

## FINAL DEVELOPMENT PLAN APPLICATION

PROPERTY INFORMATION		
Project/Property Address:	Project Name/Business Name:	
Parcel #:	Zoning: <i>(see <a href="#">Map</a>)</i>	Acreage Residential Subarea -16.666 Future Development Subarea - 15.01 LMFRD and SCPD Total - 31.676

PLAN SPECIFICATIONS
Project Description & Proposed Use(s):

APPLICANT INFORMATION	
Applicant Name <i>(Primary Contact):</i>	Applicant Address:
Applicant E-mail:	Applicant Phone:
Business Name <i>(if applicable):</i>	

ADDITIONAL CONTACTS	
*Please list all applicable contacts for correspondence*	
Name(s)	Contact Information (phone/email)
Property Owner Name: <i>(if different from Applicant)</i>	Property Owner Contact Information (phone no./email):

**APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED**

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature:  Date: \_\_\_\_\_

**ADDITIONAL INFORMATION ON NEXT PAGE....**

INTERNAL USE

Zoning File No. <u>FDP-0057-2023</u>
--------------------------------------

RECEIVED: <u>KAW</u>
DATE: <u>02-16-2023</u>

PAID: <u>1000.00</u>
DATE: <u>02-16-2023</u>

**Updated  
Apr 2022**

## AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

**PROPERTY OWNER**

**IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION**

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

\_\_\_\_\_ (property owner name printed)

\_\_\_\_\_ (property owner signature) \_\_\_\_\_ (date)

Subscribed and sworn to before me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

State of \_\_\_\_\_ County of \_\_\_\_\_

Stamp or Seal

Notary Public Signature: \_\_\_\_\_

**Applicant/Property Owner/Representative**

**AGREEMENT TO COMPLY AS APPROVED** As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

**AUTHORIZATION TO VISIT THE PROPERTY** I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described.

**APPLICATION SUBMISSION CERTIFICATION** I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

Griffin Caldwell (authorized rep)  
\_\_\_\_\_ (applicant/representative/property owner name printed)

Griffin Caldwell \_\_\_\_\_ 2/10/23  
(applicant/representative/property owner signature) (date)

Subscribed and sworn to before me on this 10<sup>th</sup> day of February, 2023.

State of Ohio County of Franklin

Notary Public Signature: \_\_\_\_\_



Steven K. Dankof, Jr., Attorney At Law  
NOTARY PUBLIC - STATE OF OHIO  
My commission has no expiration date  
Sec. 147.03 R.C.

**APPLICANT:**

CP Crescent LLC  
250 Civic Center Drive, Suite 500  
Columbus, Ohio 43215

**PROPERTY OWNER:**

CP Crescent LLC  
250 Civic Center Drive, Suite 500  
Columbus, Ohio 43215

**ATTORNEY:**

Aaron L. Underhill  
Underhill & Hodge LLC  
8000 Walton Parkway, Suite 260  
New Albany, Ohio 43054

**SURROUNDING PROPERTY OWNERS:**

Walnut Creek Mob LLC  
P.O. Box 887  
New Albany, Ohio 43054

Crescent at Central Park LLC  
132 Preston Road  
Columbus, OH 43209

Columbus Regional Airport  
Authority (City of Columbus)  
4600 International Gateway  
Columbus, OH 43219

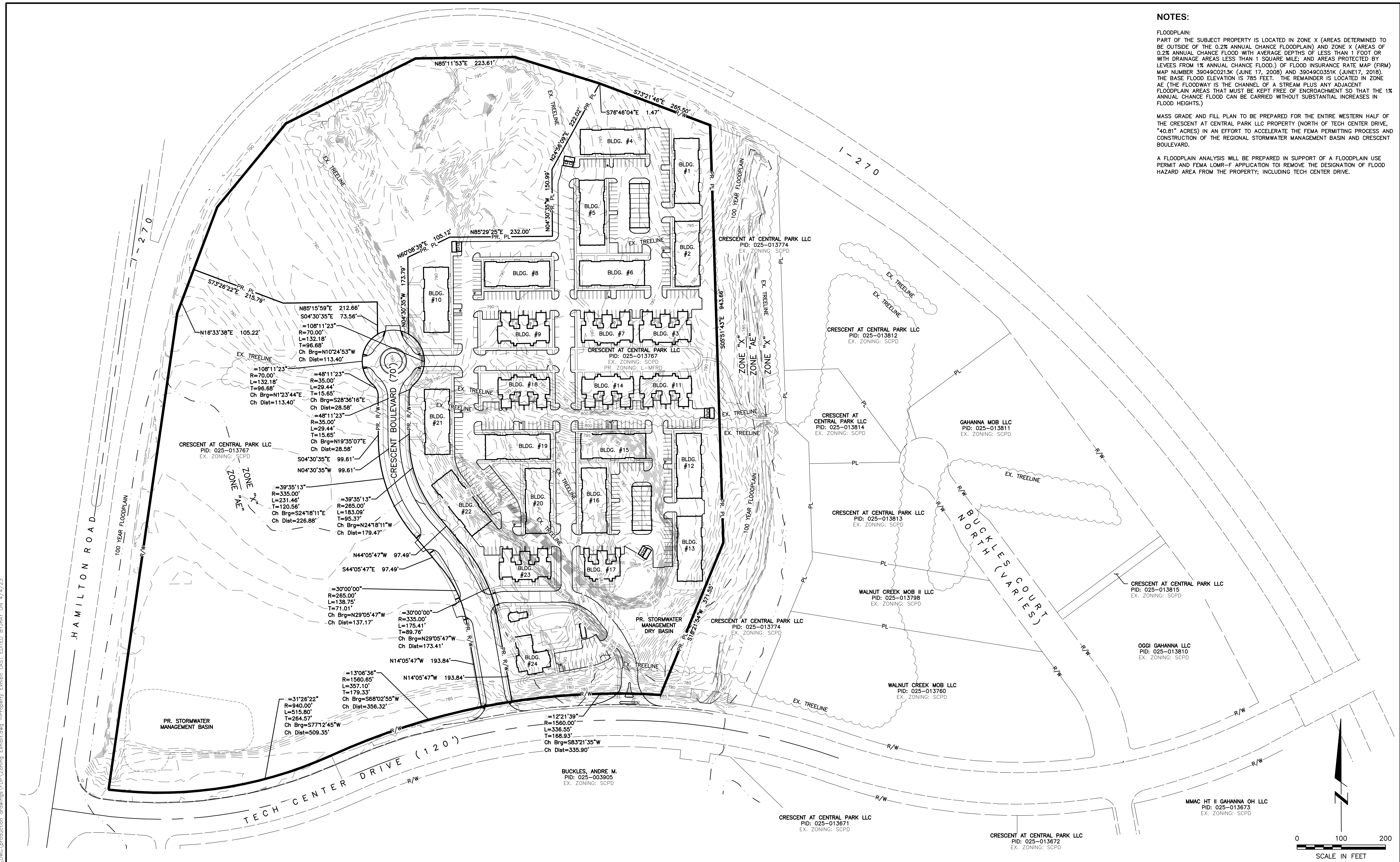
City of Gahanna  
200 North Hamilton  
Gahanna, Ohio 43230

**NOTES:**

**FLOODPLAIN:**  
 PART OF THE SUBJECT PROPERTY IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND ZONE X (AREAS OF 0.2% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.) OF FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 39049C0213K (JUNE 17, 2008) AND 39049C0351K (JUNE 17, 2018). THE BASE FLOOD ELEVATION IS 785 FEET. THE REMAINDER IS LOCATED IN ZONE AE (THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD HEIGHTS.)

MASS GRADE AND FILL PLAN TO BE PREPARED FOR THE ENTIRE WESTERN HALF OF THE CRESCENT AT CENTRAL PARK LLC PROPERTY (NORTH OF TECH CENTER DRIVE, "40.81" ACRES) IN AN EFFORT TO ACCELERATE THE FEMA PERMITTING PROCESS AND CONSTRUCTION OF THE REGIONAL STORMWATER MANAGEMENT BASIN AND CRESCENT BOULEVARD.

A FLOODPLAIN ANALYSIS WILL BE PREPARED IN SUPPORT OF A FLOODPLAIN USE PERMIT AND FEMA LOMR-F APPLICATION TO REMOVE THE DESIGNATION OF FLOOD HAZARD AREA FROM THE PROPERTY, INCLUDING TECH CENTER DRIVE.



M:\958011\_crescentpark\DWG\production drawings\FDP\Zoning Exhibit.dwg ~Property Exhibit LAST EDITED BY: JAR ON 4/4/23

REVISIONS	DATE	BY	CHK.

**E. P. FERRIS**  
 AND  
**ASSOCIATES**  
 INC.

Consulting Civil Engineers and Surveyors

2130 QUARRY TRAILS DR,  
 2ND FLOOR  
 COLUMBUS, OHIO 43228  
 (614) 299-2999  
 (614) 299-2992 (Fax)  
 www.EPFERRIS.com

CITY OF GAHANNA, OHIO  
**CRESCENT WOODS APARTMENTS**  
 CASTO COMMUNITIES

JOB NO.	0958.011
DESIGNED BY:	JAR
DRAWN BY:	JAR
CHECKED BY:	CLP
APPROVED BY:	-
DATE:	04/04/23

SCALE:		1" = 100'
SHEET NO.	OF	
1	2	

**UTILITY SERVICE STATEMENT:**

**SANITARY:** THE SANITARY SEWER WILL BE PROPOSED MAIN LINE THAT EXTENDS OFF THE EXISTING SANITARY SEWER (18" PER C1667) ALONG THE EAST SIDE OF THE SITE. THE EXTENSION OF THE SANITARY SEWER WILL PROVIDE SANITARY CONNECTION TO THE PROPOSED DEVELOPMENT.

**STORM SEWERS:** THE STORM SEWER WILL CONSIST OF A PRIVATE ON-SITE SYSTEM THAT WILL OUTLET TO A REGIONAL STORMWATER MANAGEMENT BASIN. THE REGIONAL STORMWATER MANAGEMENT BASIN WILL BE LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF TECH CENTER DRIVE WITH HAMILTON ROAD. THE STORMWATER MANAGEMENT SYSTEM WILL MEET OR EXCEED THE CITY OF GAHANNA AND OSPA STORMWATER QUALITY AND QUANTITY REQUIREMENTS.

**STORMWATER MANAGEMENT BASIN:** THE PROPOSED PUBLIC BASINS DEPICTED ON THIS PLAN SHALL BE PRIVATELY OWNED AND MAINTAINED.

**WATER SERVICE:** WATER AND FIRE SERVICES WILL BE PROVIDED TO THE SITE BY THE EXTENSION OF THE EXISTING WATER MAIN (8" PER FRA-TECH CENTER DRIVE EXTENSION) CURRENTLY LOCATED ALONG THE NORTH SIDE OF TECH CENTER DRIVE. THE WATER MAIN WILL EXTEND ALONG THE PROPOSED PUBLIC ROAD CALLED CRESCENT BOULEVARD AND PROVIDE WATER AND FIRE SERVICE CONNECTIONS FOR THE PROPOSED DEVELOPMENT.

**PUBLIC EASEMENTS:** THE CITY IS NOT RESPONSIBLE FOR THE UPKEEP, MAINTENANCE, OR RENEWAL OF THE GROUNDS OR IMPROVEMENTS WITHIN THE PROPOSED PUBLIC EASEMENT.

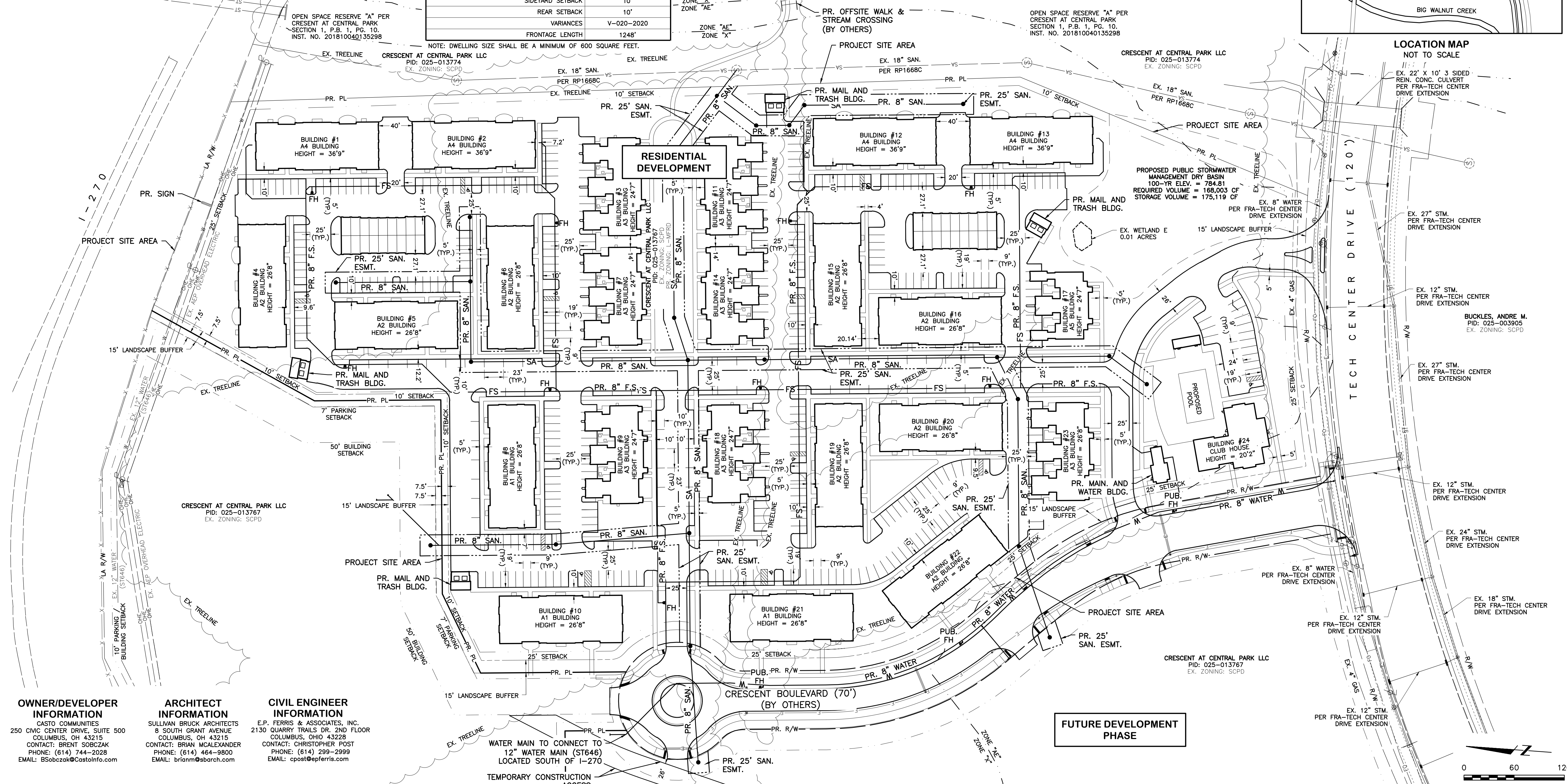
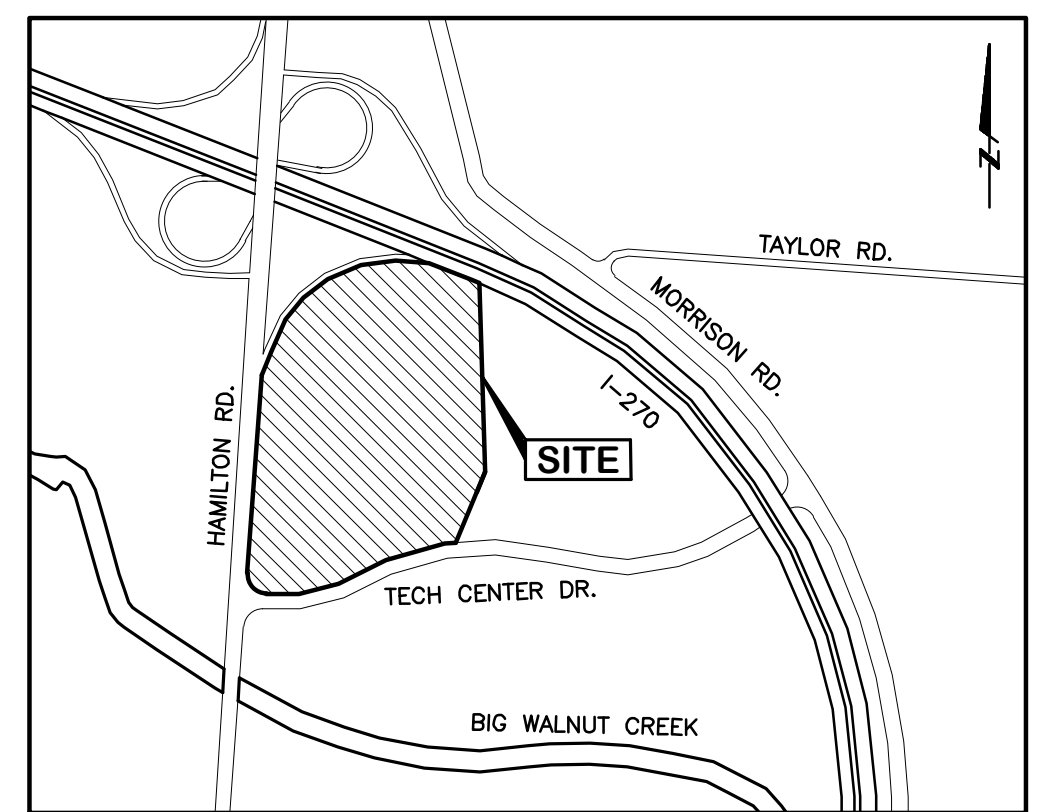
GENERAL ZONING INFORMATION	
ZONING	L-MFRD
TOTAL UNITS	294
NUMBER OF DWELLING UNITS IN A1 BUILDINGS	16
NUMBER OF DWELLING UNITS IN A2 BUILDINGS	14
NUMBER OF DWELLING UNITS IN A3 BUILDINGS	6
NUMBER OF DWELLING UNITS IN A4 BUILDINGS	22
NUMBER OF DWELLING UNITS IN A5 BUILDINGS	4
BUILDING HEIGHT FOR A1 BUILDINGS	26' 8"
BUILDING HEIGHT FOR A2 BUILDINGS	26' 8"
BUILDING HEIGHT FOR A3 BUILDINGS	24' 7"
BUILDING HEIGHT FOR A4 BUILDINGS	36' 9"
BUILDING HEIGHT FOR A5 BUILDINGS	24' 7"
FRONT SETBACK	25'
SIDEYARD SETBACK	10'
REAR SETBACK	10'
VARIANCES	V-020-2020
FRONTAGE LENGTH	1248'

SITE DATA TABLE		
DESCRIPTION	QUANTITY	UNIT
TOTAL SITE AREA	16.66 (725,853 SF)	AC.
TOTAL DISTURBED AREA (ON-SITE)	16.08	AC.
PRE-DEVELOPED IMPERVIOUS AREA	0.00	AC.
POST-DEVELOPED IMPERVIOUS AREA	10.74	AC.
BUILDING COVERAGE	4.24	AC.
VEHICULAR AREAS	5.24	AC.
SIDEWALK & CONCRETE AREAS	1.26	AC.
UNCOVERED LAND	5.92	AC.
OPEN SPACE	3.17 (19.0%)	AC.
MAXIMUM LOT COVERAGE ALLOWED	35	%
MAXIMUM LOT COVERAGE PROVIDED	25.5	%

NOTE: A MINIMUM 15% OF THE DEVELOPABLE AREA SHALL BE OPEN SPACE.

PARKING CALCULATION	
PARKING:	NUMBER OF SPACES
TOTAL PARKING SPACES REQUIRED - 2 SPACES PER DWELLING UNIT	588
PARKING LOT SPACES	408
GARAGE SPACES	106
DETACHED GARAGE SPACES	36
TOTAL PARKING SPACES PROVIDED	550
ACCESSIBLE SPACES REQUIRED	11 TOTAL / 2 VAN
ACCESSIBLE SPACES PROVIDED	11 TOTAL / 2 VAN

NOTE: GARAGE FACILITIES ARE PERMITTED BUT SHALL NOT BE GREATER IN SIZE THAN 1/3 THE FLOOR AREA OF EACH UNIT.



**OWNER/DEVELOPER INFORMATION**  
 CASTO COMMUNITIES  
 250 CIVIC CENTER DRIVE, SUITE 500  
 COLUMBUS, OH 43215  
 CONTACT: BRENT SOBCEK  
 PHONE: (614) 744-2028  
 EMAIL: BSobczak@CastoInfo.com

**ARCHITECT INFORMATION**  
 SULLIVAN BRUCK ARCHITECTS  
 8 SOUTH GRANT AVENUE  
 COLUMBUS, OHIO 43228  
 CONTACT: BRIAN MCALLEXANDER  
 PHONE: (614) 464-9800  
 EMAIL: brianm@sbrarch.com

**CIVIL ENGINEER INFORMATION**  
 E.P. FERRIS & ASSOCIATES, INC.  
 2130 QUARRY TRAILS DR. 2ND FLOOR  
 COLUMBUS, OHIO 43228  
 CONTACT: CHRISTOPHER POST  
 PHONE: (614) 299-2999  
 EMAIL: cpost@epferris.com

WATER MAIN TO CONNECT TO  
 12" WATER MAIN (ST646)  
 LOCATED SOUTH OF I-270  
 TEMPORARY CONSTRUCTION  
 ACCESS

**FUTURE DEVELOPMENT PHASE**

REVISIONS	DATE	BY	CHK.

**E. P. FERRIS AND ASSOCIATES INC.**  
 Consulting Civil Engineers and Surveyors

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**CITY OF GAHANNA, OHIO**  
**CRESCENT WOODS APARTMENTS**  
 CASTO COMMUNITIES

JOB NO.	0958.011
DESIGNED BY:	JAR
DRAWN BY:	JAR
CHECKED BY:	CLP
APPROVED BY:	-
DATE:	04/26/23

**SITE PLAN - RESIDENTIAL**

SCALE:	1" = 60'
SHEET NO.	1
OF	2

M:\958011\_CrescentPark\DWG\Production Drawings\FDP\_Site Plan.dwg - Site Plan LAST EDITED BY JAR ON 4/26/23

**UTILITY SERVICE STATEMENT:**

**SANITARY:** THE SANITARY SEWER WILL BE PROPOSED MAIN LINE THAT EXTENDS OFF THE EXISTING SANITARY SEWER (18" PER C1667) ALONG THE EAST SIDE OF THE RESIDENTIAL SITE. THE EXTENSION OF THE SANITARY SEWER WILL PROVIDE SANITARY CONNECTION TO THE PROPOSED DEVELOPMENT.

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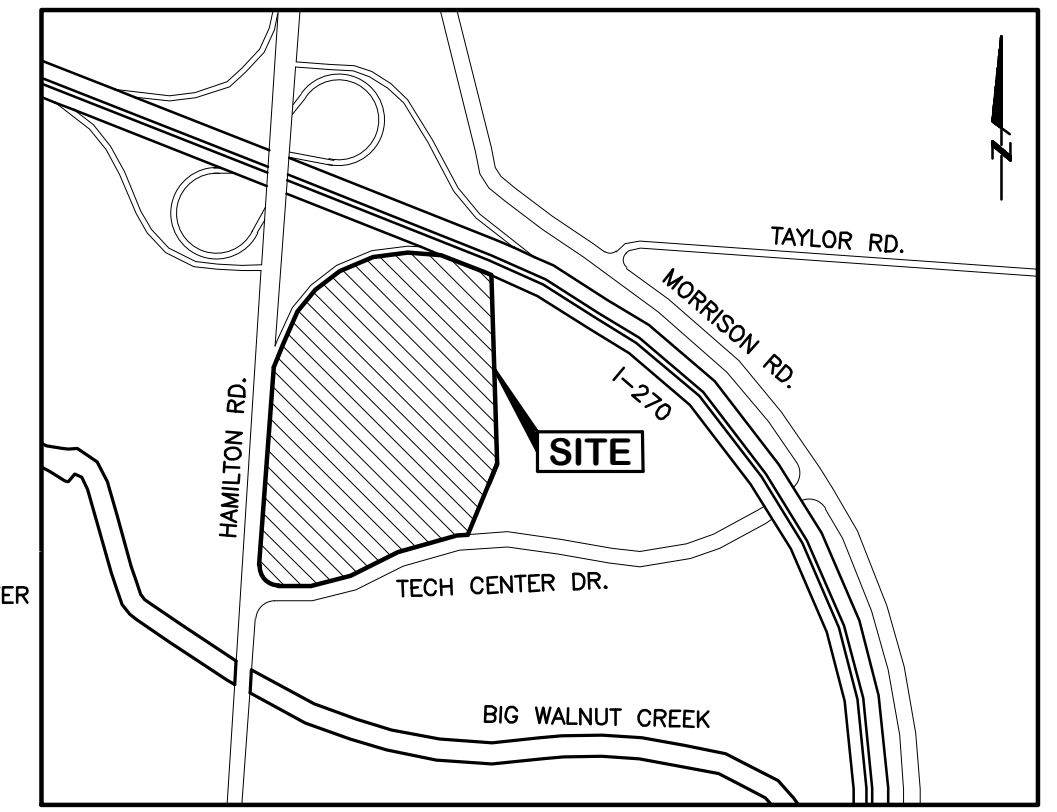
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SITE DATA TABLE		
DESCRIPTION	QUANTITY	UNIT
TOTAL SITE AREA	15.01 (653,836 SF)	AC.
TOTAL DISTURBED AREA (ON-SITE)	15.01	AC.
PRE-DEVELOPED IMPERVIOUS AREA	0.00	AC.
POST-DEVELOPED IMPERVIOUS AREA	FUTURE DEVELOPMENT	AC.
BUILDING COVERAGE	FUTURE DEVELOPMENT	AC.
VEHICULAR AREAS	FUTURE DEVELOPMENT	AC.
SIDEWALK & CONCRETE AREAS	FUTURE DEVELOPMENT	AC.
UNCOVERED LAND	FUTURE DEVELOPMENT	AC.
OPEN SPACE	FUTURE DEVELOPMENT	AC.
MAXIMUM LOT COVERAGE ALLOWED	FUTURE DEVELOPMENT	%
MAXIMUM LOT COVERAGE PROVIDED	FUTURE DEVELOPMENT	AC.

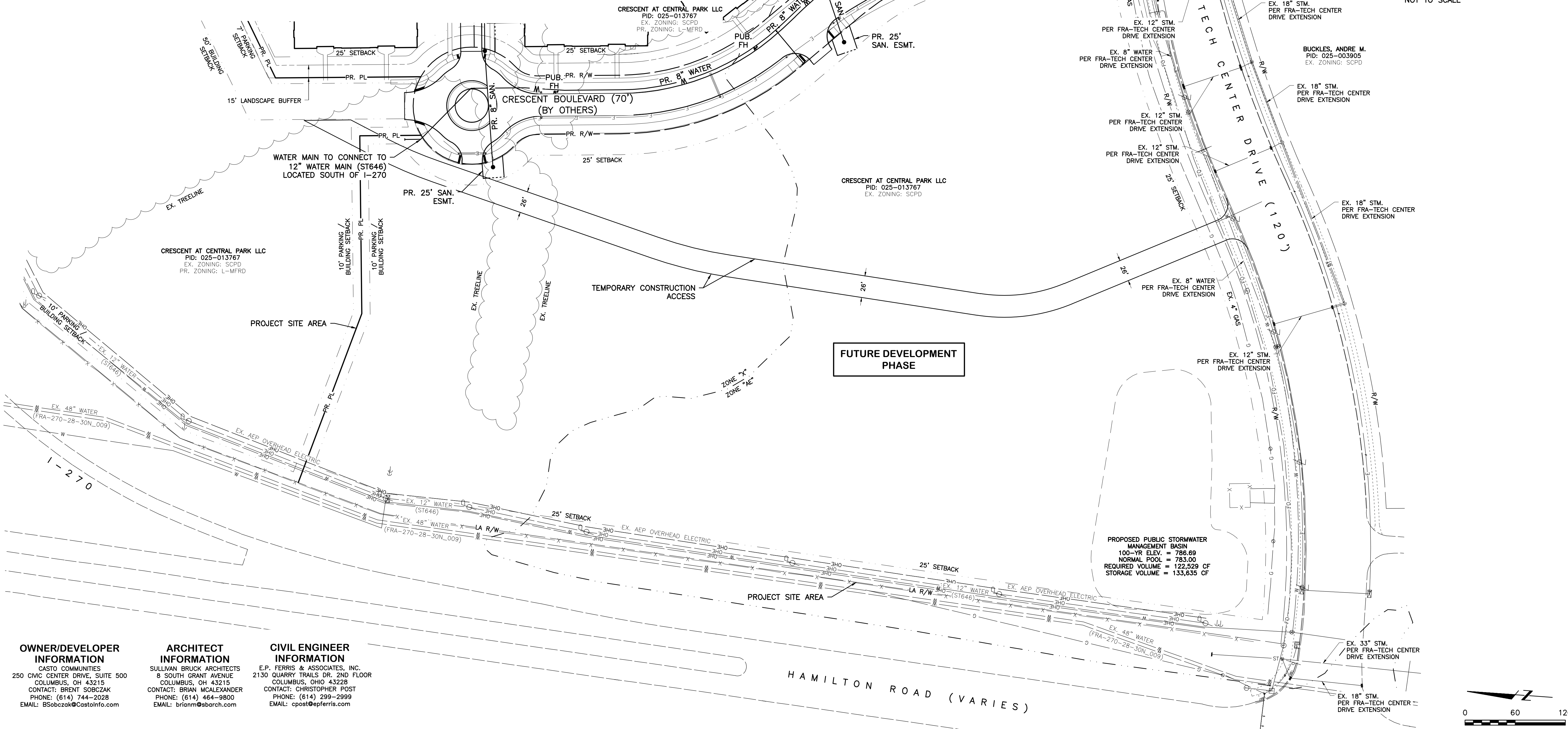
NOTE: A MINIMUM 15% OF THE DEVELOPABLE AREA SHALL BE OPEN SPACE.

GENERAL ZONING INFORMATION	
ZONING	SCPD
FRONT SETBACK	25'
SIDEYARD SETBACK	10'
REAR SETBACK	10'
VARIANCES	FUTURE DEVELOPMENT

**RESIDENTIAL DEVELOPMENT - SEE SHEET 1**



LOCATION MAP NOT TO SCALE

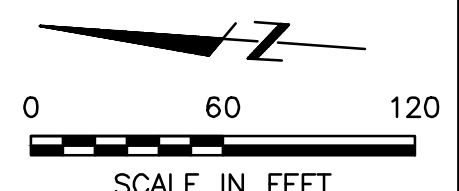


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 PHONE: (614) 299-2999  
 EMAIL: cpost@epferris.com

PROPOSED PUBLIC STORMWATER MANAGEMENT BASIN  
 100-YR ELEV. = 786.69  
 NORMAL POOL = 783.00  
 REQUIRED VOLUME = 122,529 CF  
 STORAGE VOLUME = 133,635 CF



SCALE: 1" = 60'  
 SHEET NO. 2 OF 2

REVISIONS	DATE	BY	CHK.

**E. P. FERRIS AND ASSOCIATES INC.**  
 Consulting Civil Engineers and Surveyors

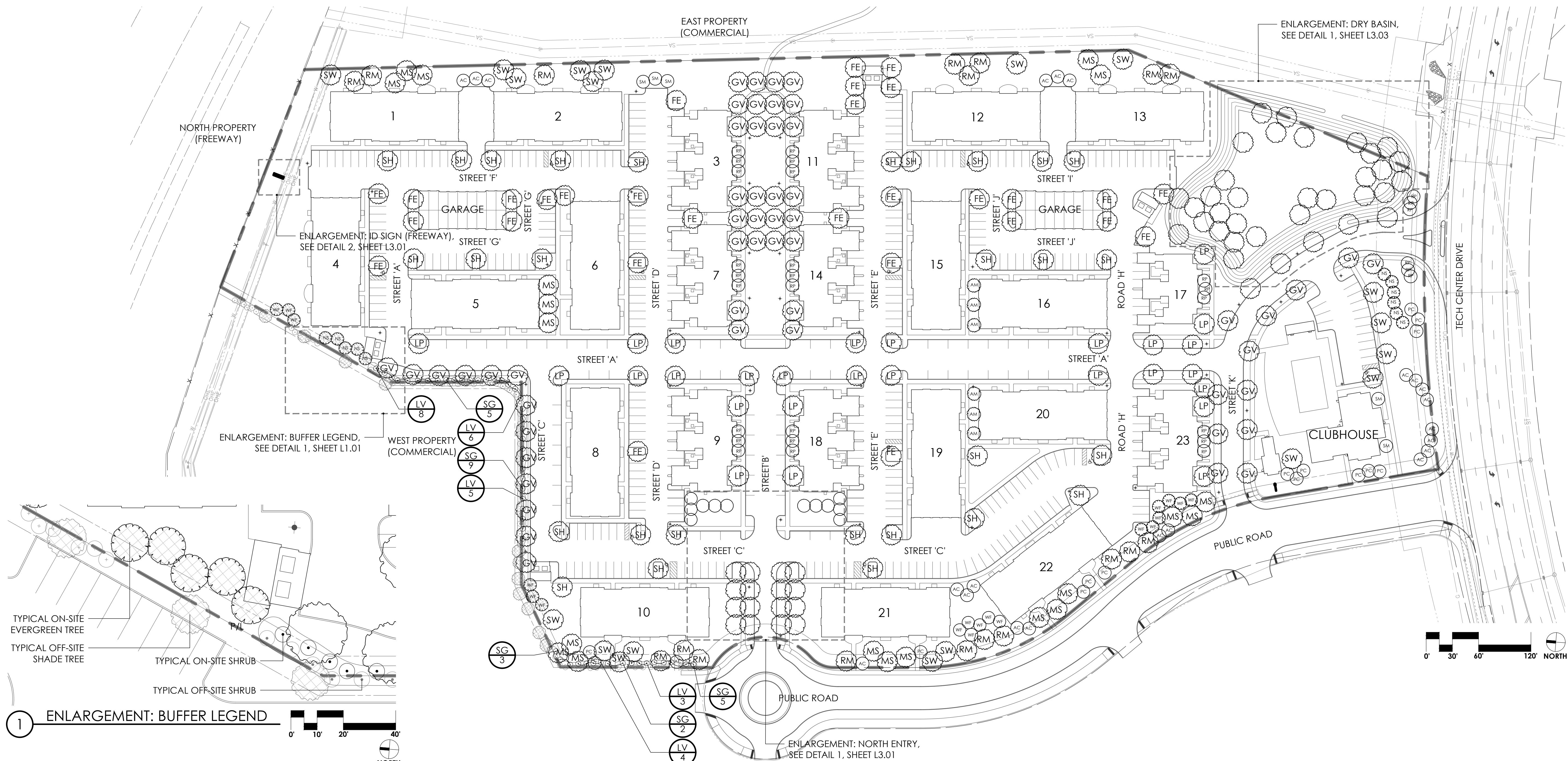
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CITY OF GAHANNA, OHIO  
**CRESCENT WOODS APARTMENTS**  
 CASTO COMMUNITIES

JOB NO. 0958.011  
 DESIGNED BY: JAR  
 DRAWN BY: JAR  
 CHECKED BY: CLP  
 APPROVED BY: -  
 DATE: 04/26/23

**SITE PLAN - FUTURE DEVELOPMENT PHASE**

M:\958011\_CrescentPark\DWG\Production Drawings\FDP\_Site Plan.dwg - Site Plan (2) LAST EDITED BY: JAR ON 4/26/23



PLANT MATERIALS LIST NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.

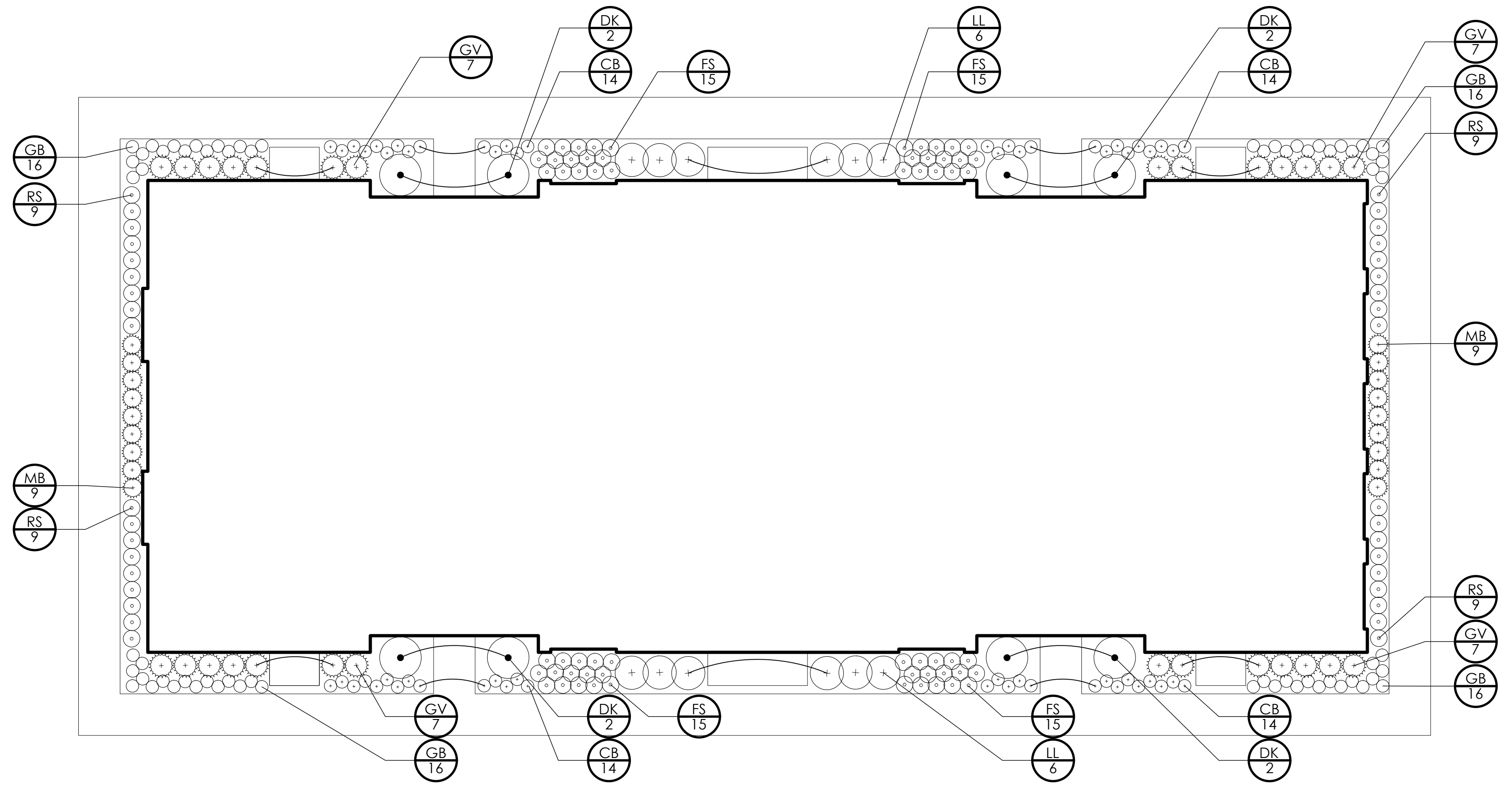
QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHADE TREES</b>						
6	AM	ARMSTRONG MAPLE	Acer rubrum 'Armstrong'	3" Cal.	B&B	
18	RM	RED SUNSET RED MAPLE	Acer rubrum 'Red Sunset'	3" Cal.	B&B	
28	SH	SKYLINE HONEYLOCUST	Gleditsia triacanthos var. inermis 'Skyline'	3" Cal.	B&B	
19	MS	MORAINED SWEETGUM	Liquidambar styraciflua 'Moraine'	3" Cal.	B&B	
27	LP	EXCLAMATION LONDON PLANETREE	Platanus acerifolia 'Marton Circle'	3" Cal.	B&B	
19	SW	SWAMP WHITE OAK	Quercus bicolor	3" Cal.	B&B	
29	FE	FRONTIER ELM	Ulmus 'Frontier'	3" Cal.	B&B	
53	GV	GREEN VASE ZELKOVA	Zelkova serrata 'Green Vase'	3" Cal.	B&B	
<b>ORNAMENTAL TREES</b>						
30	RP	RAINBOW PILLAR SERVICEBERRY	Amelanchier canadensis 'Glenn Form' Rainbow Pillar	3" Cal.	B&B	
5	SM	SWEETBAY MAGNOLIA	Magnolia virginiana	3" Cal.	B&B	
23	AC	ADIRONDACK CRABAPPLE	Malus 'Adirondack'	3" Cal.	B&B	
15	PC	PRAIRIFIRE FLOWERING CRABAPPLE	Malus 'Prairifire'	3" Cal.	B&B	
<b>EVERGREEN TREES</b>						
19	WF	WHITE FIR	Abies concolor	6' Hgt.	B&B	
11	NS	NORWAY SPRUCE	Picea abies	6' Hgt.	B&B	
<b>BUFFER SHRUBS</b>						
24	SG	SEA GREEN JUNIPER	Juniperus x pfitzeriana 'Sea Green'	36" Hgt.	Cont	
26	LV	LEATHERLEAF VIBURNUM	Viburnum rhytidophyllum	36" Hgt.	Cont	

**CHAPTER 913 LANDSCAPING REQUIREMENTS SUMMARY**

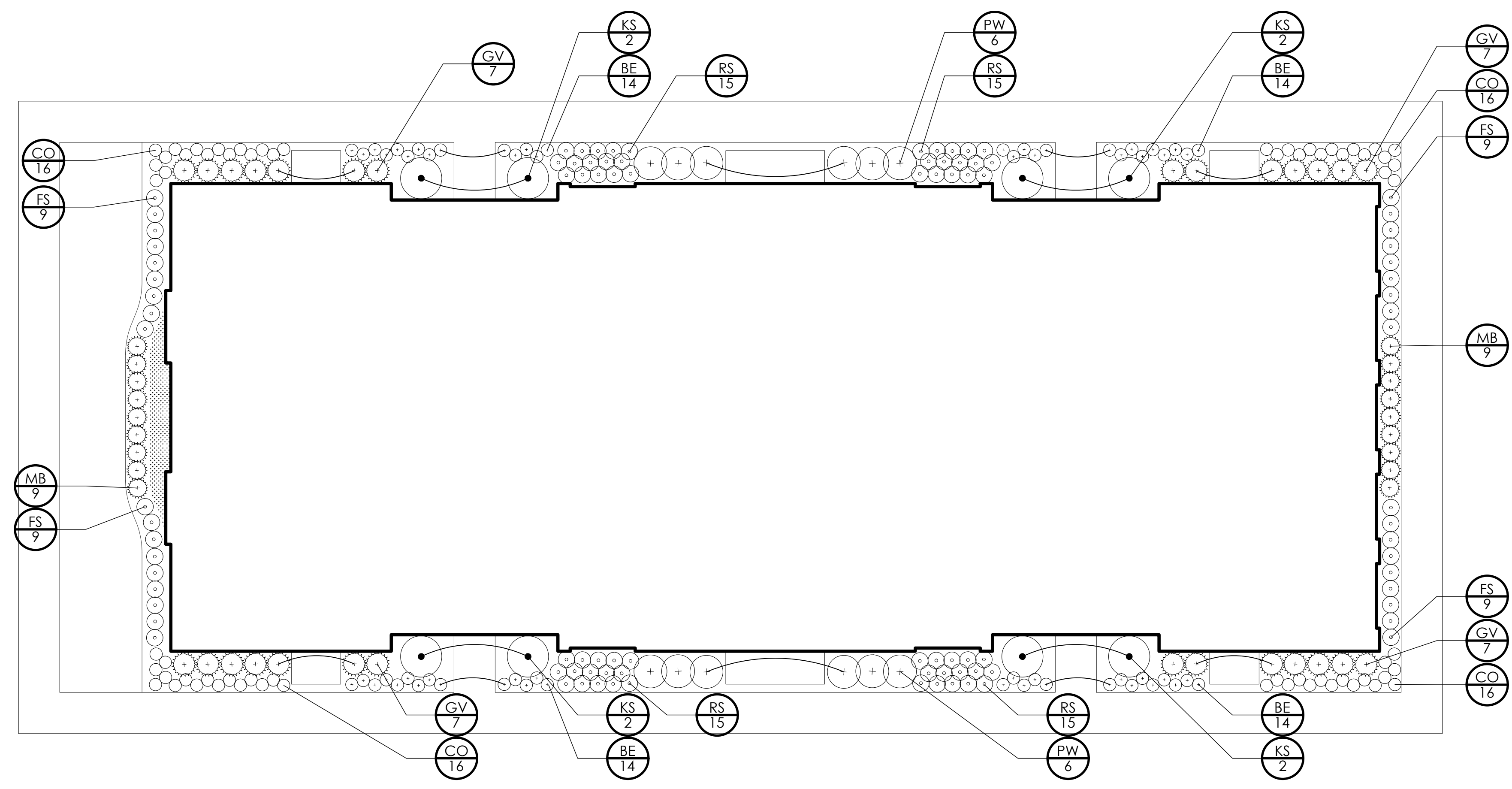
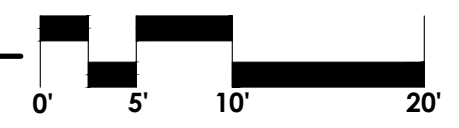
<b>914.05 MINIMUM TREES REQUIRED</b>	
Impervious Surface Area:	10.74 Acres (467,834.4 SF)
Impervious Area (SF) / 1,000 = Caliper Inches Required	467,834.4 SF / 1,000 = 467.8"
Trees Required @ 3" Caliper =	156 (468 Caliper Inches)
<b>1163.08 INTERIOR LANDSCAPING REQUIREMENTS</b>	
Vehicular Area:	5.24 Acres (228,254.4 SF)
Vehicular Area (SF) X 5% = Interior Landscape Area Required	228,254.4 SF X 5% = 11,412.7 SF
Interior Landscape Area Provided:	21,879.1 SF (9.6%)
Interior Landscape Area / 100 SF = Trees Required	11,412.7 SF / 100 SF = 115
Trees Required @ 3" Caliper =	115 (345 Caliper Inches)
TOTAL Trees Required @ 3" Caliper	271 Trees (813 Caliper Inches)
TOTAL Trees Provided @ 3" Caliper	329 Trees (987 Caliper Inches)

**CHAPTER 1167.20 PROPERTY PERIMETER REQUIREMENTS**

<b>1167.20(b)(2) ANY RESIDENCE ADJOINING ANY COMMERCIAL ZONE (WEST)</b>	
Required	Provided
15' Buffer Zone adjacent to all common boundaries except street frontage.	7.5' Landscape Setback on project site and 7.5' Landscape Setback on adjoining site. 15' provided in front of building #10.
1 Tree for each 40 feet of linear boundary.	879 LF / 40 = 22 Trees, 11 On-Site, 11 Off-Site. Off-site requirements to be provided by others.
Continuous 6' high planting, hedge, fence, wall or earth mound.	50% provided on project site and 50% provided on adjoining property. Off-site requirements to be provided by others.
<b>1167.20(b)(7) ANY RESIDENCE ADJOINING ANY FREEWAY OR ARTERIAL STREET (NORTH)</b>	
Required	Provided
	Approved Variance V-0037-2021 - to eliminate the required buffer zone/planting along freeway frontage.
<b>1167.20(b)(2) ANY RESIDENCE ADJOINING ANY COMMERCIAL ZONE (EAST)</b>	
Required	Provided
	Request to vary from 1167.20(b)(2) - to eliminate the required buffer zone/planting along eastern boundary line adjacent to a commercial zone.



1 BUILDING 8



2 BUILDINGS 10 & 21



PLANT MATERIALS LIST: BUILDING 8

QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHRUBS</b>						
28	GV	GREEN VELVET BOXWOOD	Buxus x 'Green Velvet'	24" Hgt.	Cont.	
12	LL	LITTLE LIME HYDRANGEA	Hydrangea paniculata 'Little Lime'	24" Hgt.	Cont.	
8	DK	DWARF KOREAN LILAC	Syringa meyeri 'Palibin'	24" Hgt.	Cont.	
18	MB	MR BOWLING BALL ARBORVITAE	Thuja occidentalis 'Bobozam'	24" Hgt.	Cont.	
<b>PERENNIALS / GRASSES / GROUNDCOVER</b>						
64	GB	GOING BANANAS DAYLILY	Hemerocallis 'Going Bananas'	1 Gal.	Cont.	
56	CB	PURPLE PALACE CORAL BELLS	Heuchera micrantha var. diversifolia 'Palace Purple'	1 Gal.	Cont.	
36	RS	RED SWITCHGRASS	Panicum virgatum 'Shenandoah'	2 Gal.	Cont.	
60	FS	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hameln'	2 Gal.	Cont.	

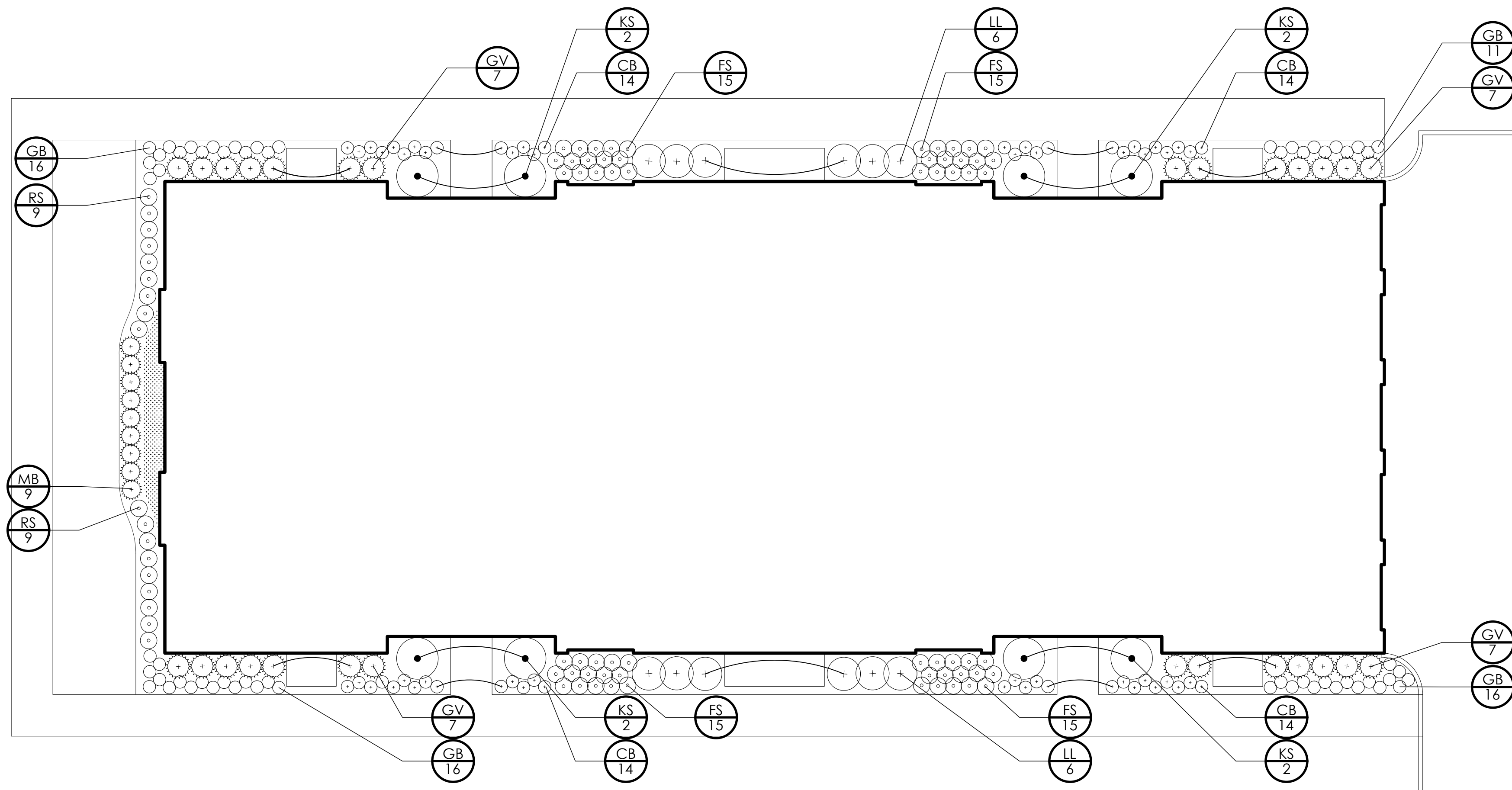
NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.

PLANT MATERIALS LIST: BUILDINGS 10 & 21

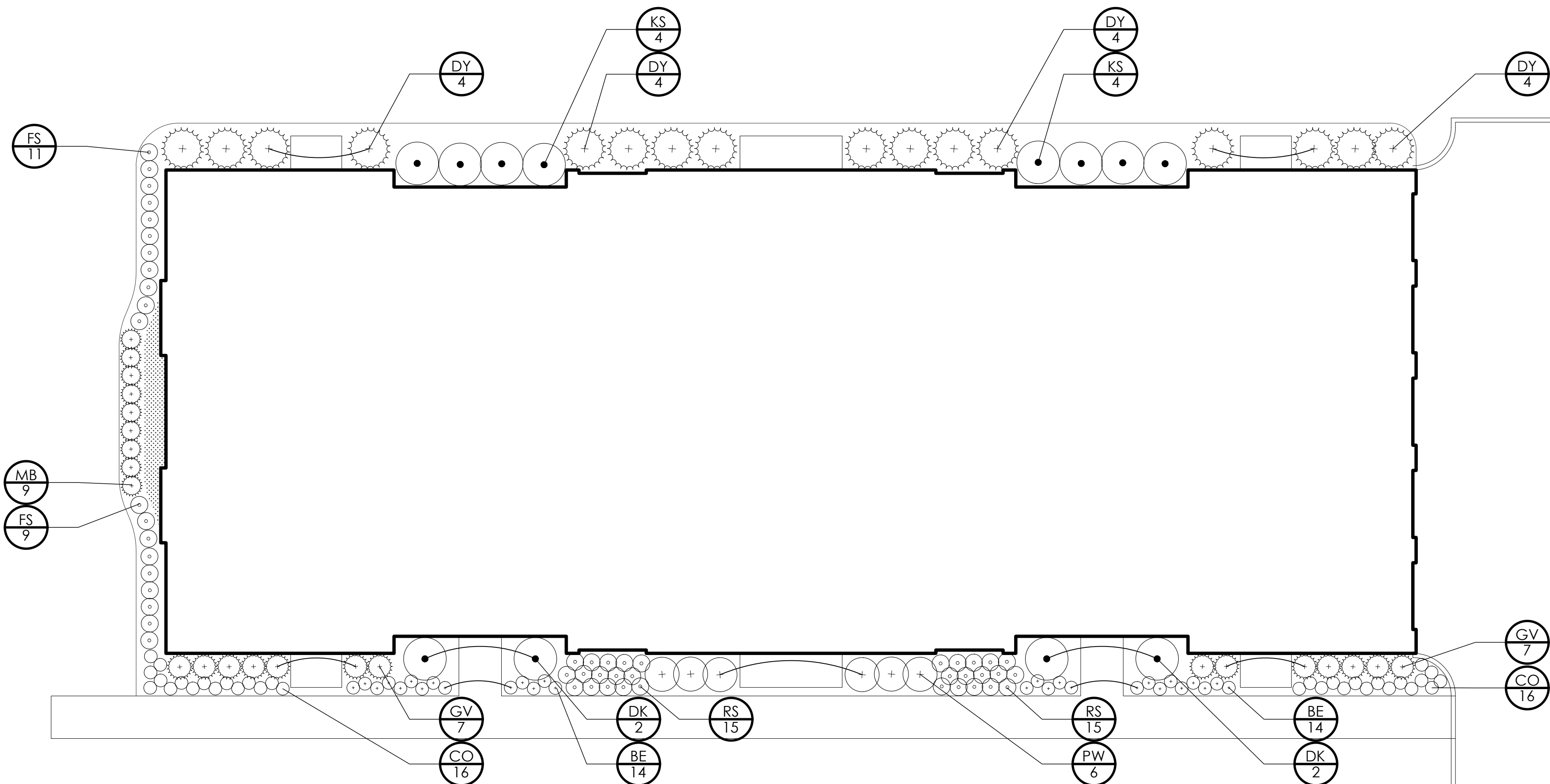
QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHRUBS</b>						
28	GV	GREEN VELVET BOXWOOD	Buxus x 'Green Velvet'	24" Hgt.	Cont.	
12	PW	PEE WEE HYDRANGEA	Hydrangea quercifolia 'Pee Wee'	24" Hgt.	Cont.	
18	MB	MR BOWLING BALL ARBORVITAE	Thuja occidentalis 'Bobozam'	24" Hgt.	Cont.	
8	KS	KOREAN SPICE VIBURNUM	Viburnum carlesii	36 Hgt.	Cont.	
<b>PERENNIALS / GRASSES / GROUNDCOVER</b>						
64	CO	PURPLE CONEFLOWER	Echinacea purpurea	1 Gal.	Cont.	
60	RS	RED SWITCHGRASS	Panicum virgatum 'Shenandoah'	2 Gal.	Cont.	
36	FS	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hameln'	2 Gal.	Cont.	
56	BE	BLACK-EYED SUSAN	Rudbeckia hirta	1 Gal.	Cont.	

NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.





1 BUILDINGS 5, 6, 15, 16, 19, 20 & 22



2 BUILDINGS 1, 2, 4, 12 & 13



PLANT MATERIALS LIST: BUILDINGS 5, 6, 15, 16, 19, 20 & 22

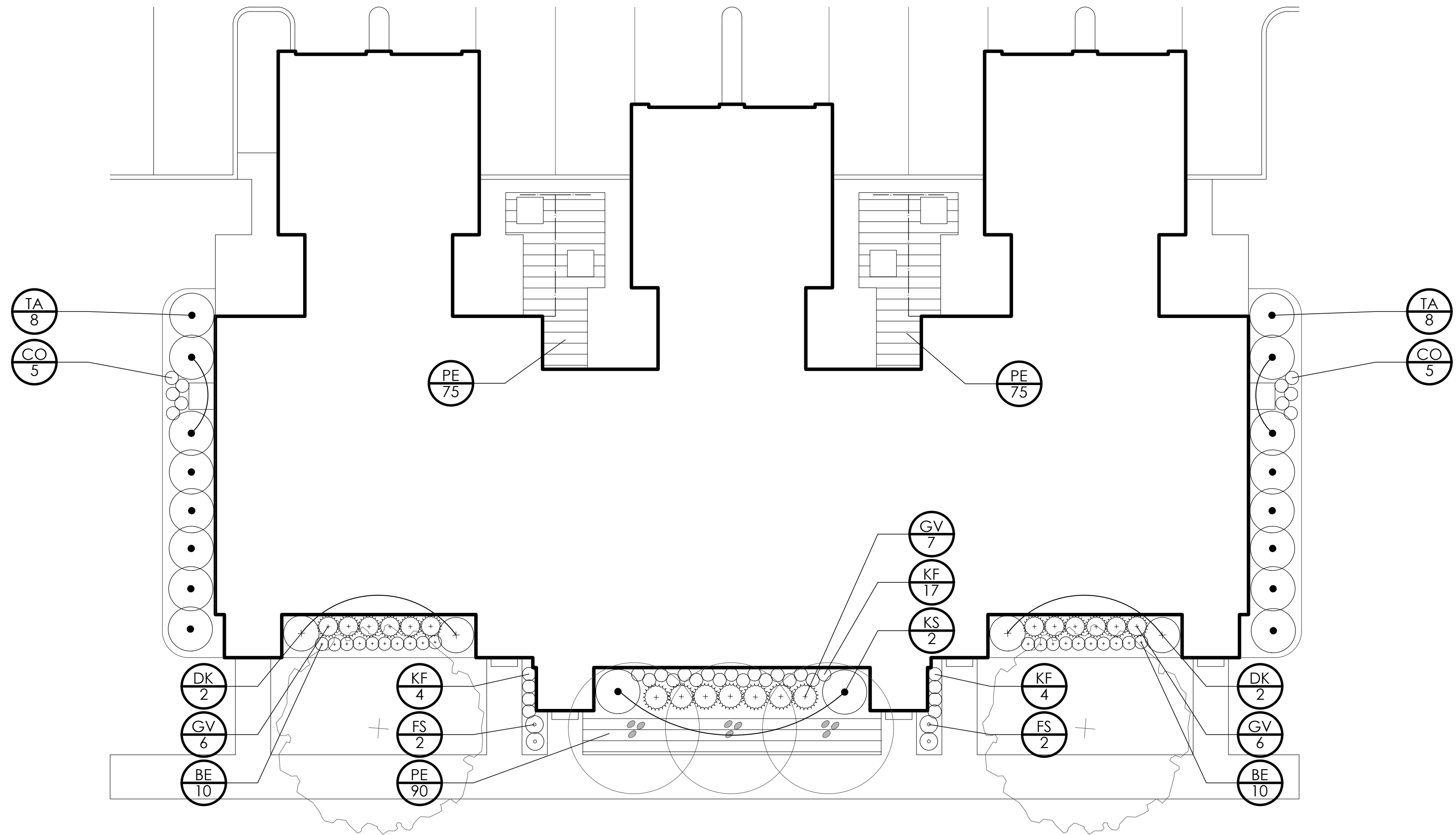
QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHRUBS</b>						
28	GV	GREEN VELVET BOXWOOD	Buxus x 'Green Velvet'	24" Hgt.	Cont.	
12	LL	LITTLE LIME HYDRANGEA	Hydrangea paniculata 'Jane' PP #22,330	24" Hgt.	Cont.	
9	MB	MR BOWLING BALL ARBORVITAE	Thuja occidentalis 'Bobozam'	24" Hgt.	Cont.	
8	KS	KOREAN SPICE VIBURNUM	Viburnum carlesii	36" Hgt.	Cont.	
<b>PERENNIALS / GRASSES / GROUNDCOVER</b>						
59	GB	GOING BANANAS DAYLILY	Hemerocallis 'Going Bananas'	1 Gal.	Cont.	
56	CB	PURPLE PALACE CORAL BELLS	Heuchera micrantha var. diversifolia 'Palace Purple'	1 Gal.	Cont.	
18	RS	RED SWITCHGRASS	Panicum virgatum 'Shenandoah'	2 Gal.	Cont.	
60	FS	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hameln'	2 Gal.	Cont.	

NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.

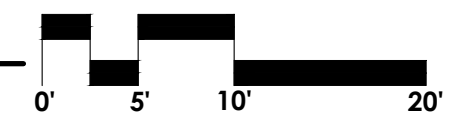
PLANT MATERIALS LIST: BUILDINGS 1, 2, 4, 12 & 13

QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHRUBS</b>						
14	GV	GREEN VELVET BOXWOOD	Buxus x 'Green Velvet'	24" Hgt.	Cont.	
6	PW	PEE WEE HYDRANGEA	Hydrangea quercifolia 'Pee Wee'	18" Spr.	Cont.	
4	DK	DWARF KOREAN LILAC	Syringa meyeri 'Palibin'	24" Hgt.	Cont.	
16	DY	DENSE YEW	Taxus x media 'Densifomis'	18" Spr.	Cont.	
9	MB	MR BOWLING BALL ARBORVITAE	Thuja occidentalis 'Bobozam'	24" Hgt.	Cont.	
8	KS	KOREAN SPICE VIBURNUM	Viburnum carlesii	24" Hgt.	Cont.	
<b>PERENNIALS / GRASSES / GROUNDCOVER</b>						
32	CO	PURPLE CONEFLOWER	Echinacea purpurea	1 Gal.	Cont.	
30	RS	RED SWITCHGRASS	Panicum virgatum 'Shenandoah'	1 Gal.	Cont.	
20	FS	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hameln'	1 Gal.	Cont.	
28	BE	BLACK-EYED SUSAN	Rudbeckia hirta	1 Gal.	Cont.	

NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.



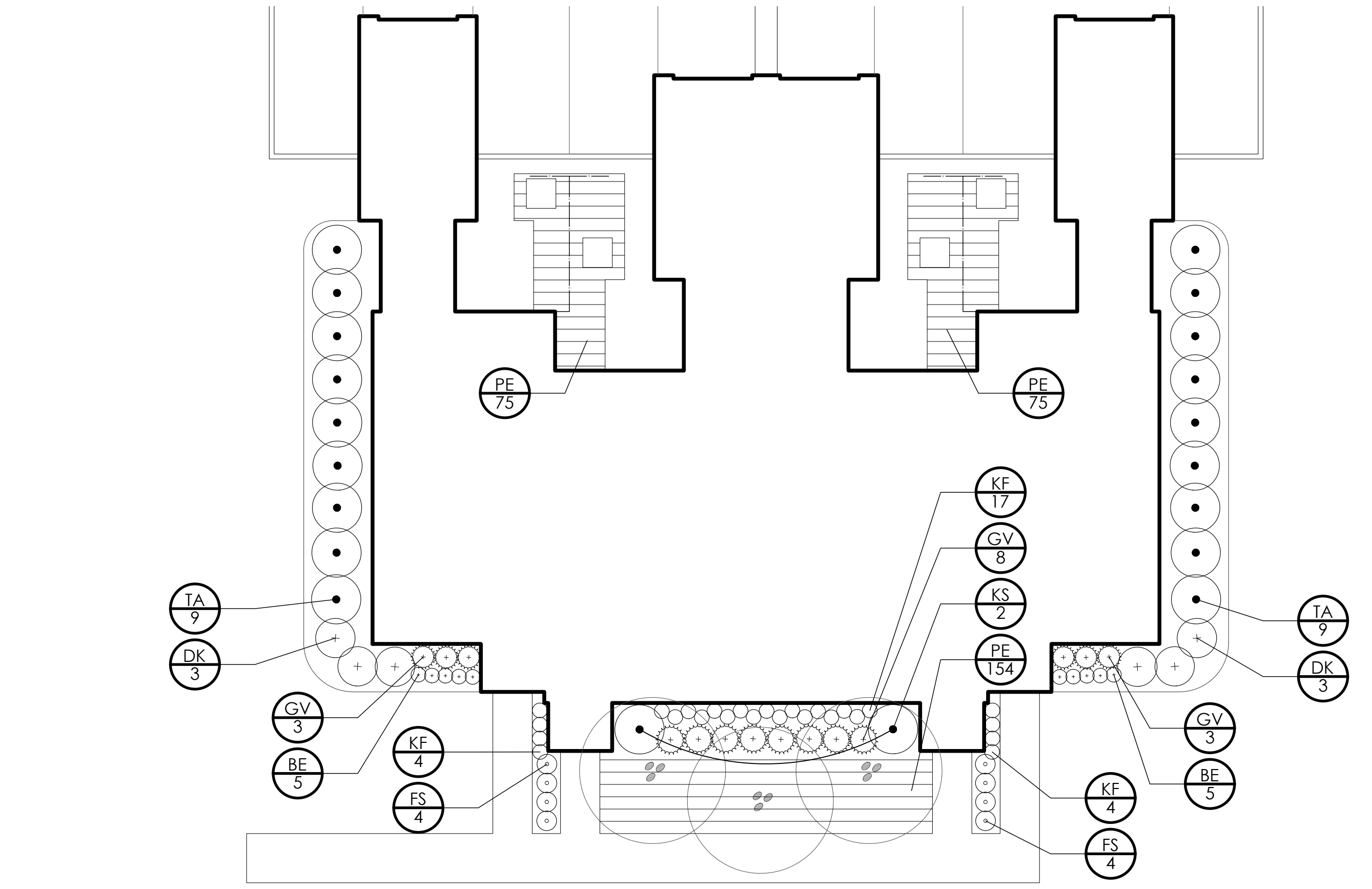
1 BUILDINGS 3, 7, 9, 11, 14, 18, & 23



PLANT MATERIALS LIST FOR BUILDINGS 3, 7, 9, 11, 14, 18, & 23

QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHRUBS</b>						
19	GV	GREEN VELVET BOXWOOD	Buxus x 'Green Velvet'	24" Hgt.	Cont.	
4	DK	DWARF KOREAN LILAC	Syringa meyeri 'Palibin'	24" Hgt.	Cont.	
16	TA	TECHNY ARBORVITAE	Thuja occidentalis 'Techny'	36" Hgt.	Cont.	
2	KS	KOREAN SPICE VIBURNUM	Viburnum carlesii	36" Hgt.	Cont.	
<b>PERENNIALS / GRASSES / GROUNDCOVER</b>						
25	KF	KARL FOERSTER FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	2 Gal.	Cont.	
10	CO	PURPLE CONEFLOWER	Echinacea purpurea	1 Gal.	Cont.	
4	FS	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hameln'	2 Gal.	Cont.	
20	BE	BLACK-EYED SUSAN	Rudbeckia hirta	1 Gal.	Cont.	
240	PE	PERIWINKLE	Vinca minor	1 Gal.	Cont.	

NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.



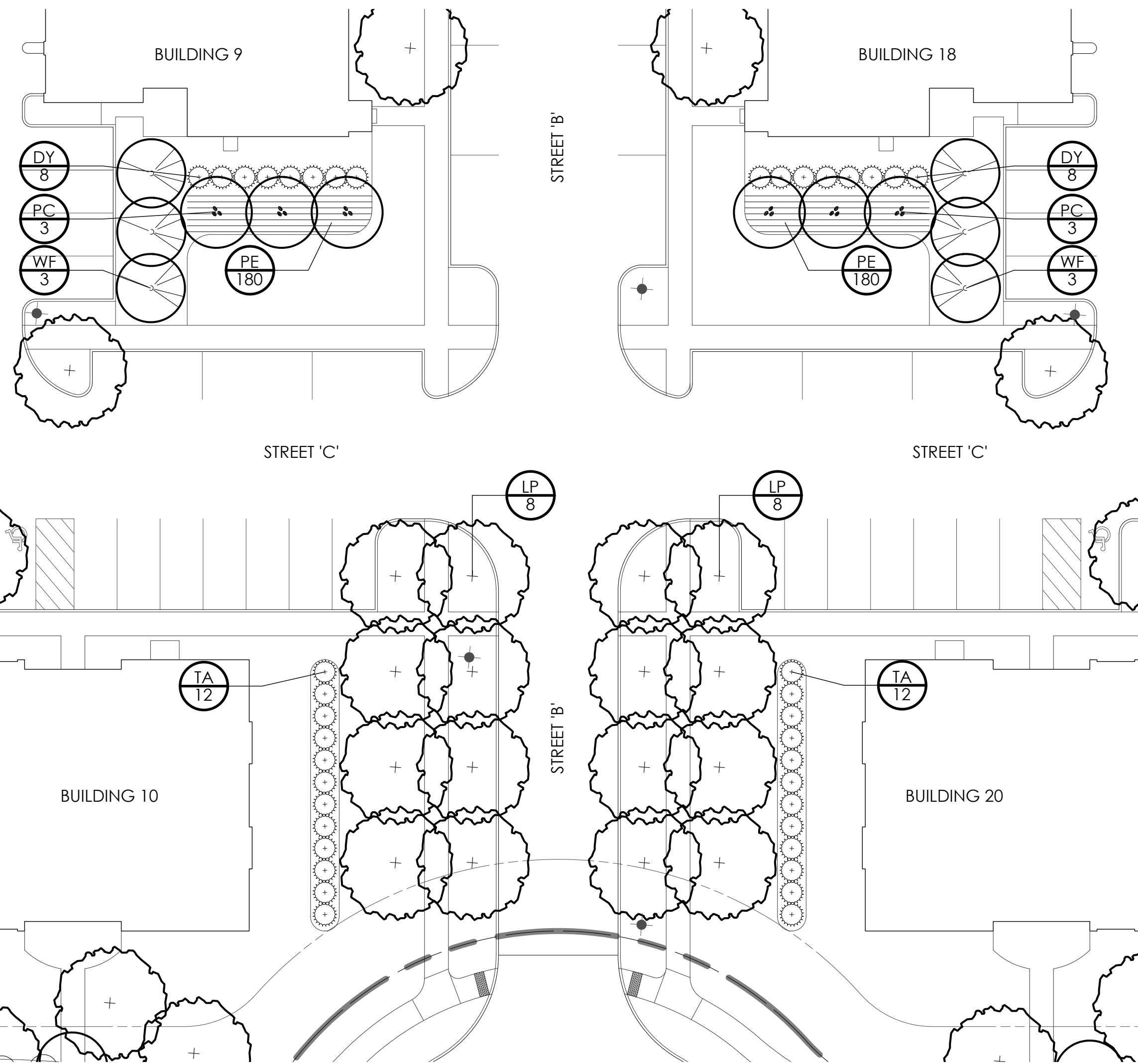
2 BUILDING 17



PLANT MATERIALS LIST: BUILDING 17

QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHRUBS</b>						
14	GV	GREEN VELVET BOXWOOD	Buxus x 'Green Velvet'	24" Hgt.	Cont.	
6	DK	DWARF KOREAN LILAC	Syringa meyeri 'Palibin'	24" Hgt.	Cont.	
18	TA	TECHNY ARBORVITAE	Thuja occidentalis 'Techny'	36" Hgt.	Cont.	
2	KS	KOREAN SPICE VIBURNUM	Viburnum carlesii	36" Hgt.	Cont.	
<b>PERENNIALS / GRASSES / GROUNDCOVER</b>						
25	KF	KARL FOERSTER FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	2 Gal.	Cont.	
8	FS	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hameln'	2 Gal.	Cont.	
10	BE	BLACK-EYED SUSAN	Rudbeckia hirta	1 Gal.	Cont.	
304	PE	PERIWINKLE	Vinca minor	1 Gal.	Cont.	

NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.

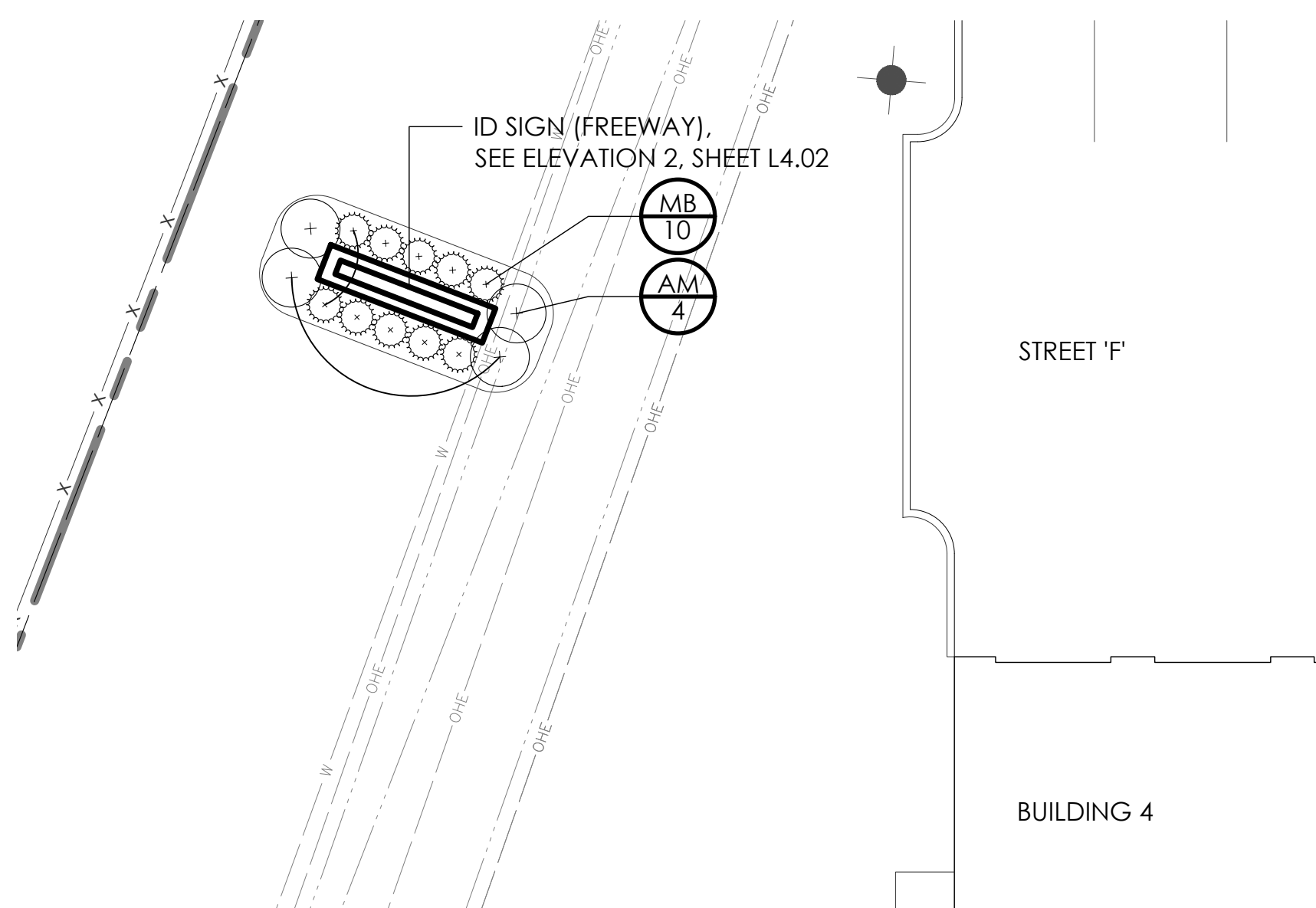


1 ENLARGEMENT: NORTH ENTRY

PLANT MATERIALS LIST: NORTH ENTRY

QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHADE TREES</b>						
16	LP	EXCLAMATION LONDON PLANETREE	Platanus acerifolia 'Morton Circle'	3" Cal.	B&B	
<b>ORNAMENTAL TREES</b>						
6	PC	PRAIRIFIRE FLOWERING CRABAPPLE	Malus 'Prairifire'	3" Cal.	B&B	
<b>EVERGREEN TREES</b>						
6	WF	WHITE FIR	Abies concolor	6" Hgt.	B&B	
<b>SHRUBS</b>						
16	DY	DENSE YEW	Taxus x media 'Densiformis'	18" Spr.	Cont.	
24	TA	TECHNY ARBORVITAE	Thuja occidentalis 'Techny'	24" Hgt.	Cont.	
<b>PERENNIALS / GRASSES / GROUNDCOVER</b>						
360	PE	PERIWINKLE	Vinca minor	1 Gal.	Cont.	

NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.



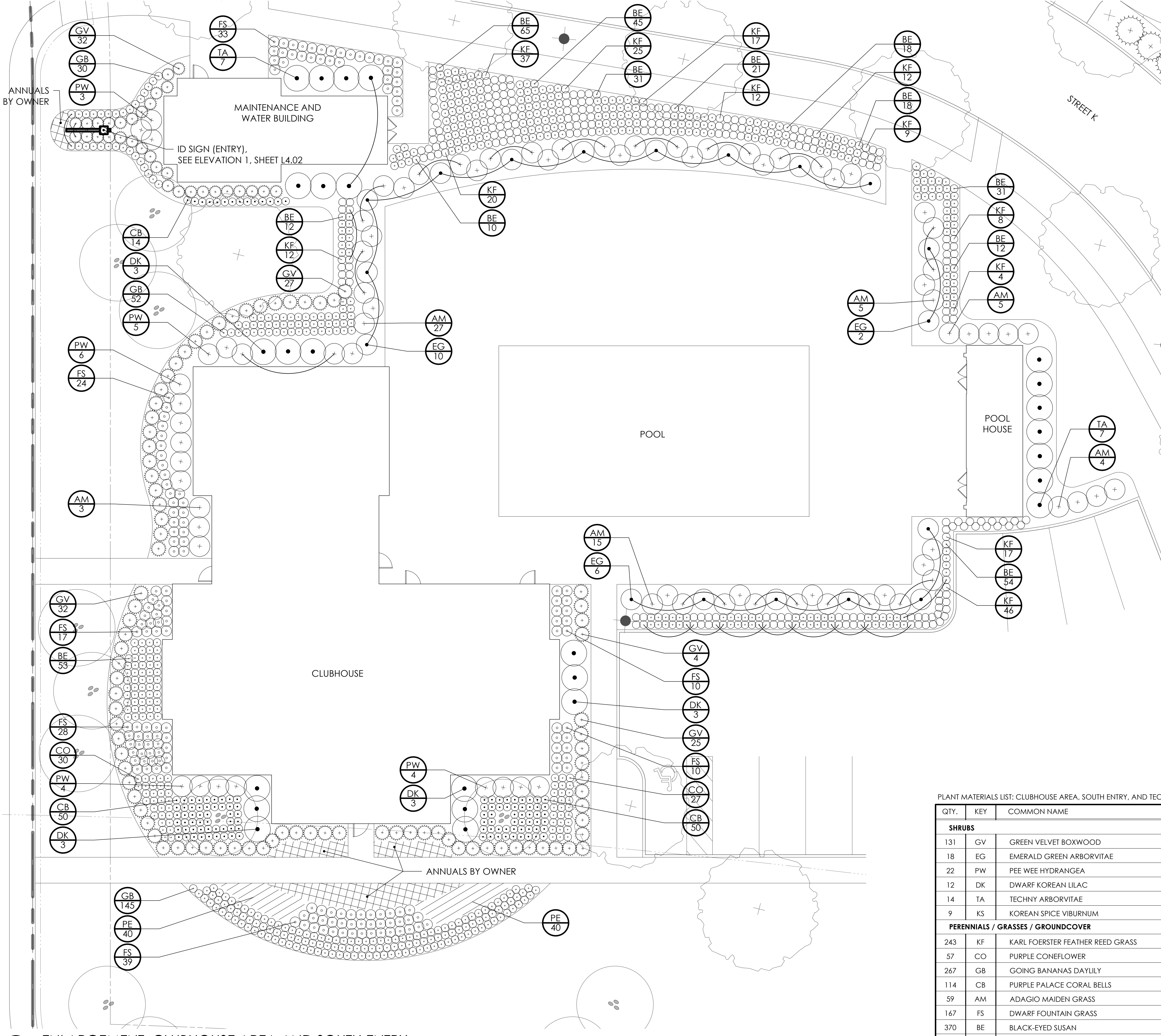
2 ENLARGEMENT: ID SIGN (FREEWAY)

PLANT MATERIALS LIST: ID SIGN (FREEWAY)

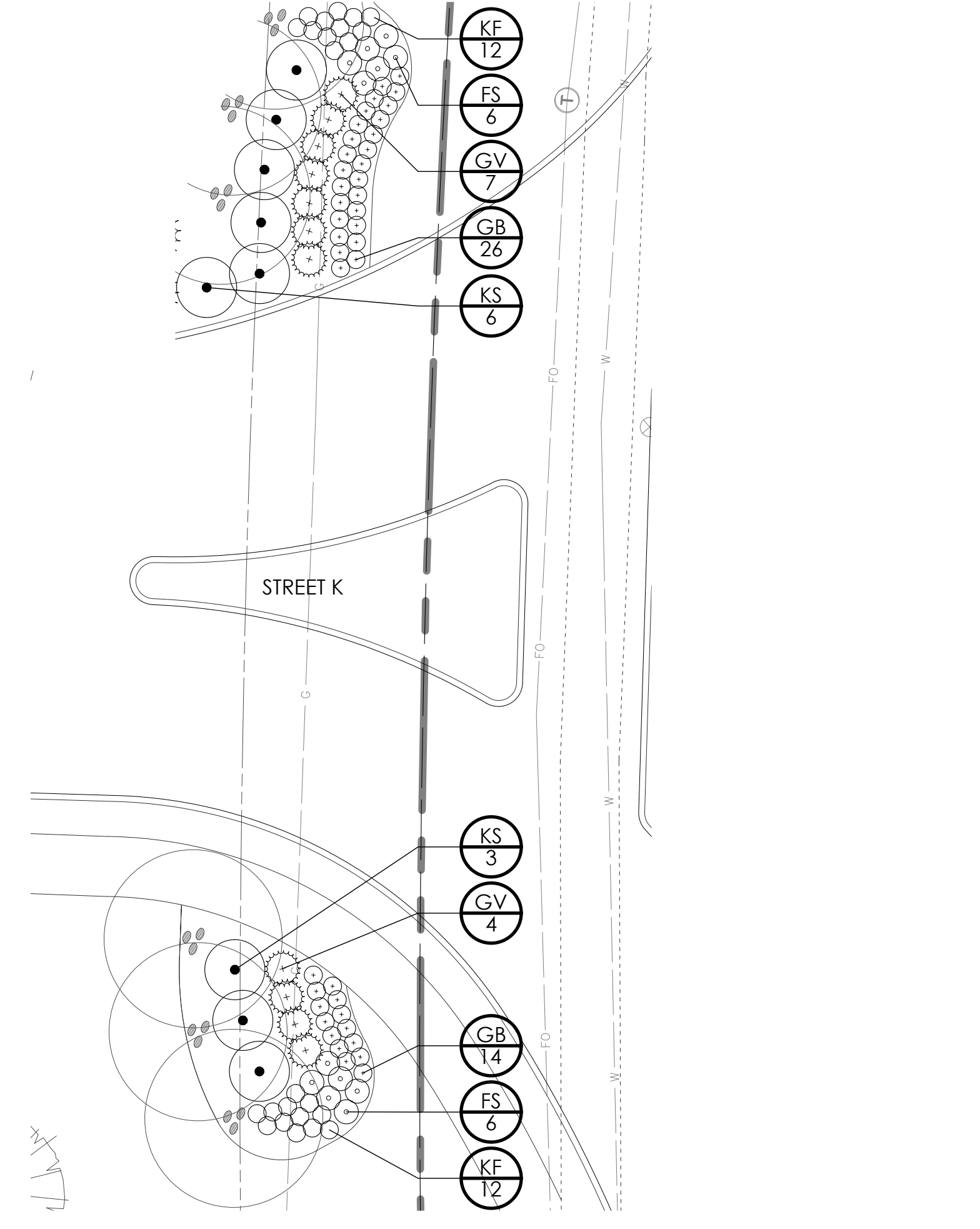
QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHRUBS</b>						
10	MB	MR BOWLING BALL ARBORVITAE	Thuja occidentalis 'Bobozam'	24" Hgt.	Cont.	
<b>PERENNIALS / GRASSES / GROUNDCOVER</b>						
4	AM	ADAGIO MAIDEN GRASS	Miscanthus sinensis 'Adagio'	2 Gal.	Cont.	

NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.





1 ENLARGEMENT: CLUBHOUSE AREA AND SOUTH ENTRY



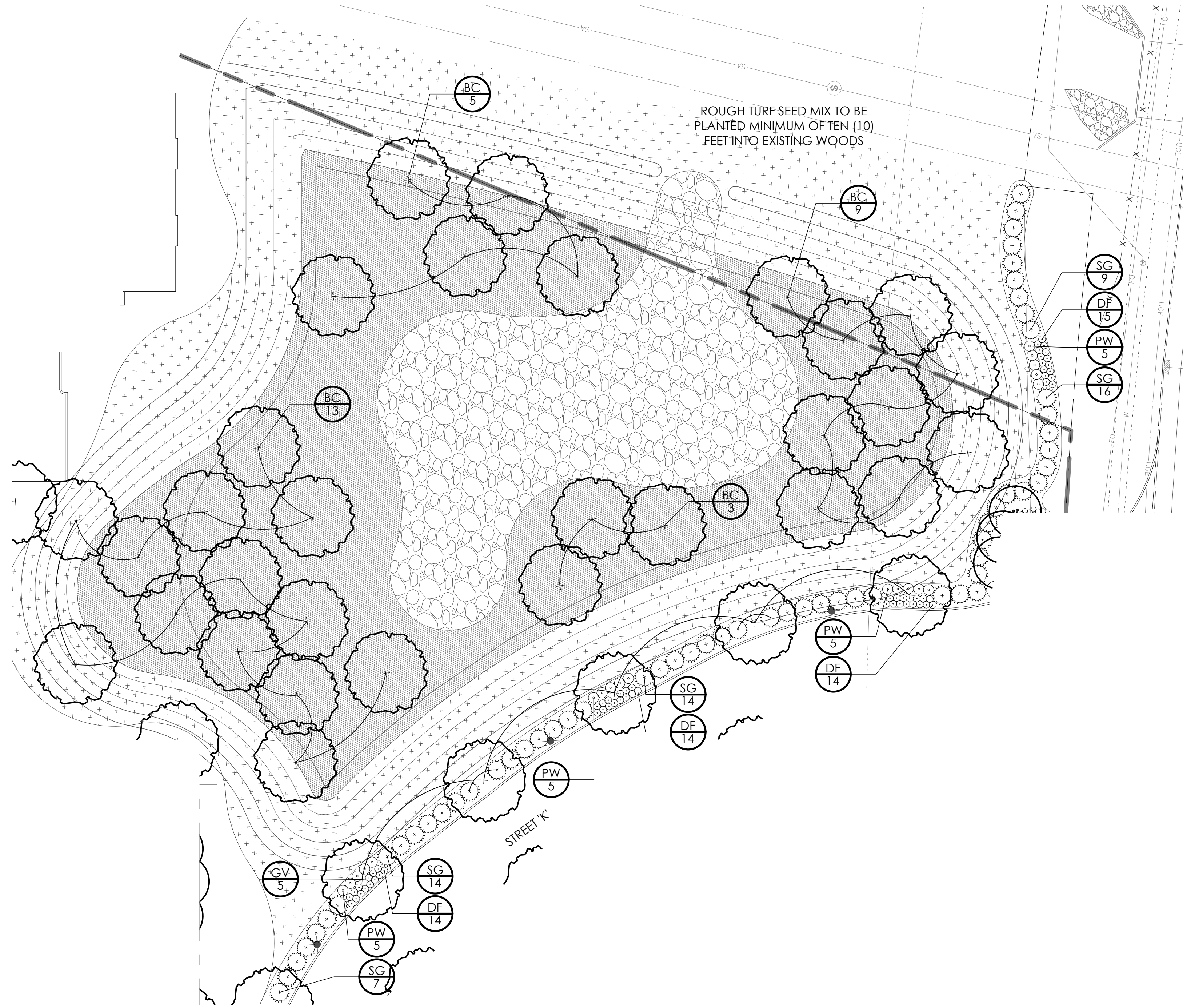
2 ENLARGEMENT: TECH CENTER DRIVE ENTRY



PLANT MATERIALS LIST: CLUBHOUSE AREA, SOUTH ENTRY, AND TECH CENTER DRIVE ENTRY

QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHRUBS</b>						
131	GV	GREEN VELVET BOXWOOD	Buxus x 'Green Velvet'	24" Hgt.	Cont.	
18	EG	EMERALD GREEN ARBORVITAE	Thuja occidentalis 'Smaragd'	48" Hgt.	Cont.	
22	PW	PEE WEE HYDRANGEA	Hydrangea quercifolia 'Pee Wee'	24" Hgt.	Cont.	
12	DK	DWARF KOREAN LILAC	Syringa meyeri 'Pallbin'	24" Hgt.	Cont.	
14	TA	TECHNY ARBORVITAE	Thuja occidentalis 'Techny'	36" Hgt.	Cont.	
9	KS	KOREAN SPICE VIBURNUM	Viburnum carlesii	36" Hgt.	Cont.	
<b>PERENNIALS / GRASSES / GROUNDCOVER</b>						
243	KF	KARL FOERSTER FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	2 Gal.	Cont.	
57	CO	PURPLE CONEFLOWER	Echinacea purpurea	1 Gal.	Cont.	
267	GB	GOING BANANAS DAYLILY	Hemerocallis 'Going Bananas'	1 Gal.	Cont.	
114	CB	PURPLE PALACE CORAL BELLS	Heuchera micrantha var. diversifolia 'Palace Purple'	1 Gal.	Cont.	
59	AM	ADAGIO MAIDEN GRASS	Miscanthus sinensis 'Adagio'	2 Gal.	Cont.	
167	FS	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hameln'	2 Gal.	Cont.	
370	BE	BLACK-EYED SUSAN	Rudbeckia hirta	1 Gal.	Cont.	
80	PE	PERIWINKLE	Vinca minor	1 Gal.	Cont.	

NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.



1 ENLARGEMENT: DRY BASIN



PLANT MATERIALS LIST: DRY BASIN

QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHADE TREES</b>						
30	BC	BALD CYPRESS	<i>Taxodium distichum</i>	3" Cal.	B&B	
5	GV	GREEN VASE ZELKOVA	<i>Zelkova serrata</i> 'Green Vase'	3" Cal.	B&B	
<b>SHRUBS</b>						
20	PW	PEE WEE OAKLEAF HYDRANGEA	<i>Hydrangea quercifolia</i> 'Pee Wee'	18" Hgt.	Cont.	
60	SG	SEA GREEN JUNIPER	<i>Juniperus chinensis</i> 'Sea Green'	24" Hgt.	Cont.	
<b>GRASSES</b>						
57	DF	DWARF FOUNTAIN GRASS	<i>Pennisetum alopecuroides</i> 'Hamel'	2 Gal.	Cont.	

NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.

ROUGH TURF SEED MIX

COMMON NAME	% P.L.S.
SHEEPS FESCUE OR LITTLE BIGHORN HARD FESCUE	35
LITTLE BLUESTEM	25
SIDEOATS GRAMA	25
BLUE GRAMA	15

APPLICATION RATE: 35 LBS./ACRE

NATIVE BASIN SEED MIX

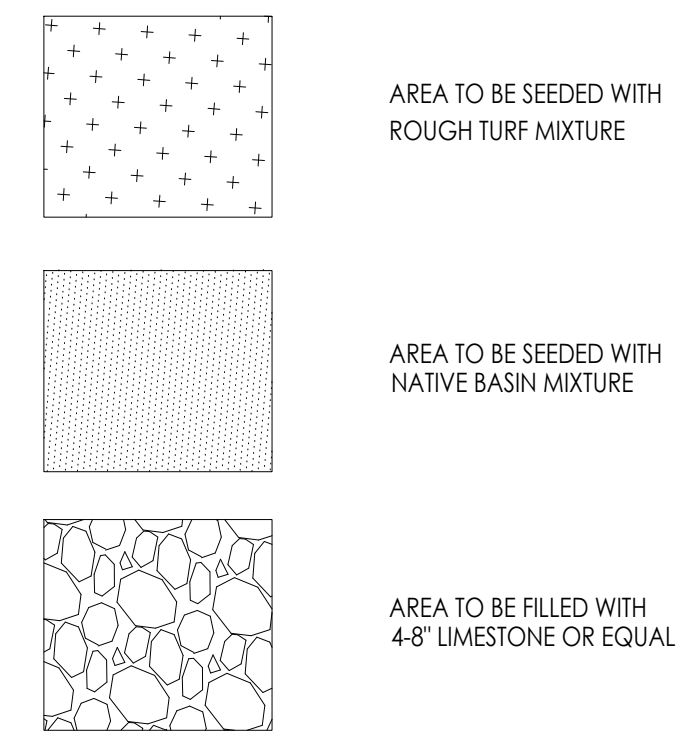
BOTANICAL NAME	COMMON NAME	% P.L.S.
<b>PERMANENT GRASSES/SEDGES</b>		
<i>Agrostis scabra</i>	ROUGH BENTGRASS	2
<i>Andropogon gerardii</i>	BIG BLUESTEM	8
<i>Carex vulpinoidea</i>	FOX SEDGE	8
<i>Elymus virginicus</i>	VIRGINIA WILD RYE	28
<i>Festuca rubra</i>	CREeping RED FUSCUE	24
<i>Juncus effusus</i>	SOFT RUSH	0.5
<i>Panicum virgatum</i>	SWITCH GRASS	8
<i>Schizachyrium scoparium</i>	LITTLE BLUESTEM	15
<i>Scirpus atrovirens</i>	GREEN BULRUSH	1
<i>Scirpus cyperinus</i>	WOOL GRASS	0.5
<b>FORBS</b>		
<i>Aster novae-angliae</i>	NEW ENGLAND ASTER	1
<i>Eupatorium perfoliatum</i>	BONASET	1
<i>Euthamia graminifolia</i>	GRASS LEAVED GOLDENROD	1
<i>Onoclea sensibilis</i>	SENSITIVE FERN	1
<i>Vernonia hastata</i>	BLUE VERVAIN	1

APPLICATION RATE: 35 LBS./ACRE

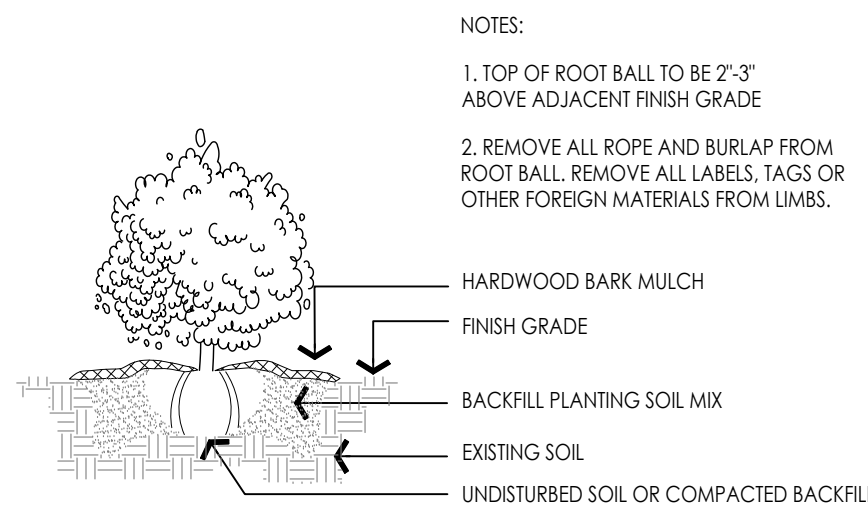
ROUGH TURF AND BASIN MAINTENANCE

- YEAR ONE - ESTABLISHMENT**
- MOW FOUR (4) TIMES IN THE FIRST YEAR TO CONTROL ANNUAL AND BIENNIAL WEEDS.
  - MOW TO A HEIGHT OF SIX (6) INCHES. THIS IS APPLICABLE TO THE FIRST THREE (3) MOWINGS.
  - MOW TO A HEIGHT OF TWELVE (12) INCHES FOR FOURTH AND FINAL MOWING IF THE NATIVE GRASSES GROW HIGHER THAN (6) INCHES.
  - DO NOT ALLOW WEEDS TO EXCEED (12) INCHES IN HEIGHT BETWEEN MOWINGS.
  - ALL MOWING ON THE BASIN FLOOR IS TO BE COMPLETED BY HAND, GAS OR ELECTRIC TRIMMERS, TO PREVENT RUTTING.
  - RESEED AREAS WITH BARE PATCHES LARGER THAN THREE (3) FEET BY THREE (3) FEET. IF RESEEDING IN FALL, TREAT AS A DORMANT SEEDING AND DOUBLE THE SEEDING RATE. REMOVE TRASH AND DEBRIS WEEKLY.
- YEAR TWO - ESTABLISHMENT**
- MOW EARLY JUNE TO A HEIGHT OF TWELVE (12) INCHES.
  - IF WEEDS CONTINUE TO BE A PROBLEM IN THE SECOND YEAR, MOW AGAIN JUST ABOVE THE TOPS OF THE NATIVE GRASSES. A FLAIL TYPE MOWER IS PREFERRED TO A ROTARY MOWER AS IT CHOPS UP THE MATERIAL AND DRIES OUT WITHOUT SMOTHERING THE SMALLER GRASSES BELOW.
  - SELECTIVE HERBICIDES, SUCH AS PLATEAU (IMAZAPIC), MAY ALSO BE USED TO CONTROL NON-GRASSY WEEDS IN THE NATIVE ROUGH AREAS LATE IN THE SECOND YEAR.
  - ALL MOWING ON THE BASIN FLOOR IS TO BE COMPLETED BY HAND, GAS OR ELECTRIC TRIMMERS, TO PREVENT RUTTING.
  - RESEED AREAS WITH BARE PATCHES LARGER THAN THREE (3) FEET BY THREE (3) FEET. IF RESEEDING IN FALL, TREAT AS A DORMANT SEEDING AND DOUBLE THE SEEDING RATE. REMOVE TRASH AND DEBRIS WEEKLY.
- YEAR THREE PLUS - LONG TERM MAINTENANCE**
- JUST AFTER THE FIRST MOWING OF SPRING, MOW THE NATIVE GRASSES AS CLOSELY TO THE GROUND AS POSSIBLE. IN ORDER TO DO MAXIMUM DAMAGE TO COOL-SEASON GRASSES AND WEEDS.
  - RAKE THE CUTTINGS AND REMOVE TO EXPOSE THE SOIL TO THE WARMING RAYS OF THE SUN.
  - SELECTIVE HERBICIDES, SUCH AS PLATEAU (IMAZAPIC), MAY ALSO BE USED TO CONTROL NON-GRASSY WEEDS IN THE NATIVE ROUGH AREAS.
  - ALL MOWING ON THE BASIN FLOOR IS TO BE COMPLETED BY HAND, GAS OR ELECTRIC TRIMMERS, TO PREVENT RUTTING. REMOVE TRASH AND DEBRIS WEEKLY.

SEED LEGEND



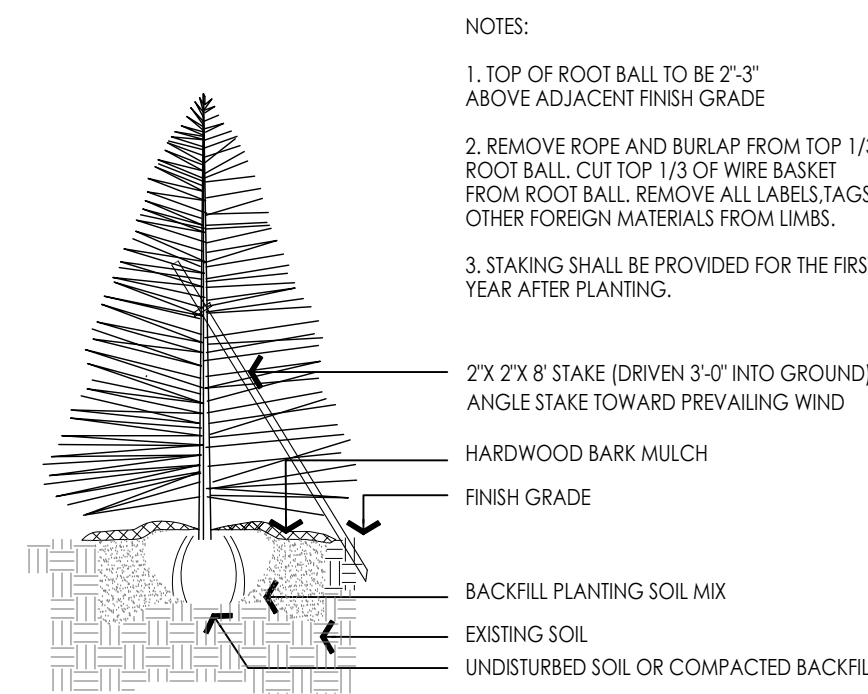
\* ALL OTHER AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDDED WITH THE LAWN TURF MIXTURE.



- NOTES:
1. TOP OF ROOT BALL TO BE 2'-3" ABOVE ADJACENT FINISH GRADE
  2. REMOVE ROPE AND BURLAP FROM ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.

### 1 SHRUB PLANTING

NTS

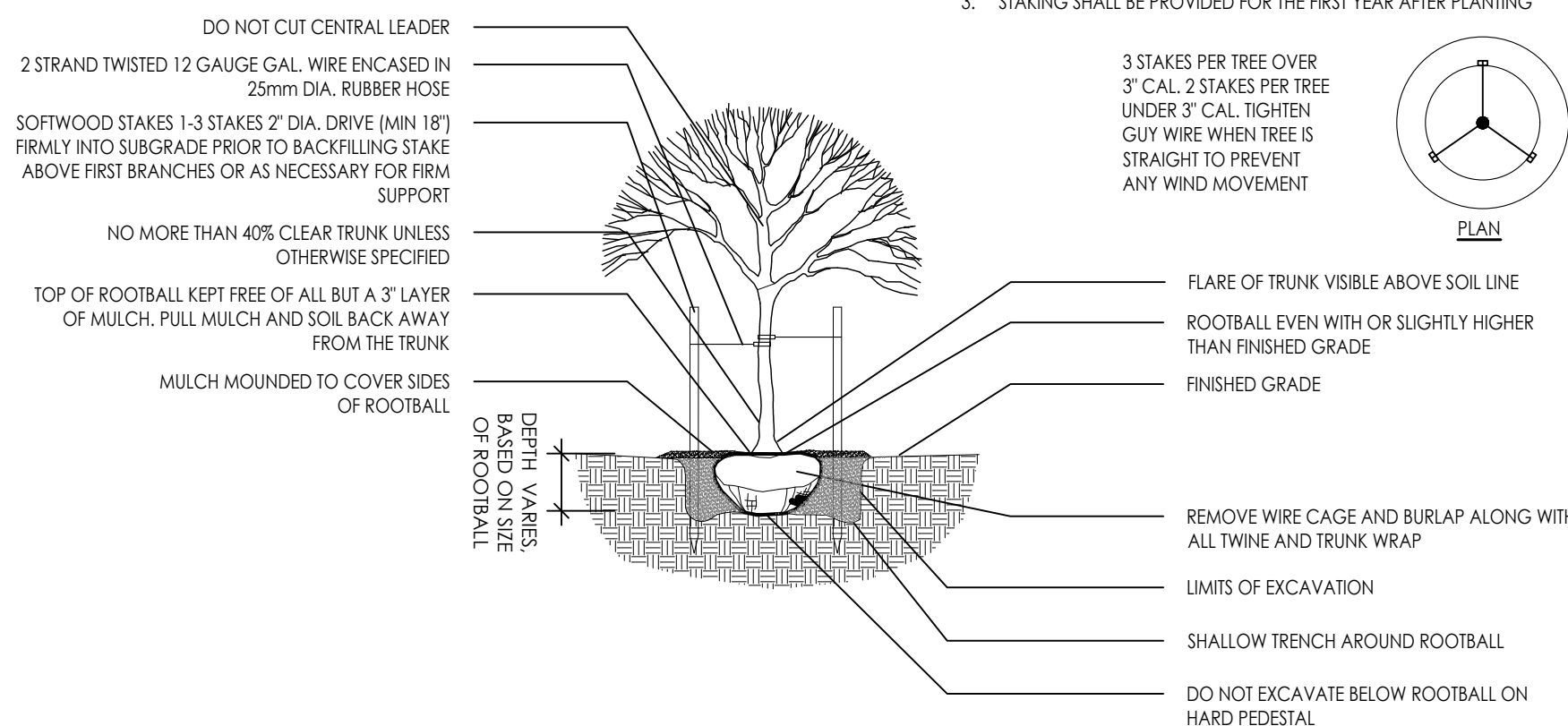


- NOTES:
1. TOP OF ROOT BALL TO BE 2'-3" ABOVE ADJACENT FINISH GRADE
  2. REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL. CUT TOP 1/3 OF WIRE BASKET FROM ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.
  3. STAKING SHALL BE PROVIDED FOR THE FIRST YEAR AFTER PLANTING.

### 2 EVERGREEN TREE PLANTING

NTS

- NOTES:
1. TREES ARE NOT TO BE STAKES UNLESS THEY BECOME UNPLUMBED AT WHICH TIME THEY MAY BE REPLANTED ONCE AND STAKED
  2. MEASURE ROOTBALL AND SET 1" HIGHER ON HARD PEDESTAL. DO NOT DISTURB AREA UNDERNEATH ROOTBALL
  3. STAKING SHALL BE PROVIDED FOR THE FIRST YEAR AFTER PLANTING

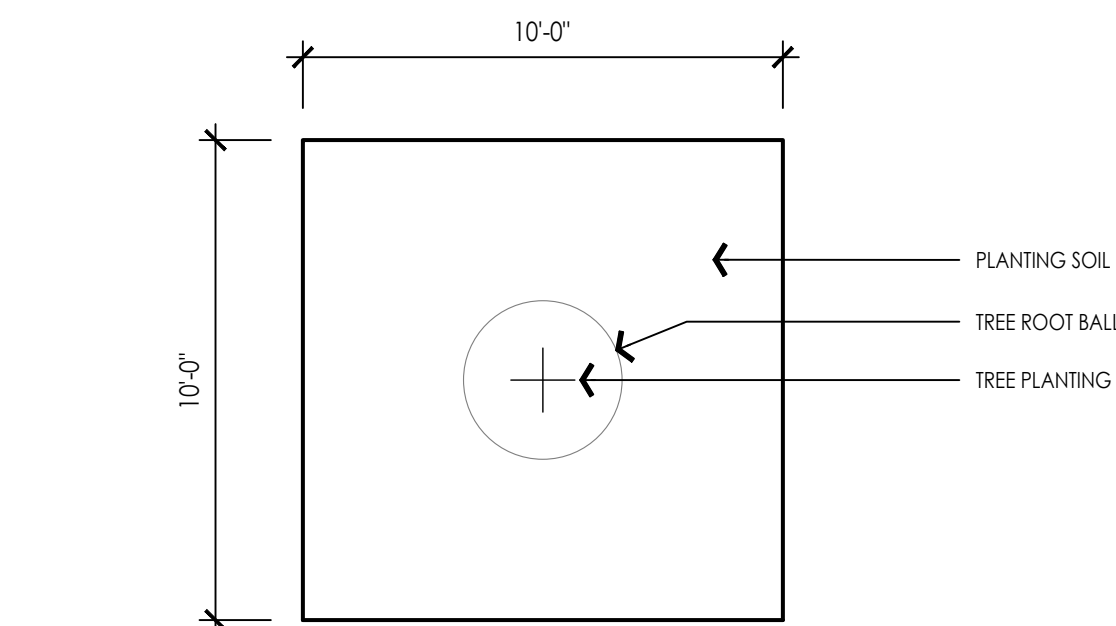


### 3 DECIDUOUS TREE PLANTING

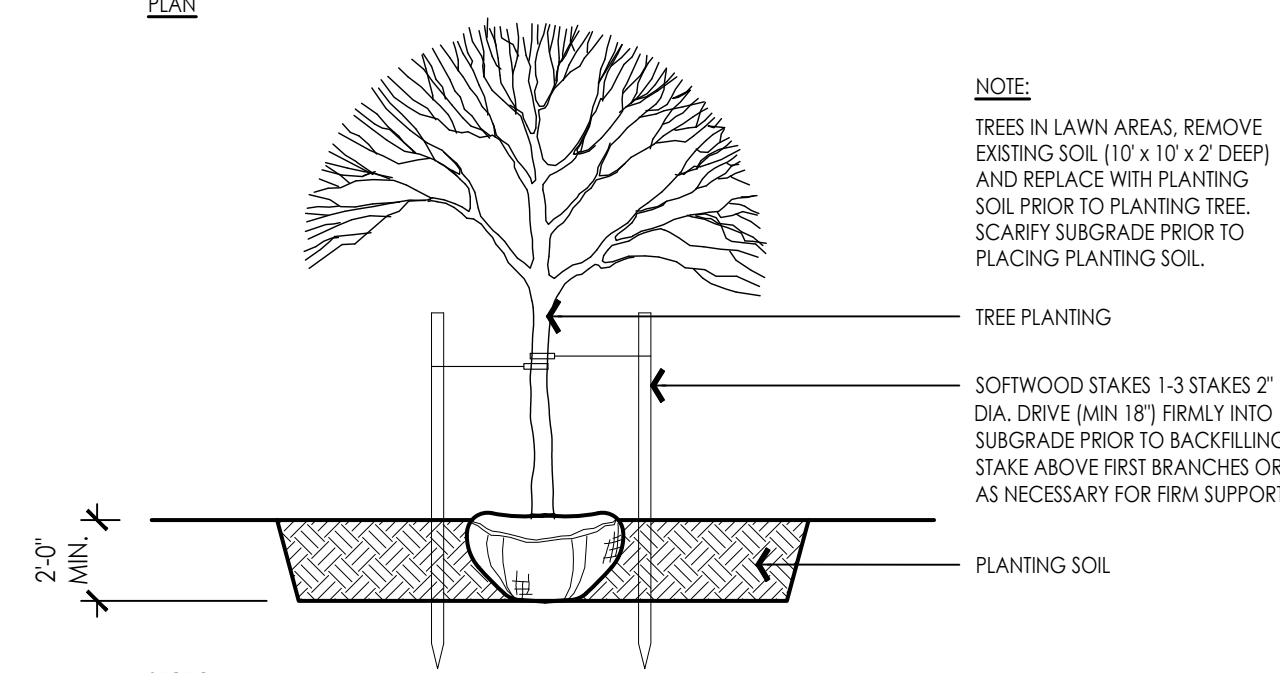
NTS

### 5 TREE PIT IN LAWN

NTS



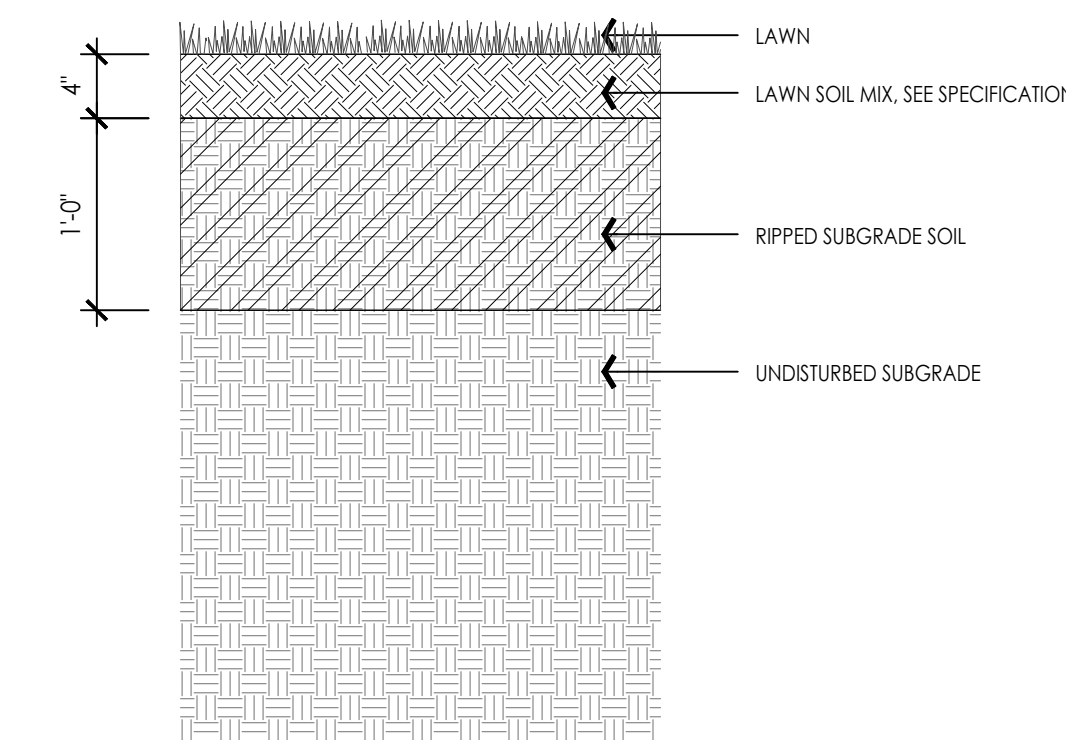
PLAN



SECTION

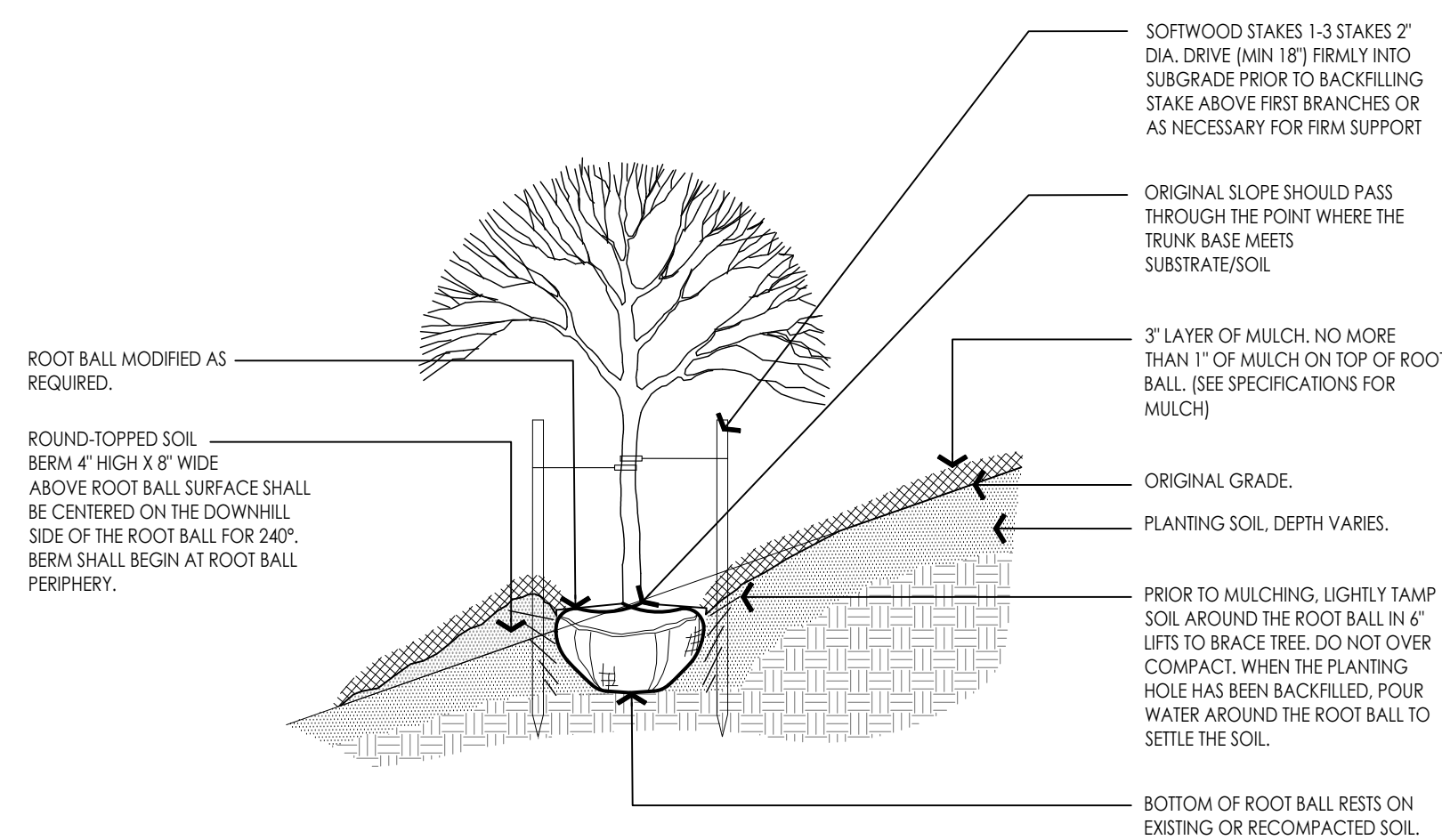
### 7 SOIL PROFILE AT LAWN

NTS



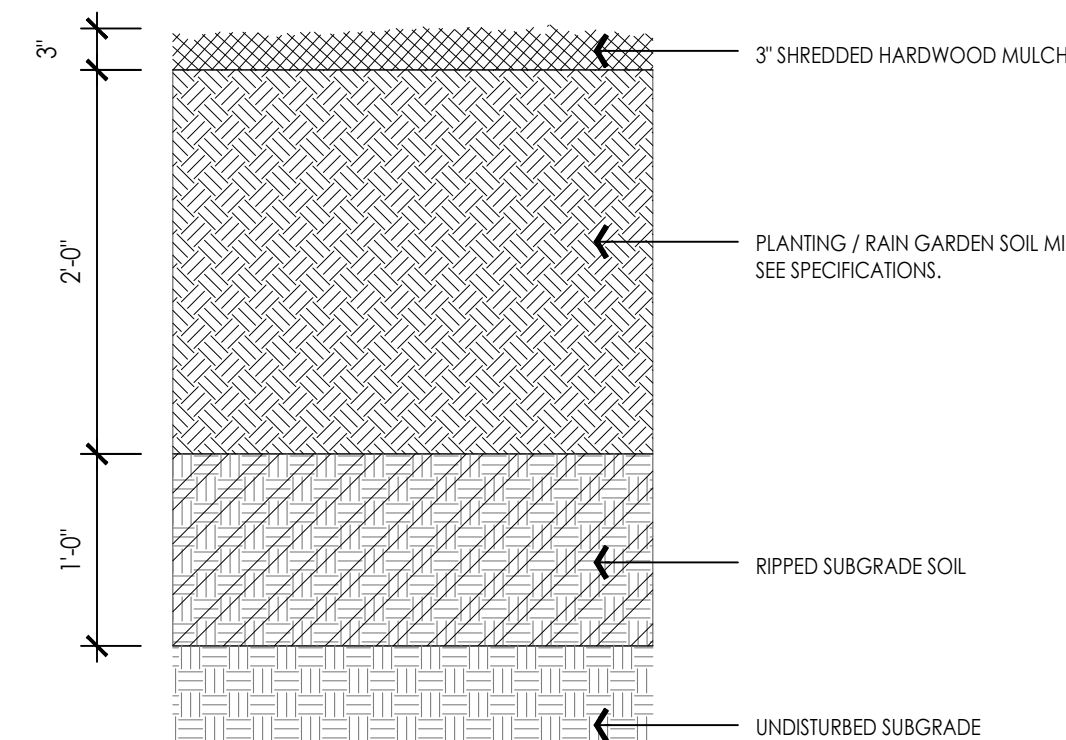
### 6 TREE PLANTING ON SLOPE

NTS



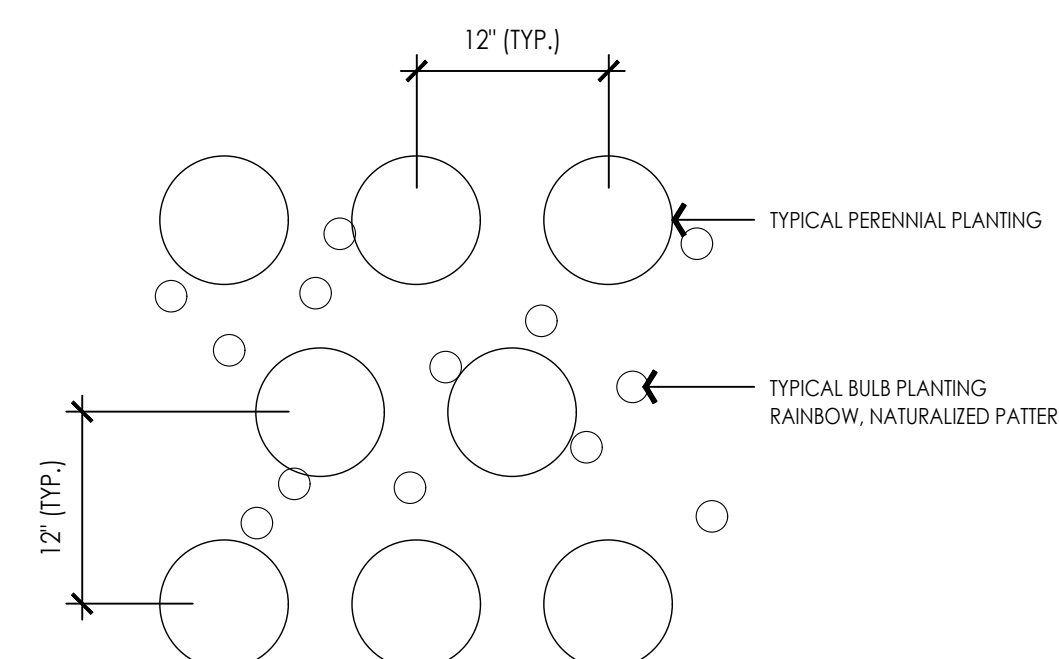
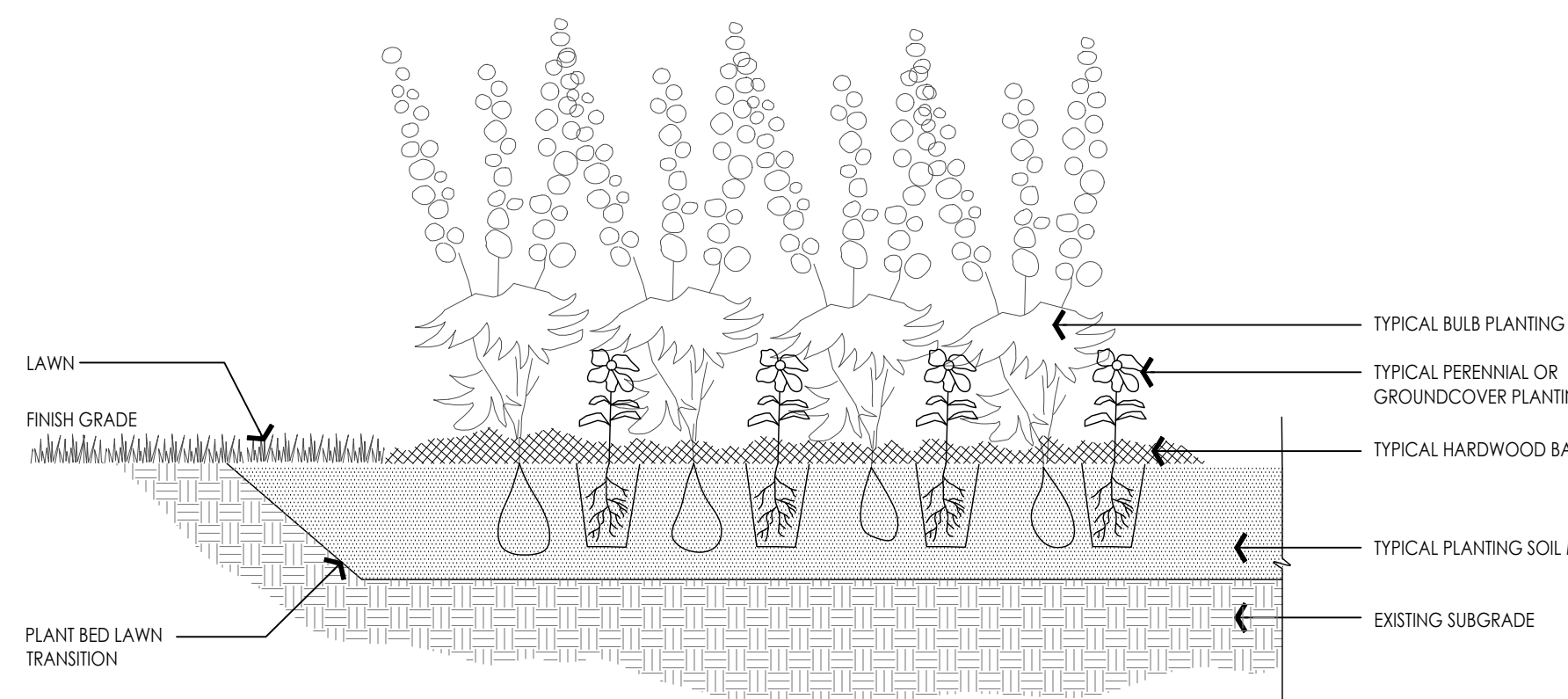
### 8 SOIL PROFILE AT PLANT BED

NTS



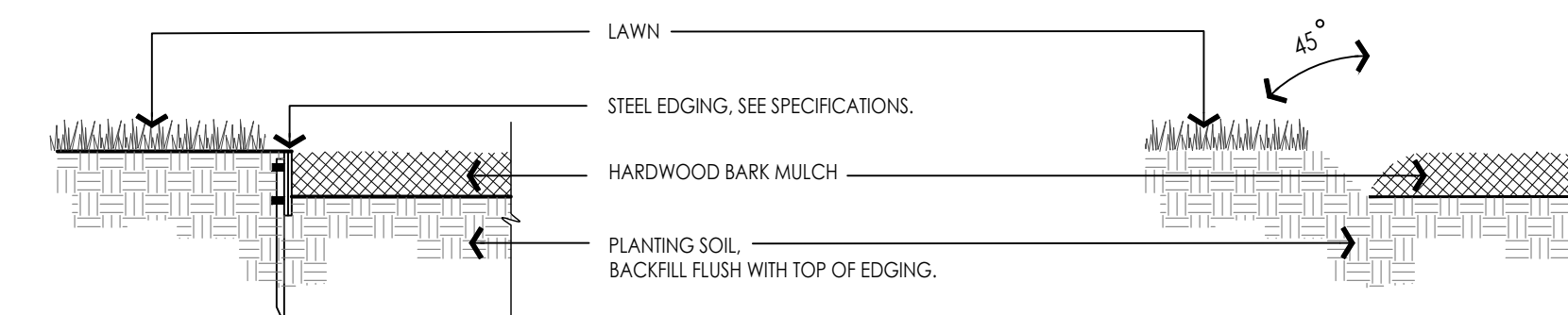
### 4 PLAN, SECTION - PERENNIAL, GROUND COVER, AND BULB PLANTING

NTS



### 9 PLANT BED EDGE

NTS

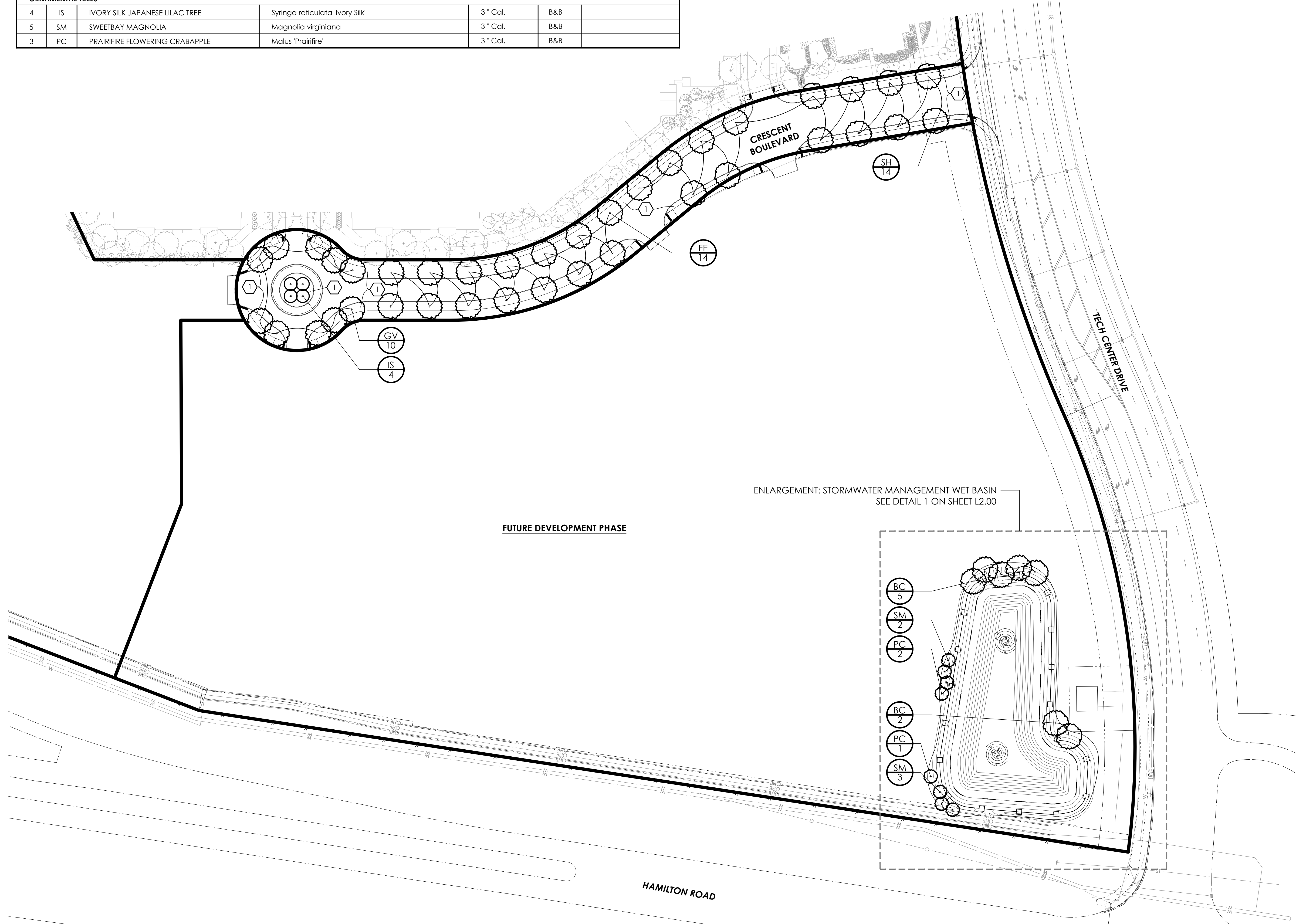


#### PLANTING NOTES:

1. Prior to installation, the landscape contractor shall inspect the general site conditions and verify the subgrade, elevations, utility locations and topsoil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until such conditions have been corrected and are acceptable to the landscape contractor.
2. All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z60.1, current edition. All plants shall equal or exceed the measurements and sizes specified in the schedule.
3. Substitutions shall only be permitted with notification and written approval from the owner. Substituted material shall be equivalent or greater in size than the specified plant. Substituted plants shall have the same essential characteristics and growth habit of the specified plant.
4. Confirm location of all utilities and subsurface drain lines prior to plant installation.
5. A pre-installation conference shall be conducted prior to planting operations with owner and contractor present.
6. Contractor may slightly field adjust plant locations as necessary to avoid utilities. Finished planting beds shall be graded to provide positive drainage.
7. Irrigation system, if applicable, shall be complete and operational prior to landscape planting.
8. Contractor shall repair all lawn areas disturbed during construction with seed and warrant a healthy, weed free lawn prior to project acceptance.
9. Seed all areas within contract limits that are not covered by paving, buildings or planting beds unless otherwise noted. Seeding shall not begin until area has received topsoil and finished grade.
10. Mulch planting beds with shredded hardwood mulch of uniform dark brown color. It shall be free of twigs, leaves, disease, pest or other material unsightly or injurious to plants. Average applied thickness shall be 3" depth. Mulch hedges in a continuous bed.
11. Planting beds shall be covered with pre-emergent herbicide applied at product specified rate unless otherwise noted.
12. Bed edge shall be smooth, consistent, hand trenched 4" deep and "V" shaped unless otherwise noted. All excavated material shall be removed from the bed edge and planting bed.
13. All planting bed edges to be smooth flowing arcs or straight lines as shown on plan. Plant locations and layout of beds shall be located by contractor and approved by landscape architect prior to planting.
14. Install all plants in accordance with planting details and specifications.
15. Parking lot and street trees shall have a clear canopy height of 6' min.
16. Trees shall be placed a minimum of 3' from sidewalks and curbs.
17. Planting mix shall be blended, manufactured soil consisting of three (3) parts topsoil, one (1) part compost, one (1) part sand. Topsoil shall be per ASTM D5268, pH range of 5.5 to 7, min. 4 percent organic material, free of stones and soil clumps 3/4 inch and larger. Compost shall be yard waste compost from an EPA rated class IV compost facility. Sand shall be per item ASTM C33. Proprietary manufactured planting mix such as Kurtz Bros. Professional Blend or Jones Supersoil may be used. Submit product data for review by owner. Place planting mix in settled 6 inch lifts.
18. Mix mycorrhizal fungi into planting mix during placement of planting mix. Application rate shall be according to manufacturer's written recommendations. Mycorrhizal fungi shall be a dry, granular inoculant containing vesicular-arbuscular mycorrhizal fungi and ectomycorrhizal fungi.
19. Excavate planting beds to a depth of 12 inches, unless otherwise indicated. Roto-til subgrade of excavation to a depth of 4 inches, unless otherwise indicated. Incorporate a 6 inch lift of planting mix into subgrade. Place remaining planting mix in settled 6 inch lifts.
20. Planting beds, including mulch, shall be no higher than 6 inches above adjacent grade and shall not impede surface drainage.
21. Lawn areas shall be backfilled with planting mix to a minimum settled thickness of 6 inches. Roto-til subgrade below lawns to a depth of 4 inches, unless otherwise indicated, prior to placement of planting mix.
22. All trees and shrubs shall be fertilized with controlled release tablets of 20-10-5 composition. Size and number of tablets shall be per manufacturer's instructions.
23. Composition and application rate of lawn fertilizer shall be sufficient to amend soil according to recommendations of a qualified soil testing agency. Submit soil test results and amendment recommendations to owner. Lawn fertilizer shall be in a dry granular form.
24. Contractor to determine plant list quantities from the plan. Graphic representation on plan supersedes in case of discrepancy with quantities on schedule.
25. Any item or areas damaged during construction shall be repaired or replaced to its original condition at the contractor expense.
26. Contractor shall thoroughly water all plants at time of installation and as needed until project acceptance by owner. Contractor shall guarantee all plants installed (except annuals) for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.
27. All annuals to be provided by contractor from available seasonal stock.
28. Lawn seed mix shall be proportioned by weight as follows: 10 percent nu blue or blue chip kentucky bluegrass; 10 percent caddieshack or goalkeeper perennial ryegrass; 80 percent quest, inferno, arid 3 and/or pixie tall fescue (select 2). Sodded lawns shall match seeded lawns. Seeding rate shall be 8 to 10 pounds per 1 000 square feet.
29. Lawn seed shall not have less than 98 percent purity and not have less than 90 percent germination.
30. The root flare shall be even with adjacent finish grade.
31. If possible, all rope and burlap shall be removed from shrubs and smaller plants.
32. Mulch shall be pulled back away from the trunks of trees and shrubs.
33. All trees shall be staked for the first year after planting.

PLANT MATERIALS LIST NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.

QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHADE TREES</b>						
7	BC	BALD CYPRESS	Taxodium distichum	3" Cal.	B&B	
14	FE	FRONTIER ELM	Ulmus 'Frontier'	3" Cal.	B&B	
10	GV	GREEN VASE ZELKOVA	Zelkova serrata 'Green Vase'	3" Cal.	B&B	
14	SH	SKYLINE HONEYLOCUST	Gleditsia triacanthos var. inermis 'Skyline'	3" Cal.	B&B	
<b>ORNAMENTAL TREES</b>						
4	IS	IVORY SILK JAPANESE LILAC TREE	Syringa reticulata 'Ivory Silk'	3" Cal.	B&B	
5	SM	SWEETBAY MAGNOLIA	Magnolia virginiana	3" Cal.	B&B	
3	PC	PRAIRIFIRE FLOWERING CRABAPPLE	Malus 'Prairifire'	3" Cal.	B&B	



- GENERAL PLANTING NOTES**
- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
  - EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
  - CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
  - ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD MULCH BED WITH SMOOTH/CONTINUOUS SHOVEL/DUG EDGE WHEN NOT BOUND BY PAVEMENT.
  - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
  - FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
  - CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION.
  - ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
  - ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
  - QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR BID QUANTITIES AS REQUIRED BY THE PLAN.
  - WHERE TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY OWNER'S REPRESENTATIVE TO ADJUST TREE LOCATIONS.
  - ALL DISTURBED AREAS SHALL BE SEEDED WITH TURF TYPE: TALL FESCUE.
  - THE ROOT FLARE SHALL BE EVEN WITH ADJACENT FINISH GRADE.
  - IF POSSIBLE, ALL ROPE AND BURLAP SHALL BE REMOVED FROM SHRUBS AND SMALLER PLANTS.
  - MULCH SHALL BE PULLED BACK AWAY FROM THE TRUNKS OF TREES AND SHRUBS.
  - ALL TREES SHALL BE STAKED FOR THE FIRST YEAR AFTER PLANTING.

**CONSTRUCTION NOTES:**

1. LAWN AREA, TOPSOIL TO BE FLUSH WITH ADJACENT PAVED SURFACES.

1 OVERALL SITE PLAN

**EDGE**  
PLANNING | LANDSCAPE ARCHITECTURE | URBAN DESIGN  
www.EDGEIA.com

**CASTO**

CITY OF GAHANNA - FINAL DEVELOPMENT PLAN  
**CRESCENT WOODS COMMERCIAL**

OVERALL LANDSCAPE PLAN

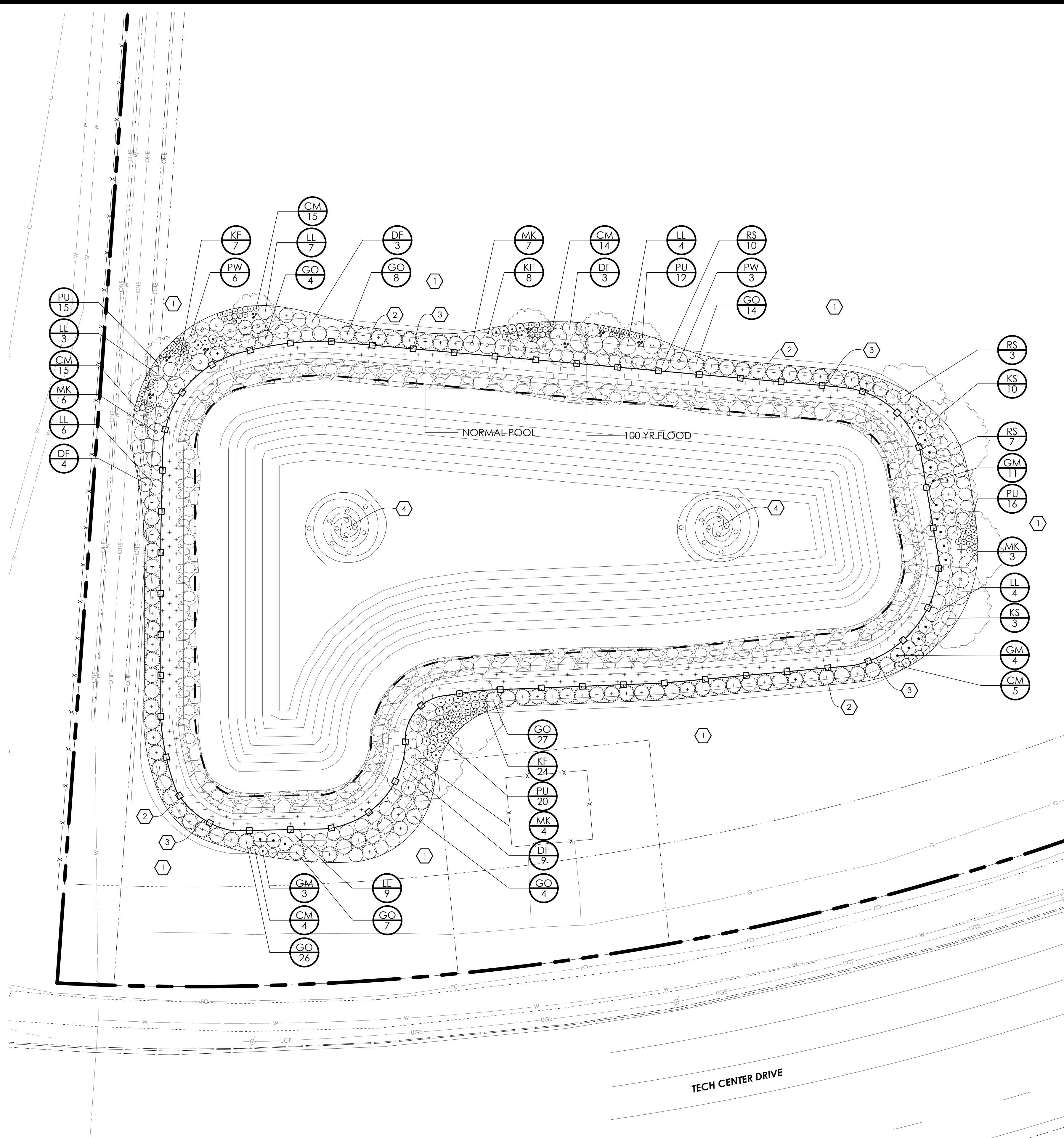
OWNER:  
**CASTO**  
250 S Civic Center Dr,  
Suite 500  
Columbus, OH 43215

LANDSCAPE ARCHITECT:  
**EDGE**  
The EDGE Group, Inc.  
330 W Spring Street  
Suite 350  
Columbus, OH 43215  
614-486-3343

Issue Date:  
April 7, 2023

Job # 19063

SHEET  
**L1.00**

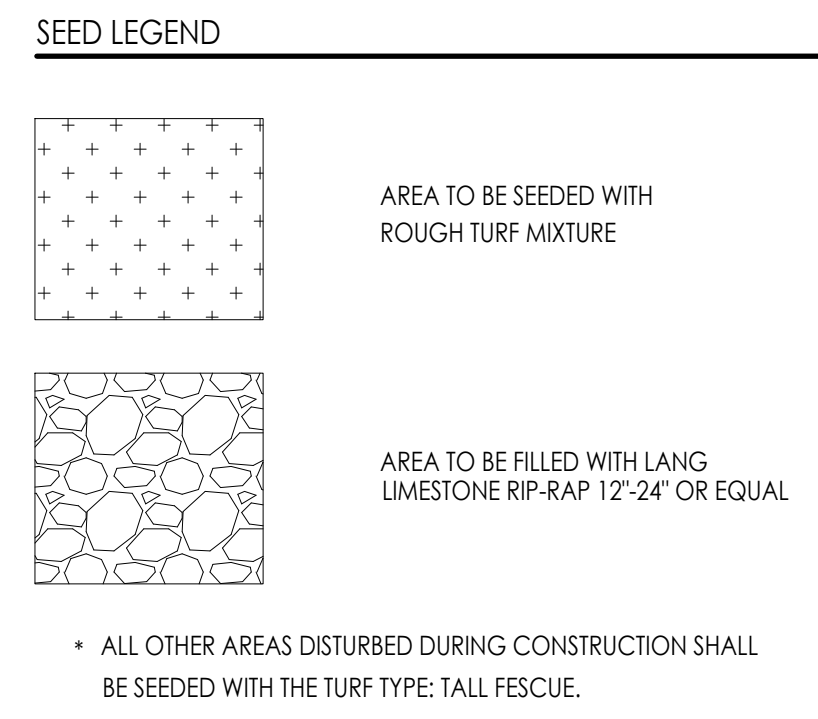


**ROUGH TURF SEED MIX**

COMMON NAME	% P.L.S.
SHEEPS FESCUE OR LITTLE BIGHORN HARD FESCUE	35
LITTLE BLUESTEM	25
SIDEOATS GRAMA	25
BLUE GRAMA	15

APPLICATION RATE: 35 LBS./ACRE

- ROUGH TURF MAINTENANCE**
- YEAR ONE - ESTABLISHMENT**
- MOW FOUR (4) TIMES IN THE FIRST YEAR TO CONTROL ANNUAL AND BIENNIAL WEEDS.
  - MOW TO A HEIGHT OF SIX (6) INCHES. THIS IS APPLICABLE TO THE FIRST THREE (3) MOWINGS.
  - MOW TO A HEIGHT OF TWELVE (12) INCHES FOR FOURTH AND FINAL MOWING IF THE NATIVE GRASSES GROW HIGHER THAN (6) INCHES.
  - DO NOT ALLOW WEEDS TO EXCEED (12) INCHES IN HEIGHT BETWEEN MOWINGS.
  - ALL MOWING ON THE BASIN FLOOR IS TO BE COMPLETED BY HAND, GAS OR ELECTRIC TRIMMERS, TO PREVENT RUTTING.
  - RESEED AREAS WITH BARE PATCHES LARGER THAN THREE (3) FEET BY THREE (3) FEET. IF RESEEDING IN FALL, TREAT AS A DORMANT SEEDING AND DOUBLE THE SEEDING RATE. REMOVE TRASH AND DEBRIS WEEKLY.
- YEAR TWO - ESTABLISHMENT**
- MOW EARLY JUNE TO A HEIGHT OF TWELVE (12) INCHES.
  - IF WEEDS CONTINUE TO BE A PROBLEM IN THE SECOND YEAR, MOW AGAIN JUST ABOVE THE TOPS OF THE NATIVE GRASSES. A FLAIL TYPE MOWER IS PREFERRED TO A ROTARY MOWER AS IT CHOPS UP THE MATERIAL AND DRIES OUT WITHOUT SMOOTHING THE SMALLER GRASSES BELOW.
  - SELECTIVE HERBICIDES, SUCH AS PLATEAU (IMAZAPIC), MAY ALSO BE USED TO CONTROL NON-GRASSY WEEDS IN THE NATIVE ROUGH AREAS LATE IN THE SECOND YEAR.
  - ALL MOWING ON THE BASIN FLOOR IS TO BE COMPLETED BY HAND, GAS OR ELECTRIC TRIMMERS, TO PREVENT RUTTING.
  - RESEED AREAS WITH BARE PATCHES LARGER THAN THREE (3) FEET BY THREE (3) FEET. IF RESEEDING IN FALL, TREAT AS A DORMANT SEEDING AND DOUBLE THE SEEDING RATE. REMOVE TRASH AND DEBRIS WEEKLY.
- YEAR THREE PLUS - LONG TERM MAINTENANCE**
- JUST AFTER THE FIRST MOWING OF SPRING, MOW THE NATIVE GRASSES AS CLOSELY TO THE GROUND AS POSSIBLE, IN ORDER TO DO MAXIMUM DAMAGE TO COOL-SEASON GRASSES AND WEEDS.
  - RAKE THE CUTTINGS AND REMOVE TO EXPOSE THE SOIL TO THE WARMING RAYS OF THE SUN.
  - SELECTIVE HERBICIDES, SUCH AS PLATEAU (IMAZAPIC), MAY ALSO BE USED TO CONTROL NON-GRASSY WEEDS IN THE NATIVE ROUGH AREAS.
  - ALL MOWING ON THE BASIN FLOOR IS TO BE COMPLETED BY HAND, GAS OR ELECTRIC TRIMMERS, TO PREVENT RUTTING. REMOVE TRASH AND DEBRIS WEEKLY.



- GENERAL PLANTING NOTES**
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  - MULCH SHALL BE PULLED BACK AWAY FROM THE TRUNKS OF TREES AND SHRUBS.
  - ALL TREES SHALL BE STAKED FOR THE FIRST YEAR AFTER PLANTING.

- CONSTRUCTION NOTES:**
- LAWN AREA, TOPSOIL TO BE FLUSH WITH ADJACENT PAVED SURFACES.
  - LANDSCAPE AREA, PLANT AS INDICATED AND MULCH ENTIRE AREA WITH HARDWOOD BARK MULCH AT 3" MIN.
  - LOW FENCE, OR APPROVED EQUAL SEE DETAIL 1 ON SHEET L3.01
  - FOUNTAIN, AQUAMASTER LAKEWOOD, 60HZ, 3.SHP, 11" HT X 30" DIA, OR APPROVED EQUAL

**PLANT MATERIALS LIST** NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.

QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SHRUBS</b>						
90	GO	GREY OWL JUNIPER	Juniperus virginiana 'Grey Owl'	24" Sprd.	CONT.	
13	KS	KOREAN SPICE VIBURNUM	Viburnum carlesii	36" Hgt.	CONT.	
33	LL	LITTLE LIME HYDRANGEA	Hydrangea paniculata 'Jane' Little Lime	18" Hgt.	CONT.	
20	MK	MISS KIM KOREAN LILAC	Syringa pubescens subsp. patula 'Miss Kim'	36" Hgt.	CONT.	
9	PW	PEE WEE OAKLEAF HYDRANGEA	Hydrangea quercifolia 'Pee Wee'	18" Hgt.	CONT.	
<b>PERENNIALS AND ORNAMENTAL GRASSES</b>						
53	CM	CATMINT	Nepeta x faassenii 'Walker's Low'	1 Gal.	CONT.	
19	DF	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hameln'	2 Gal.	CONT.	
18	GM	GRACILIMUS MAIDEN GRASS	Miscanthus sinensis 'Gracillimus'	2 Gal.	CONT.	
39	KF	KARL FOERSTER FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	2 Gal.	CONT.	
63	PU	PURPLE CONE FLOWER	Echinacea purpurea	1 Gal.	CONT.	
20	RS	RED SWITCH GRASS	Panicum virgatum 'Shenandoah'	2 Gal.	CONT.	

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**CAS****TO**

CITY OF GAHANNA - FINAL DEVELOPMENT PLAN

**CRESCENT WOODS COMMERCIAL**

LANDSCAPE PLAN ENLARGEMENTS

OWNER: **CAS****TO**  
250 S Civic Center Dr, Suite 500  
Columbus, OH 43215

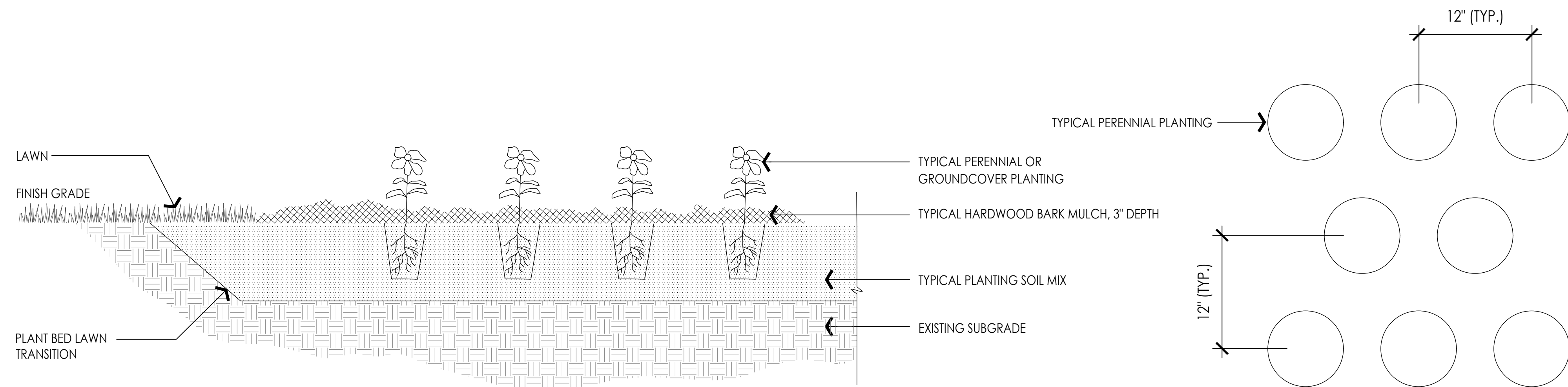
LANDSCAPE ARCHITECT: **EDGE**  
The EDGE Group, Inc.  
330 W Spring Street  
Suite 350  
Columbus, OH 43215  
614-486-3343

Issue Date: April 7, 2023

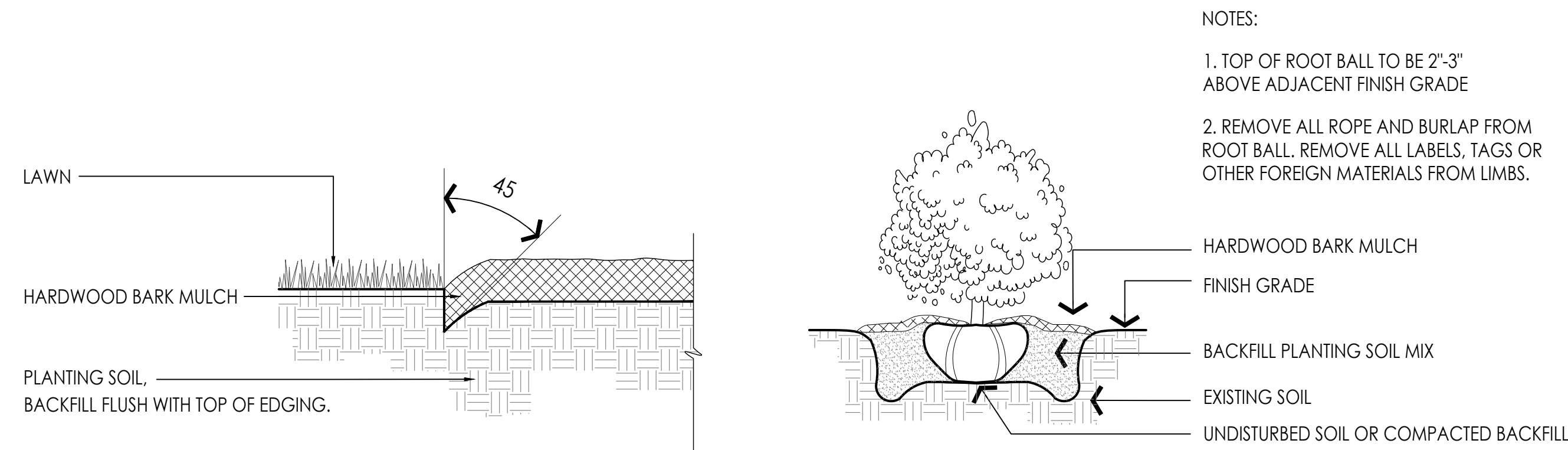
Job # 19063

SHEET **L2.00**



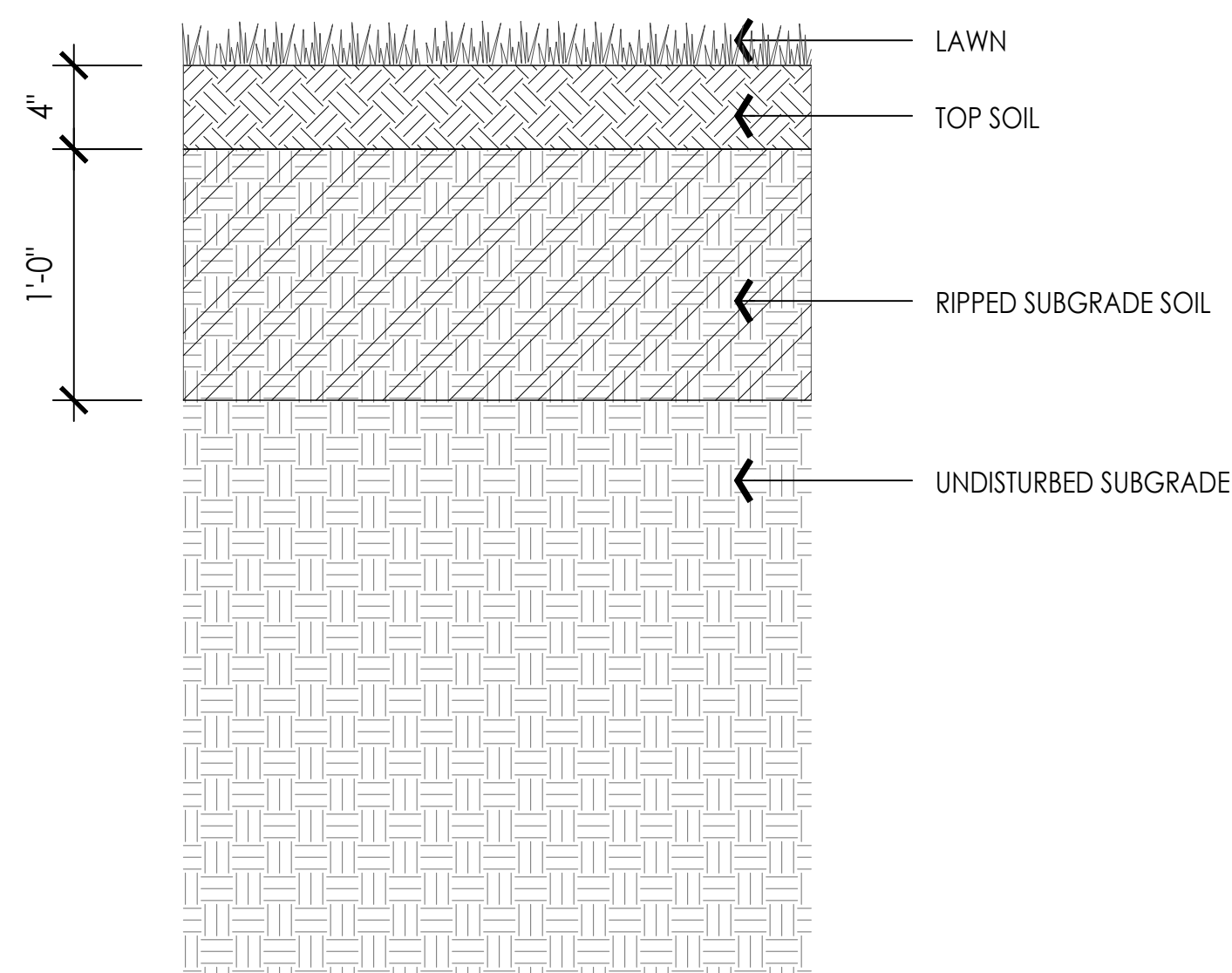


1 PLAN, SECTION - PERENNIAL AND GROUND COVER PLANTING  
N.T.S.

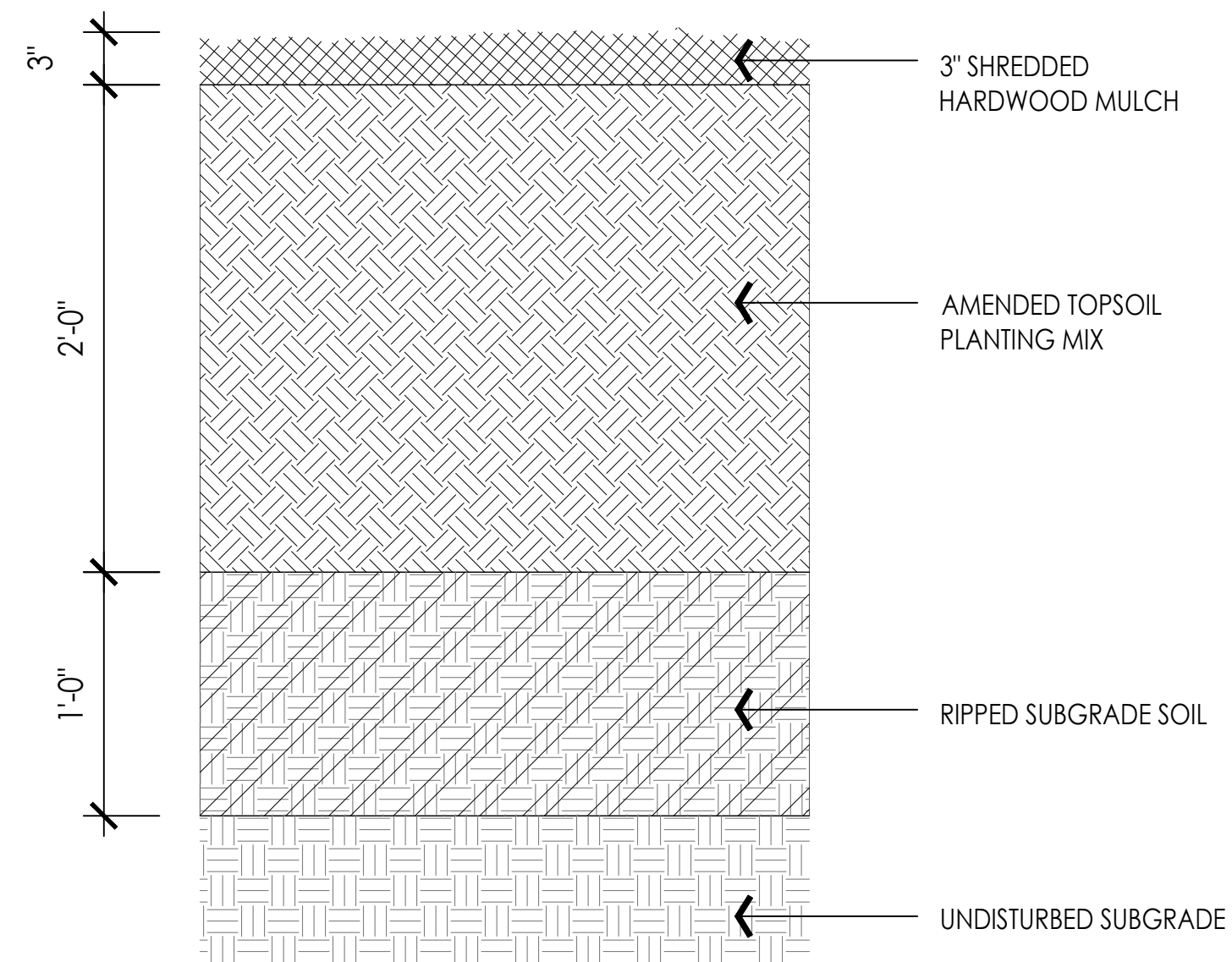


2 PLANT BED EDGE  
N.T.S.

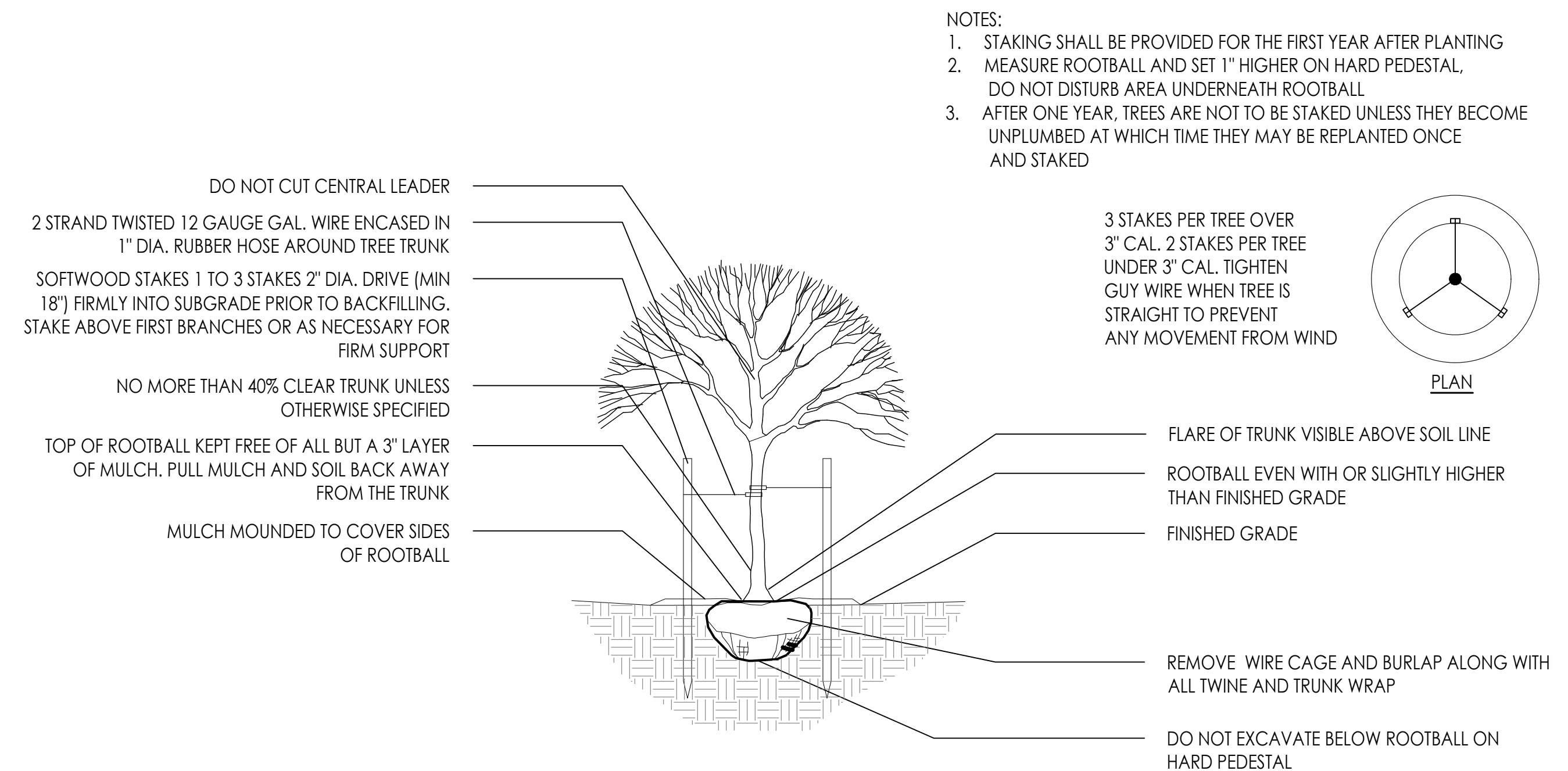
3 SHRUB PLANTING  
N.T.S.



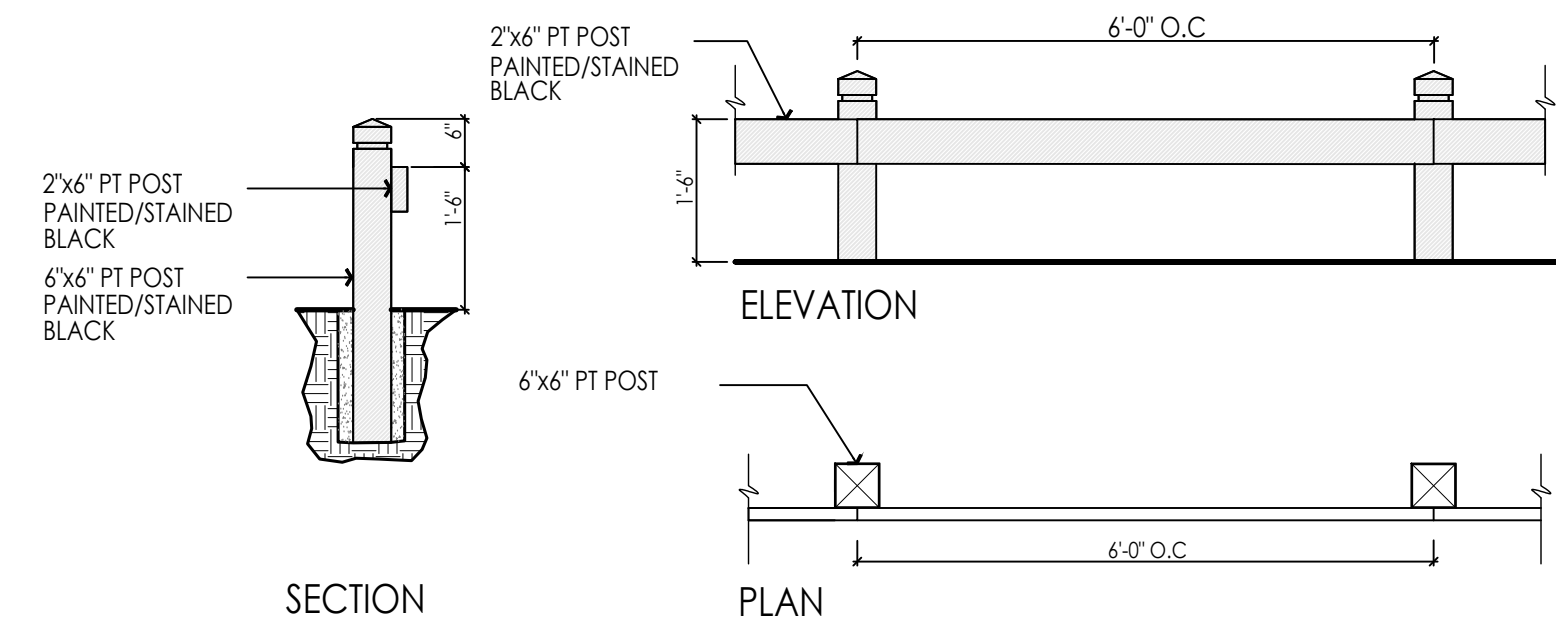
4 SOIL PROFILE AT LAWN  
N.T.S.



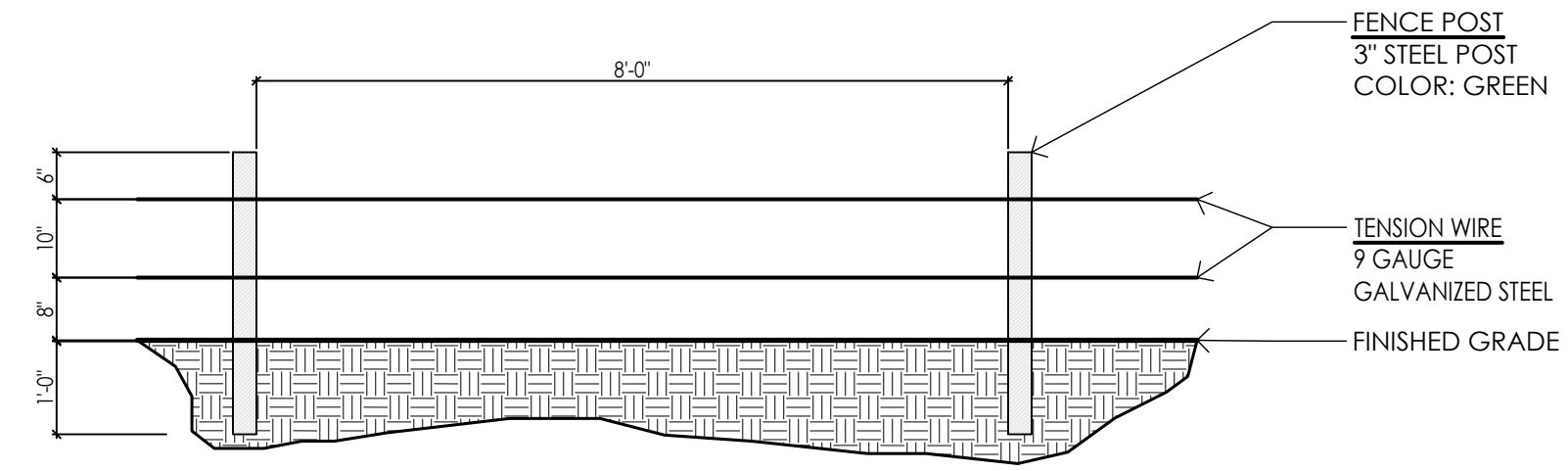
5 SOIL PROFILE AT PLANT BED  
N.T.S.



6 DECIDUOUS TREE PLANTING  
N.T.S.



1 LOW FENCE  
N.T.S.



2 CABLE FENCE (LOW FENCE ALTERNATIVE)  
N.T.S.



Double-sided painted cedar sandblasted sign suspended from custom built aluminum sign support structure, painted white.

Sign face is 25 sq. ft.

■ PMS 540  
■ PMS 298

MORRISON SIGN 2307 State Street, Columbus, OH 43221 614.276.1161 • www.morrison-sign.com	Client: <u>Casto   Crescent</u>	Drawing Date: <u>04-20-21</u>	This sign is intended to be installed in accordance with the Ohio Revised Code, Chapter 6703, and applicable local codes. This includes proper grounding and bonding.	Copy colors, size, quantity <b>APPROVAL:</b> Client Signature: _____ Date: _____
	Project Name: <u>Monument Sign</u>	Drawing #: <u>21-193</u>		SP: <u>DH</u> D: <u>AW</u>

① ELEVATION - ID SIGN (ENTRY) NTS



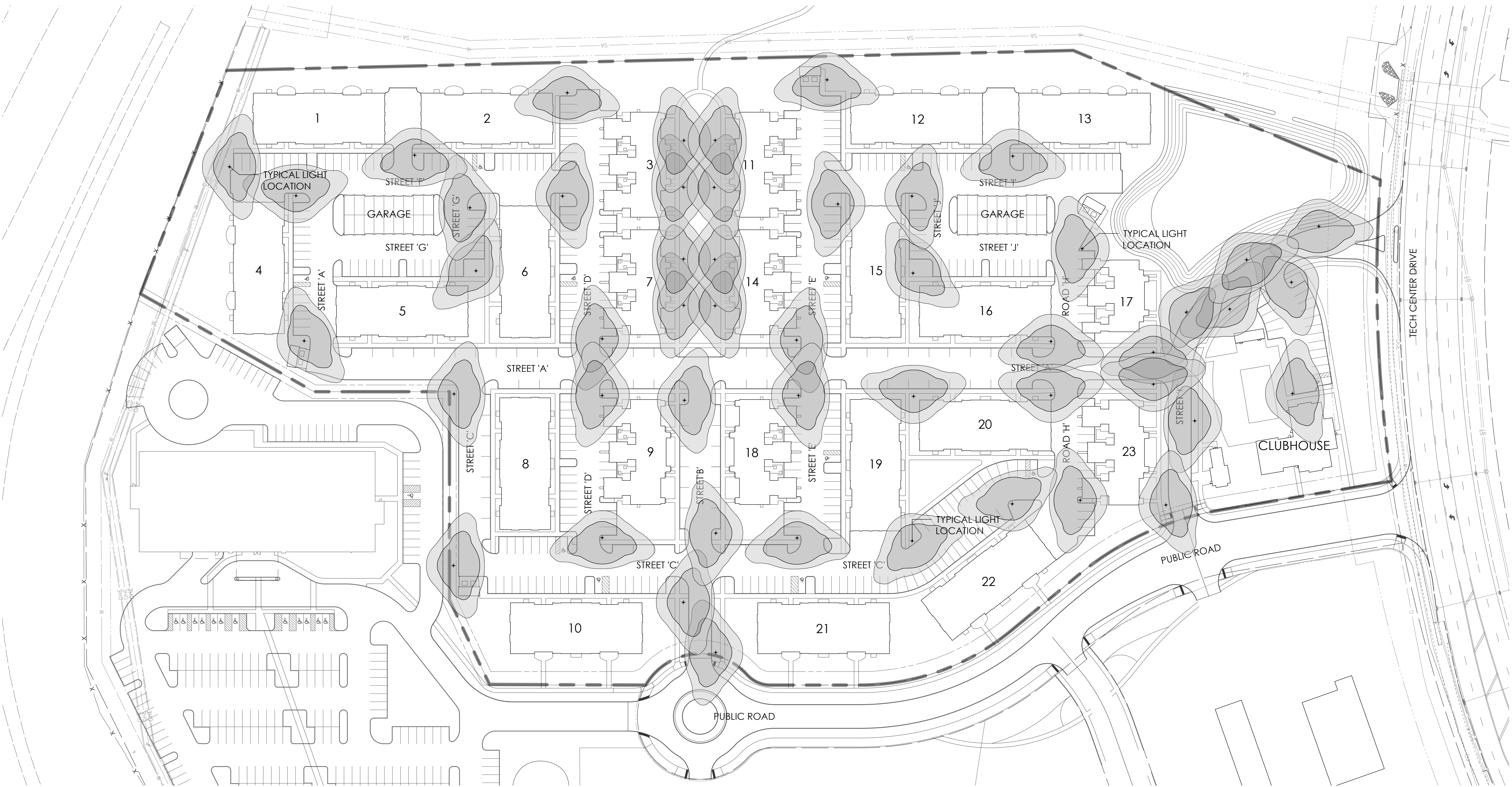
Double-sided aluminum cabinet monument sign, mounted to brick base.

Sign face is 80 sq. ft.

■

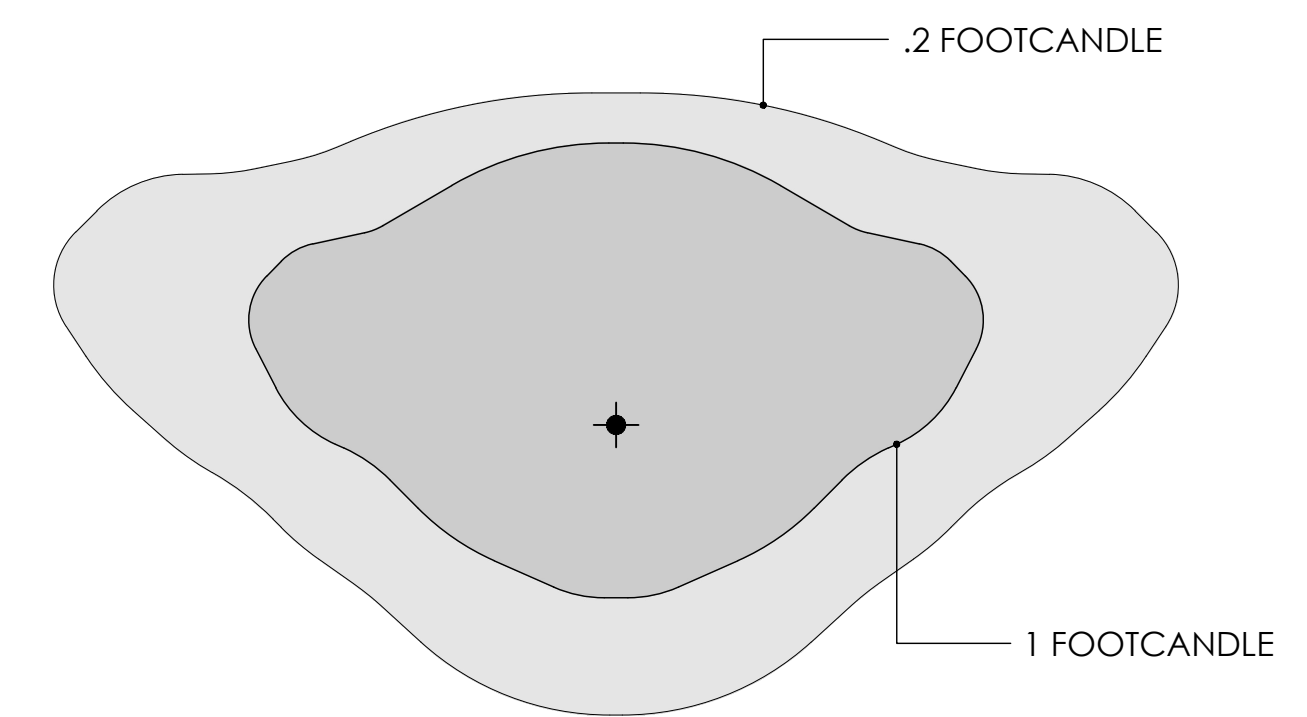
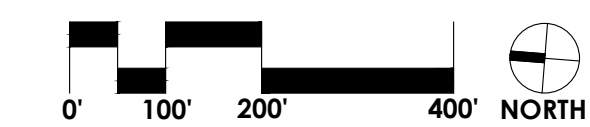
Monument Sign 
-------------------

② ELEVATION - ID SIGN (FREEWAY) NTS



**LIGHTING PLAN NOTE:**

LIGHT DISTRIBUTION SHOWN ON PLAN IS A GENERAL REPRESENTATION OF TYPE II LIGHT DISTRIBUTION AND IS FOR GRAPHIC PURPOSES ONLY.



1 LIGHT DISTRIBUTION DIAGRAM

Scale: 1" = 20'





DISPOSITION – April 19, 2023

April 10, 2023

Crescent AT Central Park LLC  
132 Preston Rd  
Columbus, OH 43209-1653

RE: Project 0 Hamilton Rd Final Development Plan

Dear Crescent AT Central Park LLC:

The following comments were generated from the review of the submitted plans and documents for the referenced project. For the next submittal, please provide a response to comments, revised plans, and/or other information as requested for further review. The response to comments needs to include both the original comment and the appropriate response. If desired, these comments can be emailed. Re-submitted plans that do not include the disposition of comments document will not be reviewed and will be returned to you.

**Transportation & Mobility Engineer (614) 342-4050**

1. Ensure proper conveyance of existing sanitary sewers. Noted
2. As required by the Ohio EPA general construction permit, earth disturbance is defined to include clearing and grubbing. If clearing and grubbing of the site exceeding 1.0 acres is initiated prior to final approval of the site plan, an OEPA general construction permit must be obtained by the developer and relevant documentation must be provided to Gahanna's Engineering Department. (*Informational Comment*) Noted.
3. The off-site portions of the proposed sanitary sewer main should also be shown on any other FDP submissions that are still under review, as necessary. (*Informational Comment*) Noted.

**Planning (614) 342-4025**

4. Informational Comment - At some point the property west of the creek/ditch will need to be platted. The platting requirements and process can be found in Chapter 1105. It is unclear when platting will be required as portions of the property could be developed prior to platting. Any public roadway must be platted prior to any development activities occurring per Chapter 1105.10. (*Informational Comment*) Noted.

**Building (614) 342-4010**

5. The structures and site will be required to comply with the applicable provisions of the Ohio Building Code. From the basic information provided, some of the buildings will be required to either have fire-resistant rated exterior walls, reviewed as one combined structure on the site, or the buildings relocated to be greater than 20 feet apart. Also, accessible parking does not appear to comply with the OBC. (*Future Consideration*) Noted.

**Parks (614) 342-4261**

6. Species selection looks good. Most of these trees will grow to be very large, and they should be spaced appropriately to give them plenty of room to grow. They should be a minimum of 20' away from structures and each other if possible. If they are planted too close, they will eventually cause conflict with roofing, siding, foundations, hardscapes, and other trees. The two crabapple species are acceptable per code, but crabapples are prone to many diseases. It looks like the two cultivars chosen are disease resistant, but the trees should be inspected for disease before planting. (*Informational Comment*), Noted.
7. Planting notes should be added to show the following: the root flare even with adjacent finish grade. If possible, all rope and burlap should be removed from shrubs and smaller plants. Mulch should be pulled back away from the trunks of trees and shrubs. All trees should be staked for the first year after planting. Noted.
8. Street tree plans must be submitted to Landscape Board (at time of final plat). (*Future Consideration*) Noted.

**Fire District (welshp@mifflin-oh.gov)**

9. The proposed apartment complex consists of 294 multi-family dwellings. These are two- and three-story buildings. Contact has been made about City of Gahanna and Mifflin Township requirements public and private hydrant locations to E.P. Ferris. Valves and appliance locations will be revisited upon permitting process. Noted.
10. Fire apparatus roadway calculations have been provided and are of adequate width and spacing. Noted.
11. Fire equipment accessibility for the structures is adequate for fire protection. Noted.
12. The fire division has no other objection than what is listed. Noted.
13. Comments will be given for required fire protection systems when requested. Noted.

If you have general comments or questions, please contact me at [kelly.wicker@gahanna.gov](mailto:kelly.wicker@gahanna.gov) or (614) 342-4025. If your questions are specific to a certain department's comments, please reach out to that department using the contact information provided with their comments above.

Sincerely,

Kelly Wicker  
Planning and Zoning Coordinator



April 25, 2023

Crescent AT Central Park LLC  
132 Preston Rd  
Columbus, OH 43209-1653

RE: Project 0 Hamilton Rd Final Development Plan

Dear Crescent AT Central Park LLC:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

**Planning (614) 342-4025**

1. Informational Comment - At some point the property west of the creek/ditch will need to be platted. The platting requirements and process can be found in Chapter 1105. It is unclear when platting will be required as portions of the property could be developed prior to platting. Any public roadway must be platted prior to any development activities occurring per Chapter 1105.10. (*Informational Comment*)

**Building (614) 342-4010**

2. The structures and site will be required to comply with the applicable provisions of the Ohio Building Code. From the basic information provided, some of the buildings will be required to either have fire-resistance rated exterior walls, reviewed as one combined structure on the site, or the buildings relocated to be greater than 20 feet apart. Also, accessible parking does not appear to comply with the OBC. (*Future Consideration*)

**Transportation & Mobility Engineer (614) 342-4050**

3. As required by the Ohio EPA general construction permit, earth disturbance is defined to include clearing and grubbing. If clearing and grubbing of the site exceeding 1.0 acres is initiated prior to final approval of the site plan, an OEPA general construction permit must be obtained by the developer and relevant documentation must be provided to Gahanna's Engineering Department. (*Informational Comment*)
4. Provide documentation showing responsible parties for design and construction of Crescent Boulevard.
5. The parking facilities shown do not appear to be in compliance with Section 208.2.3 of the 2010 ADA Standards for Accessible Design.
6. An OEPA PTI permit will be required before construction of sanitary sewer can begin.
7. An OEPA PTI permit will be required before construction of water lines can begin.
8. Verify drainage basin values (e.g. 100-yr elevation). There is an inconsistency between the stormwater report and plan submittal.

**Parks (614) 342-4261**

9. Street tree plans must be submitted to Landscape Board (at time of final plat). (*Future Consideration*)
10. Planting notes were updated. In some places, the plans show root flare even with adjacent finish grade. In other places, it says even or slightly above. It is better to plant a tree slightly too high than



slightly too low, but I don't want to see trees intentionally planted too high. After settling, the proper depth is root flare even with adjacent finish grade. *(Informational Comment)*

**Fire District (weshp@mifflin-oh.gov)**

11. The proposed apartment complex consists of 294 multi-family dwellings. These are two- and three-story buildings. Contact has been made about City of Gahanna and Mifflin Township requirements public and private hydrant locations to E.P. Ferris. Valves and appliance locations will be revisited upon permitting process.
12. Fire apparatus roadway calculations have been provided and are of adequate width and spacing.
13. Fire equipment accessibility for the structures is adequate for fire protection.
14. The fire division has no other objection than what is listed.
15. Comments will be given for required fire protection systems when requested.

If you have general comments or questions, please contact me at [kelly.wicker@gahanna.gov](mailto:kelly.wicker@gahanna.gov) or (614) 342-4025. If your questions are specific to a certain department's comments, please reach out to that department using the contact information provided with their comments above.

Sincerely,

Kelly Wicker  
Planning and Zoning Coordinator



## STAFF REPORT

### Request Summary

The applicant is requesting approval of Final Development Plan, Design Review, Conditional Use, Variance, and Rezoning applications for the construction of an apartment complex at parcel #025-013767, located on the northern side of Tech Center Drive, just east of Hamilton Road. It is part of the Crescent at Central Park area. The site is mostly zoned L-MFRD – Multifamily Residential with a Limited Overlay, while the southern portion of the site is zoned SCPD – Select Commercial Planned District. The rezoning application is to rezone this southern portion, so the entire site is L-MFRD.

In 2020, Rezoning, Conditional Use, and Variance applications were approved for a multi-family project at this site. At the time, the project consisted of 312 units, or 17.43 du/acre. The approved Conditional Uses were for increased density, building height, residential buildings on lot, and accessory buildings.

In 2021, Final Development Plan and Design Review applications for the project were approved by Planning Commission. At that point, the project's scope had been reduced due to City Council's input and contained 240 units, or 16.5 du/acre. Simultaneously, additional Variances for signage and screening requirements were approved. The current application contains many of the same Conditional Uses and Variances. Since the project's scope and boundaries have changed, most of these need to be reapproved by Planning Commission.

The current proposal contains 294 apartment units on 16.67 acres, which is approximately 17.6 du/acre, and requires approval of a Conditional Use in this zoning district (see Conditional Use section). The site will contain 23 residential buildings of varying sizes, two separate garages, and one clubhouse and community pool. The buildings on-site utilize vinyl siding and trim, brick veneer, and cast stone veneer as materials. The various exterior colors are shown in the color elevations below.

The total number of parking spaces provided on-site is 550 (~1.9 per unit), which is just below the 588 required spaces. 408 of these spaces are uncovered and 142 are garage spaces. A Variance to this parking requirement has been requested. The proposal meets the requirements for 15% of common, open, usable space. All lighting requirements are met as well.

Per landscaping requirements in Chapter 914 and interior landscaping requirements in Chapter 1163, 271 total trees of at least 3 caliper inches are required to be planted. The applicant is proposing 317 trees, therefore exceeding requirements.

The properties directly to the east and west of the site are zoned Commercial, therefore Code requires a 15 ft buffer with one tree per 40 ft of linear boundary and a six-foot-high continuous screen. This requirement is met along the west property line, but a Variance has been requested to the east property line (see Variance section). The northern property line abuts I-270 and has more intensive requirements with a 20 ft required buffer, one tree per 30 ft of linear boundary, and a continuous six-foot-high screen. A Variance to this requirement was granted in 2021 and is still valid since the northern property line remains unchanged.



### Final Development Plan

Planning Commission shall approve an FDP application if the following four conditions are met:

- The proposed development meets the applicable development standards of this Zoning Ordinance.
- The proposed development is in accord with appropriate plans for the area.
- The proposed development would not have undesirable effects on the surrounding area.
- The proposed development would be in keeping with the existing land use character and physical development potential of the area.

### Design Review

General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect, and enhance the physical surroundings of the Design Review District.

Since the site is zoned L-MFRD, it is a part of Design Review District 2 (DRD-2). Here are relevant Design Review standards for DRD-2:

- Adequate parking shall be provided with access to recreational and open space facilities.
- Colors shall be of a palette that fosters harmonious relationship with other uses and structures.
  - Natural, historic, earth tones or similar colors
- Building materials should be of a nature that will enhance the development and existing land values. Brick, slate, wood, cement, stucco, or other materials should provide diversity, but, at the same time, should be consistent with the surrounding area.
  - Decorative stone and bricks are preferred, but decorative wood or vinyl siding may be used if approved by Planning Commission.

### Conditional Use

Five Conditional Uses have been requested as part of this application, all of which are related to multi-family uses and are necessary to develop the site at the requested density. The MFRD Chapter of Code regulates density, number of buildings, and accessory buildings through Conditional Uses.

The following Conditional Uses have been requested:

1. 1149.02(a)(1) – Buildings containing more than eight dwelling units
2. 1149.02(a)(2) – Two or more permitted residential buildings on the same lot
3. 1149.02(a)(3) – Additional density of up to 18 du/acre
4. 1149.02(c) – Accessory buildings and uses in association with permitted dwelling buildings
5. 1149.03(g) – Buildings more than two full stories above grade



Requests for a conditional use shall be approved if the following four conditions are met:

1. The proposed use is a conditional use of the zoning district and the applicable development standards established in this zoning ordinance are met.
2. The proposed development is in accord with the appropriate plans for the area.
3. The proposed development will not have undesirable effects on the surrounding area.
4. The proposed development will be in keeping with the existing land use character and physical development potential of the area.

### Variances

The following variances have been requested:

1. 1149.03(b)(1) – Lot Width
  - a. The minimum required lot width is equal to 75 ft plus 10 additional ft per dwelling unit. There are 294 units proposed, meaning Code requires the lot to be 3,015 ft wide, which is over ½ of a mile.
  - b. Staff does not object to this variance request. The required lot width is nearly impossible to meet, and this Code requirement makes it more difficult to develop multi-family projects. A Variance to this Chapter was previously approved for the site in 2020. A variance to this same section was also approved for the Morse Road apartment proposal in 2022.
2. 1149.03(e) – Rear Yard
  - a. Code requires a rear yard of at least 25 feet.
  - b. Staff does not object to this variance request. The request is to reduce the required setback from 25 ft to 20 ft. The variance is minor in nature and there is a heavily wooded area adjacent to the rear yard that will remain undeveloped and provide screening. A Variance to this Chapter was previously approved for the site in 2020.
3. 1149.03(l)(3) – Relationship of Main Buildings to Each Other
  - a. No end of a main building shall be closer than 15 ft to the boundary of an MFRD district.
  - b. Staff does not object to this variance request. The request is to reduce this requirement from 15 ft to 10 ft. The layout and density of the site makes it difficult to meet this requirement and the variance request is minor in nature.
4. 1149.03(l)(5) – Relationship of Main Buildings to Each Other
  - a. No parking shall be closer than 25 feet to the front or rear of a main building.
  - b. Staff does not object to this variance request. The request is to reduce the minimum distance from 25 ft to 5 ft. This Variance is necessary to increase the amount of parking. A Variance to this Chapter was previously approved for the site in 2020.
5. 1163.02(a) – Minimum Number of Parking Spaces Required
  - a. Two parking spaces per dwelling unit required.
  - b. Staff does not object to this variance request. The total required parking for the site is 588 spaces and 550 are proposed. The variance is minor in nature.
6. 1167.20(b)(2) – Property Perimeter Requirements



- a. For any residential zone adjacent to a commercial zone, Code requires a 15 ft buffer, one tree per 40 ft of linear boundary, and a continuous 6-ft-high screen along the property line.
- b. Staff does not object to this variance request. This exact variance was approved for this project in 2021 but is null and must be requested again since the project boundaries have changed.

Planning Commission shall not grant a variance unless it finds that all the following conditions apply:

- a) There are special circumstances or conditions applying to the land, building or use referred to in the application.
- b) The granting of the variance is necessary for the preservation and enjoyment of substantial property rights.
- c) The granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the proposed use and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood.

### Rezoning

The proposed rezoning is from SCPD to L-MFRD. The northern part of the site was already rezoned to L-MFRD in 2020, but the project boundaries have changed, requiring another Rezoning application for the southern portion of the site. Please note that Planning Commission shall make a recommendation to City Council for this application.

Planning Commission shall consider the following elements, among other criteria, when deciding the proposed change:

1. Consistency with the goals, policies, and comprehensive land use plan of the City of Gahanna, including any corridor plans, or subarea plans.
  - a. *The proposed rezoning to MFRD is consistent with the recommendations of the Land Use Plan. The proposed density of 17.6 du/acre is also consistent with the Land Use Plan.*
2. Compatibility of the site's physical, geological, hydrological, and other environmental features with the potential uses allowed in the proposed zoning district.
3. Evidence the applicant cannot receive a reasonable return in investment through developing the property with one of the uses permitted under the current zoning.
4. Availability of sites elsewhere in the City that are already zoned for the proposed use.
  - a. *Staff is not aware of other sites that are zoned for multi-family and available for development. The Land Use Plan has identified a need for more diverse, higher density housing options.*
5. The compatibility of all the potential uses allowed in the proposed zoning district with the surrounding uses and zoning in terms of land suitability, impacts on the environment, density,

nature of use, traffic impacts, aesthetics, infrastructure, and potential influence in the value of existing abutting lands or approved developments.

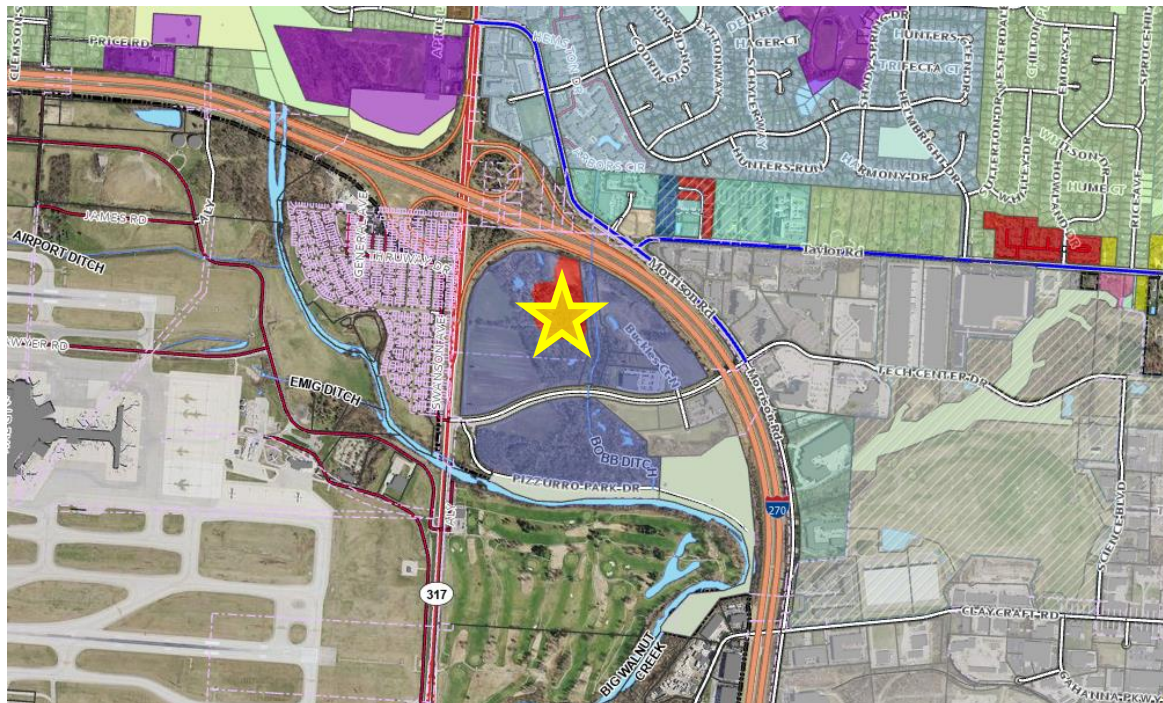
6. The capacity of City infrastructure and services to accommodate the uses permitted in the requested district without compromising the “health, safety, and welfare” of its citizens.
7. The apparent demand for the type of uses permitted in the requested zoning district in the City in relation to the amount of land in the City currently zoned to accommodate the demand.

**Staff Comments**

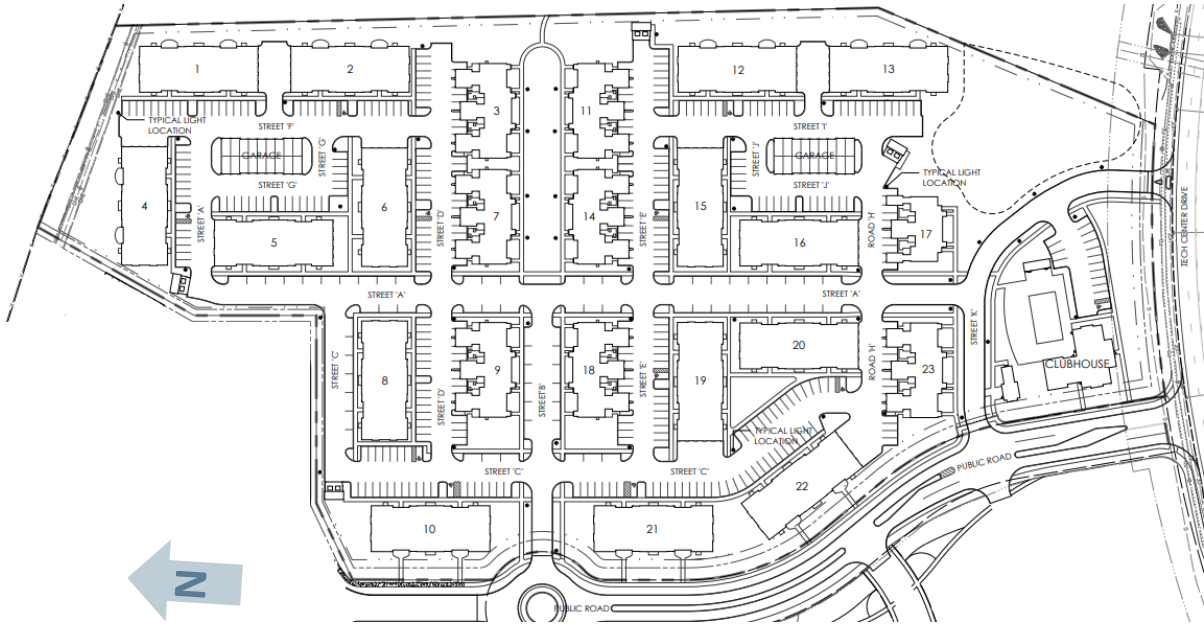
Staff recommends approval of the Final Development Plan, Variance, Conditional Use, and Rezoning as submitted. These four applications meet all applicable Code requirements and above criteria with the requested Variances. The requested Conditional Uses are necessary for higher density residential and have been recently applied to other multi-family developments. Additionally, the Land Use Plan identifies a need for more diverse housing options in the City as the region continues to grow. All of the requested Variances are either minor in nature, necessary to meet other Code requirements, and/or have been previously approved for this site.

Staff has no objection to the Design Review, although it is under the purview of Planning Commission to request modifications to the design and materials of the proposed structures. Vinyl is not a permitted material unless explicitly approved by the Commission.

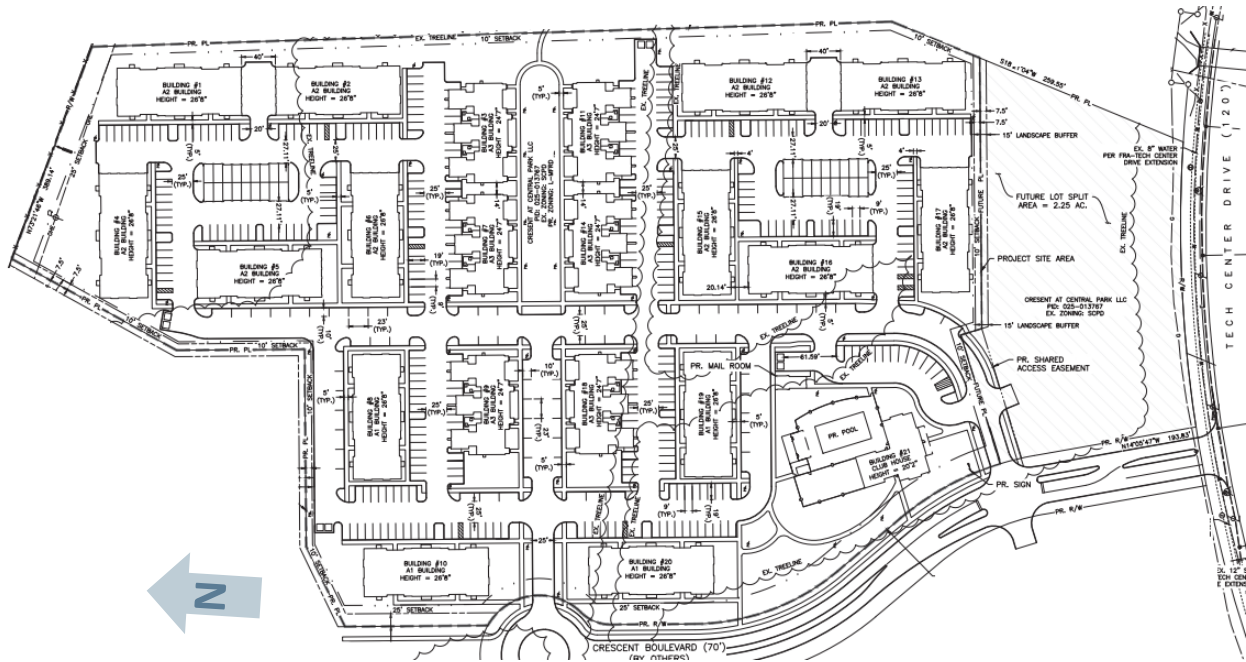
**Location/Zoning Map**



Submitted Site Plan



Previously Approved Site Plan



Submitted Elevations







Previously Approved Elevations

*Note: These are only the buildings where the primary colors have changed since the 2021 application. There were no three-story buildings in the previous submittal.*



Respectfully Submitted By:  
Maddie Capka  
Planner