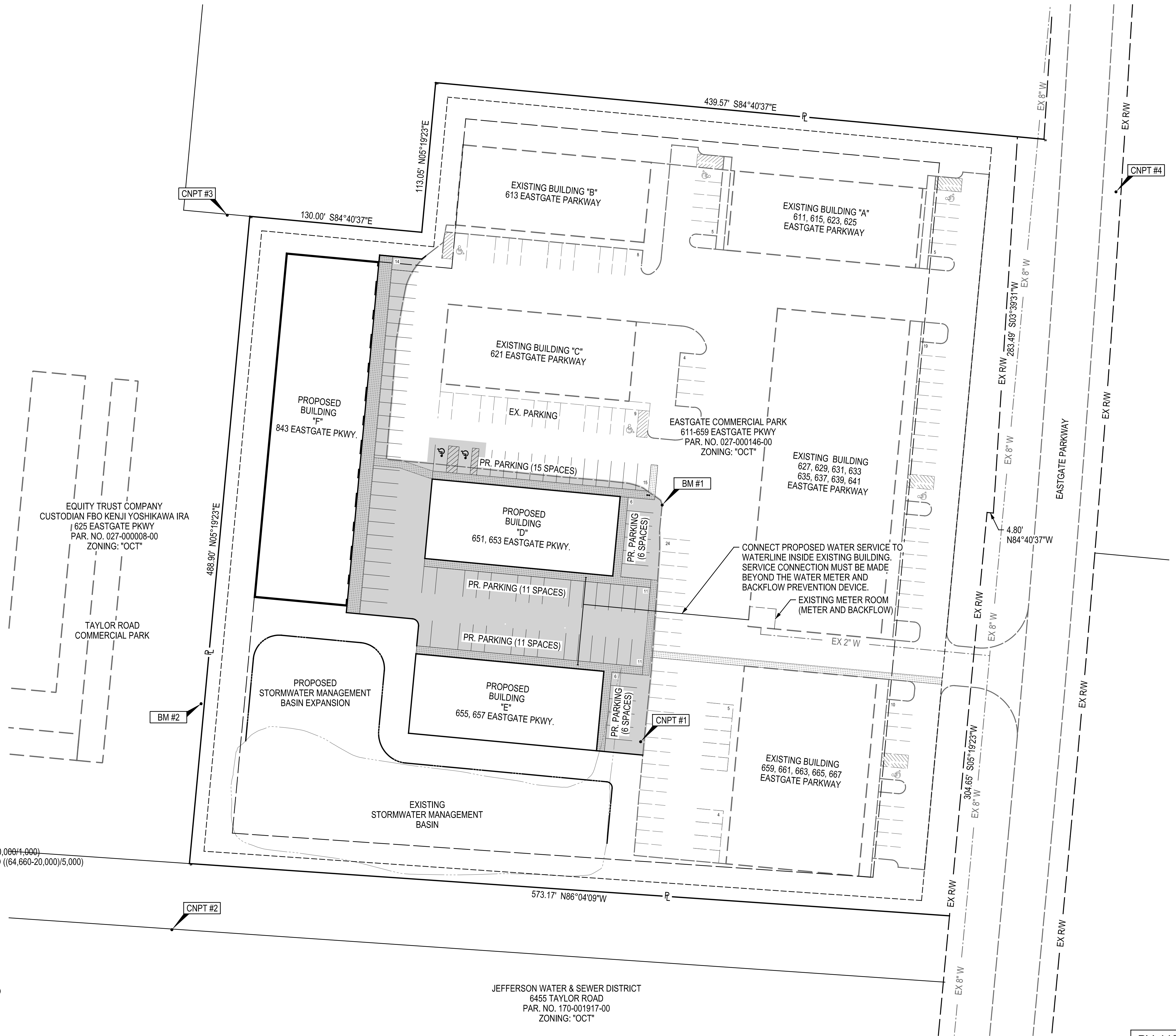
1 SPACE REQUIRED PER 1,000 SQ. FT. UP TO 20,000 SQ. FT. OF BUILDING AREA = 20 SPACES REQUIRED (20,000/1,000)
 1 SPACE REQUIRED PER 5,000 SQ. FT. 20,001 TO 120,000 SQ. FT. OF BUILDING AREA = 9 SPACES REQUIRED ((64,660-20,000)/5,000)
 1 SPACE REQUIRED PER BUSINESS VEHICLE = 26 SPACES REQUIRED

20+9+26=55 SPACES REQUIRED.
 SPACES PROVIDED =93 SPACES(87 STANDARD)
 (6 HANDICAP)

PHASE 2:
 2 BUILDINGS @ 8,520 SQ. FT. = 17,040 SQ. FT.
 1 BUILDING @ 18,200 SQ. FT. =18,200 SQ. FT.
 TOTAL PHASE 2 SQ. FT. = 35,240 SQ. FT.

1 SPACE REQUIRED PER 1,000 SQ. FT. UP TO 20,000 SQ. FT. OF BUILDING AREA = 20 SPACES REQUIRED
 1 SPACE REQUIRED PER 5,000 SQ. FT. 20,001 TO 120,000 SQ. FT. OF BUILDING AREA = 3 SPACES REQUIRED
 1 SPACE REQUIRED PER BUSINESS VEHICLE = 12 SPACES REQUIRED

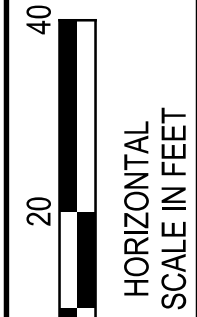
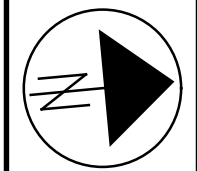
20+3+12=35 SPACES REQUIRED.
 SPACES PROVIDED =63 SPACES(61 STANDARD)
 (2 HANDICAP)
 17 SPACES REMOVED



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SITE PLAN

EQUITY TRUST COMPANY
CUSTODIAN FBO KENJI YOSHIKAWA IRA
625 EASTGATE PKWY
PAR. NO. 027-000008-00
ZONING: "OCT"



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NO.	DESCRIPTION	DATE

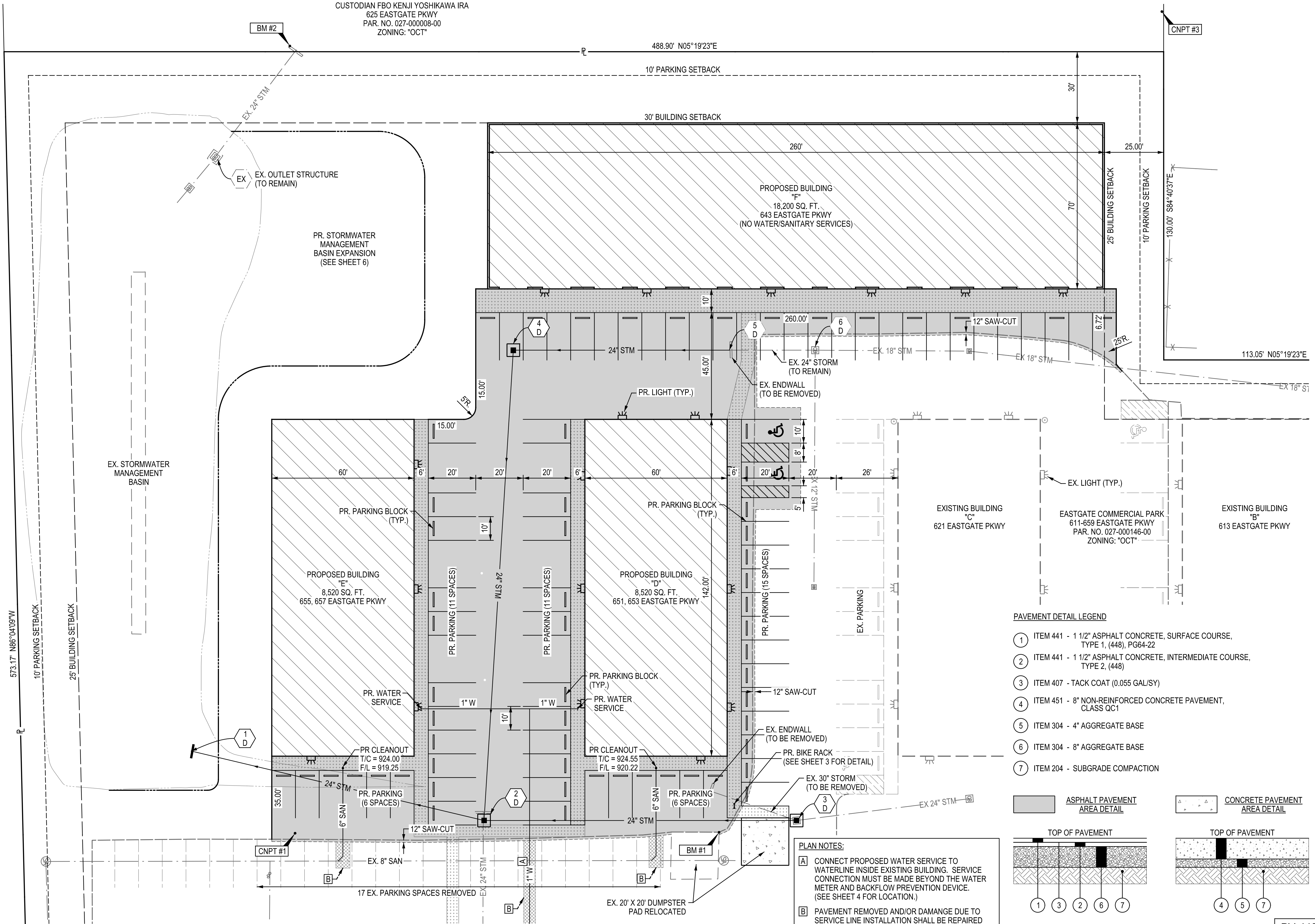
SITE PLAN

EASTGATE COMMERCIAL PARK, PHASE II FINAL DEVELOPMENT PLAN THE CITY OF GAHANNA, OHIO

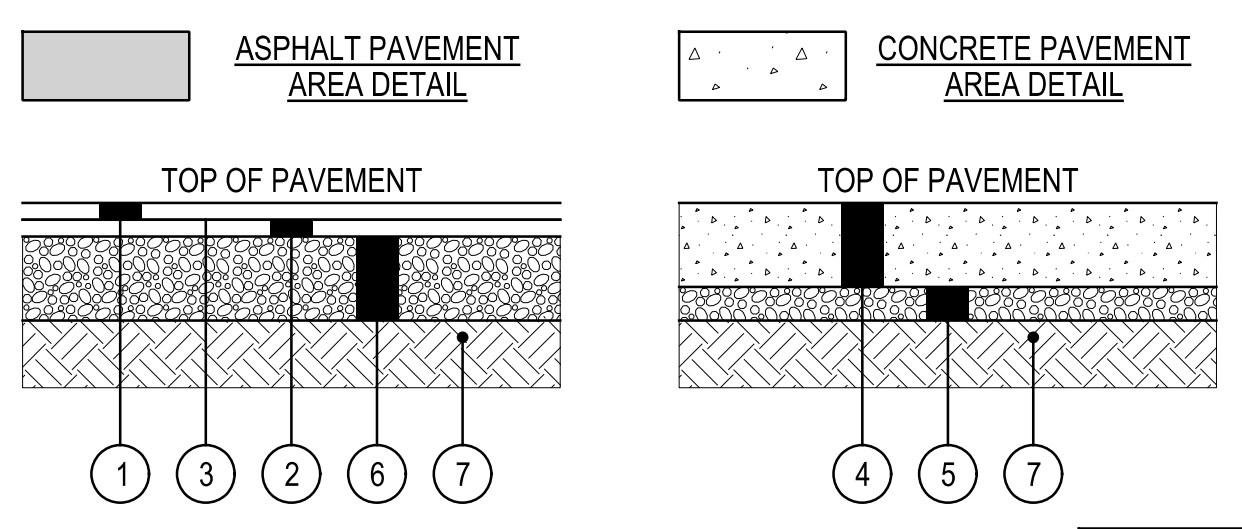
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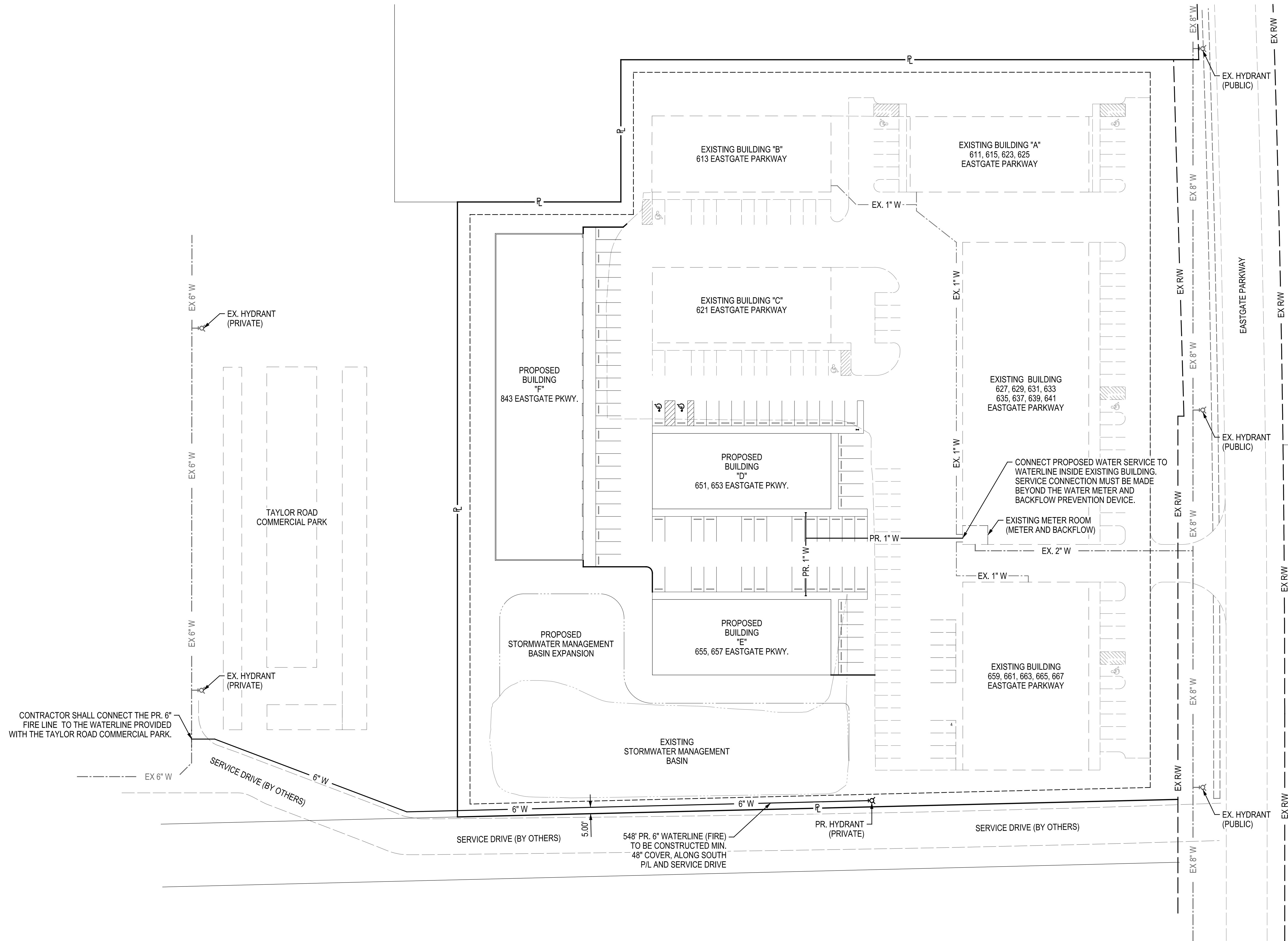
- PAVEMENT DETAIL LEGEND**
- ITEM 441 - 1 1/2" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, (448), PG64-22
 - ITEM 441 - 1 1/2" ASPHALT CONCRETE, INTERMEDIATE COURSE, TYPE 2, (448)
 - ITEM 407 - TACK COAT (0.055 GAL/SY)
 - ITEM 451 - 8" NON-REINFORCED CONCRETE PAVEMENT, CLASS QC1
 - ITEM 304 - 4" AGGREGATE BASE
 - ITEM 304 - 8" AGGREGATE BASE
 - ITEM 204 - SUBGRADE COMPACTION



- PLAN NOTES:**
- A** CONNECT PROPOSED WATER SERVICE TO WATERLINE INSIDE EXISTING BUILDING. SERVICE CONNECTION MUST BE MADE BEYOND THE WATER METER AND BACKFLOW PREVENTION DEVICE. (SEE SHEET 4 FOR LOCATION.)
 - B** PAVEMENT REMOVED AND/OR DAMAGE DUE TO SERVICE LINE INSTALLATION SHALL BE REPAIRED MATCHING THE "ASPHALT PAVEMENT AREA DETAIL" SHOWN ON THIS PLAN.

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WATERLINE PLAN



CONTRACTOR SHALL CONNECT THE PR. 6" FIRE LINE TO THE WATERLINE PROVIDED WITH THE TAYLOR ROAD COMMERCIAL PARK.

CONNECT PROPOSED WATER SERVICE TO WATERLINE INSIDE EXISTING BUILDING. SERVICE CONNECTION MUST BE MADE BEYOND THE WATER METER AND BACKFLOW PREVENTION DEVICE.

EXISTING METER ROOM (METER AND BACKFLOW)



DRAWN	CHECKED	REVIEWED
B/W	R/R	



REVISIONS

WATERLINE PLAN

EASTGATE COMMERCIAL PARK, PHASE II SITE IMPROVEMENT PLANS THE CITY OF GAHANNA, OHIO

MAY 26, 2022
JOB #21-079

PV-443

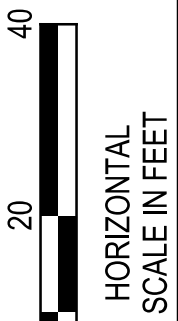
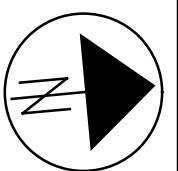


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PRINTED 6/2/2022

GRADING PLAN

EQUITY TRUST COMPANY
CUSTODIAN FBO KENJI YOSHIKAWA IRA
625 EASTGATE PKWY
PAR. NO. 027-000008-00
ZONING: "OCT"



DRAWN
BY
CHECKED
RBB
REVIEWED



88 West Church Street, Newark, OH 43055 • (740) 344-1921

REVISIONS

GRADING PLAN

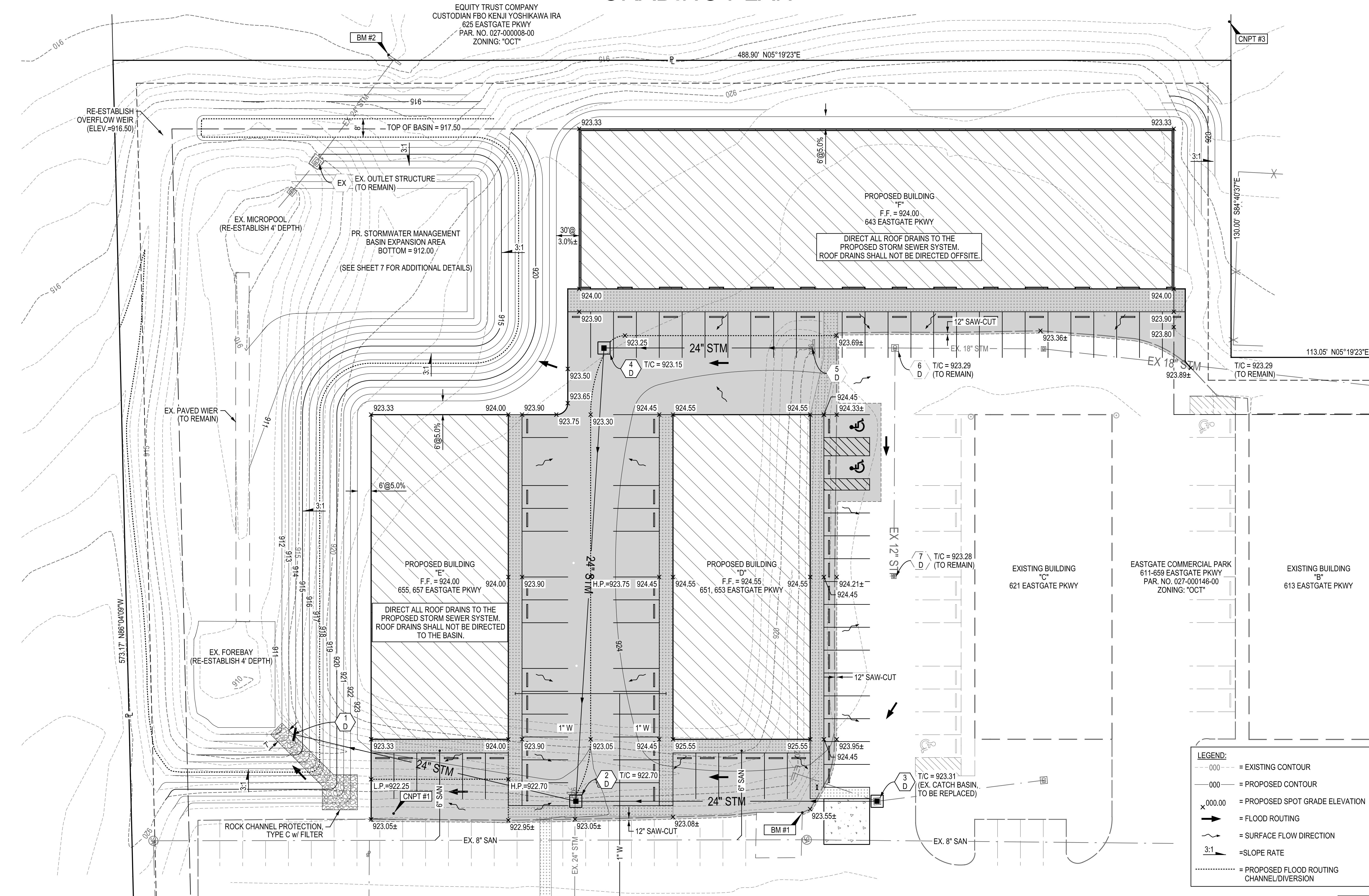
EASTGATE COMMERCIAL PARK, PHASE II
FINAL DEVELOPMENT PLAN
THE CITY OF GAHANNA, OHIO

MAY 20, 2022
JOB #21-079

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PV-443

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LEGEND:

---000---	= EXISTING CONTOUR
-000-	= PROPOSED CONTOUR
x 000.00	= PROPOSED SPOT GRADE ELEVATION
→	= FLOOD ROUTING
~	= SURFACE FLOW DIRECTION
3:1	= SLOPE RATE
.....	= PROPOSED FLOOD ROUTING CHANNEL/DIVERSION

RE-ESTABLISH OVERFLOW WEIR (ELEV.=916.50)

EX. MICROPOL (RE-ESTABLISH 4' DEPTH)

PR. STORMWATER MANAGEMENT BASIN EXPANSION AREA
BOTTOM = 912.00
(SEE SHEET 7 FOR ADDITIONAL DETAILS)

EX. PAVED WEIR (TO REMAIN)

EX. FOREBAY (RE-ESTABLISH 4' DEPTH)

ROCK CHANNEL PROTECTION, TYPE C w/ FILTER

PROPOSED BUILDING
F.F. = 924.00
643 EASTGATE PKWY

DIRECT ALL ROOF DRAINS TO THE PROPOSED STORM SEWER SYSTEM.
ROOF DRAINS SHALL NOT BE DIRECTED OFFSITE.

PROPOSED BUILDING
F.F. = 924.00
655, 657 EASTGATE PKWY

DIRECT ALL ROOF DRAINS TO THE PROPOSED STORM SEWER SYSTEM.
ROOF DRAINS SHALL NOT BE DIRECTED TO THE BASIN.

PROPOSED BUILDING
F.F. = 924.55
651, 653 EASTGATE PKWY

EXISTING BUILDING
"C"
621 EASTGATE PKWY

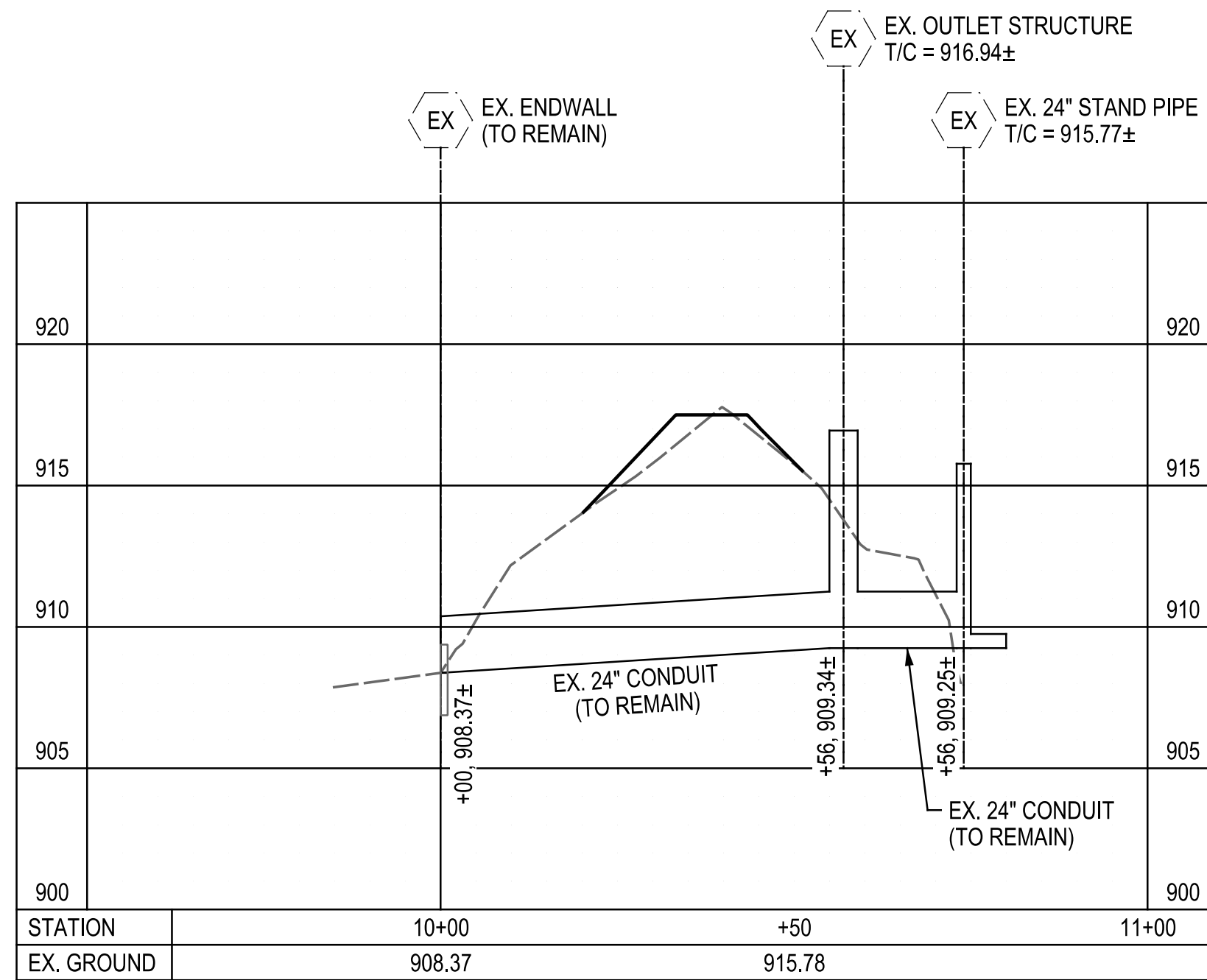
EXISTING BUILDING
"B"
613 EASTGATE PKWY

EXISTING BUILDING
"B"
613 EASTGATE PKWY

LEGEND:

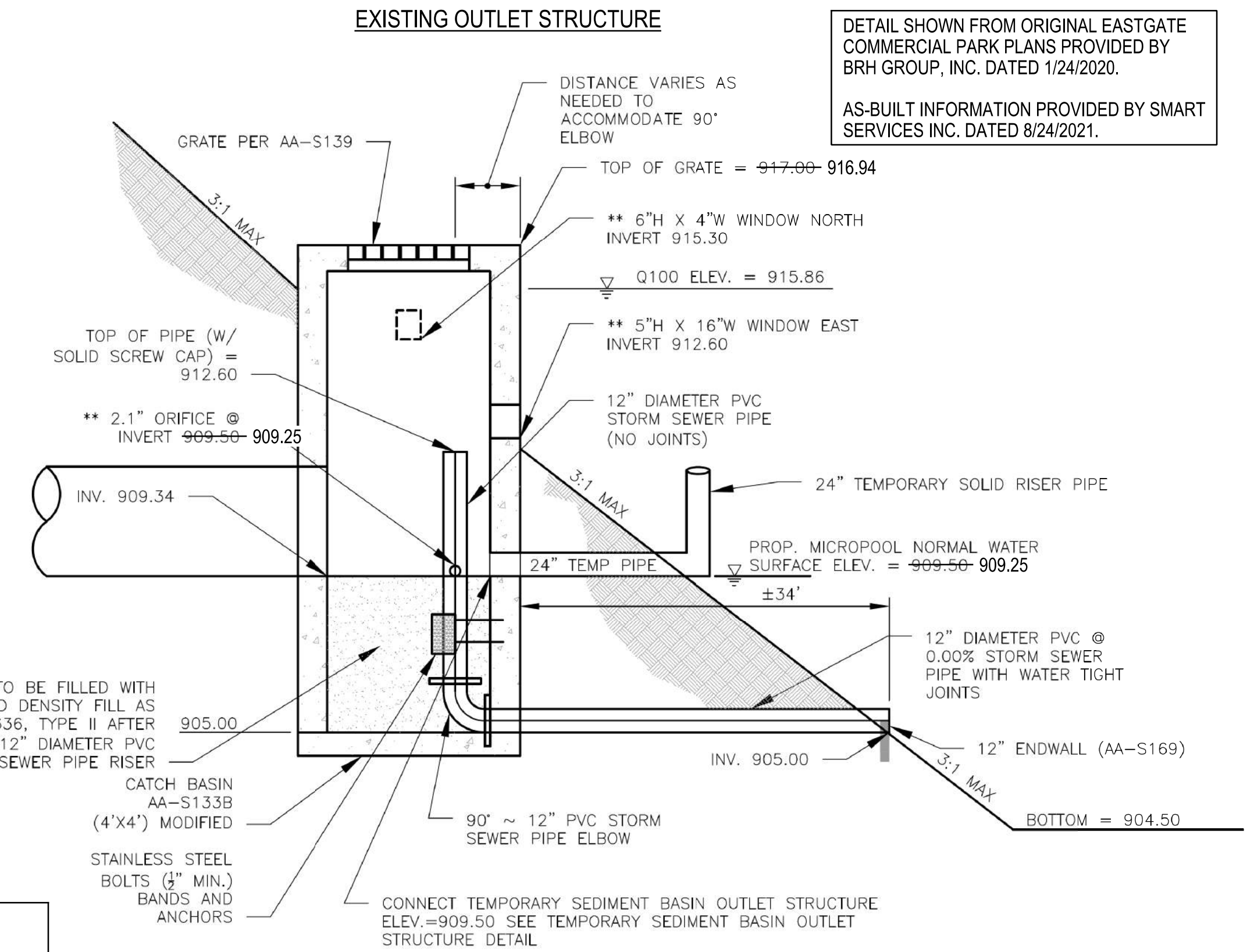
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→	= FLOOD ROUTING
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UTILITY PLAN & PROFILE

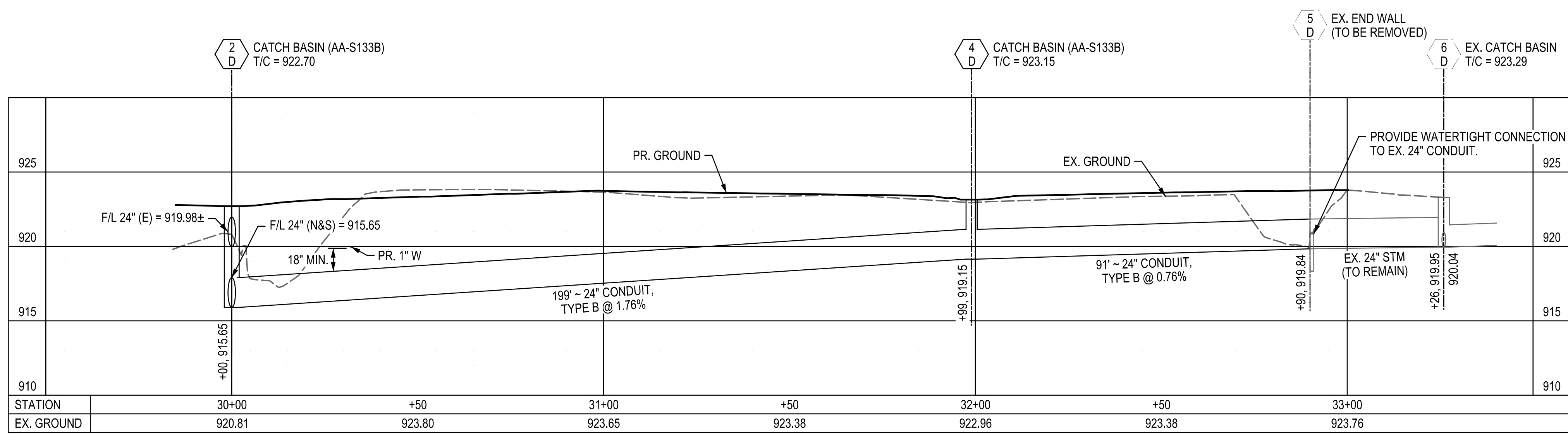
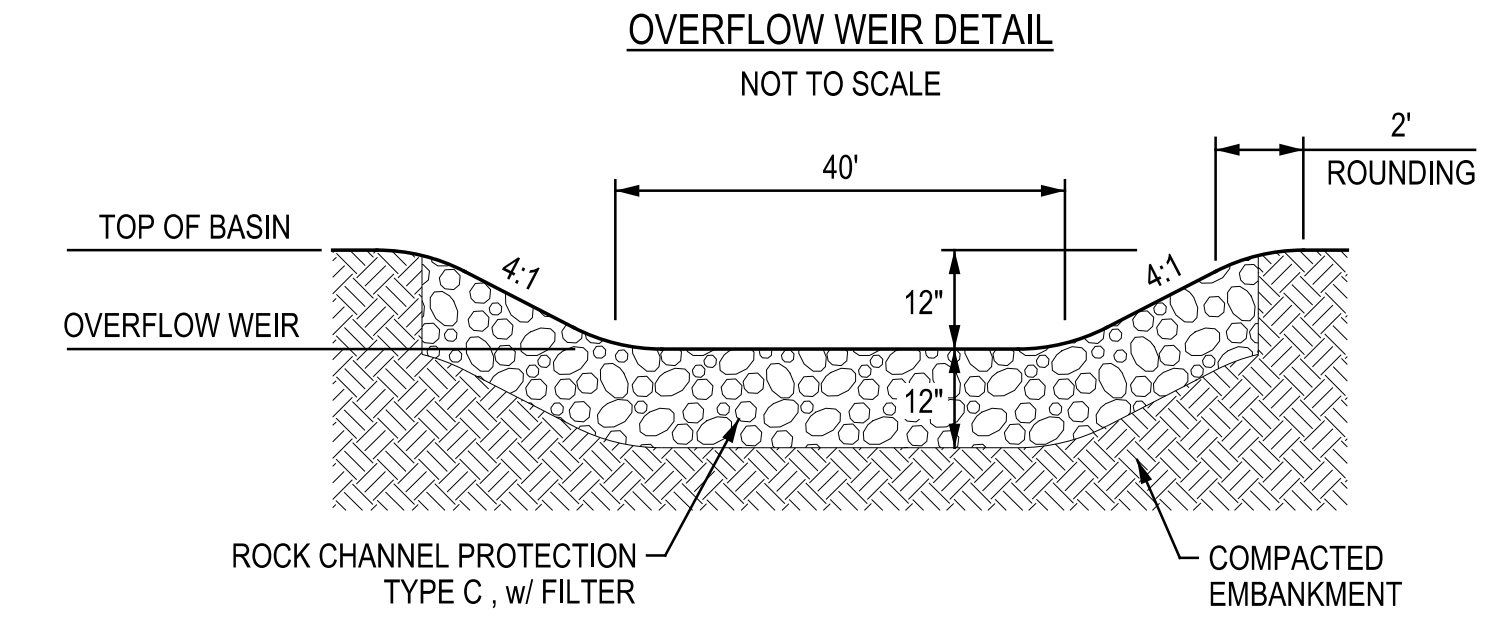
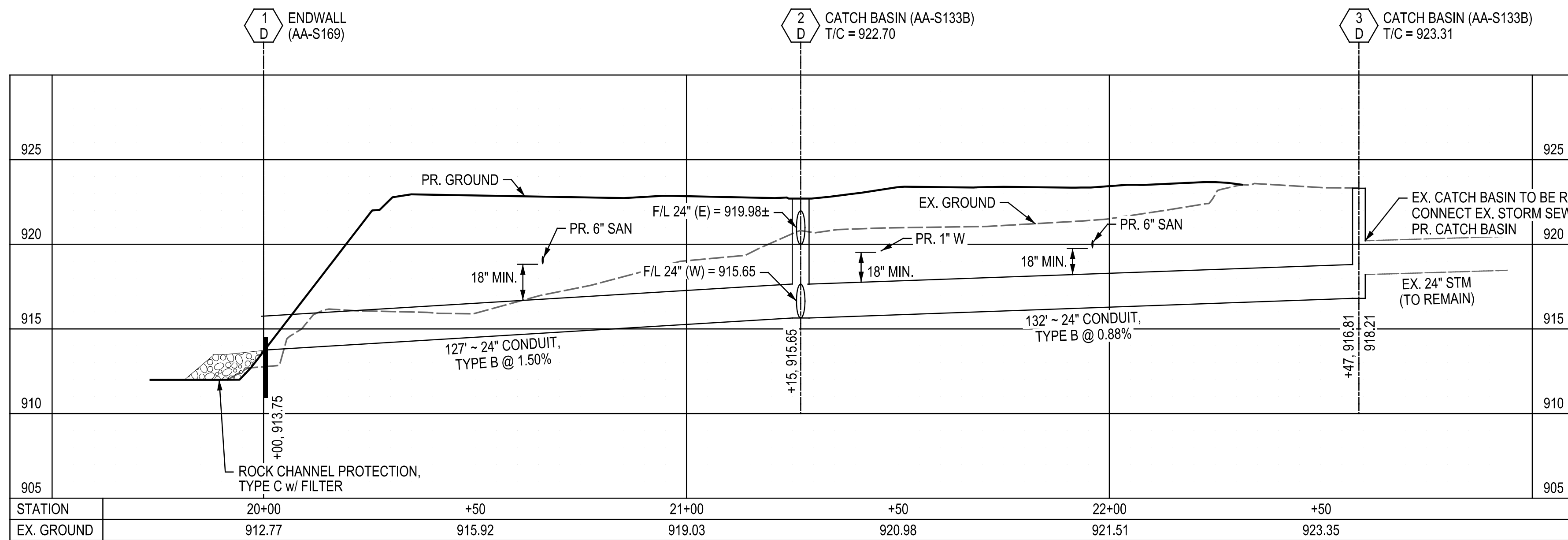


BASIN DATA		
DESCRIPTION:	ELEVATION (FT.)	VOLUME (CU. FT.)
TOP OF BASIN	917.50	142,126
OUTLET - TOP OF STRUCTURE	916.94	125,454
OVERFLOW WEIR	916.50	112,826
OUTLET - 6"x4" WINDOW	915.30	81,100
OUTLET - 5"x16" WINDOW	912.60	22,983
ORIFICE - 2.1" HOLE	909.25	0
BOTTOM OF BASIN	909.25	0
MICROPOOL/FOREBAY	905.50 / 907.50 #	

CONTRACTOR SHALL EXCAVATE SEDIMENT TO RE-ESTABLISH MICROPOOL & FOREBAY ELEVATION SHOWN.



DETAIL SHOWN FROM ORIGINAL EASTGATE COMMERCIAL PARK PLANS PROVIDED BY BRH GROUP, INC. DATED 1/24/2020.
AS-BUILT INFORMATION PROVIDED BY SMART SERVICES INC. DATED 8/24/2021.



0	20	40
HORIZONTAL SCALE IN FEET		
0	5	10
VERTICAL SCALE IN FEET		



NO.	DATE	DESCRIPTION

STORMWATER MANAGEMENT DETAILS

EASTGATE COMMERCIAL PARK, PHASE II
FINAL DEVELOPMENT PLAN
THE CITY OF GAHANNA, OHIO

MAY 20, 2022
JOB #21-079

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PV-443



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STORM WATER POLLUTION PREVENTION PLAN

NOTICE OF INTENT
 OEPA NOI: 4GC07012*AG
 APPROVAL DATE: 10/25/2019

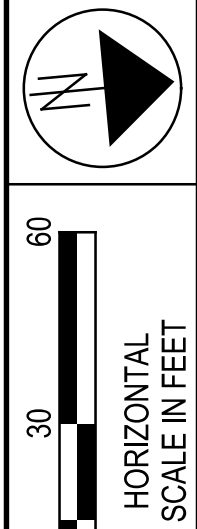
CONTRACTOR SIGNATURES

CONTRACTOR _____ DATE _____
 SUBCONTRACTOR _____ DATE _____

SHEET LEGEND

- (CW) CONCRETE WASHOUT
- (DC) DITCH CHECK
- (FF) PERIMETER FILTER FABRIC FENCE
- (IP) INLET PROTECTION
- (SB) SEDIMENT BASIN
- (SCE) STABILIZED CONSTRUCTION ENTRANCE

SEE SHEET 9 FOR CONTROL DETAILS



DRAWN: B/W
 CHECKED: R/RB
 REVISIONS: _____



REVISIONS

NO.	DESCRIPTION

STORM WATER POLLUTION PREVENTION PLAN

EASTGATE COMMERCIAL PARK, PHASE II
 FINAL DEVELOPMENT PLAN
 THE CITY OF GAHANNA, OHIO

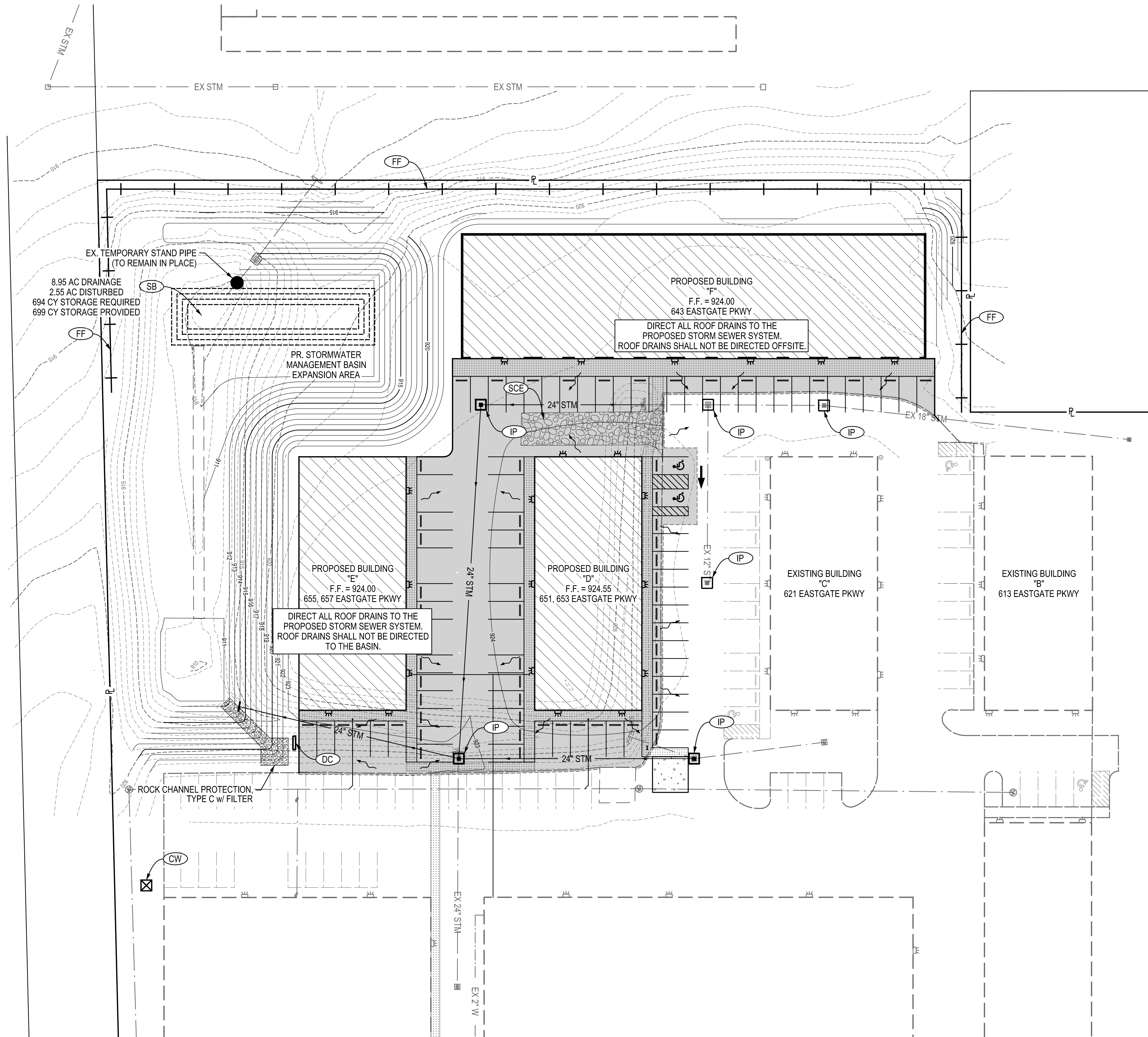
MAY 20, 2022
 JOB #21-079

SEE ATTACHED POST-CONSTRUCTION O&M MANUAL

EROSION CONTROL MODIFICATION LOG

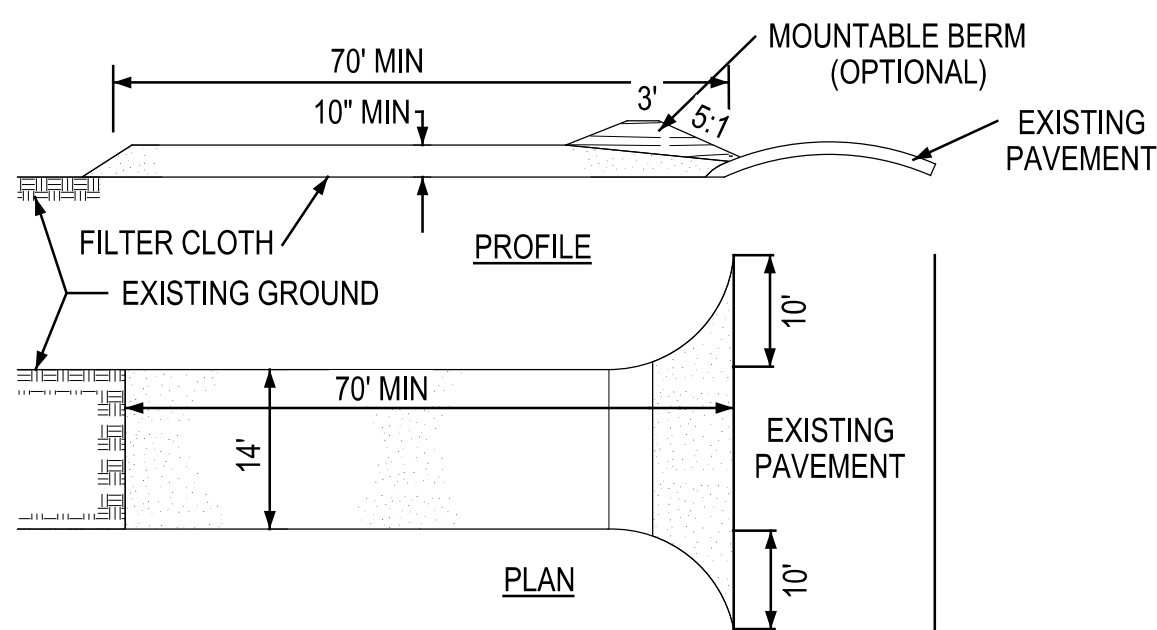
NO.	DESCRIPTION	DATE

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STORM WATER POLLUTION PREVENTION PLAN

(SCE) STABILIZED CONSTRUCTION ENTRANCE

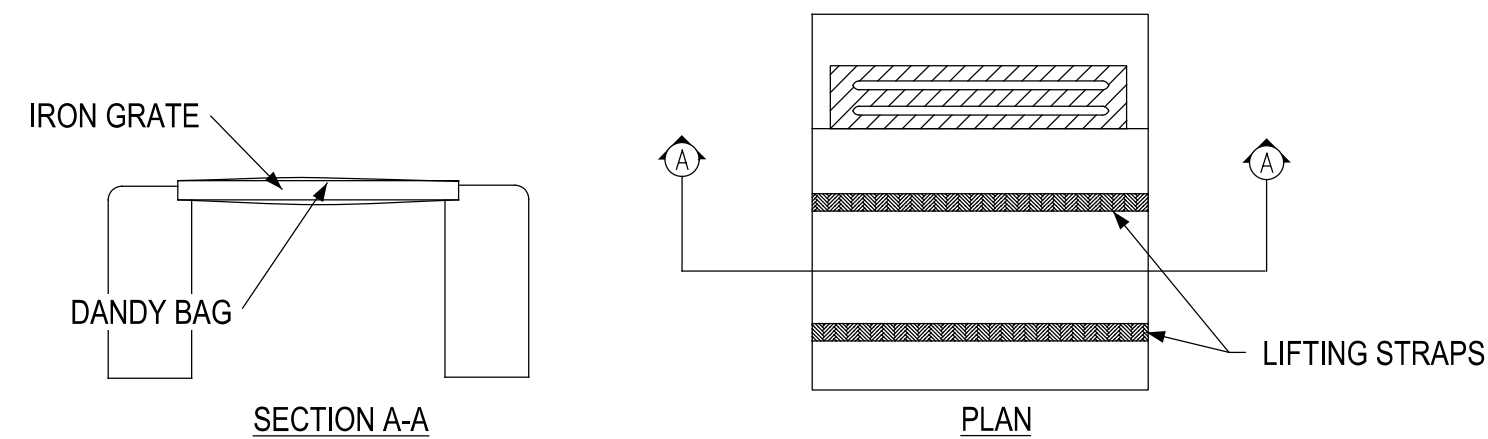


CONSTRUCTION SPECIFICATIONS

1. LOCATION- CONTRACTOR SHALL PLACE SCE AT THE BEST LOCATION TO PREVENT SEDIMENT FROM BEING TRACKED FROM SITE.
2. STONE SIZE- USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
3. LENGTH- AS REQUIRED (70' MIN.).
4. THICKNESS- NOT LESS THAN TEN (10) INCHES.
5. WIDTH- FOURTEEN (14) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
6. FILTER CLOTH- WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
7. SURFACE WATER- ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
8. MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
9. WASHING- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
10. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

CONTROL SHOWN SHALL MEET THE SPECIFICATIONS OF CITY OF COLUMBUS STD. DWG. 2230

(IP) INLET PROTECTION

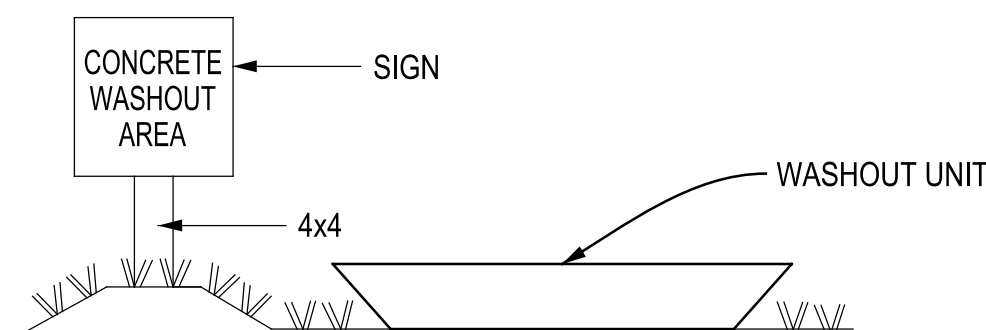


INSTALLATION: STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. ROLL GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF DANDY BAG IS VISIBLE.

MAINTENANCE: REMOVE DRIED SEDIMENT FROM SURFACE OF UNIT AS NEEDED WITH STIFF BROOM OR SQUARE POINT SHOVEL. REMOVE FINE MATERIAL FROM INSIDE ENVELOPE AS NEEDED.

CONTROL SHOWN SHALL MEET THE SPECIFICATIONS OF O.D.O.T. STD. DWG. DM-4.4

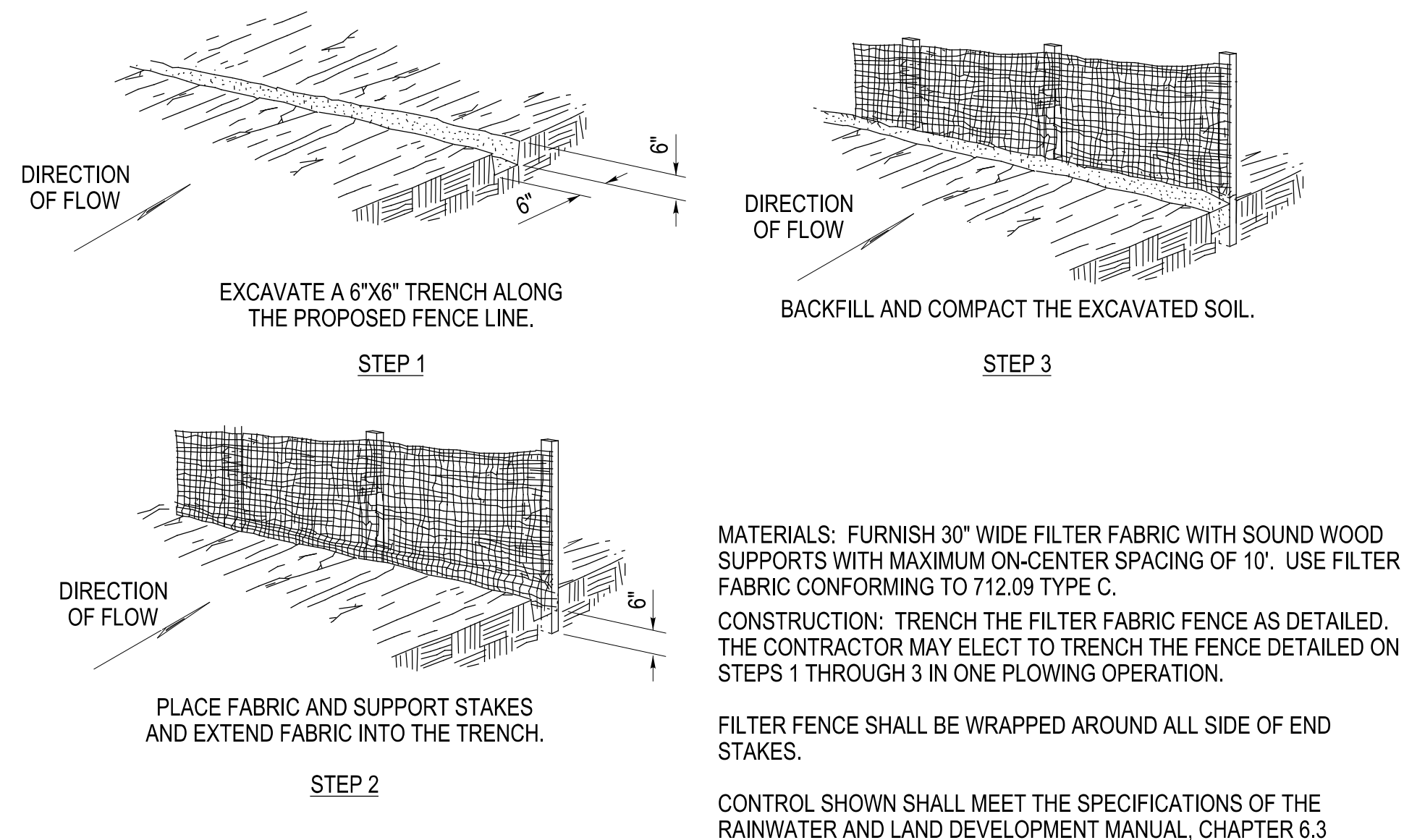
(CW) CONCRETE WASHOUT



CONSTRUCTION SPECIFICATIONS

1. LOCATION- ALL CONCRETE WASHOUT CONTAINERS SHALL BE PLACED AT LEAST 100' FROM ANY STORM SEWER INLET POINT, OR ANY BODY OF WATER TO AVOID AN ACCIDENTAL RELEASE CAUSED BY A SPILL. ALL WASHOUT LOCATIONS SHALL BE DESIGNATED BY SIGN SEEN HERE ON THIS DETAIL.
2. CONCRETE WASHOUTS SHALL BE AT A MINIMUM A SELF CONTAINED UNIT THAT WILL NOT ALLOW CONCRETE WASH WATER TO ABSORB INTO THE GROUND. THE CONTAINER SHOULD HAVE SUFFICIENT CAPACITY SUCH THAT IT WILL NOT OVERFLOW AND CAUSE A SPILL. ALL WASTE SHALL BE TAKEN TO LANDFILL DESIGNATED FOR CONSTRUCTION DEBRIS, AS NEEDED, TO PREVENT OVERFLOWS AND SPILLS.

(FF) PERIMETER FILTER FABRIC FENCE



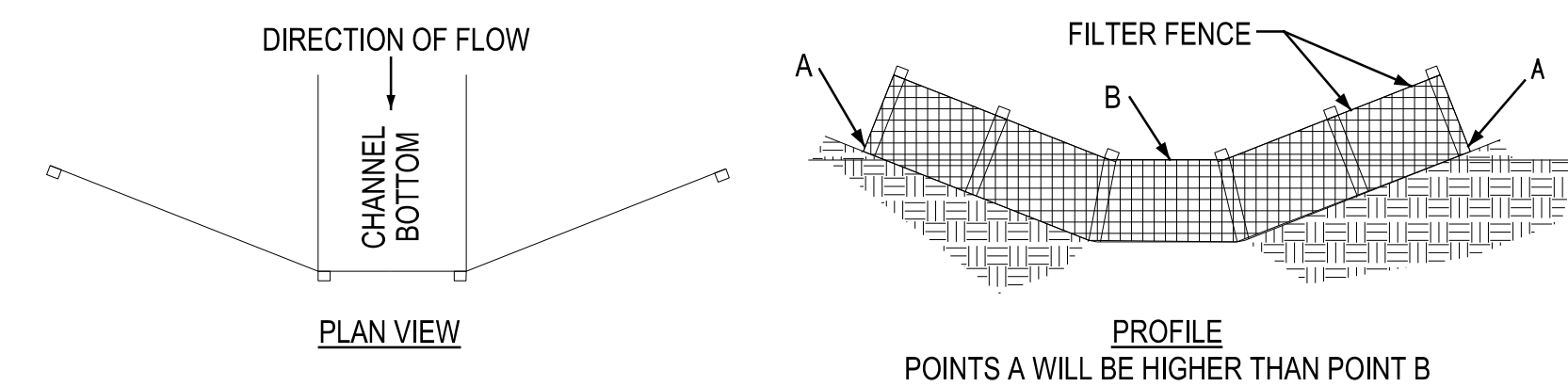
MATERIALS: FURNISH 30" WIDE FILTER FABRIC WITH SOUND WOOD SUPPORTS WITH MAXIMUM ON-CENTER SPACING OF 10'. USE FILTER FABRIC CONFORMING TO 712.09 TYPE C.

CONSTRUCTION: TRENCH THE FILTER FABRIC FENCE AS DETAILED. THE CONTRACTOR MAY ELECT TO TRENCH THE FENCE DETAILED ON STEPS 1 THROUGH 3 IN ONE PLOWING OPERATION.

FILTER FENCE SHALL BE WRAPPED AROUND ALL SIDE OF END STAKES.

CONTROL SHOWN SHALL MEET THE SPECIFICATIONS OF THE RAINWATER AND LAND DEVELOPMENT MANUAL, CHAPTER 6.3

(DC) DITCH CHECK



CHANNEL FLOW APPLICATIONS: FENCE SHALL BE PLACED PERPENDICULAR TO THE CONTOUR.

THE FENCE SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOM OF THE ENDS ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST FENCE TO ASSURE THAT SEDIMENT-LADEN RUNOFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER BUT NOT AROUND IT.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED FENCE, END RUNS AND UNDERCUTTING.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF FENCE SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE DITCH CHECK IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

MAINTENANCE: FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

CONTROL SHOWN SHALL MEET THE SPECIFICATIONS OF O.D.O.T. STD. DWG. DM-4.4

DRAWN	CHECKED	REVIEWED
BW	RRB	



REVISIONS

STORM WATER POLLUTION PREVENTION PLAN

EASTGATE COMMERCIAL PARK, PHASE II
FINAL DEVELOPMENT PLAN
THE CITY OF GAHANNA, OHIO

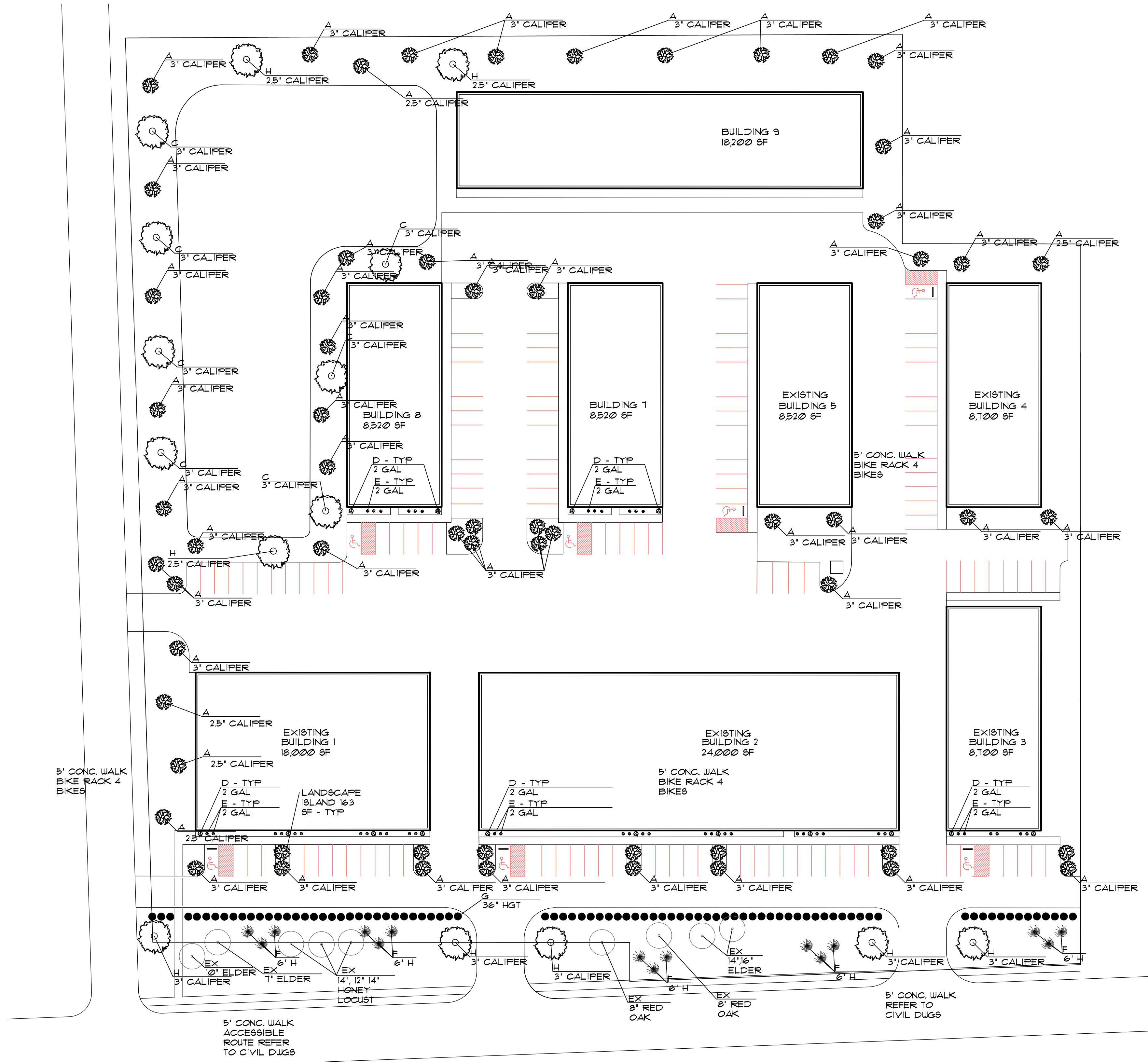
MAY 20, 2022
JOB #21-079

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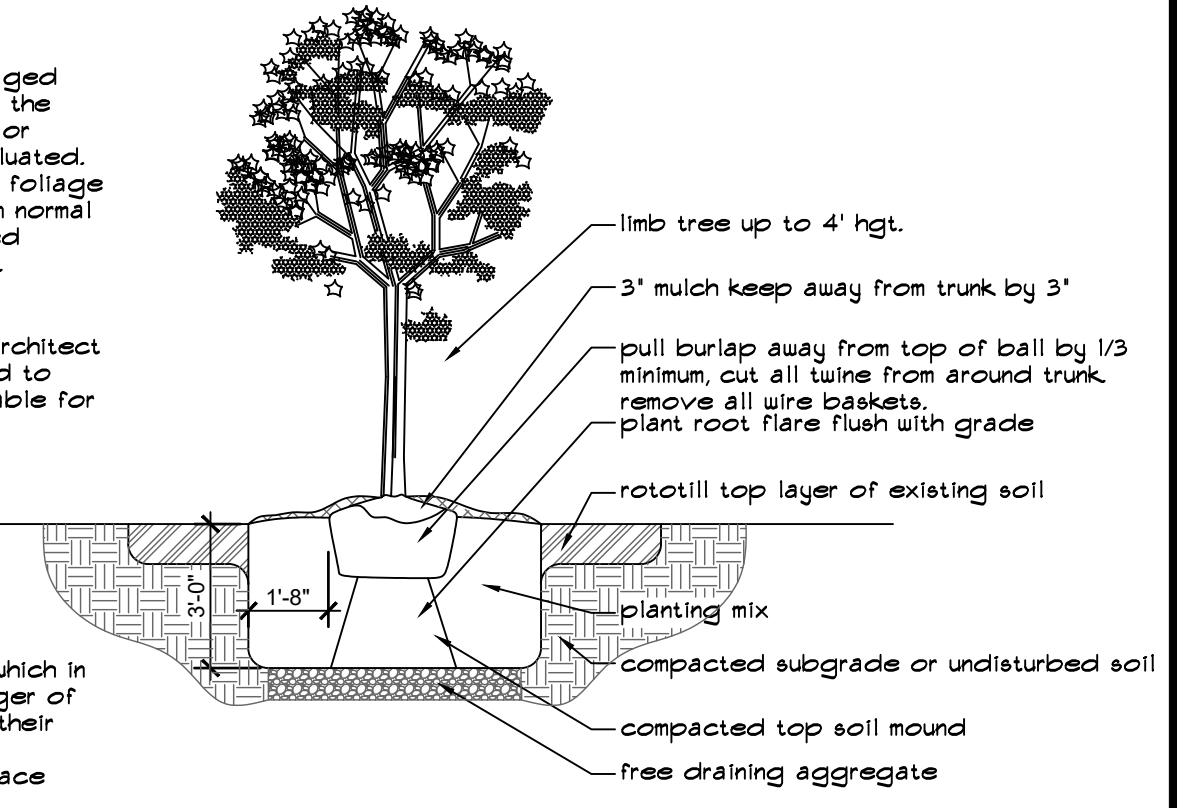
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pruning - remove broken or damaged branches at time of planting. after the first full growth season, clearance or corrective pruning should be evaluated. remove whole branches to reduce foliage by 1/3 or shape as directed retain normal plant shape. all broken or damaged pruning to be done after planting.

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tree planting
SCALE: nts

SUPPLEMENTAL PLANTING REQUIREMENTS

214,633 SF IMPERVIOUS SURFACE EXISTING
 57,353 SF PROPOSED ADDITIONAL PAVING =
 271,986 SF
 /1000 = 272 CAL INCHES OF SUPPLEMENTAL PLANTINGS (57 ADDITIONAL INCHES)

CAL INCHES OF EXISTING TREES: 259"
 CAL INCHES OF NEW TREES PROVIDED: 13"

LANDSCAPE ISLAND REQUIREMENTS

EXISTING AREA OF PARKING & ACCESS AISLES:
 109,133 SF
 ADDITIONAL AREA: 22,113 SF
 TOTAL: 131,246 SF
 REQUIREMENT OF 5%
 131,246 SF * 5% = 6562 SF
 EXISTING PROVIDED: 5463 SF
 ADDITIONAL AREA REQD: 1099 SF
 ADDITIONAL AREA PROVIDED: 1396 SF
 1 TREE PER 100SF OF LANDSCAPE ISLAND

LANDSCAPE MATERIALS				
EXIST	NEW	MARK	DESCRIPTION	SIZE
25	11	A	SWEET GUM	3" CAL.
15		B	HONEY LOCUST	2.5 CAL.
12	3	C	RED MAPLE	3" CAL.
10	4	D	BUXUS "WINTER GEM"	2 GAL.
6	12	E	ROSA KNOCKOUT	2 GAL.
15		F	THUJA	6' HGT.
95		G	BUXUS "GREEN GEM"	36" HGT.

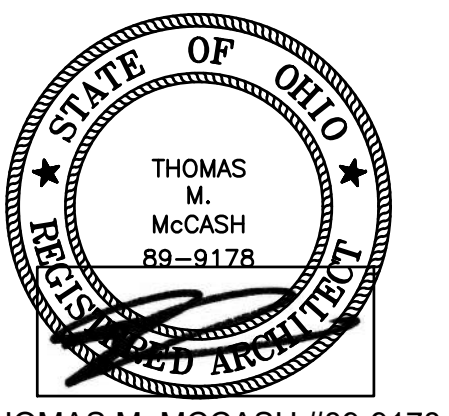
A LANDSCAPE PLAN
SCALE: 1"=40'-0"

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REVISIONS	DATE	DESCRIPTION
20200 SET REISSUED		
5/19/21 PHASE 2		
4/4/22 PHASE 2 - REV.		

LANDSCAPE PLAN
A PROJECT OF:
LEVECK COMMERCIAL CONSTRUCTION & DEVELOPMENT, LLC
FOR:
EASTGATE PARKWAY
GAHANNA, OHIO 43230

Thomas M. McCash, RA, CBO, MPE
 55 S. HIGH ST #210
 DUBLIN, OHIO 43017
 T+1 614 348 9883 F+1 614 761 9321



THOMAS M. MCCASH #89-9178
 LICENSE EXPIRES 12/3/23

PHASE 2: 04.04.22

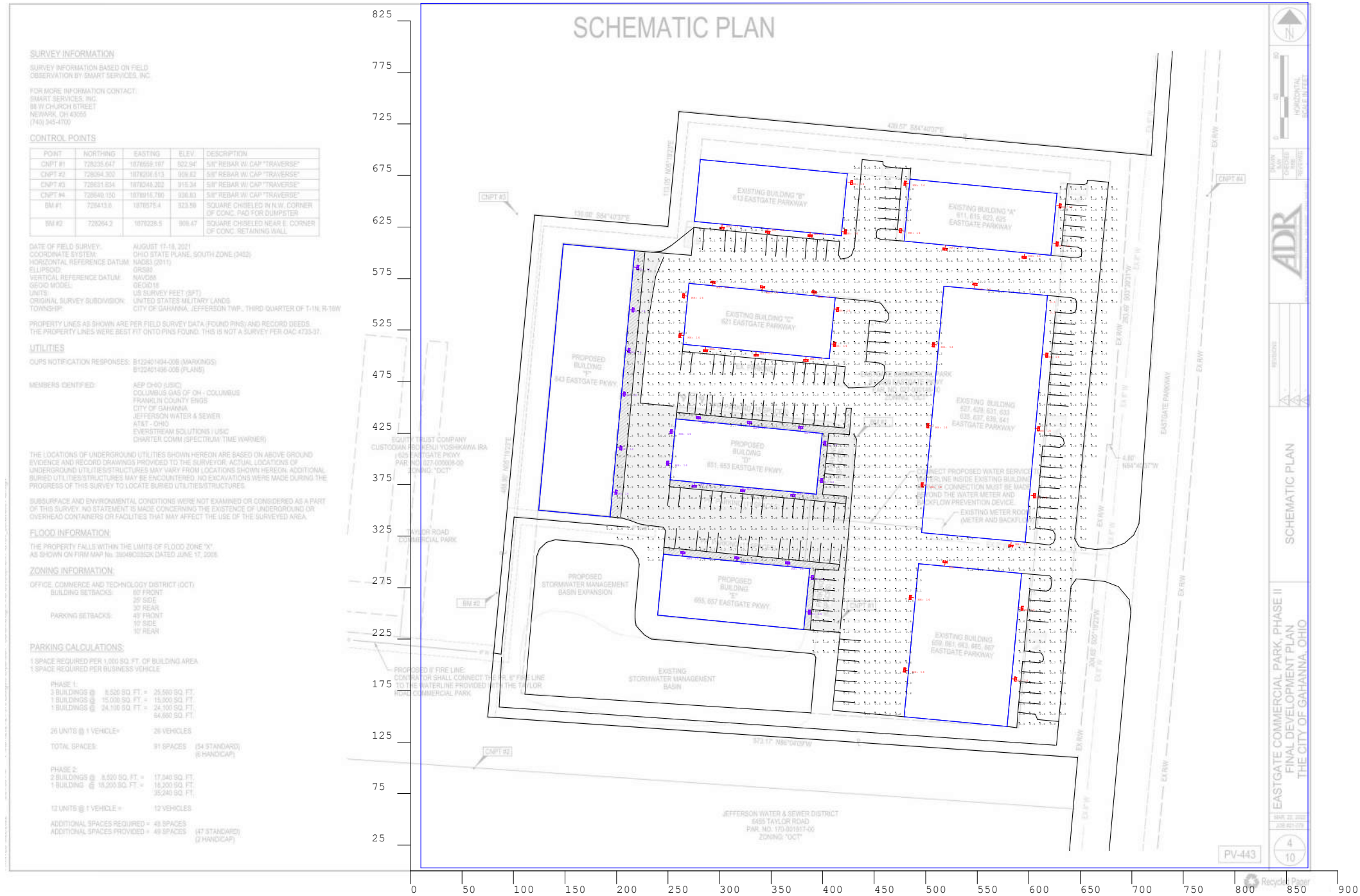
DATE: 04.04.22 SHEET:
 SCALE: AS NOTED
 DRAWN BY: TMM
 PROJECT No: 19009
A2.00

Luminaire Schedule

Symbol	Light Qty	Label	Arrangement	LLF	Description	Lum. Lumens
	34	AE-L-WPDS-90	SINGLE	1.000	90W WPDS, 110 LPW	9924
	21	U-IWP-90	SINGLE	1.000	90W IWP, 130 LPW	13334

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Total # of Fixtures
Calc_1	Illuminance	Fc	3.40	18.9	0.1	34.00	189.00	Phase II: 21



Calculations are provided using industry-recognized software and are provided for estimation purposes only. Actual lighting levels will vary depending on field conditions. The calculations correspond to the information provided. Assumptions may be made for information not provided. Due to the above considerations, Alech Electronics will not guarantee that actual light levels measured in the field will match the calculations.

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 Checked By:
 Date: 3/29/2022
 Scale:

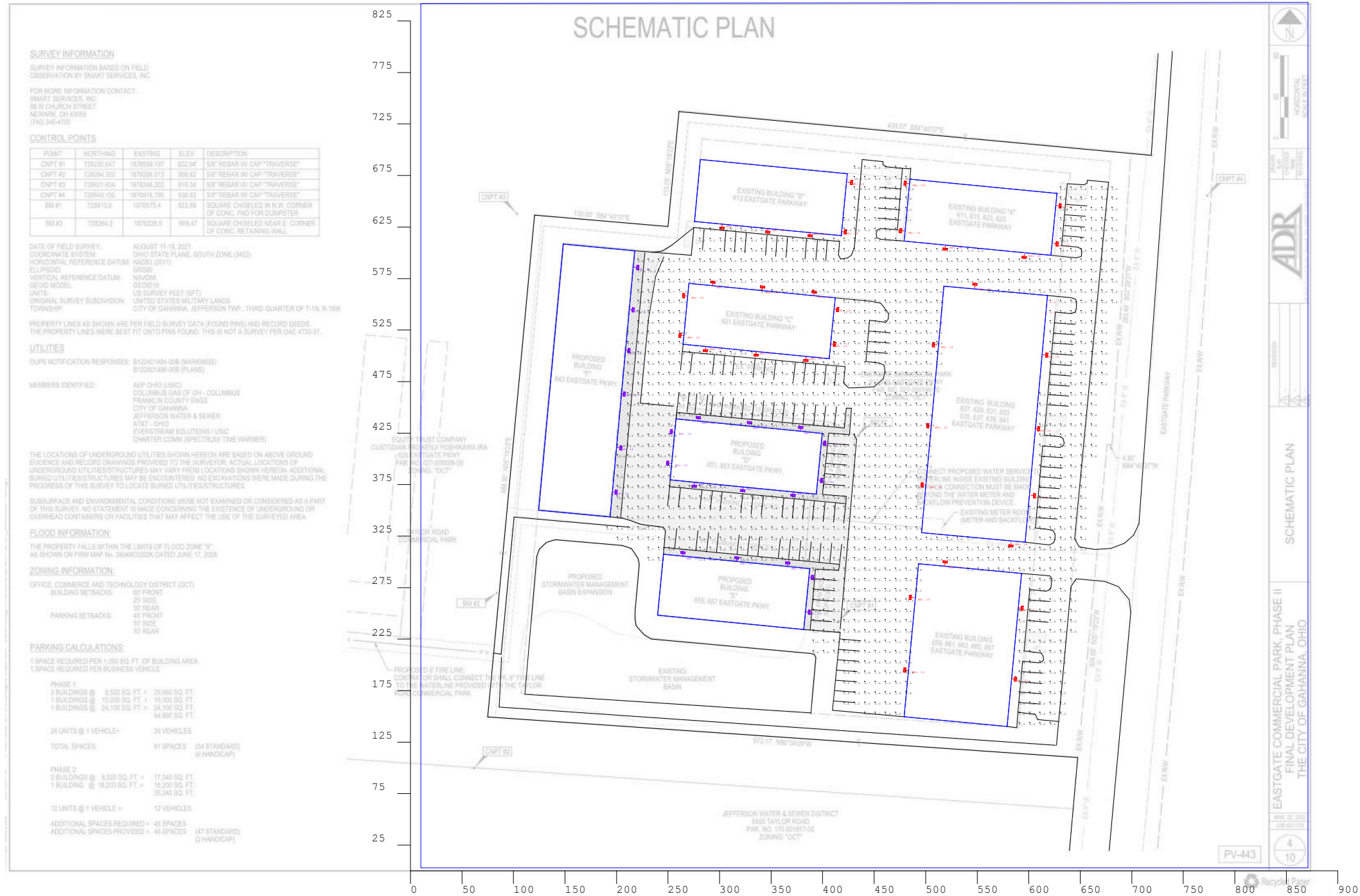
Eastgate Commercial Park
 Phase II
 BR Lighting & Controls

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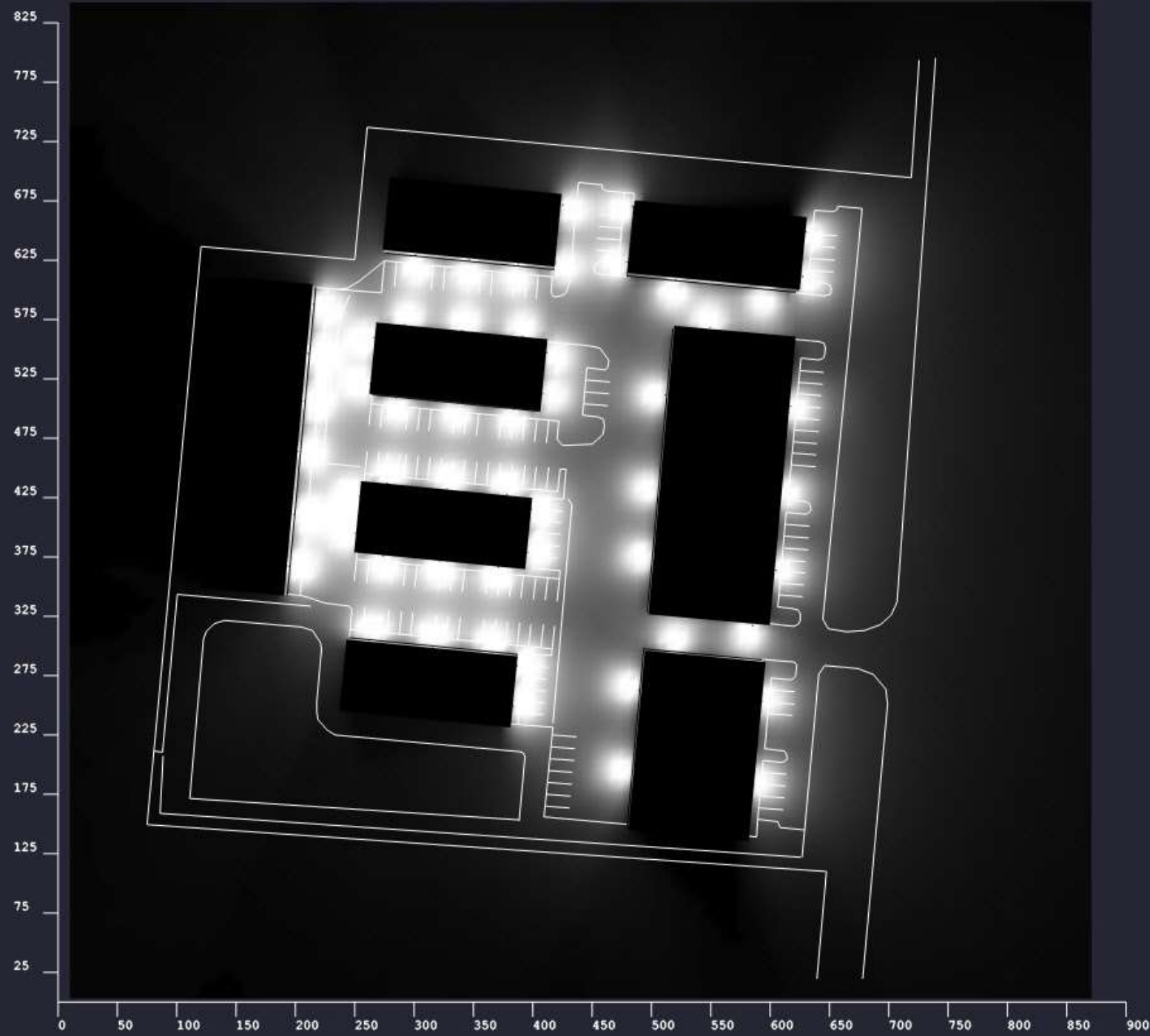
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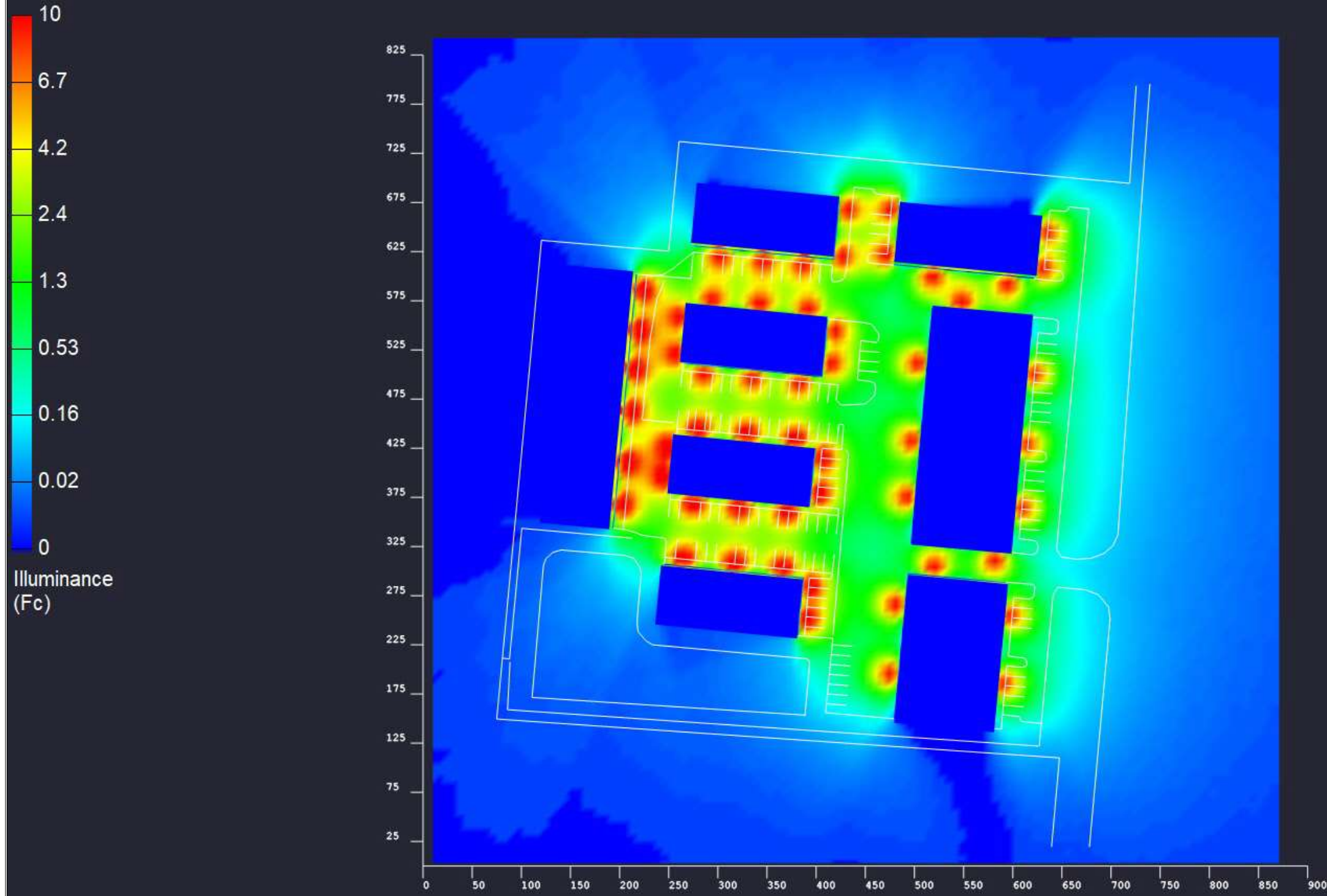
Eastgate Commercial Park
 Phase II
 BR Lighting & Controls



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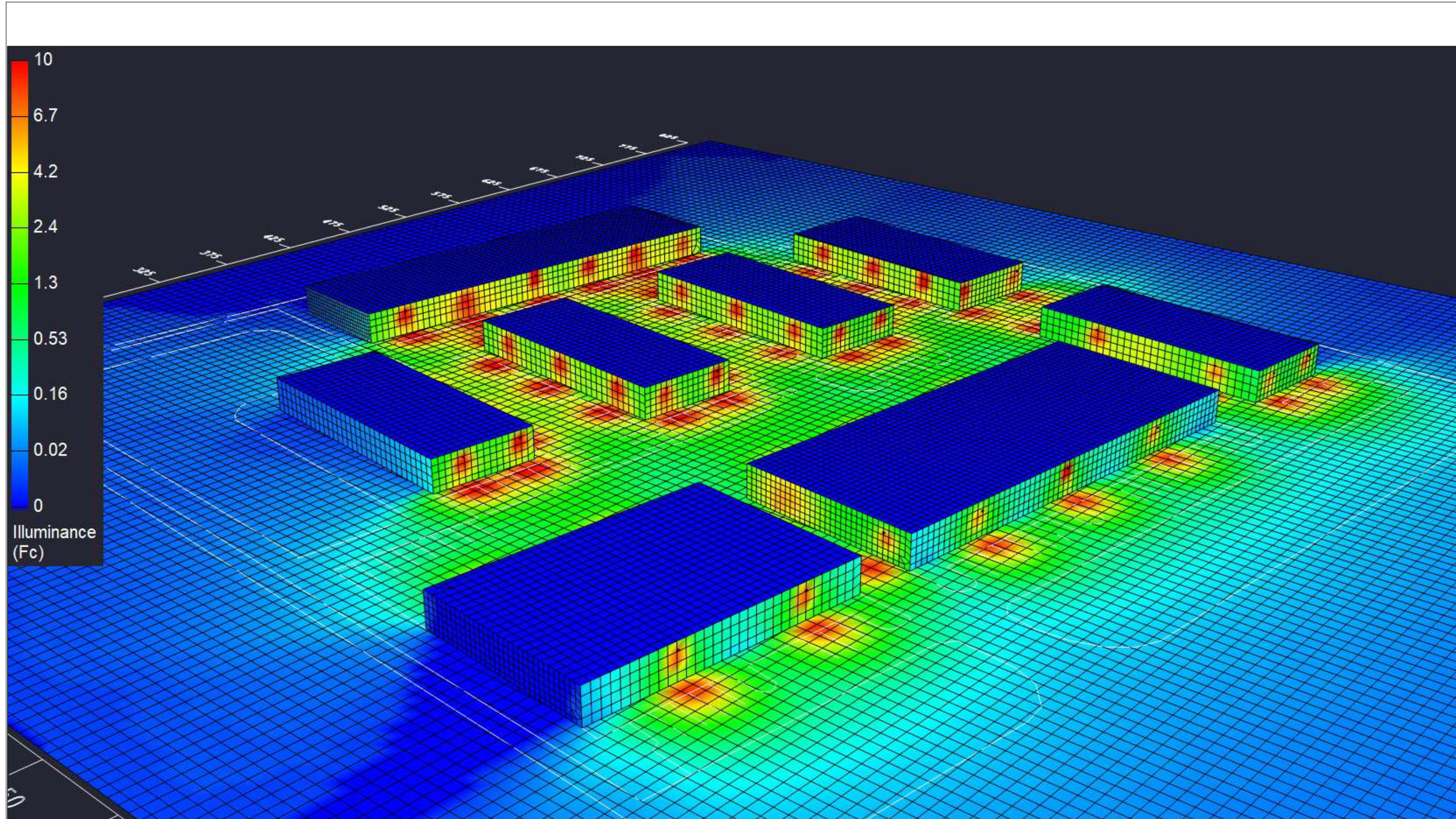
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Scale:

Eastgate Commercial Park
Phase II

BR Lighting & Controls



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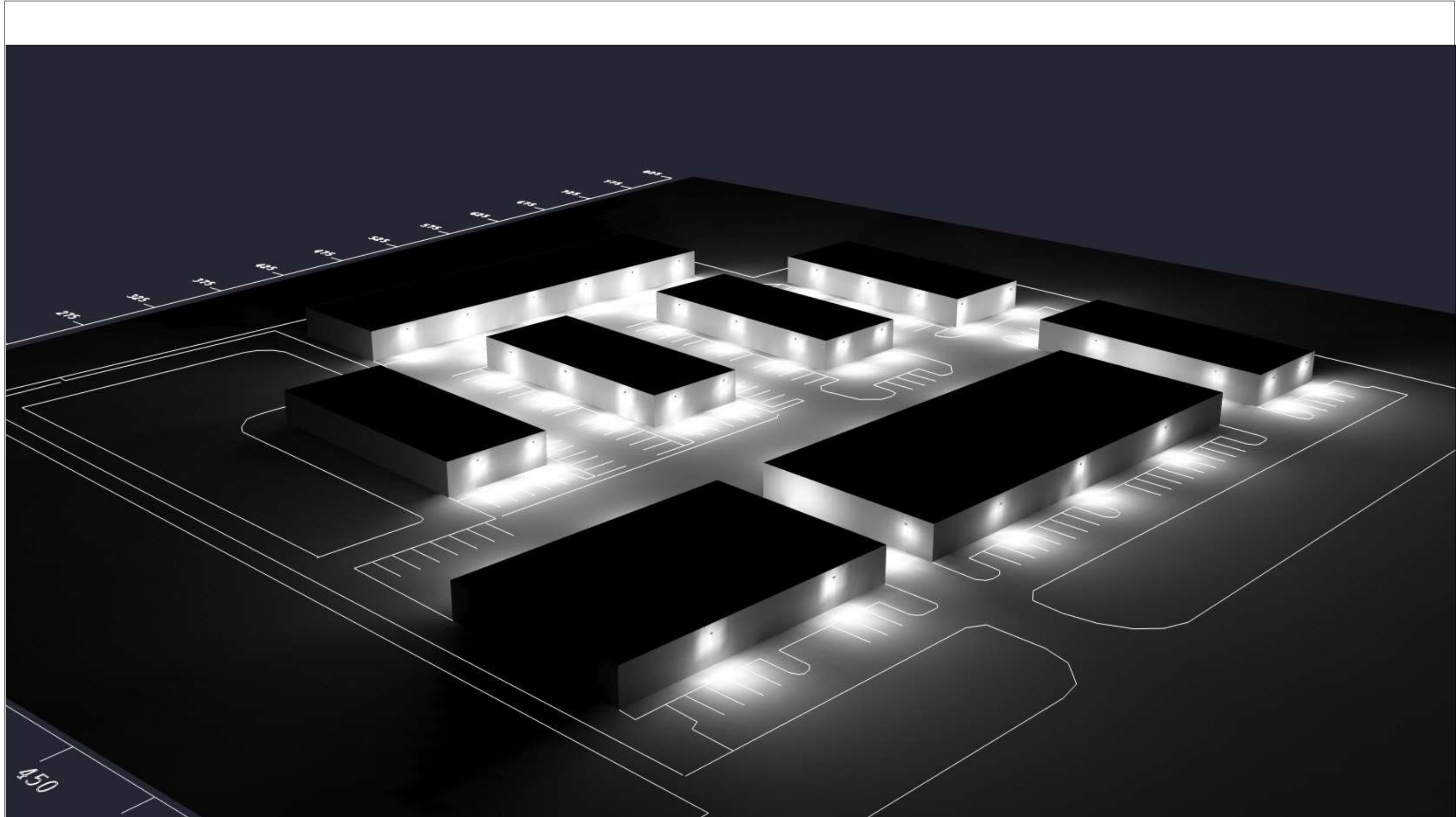
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Checked By:

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Scale:

Eastgate Commercial Park
Phase II

BR Lighting & Controls

D

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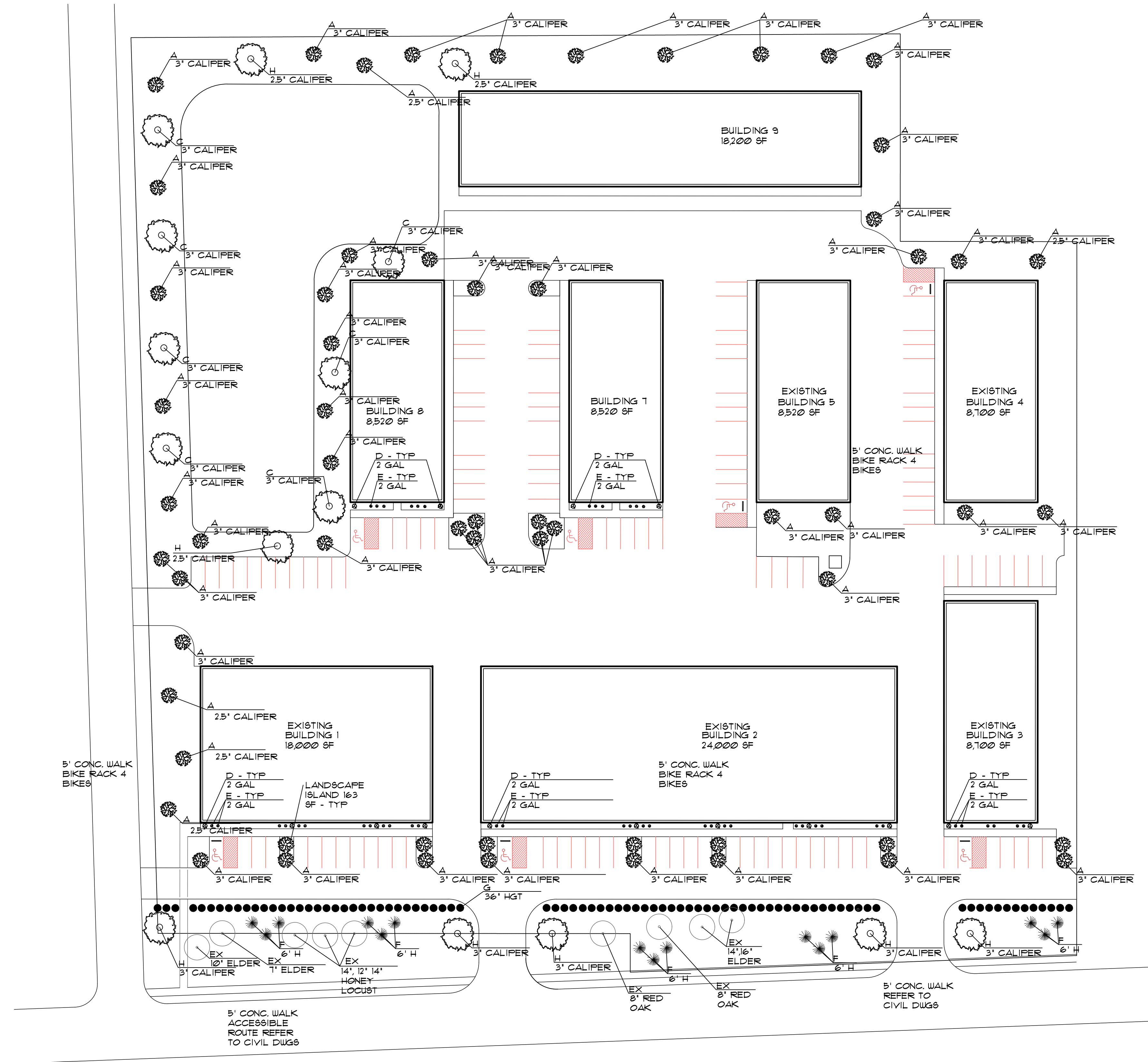
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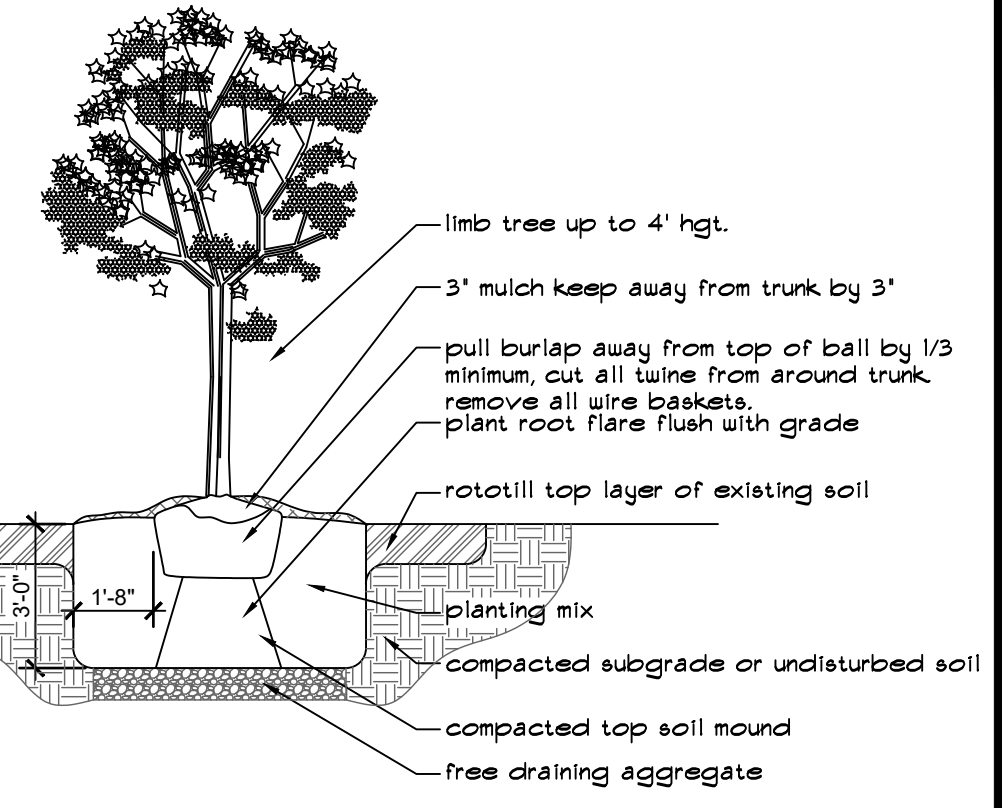
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5



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12	3	C	RED MAPLE	3" CAL.
10	4	D	BUXUS "WINTER GEM"	2 GAL.
6	12	E	ROSA KNOCKOUT	2 GAL.
15		F	THUJA	6' HGT.
95		G	BUXUS "GREEN GEM"	36" HGT.

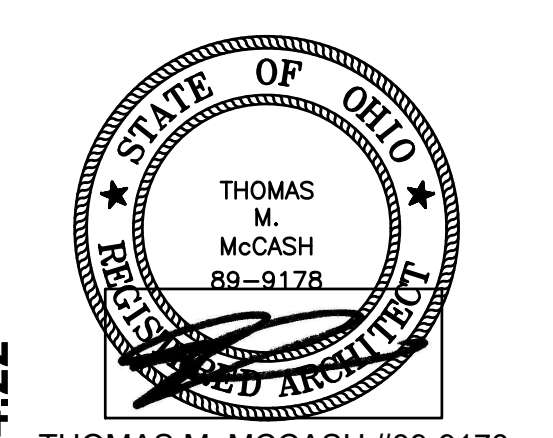
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REVISIONS	DATE	DESCRIPTION
1	2/20/20	SET REISSUED
2	5/19/21	PHASE 2
3	4/4/22	PHASE 2 - REV.

CONSULTING ENGINEER
 THOMAS M. McCASH, RA, CBO, MPE
 55 S. HIGH ST #210
 DUBLIN, OHIO 43017
 T+1 614 348 9883 F+1 614 761 9321

LANDSCAPE PLAN
 A PROJECT OF:
LEVECK COMMERCIAL CONSTRUCTION & DEVELOPMENT, LLC
 FOR:
EASTGATE PARKWAY
GAHANNA, OHIO 43230

Thomas M. McCash, RA, CBO, MPE
 55 S. HIGH ST #210
 DUBLIN, OHIO 43017
 T+1 614 348 9883 F+1 614 761 9321

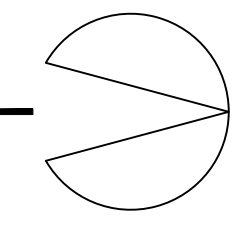


THOMAS M. MCCASH #89-9178
 LICENSE EXPIRES 12/31/23

DATE: 04.04.22 SHEET:
 SCALE: AS NOTED
 DRAWN BY: TMM
 PROJECT No: 19009
A2.00



LANDSCAPE PLAN

SCALE: 1"=40'-0"



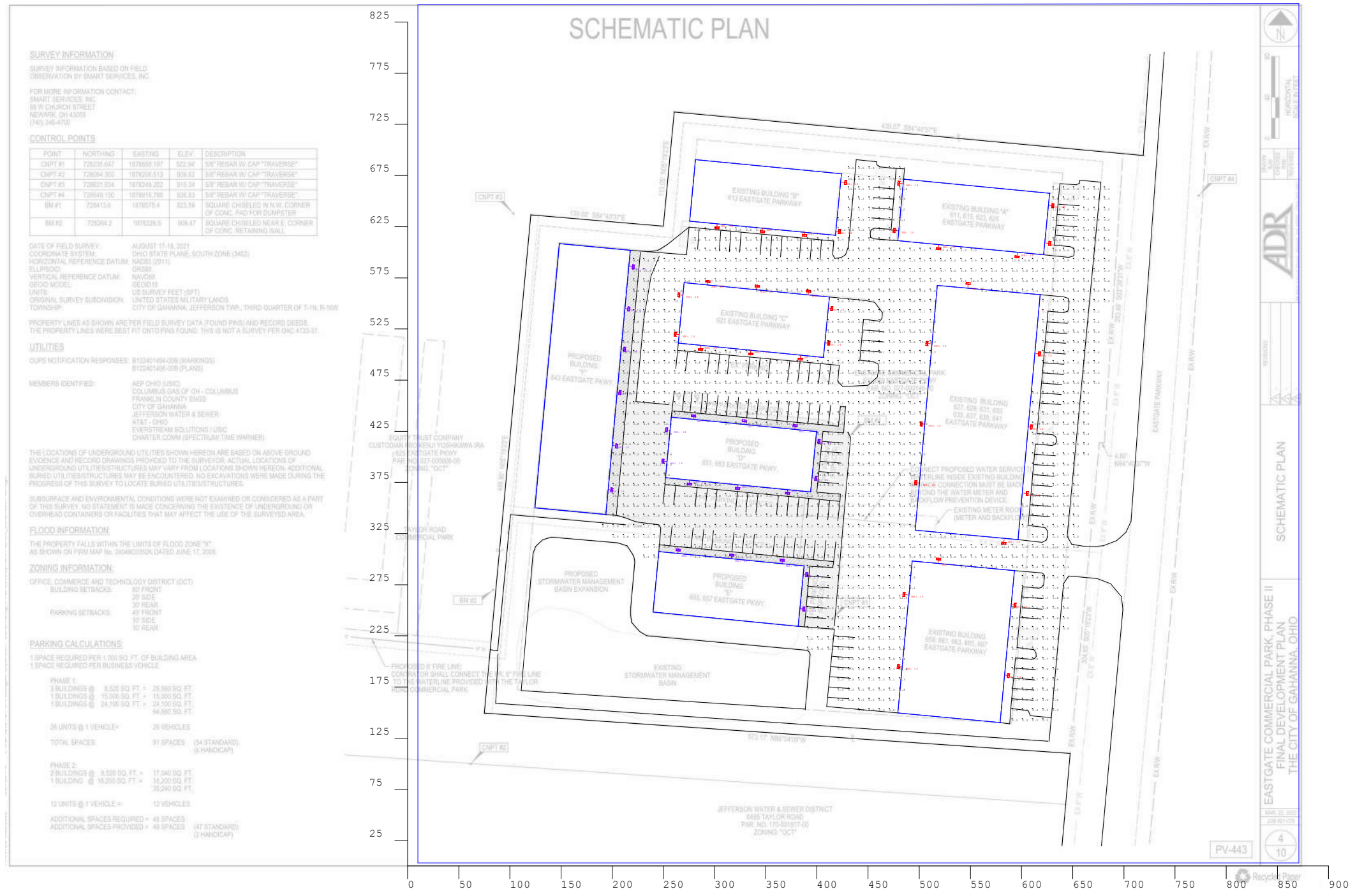
PHASE 2: 04.04.22

Luminaire Schedule

Symbol	Light Qty	Label	Arrangement	LLF	Description	Lum. Lumens
	34	AE-L-WPDS-90	SINGLE	1.000	90W WPDS, 110 LPW	9924
	21	U-IWP-90	SINGLE	1.000	90W IWP, 130 LPW	13334

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Total # of Fixtures
Calc_1	Illuminance	Fc	3.40	18.9	0.1	34.00	189.00	Phase II: 21



SURVEY INFORMATION

SURVEY INFORMATION BASED ON FIELD OBSERVATION BY SMART SERVICES, INC.

FOR MORE INFORMATION CONTACT:
SMART SERVICES, INC.
88 W CHURCH STREET
NEWARK, OH 43093
(741) 345-4100

CONTROL POINTS

POINT	NORTHING	EASTING	ELEV.	DESCRIPTION
CNPT #1	728235.647	1876552.187	922.94'	5/8" REBAR W/ CAP "TRAVERSE"
CNPT #2	728294.302	1876206.813	908.82	5/8" REBAR W/ CAP "TRAVERSE"
CNPT #3	728631.054	1876204.202	915.34	5/8" REBAR W/ CAP "TRAVERSE"
CNPT #4	728649.100	1876194.790	906.83	5/8" REBAR W/ CAP "TRAVERSE"
BM #1	728413.6	1876575.4	823.58	SQUARE CHISELED IN N.W. CORNER OF CONC. PAD FOR DUMPSTER
BM #2	728294.2	1876228.5	898.47	SQUARE CHISELED NEAR E. CORNER OF CONC. RETAINING WALL

DATE OF FIELD SURVEY: AUGUST 17-18, 2021

COORDINATE SYSTEM: OHIO STATE PLANE, SOUTH ZONE (342)

HORIZONTAL REFERENCE DATUM: NAD83 (2011)

ELLIPSOID: GRS80

VERTICAL REFERENCE DATUM: NAVD83

VEIC MODEL: DECS18

UNITS: US SURVEY FEET (SPT)

ORIGINAL SURVEY SUBDIVISION: UNITED STATES MILITARY LANDS

TOWNSHIP: CITY OF SAHAWNA, JEFFERSON TWP., THIRD QUARTER OF T-1N, R-10W

PROPERTY LINES AS SHOWN ARE PER FIELD SURVEY DATA, FOUND PINS AND RECORD DEEDS. THE PROPERTY LINES WERE BEST FIT ONTO PINS FOUND. THIS IS NOT A SURVEY PER OAC 4733-31.

UTILITIES

OUR NOTIFICATION RESPONSES: 812341484-008 (MARKING)
812341486-008 (PLANS)

MEMBERS IDENTIFIED:
AEP OHIO USIC
COLUMBUS GAS OF OH - COLUMBUS
FRANKLIN COUNTY ENGS
CITY OF SAHAWNA
JEFFERSON WATER & SEWER
ATAI - OHIO
EVERSTREAM SOLUTIONS / USIC
DWRITER COMM (SPECTRUM) (THE WARNER)

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND EVIDENCE AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OF THE SURVEYED AREA.

FLOOD INFORMATION

THE PROPERTY FALLS WITHIN THE LIMITS OF FLOOD ZONE "X" AS SHOWN ON FIRW MAP No. 358480325K, DATED JUNE 17, 2008.

ZONING INFORMATION

OFFICE, COMMERCE AND TECHNOLOGY DISTRICT (OCT)

BUILDING SETBACKS:
80' FRONT
30' SIDE
30' REAR

PARKING SETBACKS:
45' FRONT
10' SIDE
10' REAR

PARKING CALCULATIONS

1 SPACE REQUIRED PER 1,000 SQ. FT. OF BUILDING AREA
1 SPACE REQUIRED PER BUSINESS VEHICLE

PHASE 1:
3 BUILDINGS @ 8,520 SQ. FT. = 25,560 SQ. FT.
1 BUILDING @ 15,000 SQ. FT. = 15,000 SQ. FT.
1 BUILDING @ 24,100 SQ. FT. = 24,100 SQ. FT.
54,660 SQ. FT.

26 UNITS @ 1 VEHICLE = 26 VEHICLES

TOTAL SPACES: 81 SPACES (84 STANDARD) (3 HANDICAP)

PHASE 2:
2 BUILDINGS @ 8,520 SQ. FT. = 17,040 SQ. FT.
1 BUILDING @ 15,000 SQ. FT. = 15,000 SQ. FT.
32,040 SQ. FT.

12 UNITS @ 1 VEHICLE = 12 VEHICLES

ADDITIONAL SPACES REQUIRED = 49 SPACES (47 STANDARD) (2 HANDICAP)

ADDITIONAL SPACES PROVIDED = 49 SPACES (47 STANDARD) (2 HANDICAP)



Calculations are provided using industry-recognized software and are provided for estimation purposes only. Actual lighting levels will vary depending on field conditions. The calculations correspond to the information provided. Assumptions may be made for information not provided. Due to the above considerations, Alech Electronics will not guarantee that actual light levels measured in the field will match the calculations.

Drawn By: Gian. P

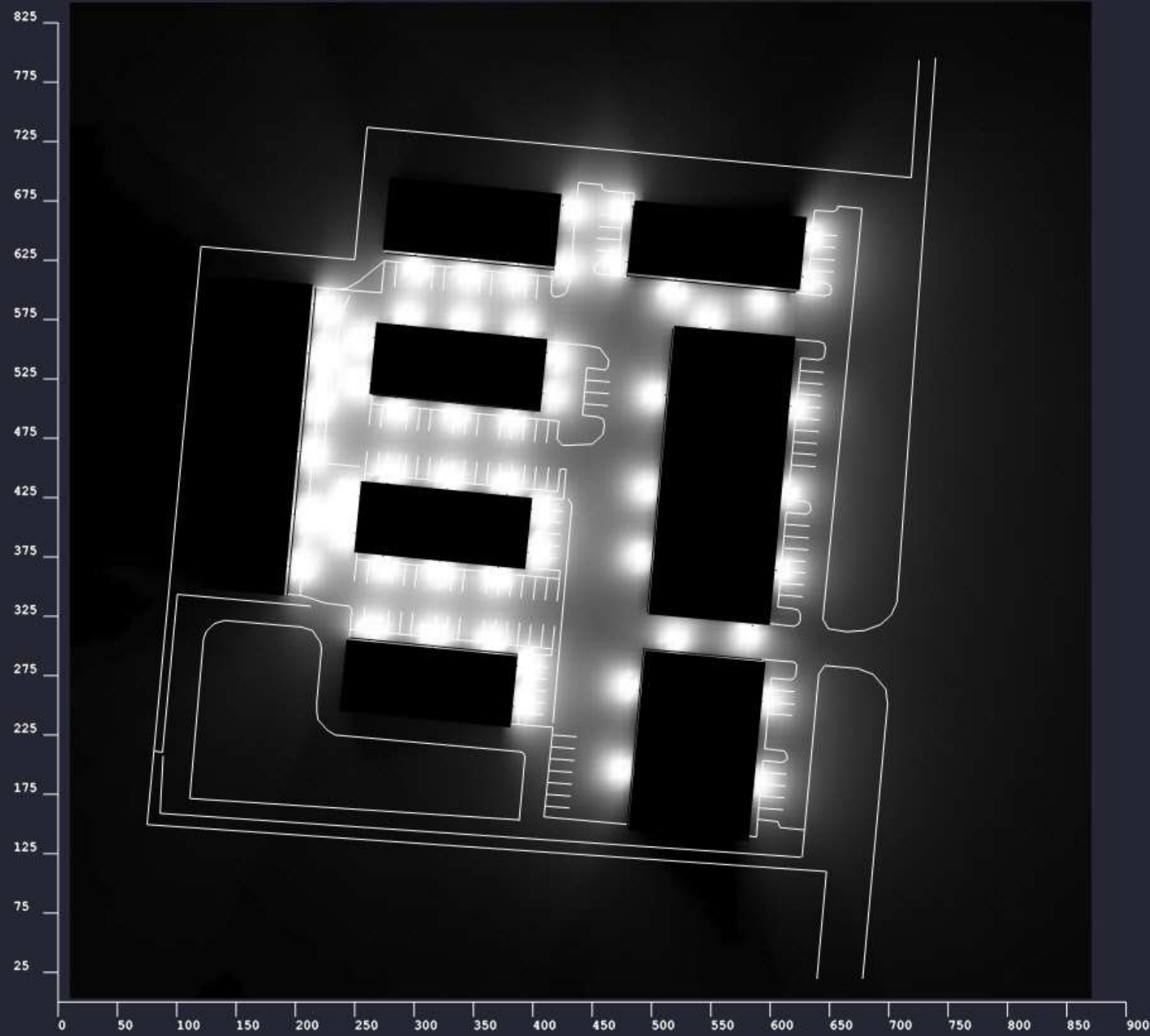
Checked By:

Date: 3/29/2022

Scale:

Eastgate Commercial Park
Phase II

BR Lighting & Controls



Eastgate Commercial Park
Phase II

BR Lighting & Controls

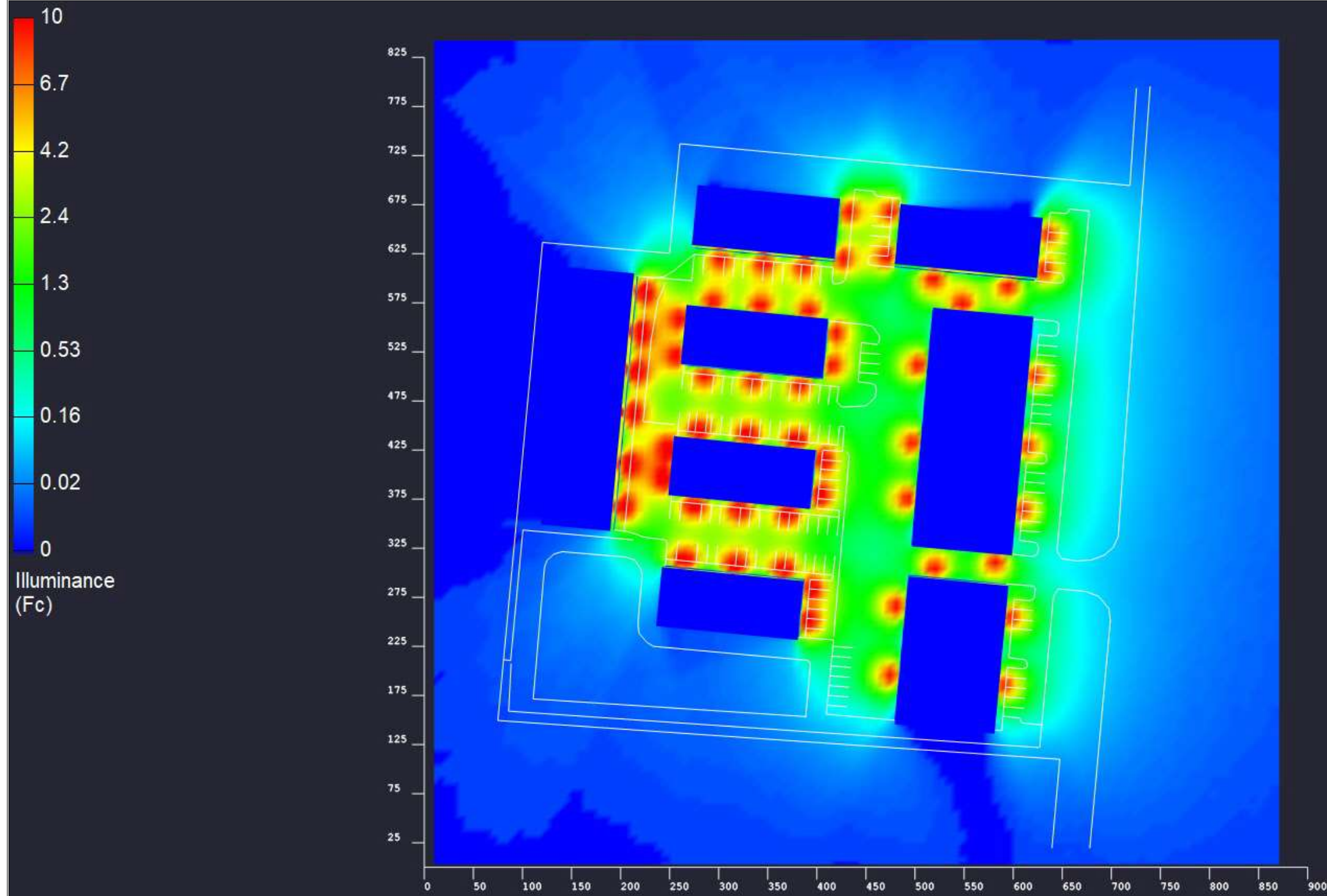
Drawn By: Gian. P

Checked By:

Date: 3/29/2022

Scale:

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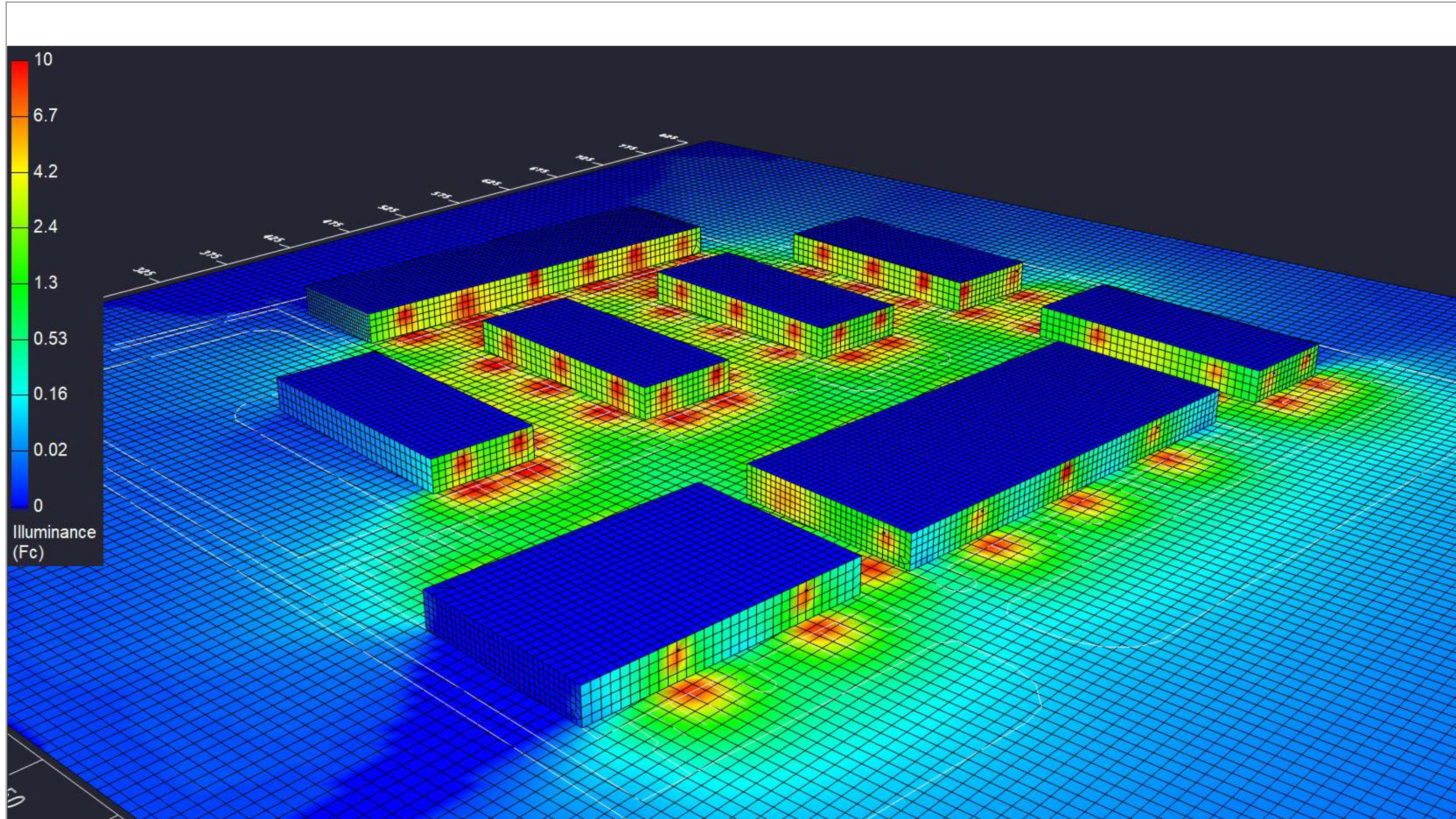
Checked By:

Date: 3/29/2022

Scale:

Eastgate Commercial Park
Phase II

BR Lighting & Controls



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Drawn By: Gian. P

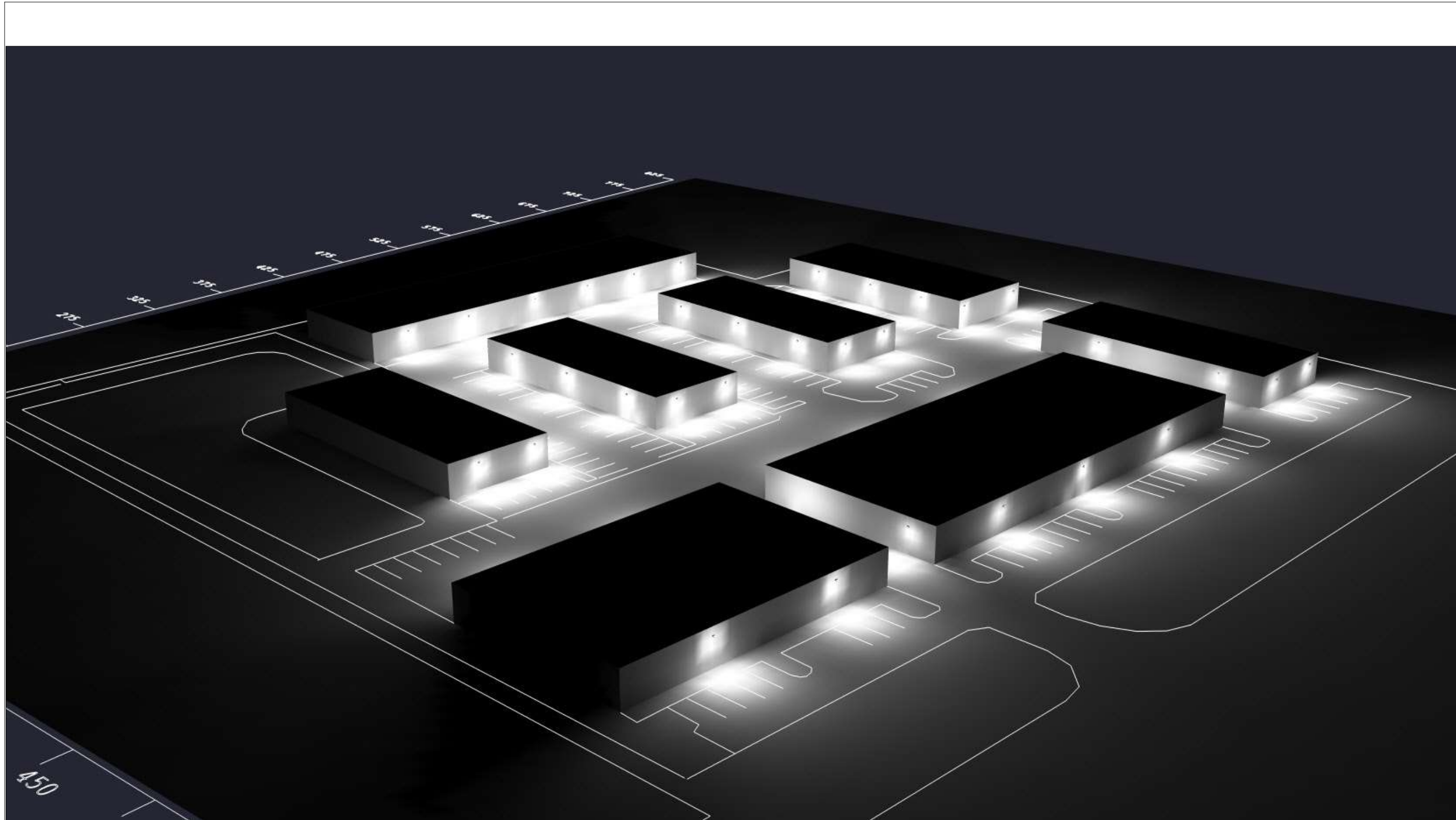
Checked By:

Date: 3/29/2022

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Eastgate Commercial Park
Phase II

BR Lighting & Controls



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Drawn By: Gian. P

Checked By:

Date: 3/29/2022

Scale:

Eastgate Commercial Park
Phase II

BR Lighting & Controls



ADR & Associates, Ltd.
88 West Church St.
Newark, Ohio 43055
740-345-1921
Fax 740-345-4994

Clientcentric Consulting
Design . Engineering . Innovation

February 4, 2022

Kelly Wicker
Planning & Zoning Coordinator, Department of Planning
City of Gahanna
200 South Hamilton Road
Gahanna, OH 43230
(614) 342-4025

Re: Project 611-659 Eastgate Commercial Park, Phase II – Final Development Plan

Kelly,

Please find below list of comments and corrective measures taken in regard to Final Development Plan Review comments provided January 13, 2022. enclosed the following information for review and approval:

Engineering

1. A final engineering plan review will be required following approval of the Final Development Plan (FDP). Engineering plan review can be concurrent with the FDP process if requested. Concurrent review may expedite the project.
Engineering Plan has been revised and will be submitted concurrently.
2. Modifications to the existing retention basin shall meet the stormwater management requirements of codified ordinance chapters 1193 and 1195.
Revisions will meet requirements, please see attached Stormwater Management report.

Planning

3. Provide parking calculations for all buildings on site to ensure that the minimum amount of spaces are met for the entire property. Include all applicable parking ratios per Section 1163.02 including the "1 space per business vehicle" requirement.
Calculations have been added, please see sheet 4.
4. The parking calculations indicate two 8,250sqft buildings. The provided building dimensions of 60' x 142' come to 8,520sqft. Please clarify and revise as necessary to make sure the building area is consistent.
Building are label has been corrected accordingly.
5. Clearly show on the site plan where the new parking spaces are being proposed.
Additional labels have been added to the plan, see sheets 4 & 5.



ADR & Associates, Ltd.
88 West Church St.
Newark, Ohio 43055
740-345-1921
Fax 740-345-4994

Clientcentric Consulting
Design . Engineering . Innovation

6. Label parking lot lighting as required per Section 1163.06 and 1155.08. Please note the proposed footcandles.
All proposed lighting will be wall mounted. Lighting sheet added.
7. It appears that the landscaped areas are not included on this submittal as they were for the previously approved plan. Please include the interior parking lot landscaping requirements per Section 1163.08. Included calculations for minimum amount of landscaping area and minimum number of trees.
Landscaping sheet has been added to the plan.
8. Chapter 1155.04(g) requires bike racks to be placed within 600' of the entrance to each building. Please revise the site plan to include bike racks.
Bike rack added, see sheet 5 for location, detail added to sheet 3.
9. Chapter 914 requires one tree inch to be planted per 1,000 square feet of impervious surface. This requirement is in addition to any other planting requirements.
Landscaping sheet has been added to the plan.

Fire District

1. At the present time the Fire Prevention Bureau has no issues with the documents submitted for Eastgate Commercial Park. Please contact the Fire Prevention Bureau if you have any questions.
No action required.

Parks

2. No Comment per Julie Predieri
No action required.

Building

3. The project will be required to comply with the Ohio Building Code.
Developer and architect to be advised.

If you have any questions, comments or concerns, please feel free to contact me.

ADR & Associates, LTD.

R. Ryan Badger
Director of Development

c: 21-079



March 14, 2022

LeVeck Commercial Construction
625 Eastgate Pkwy
Gahanna, OH 43230

RE: Project 611-659 Eastgate Pkwy Final Development Plan

Dear LeVeck Commercial Construction:

The following comments were generated from the review of the submitted plans and documents for the referenced project. For the next submittal, please provide a response to comments, revised plans, and/or other information as requested for further review. The response to comments needs to include both the original comment and the appropriate response. If desired, these comments can be emailed. Re-submitted plans that do not include the disposition of comments document will not be reviewed and will be returned to you.

Engineering

1. A final engineering plan review will be required following approval of the Final Development Plan (FDP). Engineering plan review can be concurrent with the FDP process if requested. Concurrent review may expedite the project. *Noted and coordinating with the Engineer's Office.*
2. Modifications to the existing retention basin shall meet the stormwater management requirements of codified ordinance chapters 1193 and 1195. *Noted and coordinating with the Engineer's Office.*

Planning

3. Provide parking calculations for all buildings on site to ensure that the minimum amount of spaces are met for the entire property - not just for the 3 buildings proposed. Include all applicable parking ratios per Section 1163.02 including the "1 space per business vehicle" requirement and indicate the amount of spaces provided for the entire site. *Parking spaces have been reviewed and noted accordingly.*
4. Label parking lot lighting as required per Section 1163.06 and 1155.08. Please note the proposed footcandles. The submitted lighting plan shows the previously approved building layout - not the proposed layout with the large 18,200sqft building. Update the plan to reflect the new layout. *Updated Accordingly.*
5. It appears that the landscaped areas are not included on this submittal as they were for the previously approved plan. Please include the interior parking lot landscaping requirements per Section 1163.08. Included calculations for minimum amount of landscaping area and minimum number of trees. The submitted landscaping plan shows the previously approved building layout - not the proposed layout with the large 18,200sqft building. Update the plan to reflect the new layout. *Updated Accordingly.*
6. Chapter 1155.04(g) requires bike racks to be placed within 600' of the entrance to each building. Please revise the site plan to include bike racks. Only one bike rack is included in the site plan. *Updated Accordingly.*
7. Chapter 914 requires one tree inch to be planted per 1,000 square feet of impervious surface. This requirement is in addition to any other planting requirements. The submitted landscaping plan shows the previously approved building layout - not the proposed layout with the large 18,200sqft building. Update the plan to reflect the new layout.

Fire District

8. I found an issue with Submittal 2 for 611-659 Eastgate Parkway. The back building 643 Eastgate Parkway (parallel to property line) is over 1000 feet from the closest fire hydrant. An additional fire hydrant(s) is required. *Fire hydrant has been added on the south end of this building via an extension from the neighboring development, with an easement. As shown on the revised plans.*

Building

9. The project will be required to comply with the Ohio Building Code. *Will Comply*

Parks

10. I would like to see planting specifications included in the landscape plan. Also, I would like to know what species of maple is intended for planting. *The Landscaping Plan has been revised accordingly.*

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker
Planning and Zoning Coordinator



May 13, 2022

LeVeck Commercial Construction
625 Eastgate Pkwy
Gahanna, OH 43230

RE: Project 611-659 Eastgate Pkwy Final Development Plan

Dear LeVeck Commercial Construction:

The following comments were generated from the review of the submitted plans and documents for the referenced project. For the next submittal, please provide a response to comments, revised plans, and/or other information as requested for further review. The response to comments needs to include both the original comment and the appropriate response. If desired, these comments can be emailed. Re-submitted plans that do not include the disposition of comments document will not be reviewed and will be returned to you.

Engineering

1. A final engineering plan review will be required following approval of the Final Development Plan (FDP). Engineering plan review can be concurrent with the FDP process if requested. Concurrent review may expedite the project.
2. Modifications to the existing retention basin shall meet the stormwater management requirements of codified ordinance chapters 1193 and 1195. **Final engineering have been submitted concurrently with the FDP. Storm water comments from previous reviews have been addressed and we have not received any additional comments on the last couple rounds of correspondence.**

Planning

3. Provide parking calculations for all buildings on site to ensure that the minimum amount of spaces are met for the entire property - not just for the 3 buildings proposed. Include all applicable parking ratios per Section 1163.02 including the "1 space per business vehicle" requirement and indicate the amount of spaces provided for the entire site.

4/13/2022 - Parking is calculated incorrectly. Please review the warehouse parking ratios in Section 1163.02 of the zoning code and revise accordingly. For example, roughly 100,000sqft of building area will be on the property. Minimum parking is 1 per business vehicle + up to 20,000sqft - 1 per 1,000sqft + 20,001-120,000 - 1 per 5,000sqft + over 120,000sqft - 1 per 10,000sqft. 36 parking spaces are required without considering the 1 space per business vehicle. **Parking calcs have been updated accordingly.**

Fire District

4. I found an issue with Submittal 2 for 611-659 Eastgate Parkway. The back building 643 Eastgate Parkway (parallel to property line) is over 1000 feet from the closest fire hydrant. An additional fire hydrant(s) is required. **Owner has coordinated with the fire dept. and a hydrant on the adjacent property, owned by LeVeck, has been approved to service this development.**

Building

5. The project will be required to comply with the Ohio Building Code. **Owner/Architect has been coordinating with OBC.**

Parks

6. Tree planting specifications are not entirely appropriate. Pruning should only take place at planting if branches are broken or damaged. Corrective pruning and clearance pruning should be delayed until a full season of growth. At least the top 1/3 of the burlap should be cut away. Root flare should be planted even with finished grade. Trees should not intentionally be planted 2" above nursery height. Mulch should be pulled away completely from trunk. **Landscaping plans have been updated accordingly.**

Prunus cerasifera 'Newport' and Malus spp. are both very susceptible to a variety of pests and diseases. Alternative species should be considered to replace these trees. Maple species is still not identified on the landscape plan. The maple family is large, and the species in the family range on size and a number of other features. **Landscaping plans have been updated accordingly.**

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker
Planning and Zoning Coordinator



June 9, 2022

LeVeck Commercial Construction
625 Eastgate Pkwy
Gahanna, OH 43230

RE: Project 611-659 Eastgate Pkwy Final Development Plan

Dear LeVeck Commercial Construction:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

Development Engineer

1. A final engineering plan review will be required following approval of the Final Development Plan (FDP). Engineering plan review can be concurrent with the FDP process if requested. Concurrent review may expedite the project.
2. Modifications to the existing retention basin shall meet the stormwater management requirements of codified ordinance chapters 1193 and 1195.

Building

3. The project will be required to comply with the Ohio Building Code.

Parks

4. Updated landscape plans look ok to me.

Fire District

5. The additional fire hydrant supplied by a 6 inch main along the service road looks good

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker
Planning and Zoning Coordinator



STAFF REPORT

Request Summary

Applicant is requesting approval to construct an 18,200sqft and two 8,520sqft flex industrial buildings at 611-625 Eastgate Parkway. This site has been approved and built in phases with roughly 70,000sqft of existing flex industrial buildings with the same designs. This particular section of the property was originally approved through a Final Development Plan and Design Review in June of 2021 to construct four 8,500sqft flex industrial buildings. Due to the extent of proposed alterations, Planning Commission is required to review and approve revisions of the plans per Section 1108.08 and 1197.02.

Alterations to the approved plan include the following:

- Replacing two 8,500sqft buildings at the rear of the property with one large 18,200sqft building.
- Rear buildings were approved at 35ft from the rear property line and 45ft from the side (north) property line whereas the new building will be 30ft from the rear property line and 25ft from side property line.
- The addition and revised layout of parking spaces from the approved 31 spaces to the proposed 63 spaces.

As can be seen from the site plan, the proposed buildings are configured in such a manner that it should have little to no visual impact on neighboring properties. The property is zoned OCT which permits the requested uses by right. This property, and most neighboring properties, are developed with similar uses and building types. The requested use is consistent with the land use plan which designates the property as Industrial, Research, and Innovation.

Final Development Plan

Planning Commission shall approve an FDP application if the following four conditions are met:

- A. The proposed development meets the applicable development standards of this Zoning Ordinance.
- B. The proposed development is in accord with appropriate plans for the area.
- C. The proposed development would not have undesirable effects on the surrounding area.
- D. The proposed development would be in keeping with the existing land use character and physical development potential of the area

Design Review

General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect and enhance the physical surroundings of the Design Review District.

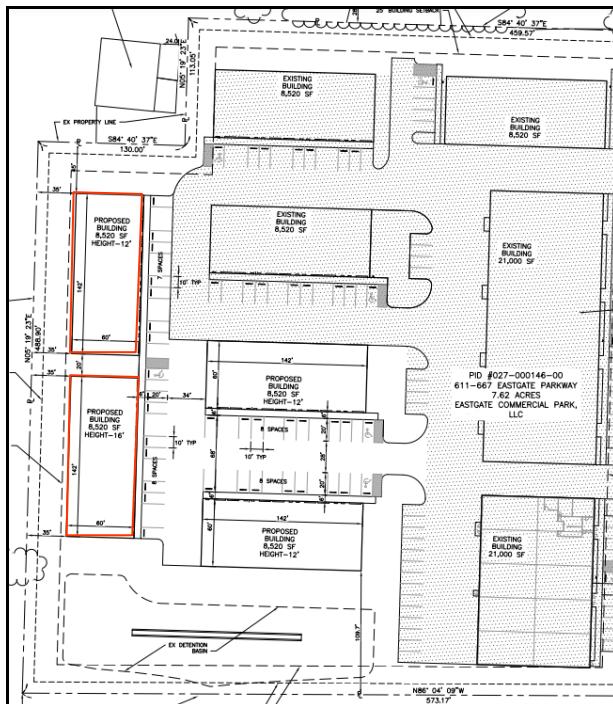
Staff Comments

Staff recommends approval of the applications as submitted. The use is permitted by the zone district and the land use plan, and the proposed alterations meet all applicable zoning requirements for minimum setbacks, parking standards, and landscaping requirements. No variances are required.

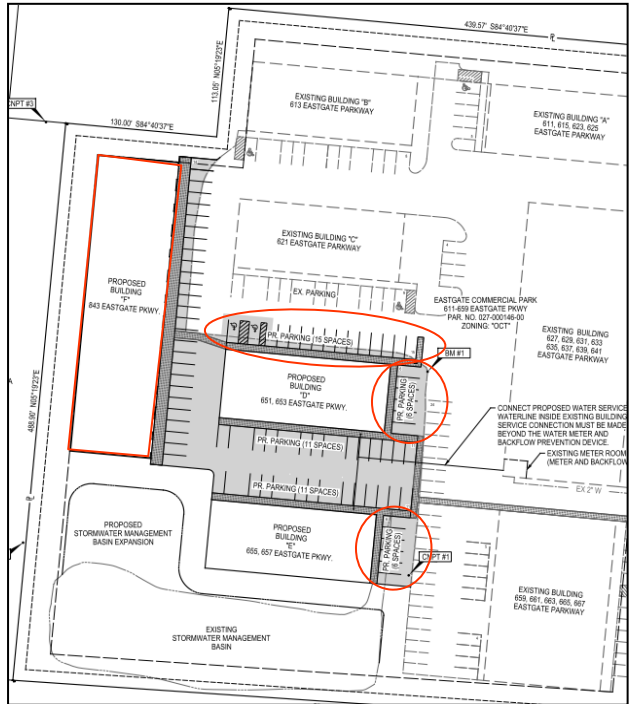
Location/Zoning Map:



Previously Approved Plan:

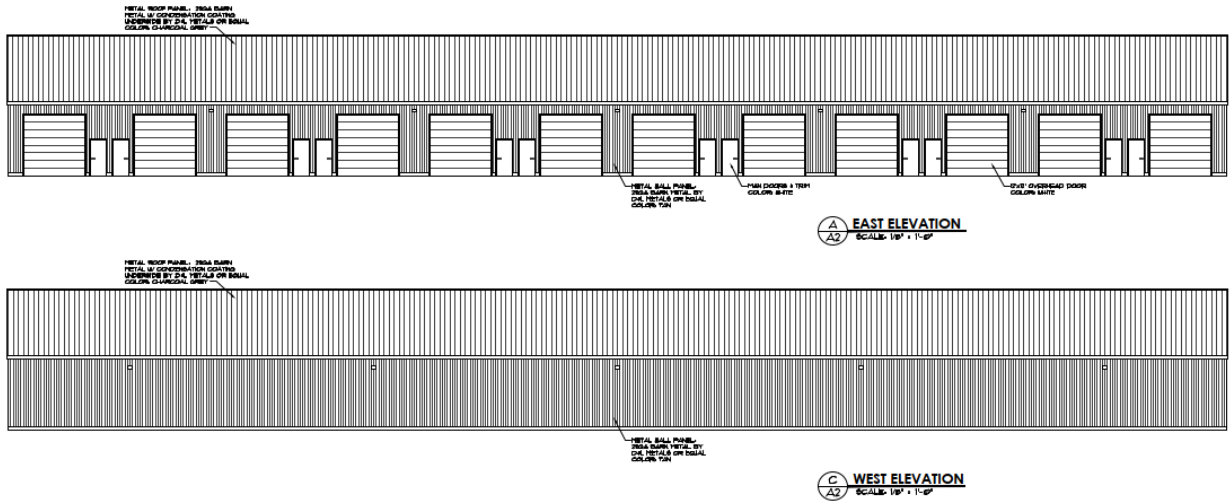


Proposed Plan:

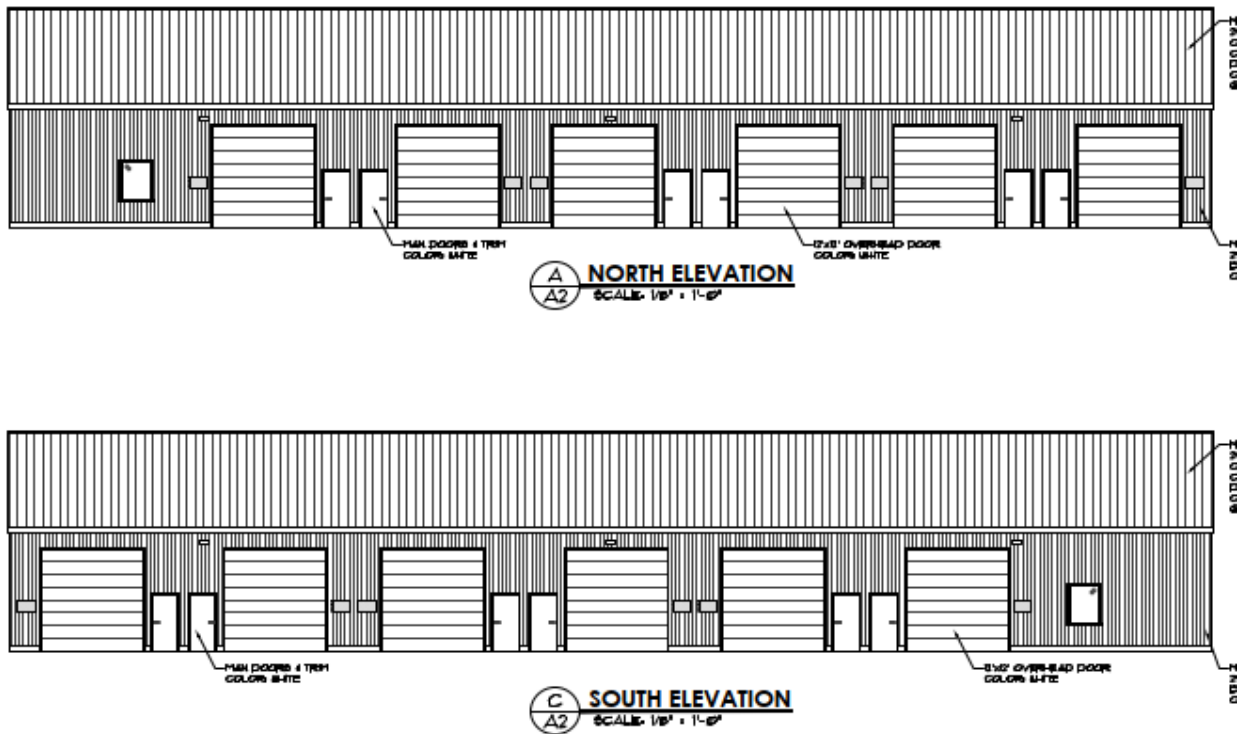


Proposed Renderings:

East & West Elevation of building F:



North & South Elevation of buildings D & E:



Respectfully Submitted By:
Zack Cowan, AICP