

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION

PLEASE NOTE: This application is not to be considered complete until all documents are received and approved by the Planning & Zoning Administrator.

Project/Property Address or Location: 140 Imperial Drive		Project Name/Business Name (if applicable): Stygler Village Apartments		
Parcel ID No.(s) 025003867	Current Zoning: commercial zoning - permissive	Total Acreage: 3.417 acres		
Please check all that apply:				
SITE PLAN <input checked="" type="checkbox"/>	LANDSCAPING <input checked="" type="checkbox"/>	BUILDING DESIGN <input checked="" type="checkbox"/>	SIGNAGE <input type="checkbox"/>	DEMOLITION <input checked="" type="checkbox"/>
Additional Information (if applicable): see cover sheet				
APPLICANT INFORMATION (primary contact)				
Name (please do not use a business name): Berardi Partners +, Inc.		Address: 1398 Goodale Blvd., Suite 200		
E-Mail: nbruckelmeyer@berardipartners.com		Phone No. 614.221.1110		
ATTORNEY/AGENT INFORMATION				
Name: Jon Holway - Architect		Address: 1398 Goodale Blvd., Suite 200		
E-Mail: jholway@berardipartners.com		Phone No. 614.221.1110		
ADDITIONAL CONTACT INFORMATION (please list all applicable contacts)				
Names: -Contractor: Ruscilli Construction Co. -Developer: National Church Residences -Architect: Jon Holway		Contact Information (phone no./email): 614.876.9484 (800) 388-2151 614.221.1110		
Property Owner Name: (if different from Applicant) National Church Residences		Contact Information (phone no./email): (800) 388-2151		

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED (see page 2 & 3)

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature: 

Date: 11.15.2016

INTERNAL USE ONLY

Zoning File No. _____
PC Meeting Date: _____
PC File No. _____

RECEIVED: Ming
DATE: 11-18-16

PAID: 50.00
DATE: 11-18-16
CHECK#: 5908 DEBIT

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS APPLICATION-SUBMISSION REQUIREMENTS

PLEASE NOTE: This application is not to be considered complete until all documents are received and approved by the Planning & Zoning Administrator.

STAFF USE - INTAKE	TO BE COMPLETED/SUBMITTED BY THE APPLICANT:	APPLICANT		STAFF USE	
		YES	N/A	YES	N/A
✓	1. Review Gahanna Code Section 1197 and/or 1165 -signage (visit www.municode.com)	✓			
✓	2. Pre-application conference with staff	✓			
	3. Materials List (see page 4) – does not apply to demolition applicants <i>will provide materials board at review meeting</i>		✓		
✓	4. Application & all supporting documents submitted in digital format	✓			
✓	5. Application & all supporting documents submitted in hardcopy format	✓			
✓	6. Authorization Consent Form Complete & Notarized (see page 6)				
	PLEASE CONTINUE TO THE APPROPRIATE SECTION OF REQUIREMENTS				
	NOTE: All Plans must be submitted in 8.5x11", 11x17", or 24x36" (folded, not rolled, to 8.5x11")	✓			
SITE PLAN / LANDSCAPING / BUILDING DESIGN REQUIREMENTS					
GENERAL REQUIREMENTS					
✓	1. One 24x36 & One 11x17 prints of the plans	✓			
	2. Color photographs illustrating the site, buildings, & other existing features as well as adjacent properties (identify photograph location)				
	3. A list of all samples to include color names & PMS numbers (required for all exterior materials) – please bring samples to meeting(s) <i>will provide materials board at review meeting</i>				
✓	4. Application fee (New - \$50 + \$.01 per sq. foot; Amended - \$25 + .01 per sq. foot) <i>fees paid after review</i>				
	5. Color rendering(s) of the project in plan/perspective/or elevation	✓			
BUILDING CONSTRUCTION, EXTERIOR REMODELING, & ADDITIONS (INCLUDING PARKING LOTS & LANDSCAPING)					
	1. <u>SITE PLAN</u> that includes the following: (include: scale, north arrow, & address)	✓			
	- All property & street pavement lines	✓			
	- Gross area of tract stated in square feet	✓			
	- Proposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent streets. Delineate traffic flow with directional arrows & indicate location of direction signs or other motorist's aids (if any)	✓			
	- Location of all existing and proposed buildings on the site	✓			
	- Location of all existing (to remain) & proposed lighting standards	✓			
	- Breakdown of parking spaces required & spaces provided (see Gahanna Code Section 1163)		✓		
	- Provide lot coverage breakdown of building & paved surface areas	✓			
	2. <u>LANDSCAPE PLAN</u> (including plant list)	✓			
	- Existing landscaping that will be retained & proposed landscaping shall be differentiated & shown on the plan. The type, size, number, & spacing of all plantings & other landscape features must be illustrated	✓			
	- Location of all isolated existing trees having a diameter of six"+; (tree masses may be shown with a diagrammatic outline & a written inventory of individual trees exceeding 6" in caliper)		✓		
	- Designation of required buffer screens (if any) between parking area & adjacent property	✓	✓		
	- Interior landscaping breakdown for paved surface (see Gahanna Code Section 1163)	✓			
	3. <u>ELEVATIONS</u> from all sides & related elevations of any existing structures that includes the following: (include: scale, north arrow, & address)	✓			
	- Exterior materials identified <i>will provide materials board at review meeting</i>	✓			
	- Fenestration, doorways, & all other projecting & receding elements of the building exterior	✓			
	4. <u>LIGHTING STANDARD DRAWING</u> that includes the following: (scaled drawing)	✓			
	- All sizing specifications	✓			
	- Information on lighting intensity (no. of watts, isofootcandle diagram, at least ½ ft. candles req.)	✓			

CONTINUE TO PAGE 3

	- Materials, colors, & manufacturer's cut sheet				
	- Ground or wall anchorage details				
	5. OPTIONAL REQUIREMENTS AT THE DISCRETION OF PLANNING COMMISSION:				
	- Scale model				
	- Section profiles				
	- Perspective drawing				
SIGNAGE REQUIREMENTS					
GENERAL REQUIREMENTS					
	1. A list of all samples to include color names & PMS numbers (required for all exterior materials)				
	2. Application fee (One-Tenant - \$35; Multi-Tenant - \$50)				
FREE-STANDING GROUND SIGN REQUIREMENTS					
	1. <u>SITE PLAN</u> that includes the following: (include: scale, north arrow, & address)				
	- All property and pavement lines				
	- Proposed ingress/egress to the site, including onsite parking area(s), parking stalls, adjacent streets. Delineate traffic flow with directional arrows & indicate location of direction signs or other motorist's aids (if any)				
	- Location of existing and proposed landscaping (refer to Gahanna Section 1165.08)				
	- Location & height of all existing (to remain) & proposed signs on the site. Show required setbacks for sign from property lines.				
WALL SIGN REQUIREMENTS					
	1. <u>SIGN DRAWING</u> that includes the following: (include scaled drawing of each face)				
	- All size specifications, including the size of letters & graphics				
	- Description of sign and frame materials & colors				
	- Wall anchorage details (anchorage must be interior to the sign or camouflaged)				
	2. <u>ELEVATIONS</u> (to scale, of the entire wall of the building to which the sign is to be fixed, correctly locating the sign)				
DEMOLITION OR REMOVAL OF EXISTING STRUCTURES REQUIREMENTS					
	7. ONE OR MORE OF THE FOLLOWING CONDITIONS MUST EXIST:				
	- That the building contains no features of special architecture or is not a historical building or culturally significant or is not consistent in design & style with other structures within the district				
	- That there exists no viable economic use for the building in its current state or as it might be restored or that there is not a feasible and prudent alternative to demolition and that the approval of the demolition is necessary for the preservation and enjoyment of substantial property rights				
	- That the applicant has a definite plan for redevelopment of the site which meets the standards of this Code and the proposed redevelopment will not materially affect adversely the health or safety of persons residing or working in the district where the demolition will occur and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood				
	8. Application fee (New - \$50 + \$.01 per sq. foot; Amended - \$25 + .01 per sq. foot)				



CITY OF GAHANNA

DEPARTMENT OF PUBLIC SERVICE AND ENGINEERING

200 S. Hamilton Road
Gahanna, Ohio 43230
Zoning Division: 614-342-4025
zoning@gahanna.gov

MATERIAL LIST

NOT REQUIRED FOR DEMOLITION APPLICANTS

Item	Manufacturer Name	Color Name	Color Number
Awnings	will provide materials board at review meeting		
Brick			
Gutters and Downspout			
Lighting			
Roofing			
Siding			
Signs			
Stucco			
Trim			
Windows			



INTERNAL USE ONLY

APPLICATION ACCEPTANCE

This application has been reviewed and is considered complete and is hereby accepted by the Zoning Division of the City of Gahanna and shall be:

- Forwarded to the City of Gahanna Planning Commission for consideration.
- Forwarded to Administration for consideration (one-tenant signage applications).

Planning & Zoning Administrator Signature: Bonnie Gard Date: 11/29/16

APPROVAL BY THE PLANNING & ZONING ADMINISTRATOR

In accordance with the Codified Ordinances of the City of Gahanna, Ohio, I hereby certify that this project, as stated above, was approved by the Planning & Zoning Administrator on _____. The applicant shall comply with any conditions approved by the Planning & Zoning Administrator and shall comply with all building, zoning and landscaping regulations of the City of Gahanna.

INTERNAL USE ONLY

Planning & Zoning Administrator Signature: _____ Date: _____

Chief Building Official Signature: _____ Date: _____

Director of Public Service Signature: _____ Date: _____

City Engineer Signature: _____ Date: _____

This application will be forwarded to Planning Commission read by title at the first regular meeting of Planning Commission following approval by the Planning & Zoning Administrator.



AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

AUTHORIZATION FOR OWNER'S APPLICANT OR REPRESENTATIVE(S)

If the applicant is not the property owner, this section must be completed and notarized.

I, National Church Residences of Gahanna, the owner of the subject property listed on this application, hereby authorize BERARDI + PARTNERS to act as my applicant or representative(s) in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature: Michelle Worra Date: 11-18-16

AUTHORIZATION TO VISIT THE PROPERTY

I, National Church Residences of Gahanna, the owner of the subject property listed on this application, hereby authorize City representatives to visit, photograph and post notice (if applicable) on the property as described in this application.

Property Owner Signature: Michelle Worra Date: 11-18-16

Subscribed and sworn to before me on this 18th day of November, 2016.

State of Ohio County of Franklin

Notary Public Signature: Carrie A. Dean



CARRIE A. HIATT nka Carrie Dean
Attorney At Law
NOTARY PUBLIC - STATE OF OHIO
My commission has no expiration date
Sec. 147.03 R.C.

AGREEMENT TO COMPLY AS APPROVED

National Church Residences of Gahanna
I, Michelle Worra, the contractor/applicant of the subject property listed on this application, hereby agree that the project will be completed as approved and any proposed changes to the approved plans shall be submitted for review and approval to the Zoning Division staff.

Contractor/Applicant Signature: Michelle Worra Date: 11-18-16

Subscribed and sworn to before me on this 18th day of November, 2016.

State of Ohio County of Franklin

Notary Public Signature: Carrie A. Dean



CARRIE A. HIATT nka Carrie Dean
Attorney At Law
NOTARY PUBLIC - STATE OF OHIO
My commission has no expiration date
Sec. 147.03 R.C.

SAVE APPLICATION

C:\Users\tribuckelmeijer\Documents\15_15_145 Stygler Village Apartments_nbruckelmeijer.rvt



1ST FLOOR PLAN

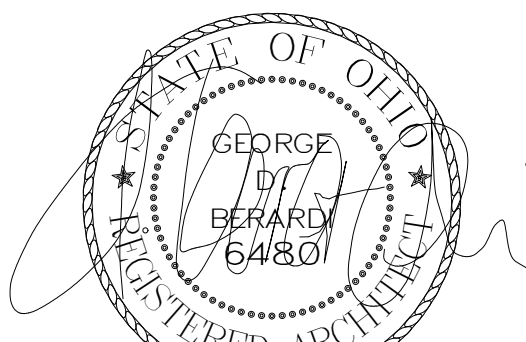
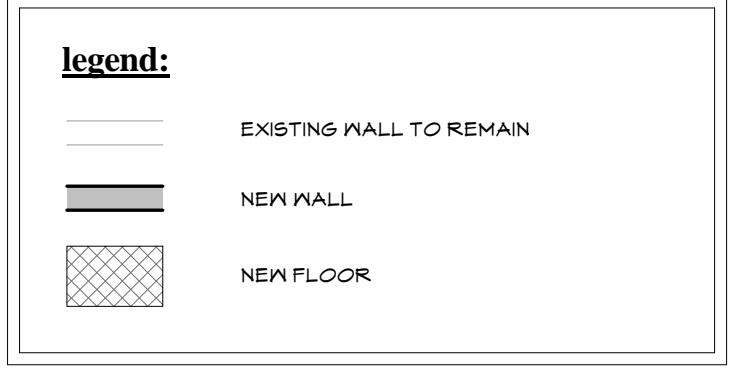
1/16" = 1'-0"

CODED NOTES - FLOOR PLANS

- 1 NEW LOBBY FACADE/ADDITION. SEE ELEVATIONS & STRUCTURAL.
- 2 NEW COVERED ENTRY CANOPY - SEE ENLARGED PLAN AND DETAILS ON SHEET A305.
- 3 NEW ENTRY VESTIBULE.
- 4 NEW MAIL STATION.
- 5 NEW HANDRAIL - SEE DETAIL ON SHEET A402.
- 6 NEW CHAIR RAIL OPPOSITE OF CORRIDOR HANDRAIL PER DETAIL ON SHEET A402.
- 7 NEW SCOTCH LIGHT UNIT IDENTIFICATION PLAQUE - COORDINATE WITH ELECTRICAL PLANS/SCHEDULES. SEE DETAIL ON SHEET A401. WALL SCOTCH SHALL NOT PROTRUDE MORE THAN 4" FROM WALL MAX.
- 8 PROVIDE HANDRAIL/CHAIR RAIL IN COMMON AREA - SEE DETAIL ON SHEET A402.
- 9 NEW REAR ADDITION - SEE ELEVATIONS AND STRUCTURAL.
- 10 NEW COVERED PATIO ACCESS - SEE ENLARGED PLAN AND DETAILS ON SHEET A305.
- 11 NEW HEAVY TIMBER PERGOLA WITH BRICK VENEER PIERS. SEE SHEET A305 FOR ENLARGED PLAN AND DETAILS.
- 12 PAINT STAIRWELL WALLS, CEILING, EXPOSED PIPING, STAIR COMPONENTS INCLUDING VINYL TREADS AND RISERS, VGT FLOORING, VINYL BASE.
- 13 NEW ACCESSIBLE RESTROOM.
- 14 NEW FINISHES THROUGHOUT COMMON AREA. REFER TO FINISH SCHEDULE ON SHEET A400.
- 15 NEW SEASONS ROOM AT REAR ADDITION.
- 16 NEW COMMUNITY KITCHEN.
- 17 NEW COMMUNITY ROOM.
- 18 NEW LOUNGE.
- 19 SOIL GAS PIPING, 4" DIA. PVC PIPE. COORDINATE EXACT ROUTING AND LOCATION WITH STRUCTURE ABOVE. SEE DETAIL SHEET A403.
- 20 REMOVE AND REPLACE ALL DOOR HARDWARE (LOCKSETS & TRIM) WITH ADA COMPLIANT LEVER HARDWARE WITH SATIN CHROME FINISH PAINT ALL EXISTING DOOR FRAMES.
- 21 EXISTING 2 1/2" SLAB DEPRESSION WHERE SHOWER WAS REMOVED TO BE FILLED.
- 22 REPLACE ALL STAIRWELL RAILINGS WITH CODE COMPLIANT RAILINGS.
- 23 NOT USED.
- 24 NOT USED.
- 25 PACKAGE SHELF, TYPICAL ALL UNITS. SEE DETAIL SHEET A401.
- 26 REPLACE EXISTING VERTICAL SIDING WITH NEW CEMENTITIOUS SIDING CLADDING. INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03052012 METHOD #2. REFER TO SCOPE OF WORK.
- 27 NEW PREFINISHED ALUMINUM DECORATIVE RAILINGS 42" AFF. WITH UNION JACK DESIGN. FINISH IS TO MATCH THE METAL TRIM AND ROOFING.
- 28 PREP EXISTING DWELLING UNIT BALCONY FLOOR SLAB TO RECEIVE NEW MATERIAL - PROVIDE A WATERPROOF ROLL-ON EPOXY FINISH.
- 29 WIRE BRUSH CLEAN AND REFINISH EXISTING STEEL LADDER.
- 30 REMOVE AND REPLACE EXISTING STEEL HANDRAIL/GUARDRAIL AT ALL FLOORS, TYPICAL.

GENERAL NOTES - FLOOR PLANS

1. REFER TO SHEET A 100 FOR GENERAL FLOOR PLAN NOTES.
2. SEE ENLARGED CORE PLANS ON SHEETS A301 THRU A304 FOR MORE INFORMATION.
3. STAIR HANDRAILS/RAILINGS EXISTING TO BE REMOVED AND REPLACED WITH NEW CODE COMPLIANT RAILINGS. TO INCLUDE NEW CODE REQUIRED COMPLIANT EXTENSIONS AND RETURNS, AND VERTICAL SPACING MAXIMUM OF 4" O.C.



GEORGE D. BERARDI
LICENSE # 6480
EXPIRES 12/31/2017

National Church Residences

STYGLER VILLAGE
GAHANNA, OHIO

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ARCHITECTS AND ENGINEERS
ALL RIGHTS RESERVED

THE ARRANGEMENTS SHOWN HEREIN ARE THE SOLE PROPERTY OF BERARDI PARTNERS, INC. ARCHITECTS AND ENGINEERS AND MAY NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

- NOTE:
1. ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS IMMEDIATELY DISCOVERED IN THE CONTRACT DOCUMENTS.
 2. THE CONTRACT DOCUMENTS ARE COMPOSED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS INTERDEPENDENT AND COMPLIMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS THEY DO SO AT THEIR OWN RISK AND EXPENSE.
 3. ADDITIONALLY, SEE GENERAL INFORMATION ON A07 SHEETS.
 4. THE CLIENT ACKNOWLEDGES AND AGREES THAT THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS INCLUDING ALL DOCUMENTS ON ELECTRICAL MEDIA AS INSTRUMENTS OF THE CONSULTANT (ARCHITECT) PROFESSIONAL SERVICE. HOWEVER, THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO HAVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
 5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD/DWG MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE USER'S RISK. THE USER FURTHERMORE AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
 6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR COORDINATE REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED EXACT STATE AND LOCAL CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

PERMIT SET

PROJECT DATE: 05/06/2016
PROJECT #: 15145

Description	Date
1 Addendum 1	05/20/2016
3 Addendum 3	06/03/2016
6 Addendum A	07/15/2016
7 Owner Review	07/22/2016
8 Plumbing	08/05/2016

FIRST FLOOR PLAN

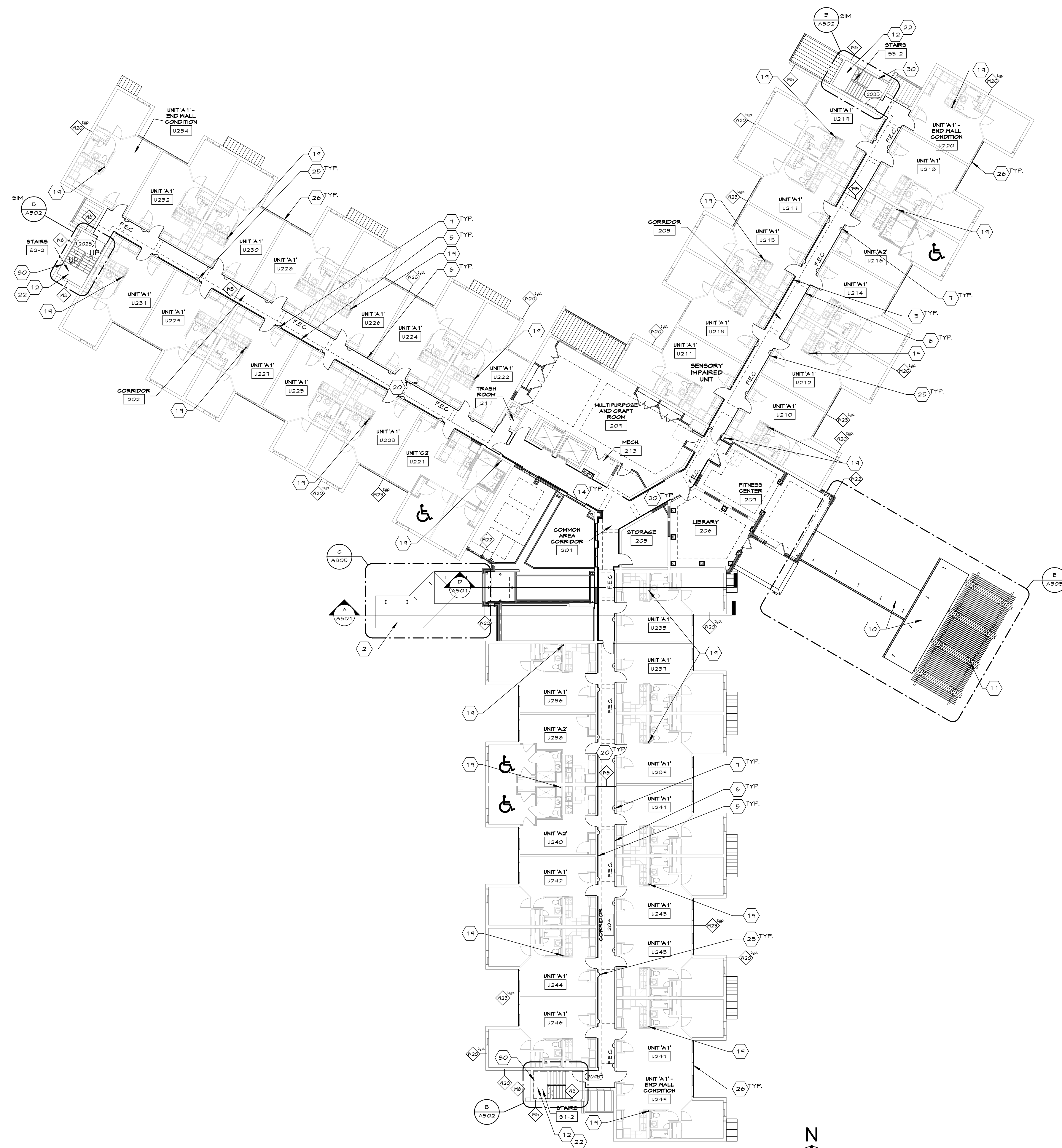
A101



architecture + interior design + engineering
1308 goodale boulevard, columbus ohio 43212
phone 614-221-1110 fax 614-221-0831
www.berardipartners.com

1ST FLOOR GSF
24076 SF

C:\Users\tribruckelmeijer\Documents\15_1151_45 Stygler Village Apartments_nbruckelmeijer.rvt



2ND FLOOR PLAN

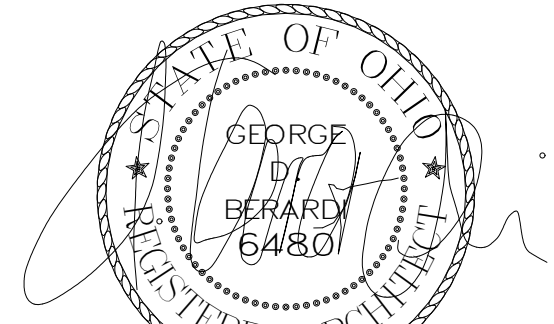
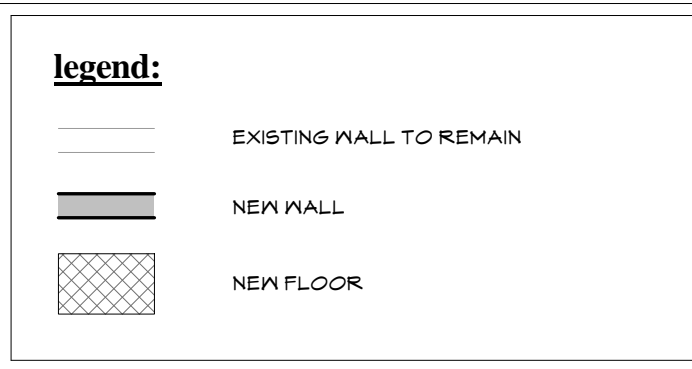
1/16" = 1'-0"

CODED NOTES - FLOOR PLANS

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GENERAL NOTES - FLOOR PLANS

- 1 REFER TO SHEET A100 FOR GENERAL FLOOR PLAN NOTES.
- 2 SEE ENLARGED CORE PLANS ON SHEETS A301 THRU A304 FOR MORE INFORMATION.
- 3 STAIR HANDRAILS/RAILINGS EXISTING TO BE REMOVED AND REPLACED WITH NEW CODE COMPLIANT RAILINGS TO INCLUDE NEW CODE REQUIRED COMPLIANT EXTENSIONS AND RETURNS, AND VERTICAL SPACING MAXIMUM OF 4" O.C.



GEORGE D. BERARDI
LICENSE # 6480
EXPIRES 12/31/2017

National Church Residences

STYGLER VILLAGE
GAHANNA, OHIO

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ARCHITECTS AND ENGINEERS
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NOTE:

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2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS OPERATIONAL AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS THEY DO SO AT THEIR OWN RISK AND EXPENSE.
3. ADDITIONALLY SEE GENERAL INFORMATION ON A07 SHEETS.
4. THE CLIENT ACKNOWLEDGES CONSULTANTS (REGISTERED ARCHITECTS AND PROFESSIONAL ENGINEERS) SHALL NOT BE RESPONSIBLE FOR THE DESIGN AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRICAL MEDIA AS INSTRUMENTS OF THE CONSULTANTS (REGISTERED ARCHITECTS AND PROFESSIONAL ENGINEERS) WHOSE WRITTEN AUTHORIZATION OF THE CONSULTANT ARCHITECT/ENGINEER AGREES TO HAVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT/ENGINEER) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
5. ARCHITECTS CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD/DWG MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE USER'S RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES, EXPENSES AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIMENSIONAL AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR COVERED REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED EXACTLY AT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODES. REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

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PROJECT DATE: 05/06/2016
PROJECT #: 15145

Description	Date
1 Addendum 1	05/20/2016
3 Addendum 3	06/03/2016
6 Addendum A	07/15/2016
7 Owner Review	07/22/2016
8 Plumbing	08/05/2016

SECOND FLOOR PLAN

A102

berardi+
architecture + interior design + engineering

1308 goodale boulevard, columbus ohio 43212
phone 614-221-1110 fax 614-221-0831
www.berardipartners.com

2ND FLOOR GSF
27973 SF

C:\Users\tribuckelmeijer\Documents\15_115145 Stygler Village Apartments_nbruckelmeijer.rvt



3RD FLOOR PLAN

1/16" = 1'-0"



CODED NOTES - FLOOR PLANS

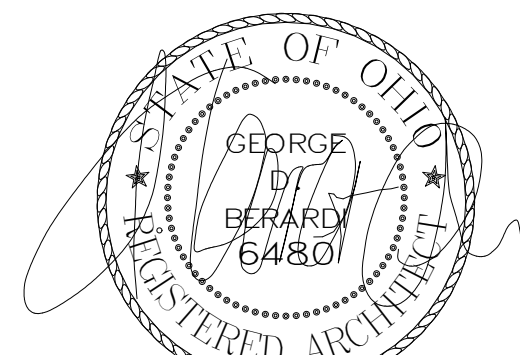
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- 2 NEW COVERED ENTRY CANOPY - SEE ENLARGED PLAN AND DETAILS ON SHEET A305.
- 3 NEW ENTRY VESTIBULE.
- 4 NEW WALL STATION.
- 5 NEW HANDRAIL - SEE DETAIL ON SHEET A402.
- 6 NEW CHAIR RAIL OPPOSITE OF CORRIDOR HANDRAIL PER DETAIL ON SHEET A402.
- 7 NEW SCOTCH LIGHT UNIT IDENTIFICATION PLAQUE - COORDINATE WITH ELECTRICAL PLANS/SCHEDULES. SEE DETAIL ON SHEET A401. WALL SCOTCH SHALL NOT PROTRUDE MORE THAN 4" FROM WALL MAX.
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- 9 NEW REAR ADDITION - SEE ELEVATIONS AND STRUCTURAL.
- 10 NEW COVERED PATIO ACCESS - SEE ENLARGED PLAN AND DETAILS ON SHEET A305.
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- 12 PAINT STAIRWELL WALLS, CEILING, EXPOSED PIPING, STAIR COMPONENTS INCLUDING VINYL TREADS AND RISERS, VGT FLOORING, VINYL BASE.
- 13 NEW ACCESSIBLE RESTROOM.
- 14 NEW FINISHES THROUGHOUT COMMON AREA, REFER TO FINISH SCHEDULE ON SHEET A400.
- 15 NEW SEASONS ROOM AT REAR ADDITION.
- 16 NEW COMMUNITY KITCHEN.
- 17 NEW COMMUNITY ROOM.
- 18 NEW LOUNGE.
- 19 SOIL GAS PIPING, 4" DIA. PVC PIPE. COORDINATE EXACT ROUTING AND LOCATION WITH STRUCTURE ABOVE. SEE DETAIL SHEET A403.
- 20 REMOVE AND REPLACE ALL DOOR HARDWARE (LOOKSETS & TRIM) WITH ADA COMPLIANT LEVER HARDWARE WITH SATIN CHROME FINISH. PAINT ALL EXISTING DOOR FRAMES.
- 21 EXISTING 2 1/2" SLAB DEPRESSION WHERE SHOWER WAS REMOVED TO BE INFILLED.
- 22 REPLACE ALL STAIRWELL RAILING WITH CODE COMPLIANT RAILINGS.
- 23 NOT USED.
- 24 NOT USED.
- 25 PACKAGE SHELF, TYPICAL ALL UNITS. SEE DETAIL SHEET A401.
- 26 REPLACE EXISTING VERTICAL BIDDING WITH NEW CEMENTITIOUS BIDDING CLADDING. INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03052012 METHOD #2. REFER TO SCOPE OF WORK.
- 27 NEW PREFINISHED ALUMINUM DECORATIVE RAILINGS 42" AFF. WITH UNION JACK DESIGN. FINISH IS TO MATCH THE METAL TRIM AND ROOFING.
- 28 PREP EXISTING DWELLING UNIT BALCONY FLOOR SLAB TO RECEIVE NEW MATERIAL - PROVIDE A WATERPROOF ROLL-ON EPOXY FINISH.
- 29 WIRE BRUSH CLEAN AND REFINISH EXISTING STEEL LADDER.
- 30 REMOVE AND REPLACE EXISTING STEEL HANDRAIL/GUARDRAIL AT ALL FLOORS, TYPICAL.

GENERAL NOTES - FLOOR PLANS

1. REFER TO SHEET A100 FOR GENERAL FLOOR PLAN NOTES.
2. SEE ENLARGED CORNER PLANS ON SHEETS A301 THRU A304 FOR MORE INFORMATION.
3. STAIR HANDRAILS/RAILINGS, EXISTING TO BE REMOVED AND REPLACED WITH NEW CODE COMPLIANT RAILINGS, TO INCLUDE NEW CODE REQUIRED COMPLIANT EXTENSIONS AND RETURNS, AND VERTICAL SPACING MAXIMUM OF 4" O.C.

Legend:

- EXISTING WALL TO REMAIN
- NEW WALL
- NEW FLOOR



GEORGE D. BERARDI
LICENSE # 6480
EXPIRES 12/31/2017

National Church Residences

STYGLER VILLAGE
GAHANNA, OHIO

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3. ADDITIONALLY SEE GENERAL INFORMATION ON A07 SHEETS.
4. THE CLIENT ACKNOWLEDGES AND CONSENTS THAT THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANT (ARCHITECT/ENGINEER/PROFESSIONAL ENGINEER) SHALL NOT BE REPRODUCED OR PERMITTED TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF THE CONSULTANT ARCHITECT/ENGINEER/PROFESSIONAL ENGINEER. THE CLIENT AGREES TO HAVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT/ENGINEER/PROFESSIONAL ENGINEER) ARISING FROM ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
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PERMIT SET

PROJECT DATE: 05/06/2016
PROJECT #: 15145

Description	Date
1 Addendum 1	05/20/2016
3 Addendum 3	06/03/2016
6 Addendum A	07/15/2016
7 Owner Review	07/22/2016
8 Plumbing	08/05/2016

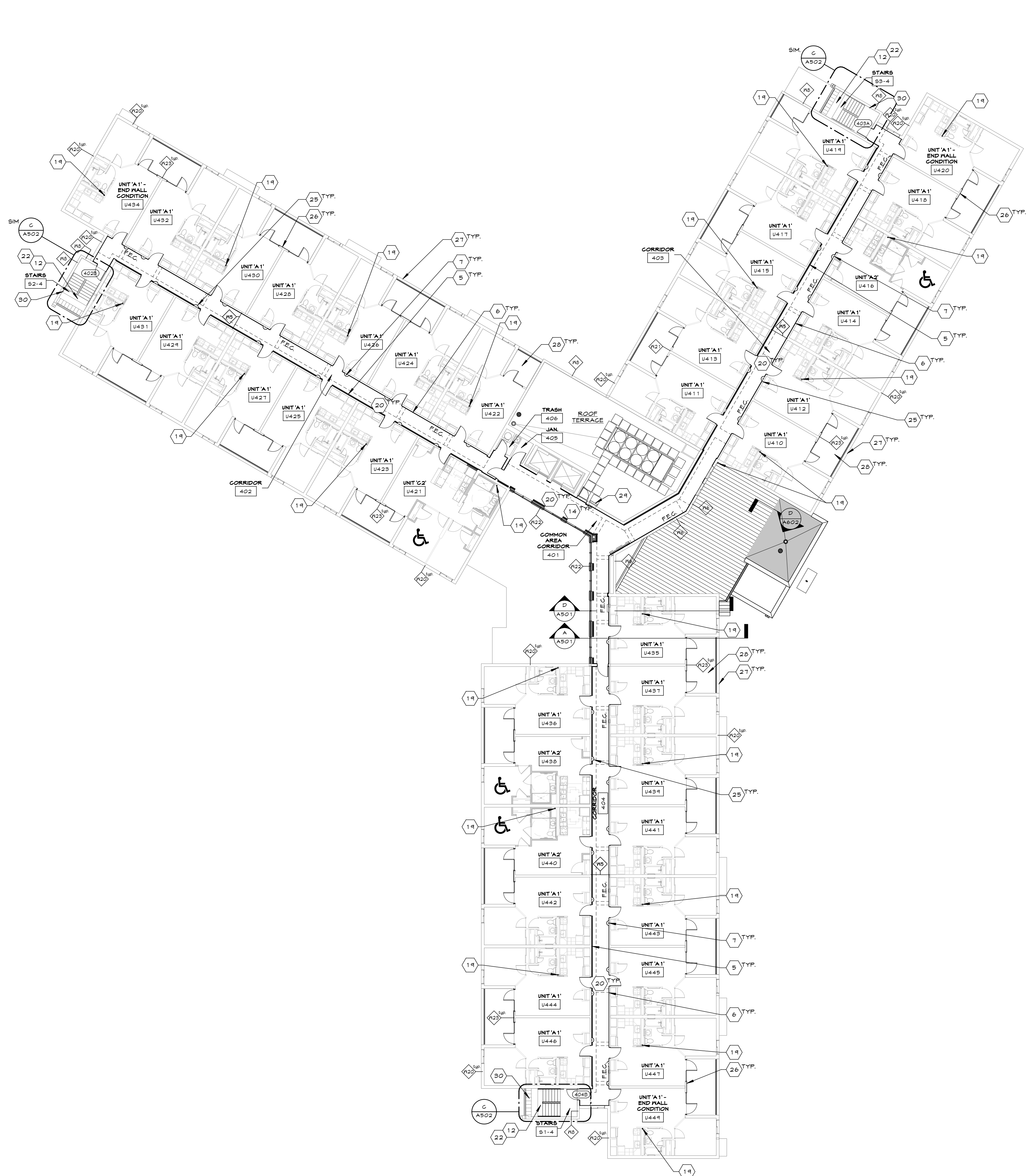
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4TH FLOOR PLAN



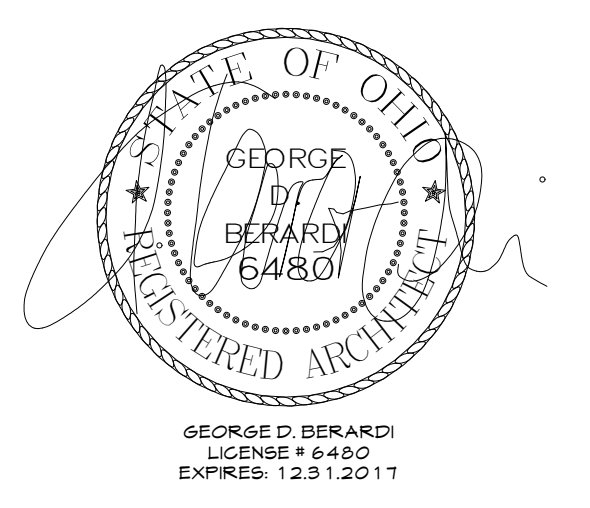
1/16" = 1'-0"

CODED NOTES - FLOOR PLANS

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GENERAL NOTES: ELEVATIONS

1. ARCHITECTURAL ELEVATION REFERENCES BASED ON FIRST FLOOR + 100'-0"; SEE CIVIL FOR U.S.G.S. ELEVATIONS.
2. ALL DOWNSPOUTS SHALL BE AS LOCATED ON FLOOR PLANS. PROVIDE SPECIFIED BOOTS AND RUNS FROM BUILDING AS AWAY FROM BUILDING.
3. ALL EXTERIOR FINISH MATERIALS TO BE INSTALLED AS PER THE MANUFACTURER'S DIRECTIVES.
4. ALL EXPOSED CONCRETE MASONRY UNITS OR EXPOSED CONCRETE TO BE PARSED FINISH.
5. SEE ROOF PLANS FOR FLASHING AND PENETRATION REQUIREMENTS.
6. ALL FINISH COLORS AND TEXTURES NOT SPECIFIED TO BE SELECTED BY THE ARCHITECT.
7. INSTALL NEW CEMENTITIOUS SIDING CLADDING AS FOLLOWS. INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03052012 METHOD #2.
8. INSTALL 1X2 ROOF FURRING FASTENED INTO EXISTING LIGHT GAUGE METAL STUD FRAMING.
9. INSTALL NEW 3/4" TYPE II EPS RIGID INSULATION BETWEEN FURRING, ADHERED TO SHEATHING WITH ADHESIVE.
10. INSTALL 7/16" OSB APA RATED EXTERIOR SHEATHING TO BE FASTENED TO EXISTING LIGHT GAUGE METAL STUD FRAMING.
11. INSTALL GOMMERICAL WEATHER RESISTIVE BARRIER DRAINAGE PLANE.
12. INSTALL FIBER-CEMENT LAP SIDING FASTENED TO FURRING STRIPS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
13. INSTALL 3/4" SMOOTH TRIM AROUND PATIO DOORS AND WINDOWS / WINDOWS TO RECEIVE EXTENDED SILL AND TRIM RETURN AT FRAME FLASHING AS REQUIRED.
14. REPLACE ALL STEEL PIPE GUARDRAILS AT BALCONIES AND WALL MOUNTED RAILINGS WITH NEW PREFINISHED ALUMINUM DECORATIVE RAILINGS 42" AFF. FINISH IS TO MATCH THE METAL TRIM AND ROOFING.
15. REPLACE EXISTING SLIDING GLASS DOORS AND THRESHOLDS WITH A NEW SINGLE 3'-0" FULL-LITE DOOR WITH SIDELIGHT - PROVIDE ADA COMPLIANT LOW-PROFILE THRESHOLDS. TYPICAL ALL THIRD AND FOURTH FLOOR UNITS.
16. REPLACE EXISTING DWELLING UNIT BALCONY FLOOR MATERIAL. PREP EXISTING FLOOR SLAB TO RECEIVE NEW MATERIAL - PROVIDE A WATERPROOF ROLL-ON EPOXY FINISH.
17. CLEAN AND PREPARE PRIME AND PAINT EXISTING EXTERIOR CEILING.
18. REPLACE EXISTING VINYL SOFFITS, INCLUDING AT RECESSED UNIT BAYS.
19. REPLACE ALL EXTERIOR BUILDING LIGHTING, REPLACE EXISTING FLOOD LIGHTS MOUNTED TO THE BUILDING PARAPET PERIMETER THAT ARE ORIGINAL.
20. REPLACE EXISTING FLAT PANEL STEEL DOORS.
21. REFINISH ALL UNIT EXTERIOR BATH/KITCHEN VENT COVERS, SCRAPE, DE-RUST, CLEAN, PRIME AND PAINT.
22. REPLACE EXISTING MAIN ENTRY VESTIBULE STOREFRONT SYSTEM AND DOORS WITH NEW ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS.
23. BRICK REPAIRS WORK INCLUDING STEP CRACKING, TUCK POINTING, 3.5000 SF.
24. CLEAN, SCRAPE, DE-RUST AND PAINT EXISTING STEEL LINTELS.
25. EXTERIOR STORAGE SHED AT NORTH YARD. ADD TWO WALL LOUVERS AT OPPOSITE LOCATIONS TO PROVIDE CROSS VENTILATION. RE-DIRECT THE DOWNSPOUT AWAY FROM THE FOUNDATION AND PROVIDE SPLASHPLOCK.
26. EXISTING MEMBRANE ROOF.
 - a. REPLACE ALL APPURTENANCES, INCLUDING BUT NOT LIMITED TO, MEMBRANE, ALL FLASHINGS AND COPINGS, ROOF DRAINS AND VENTS FOR SOUNDNESS AND WATERTIGHT INTEGRITY.
 - b. PROVIDE NEW 60 MIL BALLASTED EPDM ROOF, NO BALLAST AT MECHANICAL UNIT ROOF AREA.
27. EXISTING SLOPED METAL ROOFING.
 - a. REPLACE EXISTING METAL ROOFING AND ALL APPURTENANCES, INCLUDING METAL ROOF COPINGS.
 - b. REMOVE AND REPLACE ALL ALUMINUM FASCIA AND TRIM BOARD, PROVIDE ALLOWANCE FOR 25% REPLACEMENT OF 2X FASCIA BOARD.
 - c. REMOVE AND REPLACE GUTTERS AND DOWNSPOUTS AT SLOPED ROOFS.
28. CONSTRUCT ADDITION AND RECONFIGURE LOBBY ENTRY SPACE.
29. CONSTRUCT NEW COVERED ENTRANCE CANOPY.
30. CONSTRUCT NEW STEEL FRAMED WALK CANOPY LEADING TO NEW HEAVY TIMBER PERGOLA AT REAR OF BUILDING.
31. INSTALL NEW INSULATED ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS AT RENOVATED ENTRY.
32. CONSTRUCT TWO STORY MASONRY ADDITION TO HOUSE SEASONS ROOM AND EXPANDED COMMUNITY SPACE.
33. INSTALL CUSTOM FIBERGLASS FOLDING WALL SYSTEM AT EAST ADDITION EXTERIOR WALL SIMILAR TO JELD-REN AURORA FOLDING PATIO DOOR SYSTEM.
34. EXERCISE ROOM - FINISH NEWLY EXPANDED ADDITION.
35. DWELLING UNITS WITH BALCONIES.
 - a. REPLACE EXISTING SLIDING DOOR UNIT WITH SINGLE 3'-0" DOOR WITH SIDELIGHT - PROVIDE AN ADA COMPLIANT LOW PROFILE THRESHOLD.
 - b. REMOVE EXISTING EXTERIOR CARPET. CLEAN DECK AND APPLY NEW WATERPROOF EPOXY FINISH.
 - c. REMOVE AND REPLACE ALL EXTERIOR BUILDING LIGHTING, INCLUDING EXISTING FLOOD LIGHTS MOUNTED TO THE BUILDING PARAPET PERIMETER THAT ARE ORIGINAL.
 - d. PROVIDE KEYLESS ENTRY FOB SYSTEM AT BUILDING MAIN ENTRY INTERIOR VESTIBULE/LOBBY DOORS, NEW REAR PATIO DOOR, NORTHWEST CENTER CORRIDOR EXTERIOR DOOR AND NORTH CORRIDOR DOOR.
 - e. REMOVE AND REPLACE HC PUSH PADS AND AUTO OPENERS AT EXTERIOR AND INTERIOR MAIN ENTRY VESTIBULE/LOBBY STOREFRONT DOORS AND NORTHWEST CENTER CORRIDOR DOOR. INSTALL NEW HC PUSH PADS AT REAR PATIO DOOR WITH AUTO OPENERS.
 - f. INSTALL "PROP-OPEN" DOOR ALARM SYSTEM AT ALL 1ST FLOOR EXTERIOR STAIR AND CORRIDOR DOORS ADDRESSABLE TO MANAGER'S OFFICE AND RECEPTION.

DURABILITY NOTES

1. CONTRACTOR TO USE ENTERPRISE GREEN COMMUNITIES DURABILITY CHECKLIST DURING CONSTRUCTION. DURABILITY ITEMS LISTED BELOW ARE NOT LIMITED TO THESE ITEMS.
2. WATER RESISTANT FLOORING AT KITCHENS / BATHROOMS / LAUNDRIES AND ENTRY MATS.
3. INSTALL DRAIN / DRAIN PAN AT WATER HEATER.
4. WASHER BOX TO HAVE SINGLE THROUGH VALVE.
5. CLOTHES DRYER TO BE EXHAUSTED TO EXTERIOR.
6. SEAL ALL EXTERNAL CRACK JOINTS, ETC. WITH SEALANT OR PEST-PROOF SCREEN.
7. ALL FLOORING IN BATHROOMS AND KITCHENS TO BE RUN WALL-TO-WALL (UNDER ALL REMOVABLE CABINETS AND APPLIANCES).
8. ALL GYPSUM BOARD TO BE SEALED.
9. USE NON-PAPER FACED BACKER BOARD AT ALL BATHROOM WALLS, TUB/SHOWER ENCLOSURES AND LAUNDRY AREAS INCLUDING CEILING.
10. SEAL ALL RECESSED CANLIPS, UTILITY BOXES AND DOOR JAMBS.
11. TUBS/SHOWERS, STAIRS AND FIREPLACE ENCLOSURES REQUIRE EXTERIOR WALLS TO BE PRE-INSULATED AND BOARDED PRIOR TO BEING BUILT AGAINST.
12. ALL INTERIOR DOORS TO BE FILLED CORE.
13. KEEP ALL STORED MATERIALS DRY ON SITE.
14. PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS.
15. RAISE PAPER COVERED GYPSUM BOARD 1/2" ABOVE CONCRETE SLAB.
16. PRIME AND PAINT ALL EXTERIOR WOOD TRIM ON ALL SIDES.
17. CEMENTITIOUS SIDING TO BE SEALED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

(X) CODED NOTES - ELEVATIONS

1. PREFINISHED ALUMINUM GUTTER.
2. PREFINISHED ALUMINUM DOWNSPOUT.
3. NEW STANDING SEAM METAL ROOFING SYSTEM.
4. ROOFTOP UNIT, REFER TO MECHANICAL.
5. EPDM ROOFING SYSTEM.
6. SCUPPER.
7. RIDGE VENT, REFER TO DETAIL SHEET A105.
8. BRICK VENEER, REFER TO SHEET A003 FOR WALL TYPES.
9. STOREFRONT OR CURTAIN WALL SYSTEM, REFER TO SHEET A102.
10. CONTINUOUS METAL COPING GAP, REFER TO WALL SECTIONS AND DETAILS.
11. CONTINUOUS SEALANT AT MATERIAL TRANSITION.
12. CONTINUOUS SEALANT AT OPENING PERIMETER.
13. EXPANSION JOINT BETWEEN ADDITION AND EXISTING BUILDING.
14. ALUMINUM RAILING.
15. ADD SOIL AT PERIMETER OF BUILDING TO CREATE 5% SLOPE AWAY FROM BUILDING.
16. REPLACE EXISTING VERTICAL SIDING WITH NEW CEMENTITIOUS SIDING CLADDING. INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03052012 METHOD #2, REFER TO SCOPE OF WORK.
17. NEW PREFINISHED ALUMINUM DECORATIVE RAILINGS 42" AFF. WITH UNION JACK DESIGN. FINISH IS TO MATCH THE METAL TRIM AND ROOFING.
18. NEW SINGLE 3'-0" FULL-LITE DOOR WITH SIDELIGHT - PROVIDE ADA COMPLIANT LOW-PROFILE THRESHOLD.
19. EXISTING EXTERIOR CEILING, CLEAN AND PREPARE, PRIME AND PAINT.
20. REMOVE AND REPLACE ALL EXTERIOR BUILDING LIGHTING. SEE ELECTRICAL.
21. REPLACE EXISTING VINYL SOFFITS.
22. REFINISH ALL EXTERIOR BATH/KITCHEN VENT COVERS, SCRAPE, DE-RUST, CLEAN, PRIME AND PAINT.
23. NEW ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS.
24. NEW ALUMINUM FASCIA AND TRIM BOARD.
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26. NEW COVERED PATIO ACCESS.
27. NEW HEAVY TIMBER PERGOLA WITH DRY STACK STONE PIERS. SEE SHEET A305 FOR ENLARGED PLAN AND DETAILS.
28. CUSTOM FIBERGLASS FOLDING WALL SYSTEM SIMILAR TO JELD-REN AURORA FOLDING PATIO DOOR SYSTEM.
29. NEW DOWNSPOUT NOZZLE.
30. PROVIDE SADDLE FLASHING, INTEGRATE WITH WATER BARRIER PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

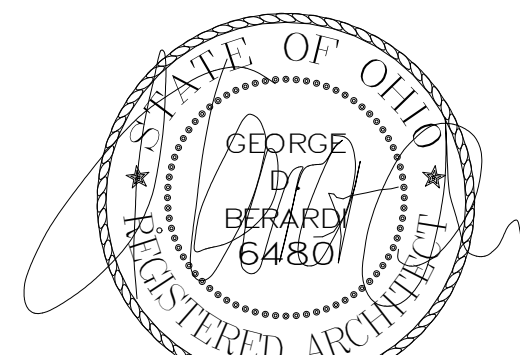
GENERAL NOTE - AIR LEAKAGES

- IN ACCORDANCE WITH ASHRAE 90.1-04/5.4.3.1) BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, BASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE.

1. JOINTS AROUND PENETRATION AND DOOR FRAMES.
2. JUNCTION BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AT BUILDING CORNERS, BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR WALL PANELS.
3. OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS.
4. SITE-BUILT FENESTRATION AND DOORS.
5. BUILDING ASSEMBLIES USED AS DUCTS OR FLENUMS.
6. JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
7. ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.

GENERAL NOTES: ENVELOPE

1. ALL OPENINGS SUCH AS DOORS AND WINDOWS (INCLUDING ALL SILL FANNING AS REQUIRED) TO BE FLASHED.
2. ALL GRADINGS TO BE SLOPED AWAY FROM BUILDING/FOUNDATION (GRADE - SLOPE AWAY GUARANTEED FOR ONE (1) YEAR).
3. FOOTER TILE (BELOW TOP OF FOOTER TO DAYLIGHT OR TO INTERIOR TILE/SUMP).
4. ALL FOUNDATION INSULATION TO EXTEND TO TOP OF FOOTER.
5. INSTALL ALL WALL AND CEILING INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE ALL BATTS).
6. ENCLOSE ALL WALL INSULATION ON ALL SIDES - PROTECT FROM AIR WASH.
7. ALL CEILING INSULATION TO BE EVEN DEPTH AND TO BE MINIMUM R-3.9.
8. SOFFIT CHUTES ARE TO BE FULL CAVITY WITH TABS TO PROTECT EDGE OF PERIMETER INSULATION.
9. PROVIDE SADDLE FLASHING AT ALL LOW-HIGH EXTERIOR WALL INTERFACES. INTEGRATE FLASHING WITH WATER BARRIER PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.



GEORGE D. BERARDI
LICENSE # 6480
EXPIRES 12.31.2017

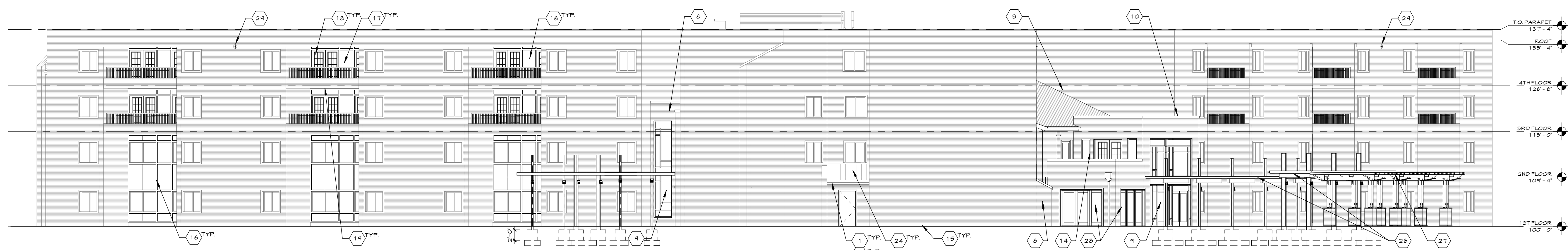
National Church Residences

STYGLER VILLAGE
GAHANNA, OHIO

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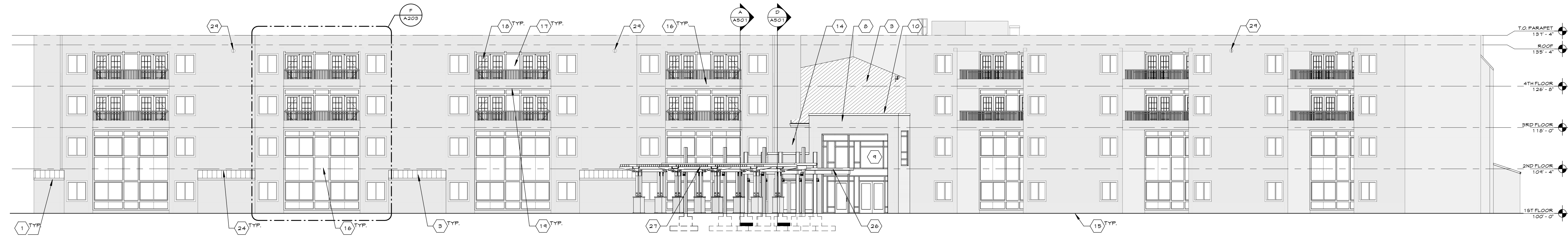
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NOTE:
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2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS INTERDEPENDENT. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS. THEY DO SO AT THEIR OWN RISK AND EXPENSE.
3. ADDITIONALLY, SEE GENERAL INFORMATION ON "NOT SHEETS" FOR THE CLIENT'S KNOWLEDGE AND CONSENT. THE ARCHITECT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF THE CONSULTANT ARCHITECT. THE CLIENT AGREES TO HAVE ANY CLAIM AGAINST THE CONSULTANT ARCHITECT ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
4. THE ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED OR COPIED MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE USER'S RISK. THE USER FURTHERMORE AGREES TO DEFEND, INDEMNIFY, AND HOLD THE ARCHITECT HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES, EXPENSES AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
5. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR COORDINATE REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED EXACTLY AT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.



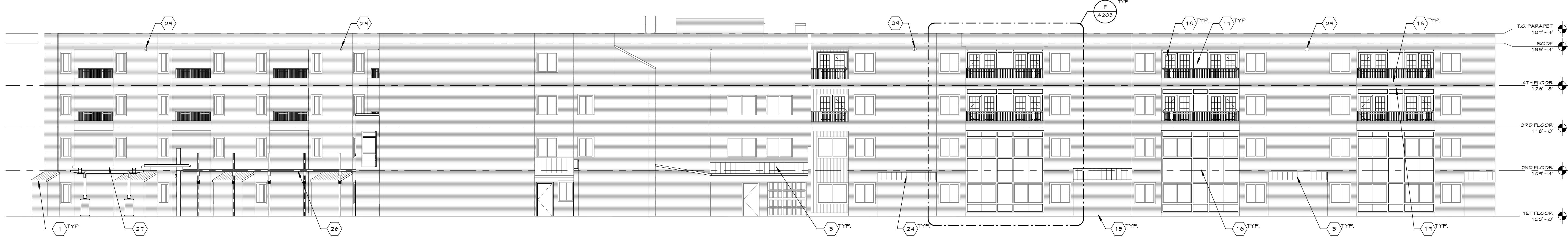
SOUTH ELEVATION

3/32" = 1'-0"



EAST ELEVATION

3/32" = 1'-0"



NORTHEAST ELEVATION

3/32" = 1'-0"

PERMIT SET

PROJECT DATE: 05/06/2016
PROJECT #: 15145

Description	Date
1 Addendum 1	05/20/2016
9 Site Changes & ADA	09.15.2016

EXTERIOR ELEVATIONS

A201



architecture + interior design + engineering
1308 goodale boulevard, columbus ohio 43212
phone 614-221-1110 fax 614-221-0831
www.berardipartners.com

GENERAL NOTES: ELEVATIONS

1. ARCHITECTURAL ELEVATION REFERENCES BASED ON FIRST FLOOR - 100'-0", SEE CIVIL FOR U.S.G.S. ELEVATIONS.
2. ALL DOWNSPOUTS SHALL BE AS LOCATED ON FLOOR PLANS. PROVIDE SPECIFIED BOOTHS AND RUNS FROM BUILDING.
3. ALL EXTERIOR FINISH MATERIALS TO BE INSTALLED AS PER THE MANUFACTURER'S DIRECTIONS.
4. ALL EXPOSED CONCRETE MASONRY UNITS OR EXPOSED CONCRETE TO BE PARSED FINISH.
5. SEE ROOF PLANS FOR FLASHING AND PENETRATION REQUIREMENTS.
6. ALL FINISH COLORS AND TEXTURES NOT SPECIFIED TO BE SELECTED BY THE ARCHITECT.
7. INSTALL NEW GEMENTITIOUS SIDING CLADDING AS FOLLOWS: INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 09052012 METHOD #2.
8. INSTALL 1X2 WOOD FURRING FASTENED INTO EXISTING LIGHT GAUGE METAL STUD FRAMING.
9. INSTALL NEW 5/4" TYPE 1 EPS INSULATION BETWEEN FURRING, ADHERED TO SHEATHING WITH ADHESIVE.
10. INSTALL 7/16" OSB APA RATED EXTERIOR SHEATHING TO BE FASTENED TO EXISTING LIGHT GAUGE METAL STUD FRAMING.
11. INSTALL COMMERCIAL WEATHER RESISTIVE BARRIER DRAINAGE PLANE.
12. INSTALL FIBER-CEMENT LATH SIDING FASTENED TO FURRING STRIPS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
13. INSTALL 3/4" SMOOTH TRIM AROUND PATIO DOORS AND WINDOWS / WINDOWS TO RECEIVE EXTENDED SILL AND TRIM RETURN AT FRAME. FLASHING AS REQUIRED.
14. REPLACE CONTINENTAL PIPE GUARDRAILS AT BALCONIES AND WALL MOUNTED RAILINGS WITH NEW PREFINISHED ALUMINUM DECORATIVE RAILINGS 42" AFF. FINISH IS TO MATCH THE METAL TRIM AND ROOFING.
15. REPLACE EXISTING SLIDING GLASS DOORS AND THRESHOLDS WITH A NEW SINGLE 3'-0" FULL-LITE DOOR WITH SIDELIGHT - PROVIDE ADA COMPLIANT LOW-PROFILE THRESHOLD(S), TYPICAL ALL THIRD AND FOURTH FLOOR UNITS.
16. REPLACE EXISTING DOWNSPOUT FLOOR MATERIAL. PREP EXISTING FLOOR SLAB TO RECEIVE NEW MATERIAL - PROVIDE A WATERPROOF ROLL-ON EPOXY FINISH.
17. CLEAN AND PREPARE, PRIME AND PAINT EXISTING EXTERIOR CEILING.
18. REPLACE EXISTING VINYL SOFFITS, INCLUDING AT RECESSED UNIT BAYS.
19. REPLACE ALL EXTERIOR BUILDING LIGHTING. REPLACE EXISTING FLOOD LIGHTS MOUNTED TO THE BUILDING PARAPET PERIMETER THAT ARE ORIGINAL.
20. REPLACE ALL EXTERIOR FLAT PANEL STEEL DOORS.
21. REFINISH ALL UNIT EXTERIOR BATH/KITCHEN VENT COVERS, SCRAPER, DE-RUST, CLEAN PRIME AND PAINT.
22. REPLACE EXISTING MAIN ENTRY VESTIBULE STOREFRONT SYSTEM AND DOORS WITH NEW ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS.
23. BRICK REPAIR WORK INCLUDING STEP CRACKING / TUCK-POINTING, 32,000 SF.
24. CLEAN, SCRAPER, DE-RUST AND PAINT EXISTING STEEL LINTELS.
25. EXTERIOR STORAGE SHED AT NORTH WING: ADD TWO WALL LOUVERS AT OPPOSITE LOCATIONS TO PROVIDE CROSS VENTILATION. RE-DIRECT THE DOWNSPOUT AWAY FROM THE FOUNDATION AND PROVIDE SPLASHBLOCK.
26. EXISTING MEMBRANE ROOF.
27. REPLACE ALL APPURTENANCES, INCLUDING BUT NOT LIMITED TO: MEMBRANE, ALL FLASHING AND COPING, ROOF DRAINS AND VENTS FOR SOUNDNESS AND WATERTIGHT INTEGRITY.
28. PROVIDE NEW 60 MIL BALLASTED EPDM ROOF, NO BALLAST AT MECHANICAL UNIT ROOF AREA.
29. EXISTING SLOPED METAL ROOFING.
30. REPLACE STANDING SEAM METAL ROOF AND ALL APPURTENANCES, INCLUDING METAL ROOF COPING.
31. REMOVE AND REPLACE ALL ALUMINUM FASCIA AND TRIM BOARD, PROVIDE ALLOWANCE FOR 25% REPLACEMENT OF 2X FASCIA BOARD.
32. REMOVE AND REPLACE GUTTERS AND DOWNSPOUTS AT SLOPED ROOFS.
33. CONSTRUCT ADDITION AND NEWLY RECONFIGURED LOBBY/ENTRY SPACE.
34. CONSTRUCT NEW COVERED ENTRANCE CANOPY.
35. CONSTRUCT NEW STEEL FRAMED WALK CANOPY LEADING TO NEW HEAVY TIMBER PERGOLA AT REAR OF BUILDING.
36. INSTALL NEW INSULATED ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS AT RENOVATED ENTRY.
37. CONSTRUCT TWO STORY MASONRY ADDITION TO HOUSE SEASONS ROOM AND EXPANDED COMMUNITY SPACE.
38. INSTALL CUSTOM FIBERGLASS FOLDING WALL SYSTEM AT EAST ADDITION EXTERIOR WALL SIMILAR TO JELD-WEN AURORA FOLDING PATIO DOOR SYSTEM.
39. INSTALL NEW STOREFRONT DOOR WITH SIDELIGHT AT EAST ADDITION FOR ACCESS TO REAR YARD.
40. EXERCISE ROOM - FINISH NEWLY EXPANDED ADDITION.
41. DWELLING UNITS WITH BALCONIES.
42. REPLACE EXISTING SLIDING DOOR UNIT WITH SINGLE 3'-0" DOOR WITH SIDELIGHT - PROVIDE AN ADA COMPLIANT LOW PROFILE THRESHOLD.
43. REMOVE EXISTING EXTERIOR CARPET, CLEAN DECK AND APPLY NEW WATERPROOF EPOXY FINISH.
44. REMOVE AND REPLACE ALL EXTERIOR BUILDING LIGHTING, INCLUDING EXISTING FLOOD LIGHTS MOUNTED TO THE BUILDING PARAPET PERIMETER THAT ARE ORIGINAL.
45. PROVIDE KEYLESS ENTRY FOB SYSTEM AT BUILDING MAIN ENTRY, INTERIOR VESTIBULE/LOBBY DOORS, NEW REAR PATIO DOOR, NORTHWEST CENTER CORRIDOR EXTERIOR DOOR AND NORTH CORRIDOR DOOR.
46. REMOVE AND REPLACE PUSH PADS AND AUTO OPENERS AT EXTERIOR AND INTERIOR MAIN ENTRY VESTIBULE/LOBBY STOREFRONT DOORS AND NORTHWEST CENTER CORRIDOR DOOR. INSTALL NEW HC PUSH PADS AT REAR PATIO DOOR WITH AUTO OPENERS.
47. INSTALL "PROP-OPEN" DOOR ALARM SYSTEM AT ALL 1ST FLOOR EXTERIOR STAR AND CORRIDOR DOORS ADDRESSABLE TO MANAGER'S OFFICE AND RECEPTION.

DURABILITY NOTES

1. CONTRACTOR TO USE ENTERPRISE GREEN COMMUNITIES DURABILITY CHECKLIST DURING CONSTRUCTION. DURABILITY ITEMS ARE LISTED BELOW ARE NOT LIMITED TO THESE ITEMS.
2. WATER RESISTANT FLOORING AT KITCHENS / BATHROOMS / LAUNDRIES AND ENTRY WAYS.
3. INSTALL DRAIN & DRAIN PAN AT WATER HEATER.
4. WASHER BOX TO HAVE SINGLE THROW VALVE.
5. CLOTHES DRYER TO BE EXHAUSTED TO EXTERIOR.
6. SEAL ALL EXTERNAL CRACK JOINTS, ETC. WITH SEALANT OR PEST-PROOF SCREEN.
7. ALL FLOORING IN BATHROOMS AND KITCHENS TO BE RUN WALL-TO-WALL (UNDER ALL REMOVABLE CABINETS AND APPLIANCES).
8. ALL GYPSUM BOARD TO BE SEALED.
9. USE NON-PAPER FACED BACKER BOARD AT ALL BATHROOM WALLS, TUB / SHOWER ENCLOSURES AND LAUNDRY AREAS INCLUDING CEILING.
10. SEAL ALL RECESSED CAN LIPS, UTILITY BOXES AND DOOR JAMBS.
11. TUBS / SHOWERS, STAIRS AND FIREPLACE ENCLOSURES REQUIRE EXTERIOR WALLS TO BE PRE-INSULATED AND BOARDED PRIOR TO BEING BUILT AGAINST.
12. ALL INTERIOR DOORS TO BE FILLED CORE.
13. KEEP ALL STORED MATERIALS DRY ON SITE.
14. PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS.
15. RAISE PAPER COVERED GYPSUM BOARD 1/2" ABOVE EXISTING CONCRETE SLAB.
16. PRIME AND PAINT ALL EXTERIOR WOOD TRIM ON ALL SIDES.
17. GEMENTITIOUS SIDING TO BE SEALED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

CODED NOTES - ELEVATIONS

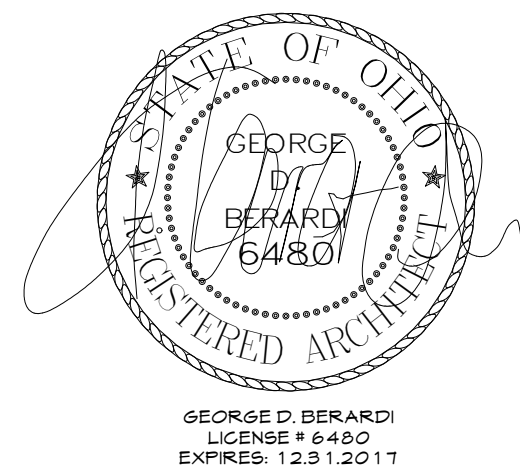
1. PREFINISHED ALUMINUM GUTTER.
2. PREFINISHED ALUMINUM DOWNSPOUT.
3. NEW STANDING SEAM METAL ROOFING SYSTEM.
4. ROOFTOP UNIT, REFER TO MECHANICAL.
5. EPDM ROOFING SYSTEM.
6. SCUPPER.
7. RIDGE VENT, REFER TO DETAIL SHEET A 105.
8. BRICK VENEER, REFER TO SHEET A003 FOR WALL TYPES.
9. STOREFRONT OR CURTAIN WALL SYSTEM, REFER TO SHEET A 02.
10. CONTINUOUS METAL COPING CAP, REFER TO WALL SECTIONS AND DETAILS.
11. CONTINUOUS SEALANT AT MATERIAL TRANSITION.
12. CONTINUOUS SEALANT AT OPENING PERIMETER.
13. 1" EXPANSION JOINT BETWEEN ADDITION AND EXISTING BUILDING.
14. ALUMINUM RAILING.
15. ADD SOL AT PERIMETER OF BUILDING TO CREATE 5% SLOPE AWAY FROM BUILDING.
16. REPLACE EXISTING VERTICAL SIDING WITH NEW GEMENTITIOUS SIDING CLADDING. INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 09052012 METHOD #2. REFER TO SCOPE OF WORK.
17. NEW PREFINISHED ALUMINUM DECORATIVE RAILINGS 42" AFF. WITH UNION JACK DESIGN. FINISH IS TO MATCH THE METAL TRIM AND ROOFING.
18. NEW SINGLE 3'-0" FULL-LITE DOOR WITH SIDELIGHT - PROVIDE ADA COMPLIANT LOW-PROFILE THRESHOLD.
19. EXISTING EXTERIOR CEILING, CLEAN AND PREPARE, PRIME AND PAINT.
20. REMOVE AND REPLACE ALL EXTERIOR BUILDING LIGHTING. SEE ELECTRICAL.
21. REPLACE EXISTING VINYL SOFFITS.
22. REFINISH ALL EXTERIOR BATH/KITCHEN VENT COVERS, SCRAPER, DE-RUST, CLEAN, PRIME AND PAINT.
23. NEW ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS.
24. NEW ALUMINUM FASCIA AND TRIM BOARD.
25. NEW COVERED ENTRY CANOPY - SEE ENLARGED PLAN AND DETAILS ON SHEET A305.
26. NEW COVERED PATIO ACCESS.
27. NEW HEAVY TIMBER PERGOLA WITH DRY STACK STONE PIERS. SEE SHEET A305 FOR ENLARGED PLAN AND DETAILS.
28. CUSTOM FIBERGLASS FOLDING WALL SYSTEM SIMILAR TO JELD-WEN AURORA FOLDING PATIO DOOR SYSTEM.
29. NEW DOWNSPOUT NOZZLE.
30. PROVIDE SADDLE FLASHING, INTEGRATE WITH WATER BARRIER PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

GENERAL NOTE - AIR LEAKAGES

- IN ACCORDANCE WITH ASHRAE 90.1-04(S.4.3.1) BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE:
1. JOINTS AROUND PENETRATION AND DOOR FRAMES.
 2. JUNCTION BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AT BUILDING CORNERS, BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR WALL PANELS.
 3. OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS.
 4. SITE-BUILT PENETRATION AND DOORS.
 5. BUILDING ASSEMBLIES USED AS DUCTS OR PENUMS.
 6. JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
 7. ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.

GENERAL NOTES: ENVELOPE

1. ALL OPENINGS SUCH AS DOORS AND WINDOWS (INCLUDING ALL SILL FINNINGS AS REQUIRED) TO BE FLASHED.
2. ALL GRADING TO BE SLOPED AWAY FROM BUILDING/FOUNDATION (GRADE - SLOPE AWAY GUARANTEED FOR ONE (1) YEAR).
3. FOOTER TILE (BELOW TOP OF FOOTER TO DAYLIGHT OR TO INTERIOR TILE/BUMP).
4. ALL FOUNDATION INSULATION TO EXTEND TO TOP OF FOOTER.
5. INSTALL ALL WALL AND CEILING INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE ALL BATTS).
6. ENCLOSE ALL WALL INSULATION ON ALL SIDES - PROTECT FROM AIR WASH.
7. ALL CEILING INSULATION TO BE EVEN DEPTH AND TO BE MINIMUM R-38.
8. SOFFIT CHUTES ARE TO BE FULL CAVITY WITH TABS TO PROTECT EDGE OF PERIMETER INSULATION.
9. PROVIDE SADDLE FLASHING AT ALL LOW-HIGH EXTERIOR WALL INTERFACES. INTEGRATE FLASHING WITH WEATHER BARRIER PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.



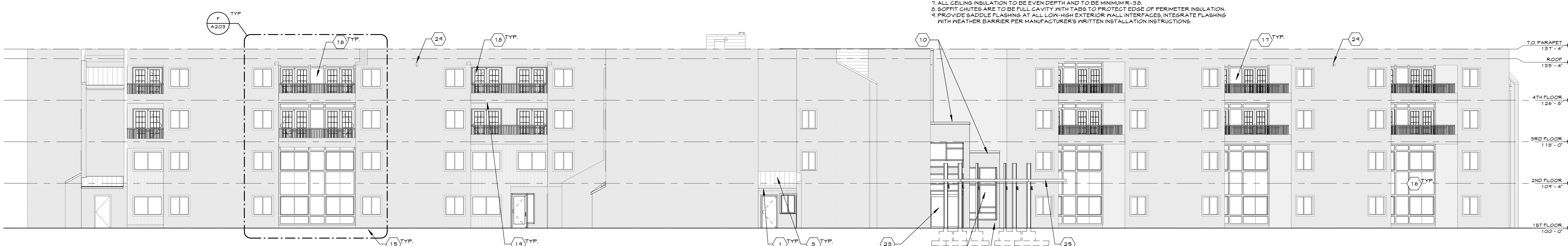
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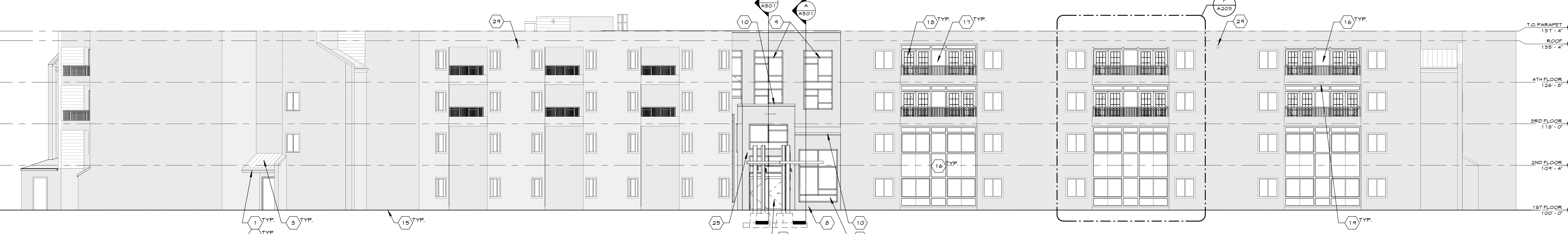
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3. ADDITIONALLY, SEE GENERAL INFORMATION ON "NOT SHEETS".
4. THE CLIENT KNOWLEDGEABLE CONSULTANTS (MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL) DRAWINGS AND SPECIFICATIONS INCLUDING ALL DOCUMENTS ON ELECTRICAL MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT, PROFESSIONAL ENGINEER, THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO MAKE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF THE CONSULTANT ARCHITECT. THE CLIENT AGREES TO HAVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
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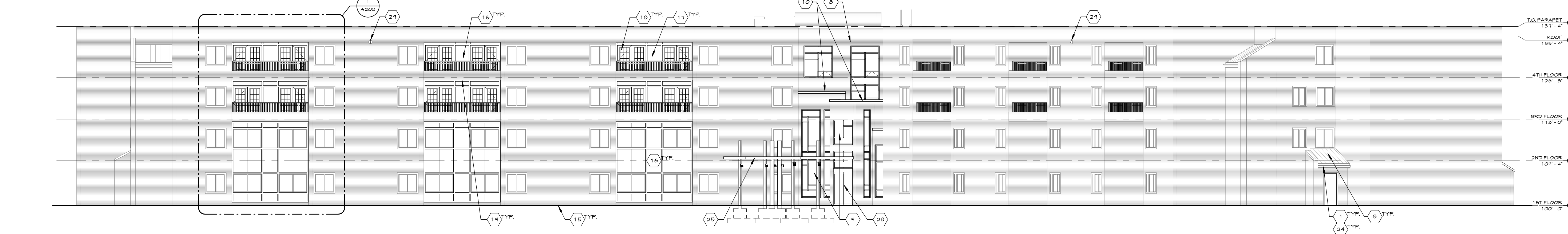
NORTHWEST ELEVATION

3/32" = 1'-0"



WEST ELEVATION

3/32" = 1'-0"



SOUTHWEST ELEVATION

3/32" = 1'-0"

PERMIT SET

PROJECT DATE:	05/06/2016
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1 Addendum 1	05/20/2016
9 Site Changes & ADA	09.15.2016

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GENERAL NOTES: ELEVATIONS

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2. ALL DOWNPOUTS SHALL BE LOCATED ON FLOOR FLANS. PROVIDE SPECIFIED DRAIN AND RUNS AWAY FROM BUILDING.
3. ALL EXTERIOR FINISH MATERIALS TO BE INSTALLED AS PER THE MANUFACTURER'S DIRECTIVES.
4. ALL EXPOSED CONCRETE MASONRY UNITS OR EXPOSED CONCRETE TO BE PARSED FINISH.
5. SEE ROOF FLANS FOR FLASHING AND PENETRATION REQUIREMENTS.
6. ALL FINISH COLORS AND TEXTURES NOT SPECIFIED TO BE SELECTED BY THE ARCHITECT.
7. INSTALL NEW CEMENTITIOUS SIDING CLADDING AS FOLLOWS: INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03092012 METHOD #2.
8. INSTALL 1X2 WOOD FURRING FASTENED INTO EXISTING LIGHT GAUGE METAL STUD FRAMING.
9. INSTALL NEW 3/4" TYPE I EPS RIGID INSULATION BETWEEN FURRINGS, ADHERED TO SHEATHING WITH ADHESIVE.
10. INSTALL 7/16" OSB APA RATED EXTERIOR SHEATHING TO BE FASTENED TO EXISTING LIGHT GAUGE METAL STUD FRAMING.
11. INSTALL COMMERCIAL WEATHER RESISTIVE BARRIER DRAINAGE PLANE.
12. INSTALL FIBER-CEMENT LAF SIDING FASTENED TO FURRING STRIPS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
13. INSTALL 3/2" SHIMOTE TRIM AROUND PATIO DOORS AND WINDOWS / WINDOWS TO RECEIVE EXTENDED SILL AND TRIM RETURN AT FRAME, FLASHING AS REQUIRED.
14. REPLACE ALL STEEL PIPE GUARDRAILS AT BALCONIES AND WALL MOUNTED RAILINGS WITH NEW PREFINISHED ALUMINUM DECORATIVE RAILINGS 42" AFF. FINISH TO MATCH THE METAL TRIM AND FLOORINGS.
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16. REPLACE EXISTING DWELLING UNIT BALCONY FLOOR MATERIAL. PREP EXISTING FLOOR SLAB TO RECEIVE NEW MATERIAL - PROVIDE A WATERPROOF ROLL-ON EPOXY FINISH.
17. CLEAN AND PREPARE, PRIME AND PAINT EXISTING EXTERIOR CEILING.
18. REPLACE EXISTING VINYL SOFFITS, INCLUDING AT RECESSION UNIT BAYS.
19. REPLACE ALL EXTERIOR BUILDING LIGHTING, REPLACING EXISTING FLOOD LIGHTS MOUNTED TO THE BUILDING PARAPET PERIMETER THAT ARE ORIGINAL.
20. REPLACE ALL EXTERIOR FLAT PANEL STEEL DOORS.
21. REFINISH ALL UNIT EXTERIOR BATH/KITCHEN VENT COVERS, SCRAPE, DE-RUST, CLEAN PRIME AND PAINT.
22. REPLACE EXISTING MAIN ENTRY VESTIBULE STOREFRONT SYSTEM AND DOORS WITH NEW ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS.
23. BRICK REPAIR WORK INCLUDING STEP CRACKING / TUCK-POINTING: 32,000 SF
24. CLEAN, SCRAPE, DE-RUST AND PAINT EXISTING STEEL LINTELS.
25. EXTERIOR STORAGE SHED AT NORTH YARD. ADD TWO WALL LOUVERS AT OPPOSITE LOCATIONS TO PROVIDE CROSS VENTILATION. RE-DIRECT THE DOWNPOUT AWAY FROM THE FOUNDATION AND PROVIDE SPLASHBLOCK.
26. EXISTING MEMBRANE ROOF.
27. REPLACE ALL APPURTENANCES, INCLUDING BUT NOT LIMITED TO, MEMBRANE, ALL FLASHING AND COPING, ROOF DRAINS AND VENTS FOR SOUNDNESS AND WATER TIGHT INTEGRITY.
28. PROVIDE NEW 60 MIL BALLASTED EPDM ROOF, NO BALLAST AT MECHANICAL UNIT ROOF AREA.
29. EXISTING SLOPED METAL ROOFING.
30. REPLACE STANDING SEAM METAL ROOF AND ALL APPURTENANCES, INCLUDING METAL ROOF COPING.
31. REMOVE AND REPLACE ALL ALUMINUM FASCIA AND TRIM BOARD, PROVIDE ALLOWANCE FOR 25% REPLACEMENT OF 2X FASCIA BOARD.
32. REMOVE AND REPLACE GUTTERS AND DOWNSPOUTS AT SLOPED ROOFS.
33. CONSTRUCT ADDITION AND REPLY RECONFIGURED LOBBY/ENTRY SPACE.
34. CONSTRUCT NEW STEEL FRAMED WALK CANOPY LEADING TO NEW HEAVY TIMBER PERGOLA AT REAR OF BUILDING.
35. INSTALL NEW INSULATED ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS AT RENOVATED ENTRY.
36. CONSTRUCT TWO STORY MASONRY ATTACHMENT TO HOUSE SEASONS ROOM AND EXPANDED COMMUNITY SPACE.
37. INSTALL CUSTOM FIBERGLASS FOLDING WALL SYSTEM AT EAST ADDITION EXTERIOR WALL SIMILAR TO JELD-WEN AURORA FOLDING PATIO DOOR SYSTEM.
38. INSTALL NEW STOREFRONT DOOR WITH SIDELIGHT AT EAST ADDITION FOR ACCESS TO REAR YARD.
39. ENERGISE ROOM - FINISH NEW EXPANDED ADDITION.
40. DWELLING UNITS WITH BALCONIES.
41. REPLACE EXISTING SLIDING DOOR UNIT WITH SINGLE 3'-0" DOOR WITH SIDELIGHT - PROVIDE AN ADA COMPLIANT LOW PROFILE THRESHOLD.
42. REMOVE EXISTING EXTERIOR CARPET. CLEAN DECK AND APPLY NEW WATERPROOF EPOXY FINISH.
43. REMOVE AND REPLACE ALL EXTERIOR BUILDING LIGHTING, INCLUDING EXISTING FLOOD LIGHTS MOUNTED TO THE BUILDING PARAPET PERIMETER THAT ARE ORIGINAL.
44. PROVIDE KEYLESS ENTRY FOB SYSTEM AT BUILDING MAIN ENTRY INTERIOR VESTIBULE/LOBBY DOORS, NEW REAR PATIO DOOR, NORTHWEST CENTER CORRIDOR EXTERIOR DOOR AND NORTH CORRIDOR DOOR.
45. REMOVE AND REPLACE HIGH PUSH PADS AND AUTO OPENERS AT EXTERIOR AND INTERIOR MAIN ENTRY VESTIBULE/LOBBY STOREFRONT DOORS AND NORTHWEST CENTER CORRIDOR DOOR AND REAR PATIO DOOR WITH AUTO OPENERS.
46. INSTALL "PROP-OPEN" DOOR ALARM SYSTEM AT ALL 1ST FLOOR EXTERIOR STAIR AND CORRIDOR DOORS ADDRESSABLE TO MANAGER'S OFFICE AND RECEPTION.

GENERAL NOTES: ENVELOPE

1. ALL OPENINGS SUCH AS DOORS AND WINDOWS (INCLUDING ALL SILL PANNING AS REQUIRED) TO BE FLASHED.
2. ALL FLASHING TO BE SLOPED AWAY FROM BUILDING/FOUNDATION (GRADE - SLOPE AWAY GUARANTEED FOR ONE (1) YEAR).
3. FOOTER TILE (BELOW TOP OF FOOTER TO DAYLIGHT OR TO INTERIOR TILE/SUMP).
4. ALL FOUNDATION INSULATION TO EXTEND TO TOP OF FOOTER.
5. INSTALL ALL WALL AND CEILING INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE ALL BATT).
6. ENCLOSE ALL WALL INSULATION ON ALL SIDES - PROTECT FROM AIR WASH.
7. ALL CEILING INSULATION TO BE EVEN DEPTH AND TO BE MINIMUM R-38.
8. SOFFIT GUTTERS ARE TO BE FULL CAVITY WITH TABS TO PROTECT EDGE OF PERIMETER INSULATION.
9. PROVIDE SADDLE FLASHING AT ALL LOW-HIGH EXTERIOR WALL INTERFACES, INTEGRATE FLASHING WITH WEATHER BARRIER PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

DURABILITY NOTES

1. CONTRACTOR TO USE ENTERPRISE GREEN COMMUNITIES DURABILITY CHECKLIST DURING CONSTRUCTION DURABILITY ITEMS ARE LISTED BELOW ARE NOT LIMITED TO THESE ITEMS.
2. WATER RESISTANT FLOORINGS AT KITCHENS / BATHROOMS/LAUNDRIES AND ENTRY MAYS.
3. INSTALL DRAIN AND DRAIN PAN AT WATER HEATER.
4. WASHER BOX TO HAVE SINGLE THROW VALVE.
5. CLOTHES DRYER TO BE EXHAUSTED TO EXTERIOR.
6. SEAL ALL EXTERNAL CRACK JOINTS, ETC. WITH SEALANT OR PEST-PROOF SCREEN.
7. ALL FLOORING IN BATHROOMS AND KITCHENS TO BE RUN WALL-TO-WALL (UNDER ALL REMOVABLE CABINETS AND APPLIANCES).
8. ALL GYPSUM BOARD TO BE SEALED.
9. USE NON-PAPER FACED BACKER BOARD AT ALL BATHROOM WALLS, TUB/SHOWER ENCLOSURES AND LAUNDRY AREAS INCLUDING CEILING.
10. SEAL ALL RECESSION CAN LIPS, UTILITY BOXES AND DOOR JAMBS.
11. TUBS/SHOWERS, STAIRS AND FIREPLACE ENCLOSURES REQUIRE EXTERIOR WALLS TO BE PRE-INSULATED AND BOARDED PRIOR TO BEING BUILT AGAINST.
12. ALL INTERIOR DOORS TO BE FILLED CORE.
13. KEEP ALL STORED MATERIALS DRY ON SITE.
14. PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS.
15. RAISE PAPER COVERED GYPSUM BOARD 1/2" ABOVE CONCRETE SLAB.
16. PRIME AND PAINT ALL EXTERIOR WOOD TRIM ON ALL SIDES.
17. CEMENTITIOUS SIDING TO BE SEALED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

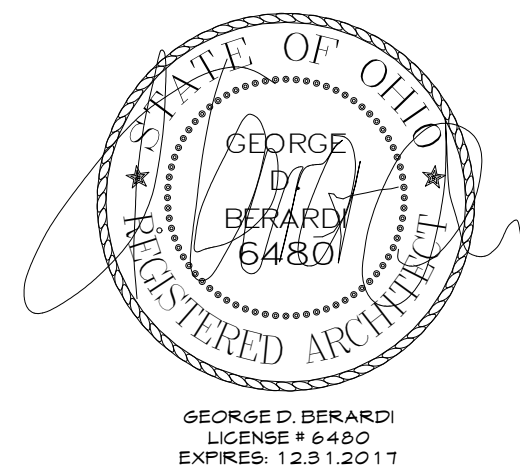
GENERAL NOTE - AIR LEAKAGES

IN ACCORDANCE WITH ASHRAE 90.1-04(9.4.3.1) BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE.

1. JOINTS AROUND PENETRATION AND DOOR FRAMES.
2. JUNCTION BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AT BUILDING CORNERS, BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR WALL PANELS.
3. OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS.
4. SITE-BUILT PENETRATION AND DOORS.
5. BUILDING ASSEMBLIES USED AS DUCTS OR FLEANS.
6. JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
7. ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.

CODED NOTES - ELEVATIONS

1. PREFINISHED ALUMINUM GUTTER.
2. PREFINISHED ALUMINUM DOWNSPOUT.
3. NEW STANDING SEAM METAL ROOFING SYSTEM.
4. ROOFTOP UNIT, REFER TO MECHANICAL.
5. EPDM ROOFING SYSTEM.
6. SCUPPER.
7. RIDGE VENT, REFER TO DETAIL SHEET A105.
8. BRICK VENEER, REFER TO SHEET A005 FOR WALL TYPES.
9. STOREFRONT OR CURTAIN WALL SYSTEM, REFER TO SHEET A202.
10. CONTINUOUS METAL COPING CAP, REFER TO WALL SECTIONS AND DETAILS.
11. CONTINUOUS SEALANT AT MATERIAL TRANSITION.
12. CONTINUOUS SEALANT AT OPENING PERIMETER.
13. 1" EXPANSION JOINT BETWEEN ADDITION AND EXISTING BUILDING.
14. ALUMINUM RAILINGS.
15. ADD SOL AT PERIMETER OF BUILDING TO CREATE 5% SLOPE AWAY FROM BUILDING.
16. REPLACE EXISTING VERTICAL SIDING WITH NEW CEMENTITIOUS SIDING CLADDING. INSTALLATION METHOD BASED ON JAMES HARDIE TECHNICAL BULLETIN 03092012 METHOD #2. REFER TO SCOPE OF WORK.
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19. EXISTING EXTERIOR CEILING, CLEAN AND PREPARE, PRIME AND PAINT.
20. REMOVE AND REPLACE ALL EXTERIOR BUILDING LIGHTING. SEE ELECTRICAL.
21. REPLACE EXISTING VINYL SOFFITS.
22. REFINISH ALL EXTERIOR BATH/KITCHEN VENT COVERS, SCRAPE, DE-RUST, CLEAN, PRIME AND PAINT.
23. NEW ALUMINUM STOREFRONT SYSTEM WITH AUTOMATIC BI-PARTING DOORS.
24. NEW ALUMINUM FASCIA AND TRIM BOARD.
25. NEW COVERED ENTRY CANOPY - SEE ENLARGED PLAN AND DETAILS ON SHEET A305.
26. NEW COVERED PATIO ACCESS.
27. NEW HEAVY TIMBER PERGOLA WITH DRY STACK STONE PIERS, SEE SHEET A305 FOR ENLARGED PLAN AND DETAILS.
28. CUSTOM FIBERGLASS FOLDING WALL SYSTEM SIMILAR TO JELD-WEN AURORA FOLDING PATIO DOOR SYSTEM.
29. NEW DOWNSPOUT NOZZLE.
30. PROVIDE SADDLE FLASHING, INTEGRATE WITH WATER BARRIER PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.



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PERMIT SET

PROJECT DATE:	05/06/2016
PROJECT #:	15145
Description	Date
1 Addendum 1	05/20/2016
3 Addendum 3	06/03/2016
6 Addendum A	07/15/2016
9 Site Changes & ADA	09.15.2016

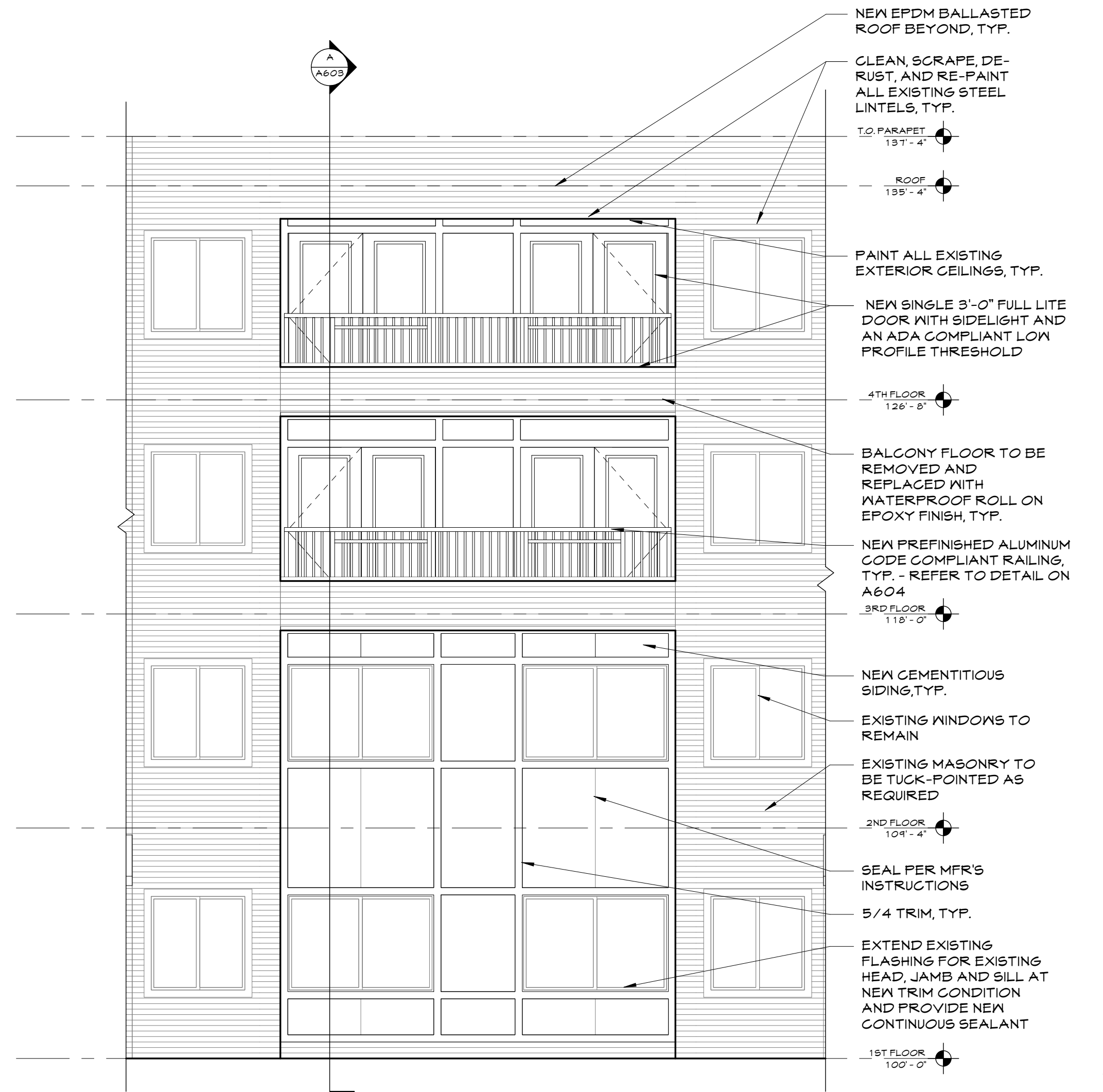
EXTERIOR ELEVATIONS

A203

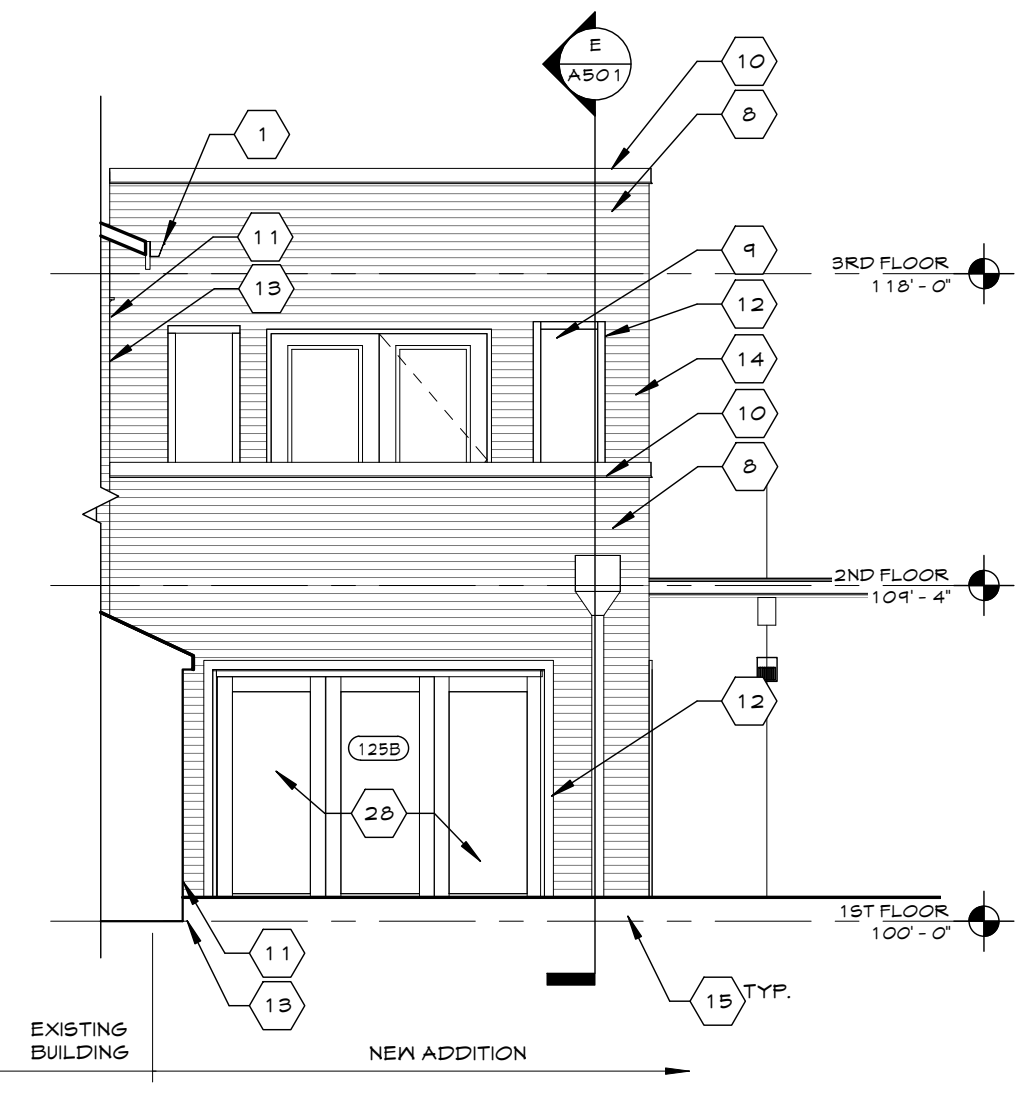


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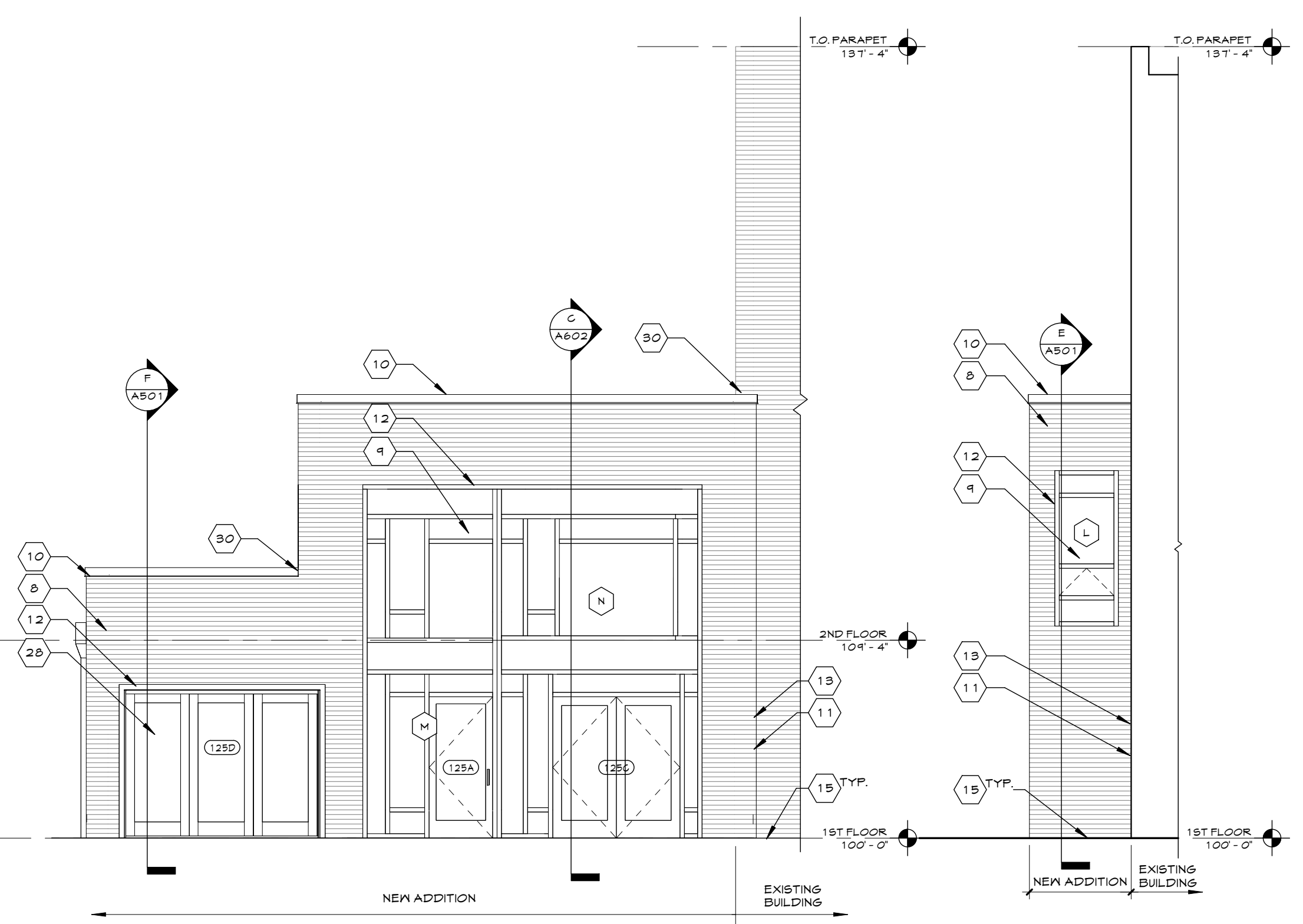
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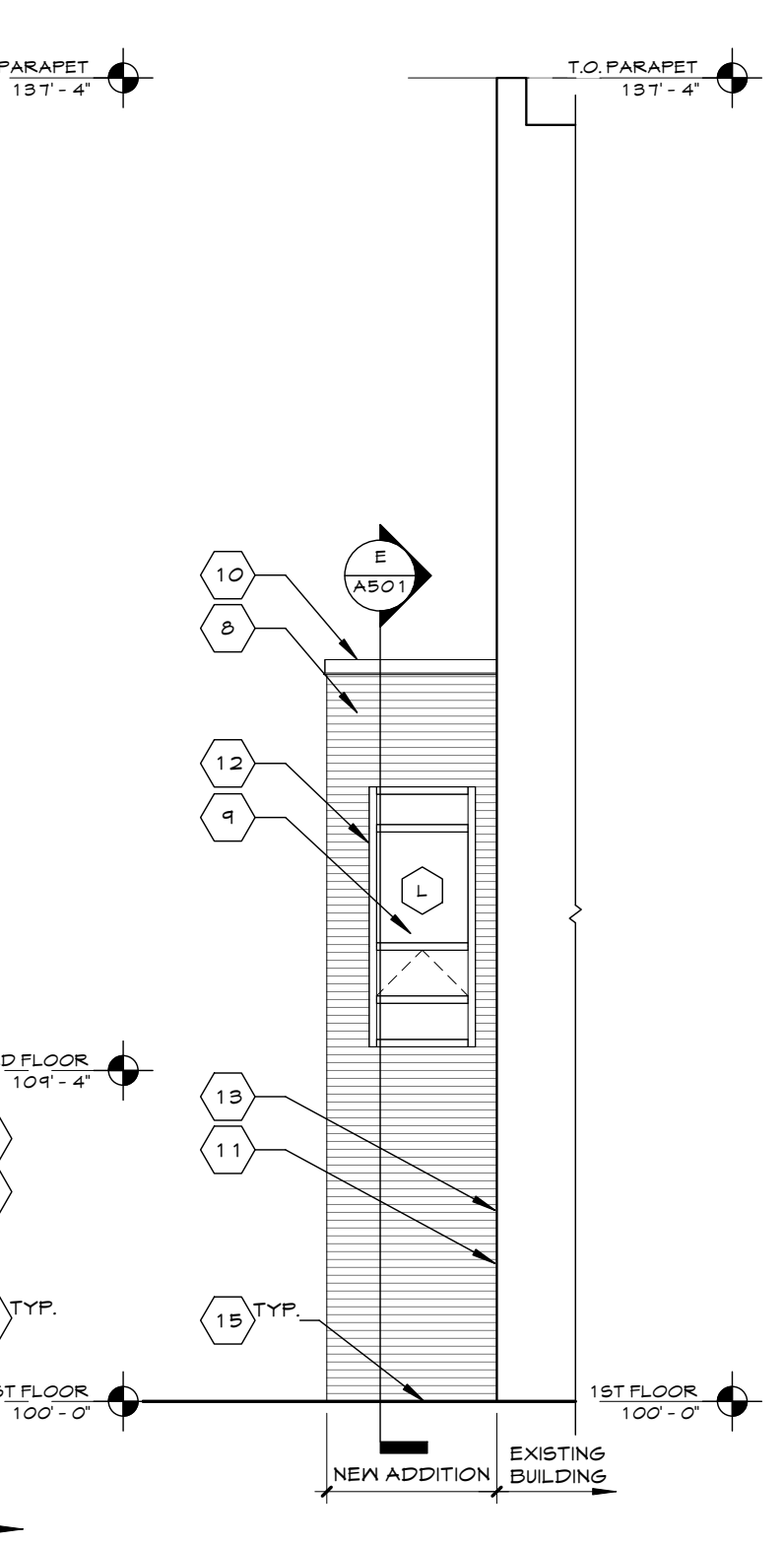
F typical bay elevation
 A203 1/4" = 1'-0"



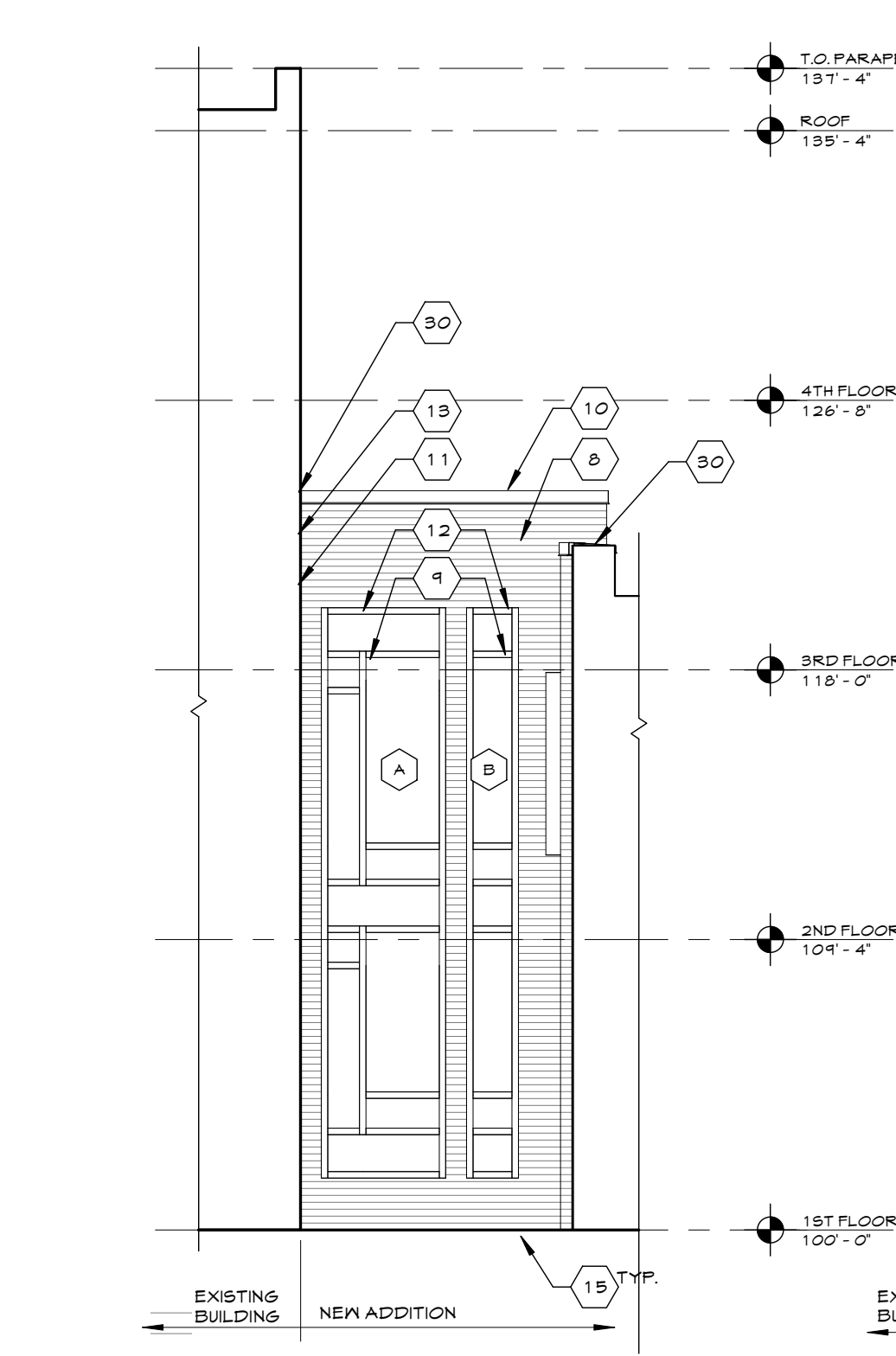
E southwest facade elevation
 A203 3/16" = 1'-0"



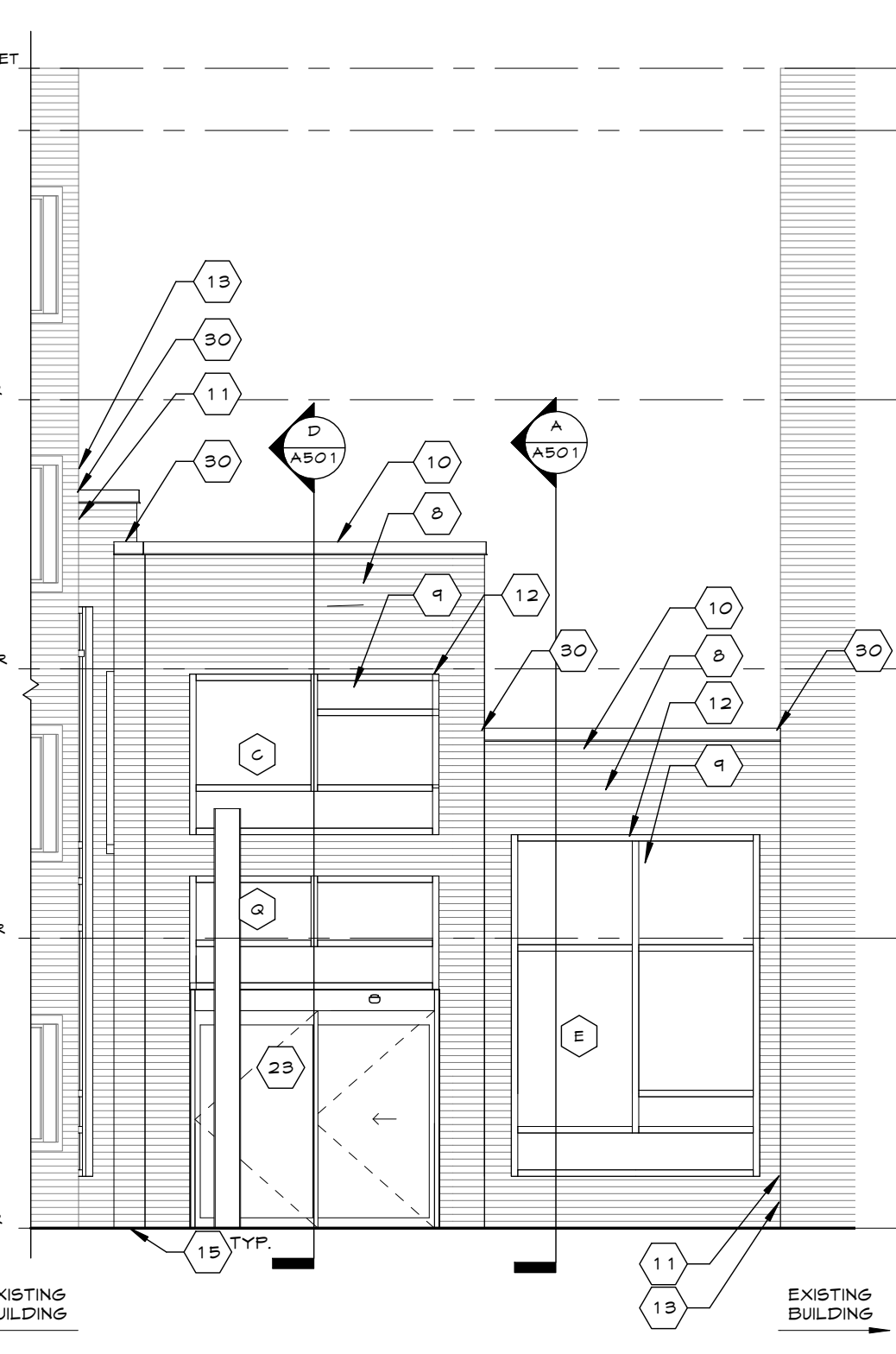
D southeast facade elevation
 A203 3/16" = 1'-0"



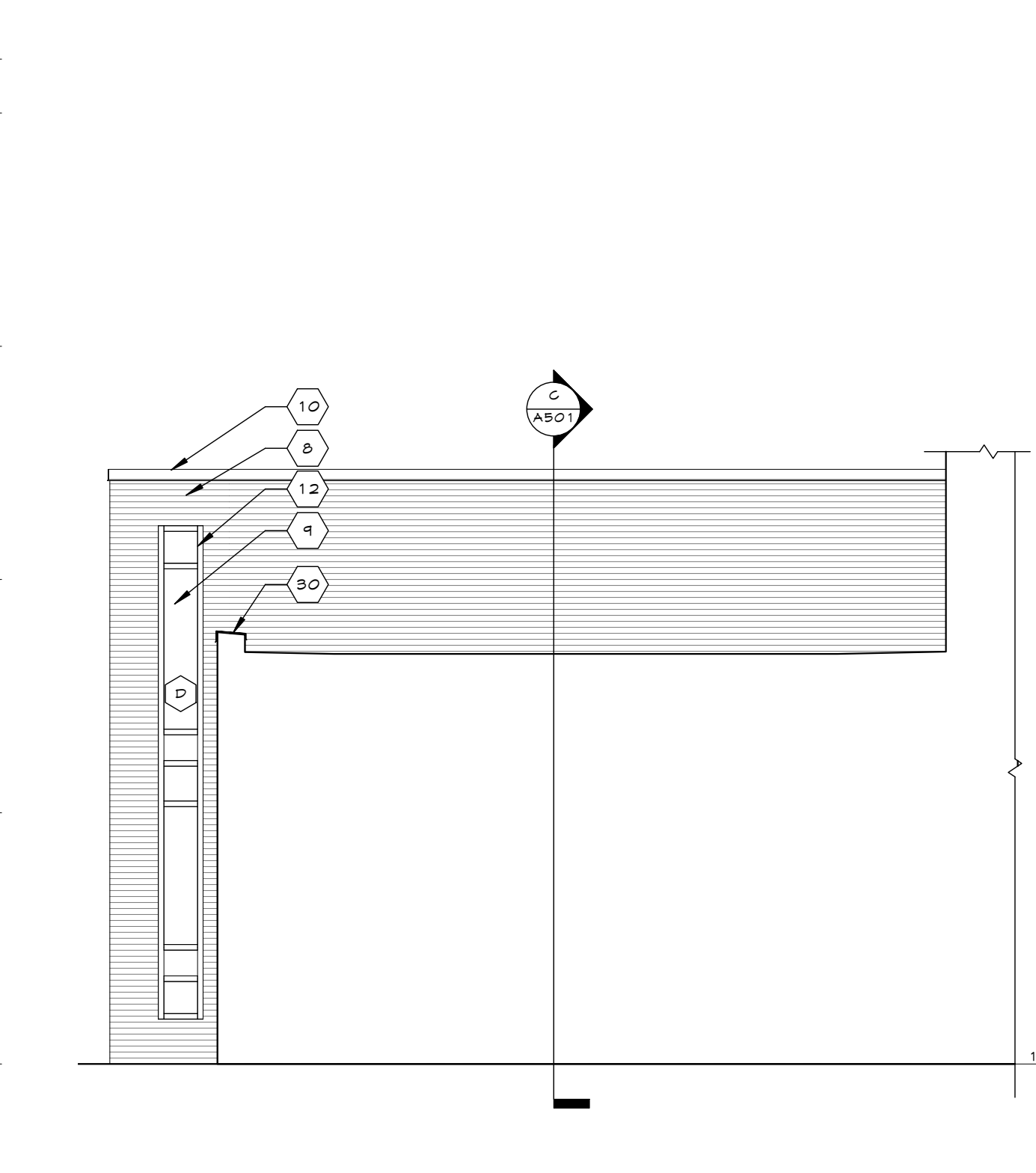
C northeast facade elevation
 A203 3/16" = 1'-0"



B southwest facade elevation
 A203 3/16" = 1'-0"

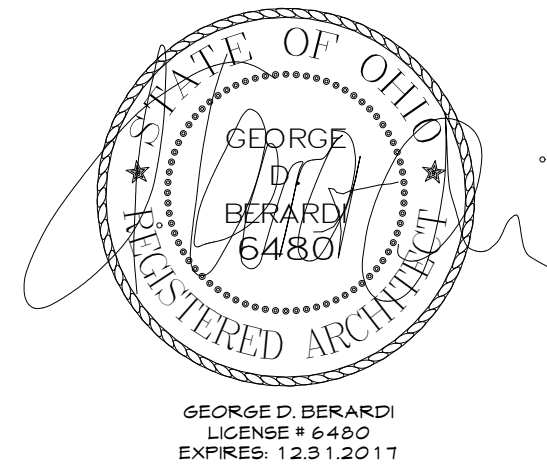


A west facade elevation
 A203 3/16" = 1'-0"



G south facade elevation
 A203 3/16" = 1'-0"

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STYGLER VILLAGE

GAHANNA, OHIO

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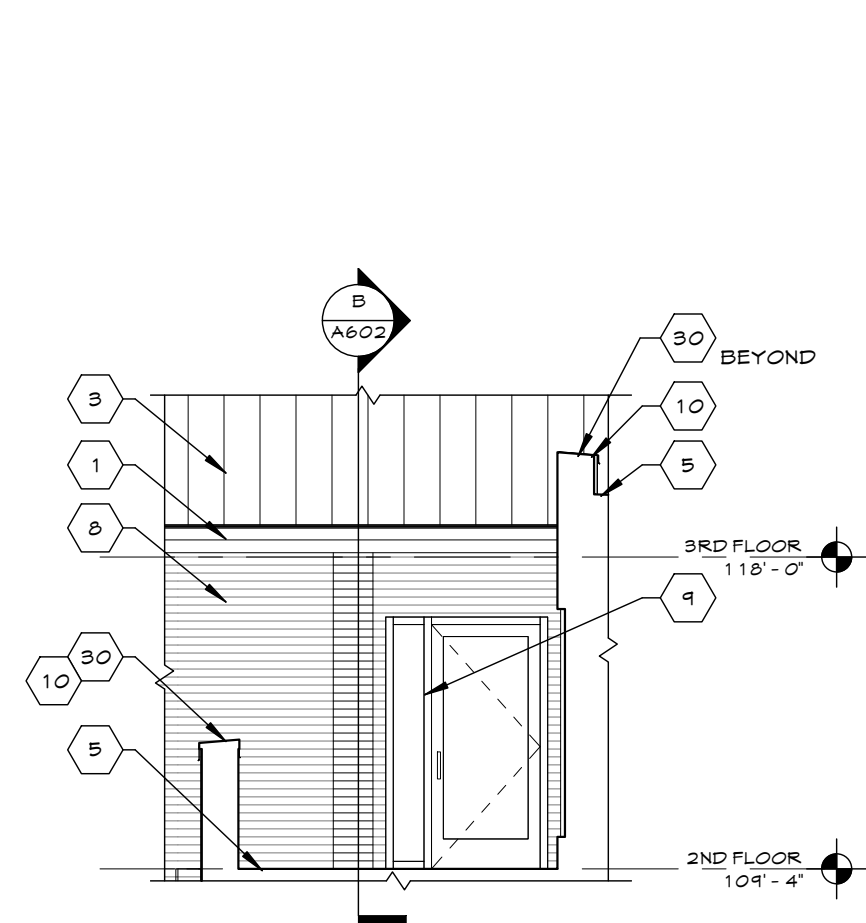
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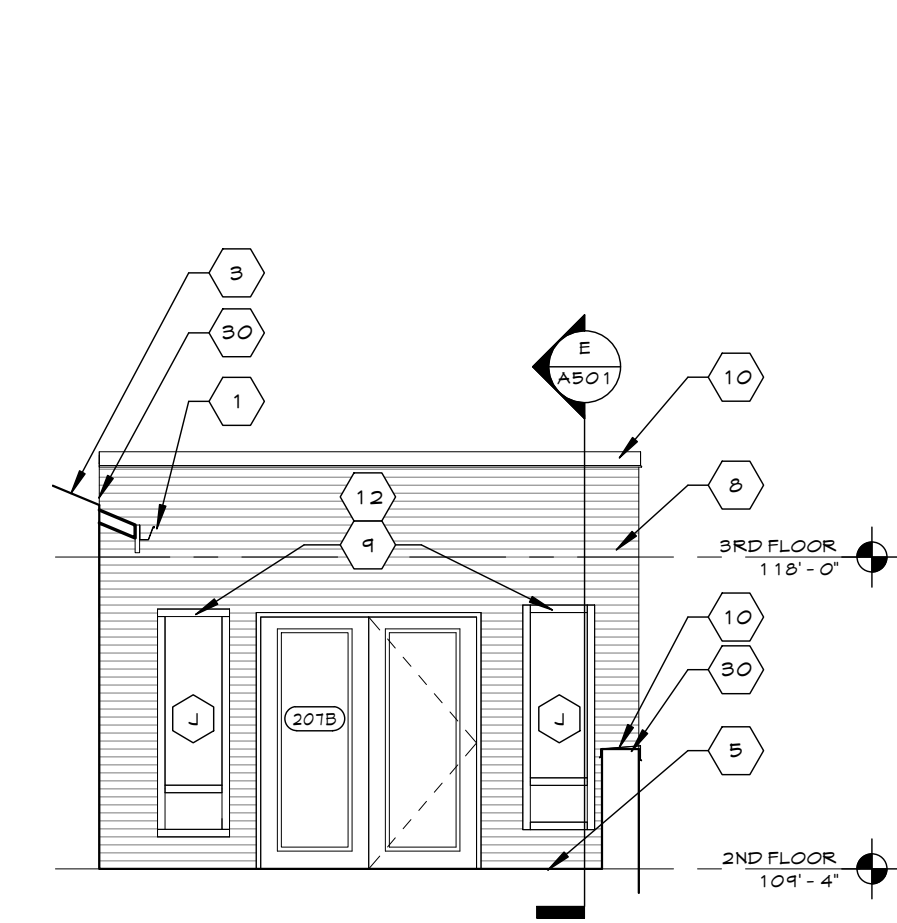
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PROJECT DATE: 05/06/2016
PROJECT #: 15145

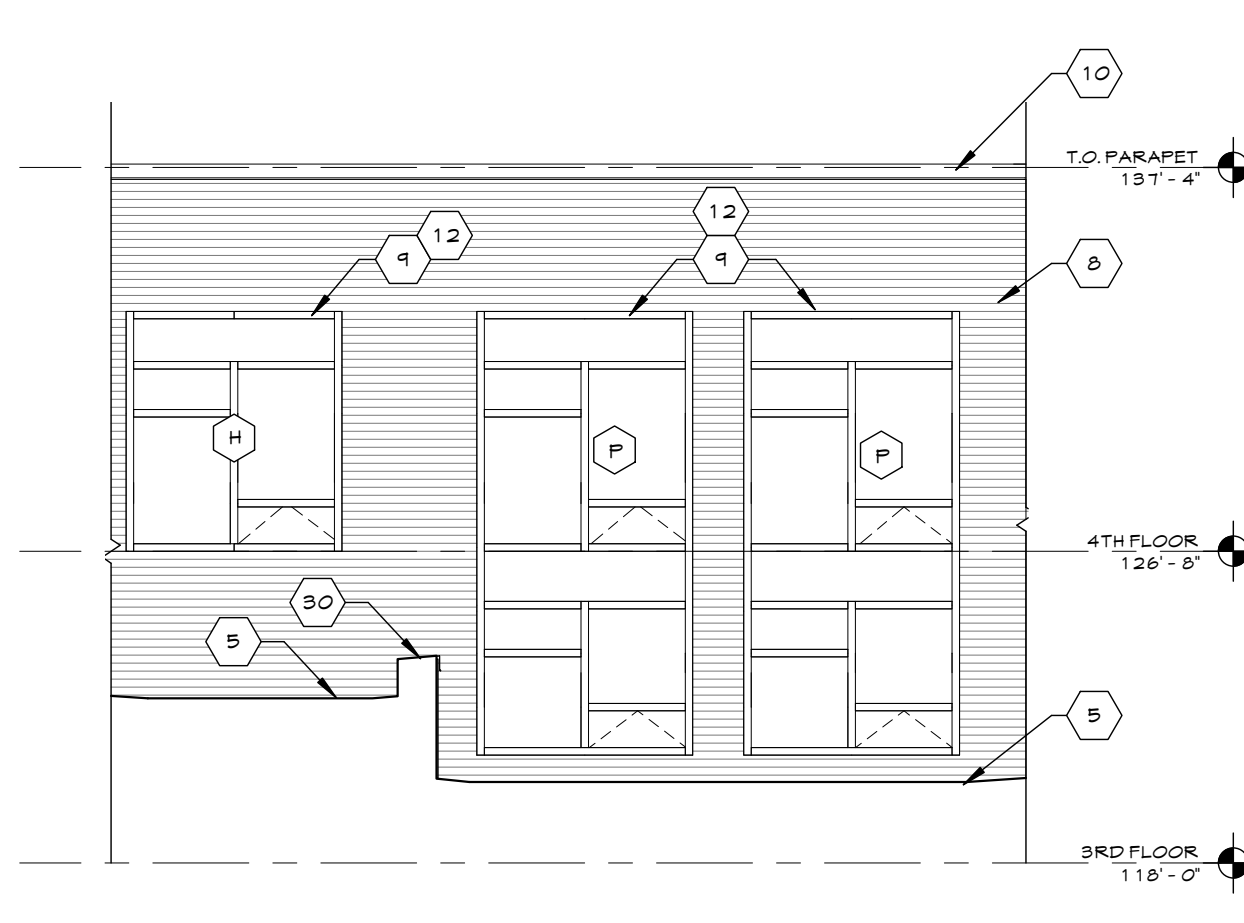
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3 Addendum 3	06/03/2016
6 Addendum A	07/15/2016



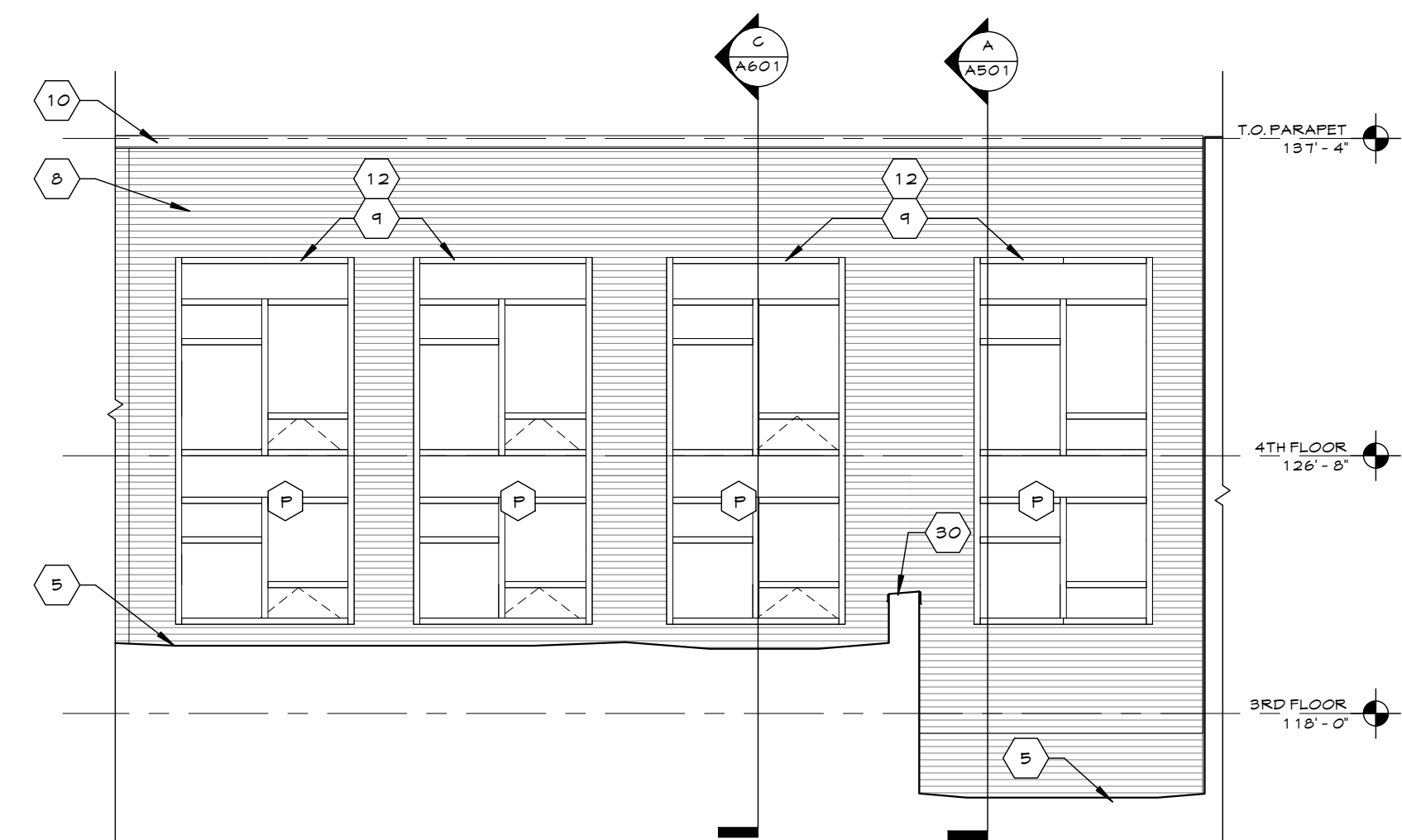
D
A204
west facade above at terrace elevation
3/16" = 1'-0"



C
A204
south facade at terrace elevation
3/16" = 1'-0"



B
A204
southwest facade above roof elevation
3/16" = 1'-0"



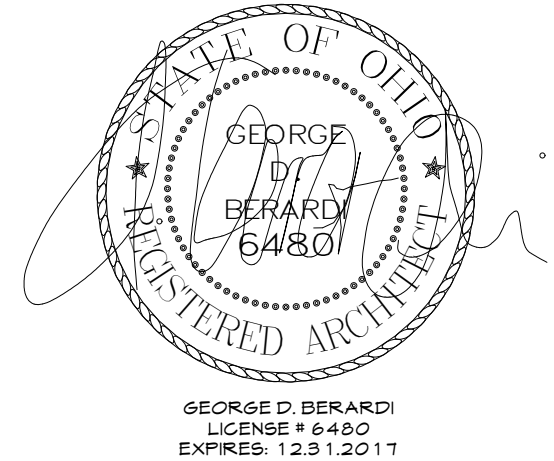
A
A204
west facade above roof elevation
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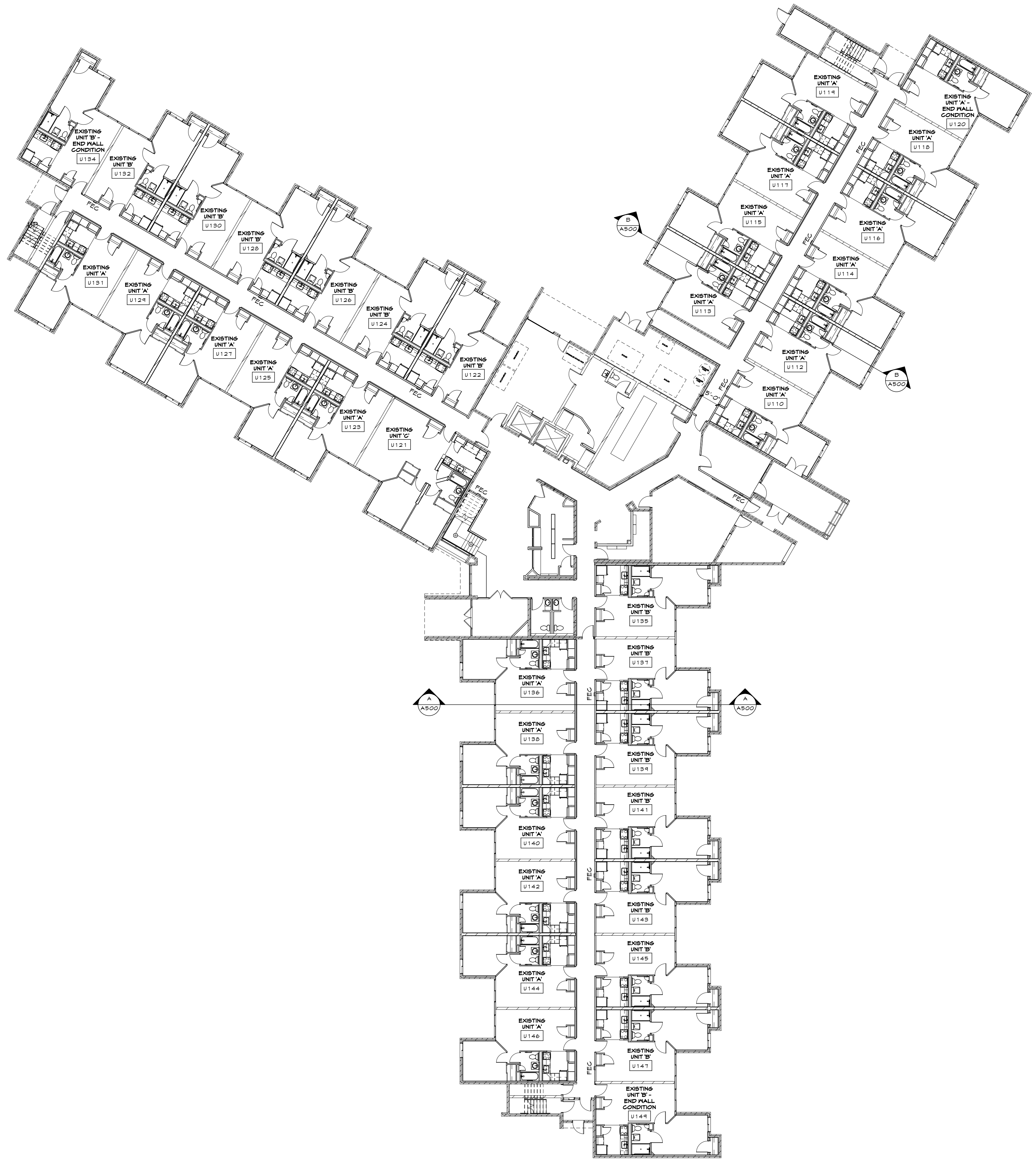
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8 Plumbing	08/05/2016

EXISTING 1ST FLOOR PLAN

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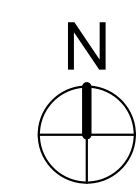


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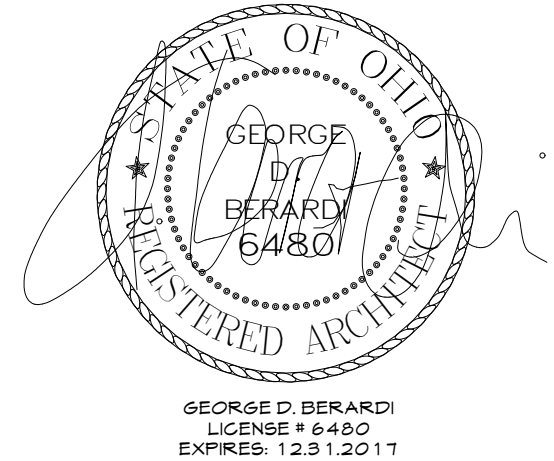
EXISTING 1ST FLOOR PLAN

1/16" = 1'-0"



EXISTING 1ST FLOOR GSF
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PERMIT SET

PROJECT DATE: 05/06/2016
PROJECT #: 15145

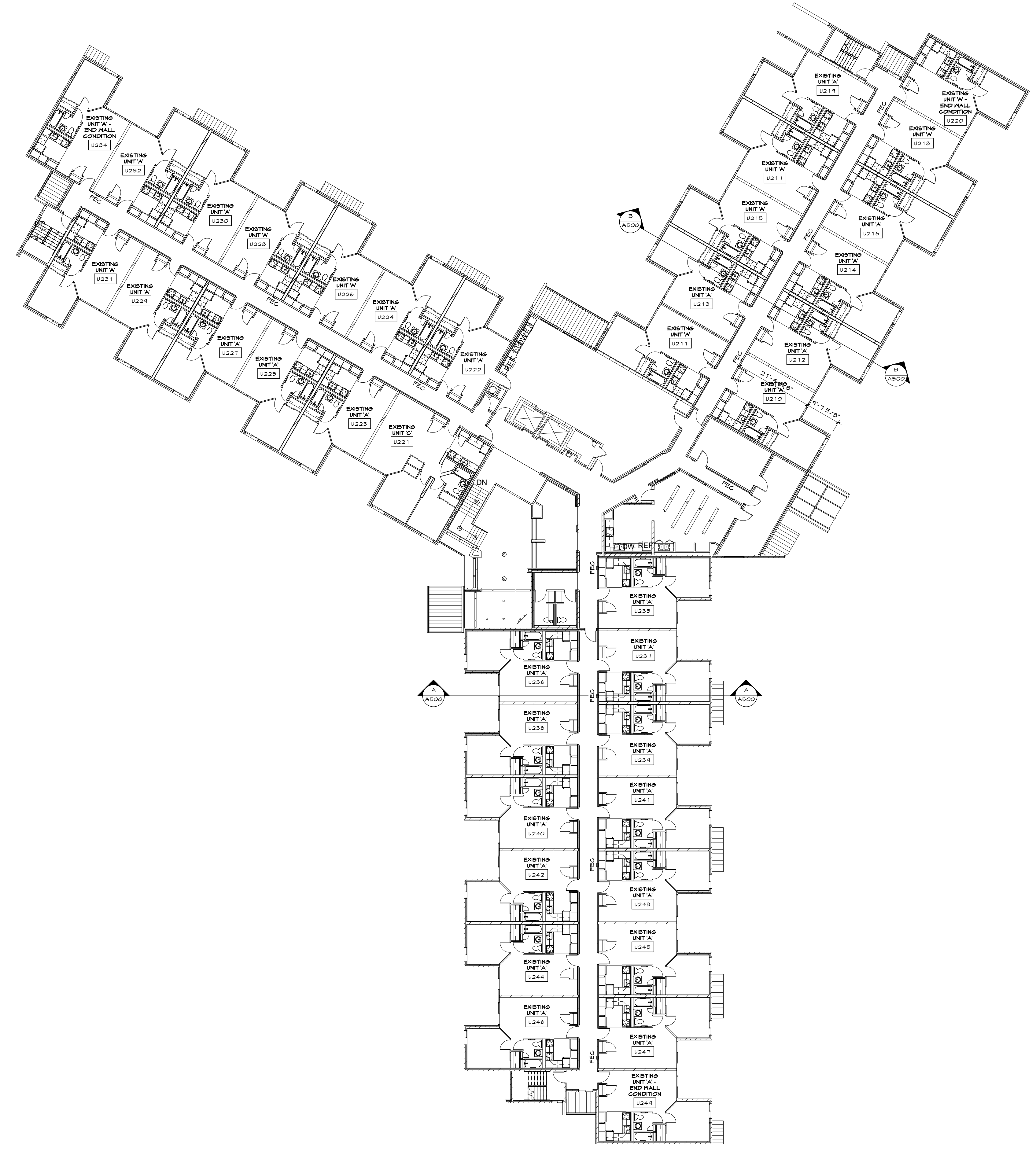
Description	Date
8 Plumbing	08/05/2016

EXISTING 2ND FLOOR PLAN

B102

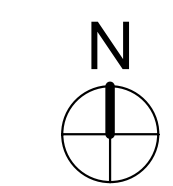


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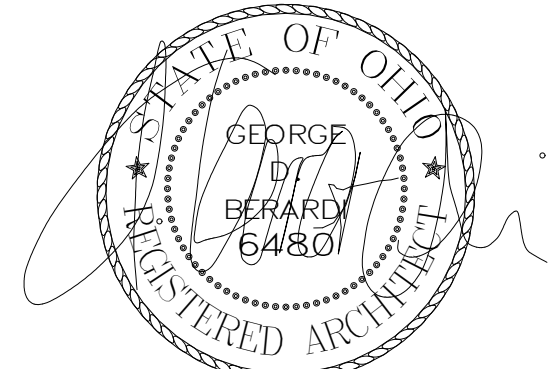
EXISTING 2ND FLOOR PLAN

1/16" = 1'-0"



EXISTING 2ND FLOOR GSF
21187 SF

C:\Users\tribruckelmeijer\Documents\15_115145 Styglers Village Apartments_nbruckelmeijer.rvt



GEORGE D. BERARDI
 LICENSE # 64801
 EXPIRES 12/31/2017

National Church Residences

STYGLER VILLAGE

GAHANNA, OHIO

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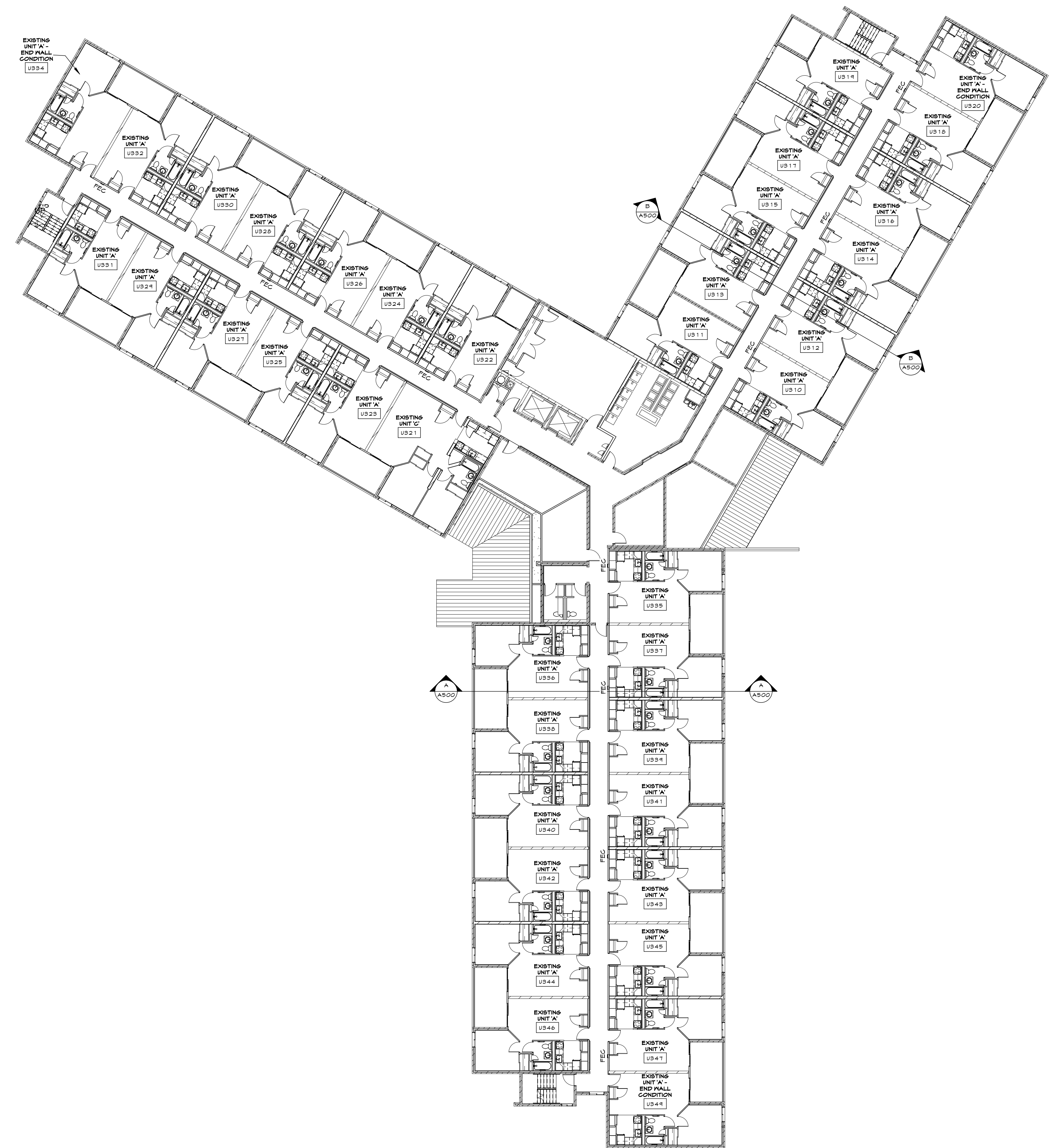
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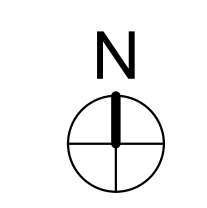
PROJECT DATE: 05/06/2016
 PROJECT #: 15145

Description	Date
8 Plumbing	08/05/2016



EXISTING 3RD FLOOR PLAN

1/16" = 1'-0"



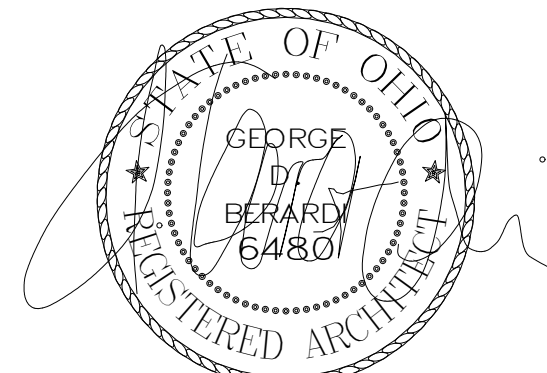
EXISTING 3RD FLOOR PLAN

B103



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EXISTING 3RD FLOOR GSF
 24605 SF



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STYGLER VILLAGE

GAHANNA, OHIO

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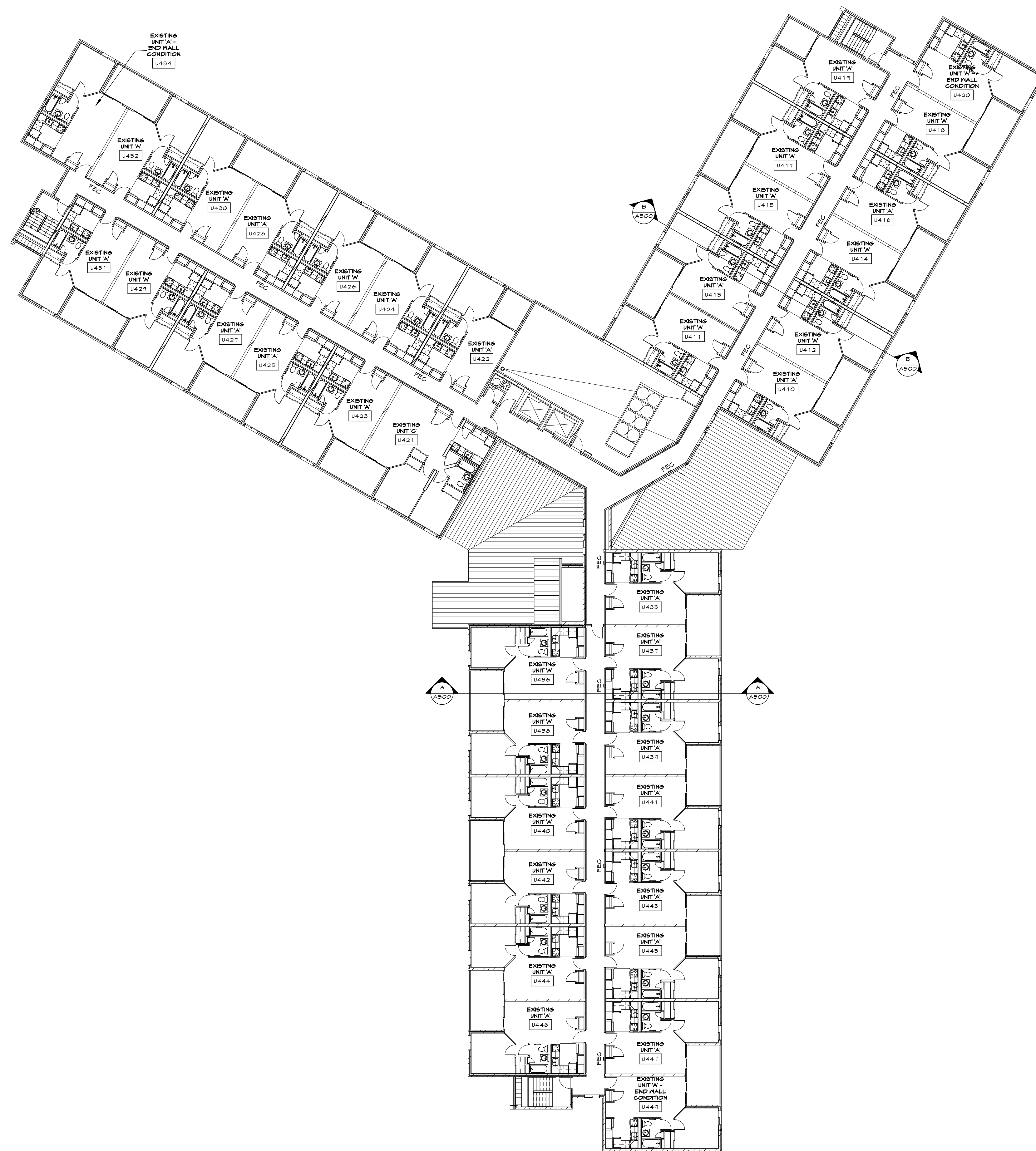
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PERMIT SET

PROJECT DATE: 05/06/2016
PROJECT #: 15145

Description	Date
8 Plumbing	08/05/2016



EXISTING 4TH FLOOR PLAN

1/16" = 1'-0"



EXISTING 4TH FLOOR PLAN

B104

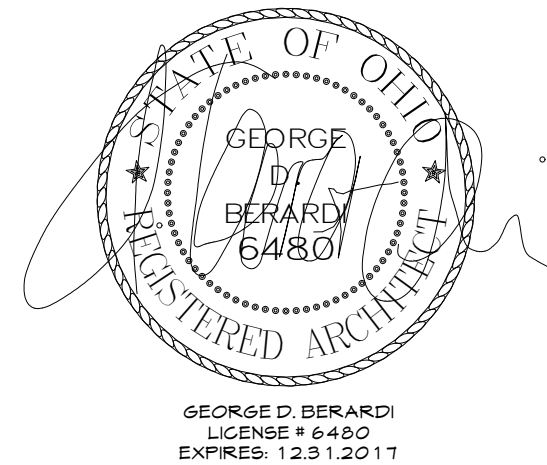


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EXISTING 4TH FLOOR GSF

27588 SF

11/16/2016 9:59:59 AM



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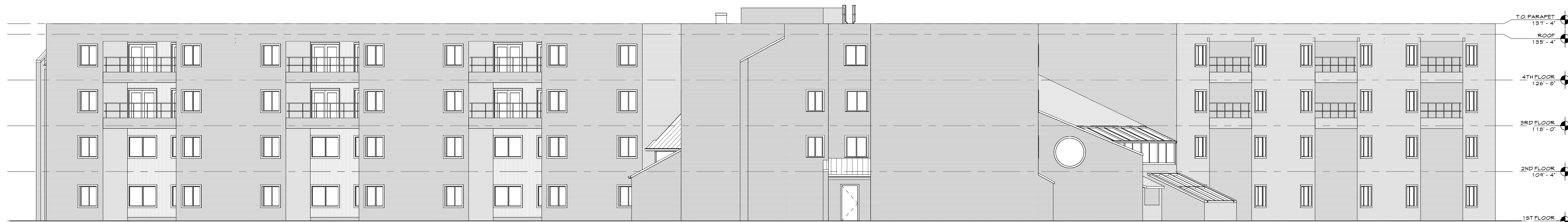
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EXISTING SOUTH ELEVATION 3/32" = 1'-0"



EXISTING EAST ELEVATION 3/32" = 1'-0"



EXISTING NORTHEAST ELEVATION 3/32" = 1'-0"

PERMIT SET

PROJECT DATE: 05/06/2016
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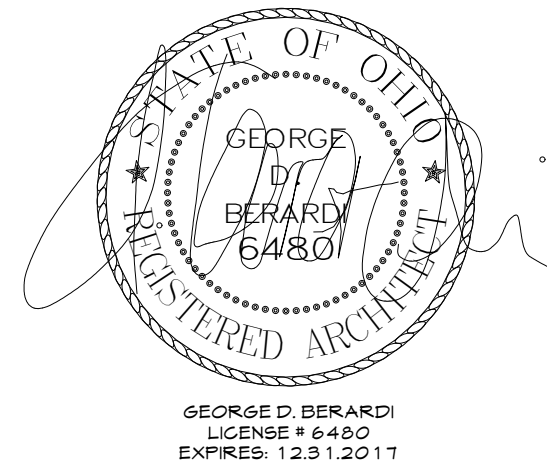
Description	Date

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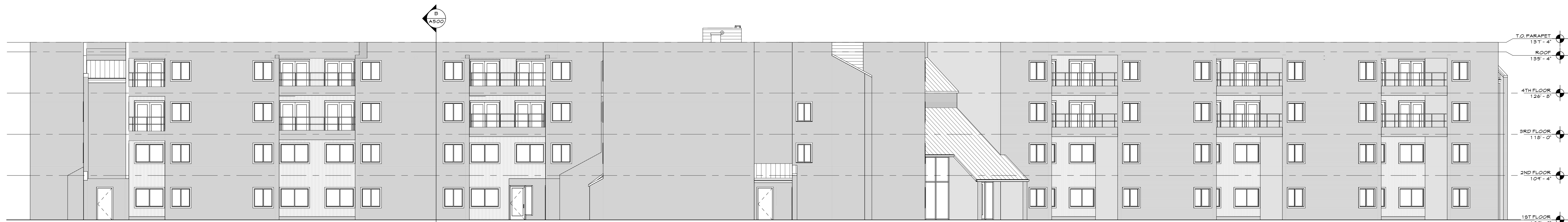
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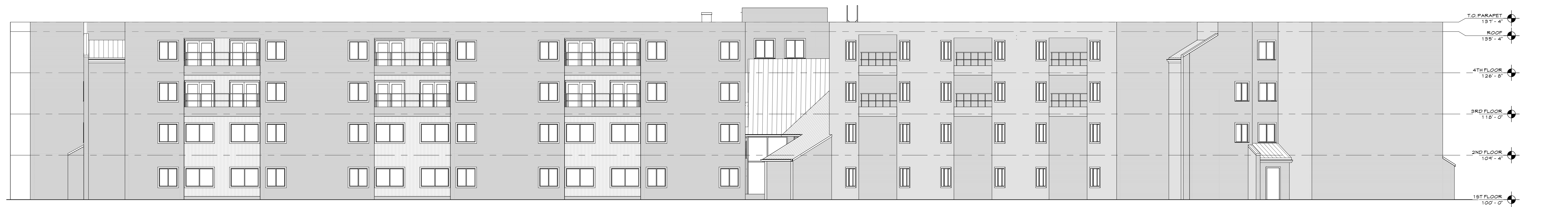
**EXISTING NORTHWEST
ELEVATION**

3/32" = 1'-0"



EXISTING WEST ELEVATION

3/32" = 1'-0"



**EXISTING SOUTHWEST
ELEVATION**

3/32" = 1'-0"

**PERMIT
SET**

PROJECT DATE: 05/06/2016
PROJECT #: 15145

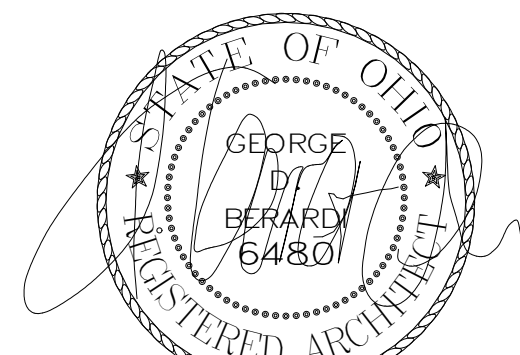
Description	Date

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 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS. THE COSTS OF ALL PERMITS AND INSPECTIONS SHALL BE TOTALLY BORNE BY THE CONTRACTOR.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND STRUCTURES BOTH VISIBLE AND OCCURRED BY OTHER ASSEMBLIES, PRIOR TO CONSTRUCTION AS FURTHER VERIFICATION TO SURVEY DATA PROVIDED. EXAMPLES WOULD BE PAVEMENT, FLATINGS, EARTHEN STRUCTURES, BUILDINGS, ETC. IN THE EVENT THAT VARIATIONS ARE FOUND, SAME INFORMATION SHALL BE FURNISHED IMMEDIATELY AND IN WRITTEN FORMAT TO THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH WORK AS ORIGINALLY SCHEDULED. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY AND ALL PREPARATION REQUIREMENTS WHICH MAY RESULT FROM DAMAGE DURING THE CONSTRUCTION OF THE WORK SCHEDULED BY THE DEVELOPMENT PLANS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ALL DAMAGED UNDERGROUND UTILITIES AFFECTED BY THE WORKS IN PROGRESS, OR ANY APPURTENANCES ENCOUNTERED.
 8. ALL NOTED SITE PLAN LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO IDENTIFY / COORDINATE EXACT LOCATIONS OF AREAS TO BE REPLACED, REPAIRED ETC.
 9. IN THE EVENT THAT CONDITIONS ARE CONSIDERED DEFECTIVE OR OTHERWISE DISSIMILAR TO ANTICIPATED CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY AND FOLLOW WITH A WRITTEN MEMORANDUM PRIOR TO PROCEEDING WITH ANY BALANCE OF SCHEDULED WORK IN ANY GIVEN AREA. THE ARCHITECT/ENGINEER SHALL PERFORM INVESTIGATION SUFFICIENT TO DETERMINE STRUCTURAL INTEGRITY OF THE GIVEN COMPONENT.
 10. ANY DEMOLITION THAT INVOLVES HAZARDOUS MATERIALS INCLUDING REFRIGERANT SHALL BE CONDUCTED IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION OVER THE REMOVAL, CONTAINMENT AND DISPOSAL OF HAZARDOUS MATERIALS.
 11. IT IS THE RESPONSIBILITY OF THE GC TO REPORT ANY QUESTIONABLE AREAS ON THE SITE THAT MAY NEED REPAIRED/REPLACED AND ARE NOT LOCATED IN THE DRAWINGS TO THE OWNER/ARCHITECT FOR REVIEW.
 12. SEE SHEET 100 DEMOLITION NOTES FOR ADDITIONAL INFORMATION PERTAINING TO THE DEMOLITION SCOPE OF WORK AND REQUIREMENTS.
 13. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT ALL AREAS UNDER CONSTRUCTION ARE TO BE MAINTAINED IN AN ORDERLY AND SAFE FASHION, INCLUDING BUT NOT LIMITED TO CLEAN UP, DANGEROUS MATERIALS REMOVED AND ALL TOOLS AND EQUIPMENT SECURED AT THE END OF EACH DAY OF WORK.
 14. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (OSHA, LATEST AMENDMENTS).
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING AND INSTALLING IN PLACE ALL SITE IMPROVEMENTS AS SHOWN TO THE SATISFACTION OF THE ARCHITECT AND THE ENGINEER OR CITY ENGINEER. CONSTRUCTION SHALL MEET INDUSTRY STANDARD QUALITY REQUIREMENTS.
 16. ALL EXCAVATIONS SHALL BE PROPERLY BACKFILLED AS REQUIRED WITH SPECIFIC ALLOWANCES MADE FOR SETTLEMENTS OF MATERIALS.
 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ANY AND ALL TRENCH SETTLEMENTS FOR A PERIOD OF ONE YEAR FOLLOWING FINAL ACCEPTANCE OF THE WORK BY THE OWNER OR RESPONSIBLE AUTHORITY OR REPRESENTATIVES.
 18. WHERE ANY PAVEMENT, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, BERM STONE SIDEWALKS, WATER LINES, GAS LINES, SANITARY OR STORM SEWERS, MANHOLES, HANDS, HANDED ASSEMBLIES, DRAINAGE, FIELD TILE, GROUND FIRING, MAIN BOXES, TRAFFIC SIGNS, GATE VALVES, FIRE HYDRANTS, OR OTHER EXISTING FACILITIES ARE REMOVED OR OTHERWISE DISTURBED DURING EXECUTION OF THE SCHEDULED IMPROVEMENTS, SUCH FACILITIES SHALL BE REPLACED IN A CONDITION AT LEAST AS GOOD AS FOUND PRIOR TO COMPLETING THE WORK. THE CONTRACTOR'S RESPONSIBILITY SHALL BE FOR THE REPAIR AND REPLACEMENT OF SUCH FACILITIES.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ANY AND ALL TRENCH SETTLEMENTS FOR A PERIOD OF ONE YEAR FOLLOWING FINAL ACCEPTANCE OF THE WORK BY THE OWNER OR RESPONSIBLE AUTHORITY OR REPRESENTATIVES.
 20. THE LATEST EDITION OF THE STATES DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS (OR DEPARTMENT OF HIGHWAY REQUIREMENTS) ARE APPLICABLE TO THESE IMPROVEMENTS, UNLESS OTHERWISE SPECIFICALLY INDICATED.
 21. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CONSTRUCTION STATUS ON A WEEKLY BASIS, OR AS OTHERWISE REQUESTED, IN ORDER TO ALLOW FOR PROPER INSPECTIONS OF THE WORK. ALL WORK IS SUBJECT TO INSPECTION AND ANY PORTION OF THE WORK MAY BE REJECTED AT ANY TIME IF FOUND IN CONFLICT WITH AND CONTRARY TO THE CONSTRUCTION DRAWINGS AND/OR CRITERIA SPECIFIED BY THE REVISIONS.
 22. SIDEWALK CROSS SLOPES SHALL NOT EXCEED 1:48. SIDEWALK SLOPE PARALLEL TO TRAVEL SHALL NOT EXCEED 1:20 EXCEPT AT DESIGNATED HIGH CLEARANCE AREAS.
 23. EXPANSION JOINTS ARE TO BE PLACED AT ALL WALK INTERSECTIONS AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES (CONTROL JOINTS) ARE TO BE EQUALLY SPACED BETWEEN EXPANSION JOINTS, CONTRACTION JOINTS, AND PERPENDICULAR SIDEWALKS AT 10' INTERVALS OR LESS WITH A CONTRACTION JOINT EVERY 20' OR LESS.
 24. SEE SHEET A002 FOR PROJECT WORK SCOPE OUTLINE DEFINING ADDITIONAL ITEMS TO BE CONTAINED WITHIN PROPOSAL.
 25. SEE SPECIFICATION SECTION 012300 - ADD ALTERNATES - FOR ADDITIONAL SITE RELATED WORK TO BE CONTAINED WITHIN PROPOSAL.
 26. SEE SPECIFICATION SECTION 013510 - ENTERPRISE GREEN COMMUNITIES FOR ADDITIONAL RELATED WORK TO BE CONTAINED WITHIN PROPOSAL.
 27. NOT ALL SITE ITEMS HAVE BEEN IDENTIFIED ON PLANS INCLUDING BUT NOT LIMITED TO EXISTING CATCH BASINS, LANDSCAPING, ETC.
 28. SEE LANDSCAPING PLAN 100 FOR EXISTING PLANT TO BE REMOVED, EXISTING PLANTING TO BE SAVED AND NEW PLANTING LOCATIONS AND SPECIES.
 29. PARKING: PROVIDE THREE (3) PARKING SPACES AT THE REAR PARKING LOT.
 30. ASPHALT DRIVE: MILL REMAINING EXISTING ASPHALT PARKING LOTS, OVERLAY WITH NEW 1 1/2" THICK ASPHALT WEARING COURSE, SEAL COAT AND REPAIR/REPLACE SPEED BUMPS AT EXISTING LOCATIONS.
 31. REMOVE AND REPLACE PAVEMENT SEALANT WHERE CONCRETE ADJUTS BUILDING.
 32. RESECURE EXISTING PARKING BLOCKS.
 33. REPAIR OR REMOVE AND REPLACE DAMAGED SECTIONS OF EXISTING CONCRETE CURBING. PROVIDE ALLOWANCE FOR 15% OF TOTAL EXISTING 18" DEEP CURBING. INSTALL NEW CONCRETE CURBING AS IDENTIFIED ON PLANS. REPAIR ALL EXISTING CONCRETE CURBING BEFORE NO PARKING.
 34. INSTALL NEW SPLIT FACE BLOCK REFUSE ENCLOSURE. ADD SIX (6) BOLLARDS AND STEEL FRAMED WOOD FACED GATES. ADD 20X25 T" REINFORCED CONCRETE PAD. SEE DETAILS ON SHEET C202.
 35. REMOVE AND REPLACE SELECT DAMAGED SECTIONS OF EXISTING CONCRETE FLATWORK, WALKS AND PATIOS AS SHOWN ON PLANS - ALLOWANCE FOR 10%. INSTALL EXPANSION JOINT MATERIAL AT NEW AND EXISTING ADJUTMENTS. FINISH IS TO MATCH EXISTING.
 36. REMOVE AND REPLACE EXISTING HG RAMP AT NORTHWEST END OF BUILDING. INSTALL TACTILE WARNING STRIP AT FLUSH TRANSITION TO DRIVE. HANDICAP RAMPS TO BE INSTALLED AT ALL REQUIRED NEW WALK LOCATIONS WITH DETECTABLE WARNING STRIPS AS REQUIRED BY CODE.
 37. CLEAN ALL EXISTING WALKS AND PATIO AREAS SCHEDULED TO REMAIN VIA POWER SPRAY METHOD.
 38. GRIND CONCRETE WALK "TRIPPERS" AT EXISTING WALKS AND PATIOS THAT ARE TO REMAIN. A TRIPPER IS DEFINED AS A VARIANCE IN HEIGHT OF MORE THAN 1/2" BETWEEN ADJOINING SLABS. PROVIDE ALLOWANCE FOR 2% OF TOTAL EXISTING CONCRETE WALK AND PATIO AREAS SHOWN ON PLANS.
 39. REMOVE EXISTING METAL MAIN ENTRY CANOPY AND CONSTRUCT NEW STEEL FRAMED ENTRY CANOPY AS SHOWN ON THE DRAWINGS. THIS SHALL INCLUDE REMOVAL AND REPLACEMENT OF EXISTING CONCRETE COMPLETELY AND INCLUSION OF A NEW ADA COMPLIANT RAILING.
 40. RECONFIGURE EXISTING HG PARKING AREA TO MEET ADAAS REQUIREMENTS AS SHOWN ON THE DRAWINGS - FIVE (5) SPACES INCLUDING ONE VAN ACCESSIBLE SPACE. INCLUDE NEW HG SIGNAGE AT EACH HG SPACE.
 41. REMOVE AND REPLACE SIDEWALK LEADING FROM HG PARKING TO BUILDING MAIN ENTRY AS SHOWN ON DRAWINGS.
 42. REMOVE EXISTING DRIVE ROUNDABOUT CONCRETE CURBING AND REPLACE WITH 18" DEEP MONOLITHIC CURB.
 43. EXISTING SLOPES SHALL BE MODIFIED TO LESSEN SLOPE INTO THE BUILDING. THIS WILL INCLUDE NEW ASPHALT TOPPING ON THE DRIVE AREA FROM THE SOUTHWEST EDGE OF THE CIRCULAR ISLAND TO THE ENTRANCE SIDEWALK.
 44. GET CLEAN ALL UNDERGROUND ROOF DOWNSPOUT LEADERS.
 45. INSPECT CATCH BASINS, YARD DRAINS AND STORM PIPING VIA VIDEO SCOPE AND CLEAN.
 46. RAISE TOP / REBUILD EXISTING CATCH BASIN AT ENTRY CIRCLE TURNAROUND - SEE CIVIL.
 47. ENHANCE LANDSCAPING AT FRONT OF PROJECT WITH NEW PLANTING AND BUILDING. SEE PROPOSED LANDSCAPE PLAN L100.
 48. REMOVE AND REPLACE DEAD OR DYING VEGETATION. SEE PROPOSED LANDSCAPE PLAN L100.
 49. ADD NEW DECORATIVE STONE AT EACH ROCK GARDEN AREA TO MATCH EXISTING AT UNIT BALCONY BAYS.
 50. TRIM UP EXISTING TREES AND REMOVE ALL DEAD BRANCHES.
 51. PROVIDE NEW SOIL AT BUILDING FOUNDATION PERIMETER SLOPED AWAY FROM BUILDING AT 5% GRADE.
 52. REMOVE AND REPLACE ALL PARKING AREA POLE SITE LIGHTING AT FRONT PARKING AREA.
 53. REMOVE TWO 20" TALL POLE SITE LIGHTING AT REAR YARD AREA AND REPLACE WITH 12" POST MOUNTED DECORATIVE FIXTURES. REMOVE AND REPLACE EXISTING GLOBES AT REAR YARD AREA 8" TALL POLE LIGHTS WITH NEW LANTERN STYLE FIXTURE. PAINT EXISTING POLES - SEE ELECTRICAL.
 54. REFINISH EXISTING SHUFFLE BOARD COURTS; CLEAN, REPAIR / FILL AS REQUIRED, PAINT AND SEAL.
 55. CONSTRUCT TWO (2) NEW HG ACCESSIBLE RAISED VERSALOCK PLANTERS AT LOCATION SHOWN ON DRAWINGS. SEE DETAIL ON SHEET C202.
 56. REMOVE REAR YARD WOOD FENCING AND REPLACE WITH NEW 5' TALL PVC FENCING. REFURBISH AND REINSTALL FOUR EXISTING IRON GATES.
 57. REMOVE ALL WOOD BENCHES AND REPLACE WITH COMPOSITE. NO MAINTENANCE TYPE BENCHES AS SPECIFIED.
 58. CONSTRUCT NEW WOOD PERGOLA WITH AT REAR OF BUILDING. CONSTRUCT NEW STEEL FRAMED WALK CANOPY AT WALK LEADING TO NEW PERGOLA AT REAR OF BUILDING.

PERMIT SET

PROJECT DATE: 05/06/2016
PROJECT #: 15145

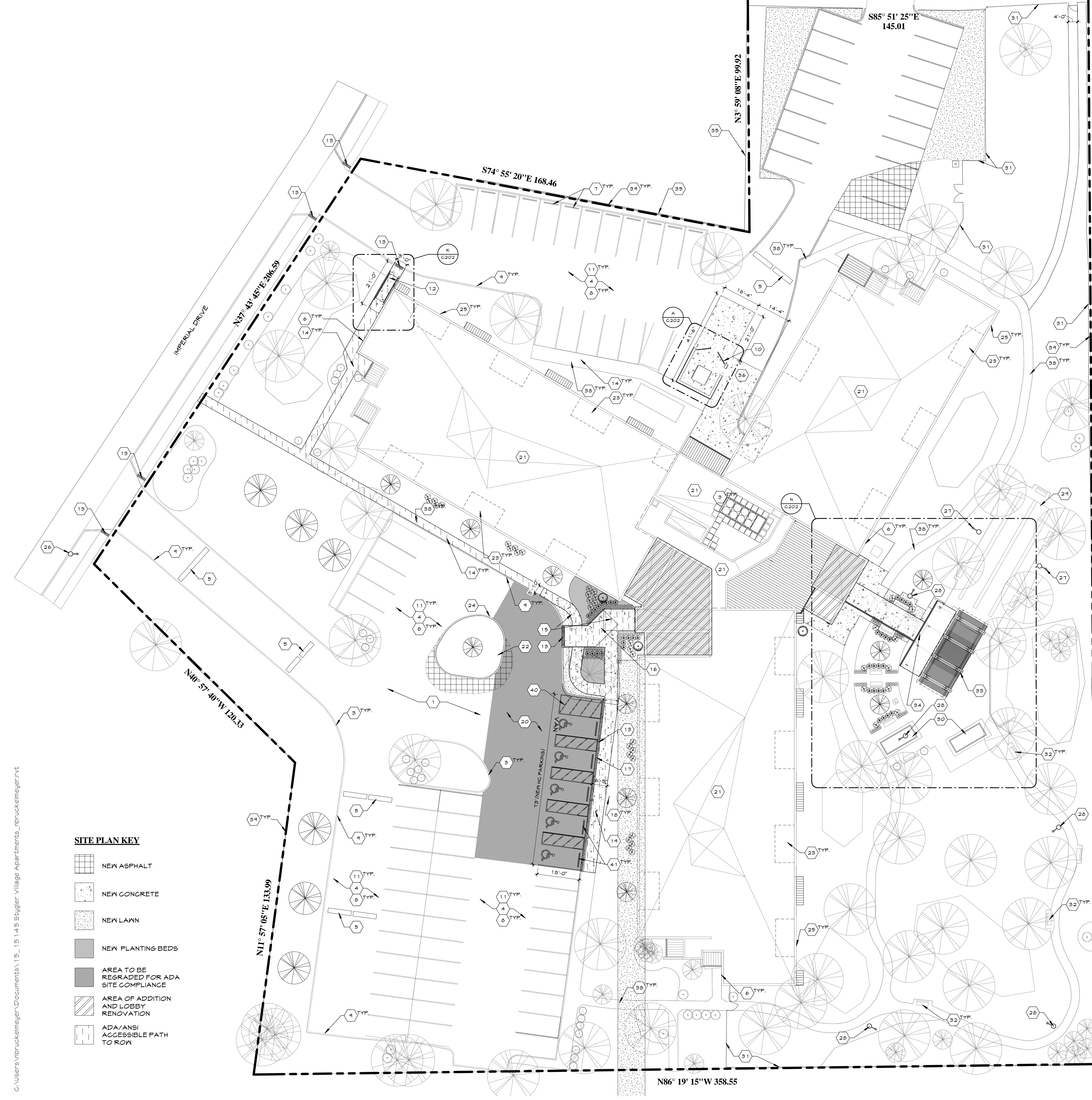
Description	Date
1 Addendum 1	05/20/2016
3 Addendum 3	06/03/2016
6 Addendum A	07/15/2016
8 Plumbing	08/05/2016
9 Site Changes & ADA	09.15.2016

CODED NOTES - SITE

1. REWORK EXISTING DROP OFF AREA TO 24' CLEAR RADII.
2. NEW 6" CONCRETE CURB - SEE DETAIL SHEET C201.
3. MILL REMAINING EXISTING ASPHALT PARKING LOTS, OVERLAY WITH 1 1/2" THICK ASPHALT WEARING COURSE, SEAL COAT AND RE-STRIFE.
4. INSTALL SPEED BUMPS AT EXISTING LOCATIONS. FIELD VERIFY EXACT LOCATIONS.
5. REMOVE AND REPLACE PAVEMENT SEALANT WHERE CONCRETE ADJUTS BUILDING.
6. RESECURE EXISTING PARKING BLOCKS.
7. REMOVE AND REPLACE DAMAGED SECTIONS OF EXISTING CONCRETE CURBING. PROVIDE ALLOWANCE FOR 15% OF TOTAL EXISTING 18" DEEP CURBING.
8. PAINT ALL EXISTING CONCRETE CURBING YELLOW FOR NO PARKING.
9. NEW SPLIT FACE CMU REFUSE ENCLOSURE - SEE C202 FOR DETAILS.
10. REMOVE AND REPLACE SELECT DAMAGED SECTIONS OF EXISTING CONCRETE FLATWORK, WALK, AND PATIOS - ALLOWANCE FOR 10%. INSTALL EXPANSION JOINT MATERIAL AT NEW AND EXISTING ADJUTMENTS. FINISH IS TO MATCH EXISTING.
11. REMOVE AND REPLACE EXISTING HG RAMP AT NORTHWEST END OF BUILDING/DRIVE, INCLUDE A 5' LANDING. INSTALL TACTILE WARNING STRIP AT FLUSH TRANSITION TO DRIVE.
12. TACTILE WARNING STRIP - SEE C201 FOR DETAILS.
13. GRIND CONCRETE WALK "TRIPPERS" AT EXISTING WALKS AND PATIOS THAT ARE TO REMAIN. A TRIPPER IS DEFINED AS A VARIANCE IN HEIGHT OF MORE THAN 1/2" BETWEEN ADJOINING SLABS. PROVIDE ALLOWANCE FOR 2% OF TOTAL EXISTING CONCRETE WALK AND PATIO AREAS SHOWN ON PLANS - SEE C201 FOR DETAILS.
14. PROVIDE 4" SLAB ON GRADE ENTRY SIDEWALK - SEE DETAIL SHEET C201.
15. REDEVELOP THE MAIN ENTRANCE. REMOVE EXISTING METAL ENTRY CANOPY AND CONSTRUCT NEW STEEL FRAMED WALK CANOPY AT MAIN ENTRY. REMOVE EXISTING CONCRETE COMPLETELY AND REPLACE WITH NEW ADA COMPLIANT RAILING. SEE ENLARGED PLANS SHEET A305.
16. RESECURE EXISTING HG PARKING AREA TO MEET ADAAS REQUIREMENTS - 5 SPACES INCLUDING ONE VAN ACCESSIBLE SPACE. PROVIDE DETECTABLE WARNING STRIPS AT ALL HG PARKING - SEE SHEET C201 FOR DETAILS.
17. NEW HG SIGNAGE AT EACH HG SPACE. SEE DETAIL SHEET C201.
18. REMOVE AND REPLACE SIDEWALK LEADING FROM HG PARKING TO BUILDING MAIN ENTRY. WALK TO COMPLY WITH ANS/ADA SLOPE REQUIREMENTS.
19. EXISTING SLOPES SHALL BE MODIFIED TO LESSEN SLOPE OF SIDEWALK INTO THE BUILDING. THIS WILL INCLUDE NEW ASPHALT TOPPING ON THE DRIVE AREA FROM THE SOUTHWEST EDGE OF THE CIRCULAR ISLAND TO THE ENTRANCE SIDEWALK.
20. GET CLEAN ALL UNDERGROUND ROOF DOWNSPOUT LEADERS.
21. RAISE TOP / REBUILD EXISTING CATCH BASIN AT ENTRY CIRCLE TURNAROUND - SEE CIVIL.
22. ADD NEW DECORATIVE STONE AT EACH ROCK GARDEN AREA TO MATCH EXISTING AT UNIT BALCONY BAYS.
23. REMOVE EXISTING DRIVE ROUNDABOUT CONCRETE CURBING AND REPLACE WITH 18" DEEP MONOLITHIC CURB.
24. ADD SOIL AT PERIMETER OF BUILDING TO CREATE 5% SLOPE AWAY FROM BUILDING.
25. REMOVE AND REPLACE ALL PARKING AREA POLE SITE LIGHTING AT FRONT PARKING AREA - SEE ELECTRICAL.
26. REMOVE TWO 20" TALL POLE SITE LIGHTING AT REAR YARD AREA AND REPLACE WITH 12" POST MOUNTED DECORATIVE FIXTURES - SEE ELECTRICAL.
27. REMOVE EXISTING GLOBES AT REAR YARD AREA 8" TALL POLE LIGHTS AND REPLACE WITH NEW LANTERN STYLE FIXTURE. PAINT EXISTING POLES - SEE ELECTRICAL.
28. REFINISH EXISTING SHUFFLE BOARD COURTS; CLEAN, REPAIR/FILL AS REQUIRED, PAINT AND SEAL.
29. REMOVE REAR YARD WOOD FENCING AND REPLACE WITH NEW 5' TALL PVC FENCING. REFURBISH AND REINSTALL FOUR EXISTING IRON GATES - SEE C202.
30. REMOVE ALL WOODEN BENCHES AND REPLACE WITH COMPOSITE. NO MAINTENANCE TYPE BENCHES AS SPECIFIED.
31. NEW STEEL FRAMED WALK CANOPY.
32. EXISTING CHAINLINK FENCE TO REMAIN.
33. REMOVE EXISTING CONCRETE AT STAGING AREA AND REPLACE WITH HEAVY DUTY CONCRETE.
34. CLEAN ALL EXISTING WALKS AND PATIO AREAS SCHEDULED TO REMAIN VIA POWER SPRAY METHOD.
35. PROPERTY LINE. SEE ALTA SURVEY FOR ADDITIONAL INFORMATION.
36. PASSENGER LOADING AND UNLOADING ZONE.
41. NEW PARKING BLOCKS.

PROPOSED SITE

1" = 20'-0"



SITE PLAN KEY

- NEW ASPHALT
- NEW CONCRETE
- NEW LAWN
- NEW PLANTING BEDS
- AREA TO BE REGRADED FOR ADA SITE COMPLIANCE
- AREA OF ADDITION AND LOBBY RENOVATION
- ADA/ANSI ACCESSIBLE PATH TO ROOM

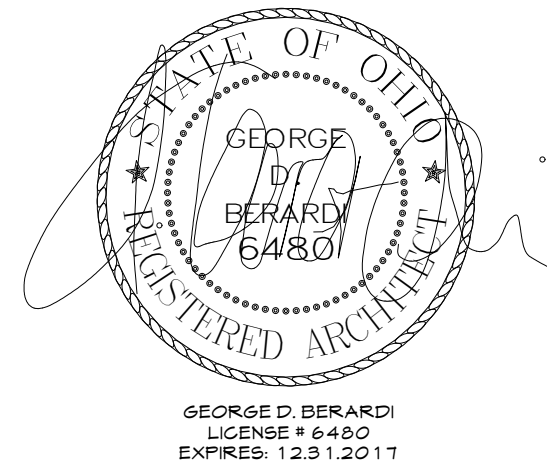
ARCHITECTURAL SITE PLAN

C101



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National Church Residences

STYGLER VILLAGE

GAHANNA, OHIO

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 2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS SEVERALLY AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
 3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A07" SHEETS.
 4. THE CLIENT KNOWLEDGES AND CONSENTS THAT THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANT (ARCHITECT/PROFESSIONAL ENGINEER) SHALL NOT BE REUSED OR MADE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT/PROFESSIONAL ENGINEER). THE CLIENT AGREES TO HOLD ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT/PROFESSIONAL ENGINEER) FROM ANY UNAUTHORIZED REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
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PERMIT SET

PROJECT DATE: 05/06/2016
PROJECT #: 15145

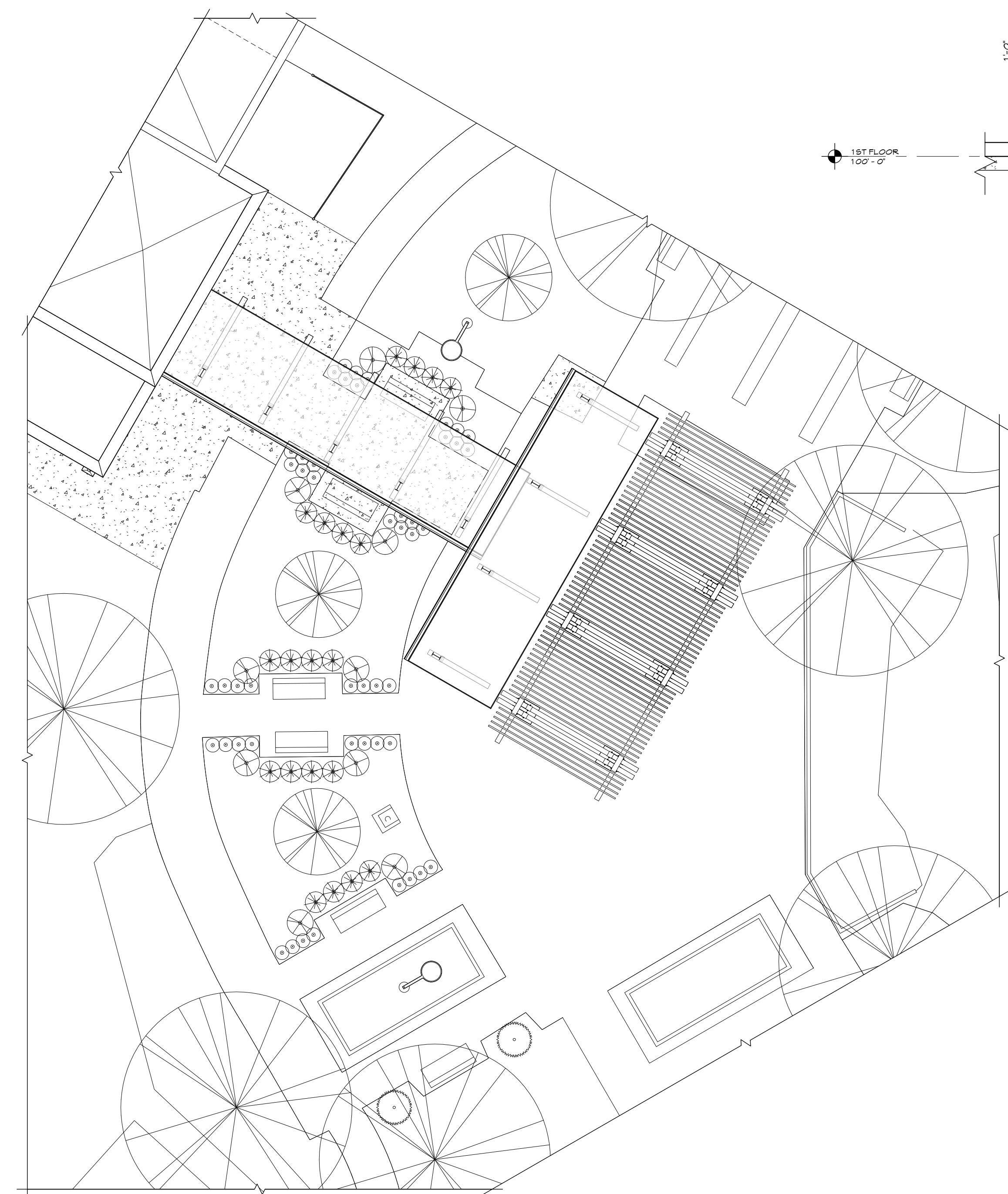
Description	Date
1 Addendum 1	05/20/2016
3 Addendum 3	06/03/2016
6 Addendum A	07/15/2016
9 Site Changes & ADA	09.15.2016
11 PERMIT	09.27.2016

ARCHITECTURAL SITE DETAILS

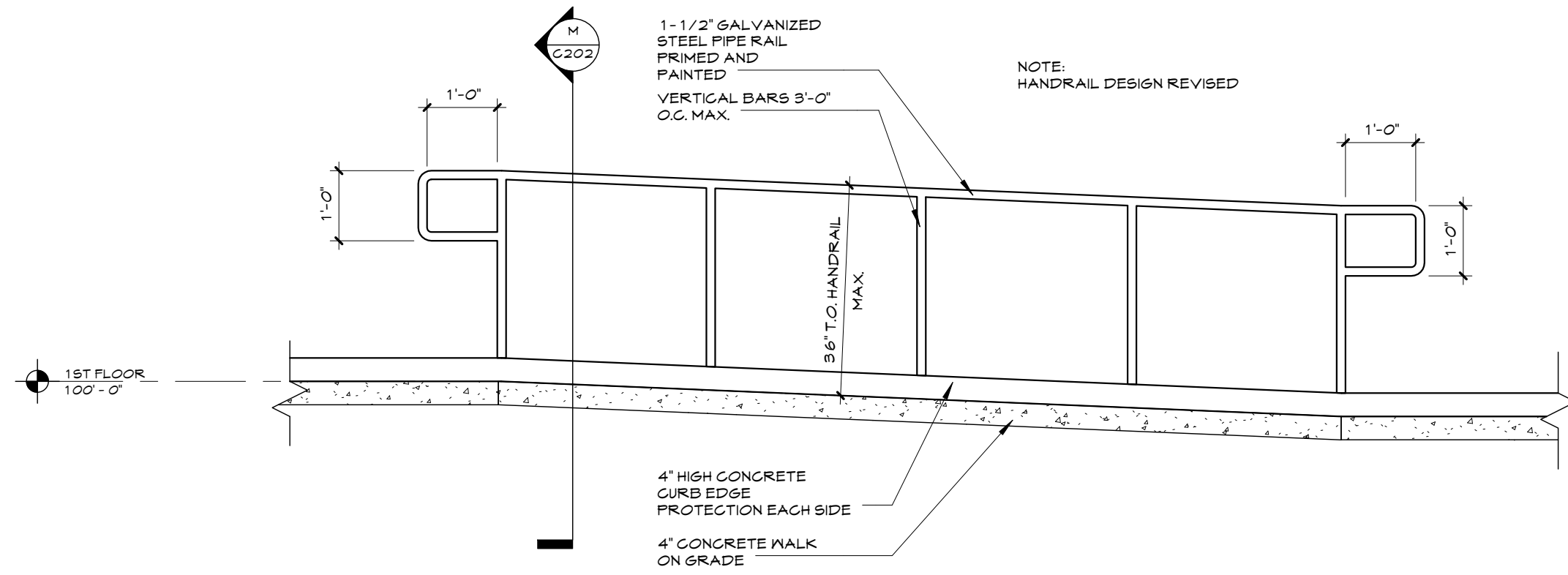
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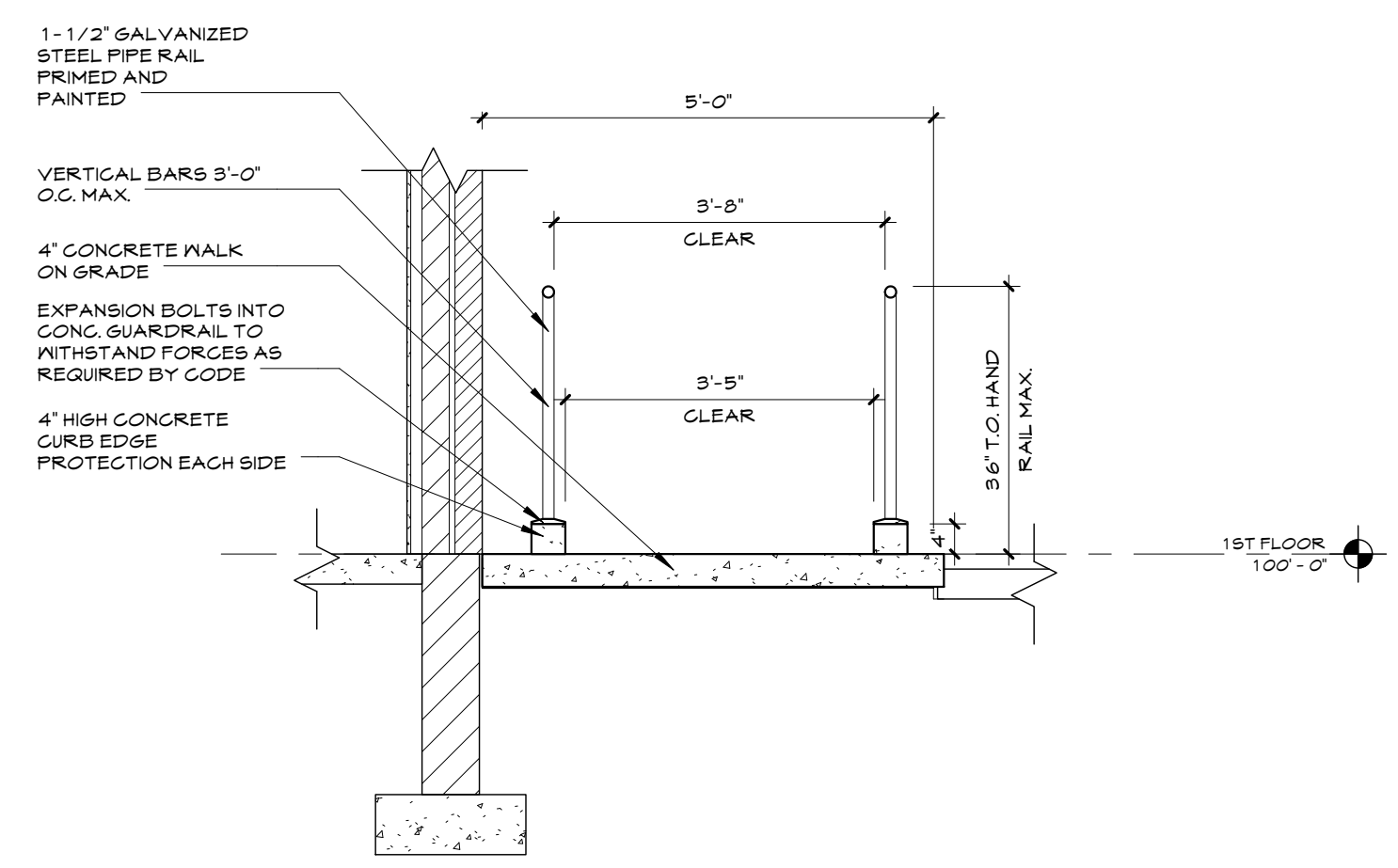
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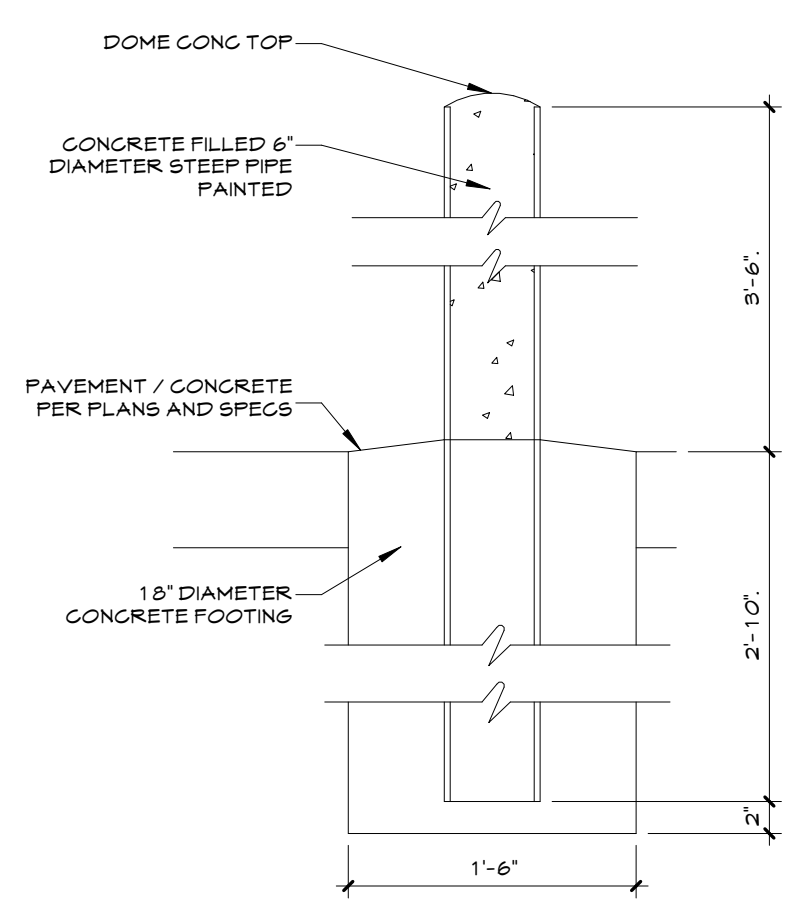
N rear yard enlarged plan
C202 1/8" = 1'-0"



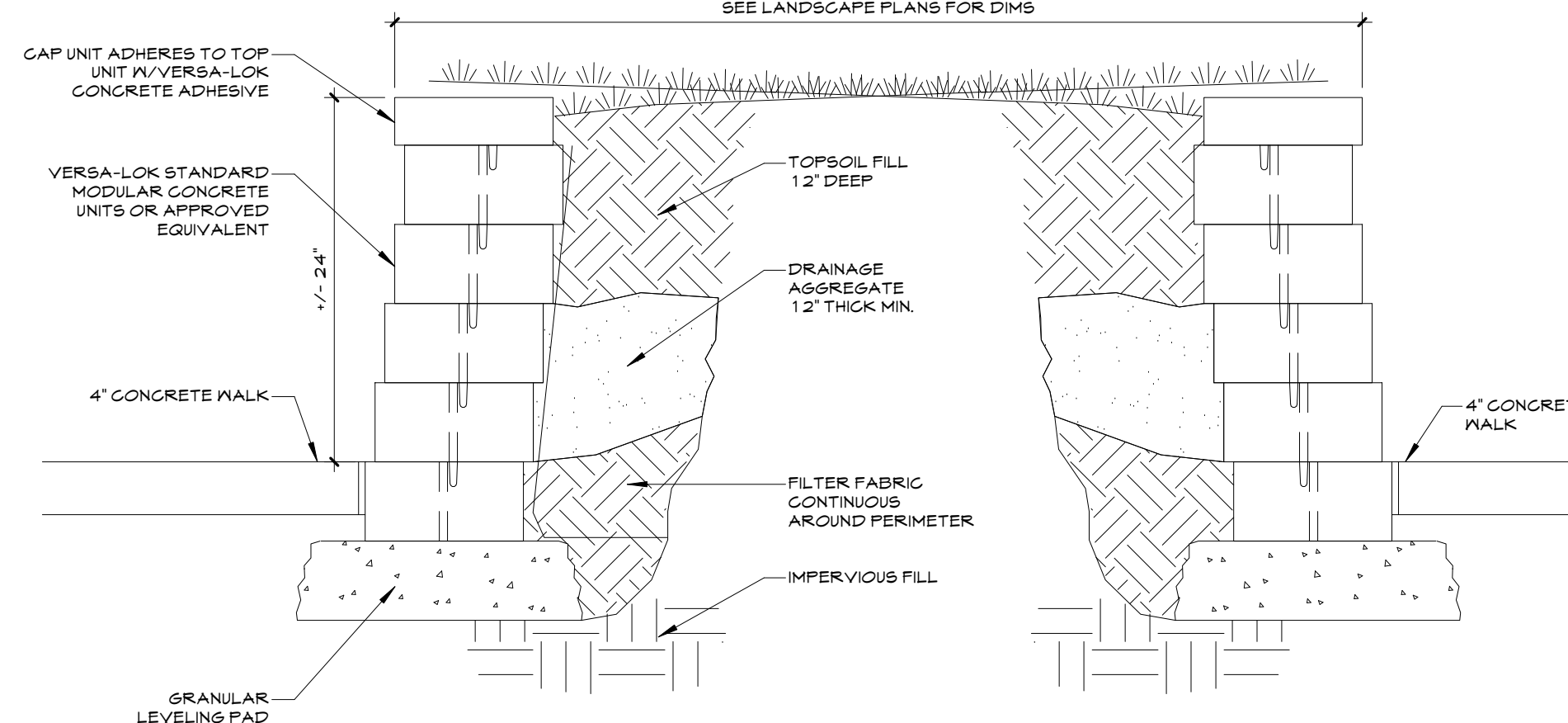
L section - accessible ramp
C202 1/2" = 1'-0"



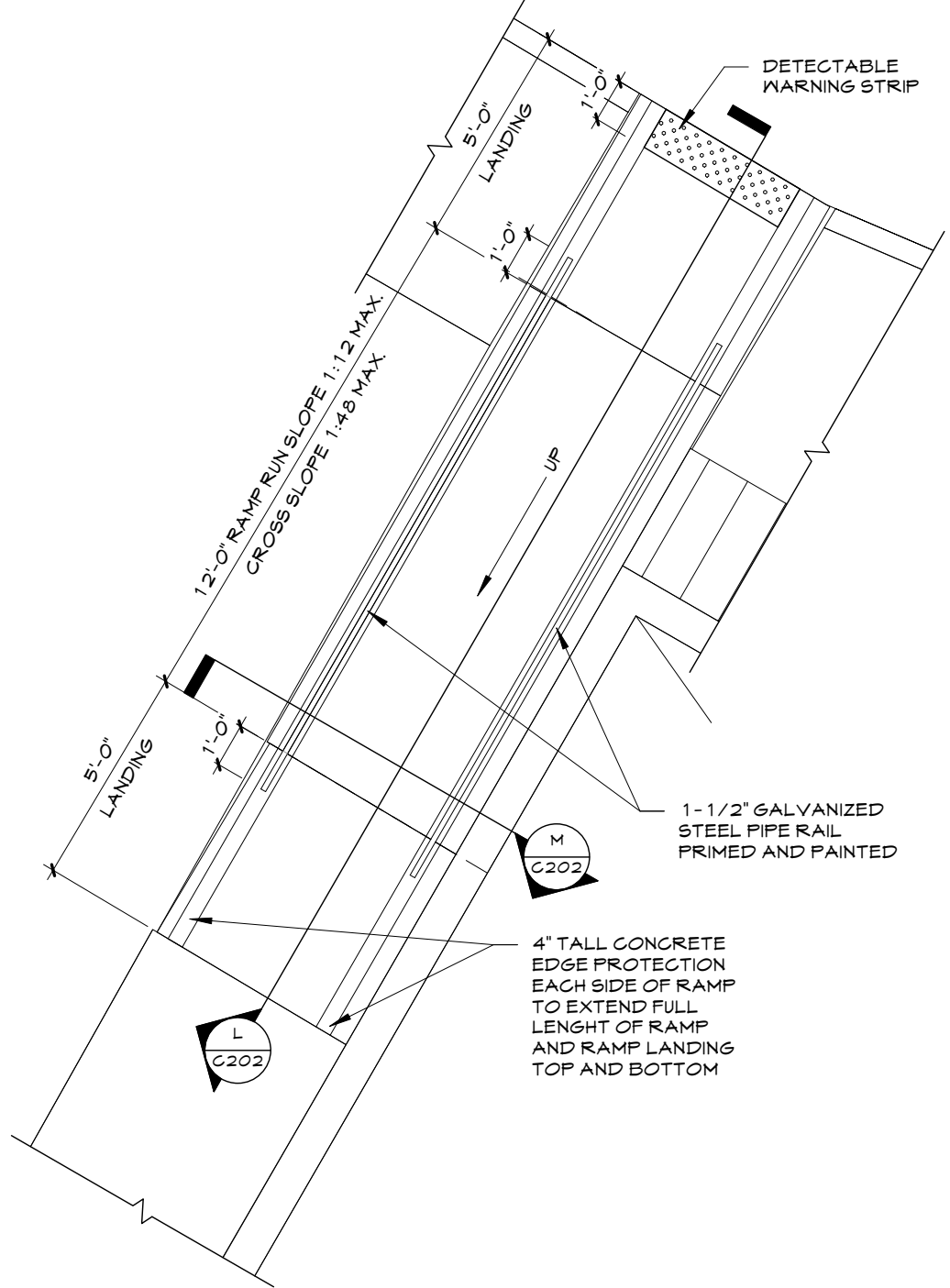
M section - accessible ramp
C202 1/2" = 1'-0"



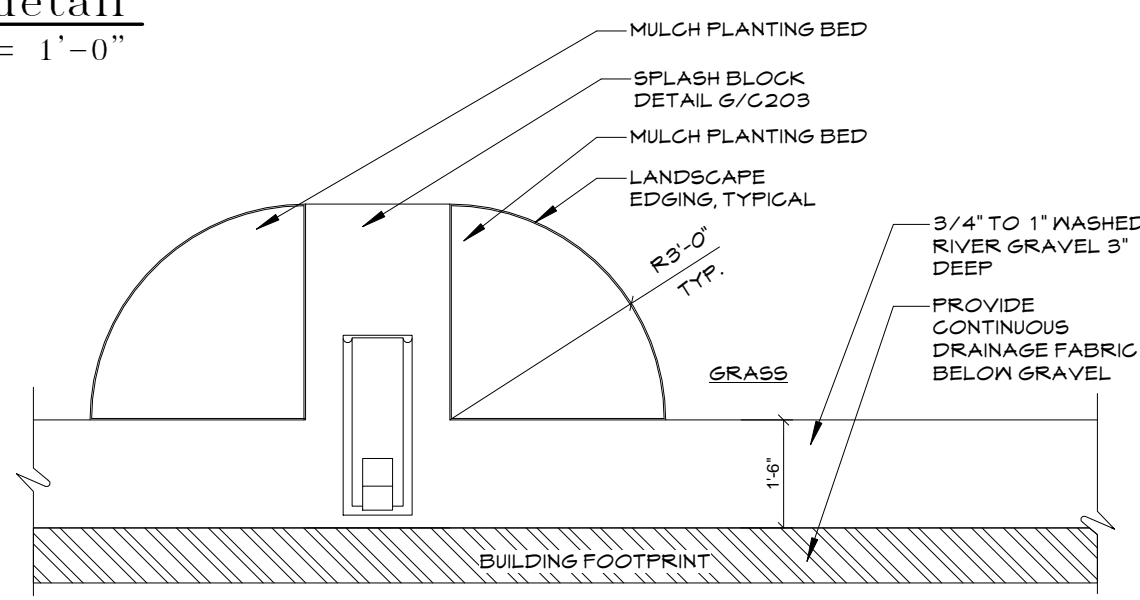
G fixed pipe bollard
C202 1" = 1'-0"



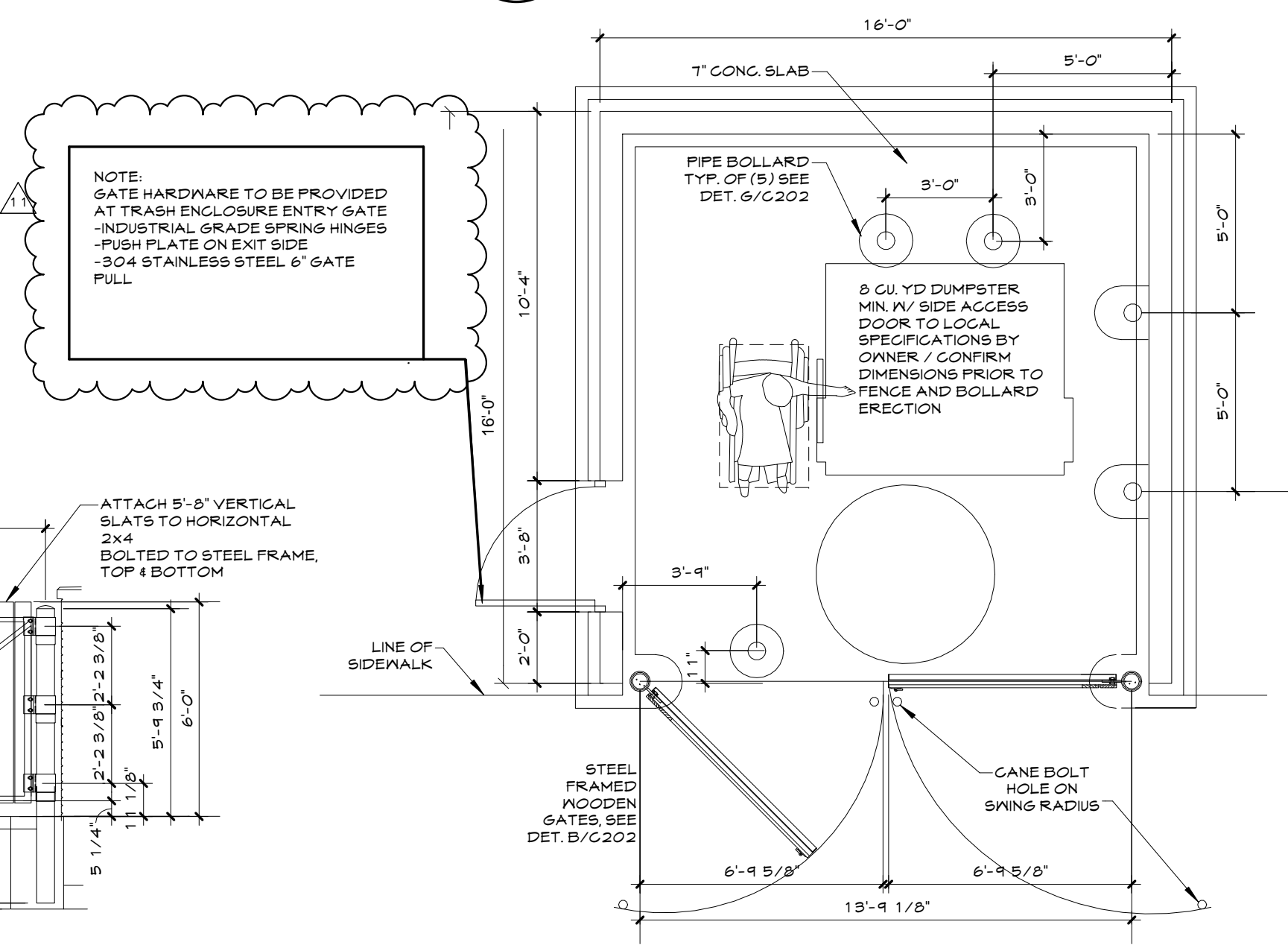
J planter detail
C202 1" = 1'-0"



K accessible ramp
C202 1/4" = 1'-0"



H gravel perimeter detail
C202 3/8" = 1'-0"

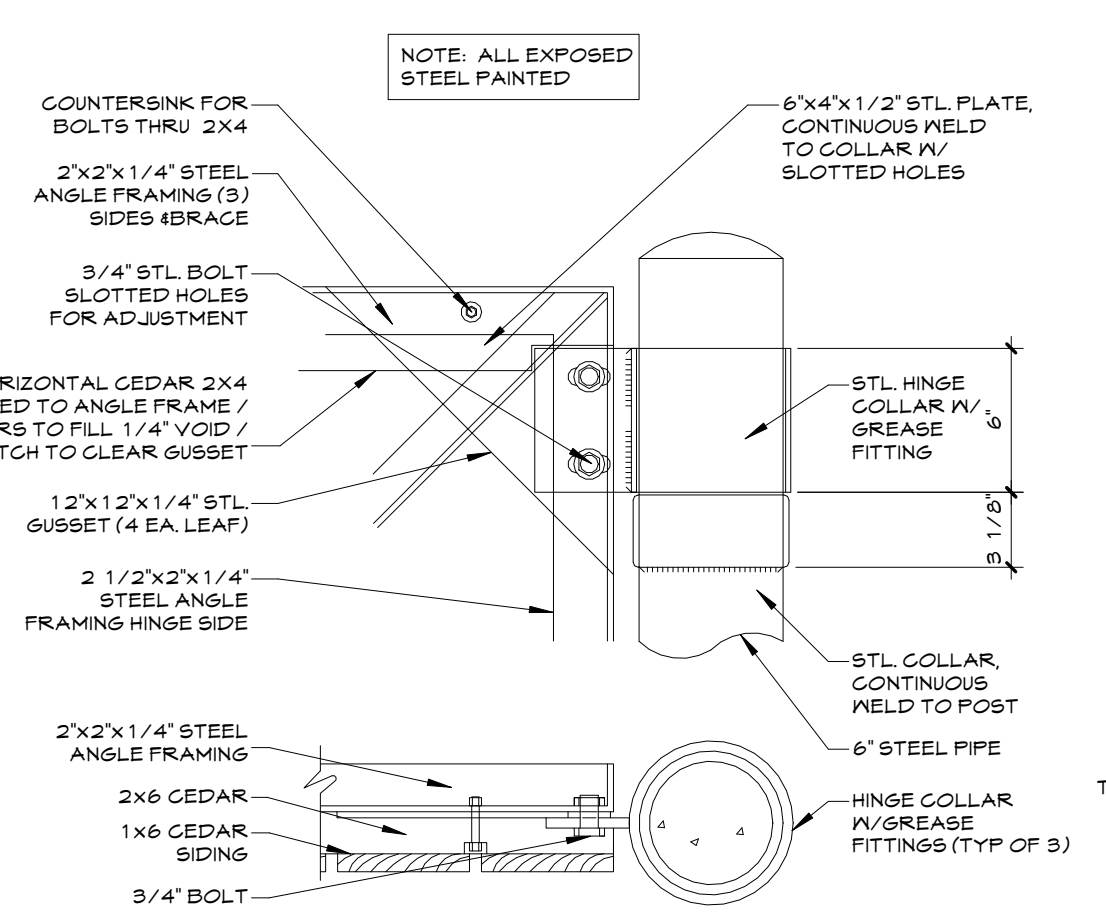


A dumpster enclosure plan
C202 1/4" = 1'-0"

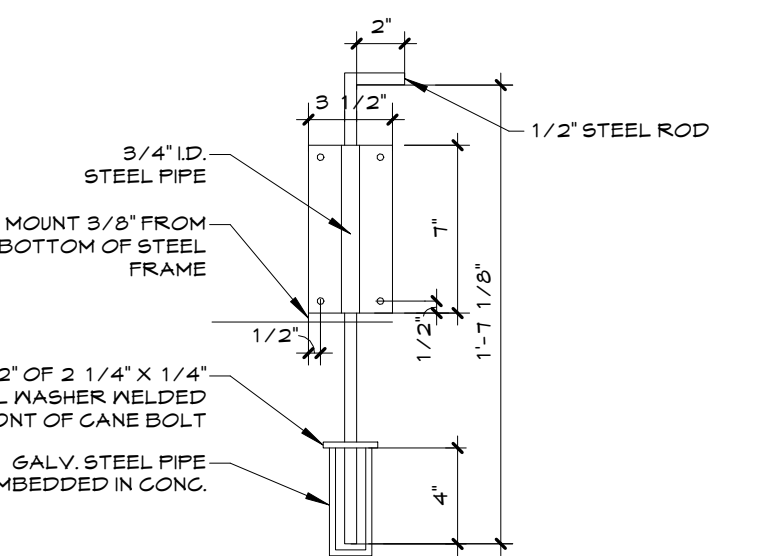


6ALVESTON W/ GERTASRAIN TEXTURE IN SIERRA BLEND W/ MIDRAIL COLOR TO BE SELECTED BY ARCHITECT
6C TO INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS

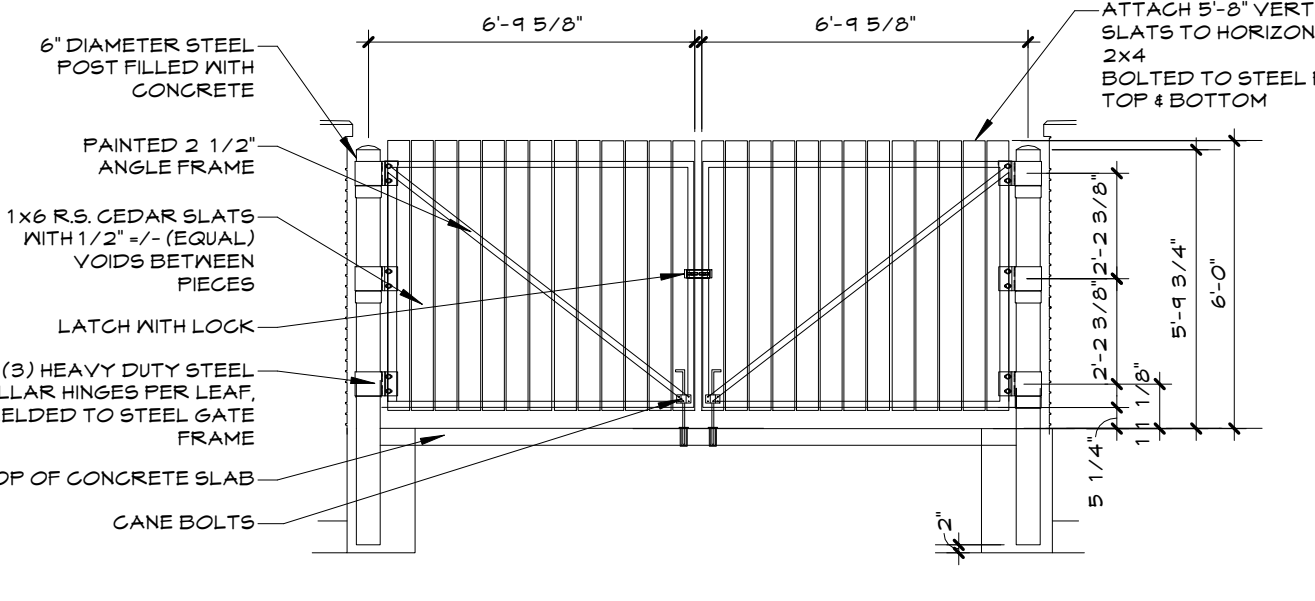
E 6' vinyl fence
C202 1/4" = 1'-0"



D trash station gate
C202 1 1/2" = 1'-0"



C trash station cane bolt
C202 1 1/2" = 1'-0"

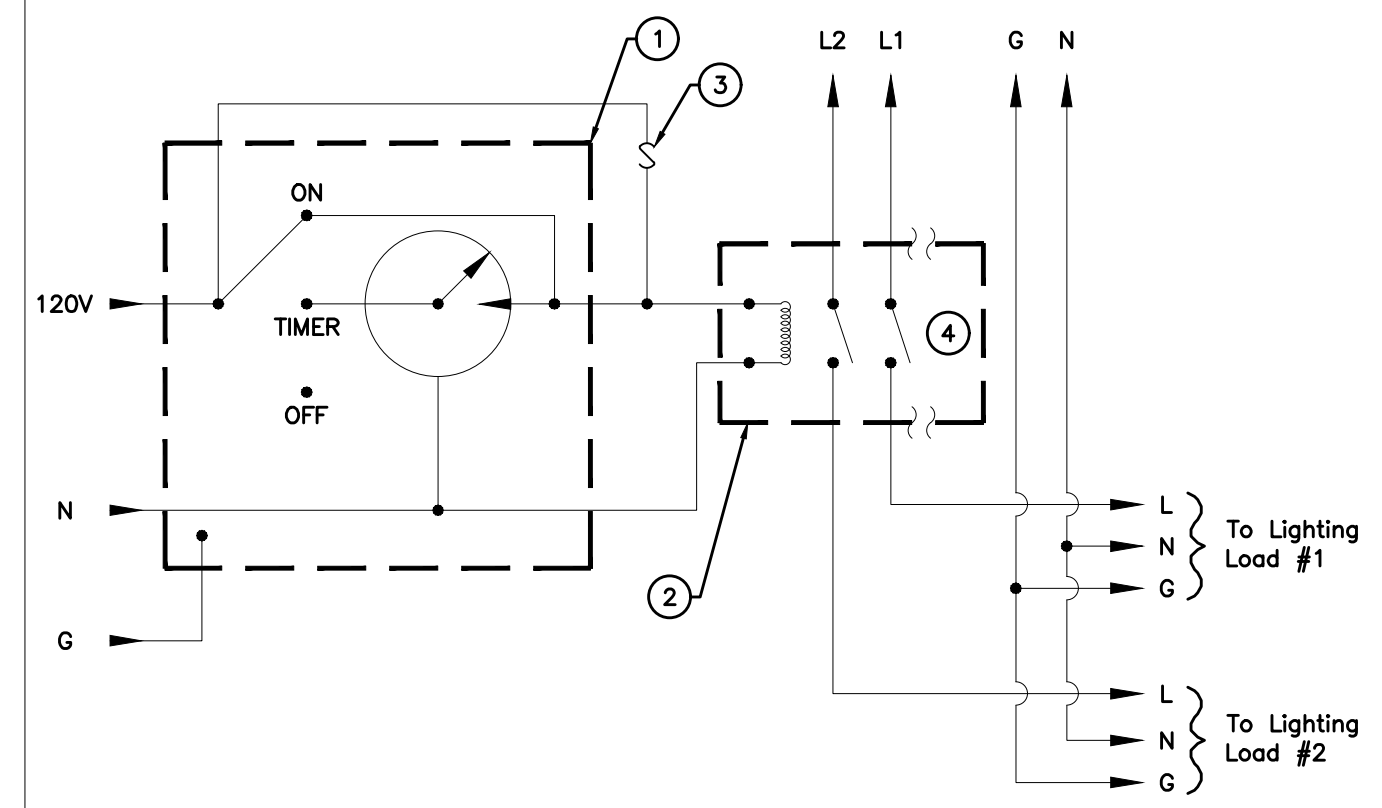


B gate elevation
C202 1/4" = 1'-0"

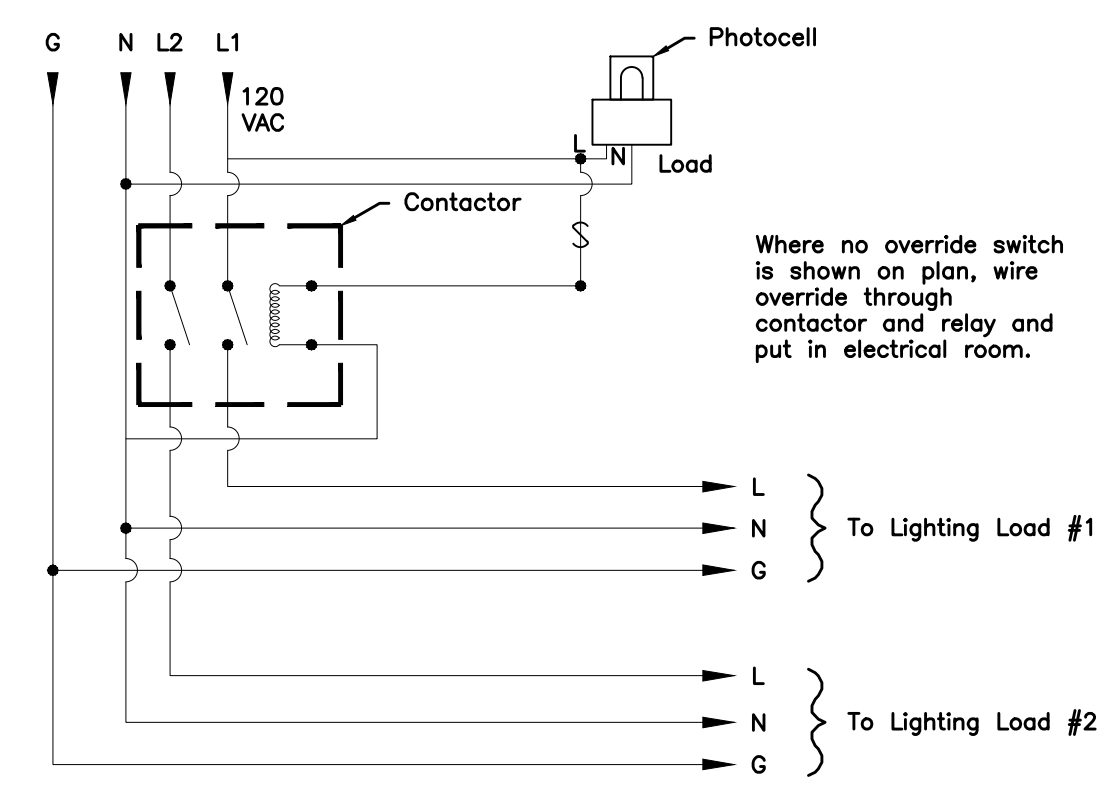
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Detail Notes

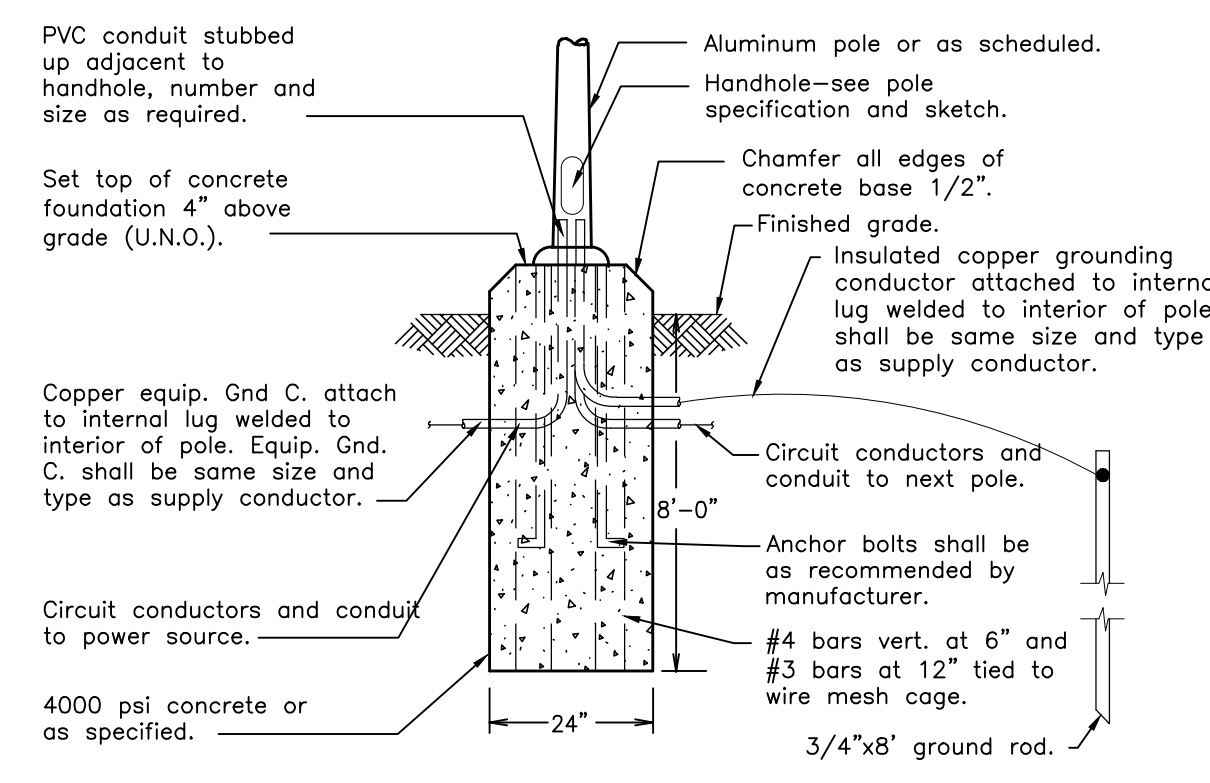
1. Lighting Timer.
2. Contactor.
3. Remote Override switch.
4. Additional contacts for all circuits shown on plans plus one space.



Time Clock Wiring Detail NTS



Photocell Control Wiring Detail NTS

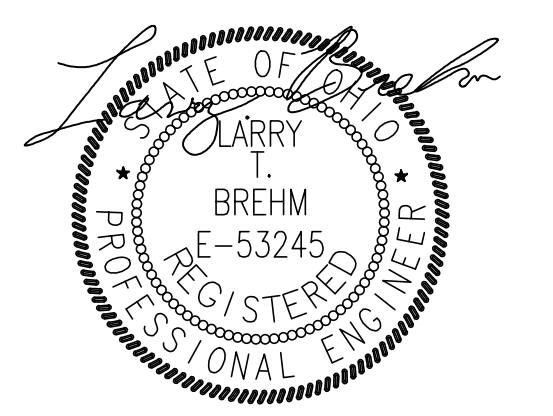


Pole Base Detail NTS

Light Pole Base Detail NTS

Light Fixture Schedule

Image	Tag	Description	Manufacturer Model #	Finish	Lamp	Lamp Qty	Lamp Wattage	Voltage	Length [in.]	Width [in.]	Depth [in.]	Energy Star	Remarks
	B1	Fan/Fluorescent Light	NuTone 744FLNT	White	CFL	1	14	120	13	18	7.5	Incl.	
	CF1	Ceiling Fan	Progress P2521 with P2621-09EBWB light	Brushed Nickel	CFL	2	13	120		Ø52		Incl.	
	E1	Exterior 2x2	Lithonia WRT F 2 17 A12125 120	White	F177B	2	17	120	24	24	3.75	Incl.	
	E2	Flood Light	Lithonia DSXF1LED-2-A5 30-/40K-MSP-MVOLT-	Black	LED	2	19	120	3.125	8.785	7.75	Incl.	
	E3	Exterior Wallpack Light	Cooper XTOR3A	Black	LED	1	17	120	16.125	8	15.75	N/A	
	EM1	Exit Sign	Dual Lite CVER-2-R-N-E	Brushed Aluminum Mounting Plate	LED	2	1	120	12	5	8	Incl.	Housing finish as selected by architect. Double faced UNO. Letter color and direction coordinate with drawings and AHJ. Coordinate voltage to match circuit. Recessed ceiling mount UNO.
	LH1	Lamp Holder	Leviton 9726-C	Porcelain	CFL	1	26	120	Ø4.25	2.25		N/A	Outlet box lamp holder with removable interior mechanism. Pull chain with extra length (minimum 36") to fit 3/4" to 4" box. Provide NEMA 5-15R receptacle. Lampholder to be rated for 15 amp, 660 watts, top wired.
	PL1	Site Light	Lithonia DSX1LED-40C-7 00-40K-T2M-M VOLT-SPA	Black	LED	1	24	120	33	7.5	13	Incl.	Provide 16" square pole Lithonia SSS
	PL2	Pole Lights	Hubbell FCL-RB-SAL-Y3 -32LED-4K-70 O-ALF-BLK	Black	LED	1	42	120		Ø17	42	Incl.	Provide DBB-4F14 Pole
	P1	Pendant Light	Progress P7327-09WB	Brushed Steel	CFL	2	13	120		15.25	10.375	N/A	E.C. must coordinate exact placement of this fixture with G.C. and Architect in writing before any work begins. The location information including dimensions must be independent of ceiling/floor framing and submitted to the Architect, putting the device on the closest framing member is not permitted.
	R1	Recessed Fire Rated Can Light	Progress P8022	White	LED	1	10	120		Ø6	1	N/A	
	R2	Recessed Can Light	Prescolite CFT632HEB	White	CFL	1	26	120	14.375	11.75	6.125	N/A	Use lens trim TL43 when used in wet locations. Note this fixture is Non IC rated. 4pl. Trim must be coordinated with nearby finish - typically 7095 BF.
	R3	Recessed Eyeball Can Light	Lithonia LUGF 26TRT 120 RECF	White	CFL	1	26	120	13	12.5	19.1	Incl.	Trim #6W2W
	R4	Recessed Mounted 2x4 Light	Columbia JT824-332G-FS-120	White	F327B	3	32	120	48	24	4	N/A	General Requirements, unless otherwise indicated, features include the following: Designed for type and quantity of lamps indicated at full light output. Total Harmonic Distortion Rating: Less than 10 percent. Sound Rating: A Electronic ballasts (Electromagnetic Ballasts not allowed) for linear lamps: Encapsulation Without voids in potting compound. Parallel Lamp Circuits: Multiple lamp ballasts connected to maintain full light output on surviving lamps if one or more lamps fail. Low-profile static troffer, fully gasketed flush steel, with opposing rotary action cam latches. T-hinge, in-out standard wiring.
	R5	Recessed Mounted 2x2 Light	Lithonia 2GT8-3-U31-F W-A12-120	White	F327B	4	32	120	48	24		N/A	
	RH1	Range Hood	G.C. to specify			1		120				Incl.	Non-duct range hood by others-lamp and wiring by E.C. Two (2) speed plug in motor. CF light (lamp by E.C.) illuminates cooking surface. Lens is removable for relamping. Located up front rocker switch. Prewired with keyhole mounting slots. UL listed and CSA certified. Single coil, thermally protected, 120Volt 1.7 amp motor. E.C. to verify with hood supplier the exact electrical requirements. Note: E.C. must provide provisions in accessible apartments for special switching. E.C. must mount individual switches for fan and light in back splash. E.C. must coordinate with G.C. as to exact mounting.
	S1	Surface Mounted Light for Units	Progress P3764-09EBWB	Brushed Steel	CFL	1	13	120		Ø11.5	3.75	Incl.	Round glass fixture. Surface mount. Satin opal cased glass
	S2	Surface Mounted Light for Common Spaces	Progress P7324-09WB	Brushed Steel	CFL	2	13	120		Ø15.25		Incl.	
	S3	Surface Mounted 1x4 Light for Units Kitchens	Progress P7263-30EB	White	F327B	2	32	120	49	12.5	4.5	Incl.	Provide drop in opal 100% acrylic lens and mounting frame. E.C. must coordinate exact placement of the fixture with G.C. and Architect in writing before any work begins. The location information including dimensions must be independent of floor framing and be submitted to the Architect, putting the device on the closest framing member is not permitted.
	S4	Surface Mounted 1x4 Light	Columbia WC-4-232-EBB 120	White	F327B	2	32	120	48	10	3	N/A	Total Harmonic Distortion Rating: Less than 10%. Sound Rating: A. Electronic Ballasts (Electromagnetic Ballasts not allowed) for Linear Lamps: Encapsulation: Without voids in potting compound. Parallel Lamp Circuits: Multiple lamp ballasts connected to maintain full light output on surviving lamps if one or more lamps fail.
	S5/S 5a	Surface Mounted 2x4 Light	Progress P7276-30	White	F347B	4	32	120	48.688	24.313	1.3125	Incl.	S5a- 2x2 light fixture Progress P7213-30EB
	SC1	Wall Sconce	Progress P7171-WB	Brushed Nickel	CFL	1	26	120	15.5	7.75	3	N/A	
	ST1	Wall Mounted Surface Light	Finelite S5WM-4'-2T8-S C-SPEC-120-F E	White	F327B	2	32	120	48	6.5	2.4	N/A	
	UC1	Under Counter Light	Progress P7010	White	F237S	1	13	120	21.25	5	1.125	Incl.	Under cabinet and under shelf fluorescent. Mount under cabinet in kitchens or in furnace closet on the wall over the door. With a white acrylic diffuser and white baked powder coated housing. For units wired to a wall switch, select models without a starter switch. Reduce cabinet structure as necessary for flush installation on underside of shelf.
	VI	Vanity Light	Progress P7114-60EB	Opal White Glass	F237B	2	25	120	26.75	6	4.25	Incl.	



July 26, 2016



STYGLER VILLAGE
Gahanna, OH

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PERMIT SET

PROJECT DATE: 07/22/2016
PROJECT #: 15145
SHEET DATE: 07/26/2016

Issue	Description	Date
	Addendum 3	06/03/2016
	Owner Review	07/22/2016

LIGHTING SCHEDULES AND DETAILS

E501



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PLANTING SCHEDULE

QTY*	ABRV	SCIENTIFIC NAME	COMMON NAME	SIZE	NOTES/SPACING
TREES					
6	AS	ACER SACCHARUM	SUGAR MAPLE	2.5' CAL.	B4B
4	CC	CERCIS CANADENSIS	EASTERN REDBUD	1.5' CAL.	B4B
6	MS	MALUS SARSENTI 'TINA'	SARGENT CRABAPPLE 'TINA'	1.5' CAL.	B4B
SHRUBS					
40	JP	JUNIPERUS PROCUMBENS	JAPANESE GARDEN JUNIPER	10' HT.	--
2	SM	SYRINGA MEYERI	MEYER LILAC	30' HT.	--
1	VD	VIBURNUM DENATUM	ARROWWOOD VIBURNUM	30' HT.	--
ORNAMENTAL GRASSES					
30	CA	CALAMAGROSTIS ACUTIFLORA 'KARL FORESTER'	FEATHER REED GRASS	24" HT.	30' O.C.
GROUND COVER					
84	LM	LIRIOPE MUSCARI VARIEGATA	VARIEGATED LILY TURF	2 QT.	12' O.C.
156 SF	PT	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	(PLATS)	6' O.C.

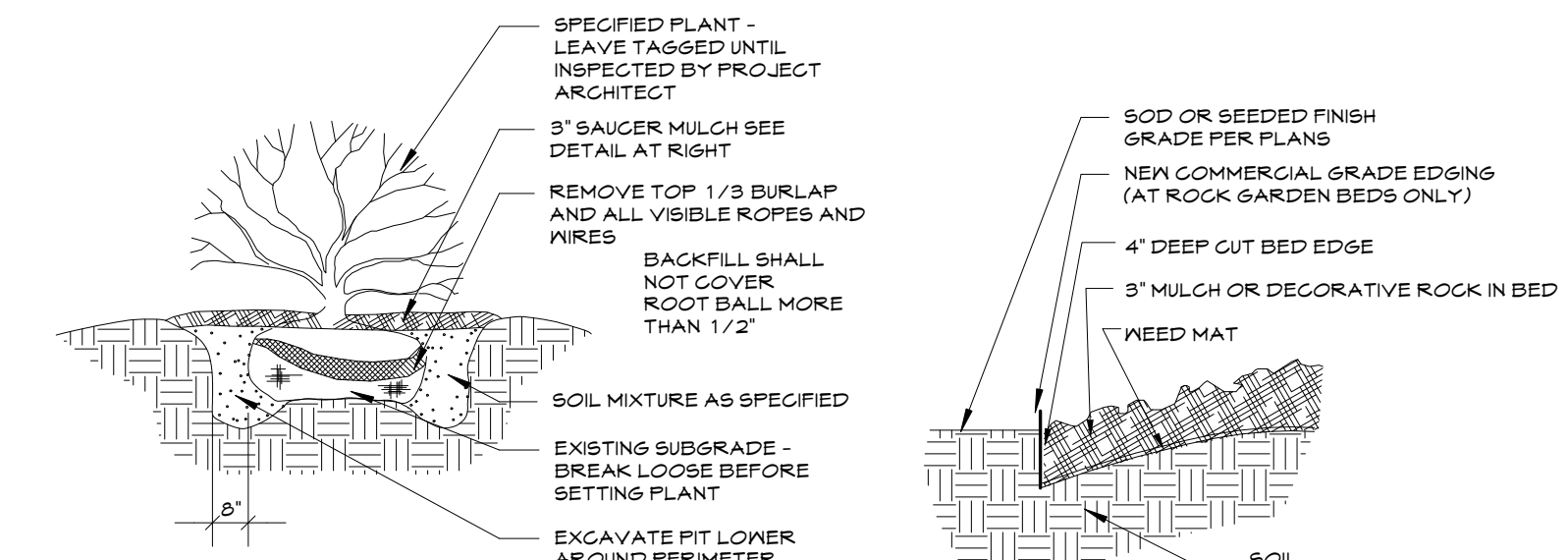
*PLANTING QUANTITIES IN THIS TABLE ARE APPROXIMATE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE PLANTINGS AT ALL LOCATIONS INDICATED ON THE PLAN

GENERAL NOTES: LANDSCAPE

- HANDICURE AND PRUNE ALL EXISTING TREES AND SHRUBS.
- REMOVE ALL DEAD VEGETATION INCLUDING ALL BRUSH FROM EXISTING TREE STAND.
- PROVIDE NEW DECORATIVE STONE TO MATCH EXISTING ROCK GARDENS AT UNIT BALCONY BAYS.
- AT REAR YARD, REMOVE DEAD BRANCHES AND TRIM UP EXISTING TREES.
- EXISTING TREES AND SHRUBS TO REMAIN, UNLESS NOTED OTHERWISE.
- RE-SEED ALL DISTURBED LAWN AREAS.
- PROVIDE MULCH AT ALL NEW PLANTINGS.

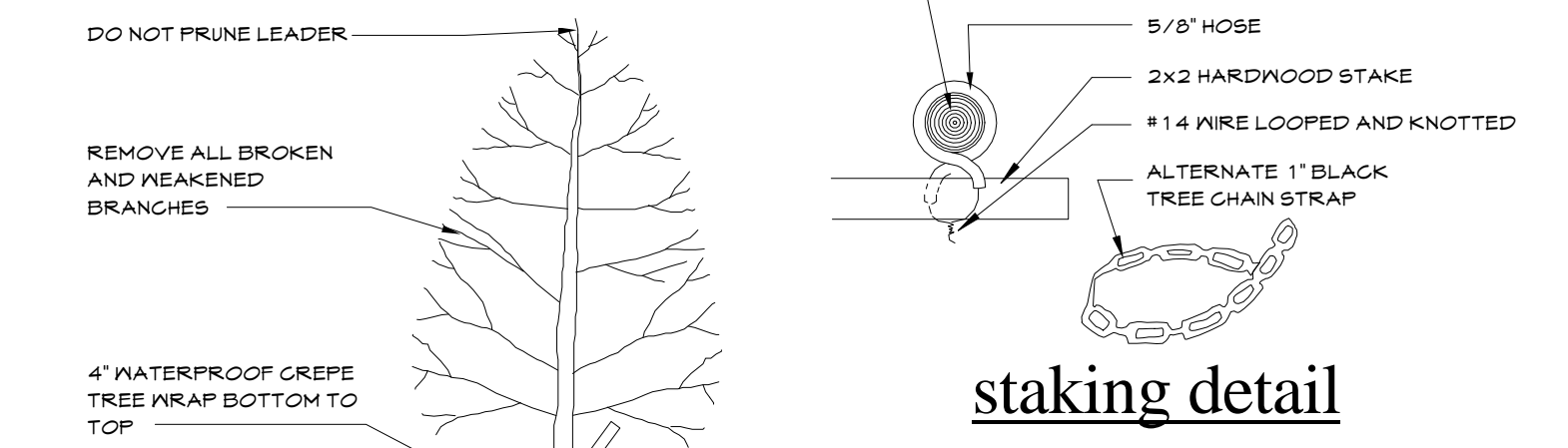
CODED NOTES: LANDSCAPE

- EXISTING TREE TO BE REMOVED.
- EXISTING SHRUB TO BE REMOVED.
- REPLACE DECORATIVE STONE AT ROCK GARDEN & REMOVE AND REPLACE COMMERCIAL GRADE EDGING AT BOUNDARY.
- RE-SEED.
- MULCH BED.

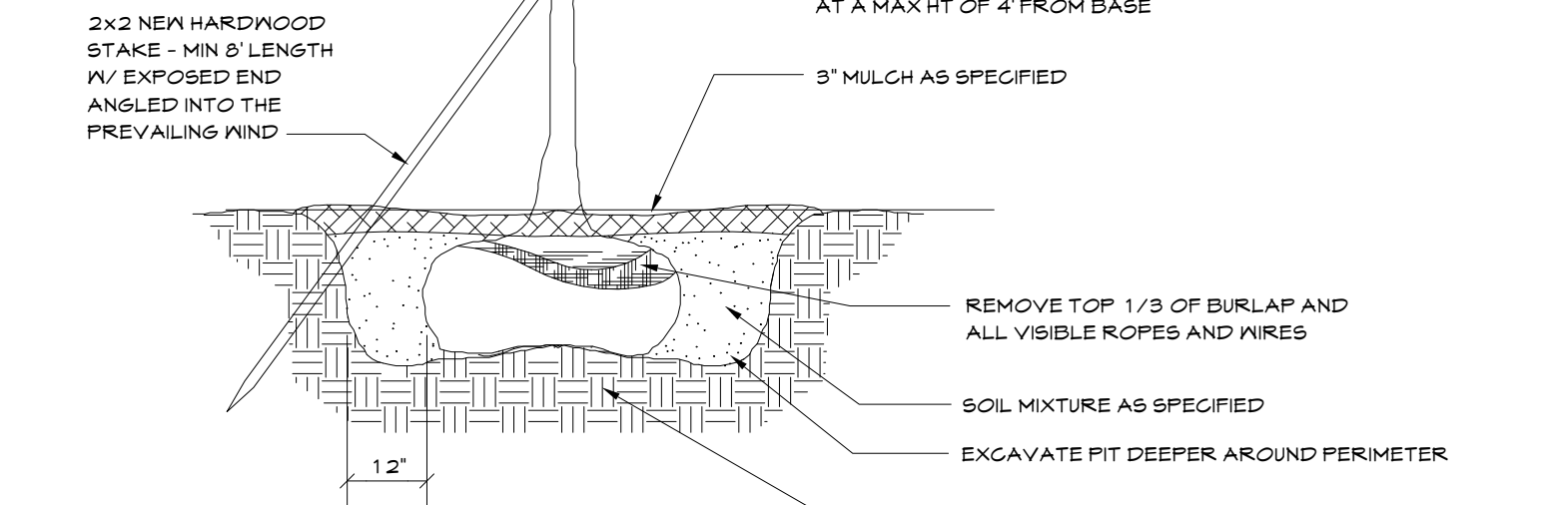


shrub detail

deep cut bed edge

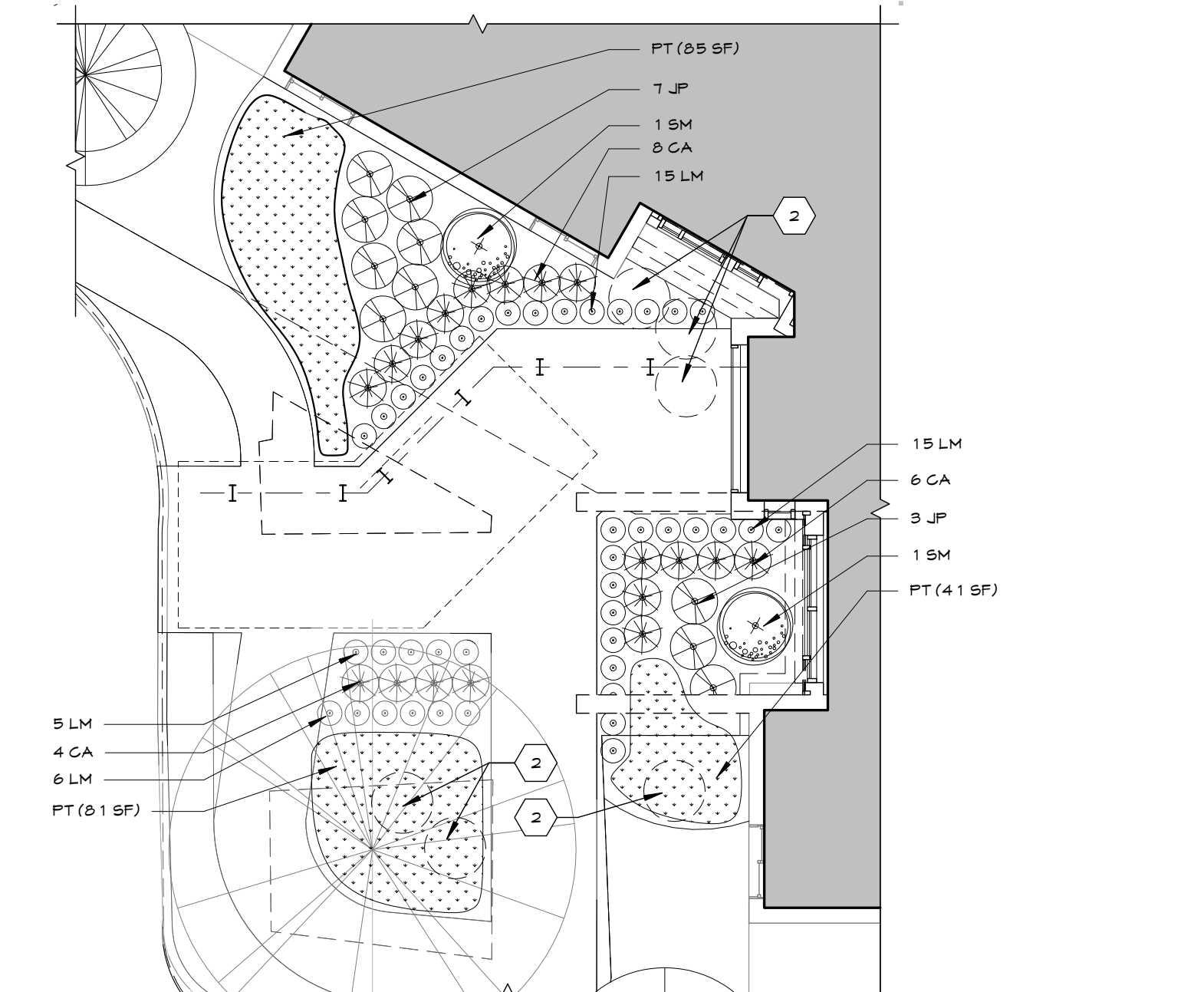


staking detail

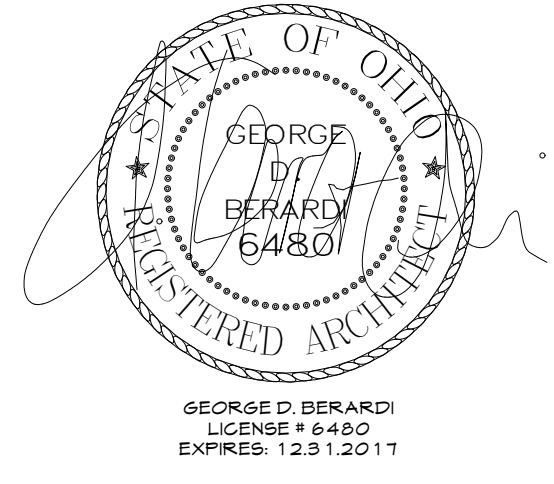


typ. tree detail

planting details
1" = 1'-0"



Entry Landscape Enlarged Plan
1/8" = 1'-0"



National Church Residences

STYGLER VILLAGE
GAHANNA, OHIO

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PERMIT SET

PROJECT DATE:	05/06/2016
PROJECT #:	15145
Description	Date
1 Addendum 1	05/20/2016
3 Addendum 3	06/03/2016
8 Plumbing	08/05/2016

PROPOSED LANDSCAPE PLAN

L100



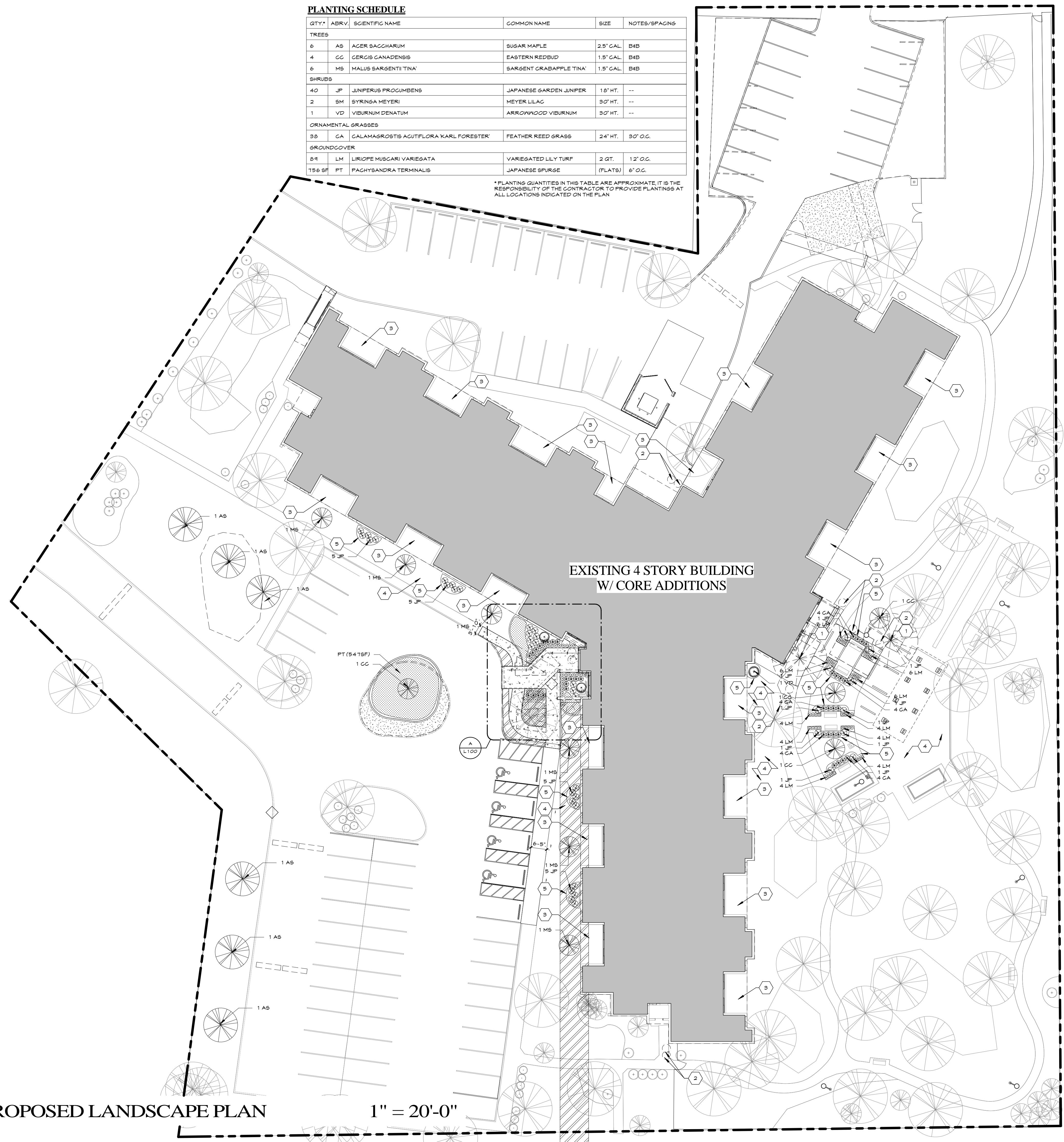
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PROPOSED LANDSCAPE PLAN

1" = 20'-0"

EXISTING 4 STORY BUILDING W/ CORE ADDITIONS





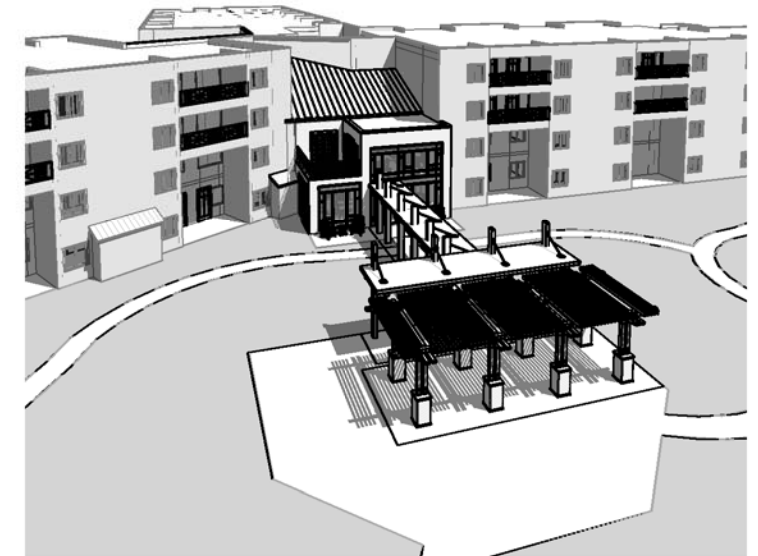


WEST ENTRANCE





REAR ADDITION





REAR ADDITION - BIRDSEYE VIEW



APPLICATION STAFF COMMENTS

DUE: Wednesdays - 10 AM

To SUBMIT: File>SAVE AS ADOBE PDF with naming convention: "Staff Comments – YOURNAME" to:
T:/Zoning/Applications IN PROGRESS/(the project folder)

Project/Property Address or Location: 140 Imperial Drive

Project Name/Business Name: Stygler Village Apartments

SUBMITTED BY:

Name: Michael Blackford **Title:** Deputy Director

Department: Planning and Development

No objections to the proposed renovation as the scope of changes are not subject to the West Gahanna Development Study. It should be noted that the renovations are possible due to National Church Residences receiving an award from the Ohio Housing Finance Agency. The City worked with NCR to provide information necessary to be considered for the award. The construction project is the next step in the process of accomplishing the renovation of an important asset within the community.

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Project Name/Business Name: Stygler Village Apartments

SUBMITTED BY:

Name: Bonnie Title: PZA

Department: Service

The applicant seeks approval for exterior renovations to this existing four story building which was constructed in 1978. Interior renovations will be made to the 150 units as well. The exterior renovations include additional parking spaces at the north parking lot, two new planting beds, new landscaping material, new railings on the building, a new covered entry at the west entrance, a new addition at the rear of the building which includes a covered walkway and a pergola.

These additions will help to bring a modern feel to the existing building and will provide new amenities for its residents.