



DEVELOPMENT PLAN APPLICATION SUMMARY



File Number	DP-25-8
Property Address	191 GRANVILLE ST GAHANNA, OH 43230
Parcel ID	025-000281
Zoning District	CMU - Creekside Mixed-Use
Project/Business Name	Northwest Bank
Applicant	Andrew Gardner agardner@v3co.com 614-226-3650
Description of the Request	Renovation of the existing building for a new Northwest Bank Branch. New Parking and utilities will be installed.



AUTHORIZATION CONSENT FORM

If you are filling out more than one application for the same project & address, you may submit a copy of this form with each additional application.

As the owner or acting agent for the subject property, I have reviewed the application and hereby authorize the listed applicant to make decisions that may affect my property as it pertains to this application.


(property owner/acting agent signature)

JAMES M. PEPPE
(printed name)

5/20/25
(date)


(applicant signature)

Andrew Gardner
(printed name)

7/1/25
(date)

JOHNSON PAMELA I
162 CLARK ST
COLUMBUS OH 43230

LND STRAWBERRY PLAZA LTD
PO BOX 284
GALENA OH 43021

RINGS BROTHERS LLC
171 GRANVILLE ST
COLUMBUS OH 43230

ISHIDA KALAYANEE V TR
26778 TALLY HO LN
BLACKLICK OH 43004

186 GRANVILLE STREET LLC
1851 COLLINGSWOOD RD
UPPER ARLINGTON OH 43221

WILLIAMS, WILLIAM D MILLER &
MICHELLE R
161 CLARK ST
COLUMBUS OH 43230

LEATHERBUCK LLC
5 E LONG ST STE 1200
COLUMBUS OH 43215

CITY OF GAHANNA OHIO
200 S HAMILTON RD
GAHANNA OH 43230

REES 5 FLOWERS LLC
249 LINCOLN CIRCLE
GAHANNA OH 43230

SEIPEL LILLY ANN
450 CLARK STATE RD
COLUMBUS OH 43230

VILLAGE OF GAHANNA
200 S HAMILTON RD
GAHANNA OH, 43230-2996

CITY OF GAHANNA OHIO
200 S HAMILTON RD
GAHANNA OH 43230

WILLIAMS, WILLIAM D MILLER &
MICHELLE R
161 CLARK ST
COLUMBUS OH 43230

DURIS FAMILY LLC
161 165 GRANVILLE ST
COLUMBUS OH 43230

SEIPEL, WILBUR M SEIPEL & LILLY A
450 CLARK STATE RD
COLUMBUS OH 43230

191 GRANVILLE STREET LLC
1851 COLLINGSWOOD RD
COLUMBUS OH 43221



Warren
3 Farm Colony Drive • Warren, PA 16385
814 • 728 • 6010

Pittsburgh
1601 Marys Ave., Suite 2G-8 • Pittsburgh, PA 152
412 • 904 • 1553

Erie
1946 W. 26th St., Suite 38 • Erie, PA 16508
814 • 453 • 7607

ADDENDUMS

[illegible]

Projec



191 GRANVILLE ST.
GAHANNA, OH 43230

Title
LANDSCAPE PLAN

Date
2025.05.19

Project Number
24092

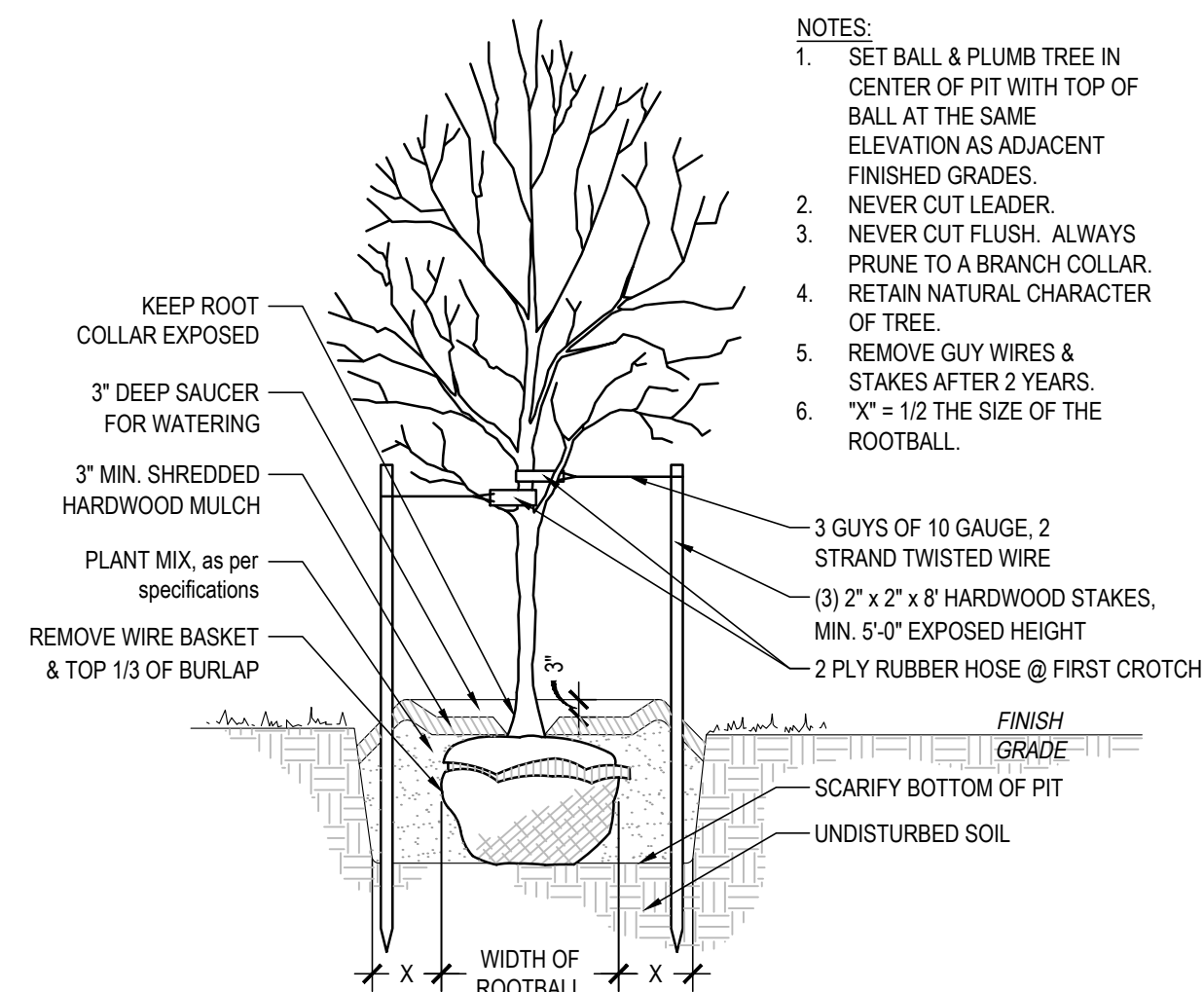
Drawn By
DXS

Sheet Number

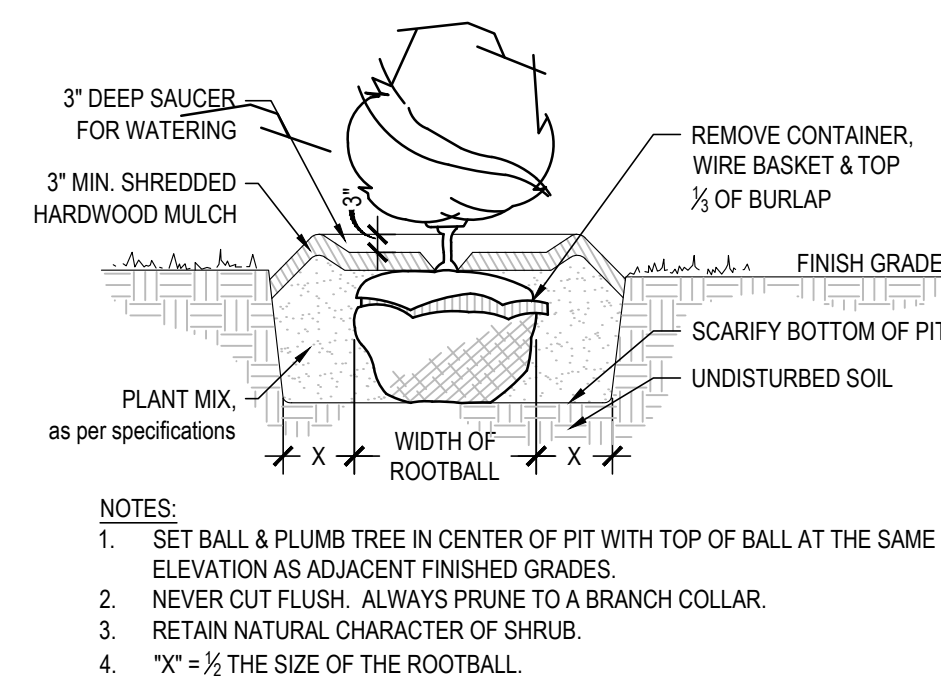
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ARCHITECTURE • INTERIOR DESIGN
LANDSCAPE ARCHITECTURE • SPACE PLANNING

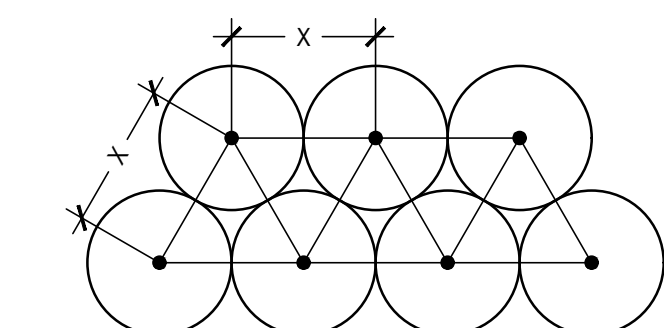
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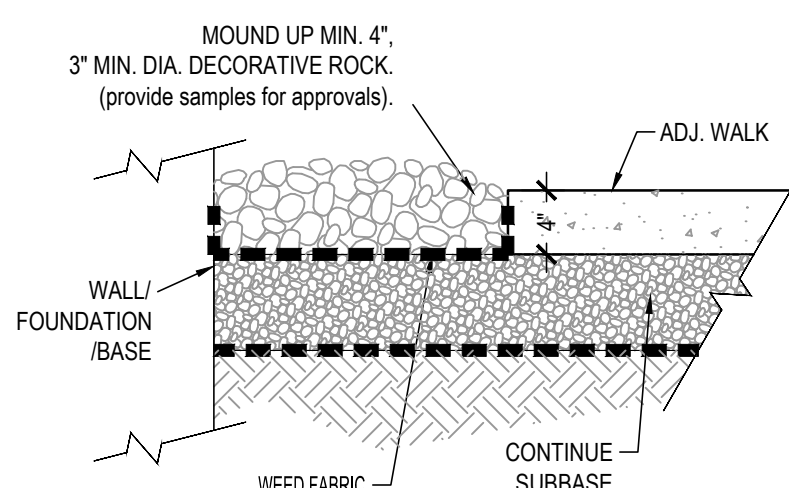
P1 TYPICAL DECIDUOUS TREE PLANTING



P2 TYPICAL SHRUB PLANTING



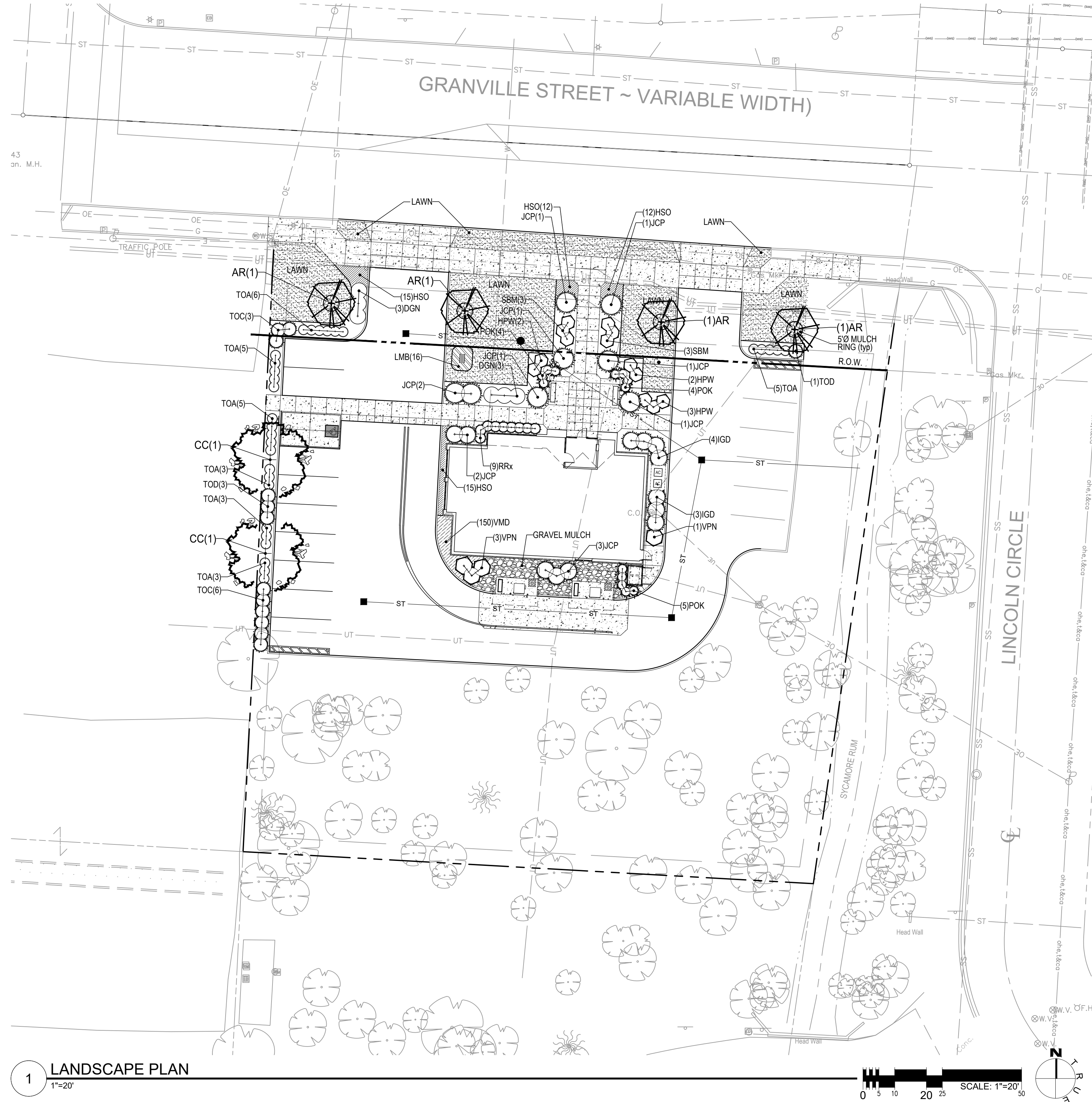
P3 TYPICAL PLANT SPACING



P4 **ROCK MULCH**

_PLANT LIST:

QTY.	SYM.	Botanical Name	Common Name	Size	Type	Comment	On-Center Spacing inches	feet
TREES								
4	AR	Acer rubrum 'Armstrong'	Armstrong Maple	3" cal.	B&B		as shown	
2	CC	Cercis canadensis	Eastern Redbud	2" cal.	B&B		as shown	
SHRUBS								
7	HPW	Hydrangea paniculata 'White Diamonds'	White Diamonds Hydrangea	#3	cont.	30"	42 in.	3.5 ft.
7	IGD	Ilex glabra 'Densa'	Dense Inkberry	#3	cont.		48 in.	4 ft.
13	JCP	Juniperus chinensis pfitzeriana 'Kallay'	Kallay Juniper	#5	cont.	15-18"	60 in.	5 ft.
9	RRX	Rhododendron 'Ramapo'	Ramapo Rhododendron	#2	cont.	10-12"	30 in.	2.5 ft.
6	SBM	Spiraea x bumalda 'Monhub'	Limepond Spirea	#6	cont.	30"	36 in.	3 ft.
30	TOA	Thuja occidentalis 'Aurea'	Golden Globe Arborvitae	B&B	36"	30 in.	2.5 ft.	
9	TOC	Thuja occidentalis 'Congabe'	Fire Chief Globe Arborvitae	B&B	36"	42 in.	3.5 ft.	
4	TOD	Thuja occidentalis 'Danica'	Danica Dwarf Globe Arborvitae	B&B	35"	48 in.	4 ft.	
4	VPN	Viburnum plicatum 'Newzam'	Newport Dwarf Doublefile Viburnum	#7	cont.	18-24"	48 in.	4 ft.
LOW SHRUBS / GROUND COVER								
6	DGN	Deutzia gracilis 'Nikko'	Nikko Slender Deutzia	#2	cont.	10-12"	24 in.	2 ft.
16	VMD	Vinca Minor 'Dart's Blue'	Creeping Myrtle	2 1/4"	pp.	flat(50)	8 in.	0.7 ft.
PERENNIALS / GRASSES								
54	HSO	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1.5	cont.		18 in.	1.5 ft.
16	LMB	Liriope muscari 'Big Blue'	Big Blue Liriope	#1	cont.		18 in.	1.5 ft.
3	POK	Pennisetum orientale 'Karly Rose'	Karly Rose Fountain Grass	#3	cont.		30 in.	2.5 ft.



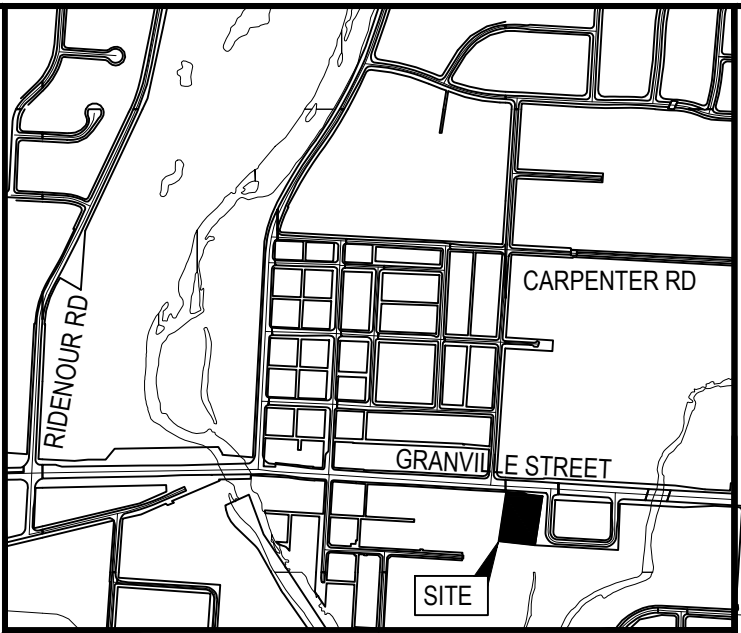
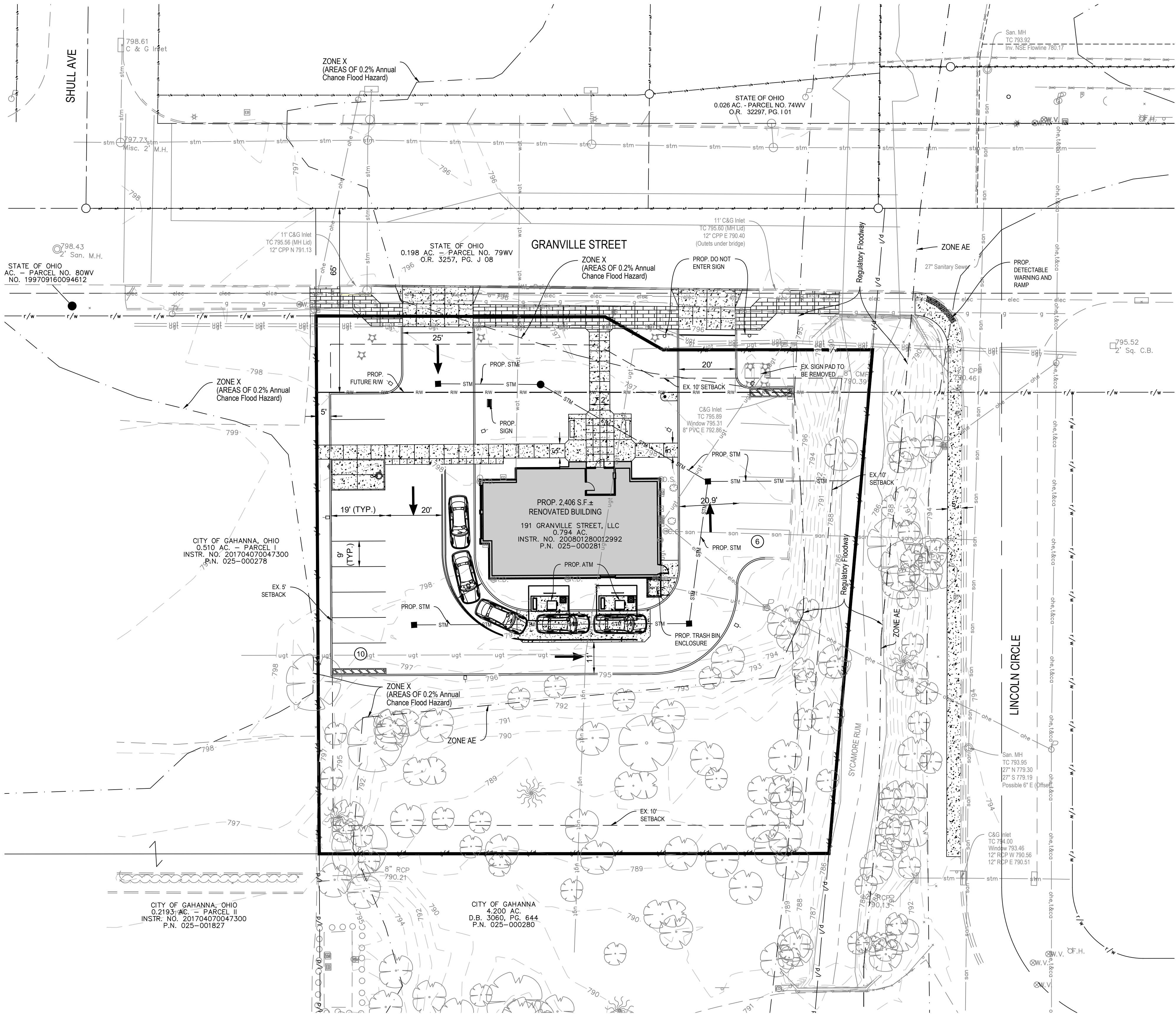
1 LANDSCAPE PLAN
1"=20'

LANDSCAPE NOTES:

- | | | | |
|----|--|-----|--|
| 1. | PLANTING SHALL BE IN ACCORDANCE WITH THE RECOMMENDED PRACTICE OF THE AMERICAN SOCIETY OF NURSERYMEN. | 10. | PLANTING BEDS ARE DEFINED AS ANY AREA WITHIN THE PROJECT THAT IS NOT A HARD SURFACE, STRUCTURE, OR GRAPHICALLY SHOWN TO BE LAWN. |
| 2. | PLANTS SHALL MAINTAINED AND GUARANTEED FOR ONE CONTINUOUS PLANTING SEASON, FROM THE TIME OF INSTALLATION. | 11. | PROVIDE A WEED MAT FOR ALL PLANTING AREAS. |
| 3. | FOR ANY LANDSCAPE AREA DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION MATERIALS, ETC. | 12. | COORDINATE INSTALLATION OF TREES AND SHRUBS WITH UNDERGROUND UTILITIES, LOT LIGHTS, UNDERGROUND STORM SYSTEM, ETC. |
| 4. | CLEAN UP OF DEBRIS AND RESTORATION SHALL INCLUDE AREAS WITHIN AND BEYOND THE PROPERTY LINES, INCLUDING BUT NOT LIMITED TO RIGHT-OF-WAYS, CURBS AND GUTTERS, ETC. | 13. | ALL TREES SHALL BE PLANTED AND MAINTAINED TO GROW UPRIGHT AND PLUMB. |
| 5. | SCARIFY ALL AREAS PRIOR TO TOPSOIL PLACEMENT. | 14. | FREE STANDING CANOPY TREES (as shown) SHALL HAVE A MULCH RING OF FIVE (5) FEET IN DIAMETER (MAX.). |
| 6. | TOPSOIL SHALL NOT BE PLACED OR WORKED WHILE FROZEN OR WET. | 15. | MULCH PLANTING BEDS A MINIMUM OF THREE (3) INCHES DEEP WITH ORGANIC MULCH FREE OF DELETERIOUS MATERIALS AND SUITABLE FOR TOP DRESSING OF TREES, SHRUBS, AND OTHER PLANT MATERIALS. MULCH MATERIAL SHALL BE AGED SHREDDED HARDWOOD OR GROUND SHREDDED BARK. |
| 7. | PLACE TOPSOIL UNIFORMLY TO PREVENT UNEVEN SETTLEMENT. | 16. | ALL LAWNS ARE TO BE SODDED. ALL REMAINING AREAS ARE TO BE SEEDED AS PER THE SPECIFICATIONS. |
| 8. | DEPTH OF TOPSOIL IS TO BE: | 17. | SEE EROSION & SEDIMENTATION CONTROL DETAILS FOR TEMPORARY SEEDING REQUIREMENTS. |
| | 8.1. A MINIMUM OF TEN (10) INCHES IN PLANTING BEDS | 18. | SEE EROSION & SEDIMENTATION CONTROL PLANS FOR TYPE AND LOCATION OF EROSION CONTROL, BLANKETS AND OTHER EROSION CONTROL MEASURES. |
| | 8.2. A MINIMUM OF FOUR (4) INCHES IN LAWN AREAS. | | |
| 9. | FINISHED GRADES SHALL BE INSTALLED AS FOLLOWS: | | |
| | 9.1. ISLANDS: SHALL BE INSTALLED ONE (1) INCH LOWER THAN THE TOP OF THE SURROUNDING CURBS AND SIDEWALKS. | | |
| | 9.2. SLAB ON GRADE STRUCTURES: SHALL BE FOUR (4) INCHES BELOW FINISHED FLOOR (1" TO TOP OF MULCH) | | |

MUNICIPAL DATA:

- ☐ IMPERVIOUS SURFACE AREAS: SEE SHEET #1
☐ PERVIOUS SURFACE AREAS: (area within Limit of Disturbance)
 EXISTING: 3,979.68 square feet
 PROPOSED: 5,145.90 square feet
 NET INCREASE: 1,166.22 square feet
☐ NUMBER OF EXISTING TREES: REAR OF LOT WOODED [species vary]
 THREE (3) LIVE TREES REMOVED (see sht #2)
☐ NUMBER OF PROPOSED TREES: SIX (6) [see plant list]



LOCATION MAP
NO SCALE

LEGEND

- PROP. CONCRETE WALK
- PROP. BRICK WALK PER CITY OF COLUMBUS STANDARD DRAWING 2301.

SITE DEVELOPMENT INFORMATION

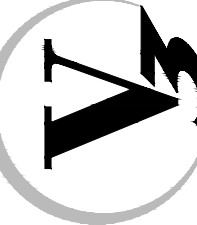
ZONING:
PROPERTY OWNER: 191 GRANVILLE STREET, LLC
PROPERTY USE: BANK
EXISTING SITE ACREAGES: 0.79 AC
EXISTING LOT COVERAGE: 0.38 AC
PROPOSED LOT COVERAGE: 0.35 AC
EXISTING ZONING: CREEKSIDE MIXED USE (CMU)
ADJACENT ZONING NORTH: CREEKSIDE MIXED USE (CMU)
ADJACENT ZONING SOUTH: CONSERVATION (CON)
ADJACENT ZONING EAST: CREEKSIDE MIXED USE (CMU)
ADJACENT ZONING WEST: CREEKSIDE MIXED USE (CMU)

PARKING CALCULATIONS				
AREA	SQUARE FOOTAGE	MIN. PARKING REQ'D	TOTAL PARKING PROVIDED	PARKING RATIO
BUILDING	2,406 S.F.	7	16	6.65/1000 S.F. 1/150 S.F.

PER CHAPTER 1109 OF THE GAHANNA ZONING CODE, 1 PARKING SPACE IS REQUIRED FOR EVERY 300 S.F. OF COMMERCIAL USE.

FINAL DEVELOPMENT PLAN
NORTHWEST BANK GAHANNA

550 Polaris Parkway,
Suite 250
Westerville, OH 43082
614.761.1661 phone
www.v3co.com



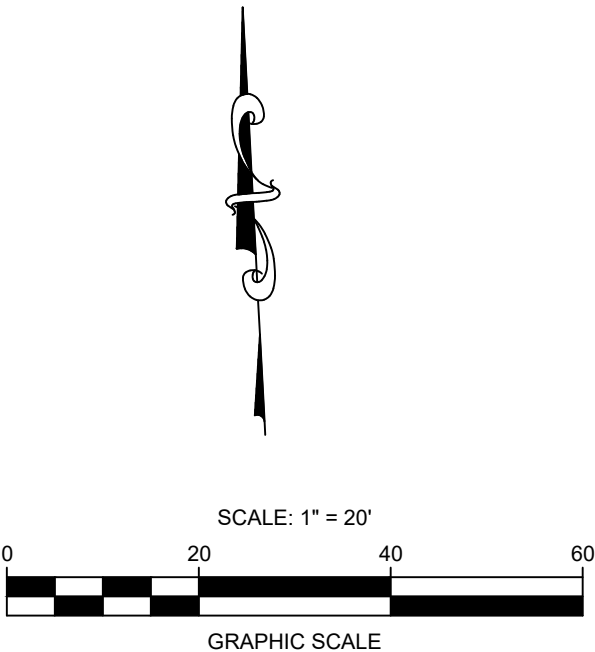
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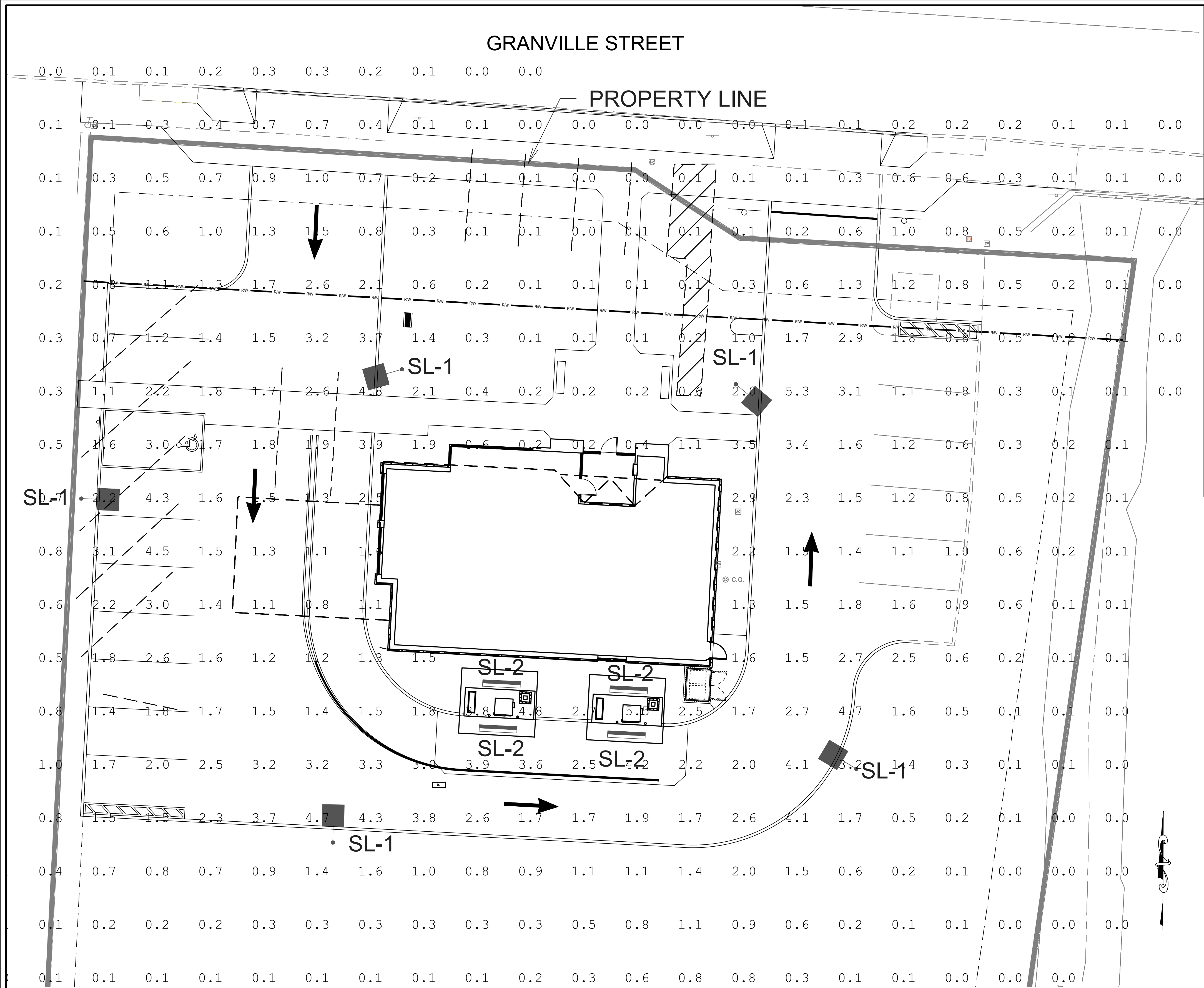
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ARCHITECT
LARSON KARLE ARCHITECTS
1601 MARYS AVE. SUITE 2G-8
PITTSBURGH, PA 15215
PHONE: 412-904-1553
CONTACT: CODY CHAMBERS
E-MAIL: CCHAMBERS@LARSONKARLE.COM

ENGINEER
V3 COMPANIES
550 POLARIS PARKWAY, SUITE 250
WESTERVILLE, OHIO 43082
PHONE: 614-761-1661
FAX: 614-761-1328
CONTACT: ANDREW GARDNER
E-MAIL: AGARDNER@V3CO.COM

OWNER/DEVELOPER
NORTHWEST BANK
100 LIBERTY STREET
WARREN, PA 16365
PHONE: 814-598-5869
CONTACT: STEVE BELL
E-MAIL: STEPHEN.BELL@NORTHWEST.COM





VLX LED Specifications



Project Name:
Catalog Number:
Type:
The new VLX LED Series offers clean, functional styling that is defined by its sleek, low profile design and rugged construction. It combines LED performance and advanced LED thermal management technology and provides outdoor lighting that is both energy efficient and aesthetically pleasing. The LED's performance and the driver's life are maximized by enclosing them in two separate die cast aluminum housings. Easy tool-less access for mounting and maintenance. The LED light assemblies come with 96 to 102 LEDs. Eight optical distribution patterns are available. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs. A durable polyester powder coat finish is guaranteed for five years; and is available in standard or custom colors. The VLX LED Series is an exceptional choice for commercial parking lots, office complexes, architectural projects, and other general lighting projects.

Ordering Information

MODEL	OPTICS	LEDS	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
VLX-1	T1 Type 1	96LC	3 350mA	3K 3000K	UNV 120/277V	AM Arm Mount	BZ Black	PCR-120 PCR-208 PCR-240 PCR-277 PCR-347 PCR-460	RPP RPP-120 RPP-208 RPP-240 RPP-277 RPP-347 RPP-460
	T2 Type 2	128LC	5 500mA	4K 4000K	5 54V	Round Pole Mount Adapter (pole size to be ordered separately)	BK Black	UPMA-S UPMA-R	UPMA-S UPMA-R
	T3 Type 3	160LC	7 700mA	5K 5000K	5 48V	Wall Mount "Piggy Back" (B.A.W.P. to be ordered separately)	SK SMOOTH Black	PER SPINPER	BAWP B.A.W.P. ROT-R ROT-L
	T4 Type 4	192LC				SWH SMOOTH White	GP Graphite	TPHINPER	TPHINPER
	T4A Type 4A					GP Graphite	GY Grey	TPHINPER	TPHINPER
	T5 Type 5					SL Silver	SL Silver	TPHINPER	TPHINPER
	TSW Type 5					CC Custom Color	CC Custom Color	TPHINPER	TPHINPER
	TSWR Type 5							TPHINPER	TPHINPER



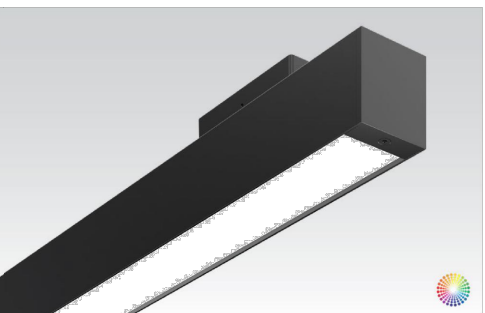
VL-PA-ING-001-F37

REV. 0

CRCABR22-03

Extend 2

RGB+W Surface mount



Project: _____
Type: _____
Notes: _____

PERFORMANCE PER LINEAR FOOT	INPUT WATT*	EFFICIENCY	SHIELDING
1000 lm/ft	16.4 W/ft	61 lm/W	SO
1050 lm/ft	16.4 W/ft	64 lm/W	GZ
1000 lm/ft	16.4 W/ft	61 lm/W	ASO
1000 lm/ft	16.4 W/ft	61 lm/W	BW
1000 lm/ft	16.4 W/ft	61 lm/W	VW

*Please consult factory for custom lumen output and wattage.

Ordering Guide

PRODUCT ID	NOM. LUM/FT	CRI	COLOR TEMP.	SHIELDING	LENGTH (FT)	FINISH
EX2S	1000	90 CRI	CTGBWWS RGB+30K White - Color Tuning	SO spotless lens	4' 5' 6' 7' 8' 12' 15'	AP aluminum paint
			CTGBWWS RGB+35K White - Color Tuning	GZ Graze		W white
			CTGBWWS RGB+40K White - Color Tuning	WW Wallwash		BLK black
			ASO Asymmetric	ASO Asymmetric		C custom
			BW Biwelling	BW Biwelling		

VOLTAGE	DRIVER	CIRCUITS	MOUNTING	OTHER (OPTIONAL)	CUSTOM(OPT)
120/120 V 277/277 V UNV universal	CT(DMX) color tuning driver	1 11 circuit +E(E) emergency circuit*	S8 surface bracket S surface ceiling*	+N natrium finish +BP bird protection**	C custom

*Specify quantity Minimum 30 before length.

** Requires opening before for installation.

*End feed standard for S mounting ** Only available for S8 mounting

Please specify

Product design and development is an ongoing process at Axis Lighting. We reserve the right to change specifications. Contact Axis for the latest product information.

1 / 6 January 13, 2025

FILE NAME: EX2S-RGBW-SPEC

© 2015 Axis Lighting Inc. 1, 910, 216, 218, 711, 514, 948, 6272

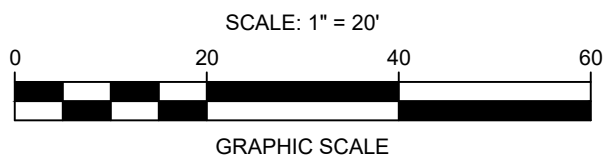


SITE LIGHTING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	QUANTITY	LLF	COLOR	MOUNTING	CONFIG.	CATALOG NO. & NOTES
SL-1	VISIONAIRE LIGHTING, AREA/SITE, LUMINAIRE POWER, 96LC, 103W, TYPE III	5	0.90	4000K	20'-0" MOUNTING HEIGHT	1 FIXTURE	VLX1-T3-96LC-3-4K-ULNV-CLS
SL-2	AXIS LIGHTING, WALL MOUNT, LUMINAIRE POWER 300, 11.5W	4	0.90	4000K	WALL MOUNTED 11'-4" MOUNTING HEIGHT	1 FIXTURE	EX2S-300-80-35-BW-4

CALCULATED LIGHTING LEVELS (FOOT CANDLES)

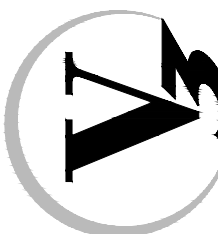
	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT	2.07	4.8	0.5	4.14	9.60



PHOTOMETRIC PLAN

NORTHWEST BANK GAHANNA

550 Polaris Parkway,
Suite 250
Westerville, OH 43082
614.761.1661 phone
www.v3co.com



DRAWING NO.

1

MATERIALS LIST (As applicable) – Gahanna Code Chapter 1107

[illegible]

Note: Item refers to building material, awning, lighting, roofing, trim, or other similar building item.



Site ID: NSB Gahanna

**191 Granville St
Gahanna, OH 43230**

05/13/2025

BRAND BOOK

2655 International Parkway
Virginia Beach, VA 23452
757.427.1900
Toll Free: 800.877.7868
www.AGI.net

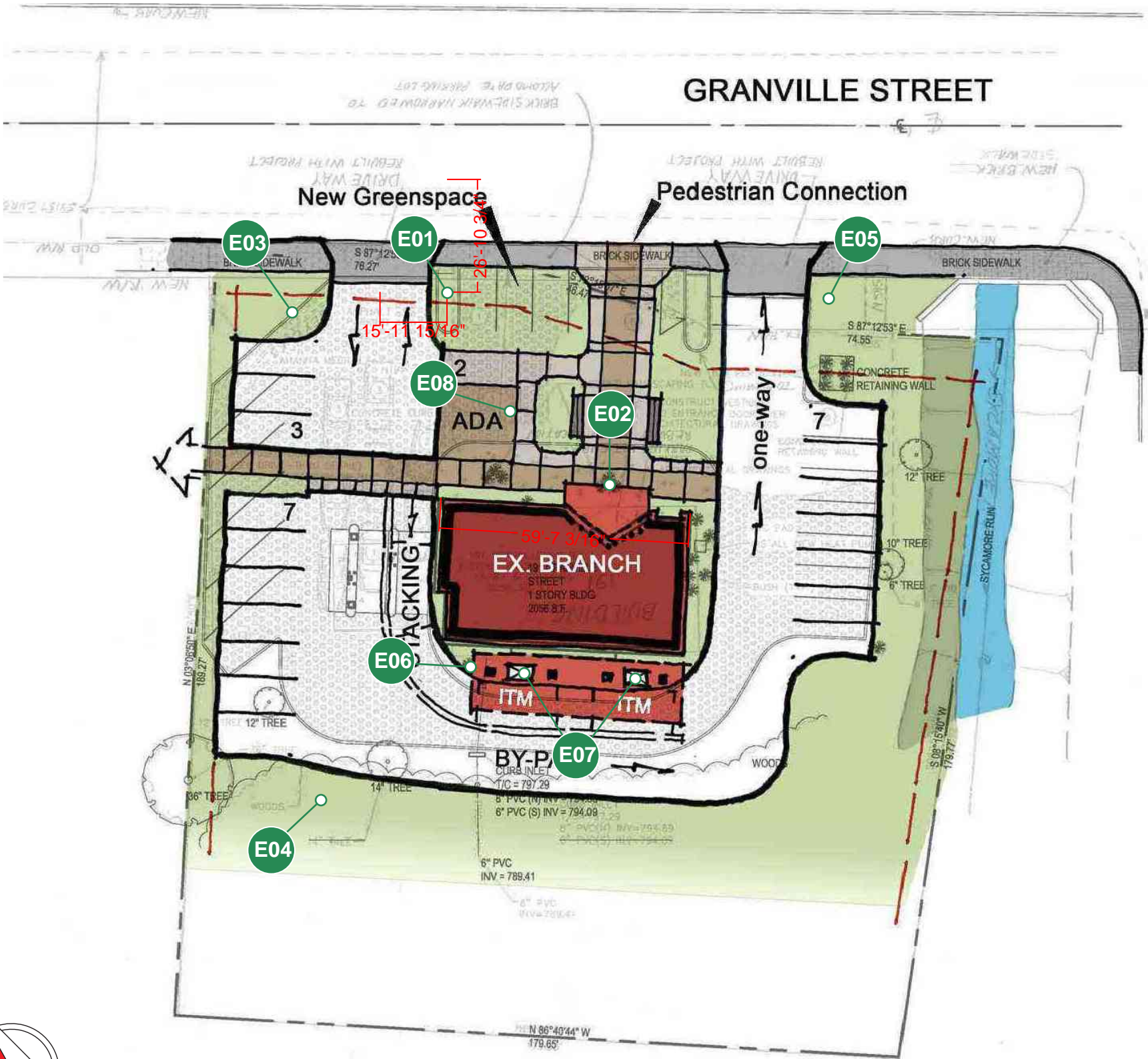


SITE MAP

Storefront Width: 59'-7 3/16"

EXTERIOR SIGN LIST

SIGN	Qty	SIGN CODE	DESCRIPTION
E01	1	NSB-VM-Cust	Monument
E02	1	NSB-CL-H-15-W	Channel Letters
E03	1	NSB-DIR-WOL-39	Directional
E04	1	NSB-DIR-WOL-39	Directional
E05	1	NSB-A9	Regulatory Sign
E06	1	NSB-DMB-7	Digital Message Board
E07	1	NSB-ATM-T	ATM Topper
E08	1	NSB-A25	Parking Sign



Site Plan



LOCATION
191 Granville St
Gahanna, OH 43230

DESIGNER RB **DATE:** 05/08/2025

PROJECT MANAGER
Madison Prince

CUSTOMER APPROVAL

Print Name _____	Title _____
Signature _____	Date _____

☐ **Approved**

☐ **Approved as Noted**

☐ **Not Approved**
Resubmit with Changes

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ELEVATIONS



FRONT ELEVATION



PROPOSED FRONT ELEVATION

	LOCATION 191 Granville St Gahanna, OH 43230	PROJECT MANAGER Madison Prince	CUSTOMER APPROVAL		<div><input type="checkbox"/> Approved</div> <div><input type="checkbox"/> Approved as Noted</div> <div><input type="checkbox"/> Not Approved Resubmit with Changes</div>	<p>This document is the sole property of AGI, and all design, manufacturing, reproduction, use and sale rights regarding the same are expressly forbidden. It is subject under a confidential relationship, for a special purpose, and the recipient, by accepting this document assumes custody and agrees that this document will not be copied or reproduced in whole or in part, nor its contents revealed in any manner or to any purpose for which it was tendered, nor any special features peculiar to this design to be incorporated in other projects.</p>		Page 3 of 16
	DESIGNER RB DATE: 05/08/2025	<div><div>Print Name _____</div><div>Signature _____</div></div> <div><div>Title _____</div><div>Date _____</div></div>						

ELEVATIONS



DRIVE-THRU ELEVATION



PROPOSED DRIVE-THRU ELEVATION

	LOCATION 191 Granville St Gahanna, OH 43230	PROJECT MANAGER Madison Prince	CUSTOMER APPROVAL	<div><input type="checkbox"/> Approved</div> <div><input type="checkbox"/> Approved as Noted</div> <div><input type="checkbox"/> Not Approved Resubmit with Changes</div>	<p>This document is the sole property of AGI, and all design, manufacturing, reproduction, use and sale rights regarding the same are expressly forbidden. It is subject under a confidential relationship, for a special purpose, and the recipient, by accepting this document assumes custody and agrees that this document will not be copied or reproduced in whole or in part, nor its contents revealed in any manner or to any purpose for which it was tendered, nor any special features peculiar to this design to be incorporated in other projects.</p>		Page 4 of 16
	DESIGNER RB DATE: 05/08/2025	<div><div>Print Name _____</div><div>Signature _____</div></div> <div><div>Title _____</div><div>Date _____</div></div>					

E01	NSB-CUSTOM
Monument	
<div>EXISTING</div> <div><div>Sign Type:</div><div>None Existing</div></div> <div><div>Location:</div></div> <div><div>Quantity:</div><div>Illumination:</div></div> <div><div>Dimensions</div><div>OAH:</div><div>OAW:</div><div>HOG:</div></div> <div><div>Comments:</div></div>	
<div>RECOMMENDED</div> <div><div>Action:</div><div>New</div></div> <div><div>Sign Type:</div><div>Monument</div></div> <div><div>Sign Code</div><div>NSB-Custom</div></div> <div><div>Quantity:</div><div>1</div></div> <div><div>Illumination:</div><div>Internal</div></div> <div><div>Dimensions</div><div>Height:</div><div>Width:</div><div>SQFT:</div></div> <div><div>5'</div><div>2'-7 3/4"</div><div>13.23</div></div> <div><div>Comments:</div><div>Side with lower brick to be street facing, side with higher brick to be branch facing</div><div>Code stimulates 5ft height maximum</div></div> <div>Technical Survey required prior to manufacturing</div>	



EXISTING SIDE A





EXISTING SIDE B



RECOMMENDED



	LOCATION 191 Granville St Gahanna, OH 43230	PROJECT MANAGER Madison Prince	CUSTOMER APPROVAL		<div><div><input type="checkbox"/> Approved</div><div><input type="checkbox"/> Approved as Noted</div><div><input type="checkbox"/> Not Approved Resubmit with Changes</div></div> <div>This document is the sole property of AGI, and all design, manufacturing, reproduction, use and sale rights regarding the same are expressly forbidden. It is subject under a confidential relationship, for a special purpose, and the recipient, by accepting this document assumes custody and agrees that this document will not be copied or reproduced in whole or in part, nor its contents revealed in any manner or to any purpose for which it was tendered, nor any special features peculiar to this design to be incorporated in other projects.</div>		Page 5 of 16
	DESIGNER RB DATE: 05/08/2025		<div><div>Print Name</div><div>Title</div></div> <div><div>Signature</div><div>Date</div></div>				

E02

NSB-CL-H-15-W

Channel Letterset

EXISTING

Sign Type:

None Existing

Location:

Quantity:

Illumination:

Dimensions

OAH:

OAW:

HOG:

Comments:

RECOMMENDED

Action:

New

Sign Type:

White Channel Letterset

Sign Code

NSB-CL-H-15-W

Quantity:

1

Illumination:

Internal

Dimensions

Height:

Width:

SQFT:

1'-3"

15'-3"

32.57

Comments:

OAH: 2'-1 5/8"

Technical Survey required prior to manufacturing

Northwest Bank

LOCATION

191 Granville St
Gahanna, OH 43230

DESIGNER

RB

DATE:

05/08/2025

PROJECT MANAGER

Madison Prince

CUSTOMER APPROVAL

Print Name

Signature

Title

Date

☐ Approved

☐ Approved as Noted

☐ Not Approved
Resubmit with Changes

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AGI

Page 6 of 16

E03		NSB-DIR-WOL-39	
Directional			
<div>EXISTING</div> <div><div>Sign Type:</div><div>None Existing</div></div> <div><div>Location:</div><div></div></div> <div><div>Quantity:</div><div></div></div> <div><div>Illumination:</div><div></div></div> <div><div>Dimensions</div><div><div>OAH:</div><div>OAW:</div><div>HOG:</div></div></div> <div><div>Comments:</div><div></div></div>			
			
EXISTING SIDE A		EXISTING SIDE B	
			
RECOMMENDED			
<div><div>Action:</div><div>New</div></div> <div><div>Sign Type:</div><div>Directional</div></div> <div><div>Sign Code</div><div>NSB-DIR-WOL-39</div></div> <div><div>Quantity:</div><div>1</div></div> <div><div>Illumination:</div><div>Non-Illuminated</div></div> <div><div>Dimensions</div><div><div>Height:</div><div>Width:</div><div>SQFT:</div><div>3'-3"</div><div>2'-6"</div><div>8.12</div></div></div> <div><div>Comments:</div><div>GC to bring new electrical to 5 ft within sign</div></div>			
			
Technical Survey required prior to manufacturing			
<div><div> Northwest Bank</div></div>	<div>LOCATION</div> <div></div> <div>DESIGNER</div> <div>DATE:</div>	<div>PROJECT MANAGER</div> <div></div>	<div>CUSTOMER APPROVAL</div> <div><div><input type="checkbox"/> Approved</div><div><input type="checkbox"/> Approved as Noted</div><div><input type="checkbox"/> Not Approved Resubmit with Changes</div></div> <div><div><div>Print Name</div><div>Title</div></div><div><div>Signature</div><div>Date</div></div></div>
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E04

NSB-DIR-WOL-39

Directional

EXISTING

Sign Type:

None Existing

Location:

Quantity:

Illumination:

Dimensions

OAH:

OAW:

HOG:

Comments:

RECOMMENDED

Action:

New

Sign Type:

Directional

Sign Code

NSB-DIR-WOL-39

Quantity:

1

Illumination:

Non-Illuminated

Dimensions

Height:

3'-3"

Width:

2'-6"

SQFT:

8.12

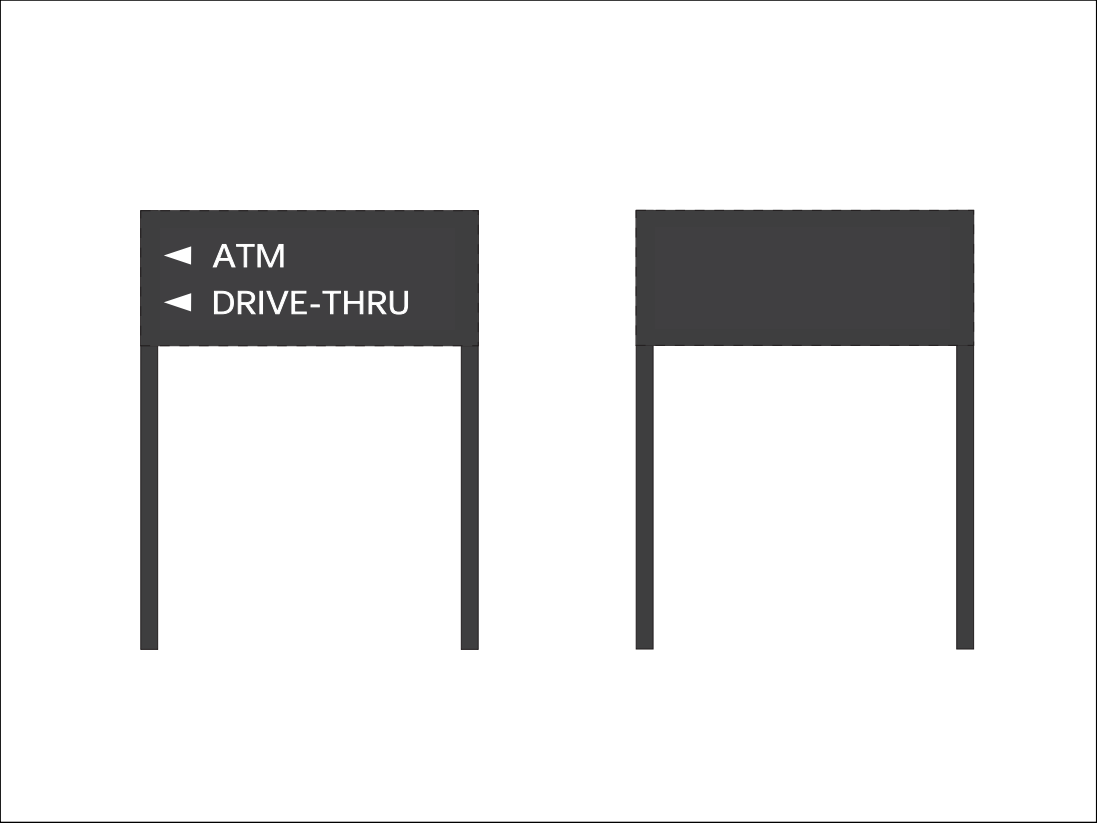
Comments:

GC to bring new electrical to 5 ft within sign

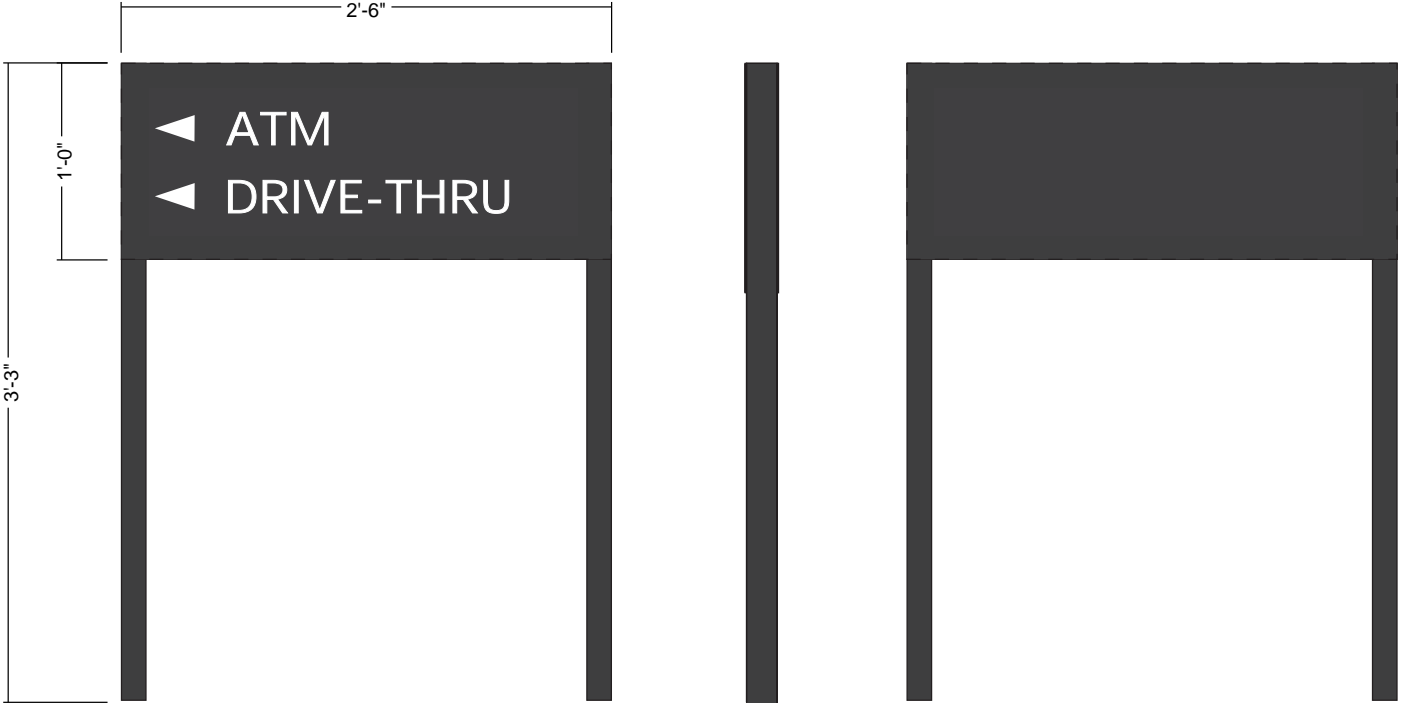
Technical Survey required prior to manufacturing




EXISTING



RECOMMENDED



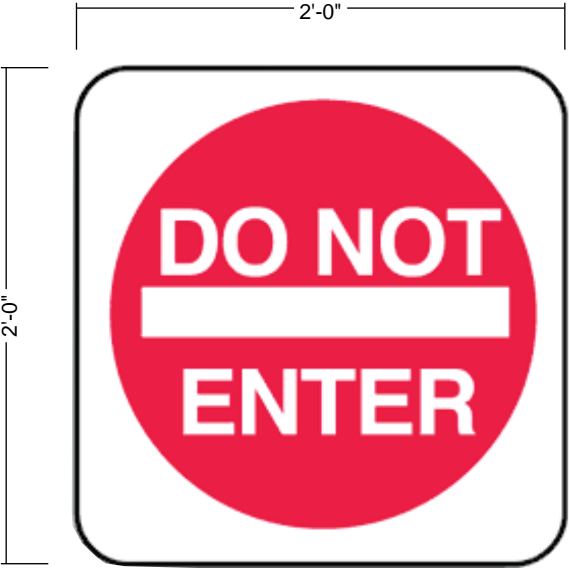
E05		NSB-A9	
Regulatory Sign			
EXISTING			
Sign Type:		None Existing	
Location:			
Quantity:			
Illumination:			
Dimensions			
OAH:			
OAW:			
HOG:			
Comments:			
RECOMMENDED			
Action:		Remove and Replace	
Sign Type:		Regulatory Sign	
Sign Code		NSB-A9	
Quantity:		1	
Illumination:		None	
Dimensions			
Height:		2'-0"	
Width:		2'-0"	
SQFT:		4	
Comments:			
Technical Survey required prior to manufacturing			
 Northwest Bank		LOCATION 191 Granville St Gahanna, OH 43230	
		DESIGNER RB DATE: 05/08/2025	



EXISTING



RECOMMENDED



CUSTOMER APPROVAL

Print Name _____	Title _____
Signature _____	Date _____

☐ **Approved**

☐ **Approved as Noted**

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E06

NSB-DMB-7

Digital Message Board

EXISTING

Sign Type:

None Existing

Location:

Quantity:

Illumination:

Dimensions

OAH:

OAW:

HOG:

Comments:

RECOMMENDED

Action:

New

Sign Type:

Digital Message Board

Sign Code

NSB-DMB-7

Quantity:

1

Illumination:

Internal

Dimensions

Height:

Width:

SQFT:

0'-7"

1'-6"

0.88

Comments:

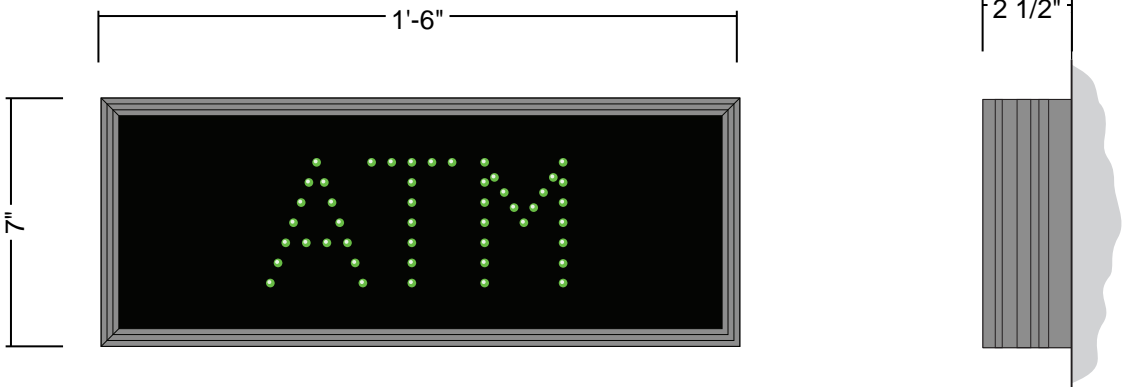
Technical Survey required prior to manufacturing



EXISTING



RECOMMENDED



E07

NSB-ATM-T

ATM Topper

EXISTING

Sign Type:

None Existing

Location:

Quantity:

Illumination:

Dimensions

OAH:

OAW:

HOG:

Comments:

RECOMMENDED

Action:

New

Sign Type:

ATM Topper

Sign Code

NSB-ATM-T

Quantity:

2

Illumination:

Internal

Dimensions

Height:

TBD

Width:

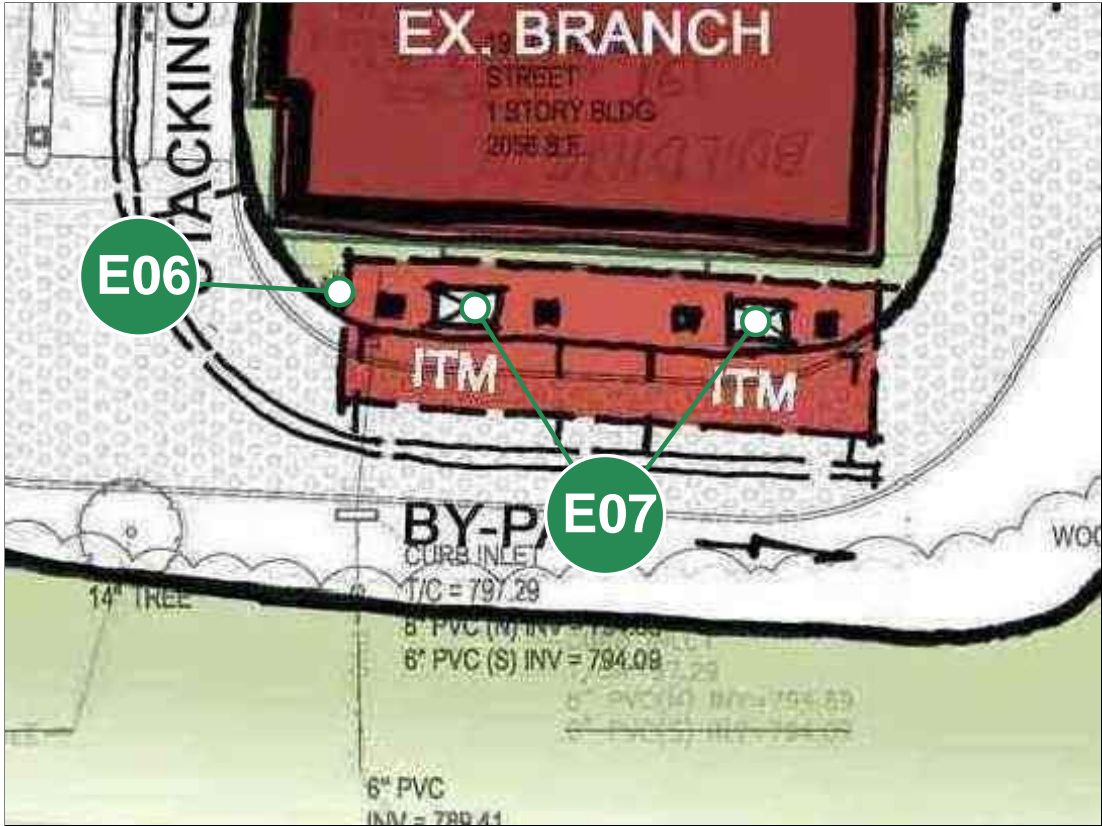
TBD

SQFT:

TBD

Comments:

Technical Survey required prior to manufacturing



EXISTING



RECOMMENDED



E08

NSB-A25

Parking Sign

EXISTING

Sign Type:

None Existing

Location:

Quantity:

Illumination:

Dimensions

OAH:

OAW:

HOG:

Comments:

RECOMMENDED

Action:

New

Sign Type:

Parking Sign

Sign Code

NSB-A25

Quantity:

1

Illumination:

None

Dimensions

Height:

1'-6"

Width:

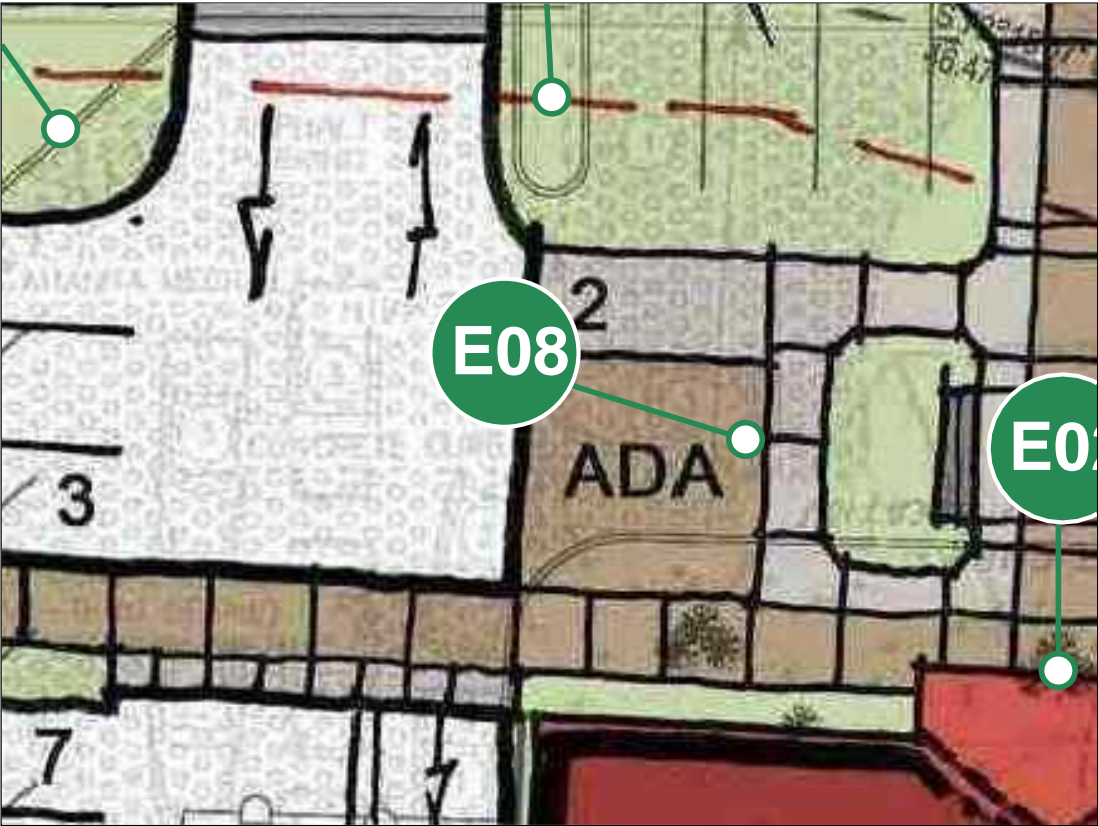
1'-0"

SQFT:

1.5

Comments:

Technical Survey required prior to manufacturing



EXISTING



RECOMMENDED



CODE CHECK

Sign Program – Pre-permit Checklist

INFORMATION

NAME	ID CODE	DATE
New Build Gahanna	NSB100-GAHANNA-001/283209	5/6/2025
STREET ADDRESS	CITY	STATE
191 Granville St.	Gahanna	OH
ZIP CODE	TELEPHONE NO.	FACSIMILE NO.
43230		
EMAIL ADDRESS	CONTACT PERSON	CELL PHONE NO.
NEW NAME, IF APPLICABLE		
NEW ADDRESS, IF RELOCATION	CITY	STATE
ZIP CODE		

WHAT IS THE ZONING FOR THIS SITE? Per Kelly, CMU Creekside Mixed Use

IS THERE ANY KIND OF BOARD REVIEW PROCESS FOR THIS SITE	Per Kelly, none.	IN PUD?	Per Kelly, none.
JURISDICTION	CITY City of Gahanna	COUNTY	N/A
TOWNSHIP	N/A		
ZONING CONTACT	Kelly Wicker		
PHONE	614-342-4025	FAX	N/A
BUILDING DEPARTMENT CONTACT	Ken Fultz		
PHONE	614-342-4010	FAX	N/A
EMAIL	Ken.Fultz@gahanna.gov		

PERMITS REQUIRED WITH: CITY X COUNTY MTO OTHER

WHAT CODE IS BEING USED: 2024 Ohio Building Code

SIGN CODE LINK: https://library.municode.com/oh/gahanna/codes/code_of_ordinances?nodeId=PTELEVENZOCO_CH1111S

GENERAL PERMIT INFORMATION

NO PERMITS REQUIRED FOR ANY SIGNS

DOCUMENTS REQUIRED TO APPLY FOR PERMITS:

X	SEALED ENGINEERING	X	OWNER/ OPERATOR SIGNATURE ON APPLICATION
X	SITE PLAN WITH LANDSCAPE DETAIL	X	LANDLORD AUTHORIZATION LETTER
X	SITE PLAN WITH MEASUREMENTS	X	UL NUMBERS
X	CERTIFIED SITE PLAN	X	PHOTOS
X	ELEVATION DRAWINGS WITH MEASUREMENTS	MBR	TAX BILL
X	WALL CONSTRUCTION DETAIL	MBR	D.O.T. AUTHORIZATION
	OTHER - SPECIFY:		

TYPES OF PERMITS TO BE APPLIED FOR AND LENGTHS OF TIME TO OBTAIN:

X	ELECTRICAL	X	BUILDING				ZONING
X	CITY						OTHER

AGGREGATE ALLOWANCES (IF APPLICABLE)

ALLOWABLE SIGNAGE AGGREGATE? TOTAL SITE ALLOWANCE: Allowances are separate.

SIGNAGE AGGREGATE IS BASED ON: N/A BUILDING FRONTAGE N/A STREET FRONTAGE

ARE THERE ILLUMINATION RESTRICTIONS FOR GROUND SIGNS, IF SO, WHAT ARE THEY? External and internal illumination is permitted. The following signs are prohibited in all Zoning Districts: Flashing signs. Signs with reflective materials.

ARE THERE ILLUMINATED RESTRICTIONS FOR WALL SIGNS, IF SO, WHAT ARE THEY? External and internal illumination is permitted. The following signs are prohibited in all Zoning Districts: Flashing signs. Signs with reflective materials.

IS A LICENSED ELECTRICIAN REQUIRED TO MAKE FINAL CONNECTION? X YES NO

PLEASE NOTE: S.T.R. MEANS SUBJECT TO REVIEW; NOT STIPULATED BY OFFICIAL, CODE OR WEBSITE

PLEASE NOTE: M.B.R. MEANS MAY BE REQUIRED; NOT STIPULATED BY OFFICIAL, CODE OR WEBSITE

Sign Program – Pre-permit Checklist

WALL SIGN INFORMATION

NO PERMIT REQUIRED

SQ. FOOTAGE ALLOWED BASED ON: X BLDG. FRONTAGE STREET FRONTAGE

WALL AREA (%)? 40 square feet.

ALLOWED PER WALL: 1 per public entrance. #ALLOWED PER STREET? 1 per public entrance. #ALLOWED TOTAL: 1 per public entrance.

MUST FACE STREET? Y/N MBR

MAX. SIZE ALLOWED PER SIGN? 40 square feet.

HOW IS SQ. FT. CALCULATED? See Notes TOTAL COPY See Notes BOX INDIVIDUAL LETTERS See Notes

COLOR OR ILLUMINATION RESTRICTIONS? External and internal illumination is permitted. The following signs are prohibited in all Zoning Districts: Flashing signs. Signs with reflective materials.

HT. RESTRICTION OF COPY? Cannot exceed roofline. HEIGHT ON WALL? Cannot exceed roofline.

LENGTH RESTRICTION? Cannot extend past ends of wall; STR.

WALL PROJECTIONS ALLOWED? Y/N Y

MAXIMUM PROJECTION? Wall sign means any building sign painted on, attached flush against, or extending not more than 12 inches from an exterior wall in a parallel manner.

IF A WALL SIGN IS REMOVED FROM THE BUILDING AND REINSTALLED ON THE SAME BUILDING, AFTER CONSTRUCTION HAS TAKEN PLACE, DOES THE SIGN(S) REQUIRE A NEW PERMIT? Y/N Y

IS A PERMIT REQUIRED IF THE SIGN HAS BEEN ALTERED PRIOR TO REINSTALLATION (A WIREWAY/RACEWAY ADDED TO THE SIGN)? Y/N Y

ARE DISCONNECT SWITCHES REQUIRED ON LETTERS? Y/N MBR

IF ONLY 1 SIGN IS ALLOWED (TOTAL OR ON FRONT ELEVATION), CAN TWO SIGNS BE PUSHED TOGETHER TO COUNT AS ONE SIGN? Y/N STR

ARE ENTRY LOGOS CONSIDERED IN THE OVERALL AGGREGATE TOTAL AND IS A PERMIT REQUIRED? Y/N N

DO NON-ILLUMINATED, PIN MOUNTED LETTERS AT ENTRANCE CONSIDERED IN TOTAL SITE AGGREGATE (# AND/OR SQ. FT.) EVEN IF THEY DO NOT REQUIRE A PERMIT? Y/N N

ARE NON-ILLUMINATED, PIN MOUNT LETTERS AT ENTRANCE CONSIDERED IN TOTAL SITE AGGREGATE (# AND/OR SQ. FT.) EVEN IF THEY DO NOT REQUIRE A PERMIT? Y/N N

DOES DOOR VINYL REQUIRE A PERMIT? Y/N Y

DO INTERIOR WINDOW SIGNS REQUIRE A PERMIT? Y/N Y

INCLUDE IN TOTAL SITE AGGREGATE (#&/OR SQ. FT.) Y/N N

DOES A NON-ILLUMINATED WALL SIGN REQUIRE A PERMIT ? Y/N Y

ARE NON-ILLUMINATED WALL SIGNS THAT DO NOT REQUIRE A PERMIT CONSIDERED IN THE TOTAL SITE # OR TOTAL SITE AGGREGATE? Y/N N/A

NOTES:

Window Sign Maximum Sign Area: 20% of window.

Determining Sign Area. The maximum permitted sign area shall apply to the entire area enclosing the extreme limits of writing, representation, emblem or figure. Sign area shall consider the entire face of a sign including the advertising surface and any framing, trim or molding, but not including the supporting structure. (1) Any frame, material, or color forming an integral part of the display or used to differentiate a sign from the background against which it is placed shall count toward the maximum permitted sign area. For example, if a wall sign is painted with background colors and/or graphics integral to the overall graphic scheme of a sign, the entire wall shall be considered a sign and its measurement computed as such. If a sign is painted on a wall, and the sign can be logically separated and measured separately from the background graphics, the background graphic scheme shall not be computed in the sign area. (2) Necessary supports or uprights on which a sign is placed are excluded from the computation of sign area. (3) The permitted actual size of a sign shall apply to each facing of a sign structure; however, where signs are double-faced, placed back-to-back, or in a "V-type" construction when the "V" is at a 45-degree angle or less, only one side of the sign shall be counted. Back-to-back signs must be enclosed within the same cabinet or affixed to the same pole and not separated by more than 18 inches to qualify under this section.

Aggregate Sign Area. The maximum aggregate sign area, the combined total area of all permitted signs, for a lot is determined by the lot area. (1) Maximum Aggregate Sign Area (sq. ft.) = 0.005a A. Where "a" is the lot area in square feet. For example, a one acre lot (43,560 square feet) multiplied by one-half of one percent (0.005) may have a total of 218 square feet of aggregate sign area. B. For maximum aggregate sign area calculations, fractions shall be rounded up to the nearest whole number. (2) In no case shall the permitted aggregate sign area of a lot be less than 100 square feet or greater than 400 square feet in area. (3) For multi-tenant properties, each tenant shall govern a percent of the aggregate sign area no greater than the percent of gross floor area that such tenant occupies. For example, if the gross floor area of a multi-tenant property is 100,000 square feet, and Tenant A occupies ten percent of the gross floor area, or 10,000 square feet, it shall govern no more than ten percent of the aggregate sign area for the property.

The City may designate a wall sign as a public art mural, which is exempt from these sign regulations. A public art mural is any mosaic, painting, graphic art, or combination thereof, which is professionally applied to a building generally for the purposes of decoration or artistic expression and which does not contain any brand name, product name, letters of the alphabet spelling or abbreviating the name of any product, company, profession, or business, or any logo, trademark, trade name, or other commercial message.

Sign Program – Pre-permit Checklist

GROUND SIGN INFORMATION: PYLONS AND MONUMENTS

NO PERMIT REQUIRED

GENERAL INFORMATION: X SEALED ENGINEERING REQUIRED FOR ENTIRE SIGN PERMIT REQUIRED FOR: X REFACE OF EXISTING SIGN X FOUNDATION



LOCATION
191 Granville St
Gahanna, OH 43230

DESIGNER RB DATE: 05/08/2025

PROJECT MANAGER
Madison Prince

CUSTOMER APPROVAL

Print Name Title

Signature Date

- ☐ Approved
- ☐ Approved as Noted
- ☐ Not Approved Resubmit with Changes

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CODE CHECK

FOR FOUNDATION ONLY
MAY BE REQUIRED BASED ON SCOPE OF WORK?

X

X
X
OTHER:

EXCAVATION
ELECTRICAL

TYPES OF INSPECTIONS REQUIRED:
FOUNDATION FOOTER BEFORE CONCRETE
FOUNDATION FOOTER AFTER CONCRETE
FIRE

X
X
X

ELECTRICAL
FINAL
OTHER

X
X

The following signs are prohibited in all Zoning Districts: Pole signs.

TOTAL # OF FREESTANDING (POLE) SIGNS ALLOWED PER SITE?
MAXIMUM SQ. FT. ALLOWED:
MAX OVERALL HEIGHT ALLOWED:

TOTAL # OF GROUND (MONUMENT) SIGNS PER SITE?
MAXIMUM SQ. FT. ALLOWED:
MAX OVERALL HEIGHT ALLOWED:

1 per street
frontage.
25 square feet
5 feet

MINIMUM CLEARANCE REQUIRED - HEIGHT TO BOTTOM OF SIGN:
SQ. FT. BASED ON BUILDING FRONTAGE OR STREET FRONTAGE:

SQ. FT. BASED ON BUILDING FRONTAGE OR STREET FRONTAGE:

Street frontage.

WHAT ARE THE RESTRICTIONS FOR PLACEMENT OF SIGNS?

ALLOWED ON FRONT OF PROPERTY? 1 per street frontage.

SPACING/DISTANCE RESTRICTIONS? No freestanding sign may be within ten feet of any other freestanding sign.

ALLOWED PER STREET FRONTAGE? 1 per street frontage.

SIGN HEIGHT INCREASES IN SIZE WITH INCREASE IN SETBACK? No.

DESIGN WIND LOAD
ARE DISCONNECT SWITCHES REQUIRE FOR GROUND SIGNS? Y/N

PSF See ->
MPH See ->

MBR

CAN A SIGN BE INSTALLED ON A ROOF? Y/N N

MINIMUM SETBACK REQUIREMENTS:

FROM THE FRONT PROPERTY LINE / RIGHT OF WAY TO FRONT EDGE OF THE SIGN:
FROM THE SIDE PROPERTY LINE TO THE FRONT EDGE OF THE SIGN:
FROM THE BACK EDGE OF THE SIDEWALK TO THE FRONT EDGE OF THE SIGN:
FROM POWER TRANSMISSION LINE, UTILITY POLE, TO THE FRONT EDGE OF THE SIGN:

5 feet
5 feet
5 feet
STR

SITE TRIANGLE RESTRICTIONS?: The following signs are prohibited in all Zoning Districts: Signs within the sight triangle of an intersection.

CAN THE SIGN OVERHANG ON PUBLIC PROPERTY? Y/N
MAXIMUM PROJECTION FROM THE BUILDING?

N
12

N/A
INCHES

FT

HOW IS SIGN AREA MEASURED?
DOES THE LEG AREA COUNT? Y/N
DO BOTH FACES COUNT? Y/N

N
See Notes

NOTES:

Where signs are double-faced, placed back-to-back, or in a "V-type" construction when the "V" is at a 45-degree angle or less, only one side of the sign shall be counted. Back-to-back signs must be enclosed within the same cabinet or affixed to the same pole and not separated by more than 18 inches to qualify under this section.

Freestanding signs shall be set on grade, placed on a low masonry base, or located on matching posts. If located on matching posts, the height of the bottom of the sign shall be three feet or less measured from grade. Masonry bases shall use materials that are compatible with the building(s) on the lot and the overall streetscape.

A landscaped area, required as follows, shall be provided, and centered around the base of all freestanding signs.
A. The landscaped area shall be comprised of a variety of natural materials, such as shrubs, hedges, herbs, trees, earth mounds, flowers, groundcover, and other plants. Plant material should be chosen to maintain 12 months of foliage;
B. The landscaped area must be at least 50 square feet in total area; and,
C. Ground cover shall be limited to 50 percent of the total landscaped area.

Sign Program – Pre-permit Checklist

FLAG POLES

PERMIT REQUIRED? YES NO

Flag Poles are not addressed by code; STR.

WHAT ARE THE RESTRICTIONS FOR PLACEMENT OF FLAGPOLES?
MAX. # OF FLAG POLES ALLOWED PER SITE?
MAXIMUM OAH?
MINIMUM SETBACK?

DIRECTIONAL - TRAFFIC CONTROL SIGNS

X

NO PERMIT REQUIRED

NO PERMIT REQUIRED IF SIGN IS "X" HEIGHT AND "WIDTH" FOOTAGE?
ARE DIRECTIONAL SIGNS ALLOWED? Y/N Y

NO PERMIT REQUIRED IF SIGN IS BELOW A CERTAIN SQ. FOOTAGE?
IS THE BASE PLATE REQUIRED FOR DIRECTIONAL SIGNS? Y/N MBR

See above.

Determined at site plan review.

MAXIMUM # OF DIRECTIONALS PER SITE?

2 square feet

MAXIMUM HEIGHT ALLOWED? 3 feet
ARE LOGOS ALLOWED? Y/N STR

A directional sign must be located within ten feet of the street right-of-way and within ten feet of a curb cut or vehicular accessway to a property.

PERMITTING INFORMATION

ZONING DEPARTMENT FEES: Sign Permit: \$100 and up.

BUILDING DEPARTMENT FEES:
AVERAGE LENGTH OF TIME TO OBTAIN PERMITS: Per Kelly, 10 to 14 business days.

https://www.gahanna.gov/DocumentCenter/View/594/Building-and-Zoning-Fee-Schedule-PDF?bidid=

SUBMITTAL REQUIREMENTS:

APPLICATION PER SIGN? Y/N Y
BUILDING ELEVATIONS REQUIRED? Y/N Y
COLOR RENDERINGS W/ DIMENSION REQUIRED? Y/N Y
SITE PLAN REQUIRED? Y/N Y
DOES THE SITE PLAN HAVE TO SHOW EASEMENTS? Y/N Y
PROPERTY OWNER SIGNATURE ON APP? Y/N Y
LEGAL DESCRIPTION ? Y/N Y
IS LANDLORD LETTER ACCEPTABLE ? Y/N Y
SUB HAS TO SECURE IN PERSON? Y/N online

APPLICATION PER SITE? Y/N Y
OF COPIES? online
OF COPIES? online
OF COPIES? online
NOTARIZED SIGNATURE REQ? Y/N MBR
APPLIED FOR BY MAIL? Y/N online
MAIL ZONING? BLDG IN PERSON? Y/N online
FAX? N
FAX# N/A
FAX TO: N/A

NOTES:

Sign Program – Pre-permit Checklist

VARIANCE INFORMATION

IS A VARIANCE FOR SIGNAGE ALLOWED? Y/N Y

DOCUMENTS NEEDED TO APPLY FOR VARIANCE:

SEALED ENGINEERING
PLOT PLAN / LEGAL DESCRIPTION
SITE PLAN W/ MEASUREMENTS
ELEVATION DRAWINGS W/MEASUREMENTS
STRESS ANALYSIS REPORT

X
X
X
X
MBR

OPERATOR/OWNER SIGNATURE ON APPLICATION
LANDLORD AUTHORIZATION
UL NUMBERS
PHOTOS
OTHER See application link below

Yes, in the City of Gahanna, a sign permit generally needs to be denied before you can apply

DO WE HAVE TO APPLY FOR PERMITS & GET DENIED 1ST? for a variance.
HOW OFTEN DOES THE ZONING BOARD OF APPEALS MEET? All meetings held as needed.
WHAT IS THE AVERAGE COST FOR A VARIANCE? \$500 and up.

IN YOUR OPINION WOULD A VARIANCE BE GRANTED
? Depends on scope of work.
NEXT THREE DEADLINES? Approximately 30 to 45 days prior to scheduled meeting.
NEXT THREE MEETING DATES? All meetings held as needed.

CHANCES OF APPROVAL ? 20%

Northwest Bank

LOCATION

191 Granville St
Gahanna, OH 43230

DESIGNER RB

DATE: 05/08/2025

PROJECT MANAGER

Madison Prince

CUSTOMER APPROVAL

Print Name
Signature

Title
Date

Approved

Approved as Noted

Not Approved
Resubmit with Changes

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CODE CHECK

Meetings for the Board of Zoning & Building Appeals are held in the Council Chambers at City Hall, located at 200 S. Hamilton Rd, Gahanna, OH 43230. Specific dates and times vary.

TIME AND PLACE OF MEETING

DOES THE SIGN REP HAVE TO BE PRESENT FOR THE MEETING?

Y/N

Y

LAWYER?

N

SIGN REP?

Y

CUSTOMER?

Y

IS THERE AN APPLICATION? Y/N

Y

FAXING APPLICATION? Y/N

N

LINK TO CODE	https://library.municode.com/oh/gahanna/codes/code_of_ordinances?nodeId=PTELEVENZOCO_CH1111SIST_1111.01PU
LINK TO PERMIT APPLICATION	https://gahannaoh.portal.opengov.com/categories/1086/record-types/6561
PERMIT INSTRUCTIONS	https://gahannaoh.portal.opengov.com/categories/1086/record-types/6561
LINK TO VARIANCE APPLICATION	https://gahannaoh.portal.opengov.com/categories/1089/record-types/6488
LINK TO VARIANCE INSTRUCTIONS	https://gahannaoh.portal.opengov.com/categories/1089/record-types/6488

This code check is provided with the assumption that you will get the landlord / property owner approval. The information herein is limited to what the city has told us, and we cannot be responsible if they do not inform us that a sign plan is in place. We strongly encourage you to check your lease for landlord criteria and to apply for permits before manufacturing a sign. Sign criteria is reported as presented to us as of the "Completion Date". ETD is not responsible for changes in local sign code after the completion date, nor for the review process interpretations, calculations or fees of local authorities. It is understood that a permit will be obtained prior to manufacture, if required by authorities. The recipient of this code check understands and agrees to the following: This code check is not exclusive and should not be used in place of the definitions, prohibitions and exemptions of the ordinance. This code check is good for the day on which it is completed only. Information contained herein is a guideline and should not in any way be taken as a permit approval. Signs should not be produced until the permit has been issued. Zoning approval is often subject to interpretation that said official makes of the ordinance for their city/county/township; we cannot be held responsible for verbal answers and interpretation. This code check is completed without the knowledge of specific project details and Expedite The Diehl LLC does not assume any liability, we simply provide the code information based on the current code. 2024

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We look forward to
working with you!

2655 International Parkway
Virginia Beach, VA 23452
757.427.1900
Toll Free: 800.877.7868
www.AGI.net





May 19, 2025

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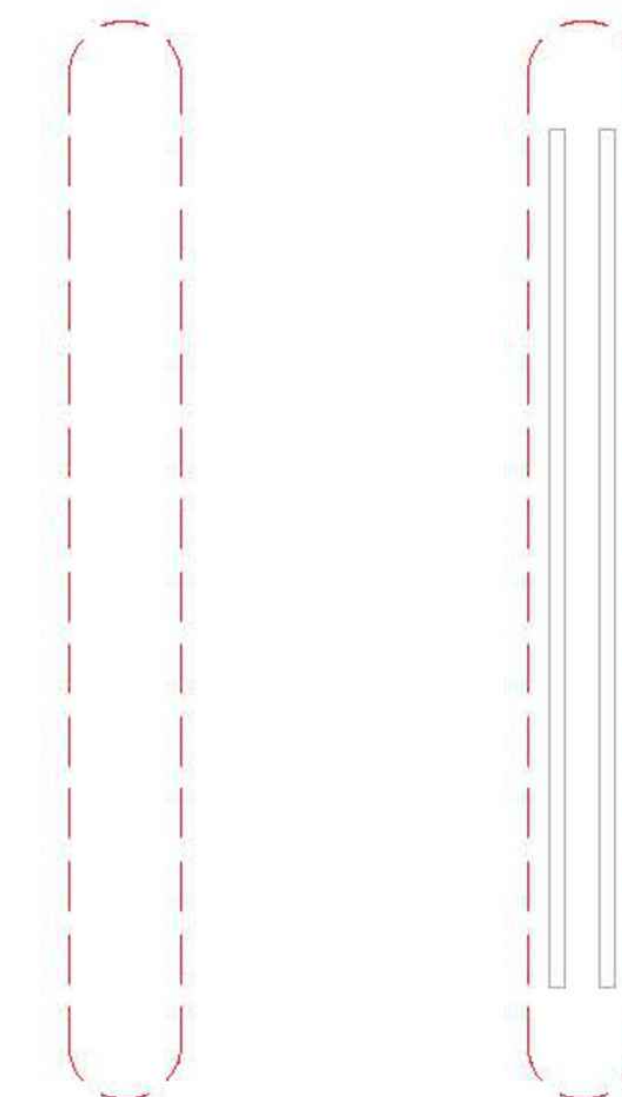
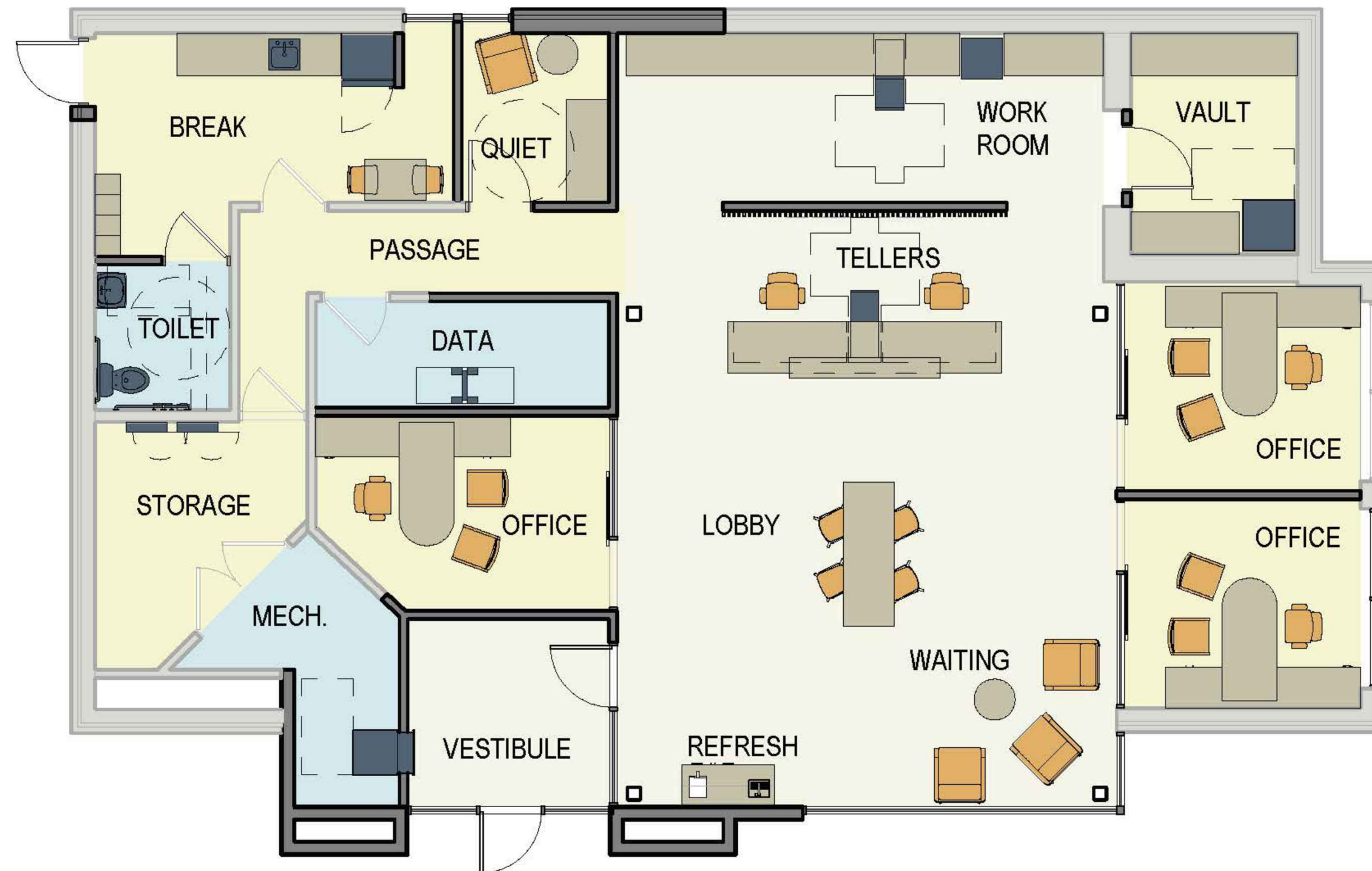
Northwest Bank
Gahanna, OH
Project #24092

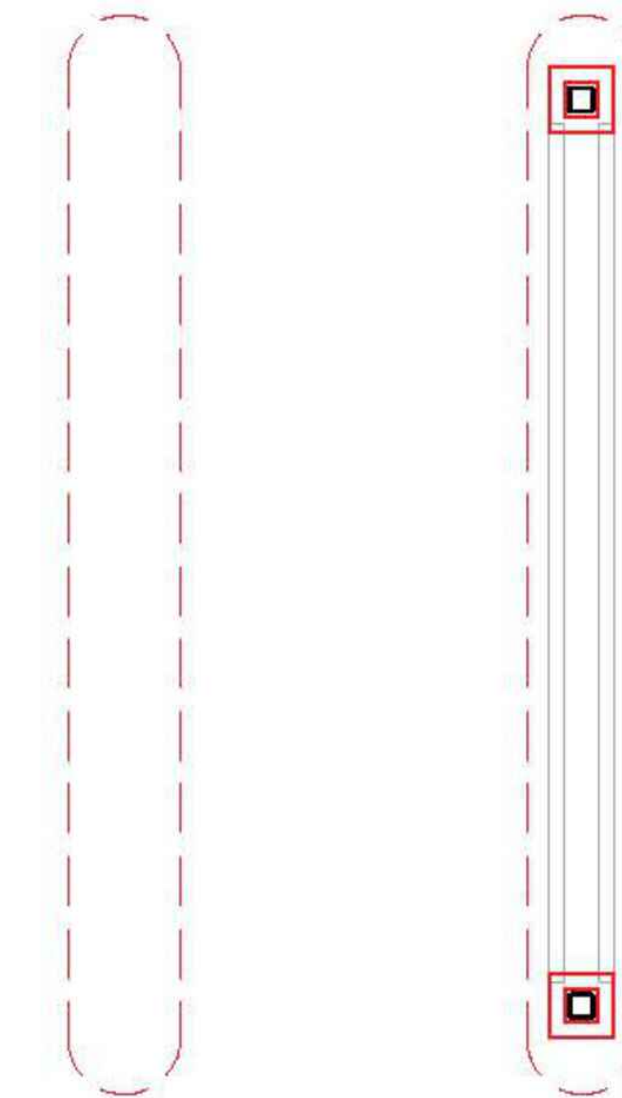
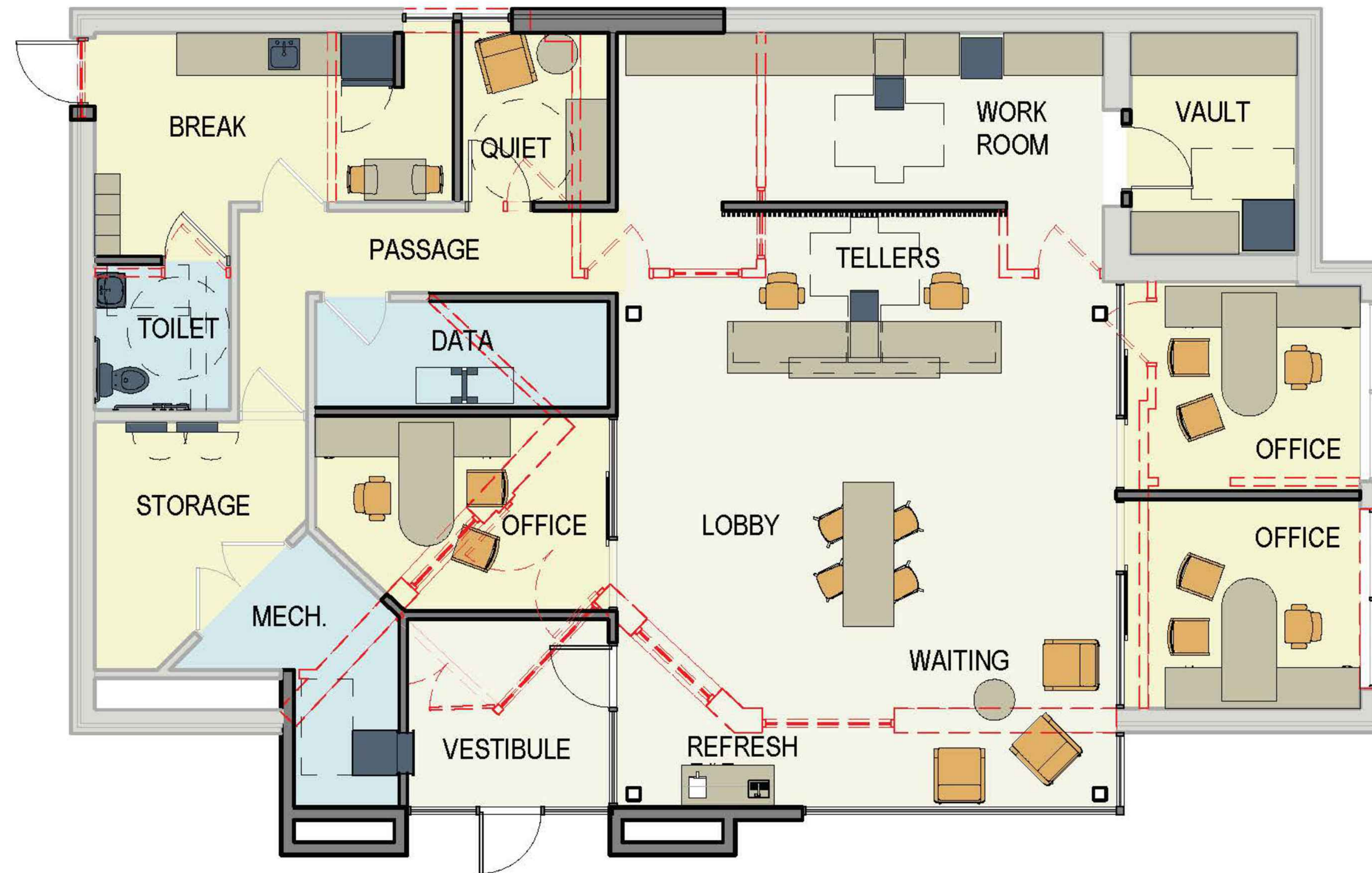
ARCHITECTURE • INTERIOR DESIGN • LANDSCAPE ARCHITECTURE • SPACE PLANNING

Existing Conditions



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Exterior Concept



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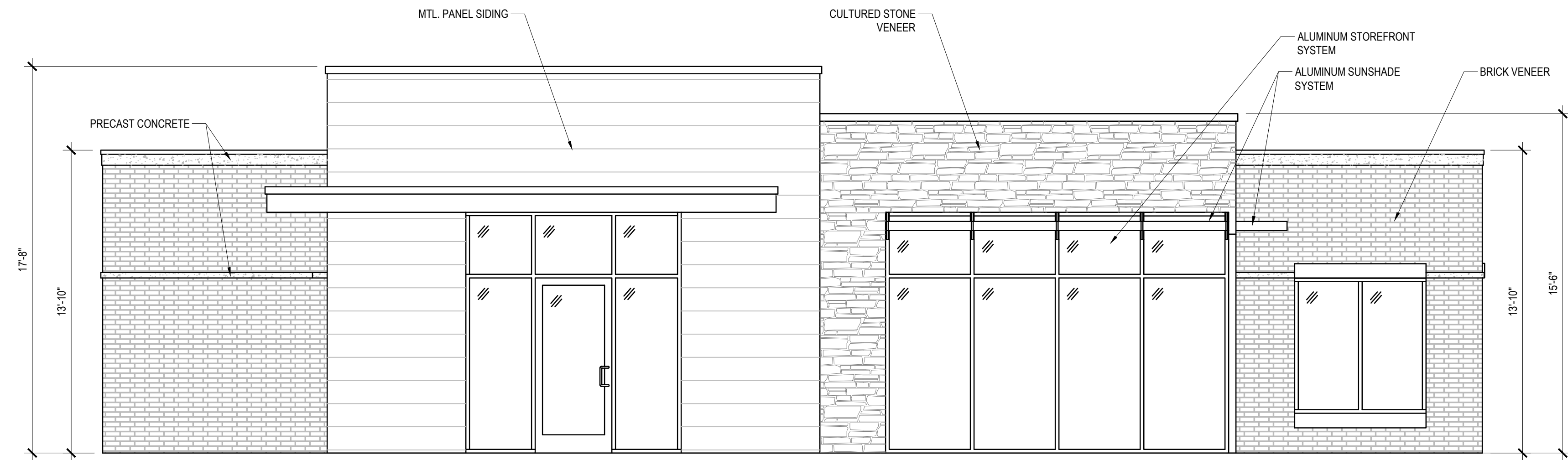
Exterior Concept



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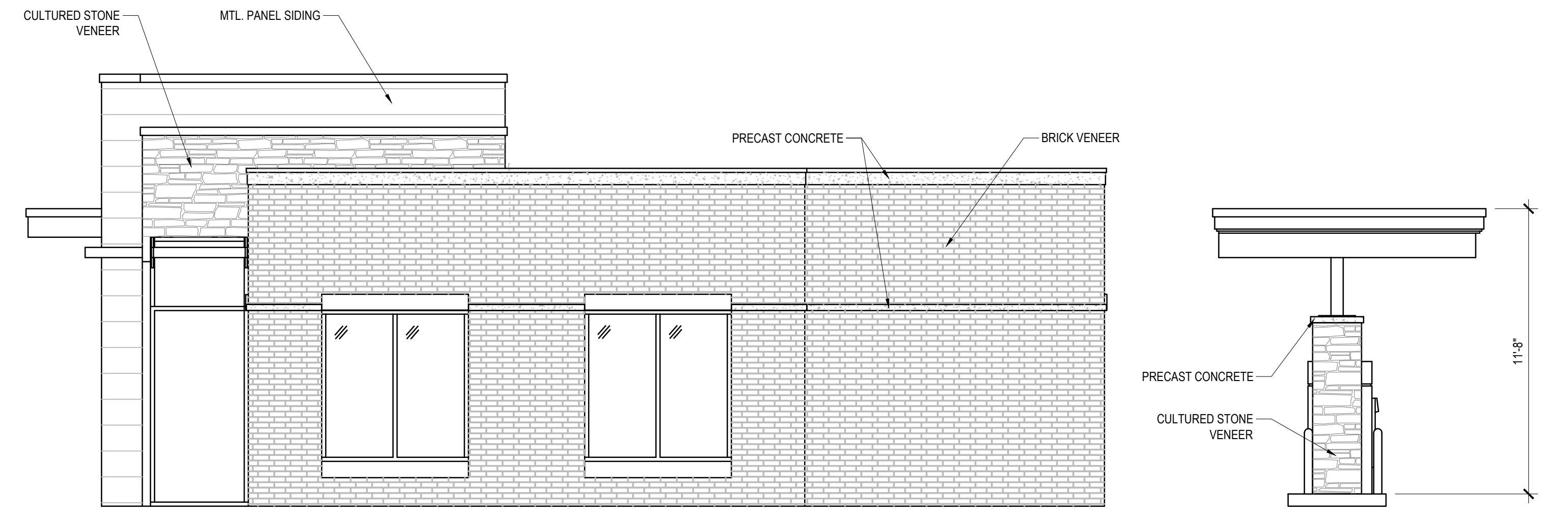


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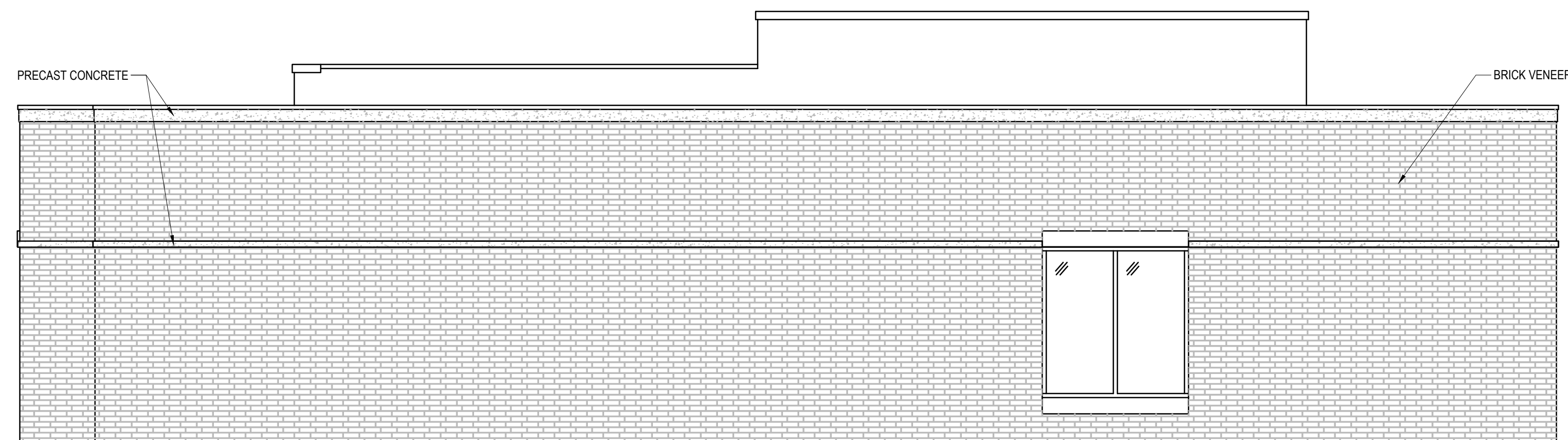
1 NORTH BUILDING ELEVATION
1/4" = 1'-0"

TOTAL WINDOW AREA: 317 SF



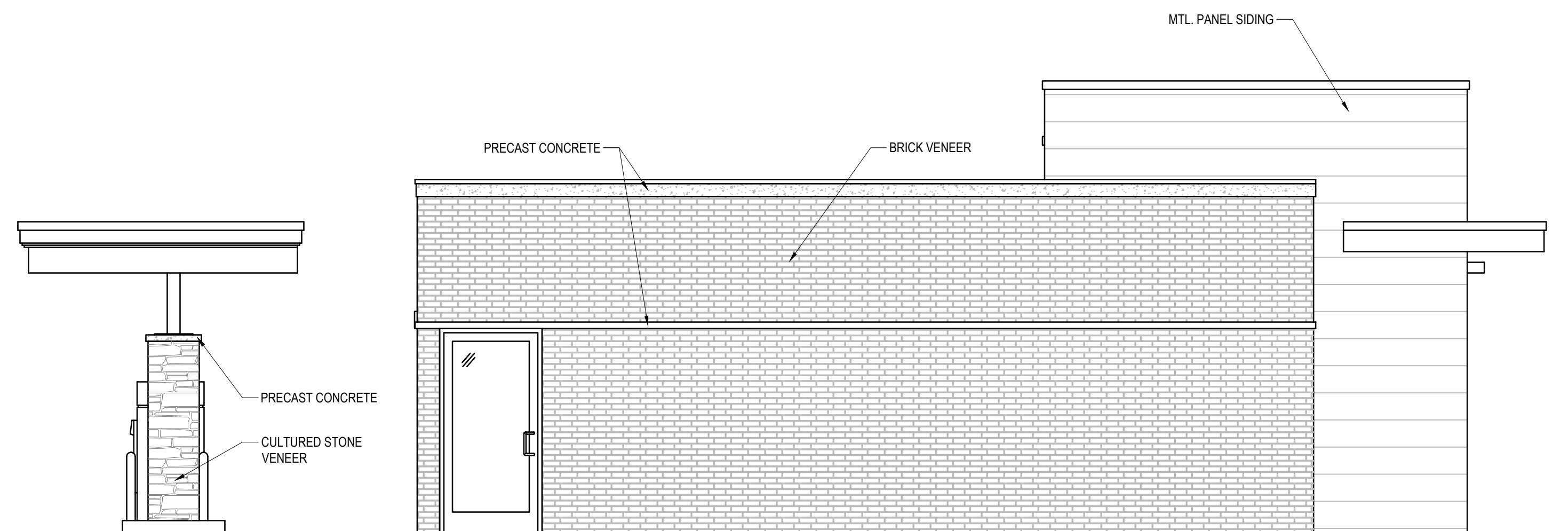
2 WEST BUILDING ELEVATION
1/4" = 1'-0"

TOTAL WINDOW AREA: 118 SF



3 SOUTH BUILDING ELEVATION
1/4" = 1'-0"

TOTAL WINDOW AREA: 37 SF



4 EAST BUILDING ELEVATION
1/4" = 1'-0"

TOTAL WINDOW AREA: 32 SF

PLANNING COMMISSION STAFF REPORT

Project Summary – Northwest Bank

Meeting Date: August 27, 2025

Location: 191 Granville Street

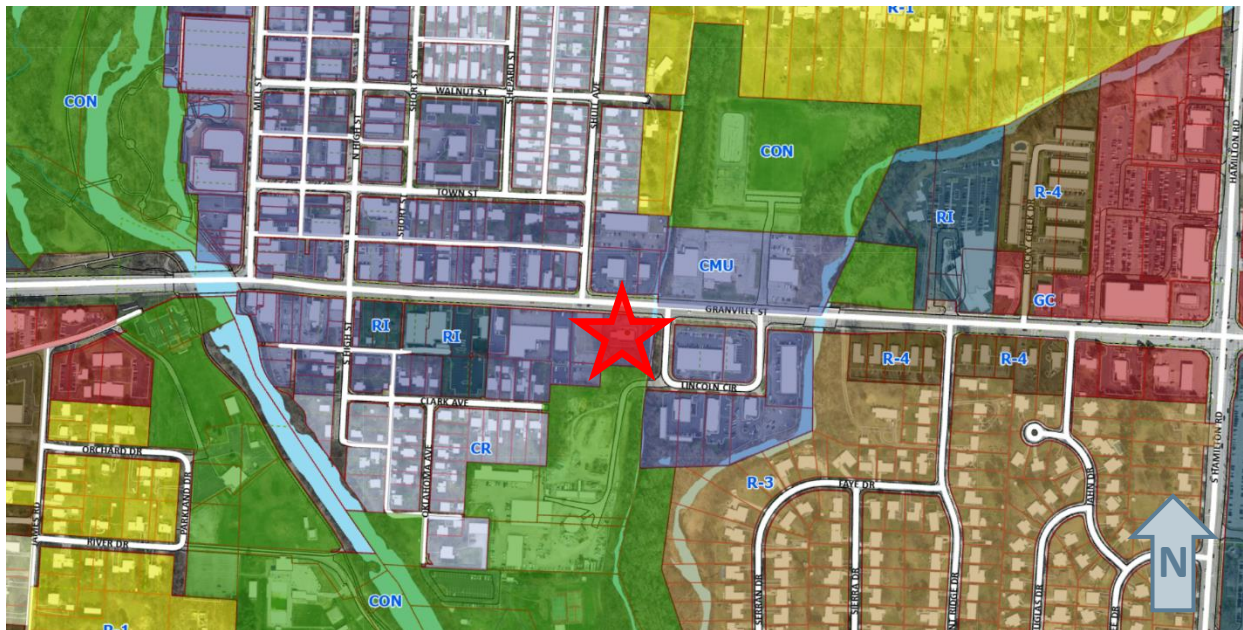
Zoning: Creekside Mixed Use (CMU)

Application Type(s): Development Plan (DP), Variance (V)

Staff Representative: Maddie Capka, Planner II

Recommendation: Staff recommends approval of both applications.

Location Map:



Staff Review

History

The site was zoned Olde Gahanna Mixed Use Neighborhood District (OG-2) under the former zoning code. At that time, the zoning code did not explicitly call out drive thrus as an accessory use, and therefore they were permitted at the site and considered incidental to the primary bank use.

Now, under the current zoning code, drive thrus are considered an accessory use, and are not permitted in the Creekside Mixed Use District (CMU). Since the applicant is significantly redeveloping the site and moving the existing drive thru, a use variance is required to continue to permit a drive thru on the site.

Overview

The applicant is requesting approval of Major Development Plan and Variance applications to renovate the former PNC Bank building on Granville Street. The existing building has been vacant for five years.

The renovations include new exterior materials and building design, moving the drive thru area to the rear, shifting the parking further from the right-of-way (ROW), installing new landscaping, and adding sidewalks that provide access to the building from the sidewalk along the street.

The building is currently brick with a blue metal roof. The drive thru area is attached to the west side of the building and is very visible from the ROW. The parking area is primarily to the front of the building and is setback 0 ft from the edge of the ROW.

Building Design

The new materials for the building include stone veneer, metal siding, pre-cast concrete, and brick veneer. On the primary façade, there are aluminum accent materials as well. Metal panels are a permitted material when they make up less than 20% per elevation. All the other listed materials are permitted without any restrictions.

The design guidelines for the Creekside area state that main building entrances should be emphasized and visible to pedestrians and customers. The redesigned front façade has a distinct entrance that is highlighted by a canopy.

The design guidelines also state that the primary façade of the building must be at least 40% transparent glass. The window area on the primary façade is being increased to bring the total to 32%. The applicant states that they are unable to meet the 40% requirement due to constraints of renovating an existing building.

The applicant also proposes removing the existing drive thru area and moving it to the rear of the building so that it is no longer visible from the ROW. This is to reduce the visual impact of the drive thru area since it is no longer a permitted use for this site.

Parking

As mentioned, the existing parking lot extends to the edge of the ROW and does not meet current code requirements. It has 17 total parking spaces. The applicant is reworking the current layout to move the

parking further from the ROW and install landscaping to help screen the parking area from the ROW. There will be 16 parking spaces, which exceeds the 7 spaces required by code.

The current zoning code states that parking cannot extend past the front exterior wall. While the new parking lot will be further from the ROW than the current parking, there will still be 6 spaces past the front of the building. The applicant states that these spaces are necessary to meet the bank's needs, and they will be screened from the ROW by landscaping.

The parking area is also only 5 ft from the west property line, and the zoning code requires a parking setback of 10 ft from the side property lines. The existing parking lot has a 0 ft setback from the west property line, so the new parking lot more closely aligns with code requirements.

Landscaping

The parking area will be screened from the ROW and adjacent property by 3 ft high shrubs. The landscape plan also shows four new trees and assorted shrubbery and ground cover in the parking area and to the front of the building. All landscaping requirements are met.

Review Criteria

Major Development Plan (MDP)

Planning Commission shall approve an application for a Major Development Plan if the following four conditions are met:

- 1) The proposed development meets the applicable development standards of this Zoning Ordinance.
- 2) The proposed development is in accord with appropriate plans for the area.
- 3) The proposed development would not have undesirable effects on the surrounding area.
- 4) The proposed development would be in keeping with the existing land use character and physical development potential of the area.

Variance (V)

The following variances have been requested:

1. 1105.01(b) – Comprehensive Use Table
 - a. Drive thrus are not a permitted accessory use in CMU.
 - b. The site is zoned CMU and the applicant proposes removing the existing drive thru and installing a new one behind the main building.
2. 1107.02(c)(4) – Creekside Mixed-Use Design Standards
 - a. The ground floor of the primary façade must be at least 40% transparent glass.
 - b. The primary façade is 32% transparent glass.
3. 1109.01(a)(1) – Parking, Access, and Circulation
 - a. Parking cannot extend past the front façade of the primary building.
 - b. There are 6 parking spaces to the front of the primary building.
4. 1109.01(a)(4) – Parking, Access, and Circulation
 - a. Parking areas must be at least 10 ft from the side and rear property lines.

- b. The parking area is only 5 ft from the west property line.

Before granting a variance, Planning Commission shall find that:

- a) The variance is not likely to result in substantial change to the essential character of the neighborhood;
- b) The variance is not likely to result in damage to adjoining properties;
- c) The variance is not likely to affect the delivery of governmental services (e.g., water, sewer, garbage);
- d) The variance is not likely to result in environmental impacts greater than what is typical for other lots in the neighborhood;
- e) The variance is necessary for the economical use of the property, and such economical use of the property is not easily achieved through some method other than a variance;
- f) The variance is not likely to undermine the objectives of the land use plan;
- g) Whether the variance is substantial and is the minimum necessary to make possible the reasonable use of land or structures; and,
- h) The practical difficulty could be eliminated by some other method, even if the solution is less convenient or more costly to achieve.

Recommendation

Staff recommends approval of both the Major Development Plan and all four variance requests. The site has been vacant for five years and the redevelopment aligns the site more closely with current zoning code regulations.

The drive thru is being moved to the rear of the building instead of the side, so it will no longer be visible from the ROW. There is mature foliage to the east and south of the drive thru and a landscaping screen to the west. The total window area on the building will be higher than it is now, and a deviation of 8% is minor. The required percentage of transparent glass is much higher in the CMU district than the rest of the City, where only 25% is required.

The parking area will more closely align with code requirements after the redesign. The parking lot is currently set back 0 ft from Granville St and 0 ft from the west property line. The proposed parking lot will be 10 ft from Granville St and 5 ft from the west property line. The applicant states that the bank needs the 6 parking spots to the front of the building to meet their parking needs.