



CITY OF GAHANNA
DEPARTMENT OF PUBLIC SERVICE AND ENGINEERING

200 S. Hamilton Road
Gahanna, Ohio 43230
Zoning Division: 614-342-4025
zoning@gahanna.gov

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION

PLEASE NOTE: This application is not to be considered complete until all documents are received and approved by the Planning & Zoning Administrator.

Project/Property Address or Location: 134-162 N. Hammilton Rd.		Project Name/Business Name (if applicable): Rocky Fork Plaza		
Parcel ID No.(s) 025-003901-00	Current Zoning: Commercial PCC	Total Acreage: 5.2 acres		
Please check all that apply:				
SITE PLAN <input type="checkbox"/>	LANDSCAPING <input type="checkbox"/>	BUILDING DESIGN <input checked="" type="checkbox"/>	SIGNAGE <input type="checkbox"/>	DEMOLITION <input type="checkbox"/>
Additional Information (if applicable): The work consists of the limited demolition of the existing glass canopy, and the addition of a new EIFS entry cover. There will also be a new painting scheme to modernize the facade.				
APPLICANT INFORMATION (primary contact)				
Name (please do not use a business name): Brandon Doherty - Bass Studio Architects		Address: 36 King Ave, Columbus Ohio, 43201		
E-Mail: brandon@bassstudioarchitects.com		Phone No. 614-633-8298		
ATTORNEY/AGENT INFORMATION				
Name:		Address: 614-294-48930		
E-Mail:		Phone No.		
ADDITIONAL CONTACT INFORMATION (please list all applicable contacts)				
Names: -Contractor: n/a- will be put to bid -Developer: n/a -Architect: Bass Studio Architects - Timothy A. Bass, AIA, Leed AAP.		Contact Information (phone no./email): n/a n/a 614-633-8298		
Property Owner Name: (if different from Applicant) Dean Adamantidis / LDA INVESTMENTS		Contact Information (phone no./email): 614-469-0087		

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED (see page 2 & 3)

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature: Brandon Doherty Date: 11/2/16

INTERNAL USE ONLY

Zoning File No. 16110003
PC Meeting Date: _____
PC File No. _____

RECEIVED fw.
DATE: 11/2/16

PAID: 50.00
DATE: 11/2/16
CHECK#: 5726



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DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION-SUBMISSION REQUIREMENTS

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STAFF USE INTAKE	TO BE COMPLETED/SUBMITTED BY THE APPLICANT:	APPLICANT		STAFF USE	
		YES	N/A	YES	N/A
	1. Review Gahanna Code Section 1197 and/or 1165-signage (visit www.municode.com)	✓			
✓	2. Pre-application conference with staff	✓		✓	
✓	3. Materials List (see page 4) – does not apply to demolition applicants			✓	
✓	4. Application & all supporting documents submitted in digital format	✓		✓	
✓	5. Application & all supporting documents submitted in hardcopy format	✓		✓	
✓	6. Authorization Consent Form Complete & Notarized (see page 6)			✓	
	PLEASE CONTINUE TO THE APPROPRIATE SECTION OF REQUIREMENTS				
✓	NOTE: All Plans must be submitted in 8.5x11", 11x17", or 24x36" (folded, not rolled, to 8.5x11")	✓		✓	
SITE PLAN / LANDSCAPING / BUILDING DESIGN REQUIREMENTS					
GENERAL REQUIREMENTS					
✓	1. One 24x36 & One 11x17 prints of the plans	✓		✓	
✓	2. Color photographs illustrating the site, buildings, & other existing features as well as adjacent properties (identify photograph location)	✗		✓	
✓	3. A list of all samples to include color names & PMS numbers (required for all exterior materials) – please bring samples to meeting(s)	✗		✓	
✓	4. Application fee (New - \$50 + \$.01 per sq. foot; Amended - \$25 + .01 per sq. foot)	✗		✓	
✓	5. Color rendering(s) of the project in plan/perspective/or elevation	✓		✓	
BUILDING CONSTRUCTION, EXTERIOR REMODELING, & ADDITIONS (INCLUDING PARKING LOTS & LANDSCAPING)					
✓	1. SITE PLAN that includes the following: (include: scale, north arrow, & address)	✓		✓	
	- All property & street pavement lines	✓		✓	
	- Gross area of tract stated in square feet		✓		✓
	- Proposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent streets. Delineate traffic flow with directional arrows & indicate location of direction signs or other motorist's aids (if any)		✓		✓
✓	- Location of all existing and proposed buildings on the site	✓			
	- Location of all existing (to remain) & proposed lighting standards		✓		
	- Breakdown of parking spaces required & spaces provided (see Gahanna Code Section 1163)		✓		
	- Provide lot coverage breakdown of building & paved surface areas		✓		
	2. LANDSCAPE PLAN (including plant list)		✓		
	- Existing landscaping that will be retained & proposed landscaping shall be differentiated & shown on the plan. The type, size, number, & spacing of all plantings & other landscape features must be illustrated		✓		
	- Location of all isolated existing trees having a diameter of six"+; (tree masses may be shown with a diagrammatic outline & a written inventory of individual trees exceeding 6" in caliper)		✓		
	- Designation of required buffer screens (if any) between parking area & adjacent property		✓		
	- Interior landscaping breakdown for paved surface (see Gahanna Code Section 1163)		✓		
✓	3. ELEVATIONS from all sides & related elevations of any existing structures that includes the following: (include: scale, north arrow, & address)	✓		✓	
✓	- Exterior materials identified	✓		✓	
✓	- Fenestration, doorways, & all other projecting & receding elements of the building exterior	✓		✓	
	4. LIGHTING STANDARD DRAWING that includes the following: (scaled drawing)		✓		
	- All sizing specifications		✓		
	- Information on lighting intensity (no. of watts, isofootcandle diagram, at least 1/2 ft. candles req.)		✓		

CONTINUE TO PAGE 3



CITY OF GAHANNA

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	- Materials, colors, & manufacturer's cut sheet		✓		✓
	- Ground or wall anchorage details		✓		
	5. OPTIONAL REQUIREMENTS AT THE DISCRETION OF PLANNING COMMISSION:				
	- Scale model		✓		
	- Section profiles				
	- Perspective drawing				
SIGNAGE REQUIREMENTS					
GENERAL REQUIREMENTS					
	1. A list of all samples to include color names & PMS numbers (required for all exterior materials)		✓		
	2. Application fee (One-Tenant - \$35; Multi-Tenant - \$50)		✓		
FREE-STANDING GROUND SIGN REQUIREMENTS					
	1. <u>SITE PLAN</u> that includes the following: (include: scale, north arrow, & address)		✓		
	- All property and pavement lines		✓		
	- Proposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent streets. Delineate traffic flow with directional arrows & indicate location of direction signs or other motorist's aids (if any)		✓		
	- Location of existing and proposed landscaping (refer to Gahanna Section 1165.08)		✓		
	- Location & height of all existing (to remain) & proposed signs on the site. Show required setbacks for sign from property lines.		✓		
WALL SIGN REQUIREMENTS					
	1. <u>SIGN DRAWING</u> that includes the following: (include scaled drawing of each face)		✓		
	- All size specifications, including the size of letters & graphics		✓		
	- Description of sign and frame materials & colors		✓		
	- Wall anchorage details (anchorage must be interior to the sign or camouflaged)		✓		
	2. <u>ELEVATIONS</u> (to scale, of the entire wall of the building to which the sign is to be fixed, correctly locating the sign)		✓		
DEMOLITION OR REMOVAL OF EXISTING STRUCTURES REQUIREMENTS					
	7. ONE OR MORE OF THE FOLLOWING CONDITIONS MUST EXIST:		✓		
	- That the building contains no features of special architecture or is not a historical building or culturally significant or is not consistent in design & style with other structures within the district		✓		
	- That there exists no viable economic use for the building in its current state or as it might be restored or that there is not a feasible and prudent alternative to demolition and that the approval of the demolition is necessary for the preservation and enjoyment of substantial property rights		✓		
	- That the applicant has a definite plan for redevelopment of the site which meets the standards of this Code and the proposed redevelopment will not materially affect adversely the health or safety of persons residing or working in the district where the demolition will occur and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood		✓		
	8. Application fee (New - \$50 + \$.01 per sq. foot; Amended - \$25 + .01 per sq. foot)		✓		



MATERIAL LIST

NOT REQUIRED FOR DEMOLITION APPLICANTS

Item	Manufacturer Name	Color Name	Color Number
Awnings	n/a		
Brick	n/a		
Gutters and Downspout	n/a		
Lighting	n/a		
Roofing	EPDM membrane - not visible		
Siding	EIFS siding-	painted as indicated on elevations	SW-7078 SW-7080 SW-7081 SW-7082
Signs	no change		
Stucco	n/a		
Trim	n/a		
Windows	n/a		



INTERNAL USE ONLY

APPLICATION ACCEPTANCE

This application has been reviewed and is considered complete and is hereby accepted by the Zoning Division of the City of Gahanna and shall be:

- Forwarded to the City of Gahanna Planning Commission for consideration.
- Forwarded to Administration for consideration (one-tenant signage applications).

Planning & Zoning Administrator Signature: Bonnie Gard Date: 11/8/16

APPROVAL BY THE PLANNING & ZONING ADMINISTRATOR

In accordance with the Codified Ordinances of the City of Gahanna, Ohio, I hereby certify that this project, as stated above, was approved by the Planning & Zoning Administrator on _____. The applicant shall comply with any conditions approved by the Planning & Zoning Administrator and shall comply with all building, zoning and landscaping regulations of the City of Gahanna.

Planning & Zoning Administrator Signature: _____ Date: _____

Chief Building Official Signature: _____ Date: _____

Director of Public Service Signature: _____ Date: _____

City Engineer Signature: _____ Date: _____

This application will be forwarded to Planning Commission read by title at the first regular meeting of Planning Commission following approval by the Planning & Zoning Administrator.

INTERNAL USE ONLY



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AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

AUTHORIZATION FOR OWNER'S APPLICANT OR REPRESENTATIVE(S)

If the applicant is not the property owner, this section must be completed and notarized.

I, LDA INVESTMENTS, LLC, the owner of the subject property listed on this application, hereby authorize DEAN ADAMANTIDIS to act as my applicant or representative(s) in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature: [Signature]

Date: 11-1-16

AUTHORIZATION TO VISIT THE PROPERTY

I, LDA INVESTMENTS, LLC, the owner of the subject property listed on this application, hereby authorize City representatives to visit, photograph and post notice (if applicable) on the property as described in this application.

Property Owner Signature: [Signature]

Date: 11-1-16

NOTARY

Subscribed and sworn to before me on this 1st day of November, 20 16.

State of Ohio County of Franklin

Notary Public Signature: [Signature]

C. WILLIAM KLAUSMAN IV
ATTORNEY AT LAW
NOTARY PUBLIC, STATE OF OHIO
My commission has no expiration date.
Section 147.05 R.C.

AGREEMENT TO COMPLY AS APPROVED

I, Brandon Doherty, the contractor/applicant of the subject property listed on this application, hereby agree that the project will be completed as approved and any proposed changes to the approved plans shall be submitted for review and approval to the Zoning Division staff.

Contractor/Applicant Signature: [Signature]

Date: 11/2/16

NOTARY

Subscribed and sworn to before me on this 2 day of November, 20

State of Ohio County of Franklin

Notary Public Signature: [Signature]



KRISTAQ BIFSHA
Notary Public, State of Ohio
My Commission Expires
September 23, 2017

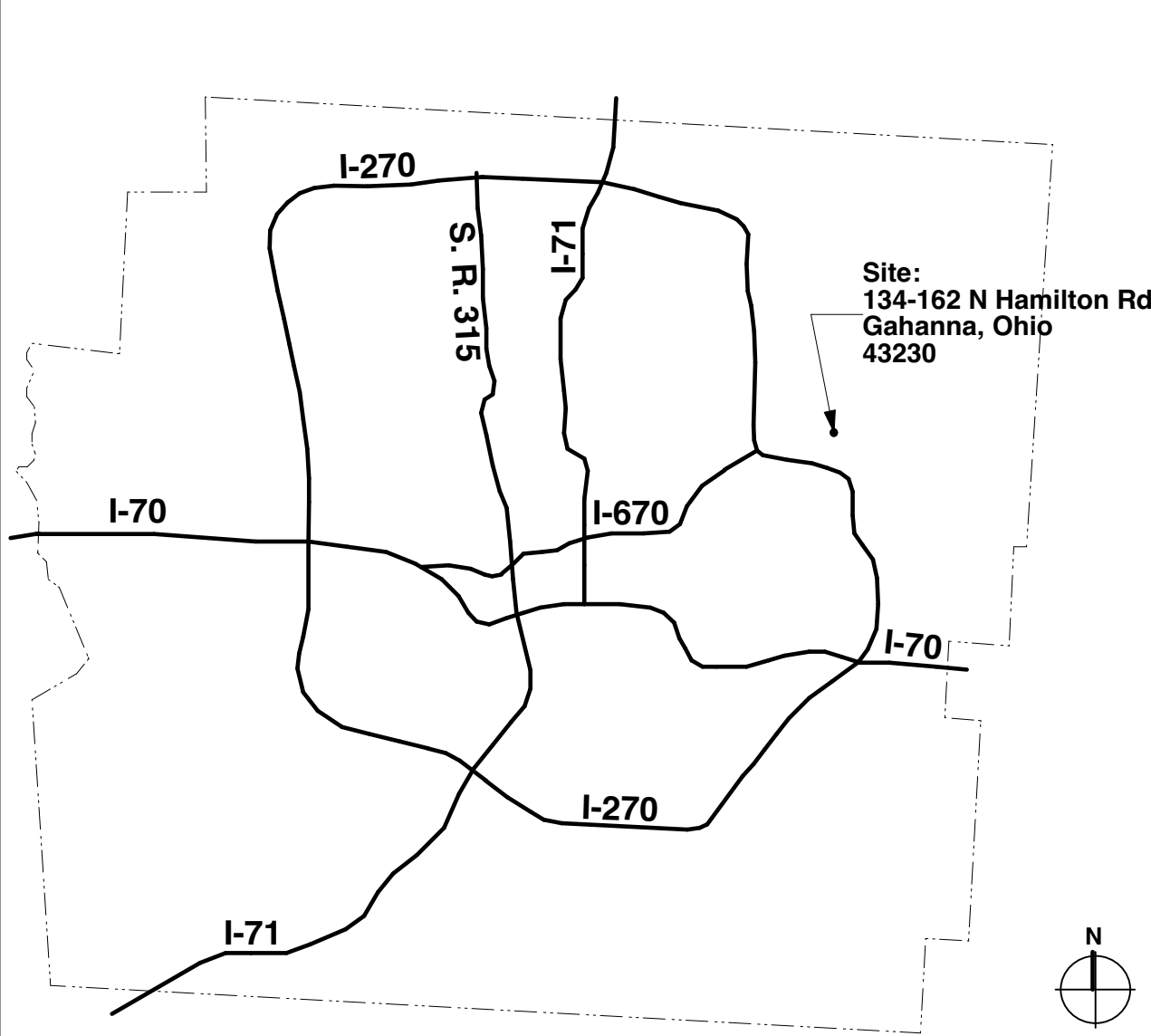
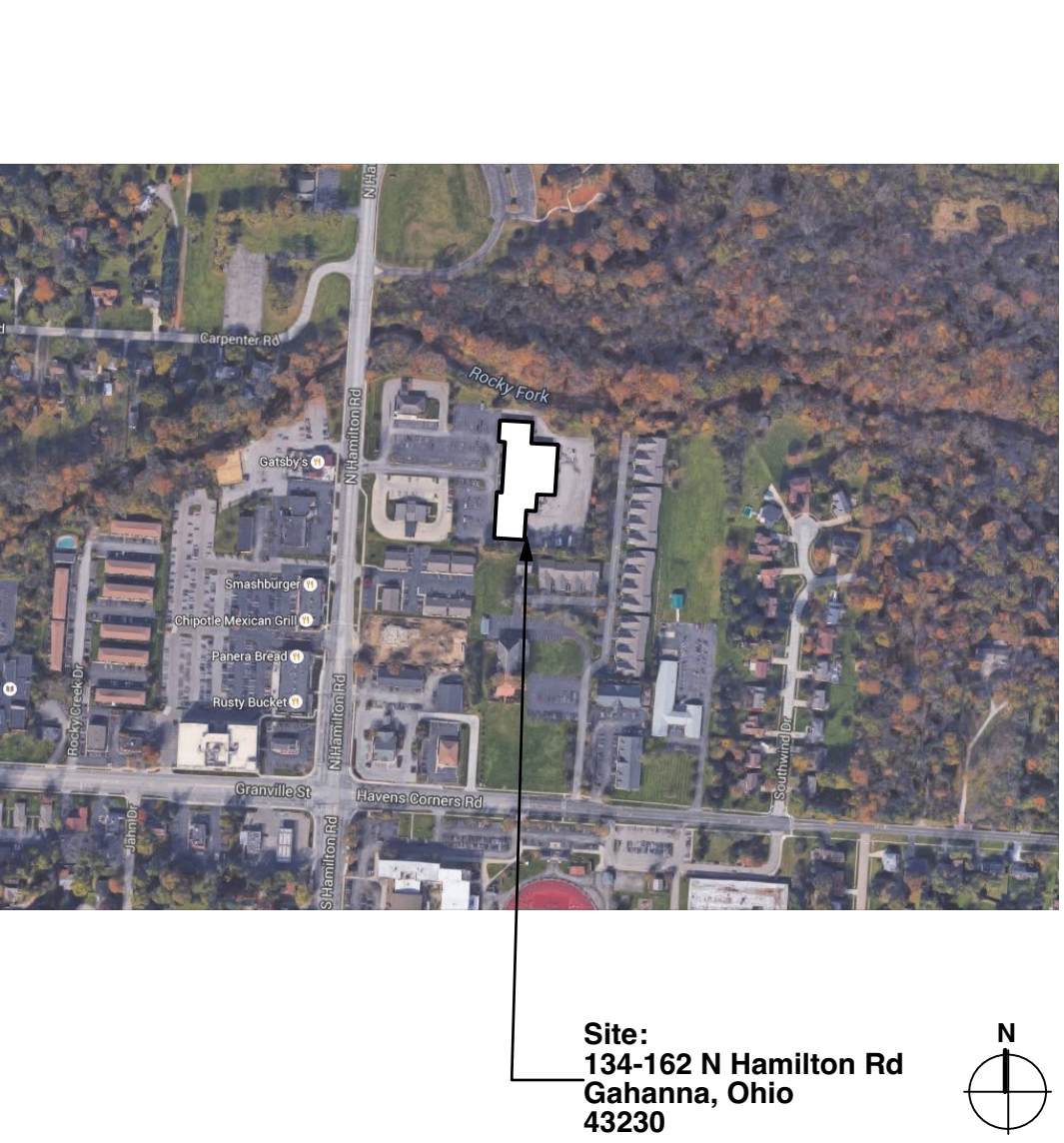
SAVE APPLICATION

Rocky Fork Square

134-162 N Hamilton Rd
Gahanna, OH, 43230

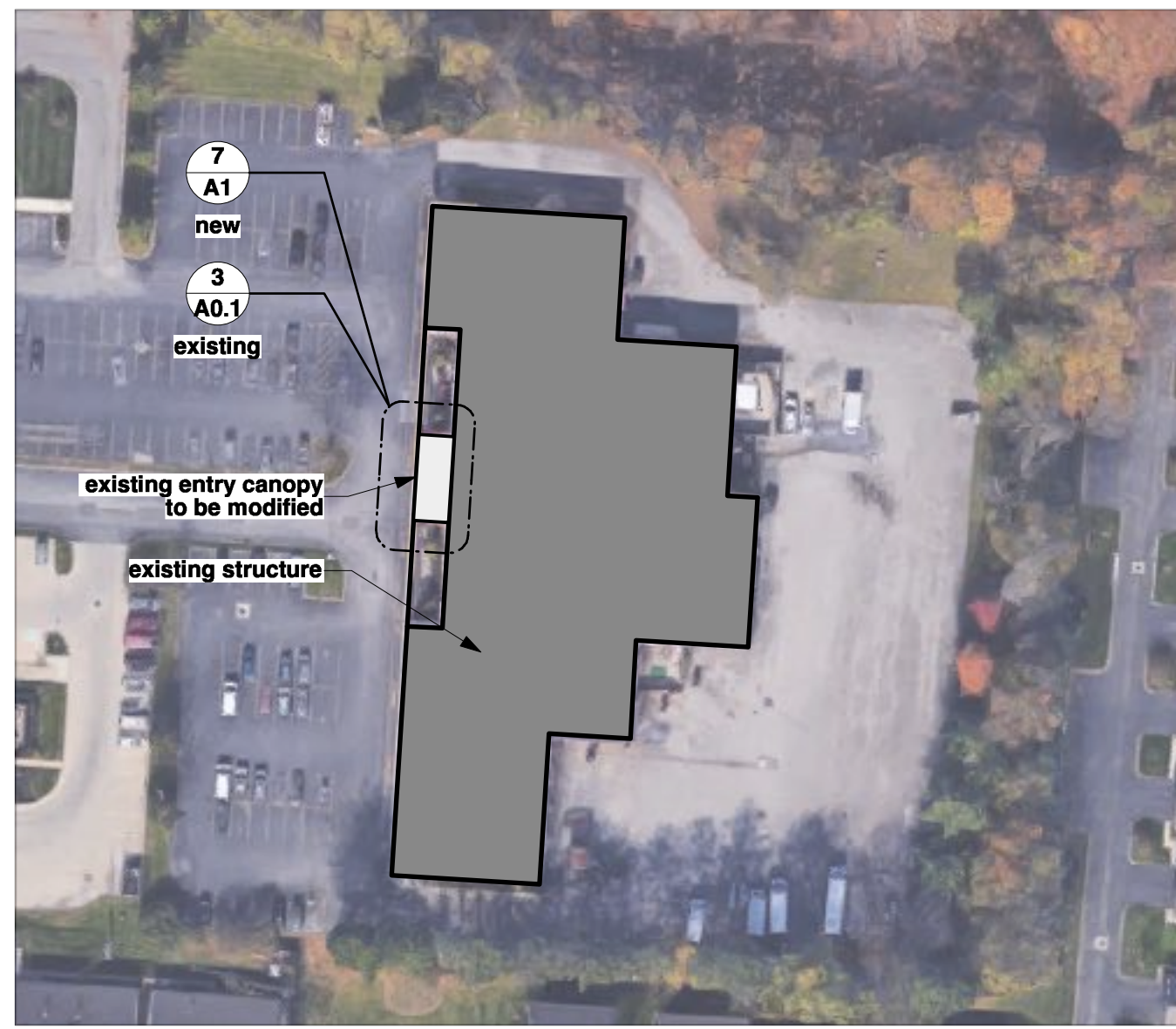
Permit Set

Date: October 4, 2016

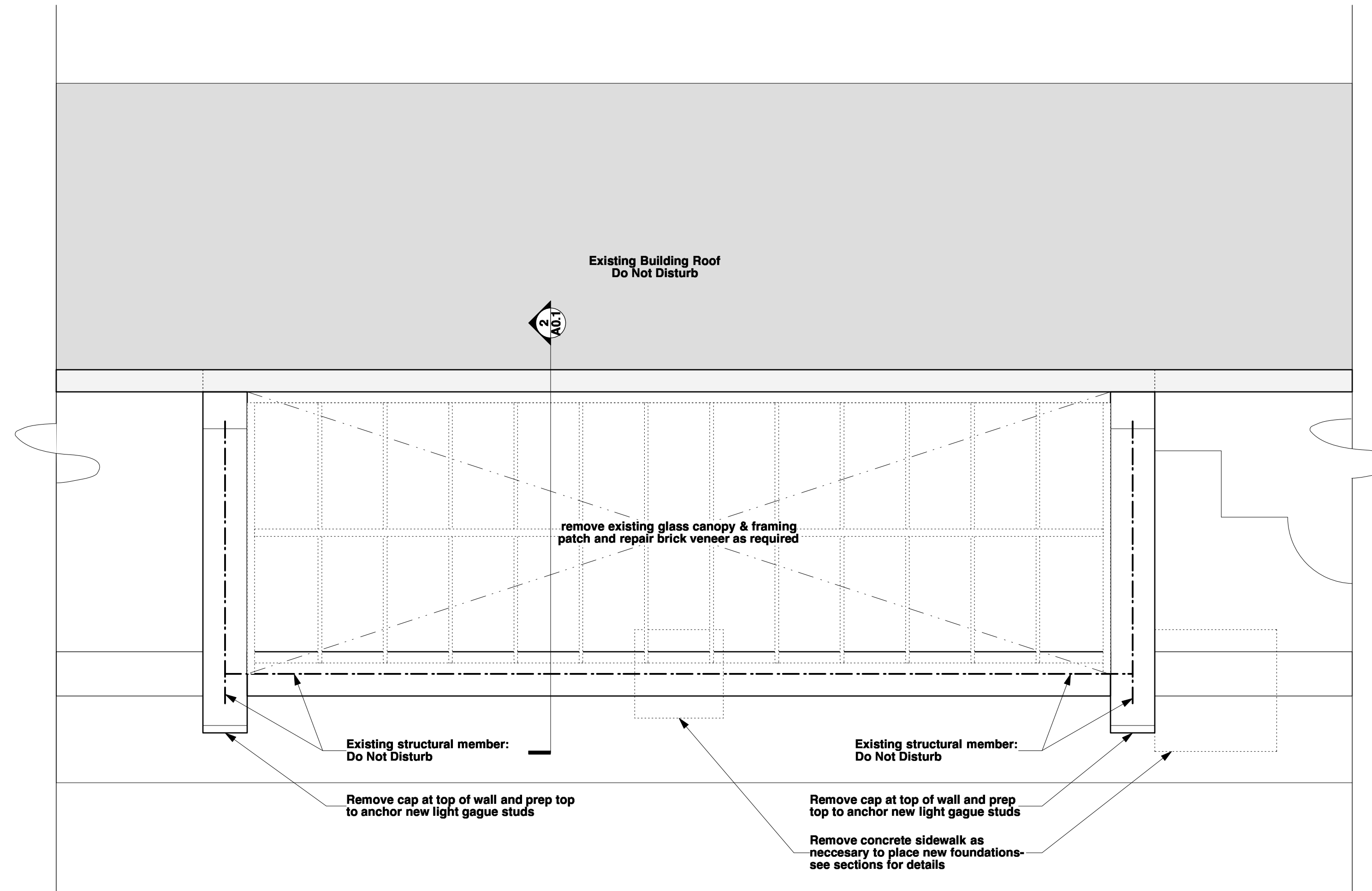
Vicinity Map	Site Location	Project General Notes	Project Narrative	Drawing Index
		<ol style="list-style-type: none"> The tenant space is in a fully functioning shopping center. General Contractor shall coordinate all work so as to avoid disrupting operations or endangering other tenants. Review each sheet of drawings only in conjunction with the entire set of contract documents. The documents are interdependent and are not to be separated or read independently. Contractor shall visit the site to review all conditions in conjunction with review of all Bidding Documents. The contractor, by commencing the work accepts the conditions of the site and the completeness of the Contract/Bidding documents. Any discrepancies between drawings and actual site conditions should be brought to the attention of the Architect & Owner prior to the commencement of the work. No extras will be allowed for discrepancies after the work has begun except where the condition could not have been discernible without the removal of concealing conditions. Provide all work materials and labor for a complete project. Any material or labor neither shown on the drawings or specified but which is obviously necessary to complete work of a similar scope or to complete noted assemblies shall be provided as base bid work. G.C. shall coordinate deliveries, access, hours and noise limits with Landlord. Permits: General Contractor shall be responsible for all permits and inspections and associated fees as required to complete the work. Substitutions: No substitutions of specified materials or work will be accepted unless submitted for approval to the Architect & Owner. Protection: General Contractor shall be solely responsible for taking all steps necessary to protect the public from injury and adjacent property from damages during construction and demolition activities. The G.C. shall be responsible for project security from the start of the work, until completion. All wall and ceiling construction shall be supported or braced from structural members not other items of suspended work or work in place. General Contractor shall remove all debris from job site. All debris shall be contained within the contract limits prior to removal. Coordinate dumpster location with the Landlord. G.C. shall not stack deliveries, materials or equipment in a manner that will over load existing structure. General Contractor is responsible to have the entire area clean and spotless at time of turn over to owner. All work shall conform with all provisions of the state and local governing building authorities. All work shall be performed in compliance with all provisions established for the use of the building and the premises by the Landlord. All exits, corridors, aisles, and passageways shall comply with OBC Chapter 10. All work shall be in compliance with the provisions of the "Americans with Disabilities Act" (ADA). 	<p>The work is for the Alteration of a storefront canopy of an existing shopping center. New paint to storefront, as well as finishes in area of canopy removal. A new canopy will be placed in area of demolition.</p> <ul style="list-style-type: none"> Minor Demolition Minor Alteration No Additional Square Footage No Change of Use 	<p>Cover</p> <p>Architectural</p> <ul style="list-style-type: none"> A0.1 Site Information & Demolition A1 Elevations & Sections A2 Architectural Details

BASS
STUDIO
ARCHITECTS

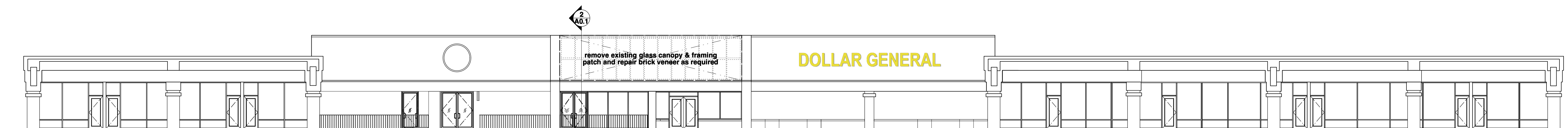
36 KING AVENUE
Columbus, OH 43201
ph. 614.294.4893
fax. 614.294.2709
www.BASSstudioarchitects.com



4 Site Context Plan
Scale: Not To Scale

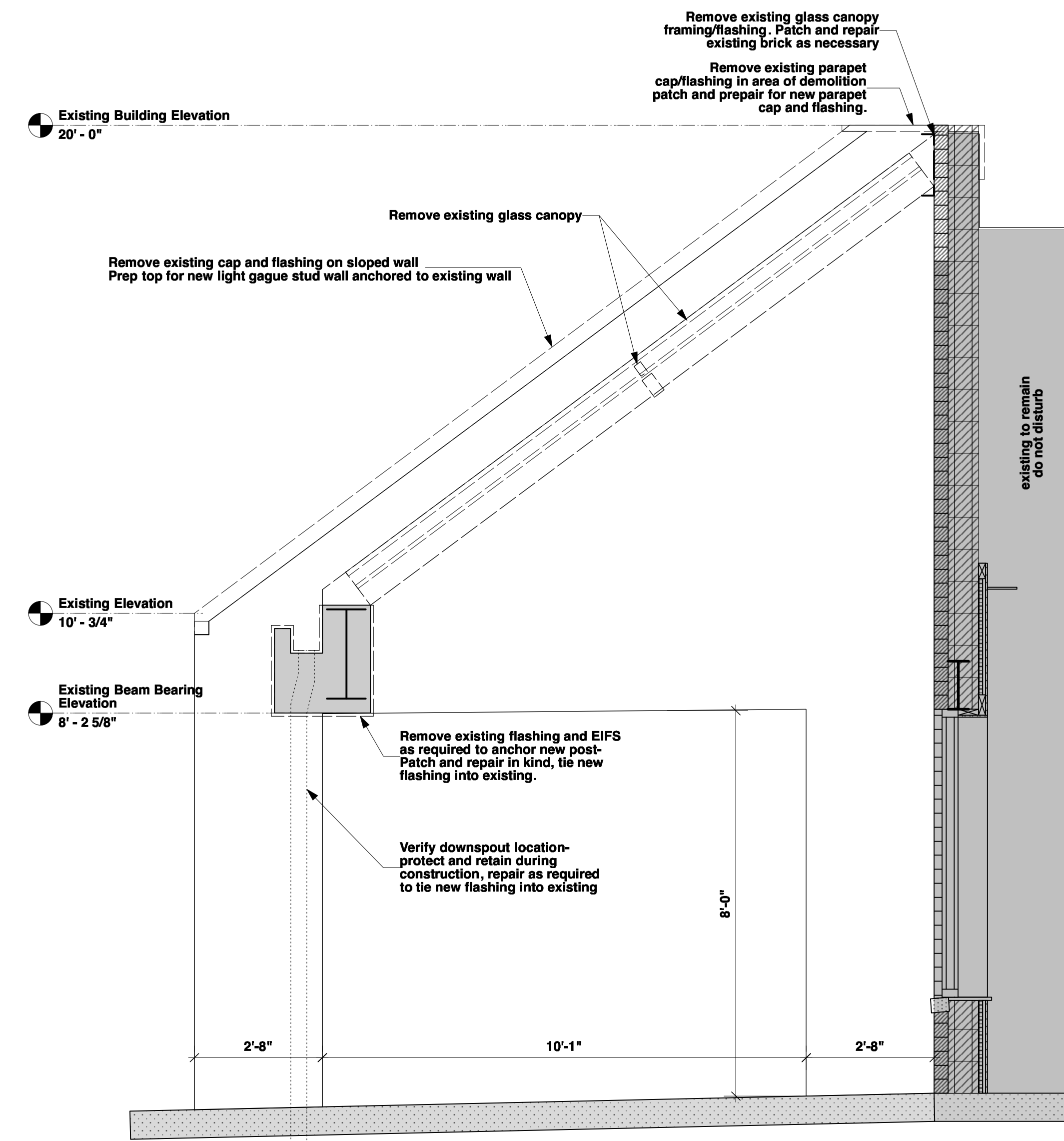


3 Roof Demolition Plan
Scale: 1/4" = 1'-0"



1 Overall Demolition Elevation
Scale: 3/32" = 1'-0"

Demolition Notes	General Notes	Building Regulations Analysis
<ol style="list-style-type: none"> Review this sheet only in conjunction with the entire set of contract documents. The documents are interdependent and are not to be separated or read independently. Demolition contractor shall visit the site in order to verify existing conditions and to fully understand all items scheduled for removal. Electrical contractor shall examine and verify reuse of existing circulating and materials in place. All work is "existing to remain" except as noted otherwise. Coordinate all demolition with the phasing/site use scheme, as reviewed and approved by the Owner/Landlord and as established by the General Contractor, in order to accommodate the continued occupancy of the facility. Accomplish all demolition so as not to damage any work that is to remain in, and become part of the remodeled space, including ceilings, walls, floors, finishes and any other items that are noted or indicated to remain. Provide dust barriers as required. Remove all debris from site and leave premises in "broom clean" condition. All material shall be disposed of in a legal manner. Recycling is highly encouraged. 	<ol style="list-style-type: none"> Refer to the Project General Notes on the cover of this set of drawings. Review each sheet of drawings in this set only in conjunction with the other drawings in the entire set. The drawings are interdependent and are not to be separated or read independently. All work shall conform to the requirements of the local governing building authorities. The general contractor shall visit the site and review the documents to become familiar with the work. Commencement of the work shall constitute acceptance of the site conditions and the contract documents. All work which is required for a complete job of this, or similar scope, whether or not explicitly specified or detailed in these drawings shall be considered as base bid and provided at no additional cost to the Owner. 	<p>Building Code: Ohio Building Code (OBC) 2011</p> <p>Project Information</p> <p>Project Area: ~850 SF (exterior canopy)</p> <p>Building Area: ~35,200 SF CONSTRUCTION TYPE (Table 503) IIb (Base Building)</p> <p>Roof construction of wood and steel framing: per 603.1.25.3</p>



2 Side Enlarged Demolition Elevation
Scale: 1/2" = 1'-0"



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Rocky Fork Square

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Gahanna, Ohio, 43230

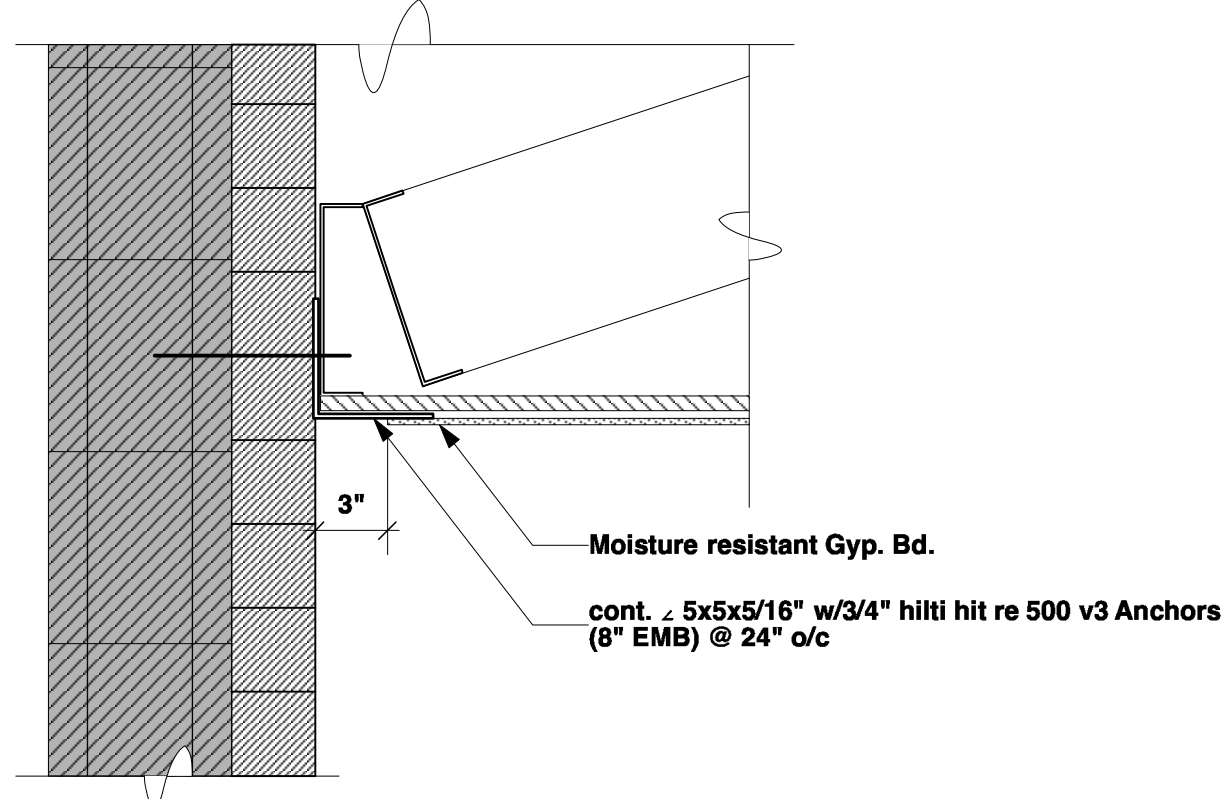


Timothy A. Bass, License 9329
Expiration Date: January 2017

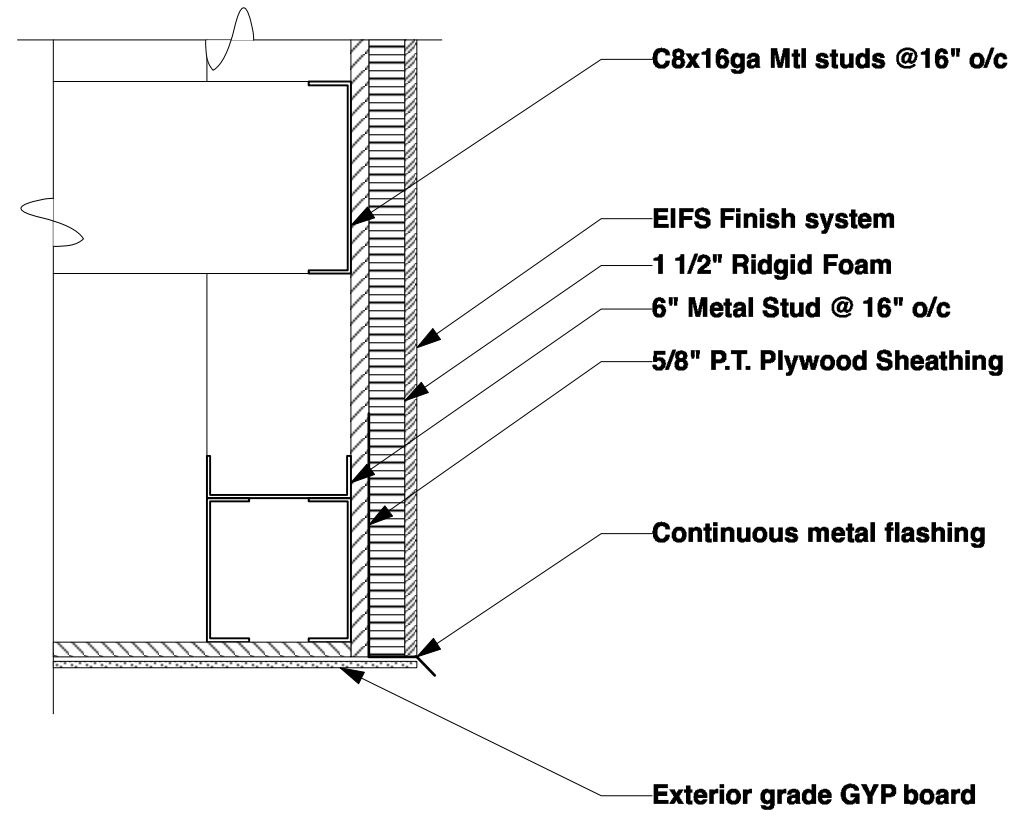
Date: October 4, 2016

Site Information & Demolition

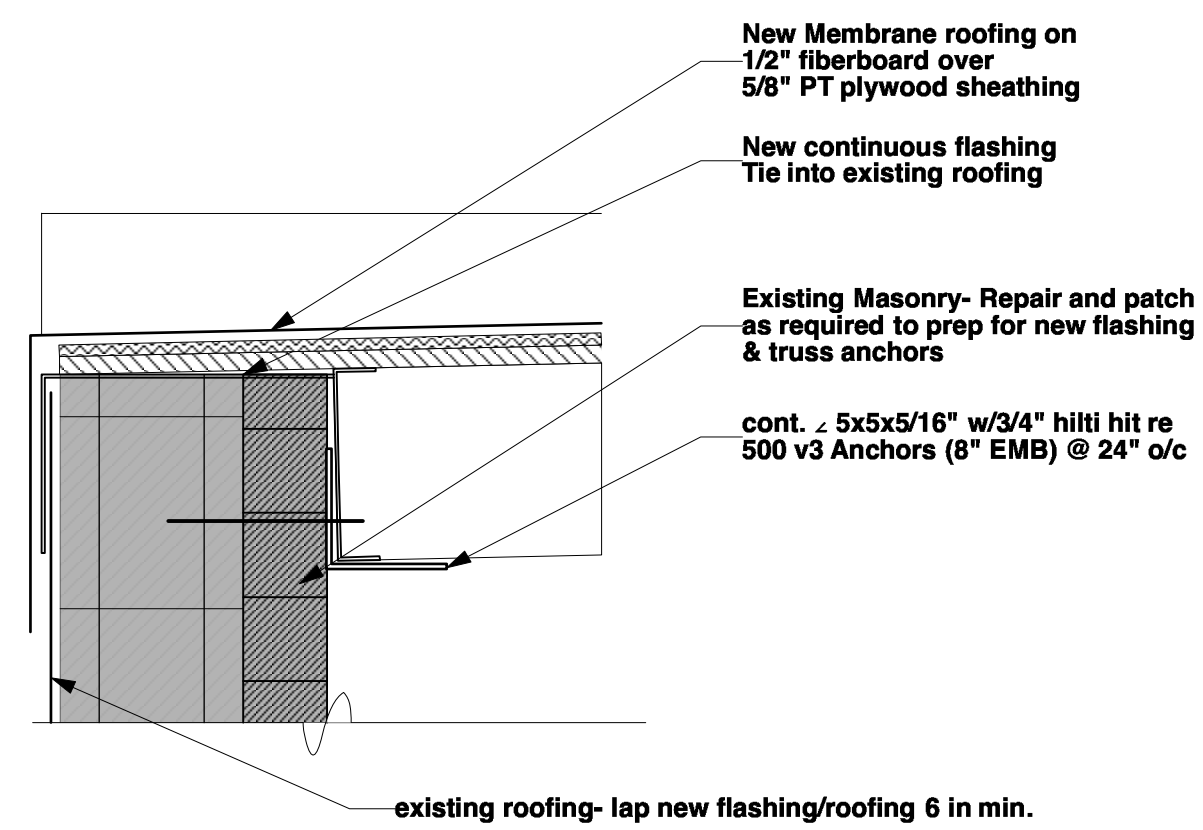
A0.1



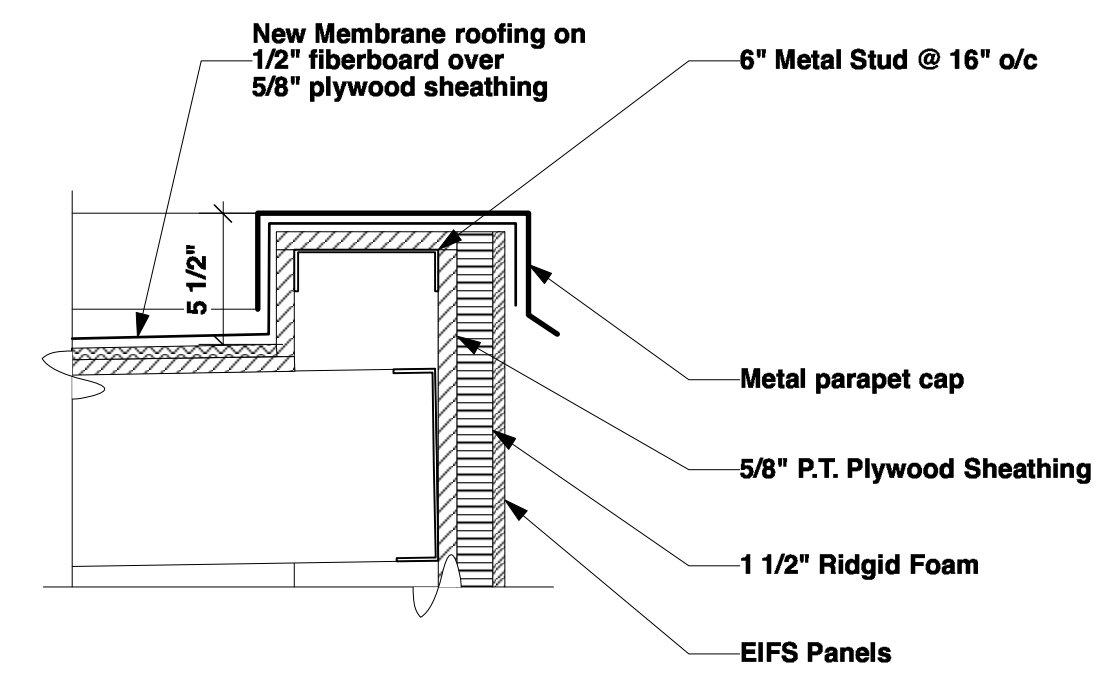
4 Detail
Scale: 1 1/2" = 1'-0"



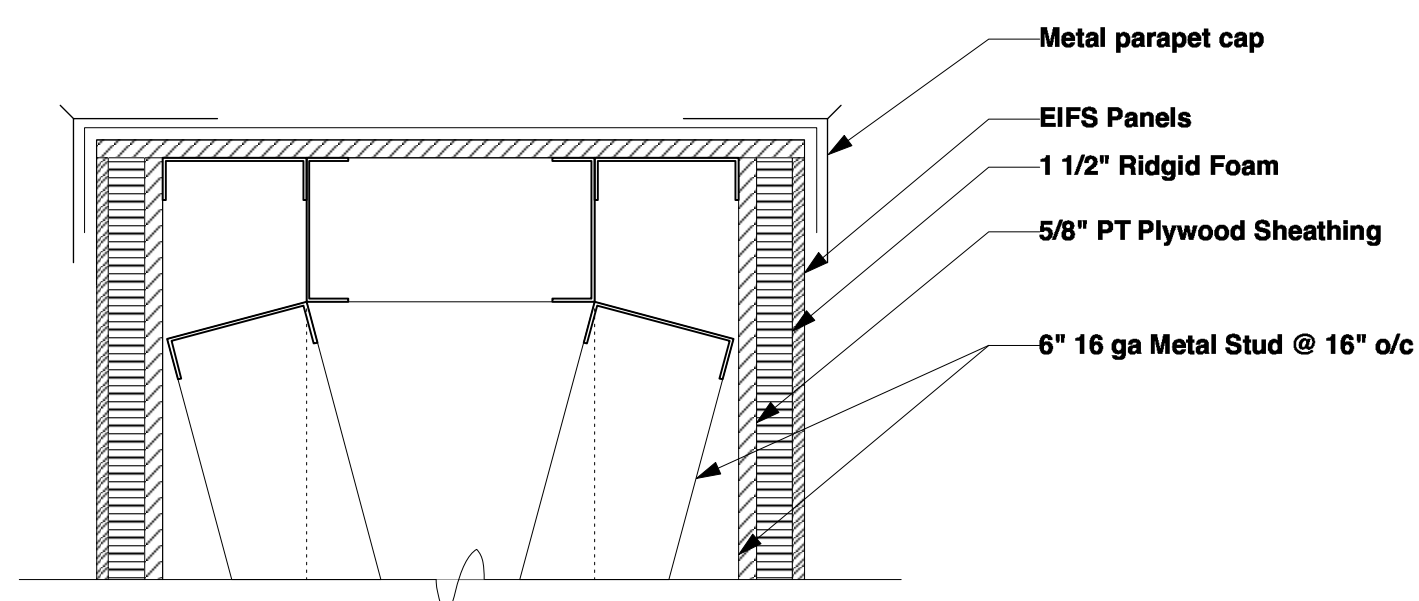
3 Detail
Scale: 1 1/2" = 1'-0"



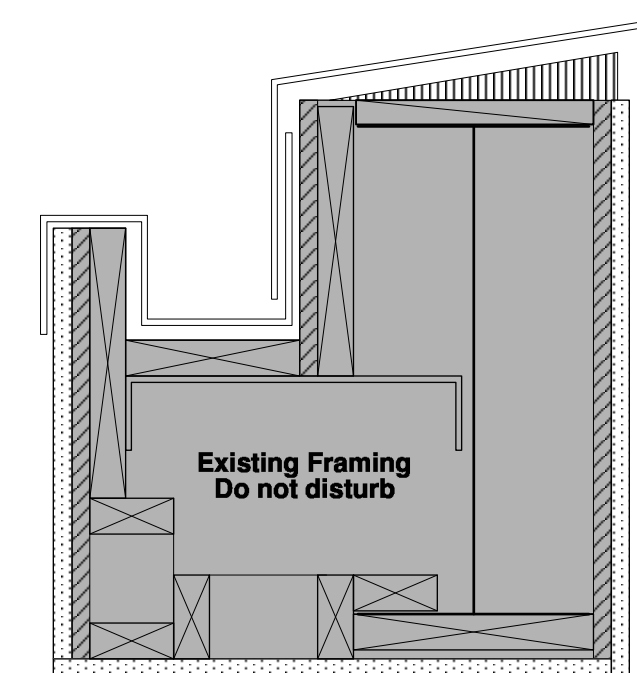
2 Detail
Scale: 1 1/2" = 1'-0"



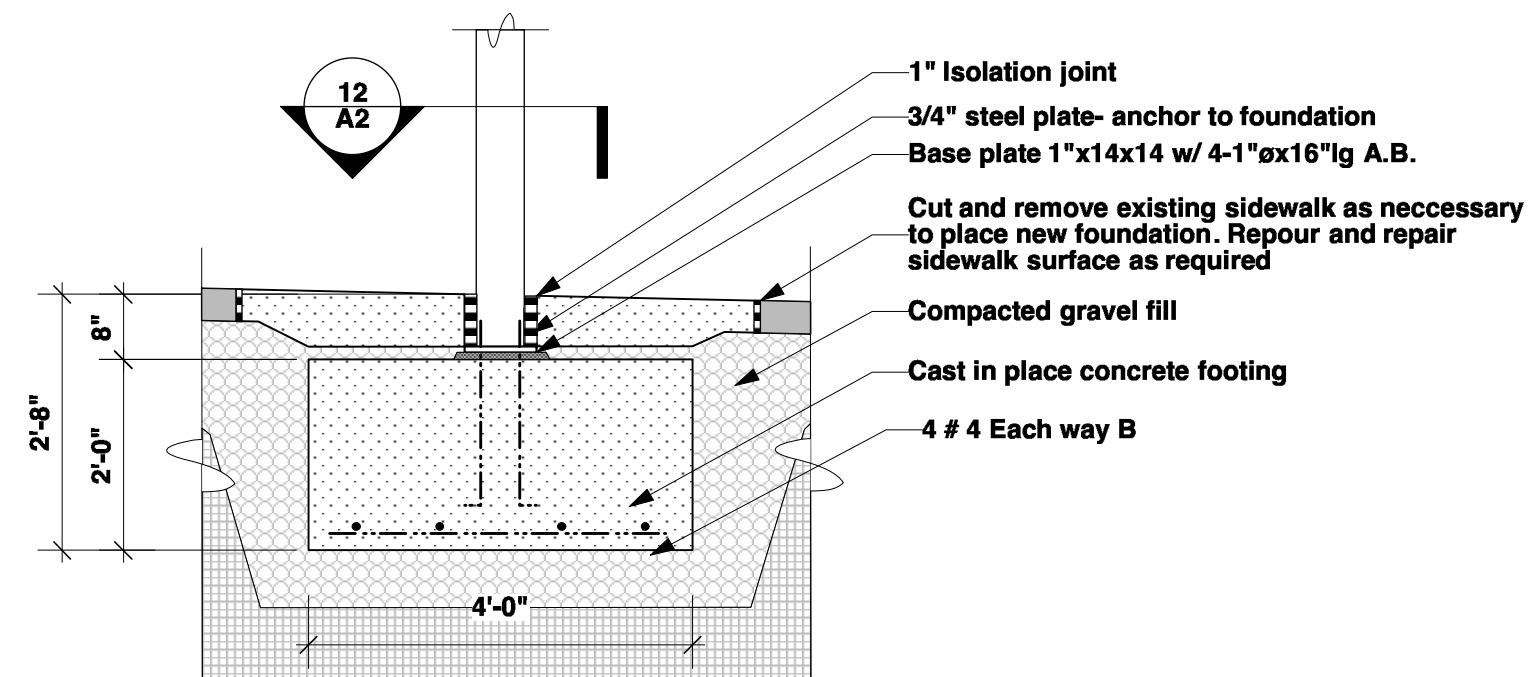
1 Detail
Scale: 1 1/2" = 1'-0"



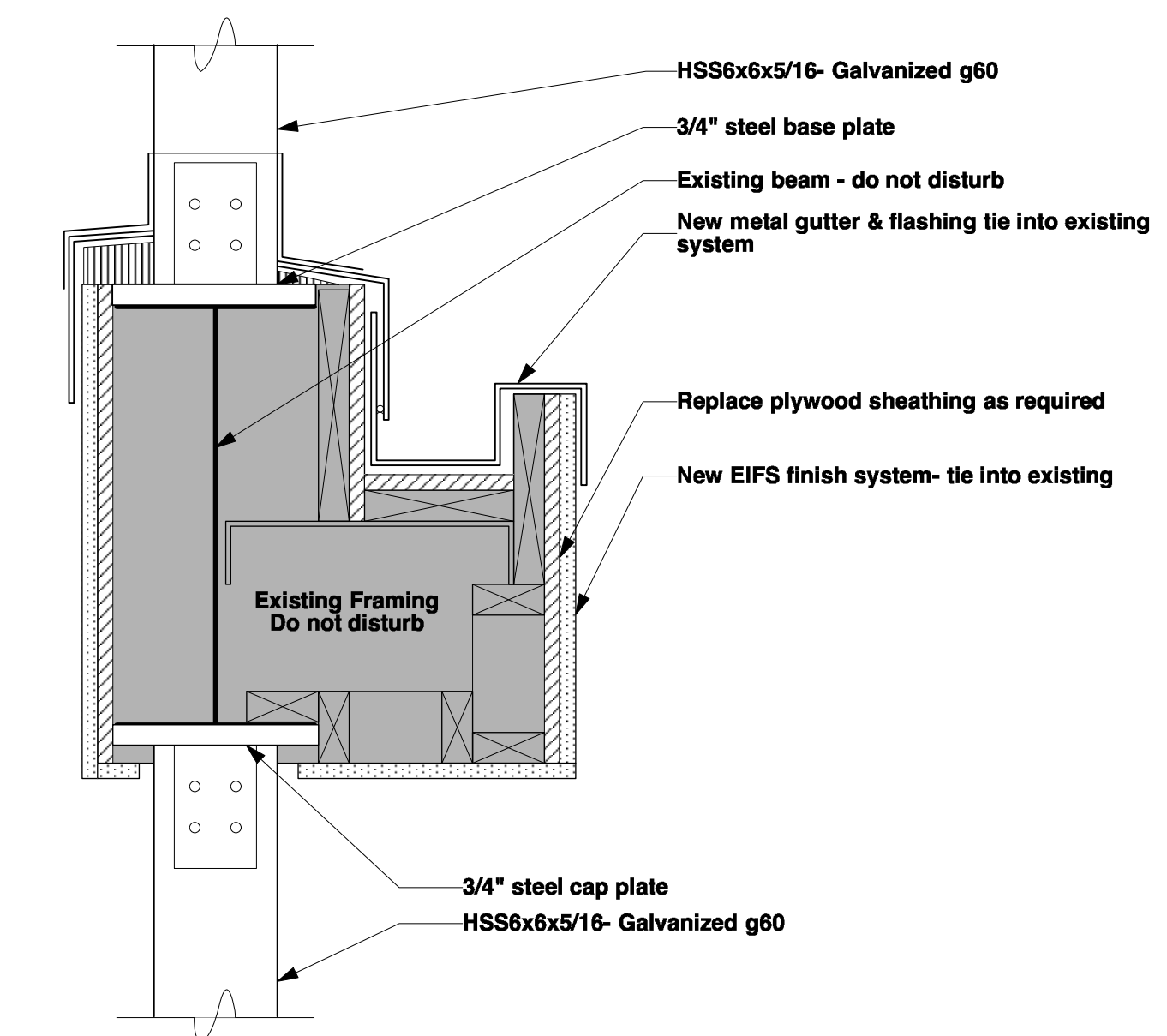
8 Detail
Scale: 1 1/2" = 1'-0"



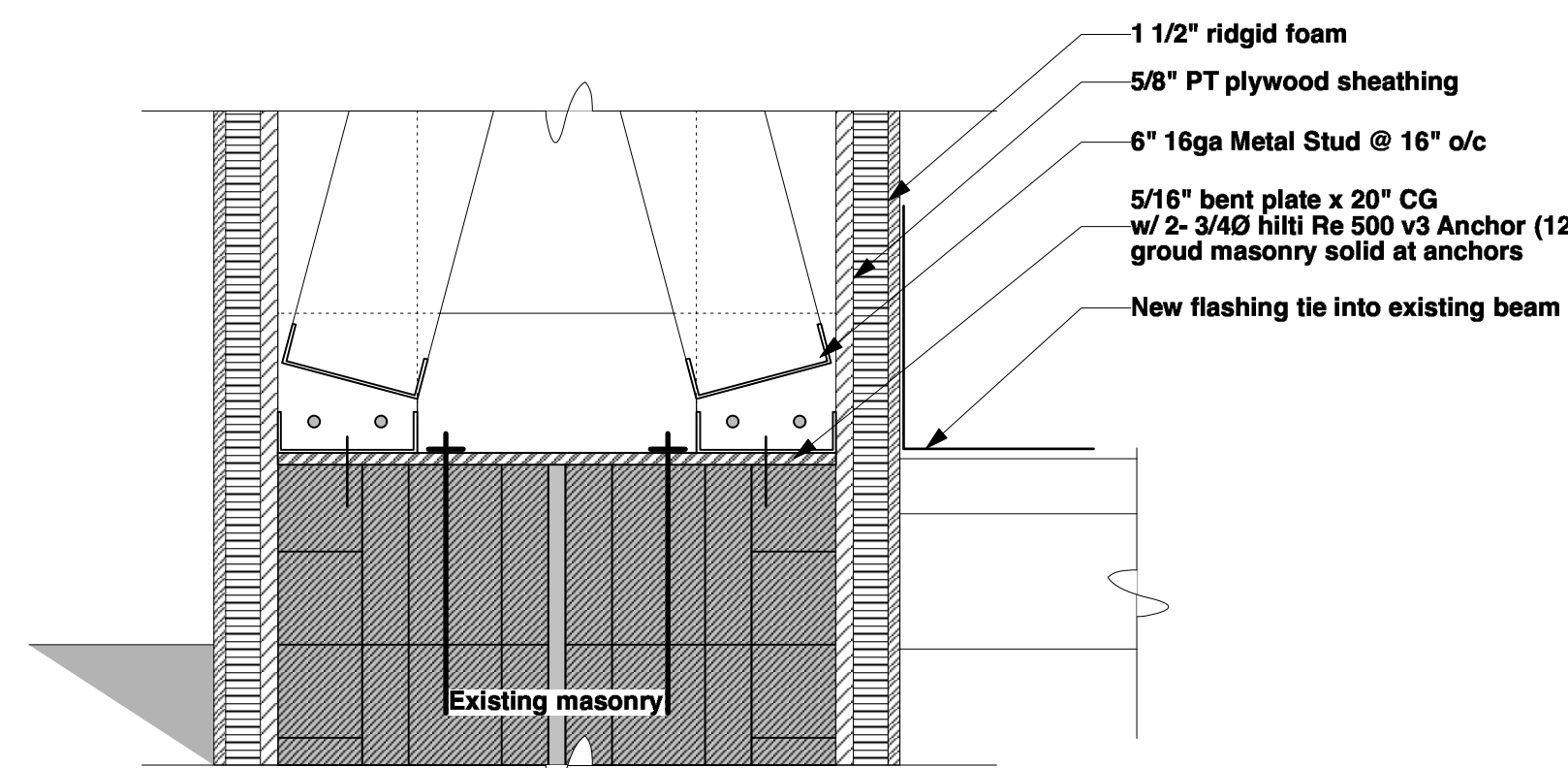
7 Detail
Scale: 1 1/2" = 1'-0"



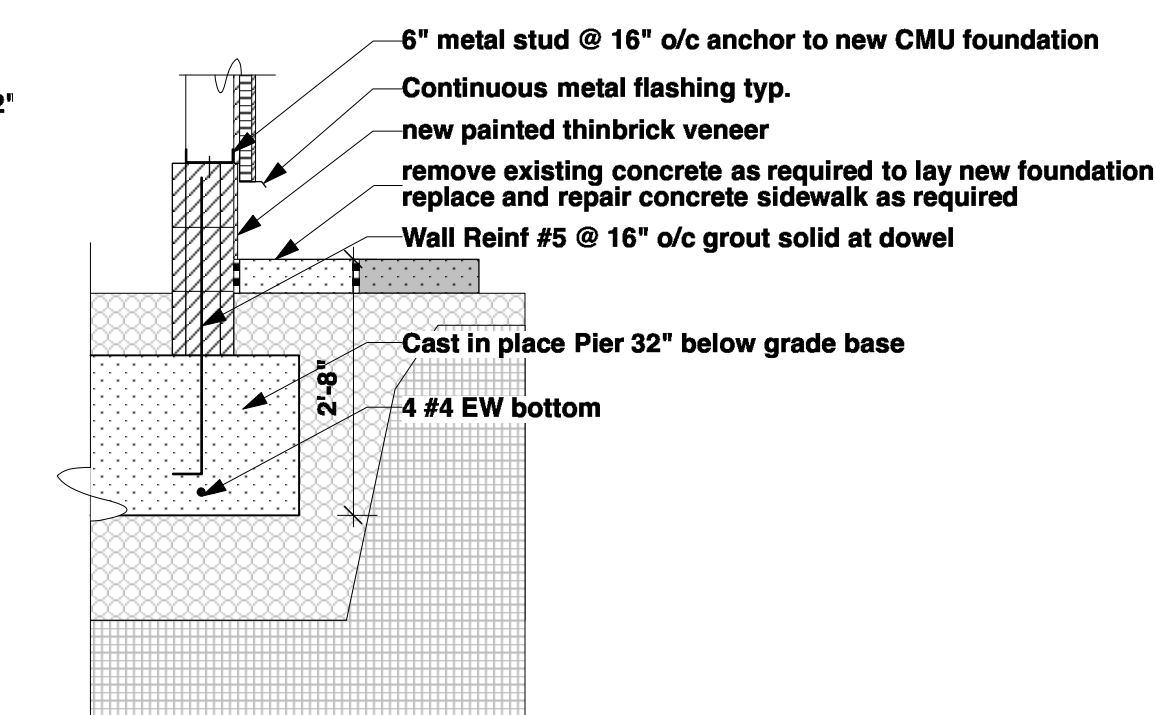
6 Detail
Scale: 1/2" = 1'-0"



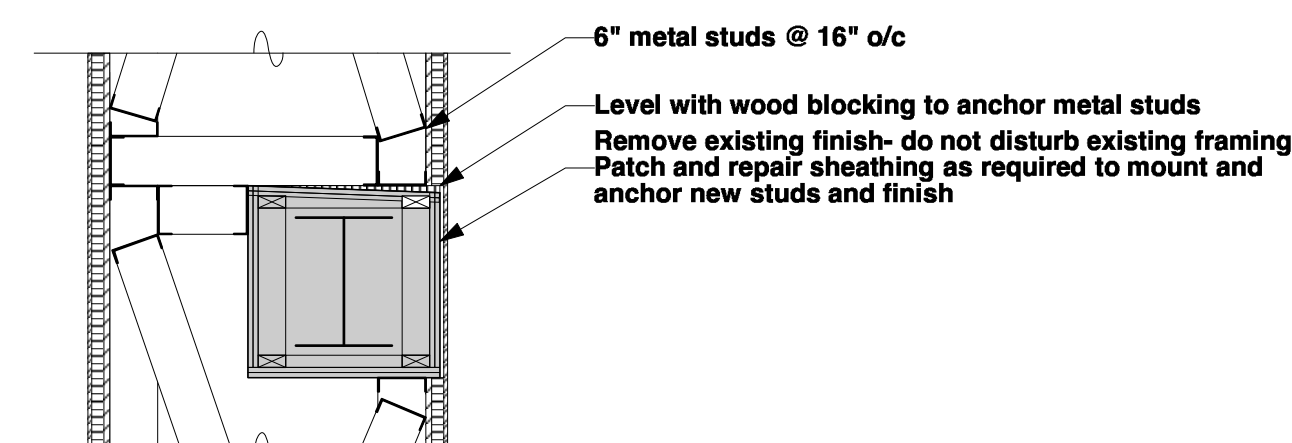
5 Detail
Scale: 1 1/2" = 1'-0"



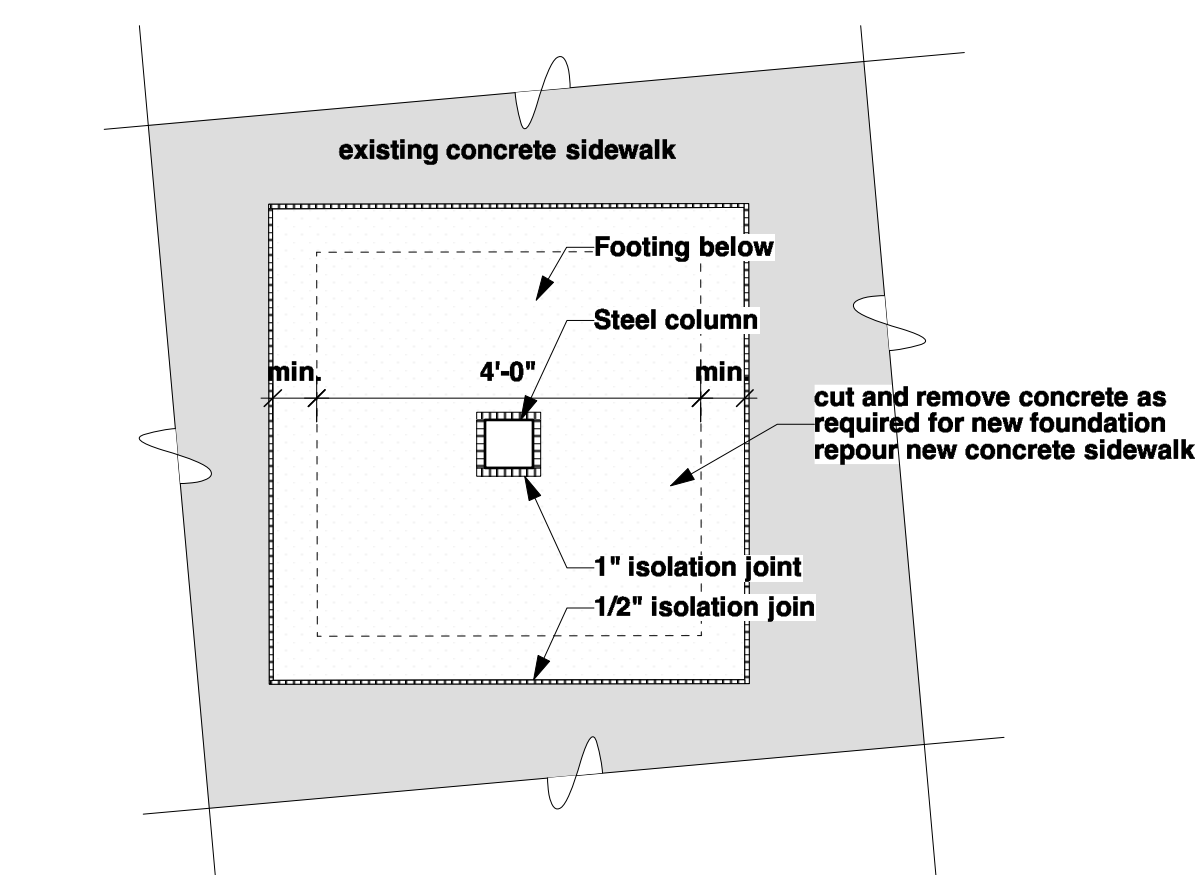
9 Detail
Scale: 1 1/2" = 1'-0"



10 Detail
Scale: 1/2" = 1'-0"



11 Detail
Scale: 1/2" = 1'-0"



12 Detail
Scale: 1/2" = 1'-0"

Rocky Fork Square

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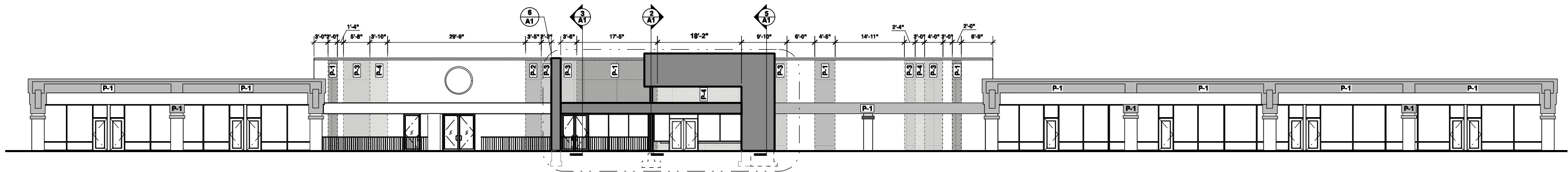


Timothy A. Bass, License 9329
Expiration Date: January 2017

Date: October 4, 2016

Details

A2



Finish Legend	
P-1	Paint 1- SW 7082 Stunning Shade
P-2	Paint 2- SW 7081 Sensuous Gray
P-3	Paint 3- SW 7080 Quest Gray
P-4	Paint 4- SW 7078 Minute Mauve



Existing Elevation Context Image



Existing Site Context

APPLICATION STAFF COMMENTS

DUE: Wednesdays - 10 AM

To **SUBMIT**: File>SAVE AS ADOBE PDF with naming convention: "Staff Comments – YOURNAME" to:
T:/Zoning/Applications IN PROGRESS/(the project folder)

Project/Property Address or Location: 134 – 162 Hamilton Road

Project Name/Business Name: Rocky Fork Plaza

SUBMITTED BY:

Name: Michael Blackford **Title:** Deputy Director

Department: Planning and Development

The property is located within the boundaries of the Hamilton Road Corridor Plan. The Plan has general guidelines for architecture and building design. While specific standards aren't required, the Plan states that architecture should complement the community character while promoting a sense of place. Facades should aim for a timeless design and be varied to provide visual interest.

The changes requested within the application are generally consistent with the intent of the Corridor Plan. Additionally, the requested changes are in keeping with the previous design approvals for La Navona event center.

APPLICATION STAFF COMMENTS

DUE: Wednesdays - 10 AM

To **SUBMIT**: File>SAVE AS ADOBE PDF with naming convention: "Staff Comments – YOURNAME" to:
T:/Zoning/Applications IN PROGRESS/(the project folder)

Project/Property Address or Location: 134-162 N. Hamilton Road

Project Name/Business Name: Rocky Fork Plaza

SUBMITTED BY:

Name: Bonnie Gard Title: P&ZA

Department: Service

The applicant seeks approval for building design for a re-imaging at this older shopping center. The work consists of the limited demolition of the existing glass canopy, and the addition of a new EIFS entry cover. There will also be a new paint scheme to modernize the façade. Shades of gray and mauve will be used in the new paint palette. This update will do much to refresh the center and make it more inviting.