



MASTER SIGN PLAN APPLICATION SUMMARY



File Number	MSP-26-2
Property Address	323 STONERIDGE LN GAHANNA, OH 43230
Parcel ID	025-010785
Zoning District	GC - General Commercial
Project/Business Name	Stoneridge Plaza MSP
Applicant	Grant Woods
Description of the Request	Revised master sign plan to include movie theater tenant, pylon signage requirements, and have all signage requirements implemented onto one master sign plan for the shopping center.

Stoneridge Plaza Signage Criteria

The purpose of this signage criteria is to provide guidelines for the size, location, and installation of signage throughout StoneRidge Plaza and to perpetuate the integrity of the design of the shopping center. This document supersedes the previous signage criteria documents, Signage Criteria Phase 1 dated June 7, 1995, Signage Criteria Phase 2 dated April 23, 1996, and the Signage Criteria dated April 27, 2018. This criteria establishes regulations to accommodate each entity that will occupy the center in a manner to provide neat and orderly appearance for the center. This criteria comprises the minimum standards Tenants must meet in order to obtain the Landlord's approval for signage. This latest round of changes, dated May 26, 2026, addresses the theater building signage and the two existing pylon signs servicing the shopping center. The Phase 2 criteria from 1996 will still apply to Kroger.

A. General Signage Requirements:

1. Each Tenant shall follow the signage standards set forth by the City of Gahanna's Planning Commission and City of Gahanna Zoning Code.
2. All costs associated with Tenant signage are the sole responsibility of the Tenant, including the cost of fabricating, electrifying, and lighting the signage. In the event Landlord installs the lighting or any other portion of the signage, the Tenant shall reimburse the Landlord for Tenant's share of the sign costs including fabricating, installing, and electrifying such signage.
3. The sign manufacturer shop drawings showing sign construction and installation, including mounting devices, shall be submitted to the Landlord for approval prior to sign fabrication.
4. Any City of Gahanna applications, hearing and fees shall be the responsibility and at the expense of the Tenant and the signage contractor.
5. The signage contractor utilized by Tenant must be approved by Landlord.
6. Any final signage and/or signage letters shall meet the sign criteria of the City of Gahanna Zoning Code and all federal, state and local governing regulations.
7. The power requirements for each individual Tenant's sign shall be no more than 600 Watts. If additional power is required, then it shall be the sole responsibility of the Tenant to provide additional power to that sign including the cost of electrifying and installation of additional equipment.

B. Individually Illuminated Letters:

1. The use of individually mounted letters shall be installed in the designated sign field area in front of each Tenant's storefront. (See signage location elevations attached to this document).

2. The individually mounted letters shall be illuminated internally with the use of LED lights and are not to be visible through the sign face.
3. The signage area shall be limited to two (2) square feet of graphic area per one linear foot of leased storefront. In no event shall the horizontal width of each Tenant's graphic be greater than a maximum of 80% of the width of such Tenant's storefront width.
4. Tenant signage limits shall be 30" in height or such lesser height, if regulated by applicable code. In certain cases, portions of signage may be permitted to have a maximum vertical limit of greater than 30", at Landlord's sole discretion. All increases in signage area are subject to Landlord's prior written approval.
5. The individually mounted letters shall be placed in the sign field, centered within the Tenant's storefront area, and not to extend beyond the extent of the Tenant's side walls or encroach upon the area of another Tenant. (See signage location elevations attached to this document)
6. The individually mounted letters shall be made of an acrylic or equal sign face with a finish that permits illumination. The letter body/encasement shall be made of painted aluminum. All sign construction must meet the City of Gahanna adopted versions of the Ohio Building Code and Ohio Electrical Code.
7. The individually mounted letters type/font may match the proposed Tenant's theme or prototype. Each Tenant must submit signage type/font to Landlord for final approval prior to fabrication of Tenant's sign.
8. The letter color may match the proposed Tenant's theme or prototype. Each Tenant must submit signage color scheme to Landlord for final approval prior to fabrication of Tenant's sign.
9. The individually mounted letters shall not protrude more than 6" from the face of the façade. The maximum return for the body/encasement of the individual letter shall be 5".
10. The individually mounted letters shall be mounted 1 inch off the face of the façade to permit drainage.
11. The individually mounted letters shall be attached to the façade with the use of brackets and non-corrosive fasteners.
12. The use of an internally illuminated, LED light, Emblem/Logo signs shall be installed in areas where the Tenant may have more than one façade face where signage could be installed. The additional sign shall be allowed solely at the discretion of Landlord in only those locations designated by Landlord.

C. Under Canopy/Blade Signs:

1. The use of blade signs may be installed near each Tenant's entrance door. The use of blade signs may be the choice of the Tenant and are not required. (See Tenant Blade Sign drawing attached to this document)
2. The blade sign shall not be internally illuminated.
3. The blade sign shall have a maximum length of 24 inches and a maximum height of 10 inches. Each Tenant must submit sign area and graphic to Landlord for final approval prior to fabrication of Tenant's sign.
4. The letter type/font may match the proposed Tenant's theme or prototype. Each Tenant must submit type/font to Landlord for final approval prior to fabrication of Tenant's sign.
5. The blade sign background is to be white with a black trim no larger than 1/2" in thickness.
6. The letter colors may match the proposed Tenant's theme or prototype. Each Tenant must submit type/font to Landlord for final approval prior to fabrication of Tenant's sign.
7. The blade sign shall be attached to face of the wall above the storefront with the use of a painted, wall bracket arm with non-corrosive fasteners. The bracket arm, hook, and chain for sign attachment shall be painted black.
8. The bottom of the bracket arm shall be mounted at approximately 9' to 8' above finish sidewalk. The signage contractor is to verify mounting location and height.
9. The bottom of the blade sign, when mounted, shall not hang lower than 8 feet above finish sidewalk. (See under-canopy sign location section attached to this document)

D. The Theater shall have the right to utilize a combination of the following types of signage:

1. Wall mounted sign area utilizing individually illuminated letters mounted at approximately 32 feet above finish floor in a location generally shown on the attached Exhibit A but may shift up to 15 feet in either direction based on final design/drawings. The individually mounted letters must fit inside the designated sign field area of 4 feet by 29 feet 6 inches, totaling 118 square feet, as shown on Exhibit A.
2. Wall mounted theater marquee to identify individual movie listings. Letters to be changeable text up to 8 inches. Sign box to be internally illuminated cabinet. Marquee to be mounted from 10 feet above finish floor to 20 feet above finish floor. Total marquee area to be approximately 305 square feet.
3. Wall mounted sign area utilizing individually mounted letters above the theater entrance as shown on Exhibit A. Total sign area shall be approximately 5 feet by 14 feet 6 inches,

- totaling 72.5 square feet. Bottom of sign area to be approximately 10 feet above finish grade.
4. **Movie Display Cases:** Display cases shall be clear anodized aluminum frames with a clear vision panel to display individual movie posters or other media typically utilized for exterior displays in the theater industry, including but not limited to digital media. Display cases shall be 3 feet by 4 feet 4 inches high mounted at 8 feet 2 inches above finish sidewalk to top of display case. Display cases shall be located on the exterior perimeter walls near entrance courtyard. A total of sixteen (16) display cases shall be allowed.
 5. **Movie Listing Cases:** Frames with clear faces to house changeable individual copy to list movies and movie schedules, in digital or printed media. Signs to be located at main arch bases and shall not be greater than 18 square feet each. A total of two (2) signs shall be allowed.

E. Pylon Signage:

1. Each pylon sign shall have an overall sign area of 12 feet 0 inches wide by 4 feet 6 inches high totaling 54 square feet on each side, below the shopping center name "StoneRidge" as shown on Exhibit A.
2. Within the sign area on each pylon sign, there shall be space for a maximum of two (2) tenants to be identified. The same tenants are not required to be on both pylon signs.
3. Existing tenant signs area in place as of the date of this master sign plan amendment (Marshalls on the Morse Road pylon sign and HomeGoods on the Hamilton Road pylon sign) shall be permitted to remain in place "as-is" and be permitted to perform standard maintenance and upkeep on those existing signs. Any new tenant signs placed in the sign area below StoneRidge after the date of this master sign plan amendment shall be governed by this master sign plan.
4. The individually mounted letters shall be installed in and centered within the designated sign field area and shall comply with applicable zoning code and all federal, state and local government regulations.
5. Individual tenant signage maximum vertical limits shall be 36" in height or such lesser height as required to fit fully within the designated sign field area, if regulated by applicable code, or at Landlord's sole discretion.
6. The individually mounted letters type/font and color may match the Tenant's theme, prototype, or trademark; however, the entire sign face for each tenant sign area must be of one single color. Each Tenant must submit signage type/font to Landlord for final approval prior to fabrication of Tenant's sign.
7. Logos will not be permitted by the Landlord on the pylon sign.

8. Letters shall be internally illuminated, face-lit, individually mounted channel letters with the use of low voltage LED lamps which are not to be visible through the sign face. Raceways, box signs and backer panels will NOT be accepted.
9. All electrical wiring, switches and remote transformers shall not be visible from the exterior. All wiring shall be enclosed in metal conduit or flex. No plastic shall be used. All thru wall penetrations shall be sealed.
10. Sign faces shall be made of 1/8" to 3/16" thick Plexiglas, polycarbonate or equal sign face with a finish that permits illumination. The letter body/encasement and returns shall be made of painted aluminum. All sign construction must meet the City of Gahanna adopted versions of the Ohio Building Code and Ohio Electrical Code.
11. Letters shall be direct-mounted to the facade face with 1/2" non-corrosive spacers between letter backs and the wall to allow proper drainage. (Raceways, box signs and backer panels will NOT be accepted).
12. The individually mounted letters shall be attached to the façade with the use of brackets and non-corrosive fasteners.
13. The individually mounted letters shall not protrude more than 6" from the face of the façade. The maximum return for the body/encasement of the individual letters shall not exceed 5 inches.

F. Prohibited Signage Items:

1. The use of backer board or backer panels behind any Tenant's sign shall be prohibited.
2. The use of animated, electronic messages or flashing signs shall be prohibited.
3. Portable and sidewalk signs are prohibited.
4. Inflatable, lighter-than-air, or kit-type material signs are prohibited.
5. Banner signs, except those that are used for temporary purposes, shall be prohibited.

G. Drawings Submittal

1. Sign manufacturer's shop drawings showing sign construction and installation – including mounting devices – shall be submitted to the Landlord for prior written approval prior to sign fabrication. Drawings must also include the name of the center and the address of the space.

Submit drawings to:

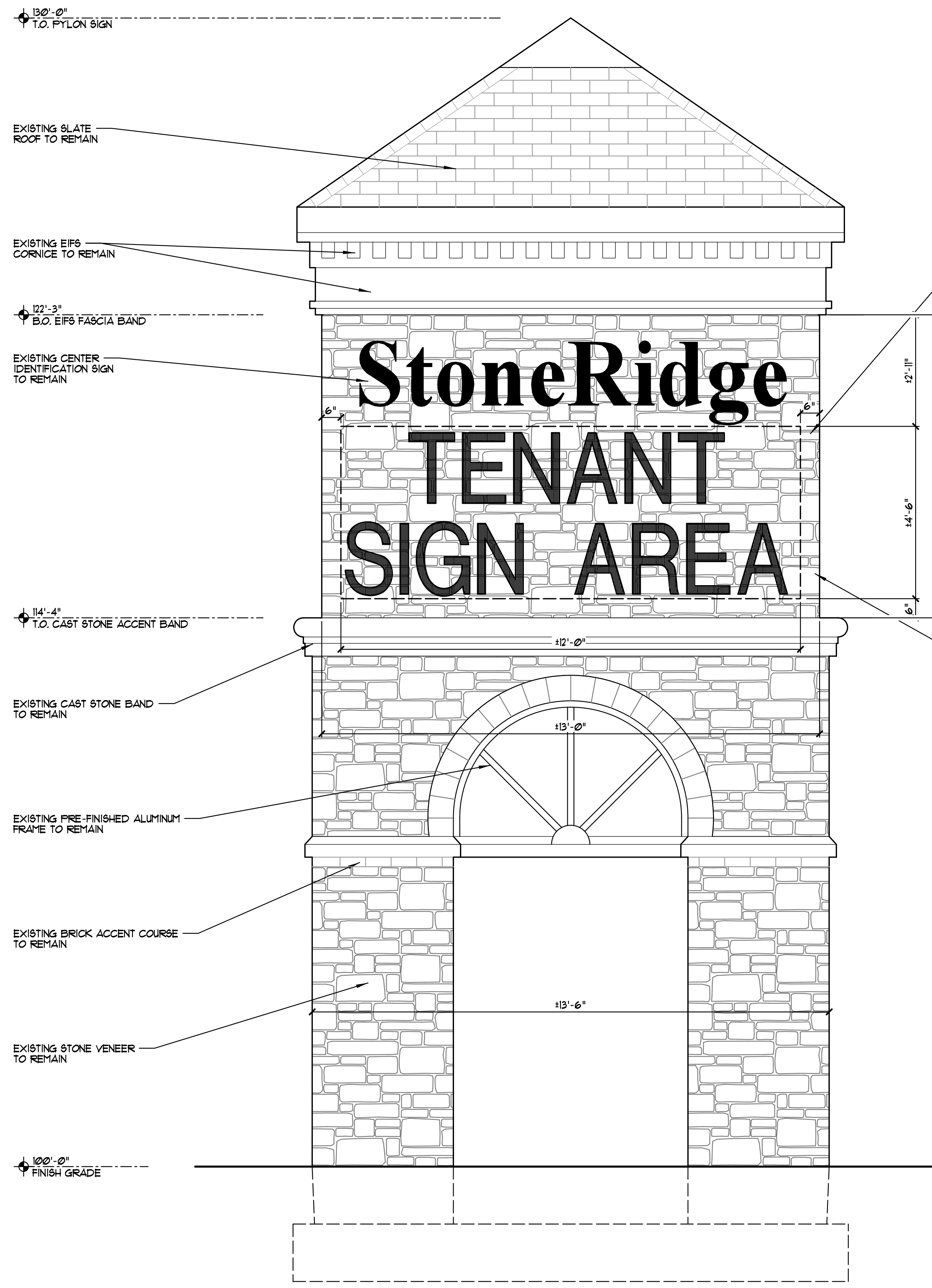
StoneRidge Plaza Master Sign Plan
Northwest, Southeast, and Theater Retail Building
Stoneridge Drive, Gahanna, Ohio 43260

May 26, 2026

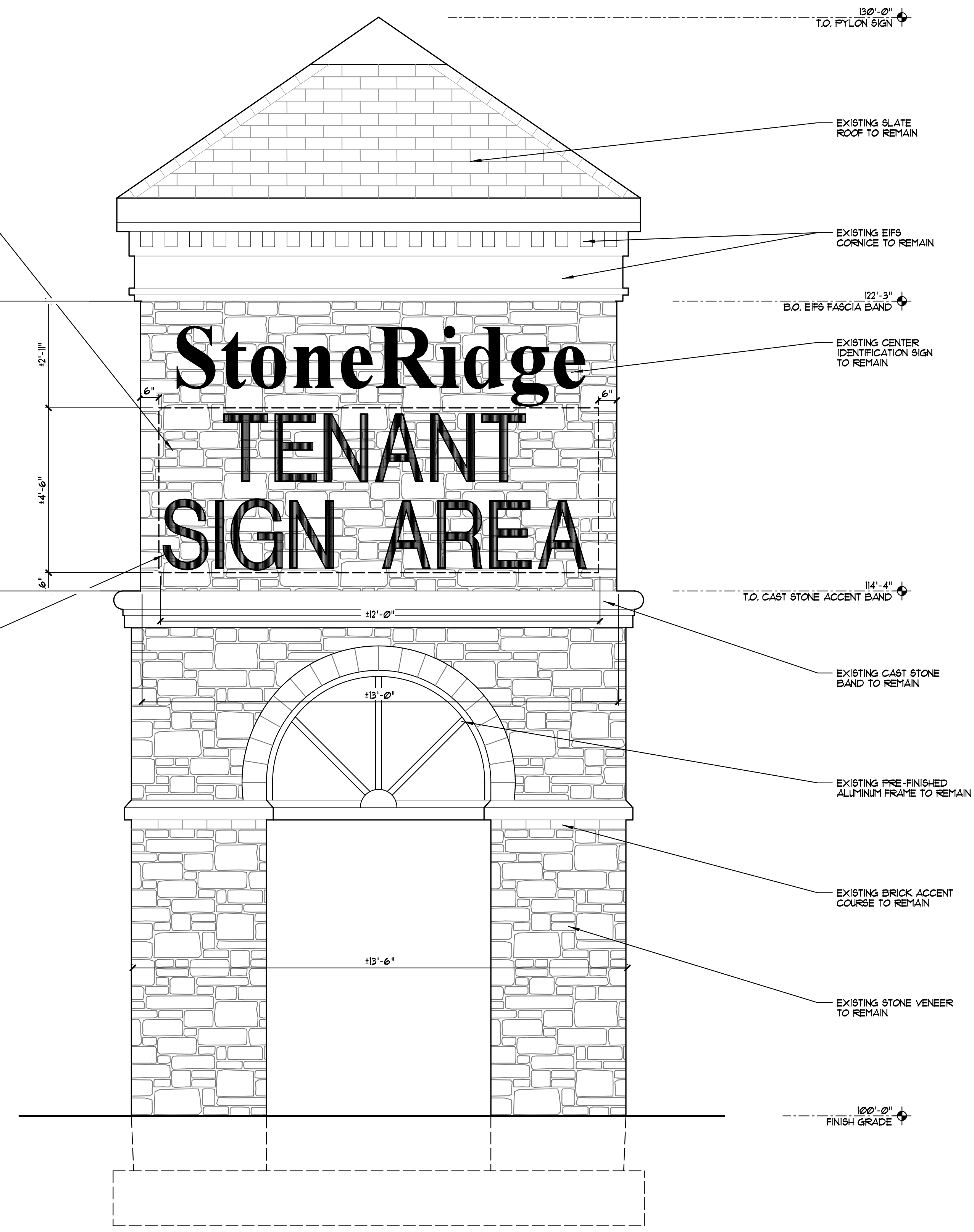
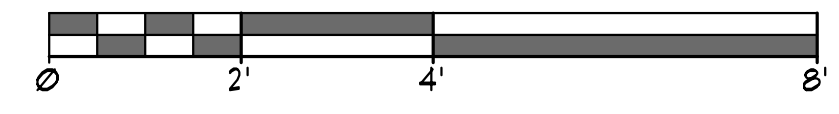
Casto
Attn: Tenant Coordinator
250 Civic Center Drive, Suite 500
Columbus, Ohio 43215

END OF DOCUMENT

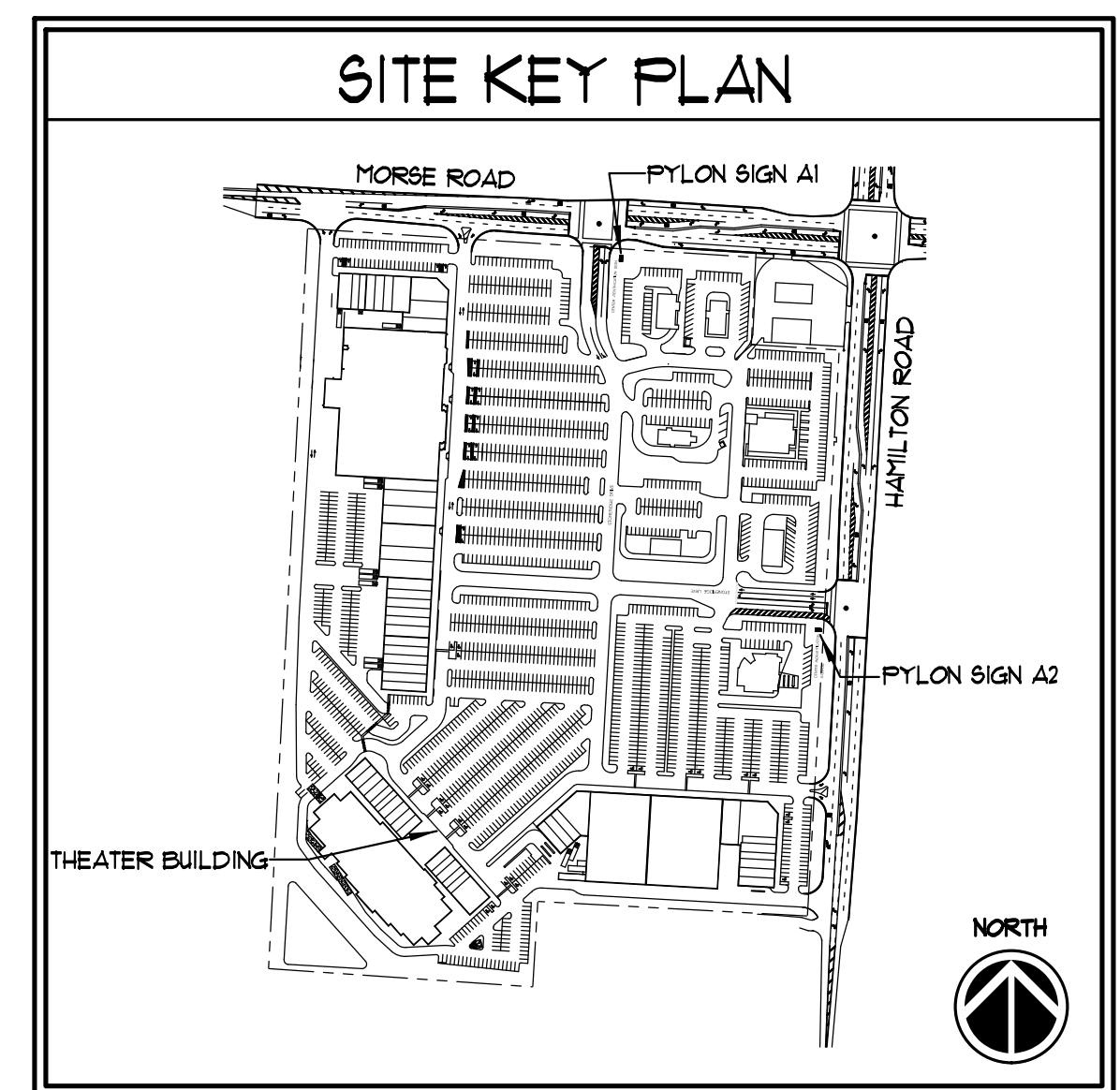
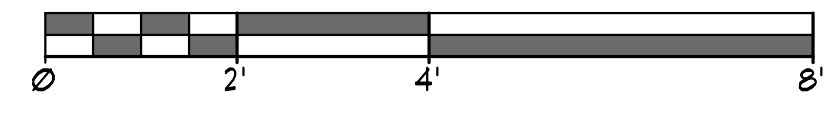
EXHIBIT A



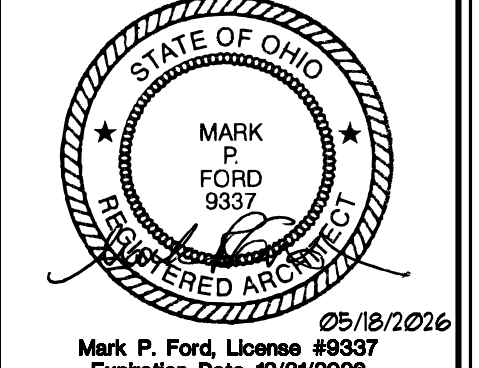
A PYLON SIGN A1 ELEVATION (MORSE ROAD)
SCALE 1/2" = 1'-0"



B PYLON SIGN A2 ELEVATION (HAMILTON ROAD)
SCALE 1/2" = 1'-0"



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ISSUE	REVISION	DATE
CHECK SET		MAY 13, 2026
OWNER'S REVIEW		MAY 15, 2026
PERMIT SET		MAY 18, 2026

PYLON SIGNAGE ELEVATIONS

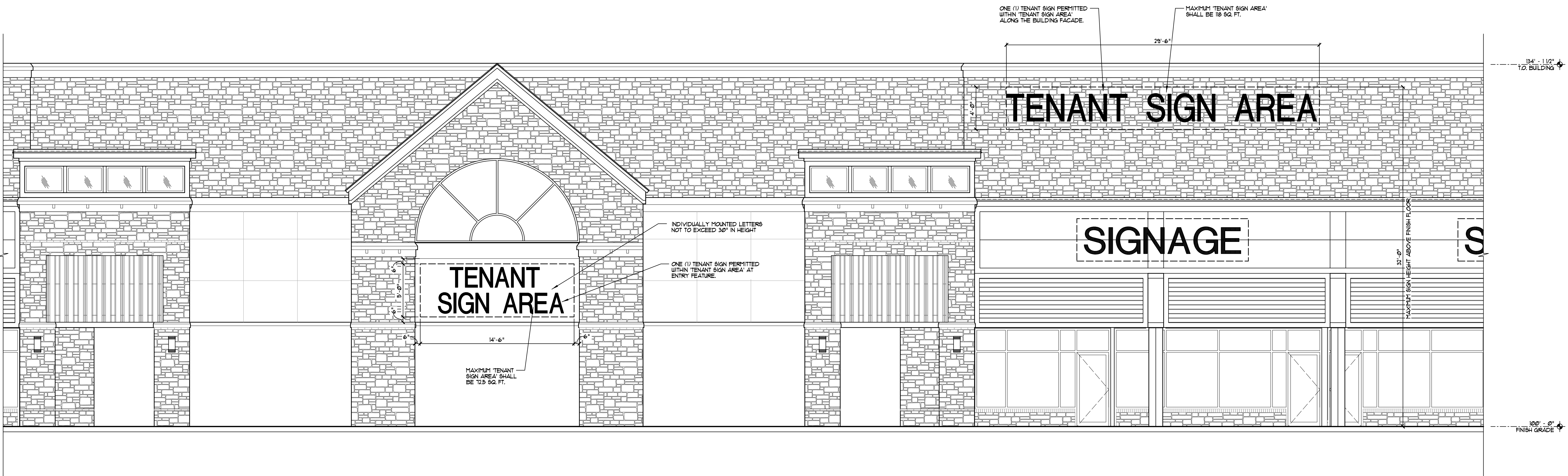
STONERIDGE PLAZA

Z-1.0

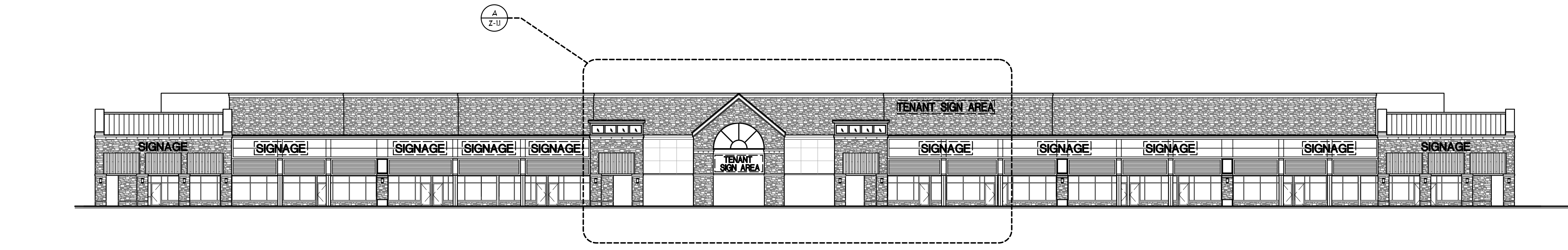
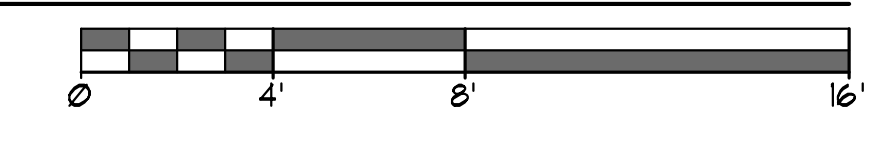
EXHIBIT A

FORD & ASSOCIATES
 1500 West First Avenue
 Columbus, Ohio 43212
 P: 614.488.6252
 F: 614.488.9963
 ARCHITECTS

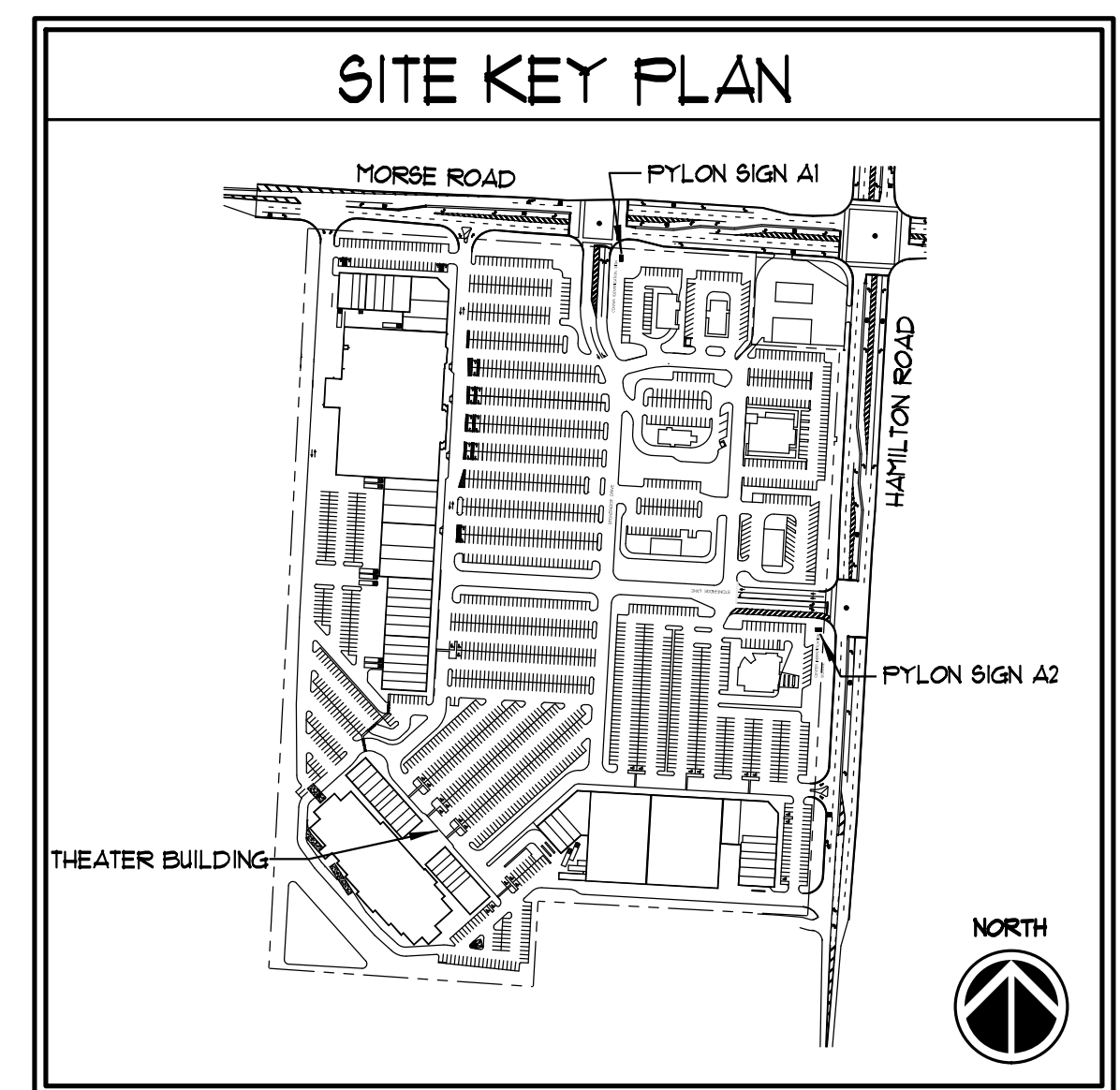
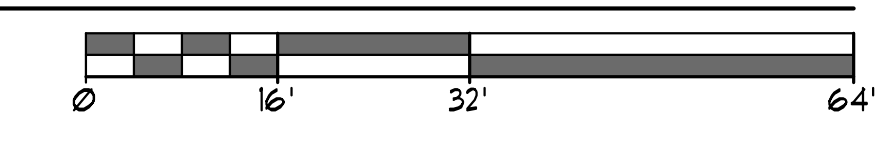
CASTO



A ENLARGED THEATER BUILDING ELEVATION
 SCALE 1/4" = 1'-0"

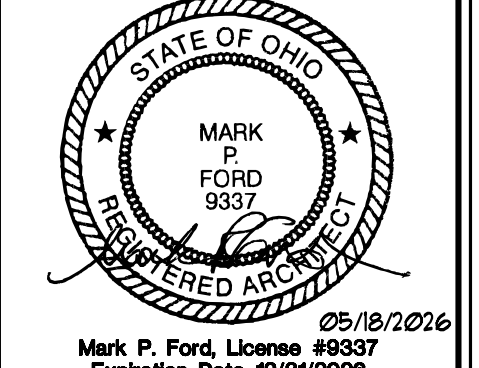


B THEATER BUILDING ELEVATION
 SCALE 1/16" = 1'-0"



STONERIDGE PLAZA - SIGNAGE
 NORTHWEST RETAIL, SOUTHEAST RETAIL, AND THEATER RETAIL BUILDINGS
 STONERIDGE DRIVE, GAHANNA, OH 43230
 For **CASTO**
 250 Civic Center Dr., Suite 500, Columbus, Ohio 43215-2568

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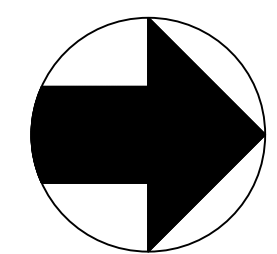
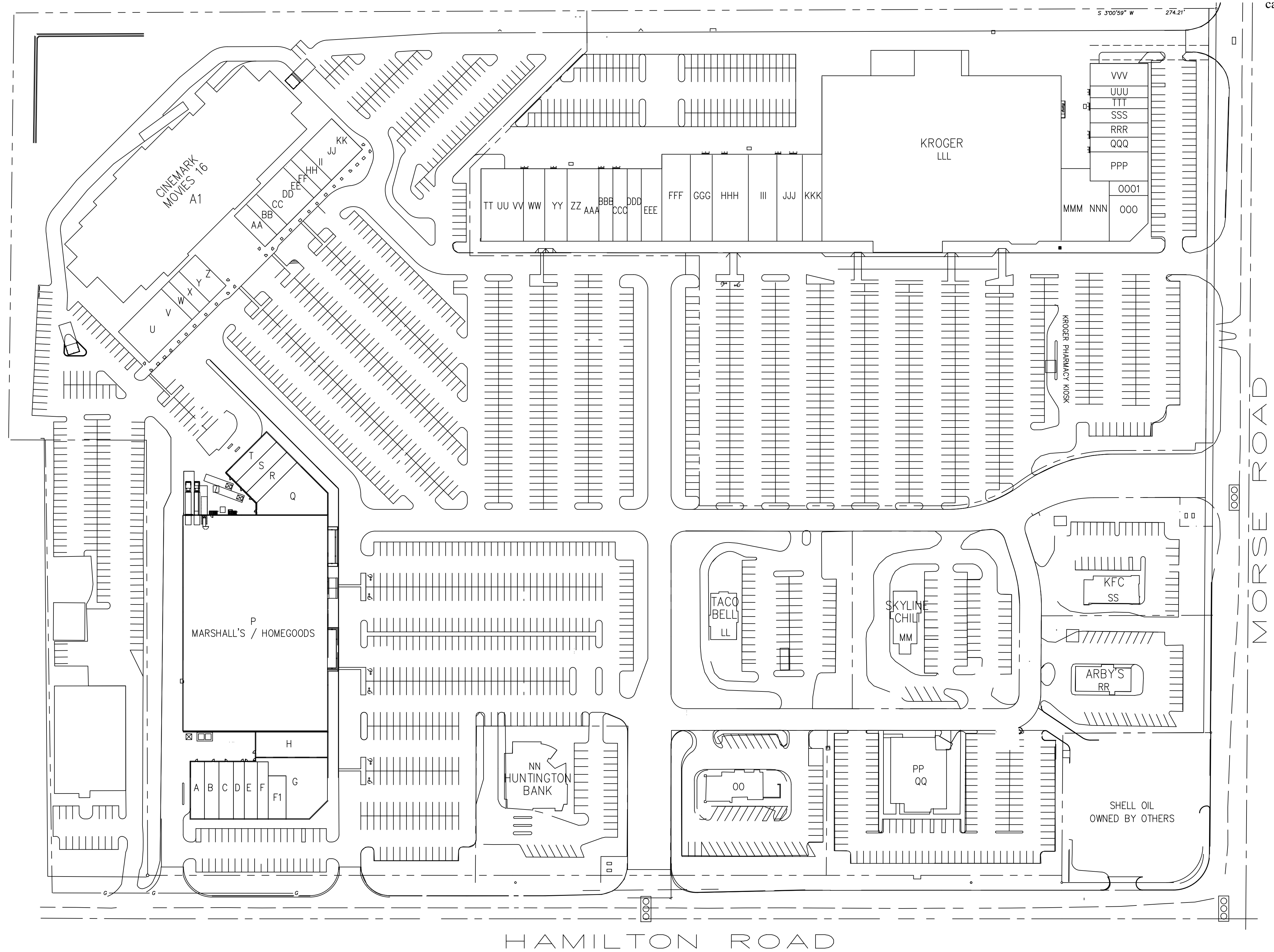
ISSUE	REVISION	DATE
CHECK SET		MAY, 13, 2026
OWNER'S REVIEW		MAY, 15, 2026
PERMIT SET		MAY, 18, 2026

BUILDING SIGNAGE ELEVATIONS
 STONERIDGE PLAZA
Z-1.1



250 Civic Center Drive, Suite 500
 Columbus, Ohio 43215
 614.228.5331
 castoinfo.com

No.	SUITE	TENANT	ADDRESS	SQ. FT.
A	1010	EXPRESSIONS FLORAL DESIGN	1247 NORTH HAMILTON ROAD	1,600
B	1020	SMALLCAKES CUPCAKERY AND CREAMERY	1249 " " "	1,600
C	1030	KEYSTONE CHIROPRACTIC	1251 " " "	1,600
D	1040	VERIZON WIRELESS	1253 " " "	1,200
E	1050	PAK MAIL	1255 " " "	1,440
F	1060	QT SALONS	1257 " " "	1,200
FI	1065	UNDER THE PALM BRONZING BOUTIQUE	1259 " " "	1,567
G	1070	101 BEER KITCHEN	397 STONERIDGE LANE	5,183
H	1080	ALUMNI CLUB BAR & GRILL	395 " " "	3,500
I				
J				
K				
M	310	MARSHALL'S/ HMEGOODS	379 " " "	59,216
N				
O				
P				
Q	1160	EL VAQUERO	375 " " "	4,761
R	1170	SYNERGI SIGNATURE SALON	373 " " "	1,600
S	1180	CPR - CELL PHONE REPAIR	371 " " "	1,600
T	1190	AVIS	369 " " "	1,600
U	2010	THE AMERICAN NATIONAL RED CROSS	337 " " "	4,800
V				
W	2040	Q2 JEWELRY AND SERVICE	331 " " "	900
X	2050	EDWARD JONES INVESTMENTS	329 " " "	1,200
Y	2060	TROPICAL TRENDS	327 " " "	2,100
Z				
A1	320	CINEMARK MOVIES 16	323 " " "	49,786
AA	2070	SUBWAY	321 " " "	1,200
BB				
CC	2080	ORANGETHEORY FITNESS	319 " " "	3,600
DD				
EE	2120	ALLSTATE INSURANCE	313 " " "	1,800
FF				
HH	2130	CHRIS STEFANO'S CUSTOM TAILORING	309 " " "	1,200
II	2140		307 " " "	
JJ	2150	SALON LOFTS	305 " " "	3,600
KK			303 " " "	
LL	450	TACO BELL	1338 " " "	2,304
MM	460	SKYLINE CHILI	1350 STONERIDGE DRIVE	2,400
NN	530	HUNTINGTON BANK	1301 NORTH HAMILTON ROAD	7,892
OO	490	WENDY'S	1309 " " "	2,671
PP	400	MAX & ERMA'S	1313 " " "	7,300
QQ			1317 " " "	
RR	480	ARBY'S	4727 MORSE ROAD	2,606
SS	470	KFC RESTAURANT	4721 " " "	2,799
TT			1301 STONERIDGE DRIVE	
UU	3010	CAP CITY DINER	1303 " " "	6,000
VV			1305 " " "	
WW	3040	HIMALAYAN GRILLE	1307 " " "	3,000
YY	3060	ORIGINAL MATTRESS FACTORY	1311 " " "	3,000
ZZ	3080	H&R BLOCK FINANCIAL SERVICES	1313 " " "	2,500
AAA			1315 " " "	2,000
BBB	3090	MASSAGE ENVY	1317 " " "	4,000
CCC	3100		1319 " " "	
DDD	3110	GENERAL NUTRITION CENTER	1321 " " "	2,000
EEE	3120	ALTSMOKE	1323 " " "	2,500
FFF	3130	ASIAN GOURMET RESTAURANT	1325 " " "	4,800
GGG	3140	MUSIC GO ROUND	1329 " " "	3,600
HHH	3150	KAREN'S HALLMARK	1331 " " "	6,000
III	3160		1335 " " "	4,800
JJJ	3170	PET PEOPLE	1341 " " "	4,200
KKK	3180	HUNTINGTON LEARNING CENTER	1343 " " "	3,000
LLL	100	KROGER	1365 " " "	79,155
MMM	3200		1375 " " "	
NNN	3210	ONCE UPON A CHILD	1385 " " "	6,427
OOO	3220	PIADA ITALIAN STREET FOOD	4697 MORSE ROAD	2,292
OOO1	3225	SPORT CLIPS	4697 MORSE ROAD	1,650
PPP	3230	COMFORT DENTAL	4693 " " "	3,200
QQQ	3240	JIMMY JOHN'S GOURMET SANDWICHES	4691 " " "	1,600
RRR	3250	CENTRAL NAILS	4689 " " "	1,600
SSS	3260	THE WAXX POT	4687 " " "	1,600
TTT	3270	THE JOINT	4685 " " "	1,200
UUU	3280	PAPA JOHN'S PIZZA	4683 " " "	1,200
VVV	3290	BATTERIES PLUS	4681 " " "	2,400



NORTH
 SCALE: 1"=80'-0"

REVISIONS	
No.	DATE
83	9-18-17
84	2-7-18
85	4-20-18
86	5-2-18
87	8-28-18
88	9-21-18
89	10-29-18
90	1-15-19

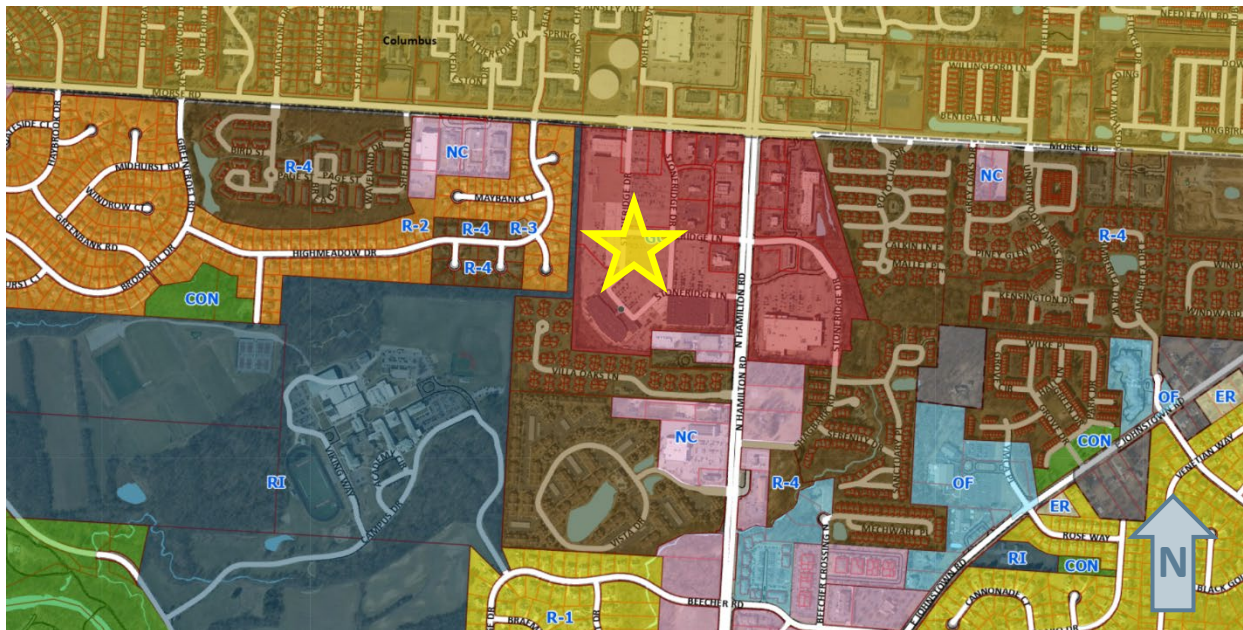
STONERIDGE PLAZA

PLANNING COMMISSION STAFF REPORT

Project Summary – Stoneridge Plaza Master Sign Plan

- Meeting Date:** June 10, 2026
- Location:** 323 Stoneridge Lane
- Zoning:** General Commercial (GC)
- Application Type(s):** Master Sign Plan (MSP)
- Staff Representative:** Maddie Capka, Planner II
- Recommendation:** Staff recommends approval of the application.

Location Map:



Staff Review

History

Phase one of the Stoneridge Plaza Master Sign Plan (MSP) was approved in 1995, and phase two was approved shortly after in 1996. These MSPs contained specific sign standards for the shopping center and regulated size, illumination, placement, and other aspects of tenant signage. Phase one contained specific requirements for Cinemark, while phase one had requirements for the other anchor tenants, including Kroger.

In 2018, an updated MSP for the shopping center was approved by Planning Commission. This new document superseded all previous regulations in the two older MSPs, except for the signs that weren't included in the 2018 version. For those signs, the older regulations in the 1995 and 1996 versions still applied.

In May 2024, Planning Commission denied a Variance application for larger wall signage for Cinemark, which is also located in Stoneridge Plaza and subject to the requirements in the 1995 MSP. The Commission cited concerns on the sign design not fitting the scale and design of the architectural features on the front of the tenant space. applied.

In April 2026, Planning Commission approved a Variance application to allow larger signage than the MSP permitted for Kroger. The MSP allowed a maximum of 72 SF and 8 ft tall for the primary Kroger sign. The variance was for a 290.5 SF primary sign.

Overview

The applicant is requesting approval of a new Master Sign Plan (MSP) Stoneridge Plaza. The proposed MSP includes all tenants except for Kroger and does not include any outparcels. The new MSP will supersede all previous MSPs, except for the requirements for Kroger in phase two. It also includes the existing pylon signage.

Each regular tenant space is allowed one sign that is internally illuminated with individually mounted letters. These signs can be up to 2 SF of graphic area per one linear ft of the tenant's storefront width. The maximum width is 80% of the storefront width and the maximum height is 30 in. Each tenant is also permitted one blade sign near the tenant space main entrance. The maximum length and height are 24 in and 10 in, respectively. These are the same requirements as the 2018 Stoneridge Plaza MSP

The main reason for revising the existing MSP is to update the signage requirements for Cinemark. The signage requirements for Cinemark in phase one included a primary sign that is 13 ft x 6 ft, outlined in exposed 15mm neon, and is 10 ft above finish grade. It also required that there be a sign that reads "Movies 16" and is 60 SF. The updated requirements for Cinemark are a 118 SF sign where the "Movies 16" sign is today, and a 72.5 SF primary sign above the theater entrance. This allows for more flexibility in sign design than the previous regulations.

There are also new requirements for all pylon signage. The requirements allow for a 54 SF sign area underneath the "StoneRidge" lettering. This sign area is for tenant signage.

All signage for the site must receive landlord approval prior to applying for a Permanent Sign Permit, where the signs will then be reviewed by City Staff.

Review Criteria

Master Sign Plan (MSP)

Planning Commission shall approve an application for a Master Sign Plan if the following four conditions are met:

- 1) The proposed signs meet the applicable development standards of this Zoning Ordinance, unless variances are being requested;
- 2) The proposed signs are sited and scaled appropriately to create a cohesive character for the multi-tenant building or multi-building development;
- 3) The proposed signs are not in conflict with public streets, open spaces, public or private utilities, or rights-of-way; and
- 4) The proposed signs would not have undesirable effects on the surrounding area.

Recommendation

Staff recommends approval of the Master Sign Plan as submitted. The new MSP is consistent with the one approved in 2018, except that the new one has updated requirements for the theater/Cinemark tenant space, and requirements for the pylon signage. The sign area for the theater space addresses previous concerns from the Commission that the signage should fit the available area on the tenant space elevation. Staff also believes that all four criteria are met.