



ZONING DIVISION
 200 S. Hamilton Road
 Gahanna, Ohio 43230
 614-342-4025
 zoning@gahanna.gov
 www.gahanna.gov

VARIANCE APPLICATION

PROPERTY INFORMATION			
Project/Property Address: 1379-1391 Johnstown Rd.		Project Name/Business Name: Roger's Market Limited	
Parcel #: 025-009559-00	Zoning: (see Map) NC	Acreage:	2.967

VARIANCE SPECIFICATIONS
Description of Variance Request: Requesting variances to allow parking spaces that are 9ft in width, a front yard and parking setbacks as shown on the site plan and a variance so that 10' wide landscape islands are not required. Please see attached.
STAFF USE ONLY: (Code Section): Chapter 1163.01(a) - Parking space size; Chapter 1163.08(h) - Interior landscaping; Chapter 1167.15(b) - Parking setback

APPLICANT INFORMATION	
Applicant Name (Primary Contact): Roger's Market Ltd c/o Eric Leibowitz	Applicant Address: 250 S Civic Center Dr. Columbus, OH 43215
Applicant E-mail: Eleibowitz@castoinfo.com	Applicant Phone: (614)744-2027
Business Name (if applicable): CASTO	

ADDITIONAL CONTACTS	
Please list all applicable contacts for correspondence	
Name(s)	Contact Information (phone/email)
Matt Whitney	(614)744-2054 mwhitney@castoinfo.com
Property Owner Name: (if different from Applicant)	Property Owner Contact Information (phone no./email): (same as applicant)

ADDITIONAL INFORMATION ON NEXT PAGE....

INTERNAL
USE

Zoning File No. V-0044-2023

RECEIVED: KAW
DATE: 2-13-23

PAID: 500.00
DATE: 2-13-23

Updated
Apr 2022

VARIANCE APPLICATION - SUBMISSION REQUIREMENTS

TO BE COMPLETED/SUBMITTED BY THE APPLICANT:
1. Review Gahanna Code Chapter 1131 (visit www.municode.com) (<i>Sign Variances, refer to Chapter 1165.12; Fence Variances, 1171.05; Flood Plain Variances, 1191.18</i>)
2. Survey of property certified by a registered surveyor (<i>11"x17" copy</i>) if Applicable - Site Plan, drawings, or survey that depicts where the Variance is requested.
3. Renderings, drawings, and/or pictures of the proposed project
4. A statement of the reason(s) for the variance request that address the following three conditions: (<i>not applicable for Sign, Fence, or Flood Plain Variances; see code referenced in #1 above for applicable criteria</i>) - Special circumstances or conditions - Necessary for preservation and enjoyment of property rights - Will not adversely affect the health or safety
5. List of contiguous property owners & their mailing address
6. One set of pre-printed mailing labels for all contiguous property owners
7. Application fee (<i>in accordance with the Building & Zoning Fee Schedule</i>)
8. Application & all supporting documents submitted in digital format
9. Application & all supporting documents submitted in hardcopy format
10. Authorization Consent Form Complete & Notarized (<i>see page 3</i>)

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature:  Date: 2/9/23

PLEASE NOTE:

- The Public Hearing will not occur until the City of Gahanna reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.
- The application expires if no action is taken 6 months from the date of the last staff comment letter.

AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

PROPERTY OWNER

IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

_____ (property owner name printed)

_____ (property owner signature) _____ (date)

Subscribed and sworn to before me on this _____ day of _____, 20_____.

State of _____ County of _____

Stamp or Seal

Notary Public Signature: _____

Applicant/Property Owner/Representative

AGREEMENT TO COMPLY AS APPROVED As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

AUTHORIZATION TO VISIT THE PROPERTY I hereby authorize City representatives to visit, photograph and post notice *(if applicable)* on the subject property as described.

APPLICATION SUBMISSION CERTIFICATION I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

Katherine A Casto
_____ (applicant/representative/property owner name printed)

[Signature] _____ (applicant/representative/property owner signature) 2/9/23 _____ (date)

Subscribed and sworn to before me on this 9th day of February, 2023.

State of Ohio County of Franklin

Notary Public Signature: [Signature]



Contiguous Property Owner Information

Parcel No: 025-011226-00

Owner: NEW ALBANY CO LLC

Mailing Address: PO BOX 490, NEW ALBANY, OH 43054

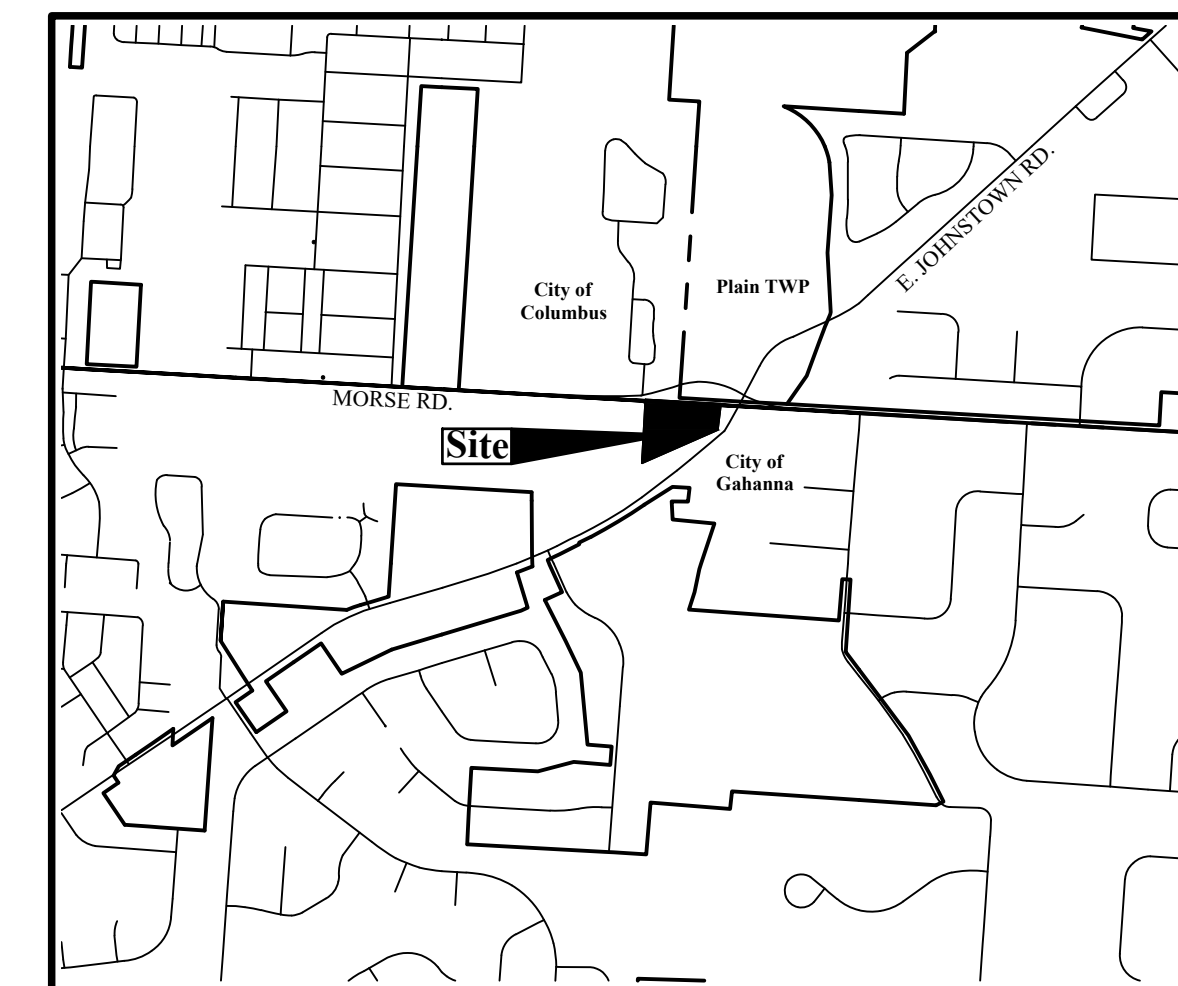
Variance Application for Roger's Market Limited – Statement of Reason for Variance Request

In an effort to support the property owner's desire to address an existing parking and safety concern, the property owner is requesting four separate variances. The existing parking situation at the site and the resulting congestion have created safety concerns for tenants, customers, and the property owner. Without these variances being granted, the property owner's enjoyment of the property, along with the tenants of the property will be negatively impacted.

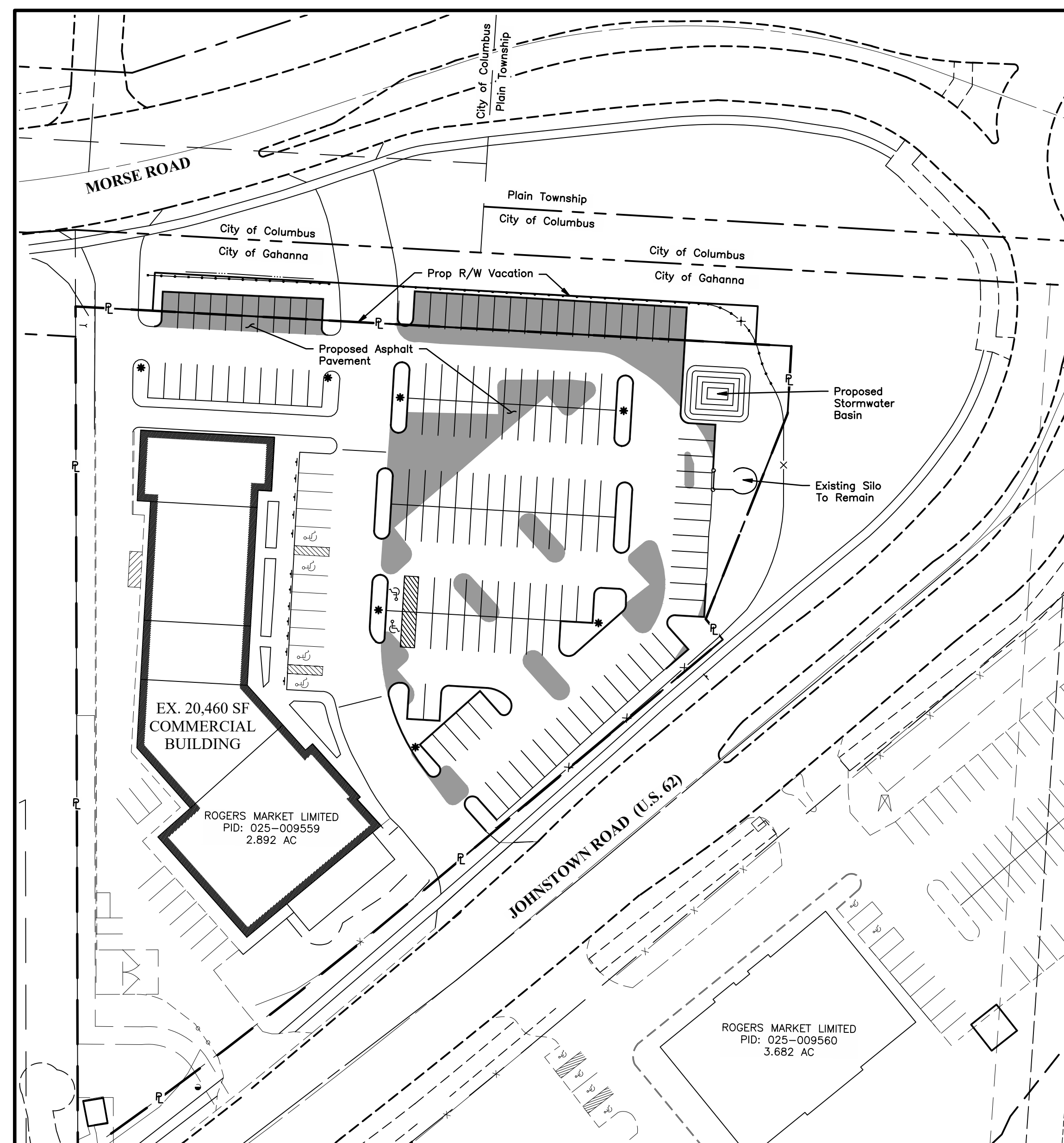
The site currently contains three existing nonconforming uses, and the property owner requests that variances be granted so that these existing nonconforming uses may continue to be permitted within the expanded and reconfigured parking lot. First, Gahanna's code requires a 60' front yard setback and a 36' parking setback, and the property owner requests that the setbacks as shown on the site plan be permitted within the redeveloped parking lot. Secondly, Gahanna's code permits a maximum fence height of 42", but the property owner requests that a variance be granted so that it may continue to utilize the 54" fence that exists around the perimeter of the redeveloped parking lot to maintain consistency among the site aesthetics. Third, Gahanna's code requires a 10' wide landscape island between two rows of parking, but the existing site has not and does not currently contain these landscape islands. The proposed site design solutions to the parking and safety issues only functions with this existing nonconforming element being permitted. The property owner requests that a variance be granted so that these landscape islands shall not be required within the redeveloped parking lot. The property owner is also seeking a variance to allow for parking spaces that are 9 feet in width as opposed to the 10-foot width specified in Gahanna's code.

Based on existing conditions at the site, there is only one option for an expanded and reconfigured parking lot, and the variances described above, in conjunction with the ability to expand the parking lot would enable the property owner to increase the parking capacity further to provide the safest and most efficient parking layout and flow of traffic. These variances will not adversely affect the health or safety at the site or for the surrounding community. Rather, they will improve the traffic flow and provide for safer ingress, egress and lessen the potential for vehicular conflict if approved.

CITY OF GAHANNA, FRANKLIN COUNTY, OHIO DESIGN REVIEW PLAN FOR THE MARKET AT ROGER'S CORNERS PARKING EXPANSION 2023



LOCATION MAP
Not to Scale

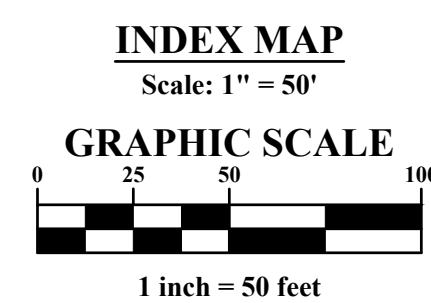


PROJECT INFORMATION

Address:	1391 E. Johnstown Rd, Gahanna, OH 43230
Tax Parcel No.:	025-009559
Zoning Classification/District:	NC-Neighborhood Commercial
Zoning Case No.:	#
Variations:	9' Parking Space Width
Flood Insurance Rate Map Number (FIRM):	39049C0212K
Existing Parcel Area	2.799 Acres
Proposed Right-of-Way Vacation Area	0.168 Acres
Total New Parcel Area	2.967 Acres
Maximum Lot Coverage per 1153.02	75% Maximum
Existing Lot Coverage	76%
=Existing Impervious/Existing Lot	2.14 Acres/2.80 Acres
Proposed Lot Coverage	80.22%
=Proposed Impervious/Proposed Lot	2.38 Acres/2.967 Acres
Commercial Square Footage	20,460
Existing Parking Required (Retail Strip Shopping Center - up to 40,000 SF)	86 Spaces
Existing Parking Provided	103
Proposed Parking Required:	86 Spaces
Proposed Parking Provided	173
Handicap Parking Required	6
Handicap Parking Provided	6

FEMA NOTE

According to the Federal Emergency Management Agency's Flood Insurance Rate Map (dated 6/17/08, the subject parcel shown hereon lie within Zone "X", Community Panel No. 39049C0212K



DEVELOPER/OWNER

CASTO
Eric Leibowitz
250 Civic Center Drive, Suite 500
Columbus, Ohio 43215
Tel: (614) 744-2027
Email: e Leibowitz@castoinfo.com

ENGINEER

EMH&T
Brian Quackenbush
5500 New Albany Road
New Albany, Ohio 43054
Tel: (614) 775-4390
Email: bquackenbush@emht.com

SHEET INDEX

TITLE SHEET	1
EXISTING CONDITIONS & DEMOLITION PLAN	2
SITE PLAN	3
LANDSCAPE PLAN	4
LANDSCAPE DETAILS	5
PHOTOMETRIC PLAN	6

CITY OF GAHANNA APPROVAL

The signatures below signify only concurrence with the purpose and general location of the project. All technical details remain the responsibility of the Engineer preparing the plans.

Director of Planning, City Of Gahanna

Date

PREPARED BY:



This is to certify that good engineering practices have been utilized on the design of this project, and that all of the minimum local standards have been met, including those standards greater than minimum where, in my opinion, are needed to protect the safety of the public. Any variances to the above standards are consistent with sound engineering practices and are not detrimental to the public safety and convenience.



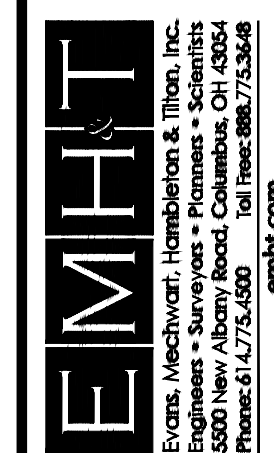
Registered Engineer No. 67680

Date

MARK	DATE	DESCRIPTION



CITY OF GAHANNA, FRANKLIN COUNTY, OHIO
DESIGN REVIEW PLAN
FOR
THE MARKET AT ROGER'S CORNERS
PARKING EXPANSION
TITLE SHEET



DATE

FEBRUARY 10, 2023

SCALE

AS NOTED

JOB NO.

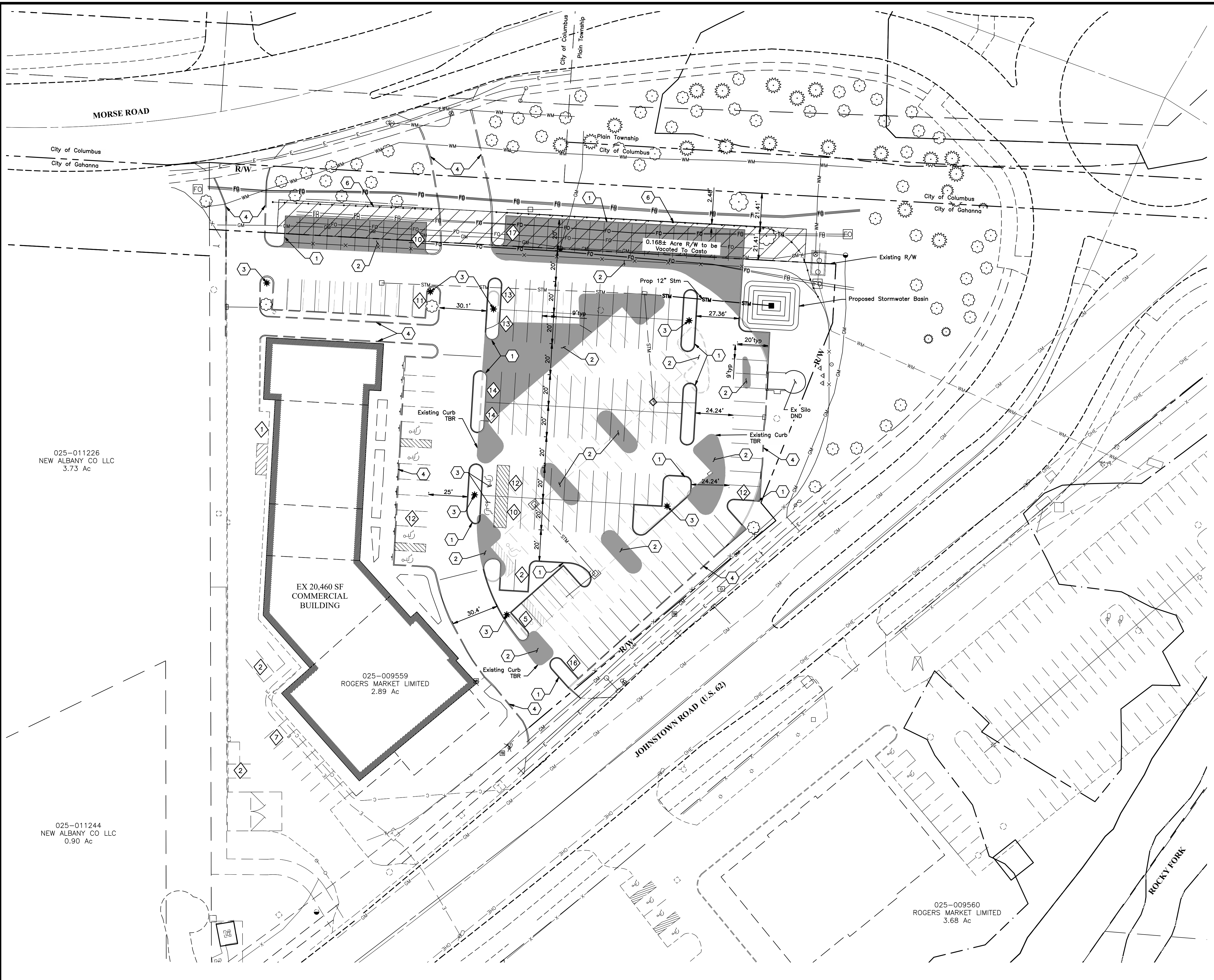
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SHEET

1 / 6

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025-011226
NEW ALBANY CO LLC
3.73 Ac

025-011244
NEW ALBANY CO LLC
0.90 Ac

EX 20,460 SF
COMMERCIAL
BUILDING

025-009559
ROGERS MARKET LIMITED
2.89 Ac

025-009560
ROGERS MARKET LIMITED
3.68 Ac

JOHNSTOWN ROAD (U.S. 62)

ROCKY FORK

LEGEND

- Proposed Asphalt Pavement
- Vacated R/W
- Parking Count

- CODED NOTES**
- Proposed Curb
 - Proposed Pavement
 - Proposed Light Fixture
 - Existing Curb To Remain
 - Proposed Handicap Parking
 - Proposed Fence

GRAPHIC SCALE

1 inch = 30 feet

MARK	DATE	DESCRIPTION

CAS TO

CITY OF GAHANNA, FRANKLIN COUNTY, OHIO
 DESIGN REVIEW PLAN
FOR
THE MARKET AT ROGERS'
CORNERS
 SITE PLAN

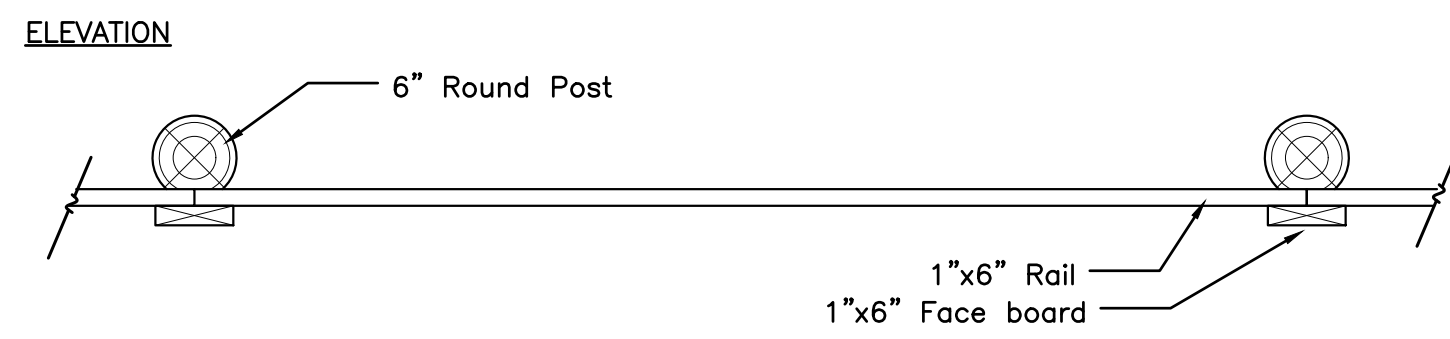
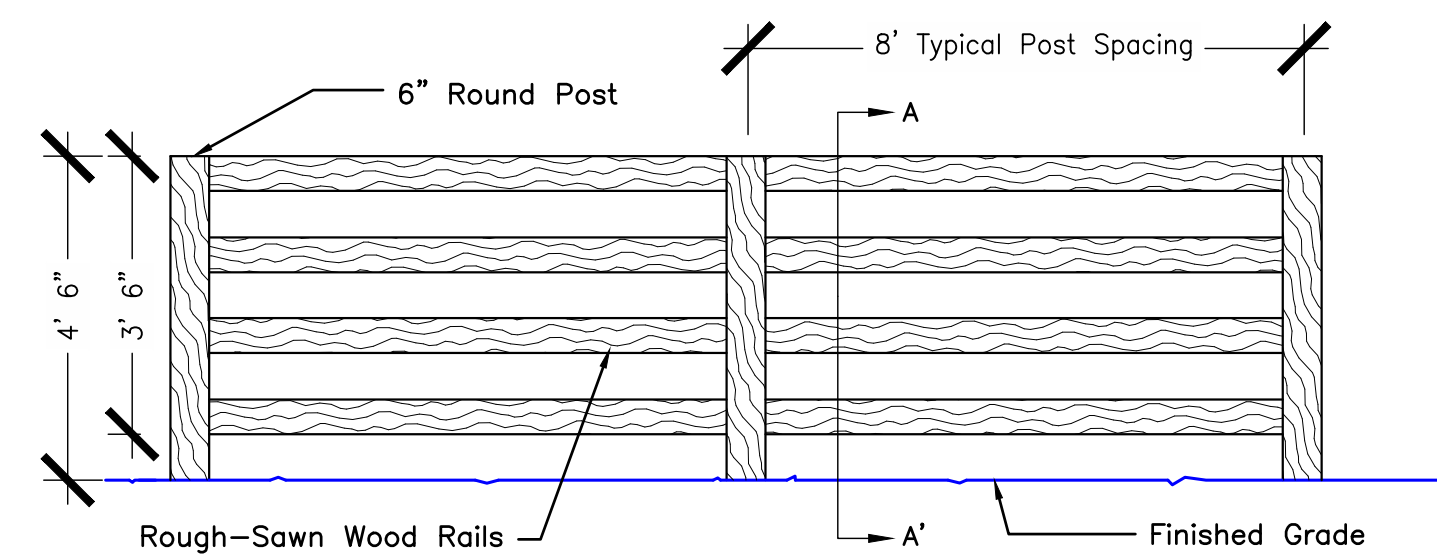
EMHT
 ENGINEERS & ARCHITECTS
 5800 New Albany Road, Columbus, OH 43244
 Phone: 614.775.5500 Fax: 614.775.5500
 emht.com

DATE
 FEBRUARY 10, 2023

SCALE
 AS NOTED

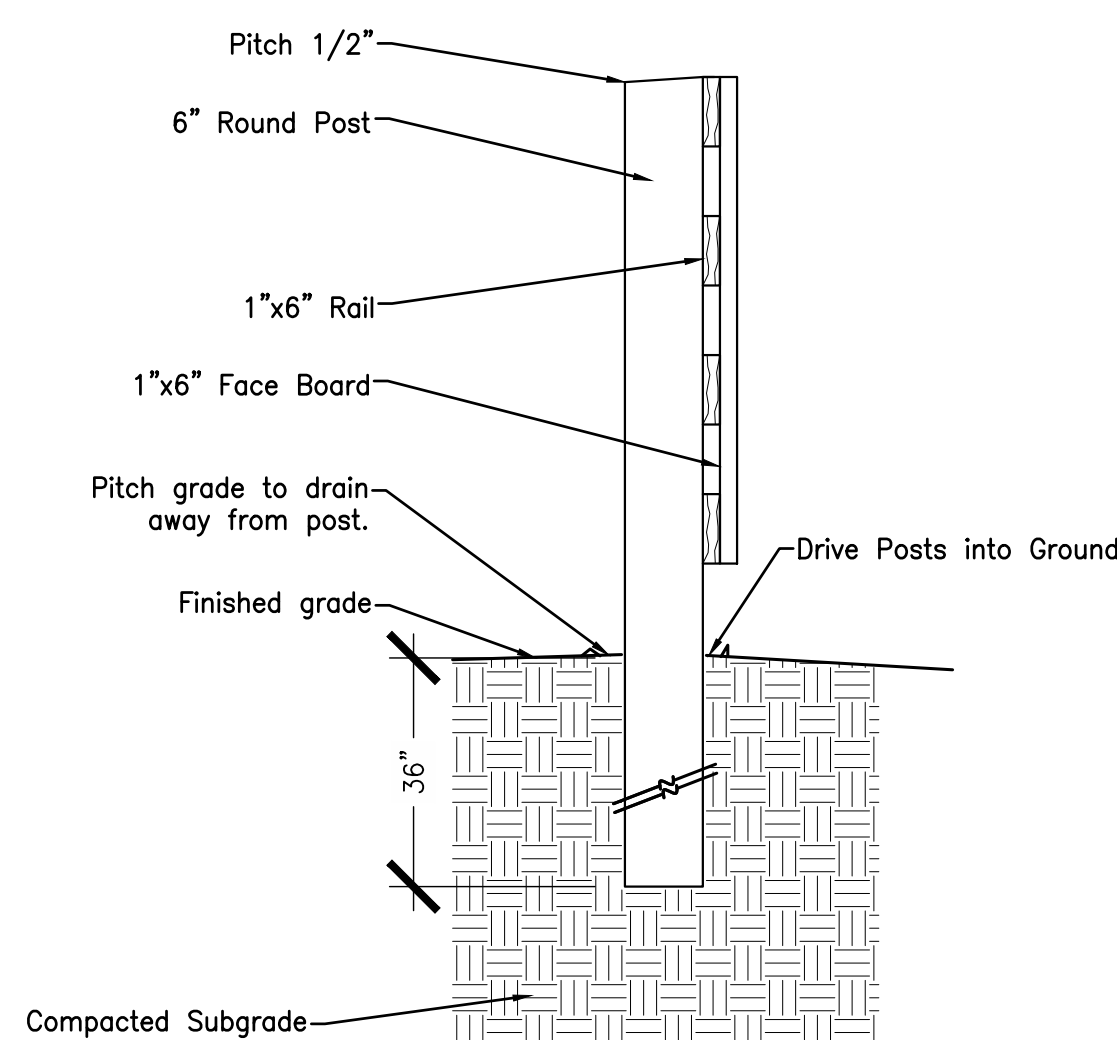
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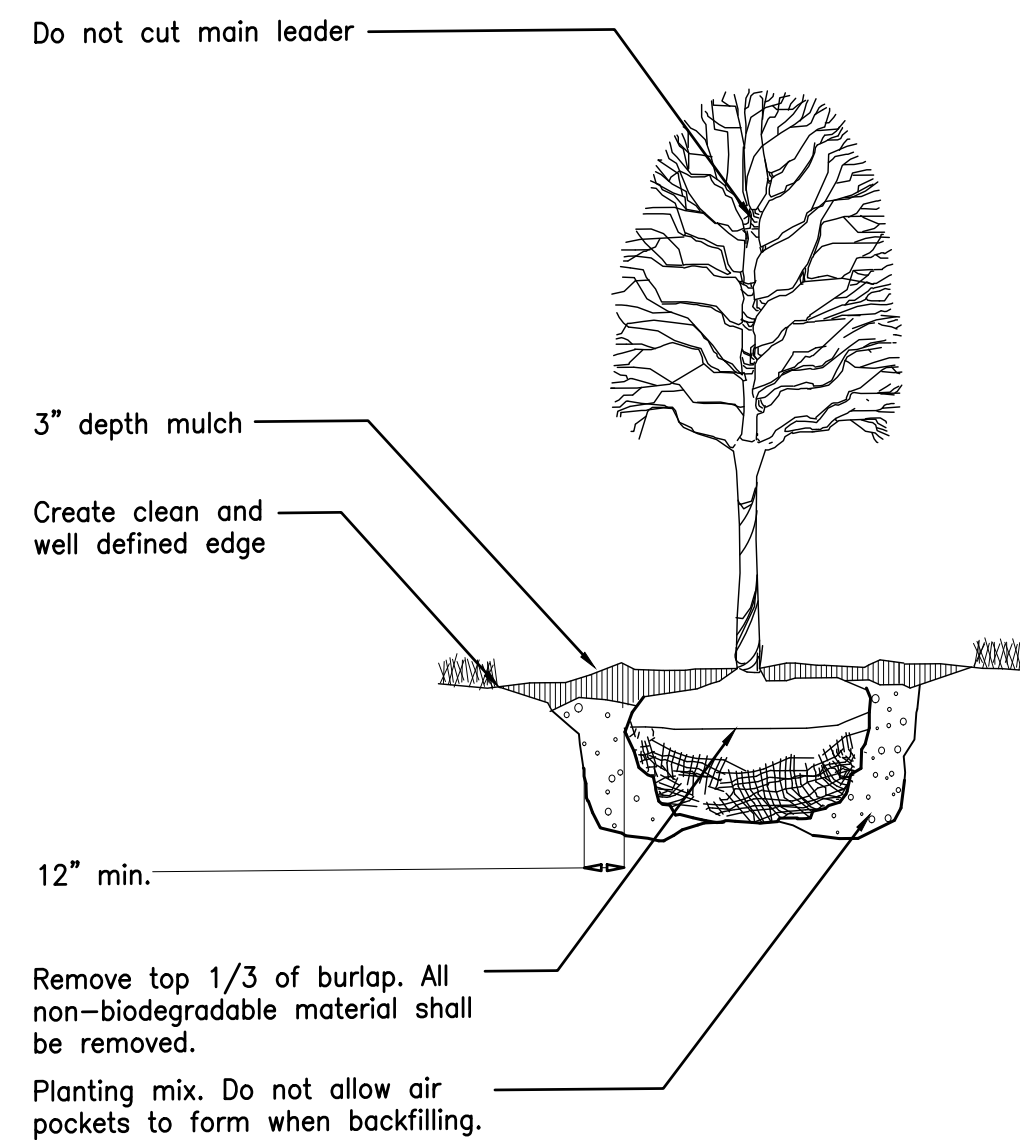


- NOTE**
- All fence rails and face boards to be attached to post with 3 1/2" hot dipped galvanized fence nails.
 - Fence to be sprayed with Cabots Old Virginia White oil stain.

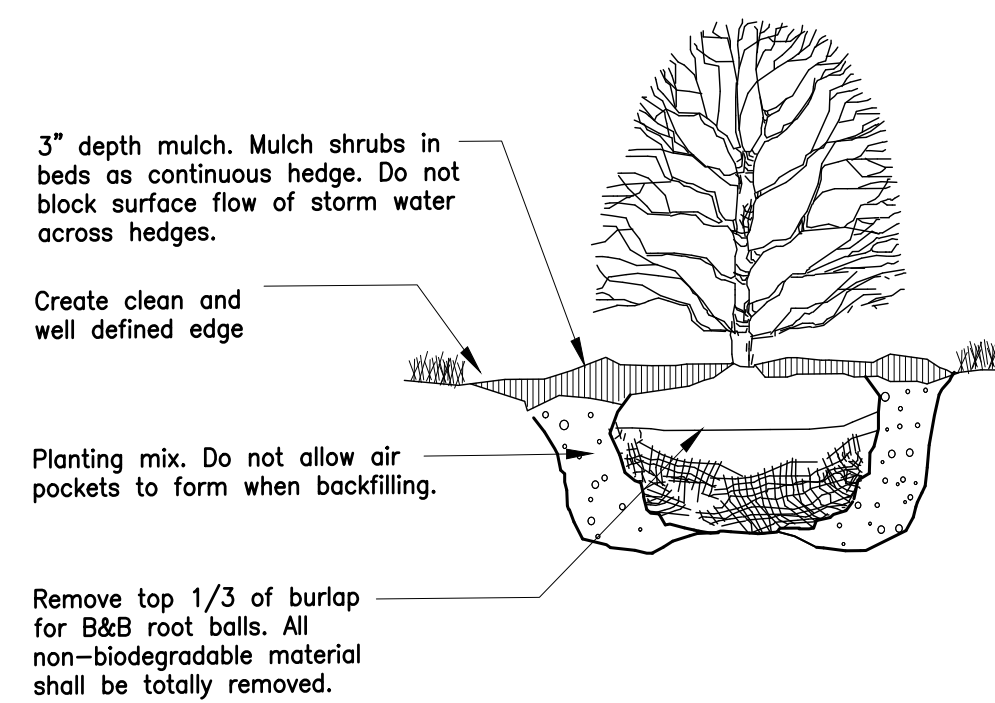
Four Rail Horse Fence
No Scale



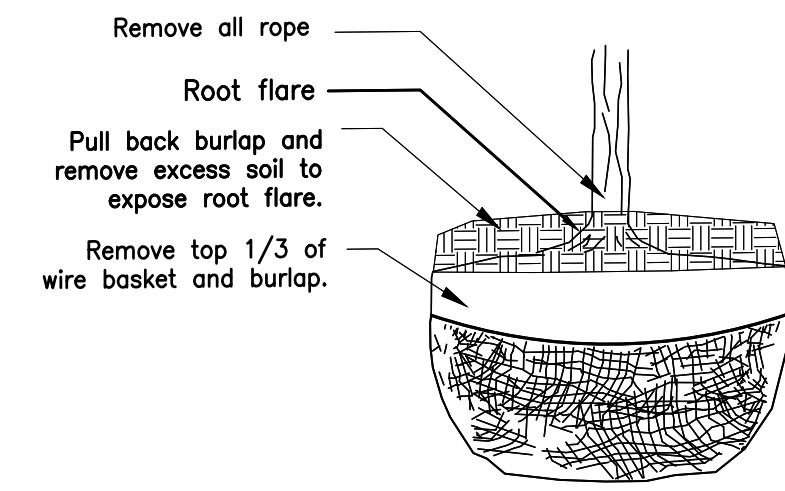
Four Rail Horse Fence
No Scale



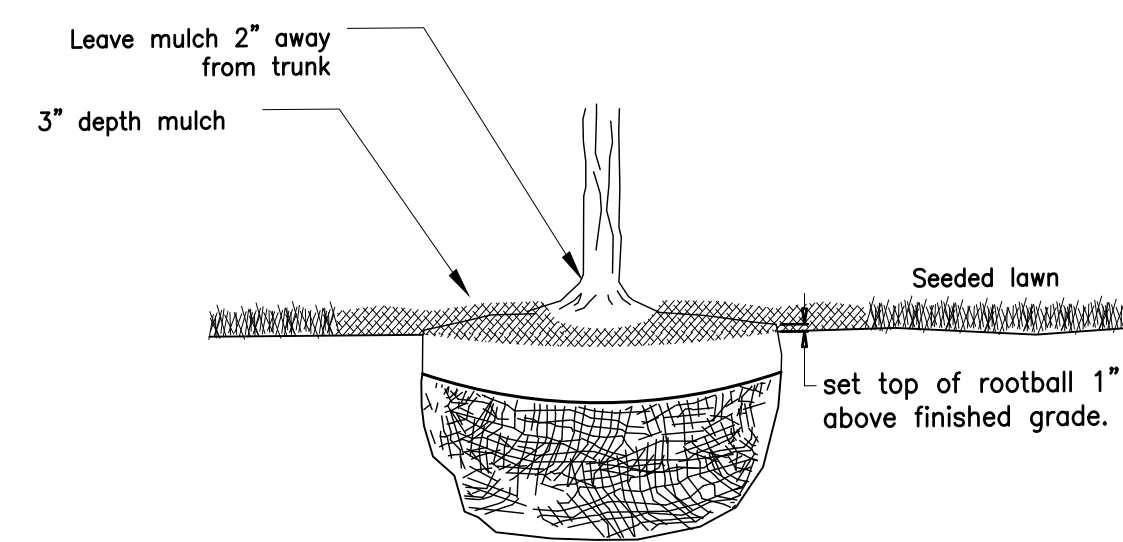
Deciduous Tree Planting
No Scale



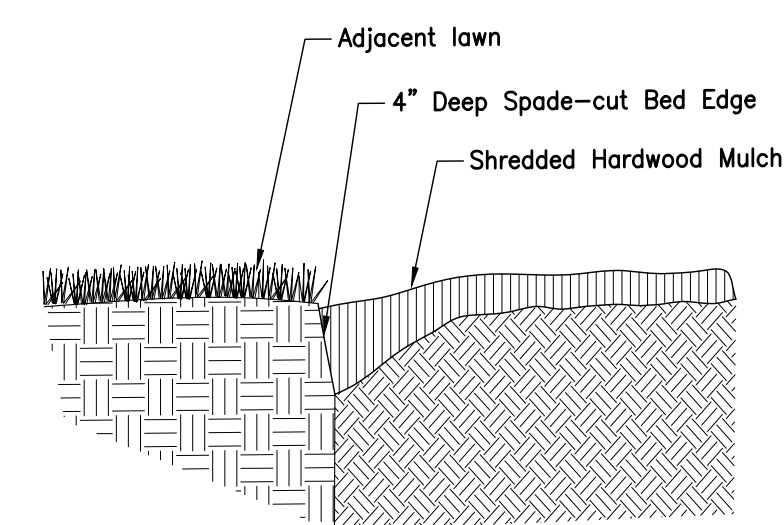
Shrub Planting
No Scale



Rootball Preparation
No Scale



Rootball Setting
No Scale



Planting Bed Edge
No Scale

GENERAL NOTES:

- Prior to installation, the landscape contractor shall inspect the general site conditions and verify the subgrade, elevations, utility locations and topsoil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until such conditions have been corrected and are acceptable to the landscape contractor.
- All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z60.1, current edition. All plants shall equal or exceed the measurements and sizes specified in the schedule.
- Substitutions shall only be permitted with notification and written approval from the Owner. Substituted material shall be equivalent or greater in size than the specified plant. Substituted plants shall have the same essential characteristics and growth habit of the specified plant.
- Confirm location of all utilities and subsurface drain lines prior to plant installation.
- A pre-installation conference shall be conducted prior to planting operations with Owner and Contractor present.
- Contractor may slightly field adjust plant locations as necessary to avoid utilities. Finished planting beds shall be graded to provide positive drainage.
- Irrigation system, if applicable, shall be complete and operational prior to landscape planting.
- Contractor shall repair all lawn areas disturbed during construction with seed and warrant a healthy, weed free lawn prior to project acceptance.
- Seed all areas within contract limits that are not covered by paving, buildings or planting beds unless otherwise noted. Seeding shall not begin until area has received topsoil and finished grade.
- Mulch planting beds with shredded hardwood mulch of uniform dark brown color. It shall be free of twigs, leaves, disease, pest or other material unsightly or injurious to plants. Average applied thickness shall be 3" depth. Mulch hedges in a continuous bed.
- Planting beds shall be covered with pre-emergent herbicide applied at product specified rate unless otherwise noted.
- Bed edge shall be smooth, consistent, hand trenched 4" deep and "V" shaped unless otherwise noted. All excavated material shall be removed from the bed edge and planting bed.
- All planting bed edges to be smooth flowing arcs or straight lines as shown on plan. Plant locations and layout of beds shall be located by Contractor and approved by Landscape Architect prior to planting.
- Install all plants in accordance with planting details and specifications.
- Parking lot and street trees shall have a clear canopy height of 6' min.
- Trees shall be placed a minimum of 3' from sidewalks and curbs.
- Planting Mix shall be blended, manufactured soil consisting of three (3) parts topsoil, one (1) part compost, one (1) part sand. Topsoil shall be per ASTM D5268, pH range of 6.5 to 7, min. 4 percent organic material, free of stones and soil clumps 3/4 inch and larger. Compost shall be yard waste compost from an EPA rated Class IV compost facility or Com-til compost from City of Columbus Department of Public Utilities. Sand shall be per Item ASTM C33. Proprietary manufactured Planting Mix such as Kurtz Bros. Professional Blend or Jones SuperSoil may be used. Submit product data for review by Owner. Place Planting Mix in settled 6 inch lifts.
- Mix Mycorrhizal Fungi into Planting Mix during placement of Planting Mix. Application rate shall be according to manufacturer's written recommendations. Mycorrhizal Fungi shall be a dry, granular inoculant containing vesicular-arbuscular mycorrhizal fungi and ectomycorrhizal fungi.
- Excavate planting beds to a depth of 12 inches, unless otherwise indicated. Rotate-til subgrade of excavation to a depth of 4 inches, unless otherwise indicated. Incorporate a 6 inch lift of planting mix into subgrade. Place remaining Planting Mix in settled 6 inch lifts.
- Planting beds, including mulch, shall be no higher than 6 inches above adjacent grade and shall not impede surface drainage.
- Lawn areas shall be backfilled with Planting Mix to a minimum settled thickness of 6 inches. Rotate-til subgrade below lawns to a depth of 4 inches, unless otherwise indicated, prior to placement of Planting Mix.
- All trees and shrubs shall be fertilized with controlled release tablets of 20-10-5 composition. Size and number of tablets shall be per manufacturer's instructions.
- Composition and application rate of lawn fertilizer shall be sufficient to amend soil according to recommendations of a qualified soil testing agency. Submit soil test results and amendment recommendations to Owner. Lawn fertilizer shall be in a dry granular form.
- Contractor to determine plant list quantities from the plan. Graphic representation on plan supersedes in case of discrepancy with quantities on schedule.
- Any item or areas damaged during construction shall be repaired or replaced to its original condition at the contractor expense.
- Contractor shall thoroughly water all plants at time of installation and as needed until project acceptance by owner. Contractor shall guarantee all plants installed (except annuals) for one full year from date of acceptance by the Owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.
- All annuals to be provided by Contractor from available seasonal stock.
- Lawn seed mix shall be provided by weight as follows: 10 percent NuBlue or Blue Chip Kentucky Bluegrass; 10 percent Coddieshack or Goalkeeper Perennial Ryegrass; 80 percent Quest, Inferno, Arid 3 and/or Pate Tall Fescue (select 2). Sodded lawns shall match seeded lawns. Seeding rate shall be 8 to 10 pounds per 1000 square feet.
- Lawn seed shall not have less than 98 percent purity and not have less than 90 percent germination.

MARK	DATE	DESCRIPTION

CASTO

CITY OF GAHANNA, FRANKLIN COUNTY, OHIO
DESIGN REVIEW PLAN
FOR
THE MARKET AT ROGERS' CORNERS
LANDSCAPE DETAILS

EMHT
E.M.H.T. Inc.
Engineers • Surveyors • Planners • Scientists
5000 New Albany Road, Columbus, OH 43264
Phone: 614.775.5500 Fax: 614.775.5501
emht.com

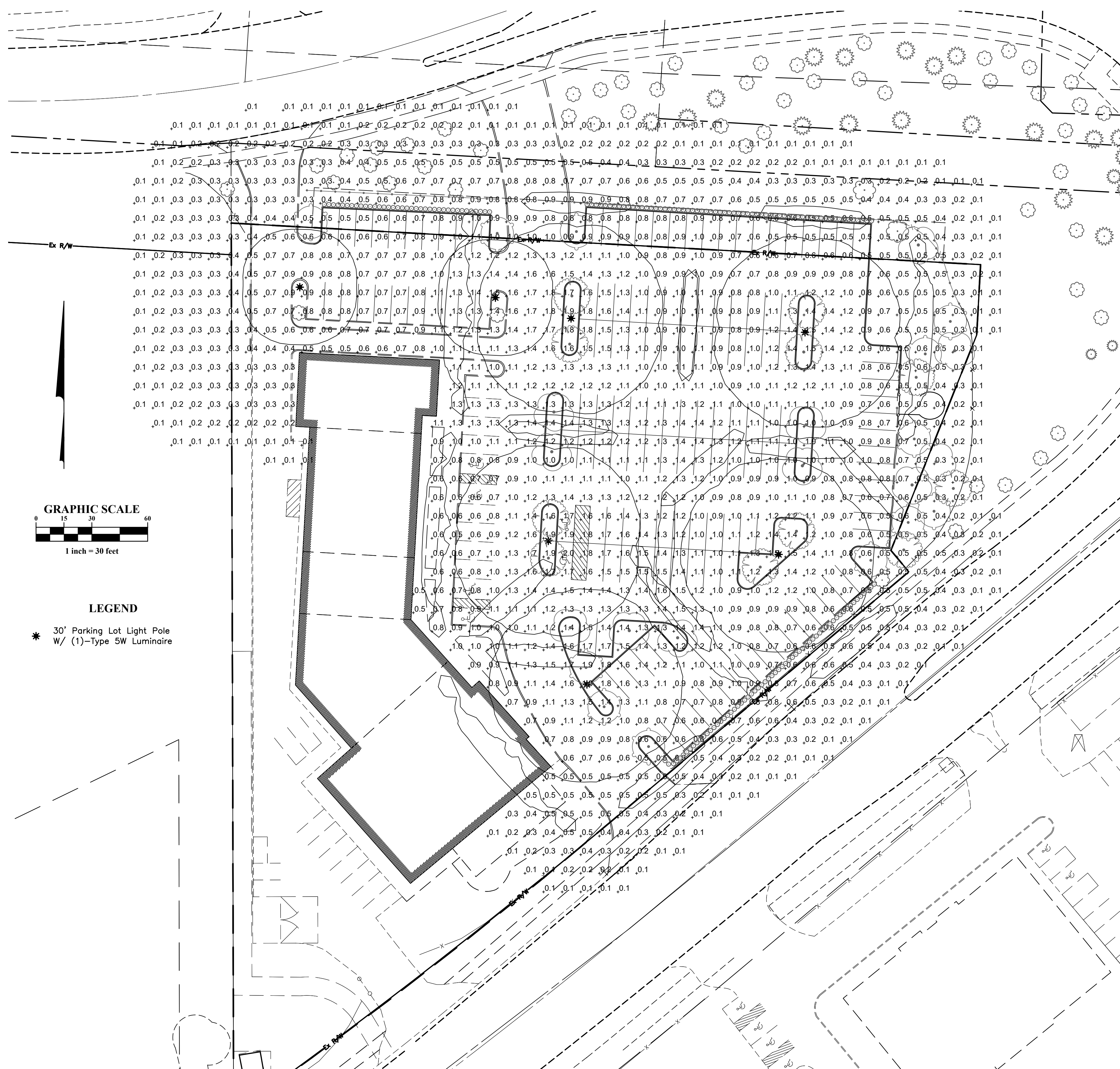
DATE
FEBRUARY 10, 2023

SCALE
AS NOTED

JOB NO.
20220756

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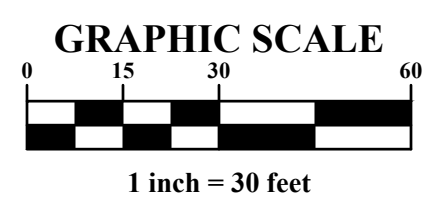
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STATISTICS					
Description	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	1.1 fc	2.0 fc	0.5 fc	2.1:1	4.0:1

LIGHT POLE TABLE			
POLE HEIGHT	LUMINAIRE TYPE	NORTHING	EASTING
30'	VLX-1 TSW 96LC 5 3K	748401.8750	1872231.3750
30'	VLX-1 TSW 96LC 5 3K	748396.1822	1872337.1235
30'	VLX-1 TSW 160LC 5 3K	748385.0349	1872377.7823
30'	VLX-1 TSW 160LC 5 3K	748377.7823	1872503.5620
30'	VLX-1 TSW 160LC 5 3K	748265.5018	1872365.5763
30'	VLX-1 TSW 160LC 5 3K	748258.2149	1872489.3620
30'	VLX-1 TSW 160LC 5 3K	748188.3564	1872386.3359

LUMINAIRE SCHEDULE								
MANUFACTURER	MODEL	OPTICS	LEDS	CURRENT	COLOR TEMP	FILE NAME	LLF	WATTAGE
Visonaire Lighting LLC	VLX-1	Type 5 Wide	96LC	350mA	3000K	VLX-1_TSW_96LC_3_3K.ies	0.72	171
Visonaire Lighting LLC	VLX-1	Type 5 Wide	160LC	350mA	3000K	VLX-1_TSW_160LC_3_3K.ies	0.72	103



LEGEND
 * 30' Parking Lot Light Pole
 W/ (1)-Type 5W Luminaire

VLX LED Specifications



Control Number: AREA-VLX-1-08_30_2022

Project Name: _____
 Catalog Number: _____
 Type: _____

The new VLX LED Series offers clean, functional styling that is defined by its sleek, low profile design and rugged construction. It combines LED performance and advanced LED thermal management technology and provides outdoor lighting that is both energy efficient and aesthetically pleasing.

The LED's performance and the driver's life are maximized by enclosing them in two separate die cast aluminum housings. Easy toolless access for mounting and maintenance.

The LED light assemblies come with 96 to 192 LEDs. Eight optical distribution patterns are available. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable polyester powder coat finish is guaranteed for five years; and is available in standard or custom colors.

The VLX LED series is an exceptional choice for commercial parking lots, office complexes, architectural projects, and other general lighting projects.

Ordering Information

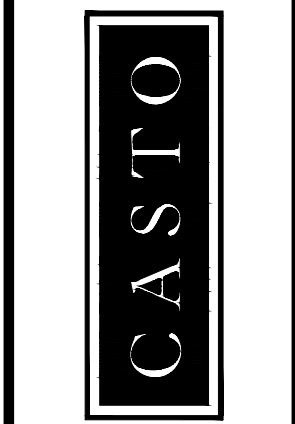
MODEL	OPTICS	LEDS	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
VLX-1	T1	96LC	3	3K	UNV	AM	BZ	PCR-120	RPP
	Type 1		350mA	3000K	120/277V	Arm Mount	Black	PCR-208	UPMA-S
T2	128LC	5	530mA	4K	347V	Round Pole Plate Adaptors (RPP) are to be ordered separately.	BK	PCR-240	UPMA-S
	Type 2			4000K			Black	PCR-277	UPMA-S
T3	160LC	7	700mA	5K	480V	SBK Smooth Black	WH	PCR-347	UPMA-R
	Type 3			5000K			White	PCR-480	UPMA-R
T4	192LC					WM Wall Mount *Requires BAWP	SWH Smooth White	PER SPINPER	BAWP Castable Pole
	Type 4					BAWP to be ordered separately.	White	7PINPER	ROT-R Right/Left Round Pole Mount Adapter
T4A	Type 4 Automotive						GP Graphite	3, 5, or 7 Pin Photo Resistor	ROT-L Left/Right Round Pole Mount Adapter
								Requires Dimming Driver	CLS Back-to-Back/Left/Right/Center/Upper Shield
T5	Type 5						GY Grey	DIM 0-100 Dimming Driver	RCLSL Left/Right/Center/Upper Shield
									RCLSR Right/Left/Center/Upper Shield
TSW	Type 5 Wide						SL Silver Metallic	WSC-8 Mount Adapter 8" Mounting Height	LCLSL Left/Right/Center/Upper Shield
									LCLSR Right/Left/Center/Upper Shield
TSWR	Type 5 Wide Round						CC Custom Color	WSC-20 Mount Adapter 20" Mounting Height	VWC Mount Adapter 18" Mounting Height
									WSC-40 Mount Adapter 40" Mounting Height



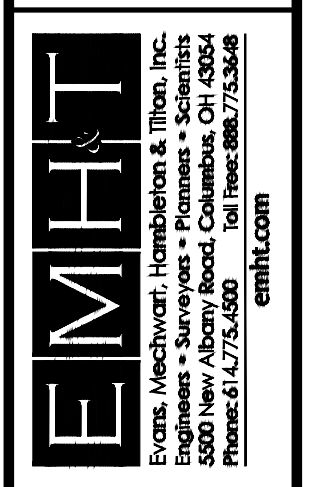
VL-PA-ING-001-F37 REV. 0 CRCABR22-03

REVISIONS

MARK	DATE	DESCRIPTION



CITY OF GAHANNA, FRANKLIN COUNTY, OHIO
 DESIGN REVIEW PLAN
FOR
THE MARKET AT ROGERS'S CORNERS
 PHOTOMETRIC PLAN



DATE
 FEBRUARY 10, 2023

SCALE
 1" = 30'

JOB NO.
 20220756

SHEET
 6 / 6



Engineers, Surveyors, Planners, Scientists

March 1, 2023

Ms. Kelly Wicker
Planning & Zoning Coordinator
City of Gahanna
200 S. Hamilton Road
Gahanna, OH 43230

Subject: Project 1379-1391 E Johnstown Rd Variance
Response Letter

Dear Ms. Wicker,

In response to the comments received from City of Gahanna on February 22, 2023, the plans have been modified as described herein.

Fire District

1. The fire division has no objection to the Design Review or Variance for Rogers Market parking lot expansion.

Response: Understood.

City Engineer

2. No comments.

Response: Understood.

Planning

3. Please see comments in the design review application for code sections that will require variance approval. A separate application is not required. The existing application can be revised to account for these code sections. Please modify accordingly.

Response: Variance application has been revised and sent with the submittal package.

4. Informational Comment – No objections to the requested variance or to the variances identified in review of the design review application. (*Informational Comment*)

Should you have any questions or require additional information, please do not hesitate to contact me directly at (614) 775-4391.

Sincerely,

EVANS, MECHWART, HAMBLETON & TILTON, INC.

A handwritten signature in blue ink, appearing to read 'Mallory Weininger', written over a light blue circular stamp.

Mallory Weininger

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March 7, 2023

Rogers Market Limited
250 Civic Center Dr #500
Columbus, OH 43215

RE: Project 1379-1391 E Johnstown Rd Variance

Dear Rogers Market Limited:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

Fire District

1. The fire division has no objection to the Design Review or Variance for Rogers Market parking lot expansion.

City Engineer

2. No comments.

Planning

3. Informational Comment - No objections to the requested variance or to the variances identified in review of the design review application. (*Informational Comment*)

If you have general comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025. If your questions are specific to a certain department's comments please reach out to that department.

Sincerely,

Kelly Wicker
Planning and Zoning Coordinator



STAFF REPORT

Request Summary

A design review and variance application have been submitted to allow for parking lot modifications for the property known as the Market at Roger's Corners. The property is zoned Neighborhood Commercial (NC) and developed with a multi-tenant building. Tenants include Donatos, 1837 Wine and Spirits Emporium, Home Source Custom Draperies and Blinds, and High Bank Distillery.

The popularity of the tenants has driven the need to create additional parking. The site has 103 parking spaces with a code requirement of 86 spaces. The proposed site layout increases parking to 173 spaces. Variances and a right-of-way vacation is required to accomplish the proposed redesign. The City is working with various political entities to vacate the right-of-way necessary to accomplish the proposed redesign. The applications would become null and void if the right-of-way vacation is unsuccessful.

Design Review

Developments within NC are subject to the standards of Design Review District 3 (DRD-3). Most standards are not applicable to this request because of its limited scope.

General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect and enhance the physical surroundings of the Design Review District.

Variance

A variance application has been submitted and reviewed by staff. The variances requested exist on the site currently but require variance approval since the site layout is changing. Planning staff supports the variance requests. We believe the variances are warranted given the shortage of onsite parking. Approving the variances allows the site to be designed in a manner that provides for enough onsite parking to safely accommodate patrons of the center.

- Chapter 1163.01(a) – Parking space width
 - 9' requested; existing parking spaces are 9' wide
 - 10' required by code
- Chapter 1163.08(h) – Interior landscaping



- Code requires there be a ten foot wide landscape island between two rows of parking
 - Existing parking does not meet this requirement
- It should be noted that staff is working on code changes to eliminate this requirement. Similar projects have received variance approval.
- Chapter 1167.15(b) – Parking setback
 - Code requires a 36’ setback from right-of-way
 - Existing parking does not meet this requirement
 - The city is working with multiple jurisdictions to vacate unnecessary right-of-way along the northern property line. The proposed parking improvements along the northern property line may not meet setback requirements, however, the parking is setback from pavement at a far greater distance than typically found in Gahanna. The City believes that the reduced setback will not create an unsafe condition along Morse Rd.

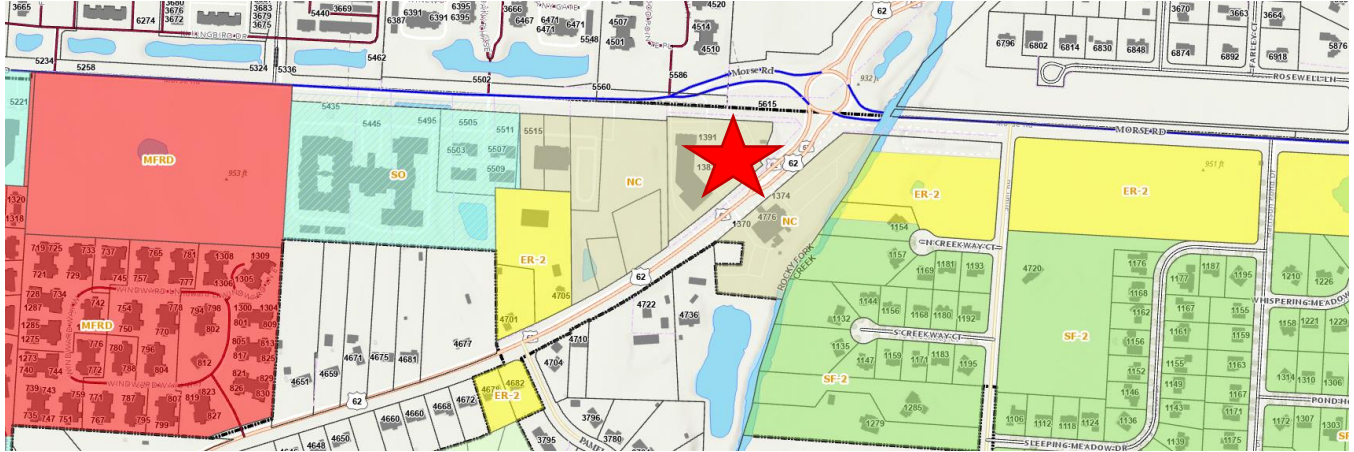
Planning Commission shall not grant a variance unless it finds that all the following conditions apply:

- a) There are special circumstances or conditions applying to the land, building or use referred to in the application.
- b) The granting of the variance is necessary for the preservation and enjoyment of substantial property rights.
- c) The granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the proposed use and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood.

Staff Comments

Staff recommends approval of both applications as submitted. The City has been working with the landlord and tenants on solutions to the parking shortage. The proposed plan increases parking by 70 spaces. Additional onsite parking should eliminate the need for offsite overflow parking. Offsite parking areas can create unsafe pedestrian and vehicular movements. The proposed plan appears to resolve potential safety issues while maintaining an attractive and vibrant shopping center.

Location/Zoning Map



Respectfully Submitted By:
Michael Blackford, AICP
Director of Planning