



ZONING DIVISION
200 S. Hamilton Road
Gahanna, Ohio 43230
614-342-4025
zoning@gahanna.gov
www.gahanna.gov

FINAL DEVELOPMENT PLAN APPLICATION

Project/Property Address or Location: 6579 Taylor Rd. 1641-1687 Taylor Rd KAW		Project Name/Business Name: Taylor Commercial Park	
Parcel ID No.(s): 027-000008-00		Zoning Designation: OCT	Total Acreage: 13
Project Description: One 20,000sf flex industrial building.			
APPLICANT Name -do <u>not</u> use a business name: Robert M. LeVeck		Applicant Address: 625 Eastgate Pkwy. Gahanna, OH 43230	
Applicant E-mail: rleveck@leveckconstruction.com		Applicant Phone No.: 614-582-4765	
BUSINESS Name (if applicable):			
ADDITIONAL CONTACTS: Please list Primary Contact person for Correspondence (please list all applicable contacts)			
Name(s):		Contact Information (phone no./email):	
PROPERTY OWNER Name: (if different from Applicant) Taylor Industrial Park, LLC		Property Owner Contact Information (phone no./email): 614-582-4765	

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED (see page 2)

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant/Primary Contact Signature: Robert M. LeVeck III Digitally signed by Robert M. LeVeck III
Date: 2019.07.11 13:05:44 -04'00' Date: 4/20/23

INTERNAL USE

Zoning File No. DP-23-5

RECEIVED: fw.

DATE: 4/20/23

PAID: Ch 5290

DATE: 4/20/23



FINAL DEVELOPMENT PLAN APPLICATION – SUBMISSION REQUIREMENTS

TO BE COMPLETED/SUBMITTED BY APPLICANT:	
1.	Review Gahanna Code Chapter 1108 (visit www.municode.com) & Chapter 914 , Tree Requirements
2.	Review the State of Ohio Fire Code Fire Service Requirements
3.	Pre-application conference with staff
4.	Scale: Minimum - one inch equals 100 feet.
5.	The proposed name of the development, approximate total acreage, north arrow, and date
6.	The names of any public and/or private streets adjacent to or within the development
7.	Names and addresses of owners, developers and the surveyor who designed the plan
8.	Vicinity map showing relationship to surrounding development and its location within the community
9.	Natural features currently within proposed development, including drainage channels, tree lines, bodies of water, and other significant features
10.	Zoning district, building and parking setbacks
11.	Proposed location, size and height of building and/or structures
12.	Location and dimensions of proposed driveways and access points
13.	Proposed parking and number of parking spaces
14.	Distance between buildings
15.	Parking calculations: (square footage of proposed buildings, number of spaces per square foot, number of spaces required, and actual number of spaces proposed)
16.	Lot coverage calculations: (square footage of site, area of permanently impervious surfaces broken down into buildings and parking, area of uncovered land, coverage requirements, proposed lot coverage)
17.	Setback calculations (if needed; see chapter 1167.20)
18.	Landscaping calculations: (square footage of pavement, proposed area of landscaping, square footage of landscaping, number of trees required, and number of trees proposed; see chapter 1163.08)
19.	Any other information the Planning Commission may deem to be necessary to evaluate the application. These items can include such things as elevations, traffic studies, floor plans, etc.
20.	List of contiguous property owners & their mailing address
21.	One set of pre-printed mailing labels for all contiguous property owners
22.	Application fee (in accordance with the Building & Zoning Fee Schedule)
23.	Application & all supporting documents submitted in digital format
24.	Application & all supporting documents submitted in hardcopy format
25.	Authorization Consent Form Complete & Notarized (see page 3)

Please Note:

The Public Hearing will not occur until the City Of Gahanna Staff reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.

AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

PROPERTY OWNER

IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative.

(property owner name printed)

(property owner signature)

(date)

Subscribed and sworn to before me on this _____ day of _____, 20____.

State of _____ County of _____

Stamp or Seal

Notary Public Signature: _____

Applicant/Property Owner/Representative

AGREEMENT TO COMPLY AS APPROVED As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

AUTHORIZATION TO VISIT THE PROPERTY I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described.

APPLICATION SUBMISSION CERTIFICATION I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

Robert Colek
(applicant/representative/property owner name printed)

[Signature]
(applicant/representative/property owner signature)

2/1/24
(date)

Subscribed and sworn to before me on this 1st day of February, 2024.

State of Ohio County of Franklin

Notary Public Signature: Kelley Wicker



TAYLOR ROAD INDUSTRIAL PARK ADJOINING OWNERS INFORMATION

PID: 027-000150-00
1641 TAYLOR ROAD LLC
3347 MICHELSON DRIVE SUITE 200
IRVINE CA 92612

PID: 027-000146-00
EASTGATE COMMERCIAL PARK LLC
1500 W THIRD AVE STE 120
COLUMBUS OH 43212

PID: 027-000149-00
EIDEN DANA LE
CITY OF GAHANNA RMDR, EIDEN SHARI
1150 REYNOLDSBURG-NEW ALBANY RD
BLACKLICK OH 43004

PID: 170-000554-00
ACCI PROPERTIES LLC
1301 RESEARCH RD
GAHANNA OH 43230

PID: 170-000214-00
TAYLOR COMMUNITIES LLC
1301 RESEARCH RD
GAHANNA OH 43230

PID: 170-003686-00
OTA REALTY COMPANY LLC
6500 TAYLOR RD
BLACKLICK, OH 43004-8569

CITY OF GAHANNA, FRANKLIN COUNTY, OHIO
1639 TAYLOR ROAD
SITE CONSTRUCTION PLAN
2024
ESCR-24-7

SETBACK REQUIREMENTS:

ZONING: OCT - OFFICE, COMMERCE, AND TECHNOLOGY

REQUIRED BUILDING (YARD) SETBACKS:
FRONT (N): 75'
SIDE (W): 25'
REAR (S): 30'

PROVIDED BUILDING SETBACKS:
FRONT (N): 40' **
SIDE (W): 25'
REAR (S): 30'

FLOOD ZONE DESIGNATION: ZONE X (MAP 39049C0352K, EFFECTIVE JUNE 17, 2008)

**VARIANCE TO BE REQUESTED THROUGH GAHANNA FOR FRONT YARD SETBACK REQUIREMENTS

FIRM:

FLOOD ZONE DESIGNATION: ZONE X (MAP 39049C0352K, EFFECTIVE JUNE 17, 2008)

STANDARD CONSTRUCTION DRAWINGS

THE CITY OF COLUMBUS AND GAHANNA STANDARD CONSTRUCTION DWGS LISTED ON THESE PLANS SHALL BE CONSIDERED A PART THEREOF.

COC STORM: AA-S133A
COC WATER: AA-S133B
GAHANNA WATER: L-1001
INSIDE BUILDING METER AND BACKFLOW PREVENTER SETTINGS

BENCHMARKS

VERTICAL DATUM IS NAVD'1988 BASED ON SOURCE BENCHMARK CORS STATION "COLB". THIS IS A CONTINUOUSLY OPERATING REFERENCE STATION LOCATED ON THE GROUNDS OF AN ODOT FACILITY LOCATED AT 1960 W BROAD STREET IN COLUMBUS OHIO. THE PUBLISHED ELEVATION IS 722.39' (NAVD88).

BENCHMARK	DESCRIPTION	NORTHING	EASTING	ELEVATION
SOURCE BM	CORS STATION "COLB"	714254.27	1815510.69	722.39
BM #1	CUT "X" ON NORTH BOLT OF FIRE HYDRANT	729013.67	1877817.89	915.01
BM #2	CUT BOXED "X" ON NW CORNER OF HEADWALL	728915.85	1877330.66	900.62
BM #3	FRANKLIN COUNTY SURVEY CONTROL NA-14	729285.46	1876944.23	900.23

#HORIZ. REF. DATUM = NAD 83 (NSRS 2011 ADJ.)

BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, OHIO SOUTH ZONE (NAD83-2011) AS DETERMINED BY A GPS SURVEY UTILIZING CORS STATION "COLB". THE PROJECT COORDINATES ARE BASED ON STATE PLANE COORDINATES AND HAVE BEEN SCALED TO GROUND BY USING A PROJECT ADJUSTMENT FACTOR OF 1.0000439107 APPLIED AT BASE POINT N 729,000.00 E 1,877,500.00. GRID AND GROUND COORDINATES ARE IDENTICAL AT THE BASE POINT.

SITE DATA TABLE	
TAYLOR ROAD	
TOTAL SITE AREA:	12.90 AC.
TOTAL DISTURBED AREA:	1.59 AC.
PRE-DEVELOPED PERVIOUS*:	1.59 AC.
PRE-DEVELOPED IMPERVIOUS*:	0.00 AC.
POST-DEVELOPED PERVIOUS*:	0.61 AC.
POST-DEVELOPED IMPERVIOUS*:	0.98 AC.
*WITHIN LIMITS OF DISTURBANCE	

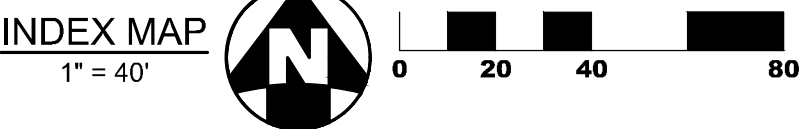
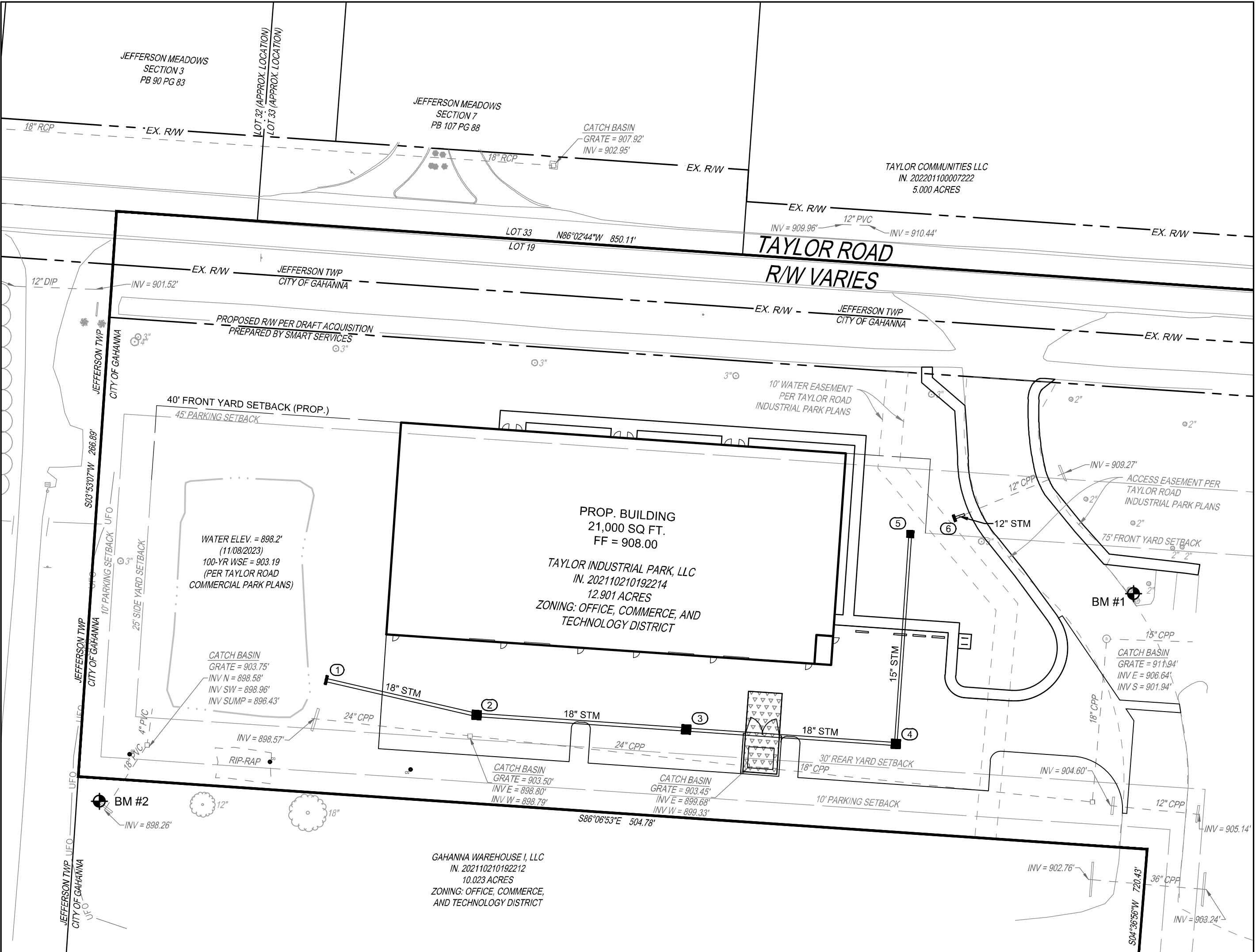
SCP WATER QUANTITY/QUALITY

THIS PROJECT IS TO PROVIDE STORM WATER CONVEYANCE ONLY.

STORMWATER IS BEING CONVEYED TO THE EXISTING WET-EXTENDED DETENTION BASIN WHERE WATER QUANTITY AND QUALITY REQUIREMENTS ARE ADDRESSED. CALCULATIONS CAN BE FOUND IN "FINAL STORMWATER MANAGEMENT REPORT - TAYLOR ROAD COMMERCIAL PARK" PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC ON DECEMBER 14, 2022.

VARIANCE TABLE	
DESCRIPTION	APPROVAL DATE

REVISIONS		
NO.	DESCRIPTION	APPROVAL/DATE



SHEET INDEX

TITLE SHEET	1	LANDSCAPE PLAN	AS1.00
GAHANNA GENERAL NOTES	2	LANDSCAPE DETAILS	AS1.01
GENERAL NOTES DETAILS & ESTIMATE OF QUANTITIES	3	SITE DETAILS	AS1.00
STANDARD DETAILS	4	LIGHTING PLAN	1 / 3
WATER DETAILS	5	LIGHTING PLAN	2 / 3
EXISTING CONDITIONS & DEMOLITION PLAN	6	LIGHTING PLAN	3 / 3
OVERALL IMPERVIOUS AREA PLAN	7		
LOCATION PLAN	8		
UTILITY PLAN	9		
STORM SEWER PROFILES	10		
GRADING & EROSION CONTROL PLAN	11		
EROSION CONTROL NOTES	12		
EROSION CONTROL NOTES & DETAILS	13		

OWNER

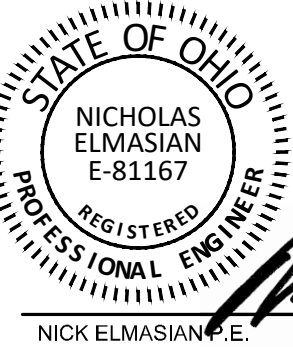
TAYLOR INDUSTRIAL PARK LLC
EQUITY TRUST COMPANY CUSTODIAN FBO
KENJI YOSHIKAWA IRA
625 EASTGATE PKWY
GAHANNA, OH 43230

DEVELOPER

LEVECK COMMERCIAL CONSTRUCTION
1500 W THIRD AVE
COLUMBUS, OH 43212
PHONE: (614) 562-4765
CONTACT: ROBERT LEVECK
EMAIL: RLEVECK@LEVECKCONSTRUCTION.COM

ENGINEER

ELMASIAN ENGINEERING, LLC
PO BOX 625
PATASKALA, OH 43062
PHONE: (614) 327-2008
CONTACT: NICK ELMASIAN
EMAIL: NICK@ELMASIAN.NET



PLAN PREPARED BY:



THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT AND THAT ALL OF THE MINIMUM STANDARDS HAVE BEEN MET, INCLUDING THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN MY OPINION, THEY ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. ANY VARIANCES TO THE ABOVE STANDARDS ARE CONSISTENT WITH SOUND ENGINEERING PRACTICES AND ARE NOT DETRIMENTAL TO PUBLIC SAFETY AND CONVENIENCE. THESE VARIANCES HAVE BEEN LISTED HEREIN AND HAVE BEEN APPROVED BY THE CITY ENGINEER



LOCATION MAP

N.T.S.

LEGEND:

- CITY OF GAHANNA CORPORATION LIMITS
- JEFFERSON TOWNSHIP CORPORATION LIMITS

PARKING SUMMARY

REQUIRED FOR WAREHOUSE USE:
1 PER BUSINESS VEHICLE = 0, PLUS
1 PER 1,000 SF UP TO 20,000 = 20, PLUS
1 PER 5,000 SF 20,001 TO 120,000 = 1,000 / 5,000 = 1
REQUIRED PARKING SPACES = 21

PROPOSED PARKING: 32 SPACES
EXISTING PARKING: 0 SPACES

TOTAL SITE PARKING 32 SPACES
STANDARD PARKING 30 SPACES
ADA PARKING 2 SPACES
9FT X 19FT STALLS, 25FT MIN DRIVE AISLES

LOT COVERAGE WITHIN DISTURBANCE AREA

PROP. BUILDING* 21,000 SF 0.48 AC
SITE HARDSCAPES* 21,500 SF 0.49 AC
TOTAL IMPERVIOUS AREA* 42,500 SF 0.98 AC

GREENSPACE AREAS* 26,724 SF 0.61 AC

TOTAL DISTURBED SITE AREA 69,224 SF 1.59 AC

TOTAL LOT COVERAGE* 61%
MAXIMUM LOT COVERAGE* 81% (1154.03.a.3)

*WITHIN LIMITS OF DISTURBANCE

APPROVALS, CITY OF GAHANNA/JEFFERSON TOWNSHIP
THE CITY OF GAHANNA/JEFFERSON TOWNSHIP SIGNATURES ON THIS PLAN SIGNIFIES ONLY CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE PROPOSED IMPROVEMENT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHO PREPARED AND CERTIFIED THESE PLANS.

DIRECTOR OF ENGINEERING
CITY OF GAHANNA, OHIO

DATE

SENIOR UTILITIES ENGINEER
CITY OF GAHANNA, OHIO

DATE

DIRECTOR OF PUBLIC SERVICE
CITY OF GAHANNA, OHIO

DATE

FIRE
JEFFERSON TOWNSHIP, OHIO

DATE

TAYLOR ROAD
1639 TAYLOR RD
GAHANNA, OHIO

PROJECT NO: 231165.012

DATE: 01/28/2025

SCALE:

AS SHOWN

SHEET NAME:

TITLE SHEET

SHEET NO.

1/13



CITY OF GAHANNA
STANDARD PROJECT NOTES (PRIVATE PROJECIS)
(JANUARY 2024)

GENERAL NOTES:

THE CURRENT CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMS) TOGETHER WITH THE REQUIREMENTS OF THE CITY OF GAHANNA, OHIO, SHALL GOVERN MATERIALS AND WORKMANSHIP INVOLVED IN IMPROVEMENTS SHOWN ON THESE PLANS, EXCEPT THOSE SPECIFICATIONS MODIFIED BY THE FOLLOWING SPECIFICATIONS OR CONSTRUCTION DETAILS SET FORTH HEREIN.

ALL WORK IS TO BE ACCEPTABLE TO CITY OF GAHANNA OFFICIALS. NO WORK IS TO COMMENCE UNTIL ARRANGEMENTS HAVE BEEN MADE WITH THE CITY OF GAHANNA ENGINEER FOR INSPECTION.

THE CONTRACTOR SHALL NOTIFY THE CITY OF GAHANNA ENGINEER AT LEAST TWO WORKING DAYS PRIOR TO CONSTRUCTION.

ALL PERTINENT STANDARD CONSTRUCTION DRAWINGS ARE AVAILABLE UPON REQUEST AT THE OFFICE OF THE CITY OF GAHANNA ENGINEERS.

THE DEVELOPER IS TO SCHEDULE A PRE-CONSTRUCTION MEETING ONE BUSINESS WEEK PRIOR TO CONSTRUCTION. THE MEETING SHALL TAKE PLACE AT LEAST ONE BUSINESS WEEK PRIOR TO THE FOLLOWING: SITE CLEARING, MATERIAL DELIVERED ON-SITE, EQUIPMENT ON-SITE AND FIELD OFFICE ON-SITE.

THE DEVELOPER SHALL, PRIOR TO ANY CONSTRUCTION OPERATION, DEPOSIT WITH THE CITY THE TOTAL ESTIMATED COSTS FOR INSPECTION, ADMINISTRATIVE, WATER AND SANITATION FEES.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146.

THE PRICE(S) QUOTED SHALL INCLUDE ALL ITEMS OF LABOR, MATERIALS, TOOLS, EQUIPMENT, INSURANCE AND OTHER COSTS NECESSARY TO FULLY COMPLETE THE WORK PURSUANT TO THE CONTRACT DOCUMENTS. IT IS THE INTENTION OF THE CONTRACT DOCUMENTS TO PROVIDE AND REQUIRE A COMPLETED WORK PROJECT READY FOR OPERATION. ANY WORK ITEMS OMITTED FROM SUCH CONTRACT DOCUMENTS WHICH ARE CLEARLY NECESSARY FOR THE COMPLETION OF SUCH WORK AND ITS APPURTENANCES SHALL BE CONSIDERED A PART OF SUCH WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR CALLED FOR IN THE CONTRACT DOCUMENTS.

ALL FIELD TILE BROKEN DURING EXCAVATION SHALL BE REPLACED WITH PERFORATED PIPE OR CONNECTED TO THE STORM SEWER SYSTEM.

THE CONTRACTOR SHALL REPAIR OR REPLACE ANY OR ALL EXISTING SIGNS, SHRUBS, FENCES, OR OTHER PHYSICAL FEATURES DAMAGED DURING THE EXECUTION OF THIS CONTRACT AT THEIR OWN EXPENSE. ALL REPAIRS SHALL BE TO THE SATISFACTION OF THE OWNER AND THE CITY OF GAHANNA.

THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND GOVERNMENT FEES, LICENSES, AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF IMPROVEMENTS SHOWN ON THESE PLANS.

THE CONTRACTOR SHALL CLEAN ADJACENT STREETS ON A DAILY BASIS IF MUD IS TRACKED FROM VEHICLES VISITING THE SITE.

DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE ENTIRE SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF ALL TRENCHES WITHIN THE RIGHT-OF-WAY, PUBLIC EASEMENTS AND WITHIN THE WORK LIMITS FOR A PERIOD OF (1) YEAR FROM THE FINAL ACCEPTANCE OF THE WORK, AND SHALL MAKE ANY NECESSARY REPAIRS AT NO COST TO THE OWNER OR CITY OF GAHANNA.

THE CONTRACTOR SHALL CONFINE ACTIVITIES TO THE PROJECT SITE, EXISTING RIGHT-OF-WAYS, TEMPORARY EASEMENTS AND PERMANENT EASEMENTS, AND SHALL NOT ENTER UPON OTHER PROPERTIES WITHOUT WRITTEN PERMISSION OF THE OWNER.

WHENCH WATER BE ENCOUNTERED, THE CONTRACTOR SHALL FURNISH AND OPERATE SUITABLE PUMPING EQUIPMENT OF SUCH CAPACITY ADEQUATE TO DEWATER THE TRENCH. THE TRENCH SHALL BE SUFFICIENTLY DEWATERED SO THAT THE PLACEMENT OF BEDDING AND LAYING AND JOINING OF THE PIPE IS MADE IN A TRENCH FREE OF STANDING WATER. THE CONTRACTOR SHALL CONVEY ALL TRENCH WATER TO A NATURAL DRAINAGE CHANNEL OR STORM SEWER WITHOUT CAUSING ANY PROPERTY DAMAGE.

FINAL GRADE ADJACENT TO BUILDING SHALL SLOPE AWAY FROM BUILDING.

THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO ENSURE CONSTRUCTION TO PLAN GRADE. THE CONTRACTOR SHALL ENSURE THERE IS A SURVEYOR'S LEVEL AND ROD ON THE PROJECT FOR USE IN PERFORMING GRADE CHECKS WHENEVER

SEWER LINE STRUCTURES OR PIPES ARE BEING INSTALLED, THE CONTRACTOR SHALL MAKE THIS EQUIPMENT AVAILABLE FOR USE AND ASSIST THE CITY INSPECTOR IN PERFORMING GRADE CHECKS WHEN REQUESTED BY THE INSPECTOR. THE INSPECTOR WILL MAKE ALL ATTEMPTS TO CONFINE REQUESTS FOR ASSISTANCE IN PERFORMING GRADE CHECKS TO TIMES CONVENIENT TO THE CONTRACTOR. THESE CHECKS WILL BE PERFORMED TO ENSURE THAT CONSTRUCTION MATCHES PLAN GRADE, AND TO ENSURE THAT ALL EXISTING INVERTS ALONG WITH THE PROPOSED TOP OF CASTING ELEVATIONS ARE VERIFIED PRIOR TO CONSTRUCTION OF THE SEWER.

THE CONTRACTOR SHALL REFERENCE ALL IRON PINS OR MONUMENTS. IF ANY PINS OR MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE ACCURATELY REPLACED BY A REGISTERED SURVEYOR IN THE STATE OF OHIO AT THE COMPLETION OF THE PROJECT.

THE COST OF RELOCATING AND/OR SECURING ANY POWER POLES AS NECESSARY TO COMPLETE THE WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS OF THE CONTRACT.

VERTICAL CONTROL HAS BEEN ESTABLISHED FOR THE PROJECT AS SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SURVEYS TO COMPLETE THE PROJECT INCLUDING REESTABLISHMENT OF CONTROL POINTS, PROJECT LAYOUT AND STAKING OF EASEMENTS.

DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL ADJACENT ROADS AND LANDS.

ANY MODIFICATION TO THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY OF GAHANNA.

ANY REQUIRED RELOCATION, SUPPORT, PROTECTION, RESTORATION, OR ANY OTHER ACTIVITY CONCERNED WITH THE CITY'S ELECTRICAL OR STREET LIGHTING SYSTEMS IN THE CONSTRUCTION AREA IS TO BE PERFORMED SOLELY BY THE CITY AT THE EXPENSE OF THE PROJECT. THE CITY SHALL BE NOTIFIED PRIOR TO CONSTRUCTION TO ALLOW FOR ENGINEERING AND RELOCATION OF FACILITIES.

IF ANY ELECTRIC FACILITY BELONGING TO THE CITY IS DAMAGED IN ANY MANNER BY THE CONTRACTOR, ITS AGENTS, SERVANTS, OR EMPLOYEES, THE CITY SHALL MAKE ALL NECESSARY REPAIRS, AND THE EXPENSE OF SUCH REPAIRS AND OTHER RELATED COSTS SHALL BE PAID BY THE CONTRACTOR TO THE CITY.

ALL CURB RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, INCLUDING ALL SUPPLEMENTS IN ACCORDANCE WITH THE CITY OF COLUMBUS STANDARD DRAWING 2319, INCLUDING ALL SUPPLEMENTS AND/OR REPLACEMENTS, CURRENT ON THE DATE OF THE START OF PROJECT CONSTRUCTION. SIDEWALKS SHALL BE CONSTRUCTED WITH A 3/16" PER FOOT (1.56%) CROSS SLOPE.

NO NON-RUBBER TIRED VEHICLES SHALL BE MOVED ON CITY STREETS, EXISTING PRIVATE ROADWAYS, OR PARKING LOTS UNLESS WRITTEN APPROVAL IS GRANTED BY THE APPROPRIATE CITY AUTHORITY OR PROPERTY OWNER. ANY DAMAGE MUST BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY OF GAHANNA AT NO COST TO THE CITY OR PROPERTY OWNER/DEVELOPER.

THE CONTRACTOR SHALL MAKE HIS OWN PROVISIONS TO PROVIDE A SITE STAGING AREA AND JOB TRAILER (IF REQUIRED) FOR THE PROJECT IMPROVEMENTS.

NO NATURAL DRAINAGE COURSES SHALL BE ALTERED AND NO FILL, BUILDINGS OR STRUCTURES SHALL BE PLACED IN IT UNLESS PROVISIONS ARE MADE FOR THE FLOW OF WATER IN A MANNER SATISFACTORY TO THE CITY ENGINEER. AN EASEMENT SHALL BE PROVIDED ON BOTH SIDES OF ANY EXISTING IMPORTANT SURFACE DRAINAGE COURSE ADEQUATE FOR THE PURPOSE OF PROTECTING, WIDENING, DEEPENING, ENCLOSING OR OTHERWISE IMPROVING SUCH STREAM FOR DRAINAGE PURPOSES.

ORANGE CONSTRUCTION FENCING SHALL BE PLACED AROUND THE EXISTING TREES TO BE SAVED AND REMAIN IN PLACE DURING THE DEVELOPMENT CONSTRUCTION. THE LOCATION OF THE FENCING AND ANY CLEARING NECESSARY WILL BE DETERMINED BY THE APPROVED PLANS.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION ON THE PROJECT SITE WHERE AND AS DIRECTED BY THE OWNER/DEVELOPER.

INCONVENIENCE TO THE ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC SHALL BE KEPT TO AN ABSOLUTE MINIMUM. ALL WORK IS TO CONTINUE ON A UNIFORM BASIS AND ON SCHEDULE, PARTICULARLY THE RESTORATION AND CLEAN UP OF DISTURBED AREAS AFTER CONSTRUCTION. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT SOIL TRANSPORT DURING CONSTRUCTION ONTO PUBLIC ROADS. THE CONTRACTOR SHALL CLEAN AND SWEEP STREETS AS DIRECTED BY THE CITY. COST TO BE INCLUDED IN THE PRICE BID UNDER VARIOUS ITEMS.

AN ENGINEERING REVIEW FEE WILL BE COLLECTED PRIOR TO CONSTRUCTION. THIS FEE WILL INCLUDE AN AS-BUILT SURVEY FEE AND AS-BUILT DEPOSIT. THE AS-BUILT SURVEY FEE IS THE ACTUAL COST OF SURVEY FOR THE CREATION OF AN AS-BUILT PLAN. THE CITY WILL SELECT THE SURVEYOR AND REQUEST A PROPOSAL FOR THIS SURVEY.

AT PROJECT COMPLETION, THE CITY'S SELECTED SURVEYOR WILL PROVIDE THE CITY AND THE DEVELOPER WITH THE FINAL AS-BUILT SURVEY DATA. THE DEVELOPER MAY SELECT AN ENGINEERING FIRM TO PRODUCE THE FINAL AS-BUILT PLANS. IF THE DEVELOPER DOES NOT ELECT TO PRODUCE THE FINAL AS-BUILT PLAN, THE CITY WILL USE THE AS-BUILT DEPOSIT TO CONTRACT WITH AN ENGINEERING FIRM TO PRODUCE THE FINAL AS-BUILT PLAN.

AT PROJECT COMPLETION, THE DEVELOPER WILL REQUEST A FINAL ENGINEERING INSPECTION. THE CITY OF GAHANNA WILL PRODUCE A PUNCHLIST OF ALL ITEMS THAT WILL NEED TO BE CORRECTED. THESE ITEMS WILL NEED TO BE SATISFACTORILY ADDRESSED BEFORE THE BUILDING DIVISION WILL RELEASE THE FINAL OCCUPANCY PERMIT.

AN AS-BUILT PLAN WILL BE REQUIRED BEFORE ISSUANCE OF A FINAL OCCUPANCY PERMIT. THE AS-BUILT PLAN WILL INCLUDE THE FINAL ELEVATIONS, LOCATIONS, INVERTS AND OTHER DATA AS REQUIRED BY THE CITY OF GAHANNA. THIS INFORMATION WILL BE INCLUDED ON THE PLAN SET IN RED TO DENOTE IT IS FINAL AS-BUILT DATA.

THE DESIGN ENGINEER/ENGINEER OF RECORD IS ULTIMATELY RESPONSIBLE TO ENSURE ALL CITY OF GAHANNA DEPARTMENTAL DESIGN AND CONSTRUCTION REQUIREMENTS ARE SATISFIED. FURTHERMORE, A SITE CIVIL ENGINEERING PLAN APPROVAL DOES NOT CONSTITUTE ACCEPTANCE OR APPROVAL OF NON-SITE CIVIL ENGINEERING REQUIREMENTS.

UTILITIES:

THE CONTRACTOR SHALL GIVE NOTICE TO THE OHIO UTILITIES PROTECTION SERVICE (PHONE 1-800-362-2764) AND TO THE OWNERS OF THE UTILITY FACILITIES SHOWN ON THE PLAN WHO ARE NOT MEMBERS OF A REGISTERED UTILITY PROTECTION SERVICE. THE ABOVE-MENTIONED NOTICE SHALL BE GIVEN AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITY AS REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY.

THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECTS ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL GIVE NOTICE TO OUPS AND OTHER UTILITY OWNERS PER THE GENERAL NOTES.

THE IDENTITY AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS AS ACCURATELY AS PROVIDED BY THE SURVEYOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR DEPTHS OF UNDERGROUND FACILITIES SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. IF DAMAGE IS CAUSED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF THE SAME AND FOR ANY RESULTING CONTINGENT DAMAGE.

WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER THE EXISTING UTILITY IN ADVANCE OF LAYING PIPE IN ORDER THAT THE ENGINEER MAY DETERMINE THE EXACT ELEVATION AND MAKE ANY NECESSARY ADJUSTMENTS.

THE FOLLOWING UTILITIES AND OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT AND ARE REGISTERED MEMBERS OF THE UNDERGROUND UTILITY PROTECTION SERVICE:

UTILITY	OWNER	TELEPHONE	FAX
WATER FACILITIES	CITY OF GAHANNA WATER DIVISION 200 S. HAMILTON RD GAHANNA, OH 43230	(614) 342-4440	(614) 342-4100
SEWER FACILITIES	CITY OF GAHANNA SEWER DIVISION 200 S. HAMILTON RD GAHANNA, OH 43230	(614) 342-4440	(614) 342-4100
ELECTRIC FACILITIES	AMERICAN ELECTRIC POWER 850 TECH CENTER DR GAHANNA, OH 43230	(614) 883-6811	(614) 883-6868
GAS	COLUMBIA GAS OF OHIO (DISTRIBUTION) ATTN: ROB CALDWELL 3550 JOHNNY APPLESEED COURT COLUMBUS, OH 43231	P: (614) 818-2104 C: (614) 370-1906 E-MAIL: RCALDWELL@NISOURCE.COM	(614) 460-4265
TELEPHONE	AT&T 150 E. GAY ST COLUMBUS, OH 43212	(800) 660-1000	(614) 223-6296

CONTRACTOR TO COORDINATE WITH GAS, ELECTRIC, CABLE AND TELECOMMUNICATION COMPANIES TO COORDINATE FINAL CONSTRUCTION DETAILS FOR ON-SITE GAS, ELECTRIC, CABLE AND TELEPHONE SERVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE ARCHITECT AND THE MECHANICAL ENGINEER FOR THE FINAL LOCATION OF UTILITY SERVICES INTO THE BUILDING.

PLACEMENT OF UTILITY CONDUIT OR SLEEVES FOR GAS, SITE ELECTRIC AND TELECOMMUNICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE PLAN DETAILS SHOWN HEREIN AND IN CONFORMANCE TO THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANIES.

WATER NOTES:

NO WATER SERVICE CONSTRUCTION SHALL BEGIN PRIOR TO FEE PAYMENT AND PERMITS BEING ISSUED BY THE CITY OF GAHANNA.

METER SETTING AND BACKFLOW PREVENTER AS PER THE DIRECTION OF THE CITY OF GAHANNA.

ALL WATER LINE MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CURRENT RULES AND REGULATIONS OF THE CITY OF COLUMBUS. DIVISION OF WATER AND THE DIRECTION OF THE CITY OF GAHANNA STAFF.

WATER MAINS AND FIRE HYDRANT LEADS SHALL BE DUCTILE IRON PIPE, CLASS 52 OR GREATER (AWWA C151) WITH CEMENT MORTAR LINING AND SEAL COAT (AWWA C104) OR PVC, CLASS 150 MEETING AWWA C900. JOINTS SHALL BE RUBBER GASKET PUSH-ON MECHANICAL (AWWA C111 FOR DUCTILE IRON PIPE, ASTM F477 FOR C900 PIPE)

FIRE HYDRANTS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE AS SHOWN ON THE CITY OF COLUMBUS L-6409 AND L-6837 STANDARD CONSTRUCTION DRAWINGS. FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 200 FIRE HYDRANT, AMERICAN DARLING 4-1/2 MK73 - 5, OR APPROVED EQUAL. PRIVATE HYDRANTS SHALL BE PAINTED SOLID RED. FEATURE ONLY ONE (1)-4-INCH STEAMER NOZZLE AND SHALL OPEN TO THE LEFT (COUNTER-CLOCKWISE). PUBLIC HYDRANTS SHALL BE PAINTED RED FOR THE BONNET / CAPS AND SILVER FOR THE BARREL, FEATURE ONE (1) FOUR-INCH STEAMER NOZZLE PLUS TWO (2) 2.5-INCH HOSE NOZZLES AND SHALL OPEN TO THE LEFT (COUNTER-CLOCKWISE). STORZ CONNECTIONS ARE PROVIDED FOR NEW PUBLIC AND PRIVATE HYDRANTS IN GAHANNA. THE HYDRANT TEE (FOR EITHER PUBLIC OR PRIVATE HYDRANT) IS TO BE A MECHANICAL JOINT SWIVEL TEE.

ALL WATER SERVICES SHALL BE INSTALLED IN ACCORDANCE AS SHOWN ON THE CITY OF COLUMBUS L-9901 STANDARD CONSTRUCTION DRAWING. 2 BOLT FULL STAINLESS STEEL SERVICE SADDLES SHALL BE PROVIDED FOR ALL WATER SERVICE TAPS.

ALL GATE VALVES SHALL BE RESILIENT TYPE MANUFACTURED TO MEET OR EXCEED TO REQUIREMENTS OF AWWA C509 OR AWWA C515.

WATERLINES SHALL BE LAID WITH A MINIMUM OF 4'-0" OF COVER FROM THE FINISHED GRADE TO THE TOP OF THE WATER LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HORIZONTAL AND VERTICAL DEFLECTIONS OR BENDS OF THE WATER LINES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. DEFLECT WATER LINES TO PROVIDE A 1'-6" VERTICAL AND 10'-0" HORIZONTAL CLEARANCE WITH SEWERS UNLESS AS DIRECTED OTHERWISE BY THE ENGINEER.

ALL WATER MAINS SHALL BE TESTED UNDER A MINIMUM HYDROSTATIC TEST OF 150 PSI AND IN ACCORDANCE WITH AWWA C600 AND CITY OF COLUMBUS CMS ITEMS 801.13 AND 801.14. FIRE SERVICE LINES SHALL BE TESTED AT 200 PSI. NO PRESSURE TEST SHALL BE PERFORMED IF THE TEMPERATURE IS BELOW FREEZING.

THE CONTRACTOR SHALL SUBMIT TWO (2) COPIES OF THE PLANS, RESULTS OF THE PRESSURE TEST, COST OF CHLORINATION SHALL BE INCLUDED IN THE PRICE BID FOR THE WATER LINE ITEMS.

NEW, CLEANED AND REPAIRED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651. COPIES OF TESTING RESULTS SHALL BE PROVIDED TO THE CITY.

ALL MECHANICAL JOINTS ARE REQUIRED TO BE MEGALUGGED, CONCRETE BACKING IS STILL REQUIRED. ALL MECHANICAL PIPE DEFLECTIONS ARE REQUIRED TO BE MEGALUGGED, CONCRETE BACKED, AND JOINT RESTRAINTS MAY BE REQUIRED BY THE ENGINEER. COVERING THE NUTS AND BOLTS OF JOINT HARDWARE WITH CONCRETE BACKING SHALL NOT PERMITTED UNDER ANY CIRCUMSTANCES. THIS REQUIREMENT TAKES PRECEDENCE OVER CITY OF COLUMBUS STANDARD DETAILS. 1 FULL STRIP OF PIPE (20') IS TO BE LAID BEFORE THE PLUG.

ALL VALVES, TEES, HYDRANTS, FITTINGS AND SERVICE CONNECTIONS ON CITY-OWNED WATER LINES ARE TO BE LOCATED PRIOR TO BACKFILL USING NORTHING, EASTING AND ELEVATION COORDINATES. ALL NORTHING AND EASTING COORDINATES SHALL BE ACCURATE 1'0 WITHIN 1.0 FOOT. ALL ELEVATIONS SHALL BE ACCURATE TO WITHIN A TENTH OF A FOOT (0.1). ALL OF THIS FIELD SURVEY WORK IS THE RESPONSIBILITY OF THE DEVELOPER AND SHALL BE USED TO PRODUCE AS-BUILT DRAWINGS.

THE WATER LINE AND SEWER LINE TRENCH UNDER THE INFLUENCE OF PAVEMENT ARE TO BE COMPACTION TESTED.

INSTALL COPPERHEADS OR EQUAL 12-GAUGE HIGH STRENGTH 452LB BREAK STRENGTH 30 MIL HDPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY TRENCHING METHODS.

INSTALL COPPERHEADS OR EQUAL 12-GAUGE EXTRA HIGH STRENGTH 1150LB BREAK STRENGTH 45 MIL HDPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY BORING METHODS.

FASTEN WIRE TO PIPE IN TWO PLACES PER PIPE SECTION. EXTEND TRACER WIRE TO GROUND SURFACE AT ALL VALVES AND HYDRANTS. SPlice WIRES USING BURNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMPLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.

CONNECT ALL SERVICE LINE WIRES TO MAIN LINE WIRES USING BURNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMPLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE TO TEST. TESTER SHALL SEND A SIGNED REPORT TO CITY OF GAHANNA AFFIRMING ALL WIRE HAS CONTINUITY. CONTRACTOR SHALL REPAIR ALL DEFICIENCIES.

SANITARY SEWER NOTES:

ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.

SERVICE RISERS, ITEM 914, SHALL BE INSTALLED WHERE DEPTHS FROM THE WYES TO THE EXISTING OR PROPOSED ELEVATIONS EXCEED 10'. THE TOPS OF RISERS SHALL BE NO MORE THAN 49' BELOW THE EXISTING OR PROPOSED SURFACE ELEVATION, WHICHEVER IS HIGHER.

A MINIMUM VERTICAL CLEARANCE OF 1.5 FEET SHALL BE PROVIDED BETWEEN THE PROPOSED SANITARY SERVICE AND EXISTING UTILITIES OR STRUCTURES UNLESS AS DIRECTED OTHERWISE BY THE ENGINEER.

ALL PVC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION IN CONFORMANCE WITH THE REQUIREMENTS OF ITEM 901 OF THE CITY OF COLUMBUS, CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT VERSION.

ALL SANITARY SEWER AND SANITARY SERVICES ARE TO BE MANDREL TESTED, AIR TESTED, CLEANED AND CAMERA INSPECTED.

ALL SANITARY MANHOLES ARE REQUIRED TO PASS A VACUUM TEST PER CITY OF COLUMBUS ITEM 901.20 AND ASTM-C-1244.

PIPE FOR ALL 6" SANITARY SERVICES SHALL BE PVC SEWER PIPE ASTM D-3034, SDR-35. THE SERVICES SHALL BE FIELD TESTED BY THE INFILTRATION, EXFILTRATION OR AIR TEST.

ALL PIPES SHALL BE LAID WITH TYPE 1 GRANULAR MATERIAL BEDDING AND BACKFILL AS SHOWN ON STANDARD CONSTRUCTION CITY OF COLUMBUS AA-S151. INSTALLATION SHALL CONFORM TO CMS SECTION 900.

STORM SEWER NOTES:

ANY PLACEMENT OF STORM SEWERS BENEATH EXISTING OR PROPOSED PAVEMENT SHALL BE BACKFILLED IN ACCORDANCE WITH COLUMBUS CMS ITEM 912, COMPACTED GRANULAR BACKFILL.

ALL PIPES SHALL BE LAID WITH TYPE 1 GRANULAR MATERIAL BEDDING AND BACKFILL AS SHOWN ON STANDARD CONSTRUCTION CITY OF COLUMBUS AA-S151. INSTALLATION SHALL CONFORM TO CMS SECTION 900.

ALL CONCRETE PIPE AND STORM SEWER STRUCTURES SHALL BE STAMPED OR HAVE SUCH IDENTIFICATION NOTING THAT SAID PIPE AND/OR STORM STRUCTURES HAVE BEEN INSPECTED BY THE CITY OF COLUMBUS AND MEETS THEIR SPECIFICATIONS. PIPE AND STRUCTURES WITHOUT PROPER IDENTIFICATION WILL NOT BE PERMITTED FOR INSTALLATION.

ALL CURB INLETS AND MANHOLES SHALL BE CHanneled AS DIRECTED. THE COST FOR THIS WORK IS TO BE INCLUDED IN THE PRICE BID FOR VARIOUS STORM SEWER ITEMS.

IN CASE OF CONFLICT IN GRADE BETWEEN WATER LINES AND STORM SEWERS, THE WATER LINES SHALL BE LOWERED DURING CONSTRUCTION UNLESS AS DIRECTED OTHERWISE BY THE ENGINEER.

ALL STORM SEWER IS TO BE MANDREL TESTED, CLEANED AND CAMERA INSPECTED..

MAINTENANCE OF TRAFFIC:

ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD) FOR CONSTRUCTION AND MAINTENANCE OPERATIONS. ALL DEVICES SHALL MEET FP-85 REFLECTANCE STANDARDS AND IN FULL COMPLIANCE WITH "QUALITY STANDARDS FOR WORK ZONE TRAFFIC CONTROL DEVICES" PUBLISHED BY ATTSSA. ALL TRAFFIC CONTROL DEVICES MUST MEET NCHRP 350.

STEADY BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT. ALL SIGNS, NINE SQUARE FEET (36" X 36") AND OVER SHALL HAVE YELLOW TYPE "A" LOW INTENSITY FLASHING WARNING LIGHTS AND THREE FLAGS. CONES ARE NOT APPROVED FOR USE AT NIGHT.

THE ROADWAY SHALL NOT BE OPENED TO TRAFFIC UNTIL PERMANENT TRAFFIC CONTROLS ARE IN PLACE OR UNTIL TEMPORARY TRAFFIC CONTROLS APPROVED BY THE INSPECTOR ARE INSTALLED. THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE PREMATURE REMOVAL OF TEMPORARY TRAFFIC CONTROLS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REINSTALLATION AND/OR REPLACEMENT OF ALL PERMANENT TRAFFIC CONTROL DEVICES DAMAGED OR REMOVED DURING THE CONSTRUCTION. PERMANENT TRAFFIC CONTROLS NO LONGER IN CONFLICT WITH TEMPORARY TRAFFIC CONTROLS SHALL BE REPLACED IMMEDIATELY.

ALL PERMANENT TRAFFIC CONTROLS NOT IN CONFLICT WITH THE TEMPORARY TRAFFIC CONTROLS SHALL BE MAINTAINED THROUGHOUT THE PROJECT BY THE CONTRACTOR. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR MISSING, DAMAGED, AND IMPROPERLY PLACED TRAFFIC CONTROL DEVICES.

ALL TRENCHES WITHIN THE ROAD RIGHT-OF-WAY SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL LANES SHALL BE FULLY OPEN TO TRAFFIC ON ALL PUBLIC STREETS AND ALLEYS UNLESS OTHERWISE APPROVED BY THE CITY OF GAHANNA.

ANY WORK DONE BY THE CITY INCLUDING INSTALLATION, RELOCATION, REMOVAL AND/OR REPLACEMENT OF PERMANENT TRAFFIC CONTROL DEVICES AS A RESULT OF WORK DONE BY THE CONTRACTOR OR AS A RESULT OF THE NEGLIGENCE OF THE CONTRACTOR SHALL BE AT THE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFE MOVEMENT OF PEDESTRIANS THROUGH, AROUND AND AWAY FROM THE CONSTRUCTION SITE AS DESIGNATED IN SECTION 60.01 OF THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD).

THE SAFETY OF PEDESTRIAN TRAFFIC SHALL BE CONSIDERED AT ALL TIMES IN THE PROVISION OF TRAFFIC CONTROL DEVICES REQUIRED BY THESE PLANS AND NOTES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE LIGHTS, SIGNS, BARRICADES AND OTHER WARNINGS TO PHYSICALLY SEPARATE THE PEDESTRIAN FROM HAZARDS INCIDENTAL TO THE CONSTRUCTION OPERATIONS SUCH AS OPEN EXCAVATIONS, ETC.

STREET LIGHT NOTES:

LED REQUIREMENTS

A. CORRELATED COLOR TEMPERATURE (CCT) 3000K. ACCEPTABLE LM80 TEST RESULTS SHALL BE PROVIDED.

B. COLOR RENDERING INDEX (CRI) MINIMUM 70

C. OPERATING ENVIRONMENT, AMBIENT -40°C TO +40°C (-40°F TO +104°F)

D. VOLTAGE 480V OR 120V (THE CITY OF GAHANNA USES A 480V OR 120V DISTRIBUTION SYSTEM)

E. COOLING SYSTEM PASSIVE HEAT SINK WITH NO FANS, PUMPS, OR LIQUIDS, AND SHALL BE RESISTANT TO DEBRIS BUILD UP THAT DOES NOT DEGRADE HEAT DISSIPATION PERFORMANCE.

APPLICATION

DESIGNER NOTE:

THE LED COBRA HEAD LUMINAIRE MAY BE USED FOR:

1) NEW INSTALLATION OF COBRA HEAD LUMINAIRES ON NEWLY PLACED SUPPORTS WHOSE SPACING HAS BEEN DESIGNED SPECIFICALLY FOR THE LUMINAIRE. STREET LIGHT DESIGNS USING PHOTOMETRIC SOFTWARE ARE REQUIRED FOR EACH LUMINAIRE. THE DESIGNER SHALL COMPLY WITH IESNA RP-08 (LATEST VERSION).

2) REPLACING EXISTING HID LUMINAIRES ON EXISTING POLES WHERE SPACING REMAINS UNCHANGED.

HOUSING

THE HOUSING SHALL BE CONSTRUCTED OF DIE-CAST ALUMINUM AND BE RUST RESISTANT. PAINT FINISH SHALL BE POWDER-COATED GRAY OR AS DIRECTED BY THE CITY OF GAHANNA. THE PAINT FINISH SHALL EXCEED A RATING OF SIX PER ASTM D 1654 AFTER 1000 HOURS OF TESTING PER B117. PAINTED OR FINISHED LUMINAIRE COMPONENTS EXPOSED TO THE ENVIRONMENT SHALL EXHIBIT NO GREATER THAN 30% REDUCTION OF GLOSS PER ASTM D523, AFTER 500 HOURS OF UV TESTING AT ASTM G154 CYCLE 6. LUMINAIRE HOUSING SHALL ALLOW TOOL-LESS ENTRY. ALL SCREWS SHALL BE STAINLESS STEEL. NO PARTS SHALL BE CONSTRUCTED OF POLYCARBONATES. LUMINAIRE HOUSING SHALL BE PROVIDED WITH AN INTERNAL LEVEL BUBBLE TO AID IN INSTALLATION. LUMINAIRE DOOR SHALL BE SECURELY HINGED AND INCAPABLE OF INVOLUNTARY SEPARATION FROM HOUSING. LUMINAIRE SHALL BE ATTACHED BY MEANS OF A SLIP-FITTER CONNECTION TO A 2.0" IPS BRACKET. THE SLIP-FITTER SHALL INCLUDE MEANS FOR SECURELY ATTACHING THE LUMINAIRE AND SHALL ALSO PROVIDE FOR TILT ADJUSTMENTS 5ø ABOVE AND BELOW HORIZONTAL. THE SLIP-FITTER SHOULD BE TOTALLY ENCLOSED IN LUMINAIRE HOUSING. THE HOUSING SHALL BE EQUIPPED WITH A LATCHING ACCESS DOOR ASSEMBLY. THE LUMINIRE SHALL HAVE LESS THAN THE CONCENTRATION VALUES OF THE FOLLOWING RoHS RESTRICTED SUBSTANCES: MERCURY, CADMIUM, CHROMIUM VI, POLYBROMINATED BIPHENYL, POLYBROMINATED BIPHENYL ETHER, AND LEAD.

LED POWER SUPPLY / DRIVER

A) POWER FACTOR, MINIMUM 0.90

B) DRIVER OUTPUT CURRENT, mA VARIABLE

C) DIMMING SIGNAL, CONTROL RANGE, VDC 0 TO 10

D) SURGE PROTECTION DEVICE SHALL COMPLY WITH ANSI C136.37, ANSI/IEEE C62.41.2. EACH SURGE PROTECTION DEVICE SHALL BE INTERNALLY MOUNTED INSIDE HOUSING AND SPECIFIED FOR 480V OR 120V OPERATION WITH A MINIMUM 10 KV/10KA SURGE PROTECTION. THE SURGE PROTECTION DEVICE SHALL BE A UL 1449 3RD EDITION TYPE 4 RECOGNIZED COMPONENT FOR USE IN TYPE 2 LOCATIONS.

E) LED DRIVER SHALL BE MOUNTED INSIDE THE HOUSING, REPLACEABLE, AND SHALL BE PRE-WIRED TO 480V OR 120V READY FOR INSTALLATION. DRIVER AND LED ARRAYS SHALL BE DESIGNED FOR MULTI-CURRENT INPUT OPERATIONS WITH 0-10V DRIVER ADJUSTABLE OUTPUT. THE LED DRIVER SHALL COMPLY WITH FCC RULES AND REGULATIONS. TITLE 47 CFR PART 15 NON-CONSUMER (CLASS A). LED DRIVER SHALL TOLERATE SUSTAINED OPEN CIRCUIT AND SHORT CIRCUIT OUTPUT CONDITIONS WITHOUT DAMAGE. LED DRIVER SHALL HAVE AN INDEPENDENTLY VERIFIED AND DOCUMENTED FAILURE RATE OF <0.01% PER 1000 HOURS. WIRING INSIDE THE HOUSING SHALL COMPLY WITH 600V/105øC RATING OR HIGHER. THE LED DRIVER SHALL HAVE A "CLASS A" SOUND RATING. POWER SUPPLY/DRIVER SHALL BE UL RECOGNIZED FOR DRY AND DAMP LOCATIONS. ALL OTHER ELECTRICAL COMPONENTS SHALL BE UL LISTED OR RECOGNIZED FOR WET LOCATIONS. OUTPUT OPERATING FREQUENCY MUST BE > 120HZ AND INPUT OPERATING FREQUENCY OF 60 HZ. THE LED DRIVER SHALL BE RoHS COMPLIANT.

LED MODULE / ARRAY REQUIREMENTS

LED MODULE(S)/ARRAY(S) SHALL DELIVER A MINIMUM OF 70% OF INITIAL LUMENS WHEN INSTALLED FOR 100,000 HOURS AND MEET L70 STANDARDS. LIGHTING DISTRIBUTION SHALL BE IN ACCORDANCE WITH IESNA LIGHTING DISTRIBUTIONS.

7-PIN PHOTO-ELECTRIC RECEPTACLE

THE LUMINAIRE SHALL BE FURNISHED WITH A 7-PIN PHOTO-ELECTRIC RECEPTACLE INSTALLED IN THE TOP OF THE LUMINAIRE HOUSING. THE RECEPTACLE SHALL BE TWIST LOCK TYPE, AND HAVE THE CAPABILITY TO BE DIRECTIONALLY ADJUSTED. THE 7-PIN PHOTO-ELECTRIC RECEPTACLE SHALL BE SUITABLE FOR OPERATION WITH LED LUMINAIRES, AND CONFORM TO ANSI DESIGN STANDARD C136.10. THE PHOTO-ELECTRIC SOCKET SHALL ACCOMMODATE DIMMING AND/OR AUTOMATION INTEGRATION.

7-PIN LONG LIFE PHOTO CONTROL (AS REQUIRED BY THE ENGINEER)

THE LUMINAIRE SHALL BE SUPPLIED WITH A "LONG LIFE" PHOTO CONTROL THAT SHALL BE SOLID STATE, AND SUITABLE FOR OPERATION WITH 7-PIN PHOTO CONTROL RECEPTACLES AND LED LUMINAIRES. THE PHOTO CONTROL SHALL HAVE A MINIMUM DESIGN LIFE OF 20 YEARS

SHORTING CAP FOR 7-PIN LED PHOTO-ELECTRIC RECEPTACLE (480 VOLT LUMINAIRE ONLY)

THE LUMINAIRE SHALL BE SUPPLIED WITH A SHORTING CAP SUITABLE FOR OPERATION WITH A 7-PIN LED PHOTO-ELECTRIC RECEPTACLE. THE SHORTING CAP SHALL CONTAIN A GASKET AROUND THE OUTER PERIMETER OF THE CAP FOR PROPER SEALING AGAINST DEBRIS. THE SHORTING CAP SHALL MEET OR EXCEED ANSI DESIGN STANDARD ANSI C136.10

TESTING/CERTIFICATION/STANDARDS/RECOMMENDED PRACTICE SHALL COMPLY WITH CITY OF COLUMBUS STANDARD DRAWING MIS-197.

WARRANTY

THE WARRANTY SHALL PROVIDE FOR THE FULL REPLACEMENT OF THE ENTIRE LUMINAIRE ASSEMBLY, WHICH INCLUDES THE POWER SUPPLIES/DRIVER, DEFECTIVE ELECTRICAL AND NON-ELECTRICAL PARTS, AND LIGHT SOURCE FOR A

GENERAL NOTES

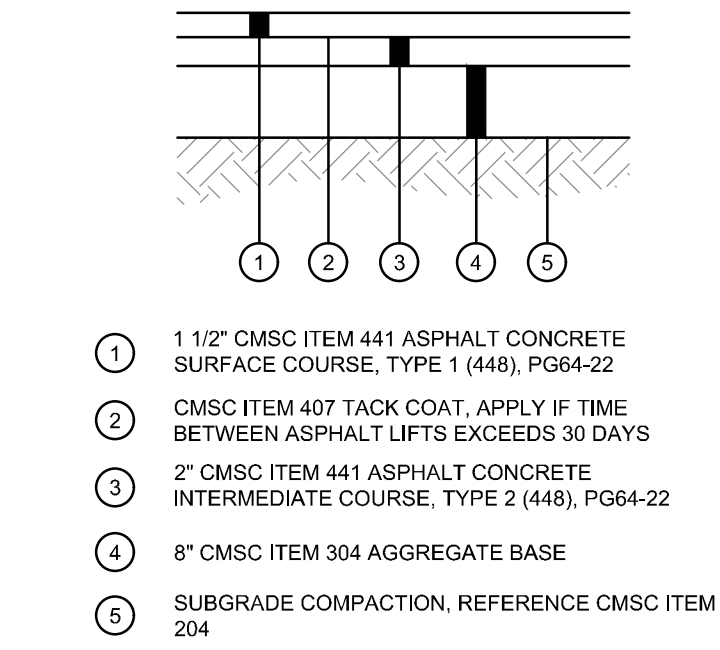
- THE CITY OF COLUMBUS (CMS), AND THE CURRENT EDITION OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS (ODOT CMS), INCLUDING ALL SUPPLEMENTS, SHALL GOVERN ALL MATERIALS AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THIS PLAN. IGNORE REFERENCES TO MEASUREMENT AND PAYMENT IN THE ODOT CMS UNLESS NOTED OTHERWISE. IN THE CASE OF CONFLICTS BETWEEN THE ODOT CMS AND THE CITY OF COLUMBUS REQUIREMENTS, THE CITY OF COLUMBUS REQUIREMENTS SHALL PREVAIL.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL CALL, TOLL FREE, THE OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 48 HOURS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES WHO ARE NON-MEMBERS OF THE OHIO UTILITIES PROTECTION SERVICE AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND LINES.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
- THE CONTRACTOR IS TO PERFORM ALL INSPECTIONS AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND FURNISH OWNERS REPRESENTATIVE WITH WRITTEN REPORTS.
- THE CONTRACTOR IS REQUIRED TO VISIT THE SITE AND FULLY INFORM HIMSELF CONCERNING ALL CONDITIONS AFFECTING THE SCOPE OF THE WORK. FAILURE TO VISIT THE SITE SHALL NOT RELIEVE HIM FROM ANY RESPONSIBILITY IN THE PERFORMANCE OF THE CONTRACT.
- NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR EXPENSES INCURRED DUE TO SOIL CONDITIONS, GROUNDWATER, AND/OR ROCK EXCAVATION, ALL OF THESE ITEMS SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE COST OF ALL DEWATERING REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE DIRECT OR INDIRECT DISCHARGE OR PUMPING OF UNFILTERED SEDIMENT-LADEN WATER INTO THE STORM DRAINAGE SYSTEM OR WATERCOURSE IS ILLEGAL AND PROHIBITED.
- ANY WELL, WELL POINT, PIT, OR OTHER DEVICE INSTALLED FOR THE PURPOSE OF LOWERING THE GROUND WATER TO FACILITATE CONSTRUCTION OF THIS PROJECT SHALL BE PROPERLY ABANDONED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 3746-9-10 OF THE OHIO ADMINISTRATIVE CODE OR IN ACCORDANCE WITH THE PROVISIONS OF THIS PLAN AS DIRECTED BY THE DIRECTOR OF PUBLIC UTILITIES OR HIS REPRESENTATIVE.
- ANY CONTRACTOR INSTALLING ANY WELL, WELL POINT, PIT, OR OTHER DEVICE USED FOR THE PURPOSE OF REMOVING GROUND WATER FROM AN AQUIFER SHALL COMPLETE AND FILE A WELL LOG AND DRILLING REPORT FORM WITH THE OHIO DEPARTMENT OF NATURAL RESOURCES (ODNR), DIVISION OF WATER, WITHIN 30 DAYS OF THE WELL COMPLETION IN ACCORDANCE WITH THE OHIO REVISED CODE SECTION 1521.01 AND 1521.05 IN ADDITION, ANY SUCH FACILITY IS COMPLETED IN ACCORDANCE WITH SECTION 1521.16 OF THE OHIO REVISED CODE, FOR COPIES OF THE NECESSARY WELL LOG, DRILLING REPORT, OR REGISTRATION FORMS, PLEASE CONTACT: DIVISION OF WATER, OHIO DEPARTMENT OF NATURAL RESOURCES, FOUNTAIN SQUARE, COLUMBUS, OHIO 43224, (614)265-6717.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO THE ODNR FOR THE REGISTRY, MAINTENANCE AND ABANDONMENT OF ANY WITHDRAWAL DEVICE USED IN CONSTRUCTION OF THIS PROJECT.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- ALL SITE SIGNAGE, STRIPING COLOR AND WIDTH SHALL BE PER THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL EXISTING PAVEMENTS, WALKS, CURBS, ETC. SHALL BE SAWCUT BEFORE REMOVAL. IF, DURING CONSTRUCTION, THE PAVEMENT, WALKWAY, CURB, ETC. IS DAMAGED BEYOND THE ORIGINAL SAWCUT, THE DAMAGED AREA SHALL BE RECUT TO NEAT LINES AS DIRECTED BY THE ENGINEER. PAYMENT FOR SAWCUTTING SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT TO PROVIDE A SMOOTH VERTICAL FULL DEPTH BUTT JOINT BETWEEN THE EXISTING PAVEMENT OR CURB AND THE PROPOSED PAVEMENT. CONTRACTOR SHALL LOCATE SOUND PAVEMENT EDGE AND CUT AND TRIM PAVEMENT TO A NEAT LINE. INCLUDE THE COST OF PAVEMENT REMOVAL AND DISPOSAL IN THE PRICE BID FOR THE PROJECT.

GRADING NOTES

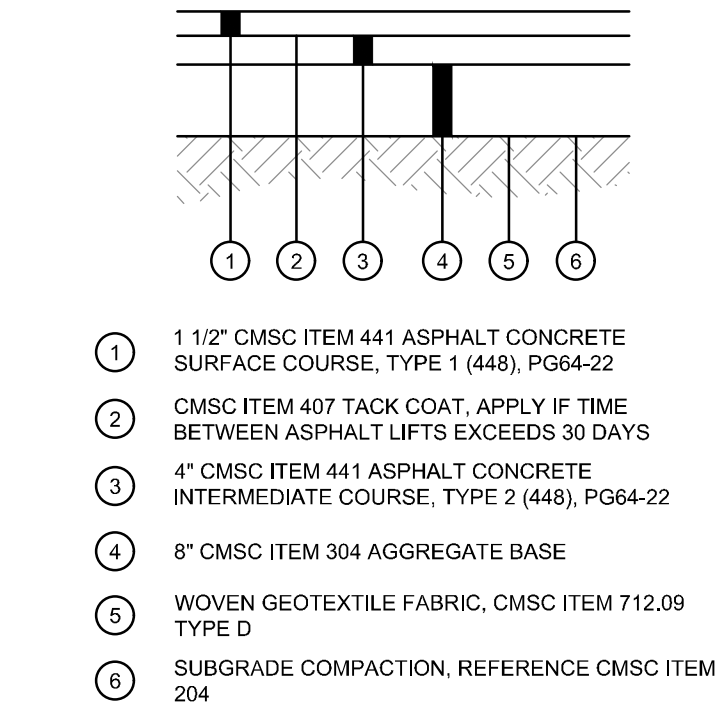
- CONTRACTOR TO REMOVE TREES AND CLEAR AREAS AS NECESSARY TO PERFORM ALL SITE WORK INCLUDING GRADING AND UTILITY WORK.
- PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
- ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
- SITE BUILDING PAD EXCAVATION AND CONSTRUCTION TO BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. BUILDING PAD PREPARATION SHALL BEGIN BY CLEARING & STRIPPING UNSUITABLE MATERIAL FROM PAD SITE. THEN PLACE & COMPACT BACKFILL MATERIAL AT GEOTECHNICAL ENGINEER'S AND ARCHITECT'S RECOMMENDATIONS. ALL BACKFILL MATERIAL MUST BE ACCEPTABLE TO THE GEOTECHNICAL ENGINEER.
- ALL FILL UNDER PAVEMENT SHALL BE COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY IMPORT OR EXPORT OF EARTHWORK REQUIRED TO ACHIEVE THE DESIGN GRADES SHOWN ON THE PLAN. GEOTECHNICAL ENGINEER AND ENGINEER MUST APPROVE AREAS PRIOR TO BURY/BORROW OPERATIONS. AS-BUILT OF BURY/BORROW PIT WILL BE REQUIRED AT COMPLETION OF CONTRACTOR WORK AND MUST BE SUBMITTED TO THE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL PRACTICES REQUIRED BY CITY OF GAHANNA AND THE OHIO EPA.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- CONTRACTOR TO LAYOUT BUILDING BASED ON ARCHITECTURAL/FOUNDATION PLANS. SITE PLAN IS FOR CONCEPTUAL PURPOSES ONLY.

UTILITY NOTES

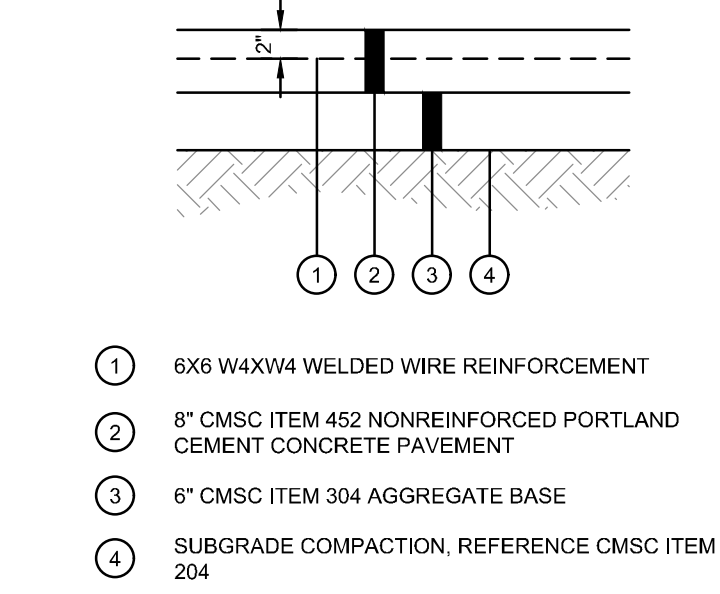
- ALL DRAIN TILE AND STORM SEWERS DAMAGED, DISTURBED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH THE SAME QUALITY PIPE OR BETTER, MAINTAINING THE SAME GRADIENT AS EXISTING. THE DRAIN TILE AND/OR STORM SEWER SHALL BE CONNECTED TO THE CURB SUBDRAIN, STORM SEWER SYSTEM OR OUTLETTED INTO THE ROADWAY DITCH AS APPLICABLE. REPLACED DRAIN TILE/STORM SEWER SHALL BE LAID ON COMPACTED BEDDING EQUAL IN DENSITY TO SURROUNDING STRATUM. REPLACEMENT SHALL BE DONE AT THE TIME OF THE BACKFILL OPERATION. COST OF THIS WORK TO BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- ALL EXISTING UTILITIES KNOWN TO EXIST HAVE BEEN SHOWN ON THESE PLANS IN THEIR APPROXIMATE LOCATION, PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE UTILITIES SHOWN. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE PROTECTION AND/OR RELOCATION OF ANY UTILITIES THAT MAY EXIST AND ARE NOT SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION AND/OR PROTECTION OF ANY UTILITIES AS REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY.
- UTILITY POLES WITHIN INFLUENCE OF THE UTILITY OPERATIONS SHALL BE REINFORCED BY THE UTILITY COMPANY PRIOR TO THESE CONSTRUCTION ACTIVITIES. NOTIFICATION OF THE UTILITY COMPANY PRIOR TO CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- COMPACTED FILLS ARE TO BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO CUTTING OF TRENCHES FOR PLACEMENT OF SAID SEWERS. ALL FILLS SHALL BE CONTROLLED, COMPACTED, AND INSPECTED BY AN APPROVED TESTING LABORATORY OR AN INSPECTOR FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- CONTRACTOR TO REPLACE ANY PAVEMENT OR UTILITIES DAMAGED WHICH ARE NOT SPECIFIED TO BE REMOVED ON THESE PLANS.
- ALL CATCH BASINS PLACED WITHIN THE PAVEMENT SHALL HAVE HEAVY DUTY FRAMES AND GRATES AND CONFORM TO ADA REQUIREMENTS, AND BE BICYCLE SAFE.
- ADJUST ALL EXISTING CASTINGS AND CLEANOUTS WITHIN PROJECT AREA TO GRADE AS REQUIRED.
- ALL CATCH BASINS WITH DEPTH GREATER THAN 6" SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF CMS ITEM 604.
- ALL STORM AND SANITARY SEWER MANHOLES WITH A DEPTH GREATER THAN 6" SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF CMS ITEM 604.
- DISTANCES SHOWN FOR BOTH SANITARY AND STORM SEWER PIPES ARE MEASURED FROM CENTER OF STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL FIELD CUT LENGTH. COORDINATES FOR STORM AND SANITARY STRUCTURES ARE SHOWN TO THE CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- IMMEDIATELY AFTER PLACEMENT OF ANY CONDUITS, THE CONTRACTOR SHALL CONSTRUCT THE END TREATMENTS REQUIRED BY THE PLANS AT BOTH THE OUTLET AND INLET ENDS. THIS SHALL INCLUDE HEADWALLS, CONCRETE, RIP RAP, ROCK CHANNEL PROTECTION, SODDING, POURING BOTTOMS, MUDDING LIFT HOLES, ETC.
- ALL PROPOSED STORM SEWERS, SURFACE OR OTHER DRAINAGE FACILITIES ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER. EROSION CONTROL MEASURES MUST PROVIDE PROTECTION UNTIL COMPLETION OF THE PROJECT AND VEGETATIVE STABILIZATION.
- THE CONTRACTOR IS TO CONSTRUCT CURBS, CATCH BASINS, DOWNSPOUTS, PIPING AND CONNECTIONS ETC. AS REQUIRED TO CONVEY THE ROOF AND PAVED SURFACE DRAINAGE TO THE DETENTION BASIN.
- ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEMS ARE PROHIBITED.
- SITE CONTRACTOR SHALL PICK UP ALL UTILITIES, WITH THE EXCEPTION OF DOWNSPOUTS, 5' OUTSIDE BUILDING WALL. COORDINATE WITH CONSTRUCTION MANAGER.
- ALL STORM STRUCTURES ARE CMS TYPES UNLESS OTHERWISE INDICATED.
- STORM SEWER PIPE LABELED "STM" SHALL BE ONE OF THE FOLLOWING: PVC SDR-35 PER CMS ITEM 720, PVC PROFILE PIPE PER CMS ITEM 720, HIGH DENSITY POLYETHYLENE PER CMS ITEM 720, OR REINFORCED CONCRETE PIPE. CMS ITEM 706.02 CLASS IV. STORM SEWER PIPE LABELED "RCP" SHALL BE REINFORCED CONCRETE PIPE. CMS ITEM 706.02 CLASS IV. ALL STORM IS TO BE INSTALLED PER CMS ITEM 901. ALL STORM PIPE USED MUST HAVE A MANUFACTURER SPECIFIED FRICTION FACTOR OF 0.013 (N=0.013) OR LESS.
- ALL CATCH BASINS IN THE PAVEMENT ARE TO HAVE 4, 4" PERFORATED UNDERDRAINS EXTENDING 10 LF FROM THE CATCH BASIN IN THE UPHILL DIRECTION AND CAPPED. ALL CATCH BASINS IN THE CURB ARE TO HAVE 2, 4" PERFORATED UNDERDRAINS EXTENDING 10 LF FROM THE CATCH BASIN IN THE UPHILL DIRECTION AND CAPPED.
- FOR EXACT LOCATION OF DOWN SPOUTS & ROOF DRAINS, COORDINATE WITH CONSTRUCTION MANAGER. ALL ROOF DRAINS ARE TO BE 8" UNLESS OTHERWISE NOTED.
- ALL YARD DRAINS SHALL BE ONE OF THE FOLLOWING: NYLOPLAST-ADS DRAIN BASIN, NDS DURACAST FABRICATED PVC CATCH BASIN, AGRI-DRAIN CATCH BASIN, OR APPROVED EQUAL.
- ALL EXISTING INVERTS ALONG PROPOSED PIPE ALIGNMENTS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OF THE SEWER.
- ANY FIELD TILE CUT IN EXCAVATION WHICH DRAINS IN AN OFFSITE AREA MUST BE TIED INTO THE STORM DRAINAGE SYSTEM.
- THE FLOW IN ALL SEWERS, DRAINS, FIELD TILES AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND WHENEVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE PROSECUTION OF THE WORK, THEY SHALL BE RESTORED BY THE CONTRACTOR AT HIS OWN EXPENSE TO A CONDITION SATISFACTORY TO THE ENGINEER.



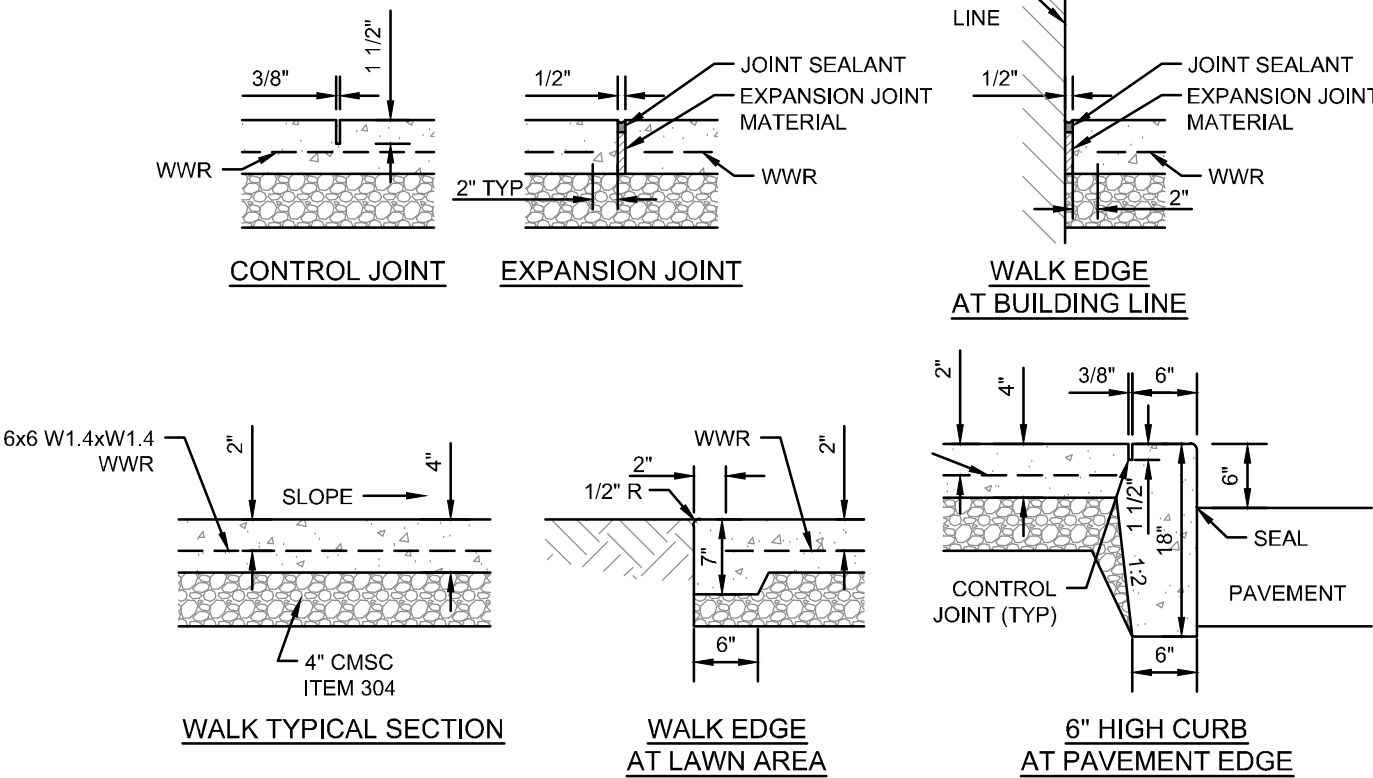
STANDARD DUTY ASPHALT PAVEMENT DETAIL
N.T.S.



HEAVY DUTY ASPHALT PAVEMENT DETAIL
N.T.S.

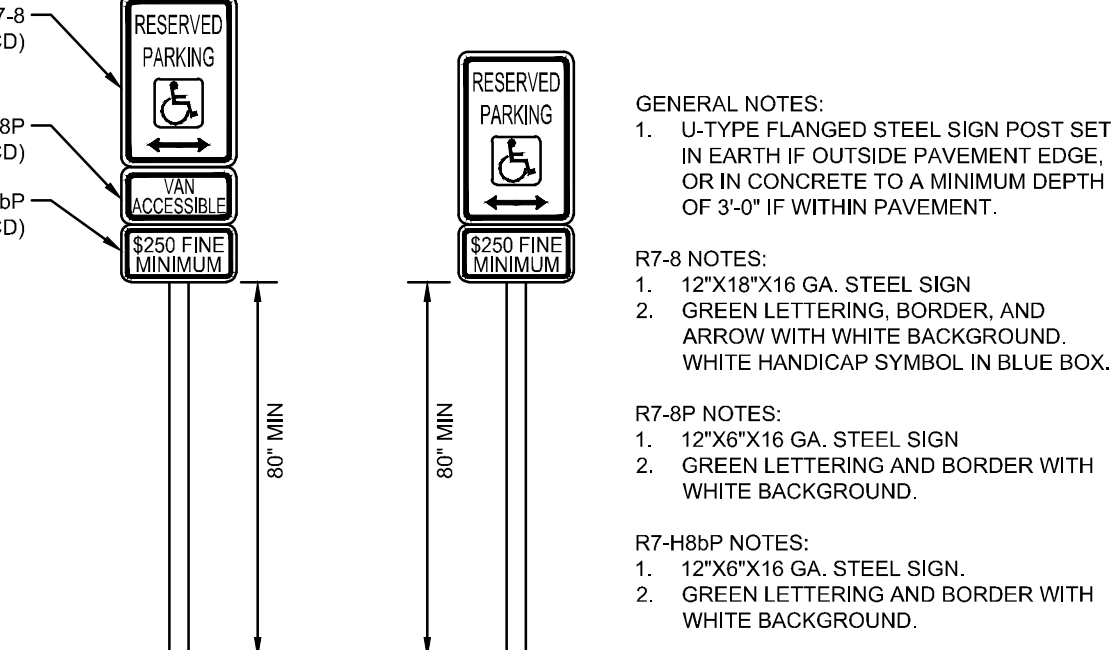


CONCRETE PAVEMENT DETAIL
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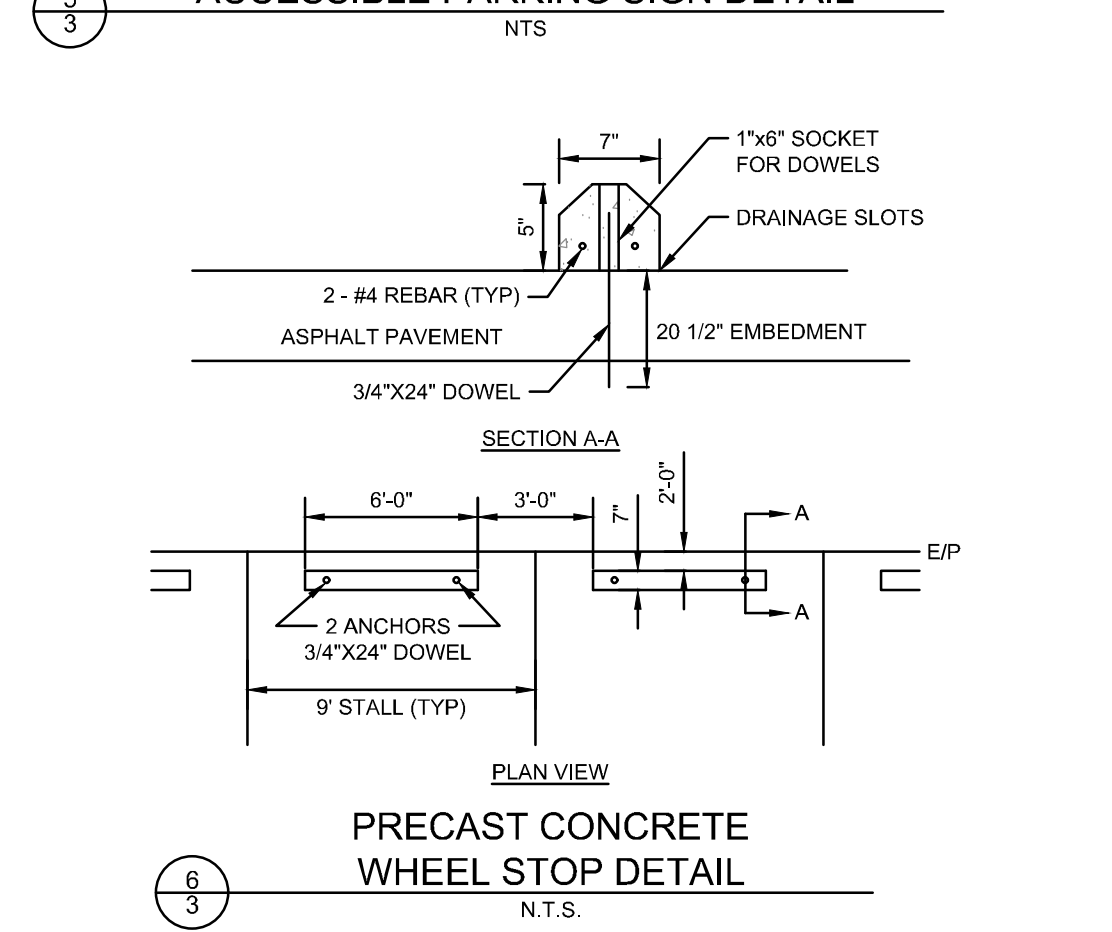


- NOTES:
- THIS DETAIL IS PROVIDED FOR PRIVATE WALKS AND CURBS ON SITE AND OUTSIDE OF THE RIGH-OF-WAY. ALL WALKS AND CURBING WITHIN THE RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF CMS ITEM 608 AND 609 RESPECTIVELY. REFER TO COC STANDARD DRAWINGS 2300 AND 2010.
 - INSTALL EXPANSION JOINTS AT 30' OC MAXIMUM AND WHERE SLAB ABUTS STRUCTURES. WHERE NEW WALK ABUTS ADJOINING WALK, SAWCUT EXISTING WALK TO NEAREST JOINT AND INSTALL EXPANSION JOINT. EXPANSION JOINTS SHALL BE 1/2" WIDE BY DEPTH OF SLAB. SEAL ALL EXPANSION JOINTS.
 - INSTALL CONTROL JOINTS AT 6' OC MAXIMUM. CONTROL JOINTS SHALL BE 3/8" WIDE BY 1 1/2" DEEP AND TOOLED. SAWED JOINTS ARE NOT PERMITTED.
 - WALK SHALL HAVE A MINIMUM CROSS SLOPE OF 1.00%, MAXIMUM CROSS SLOPE OF 1.56%.
 - WATER AND UTILITY BOXES IN THE WALK AREA SHALL BE ADJUSTED FLUSH WITH THE FINAL SURFACE.
 - REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAIL AT ALL BUILDING DOORS.
 - JOINTING PLANS MUST BE SUBMITTED FOR APPROVAL.

EXTERIOR CONCRETE SLAB WALK DETAIL
N.T.S.



ACCESSIBLE PARKING SIGN DETAIL
NTS



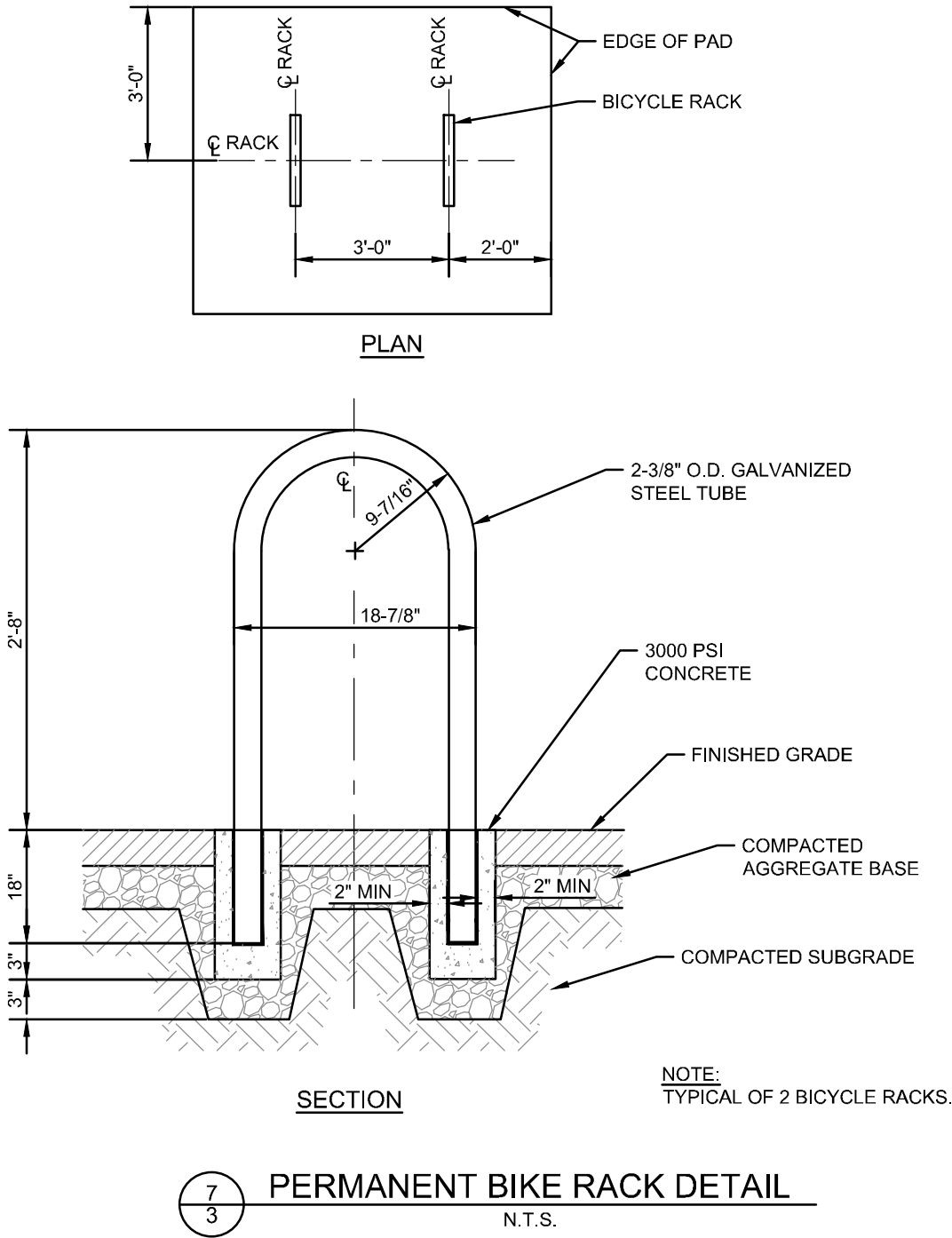
PRECAST CONCRETE WHEEL STOP DETAIL
N.T.S.

ESTIMATE OF QUANTITIES:

ITEM	QUANTITY	UNIT	STORM SEWER
604	1	EA	CATCH BASIN (AA-S133A)
604	3	EA	CATCH BASIN (AA-S133B)
604	2	EA	PRECAST REINFORCED CONCRETE OUTLET (AA-S169)
604	2	EA	CATCH BASIN RECONSTRUCTED TO GRADE
901	5	LF	12" STORM PIPE WITH TYPE 1 BEDDING, 911 BACKFILL
901	40	LF	15" STORM PIPE WITH TYPE 1 BEDDING, 911 BACKFILL
901	59	LF	15" STORM PIPE WITH TYPE 1 BEDDING, 912 BACKFILL
901	22	LF	18" STORM PIPE WITH TYPE 1 BEDDING, 911 BACKFILL
901	150	LF	18" STORM PIPE WITH TYPE 1 BEDDING, 912 BACKFILL
901	99	LF	18" RCP CLASS IV WITH TYPE 1 BEDDING, 912 BACKFILL
ITEM	QUANTITY	UNIT	EROSION & SEDIMENT CONTROL
207	850	LF	SILT FENCE
207	4	EA	DANDY BAG INLET PROTECTION
207	1	EA	CHECK DAM
604	2	CY	ROCK CHANNEL PROTECTION TYPE C
604	1	EA	DESIGNATED CONCRETE WASHOUT AREA
ITEM	QUANTITY	UNIT	SANITARY SEWER
901	150	LF	6" SANITARY PIPE WITH TYPE 1 BEDDING, 911 BACKFILL
901	58	LF	6" SANITARY PIPE WITH TYPE 1 BEDDING, 912 BACKFILL
915	3	EA	CLEAN-OUT
ITEM	QUANTITY	UNIT	WATER
805	190	LF	3/4" PIPE
805	1	EA	CURB BOX
ITEM	QUANTITY	UNIT	RIGHT-OF-WAY
304	1	CY	AGGREGATE BASE
608	28	SF	CONCRETE WALK

NOTE:

QUANTITIES PROVIDED HERE ARE FOR CALCULATION OF INSPECTION FEES. THE CONTRACTOR IS DIRECTED TO VERIFY ALL QUANTITIES PRIOR TO PREPARING AND SUBMITTING THEIR BID. ANY ITEMS OF WORK CALLED FOR ON THE PLANS FOR WHICH NO SPECIFIC METHOD OF PAYMENT IS INDICED SHALL BE PERFORMED BY THE CONTRACTOR AND THE COST OF SUCH WORK BE INCLUDED IN THE PRICE BID FOR THE PROJECT.



PERMANENT BIKE RACK DETAIL
N.T.S.



PROJECT NO: 231165.012

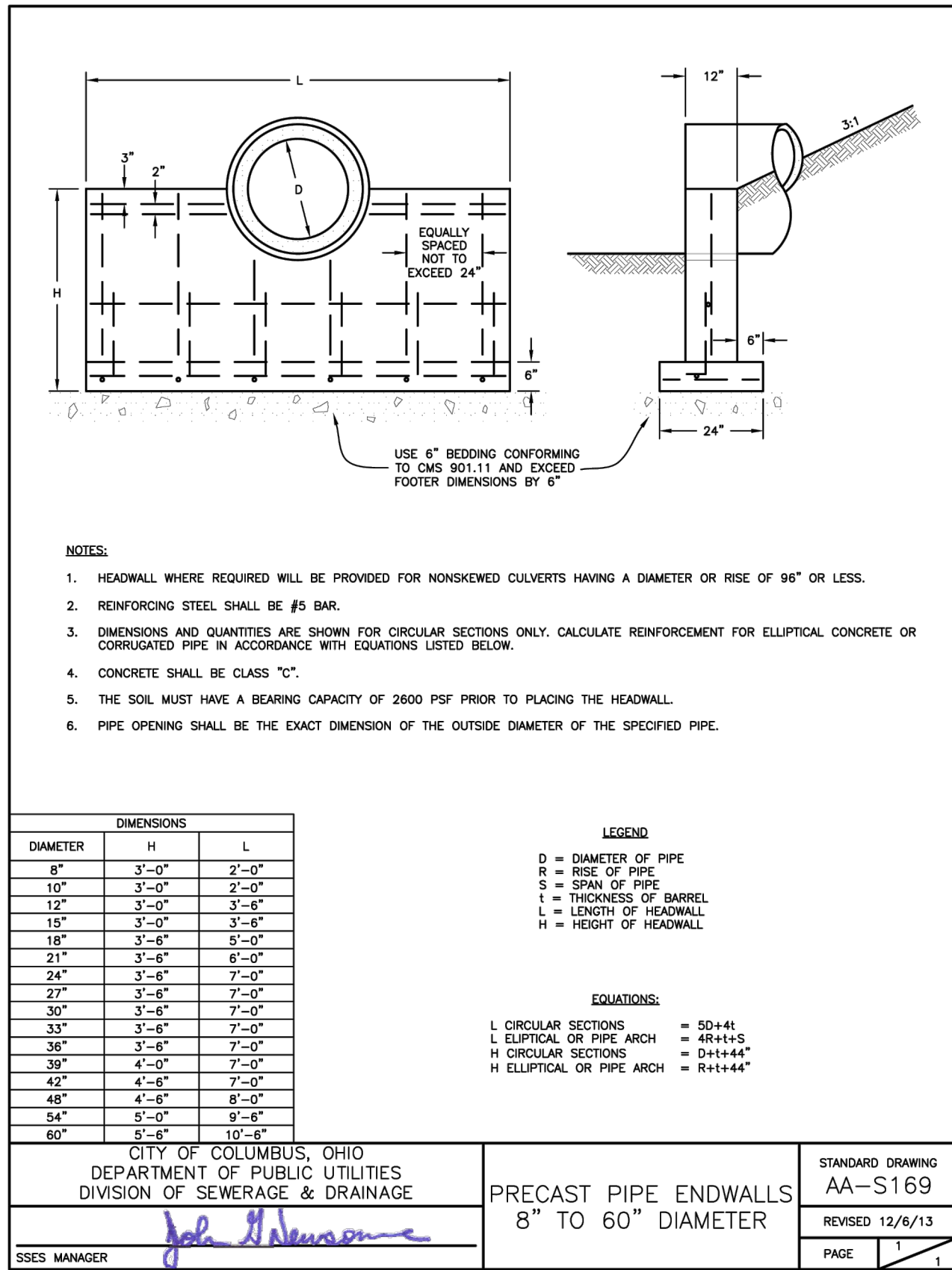
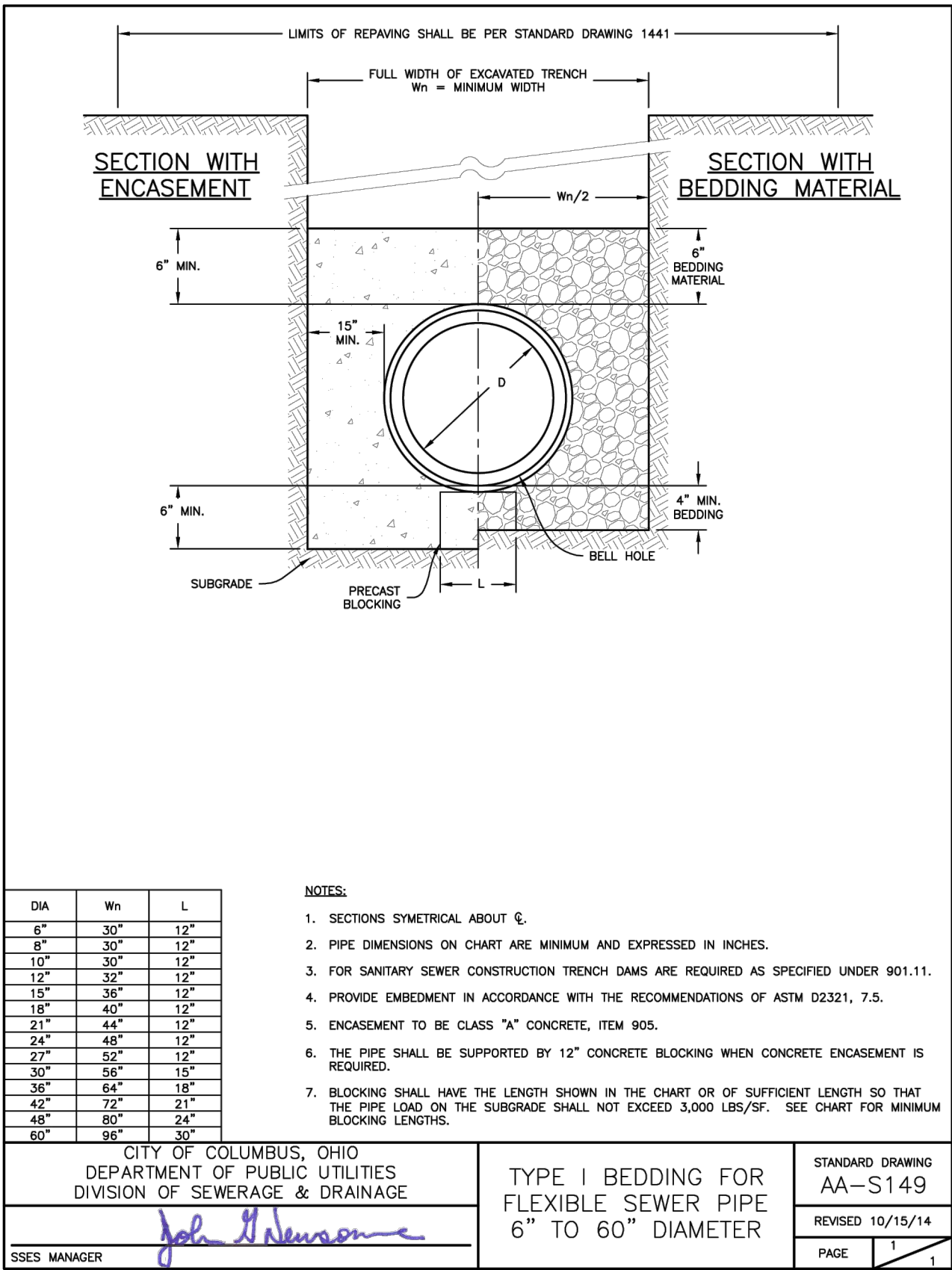
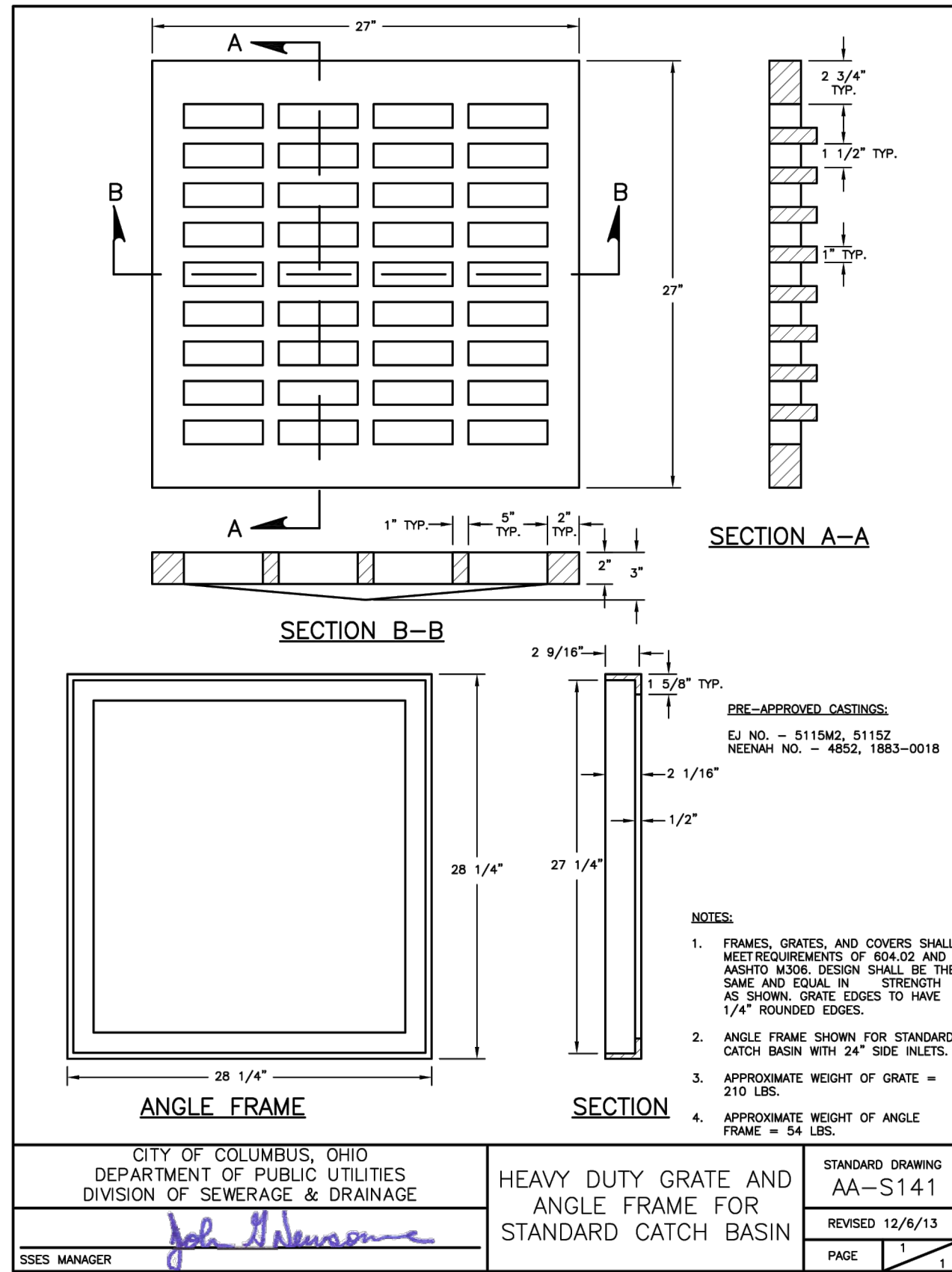
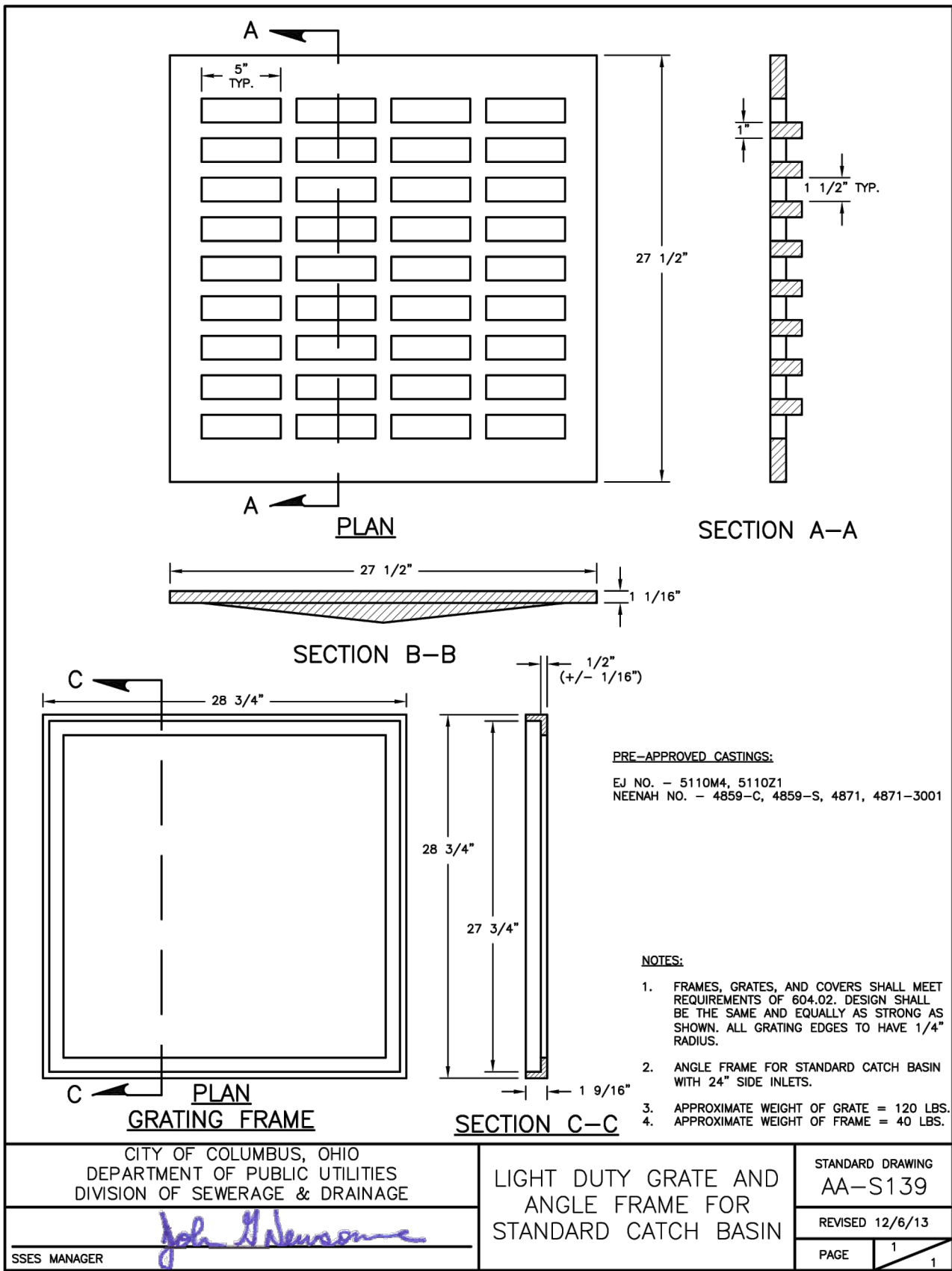
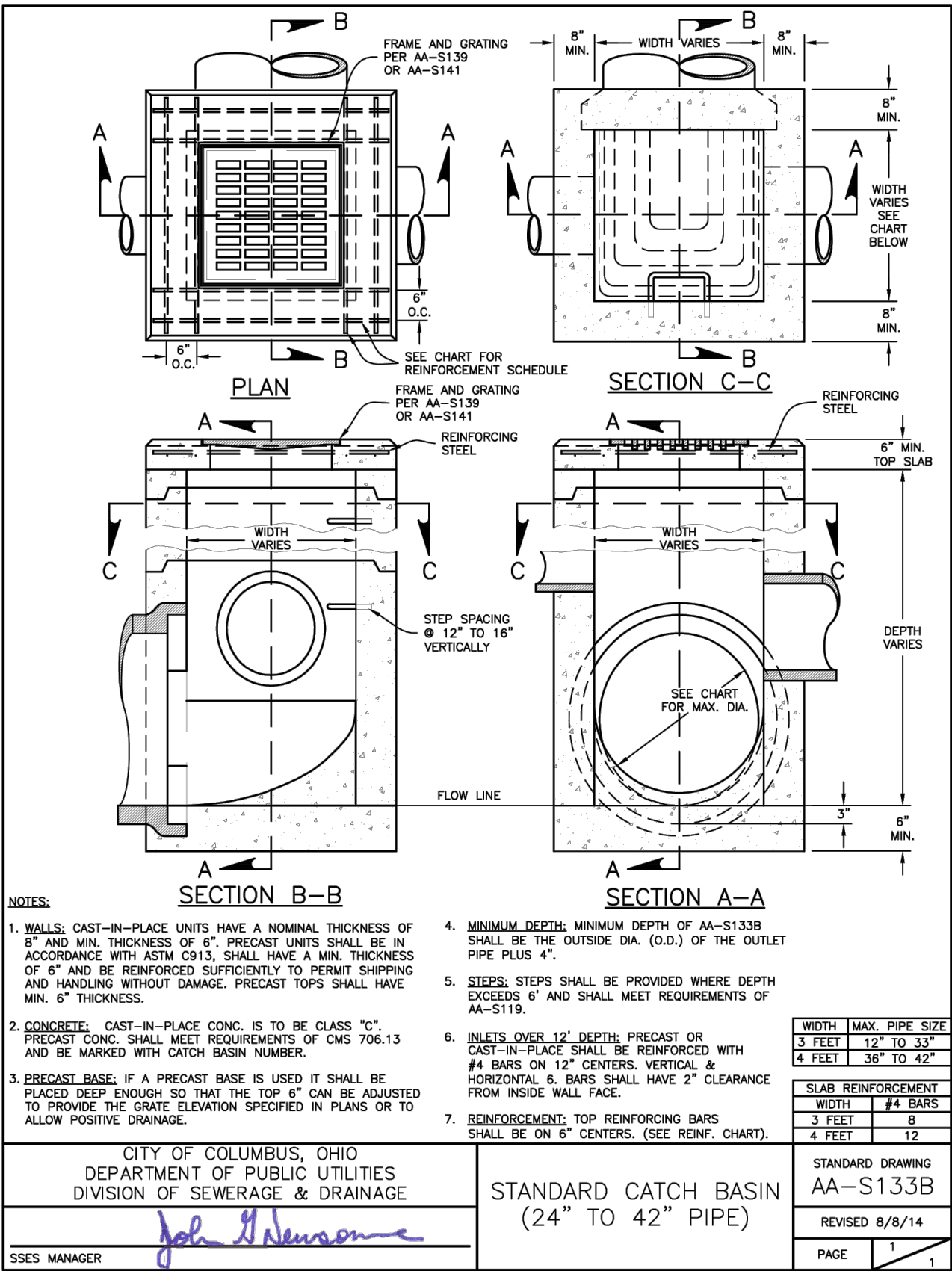
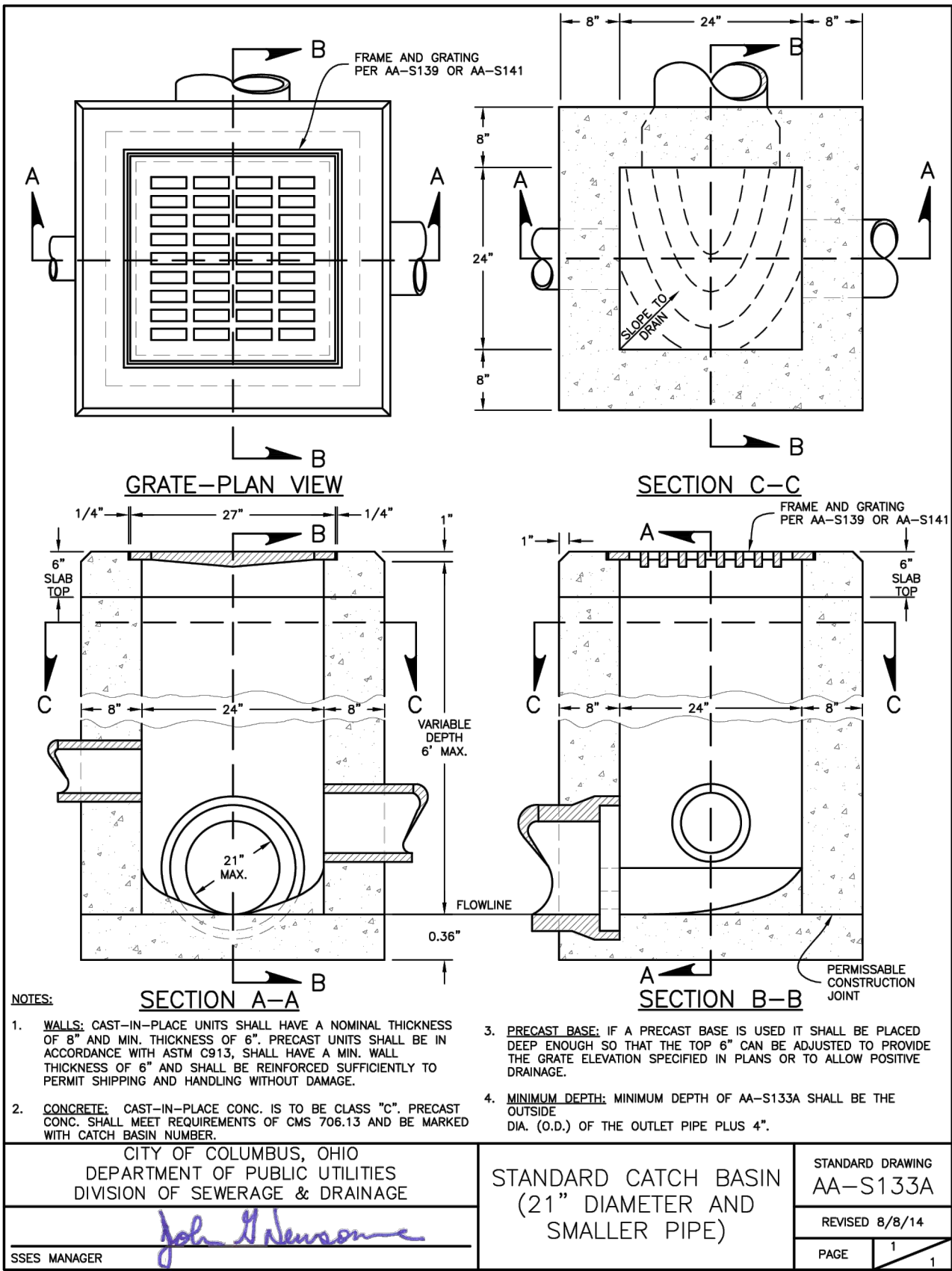
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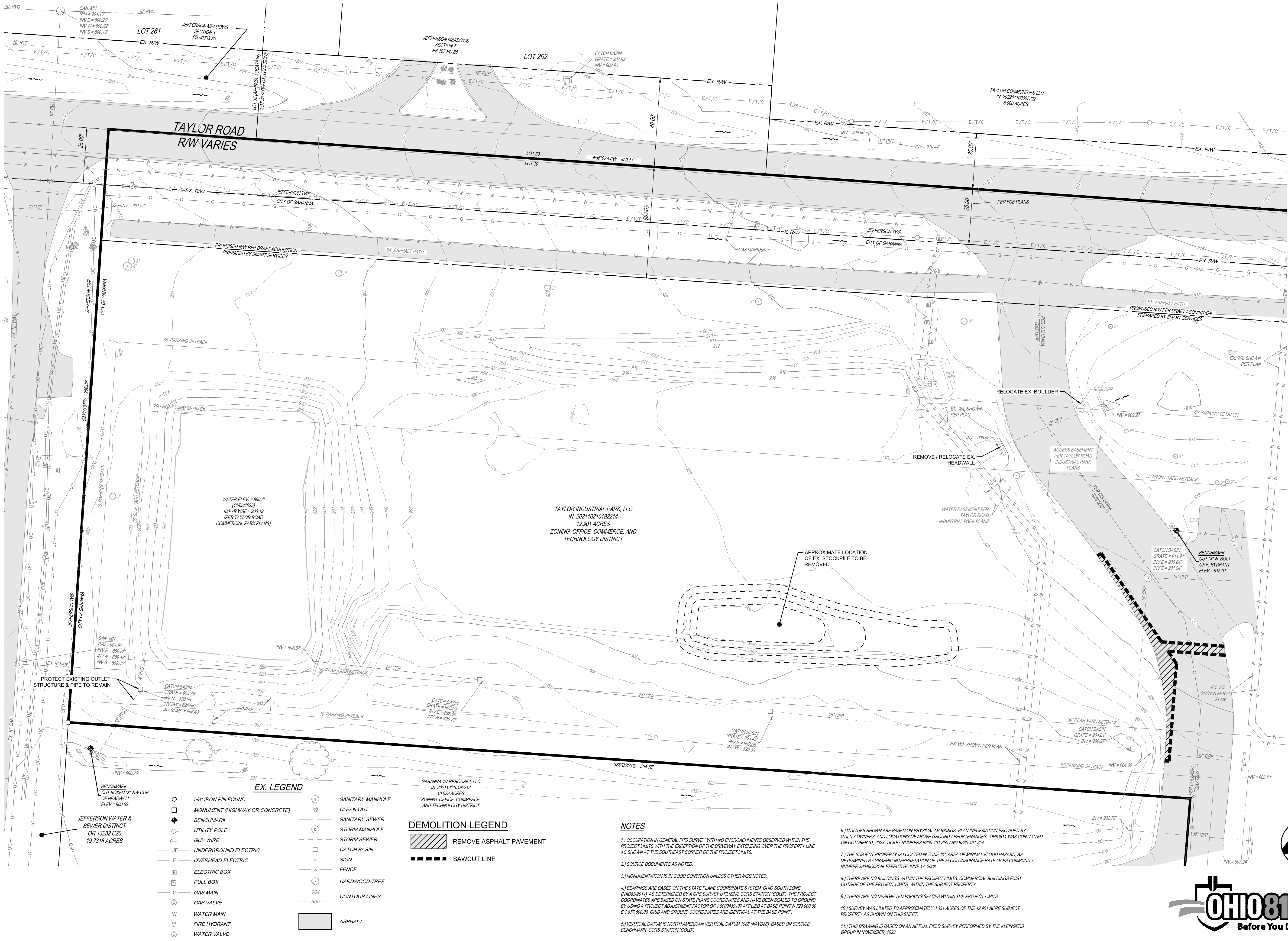
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SHEET NAME: GENERAL NOTES, DETAILS & ESTIMATE OF QUANTITIES

SHEET NO. 3/13

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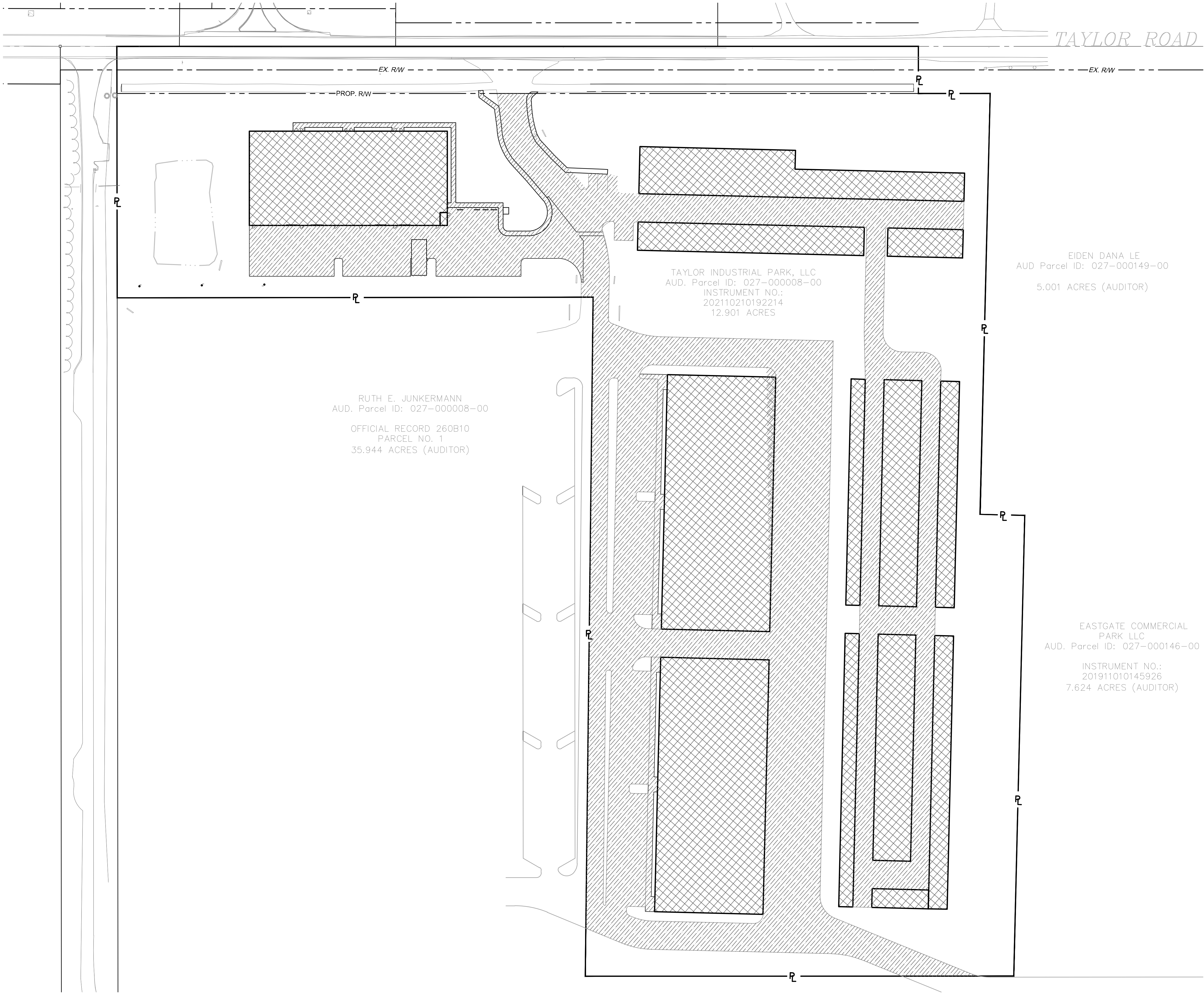
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TAYLOR ROAD
1639 TAYLOR RD
GAHANNA, OHIO

PROJECT NO:	231165.012
DATE:	01/28/2025
SCALE:	
SHEET NAME:	EXISTING CONDITIONS & DEMOLITION PLAN
SHEET NO.	6/13

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LEGEND

PAVEMENT

BUILDING

OPEN SPACE (GRASS)

SITE DATA:

TOTAL SITE AREA: 12.90 AC

PAVEMENT AREA: 3.91 AC (30.3%)

BUILDING AREA: 2.85 AC (22.1%)

OPEN SPACE (GRASS) AREA: 6.14 AC (47.6%)

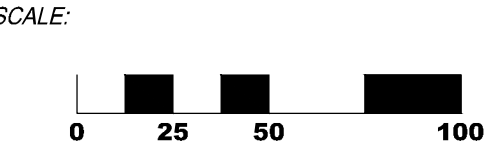


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TAYLOR ROAD
1639 TAYLOR RD
GAHANNA, OHIO

PROJECT NO:	231165.012
DATE:	01/28/2025



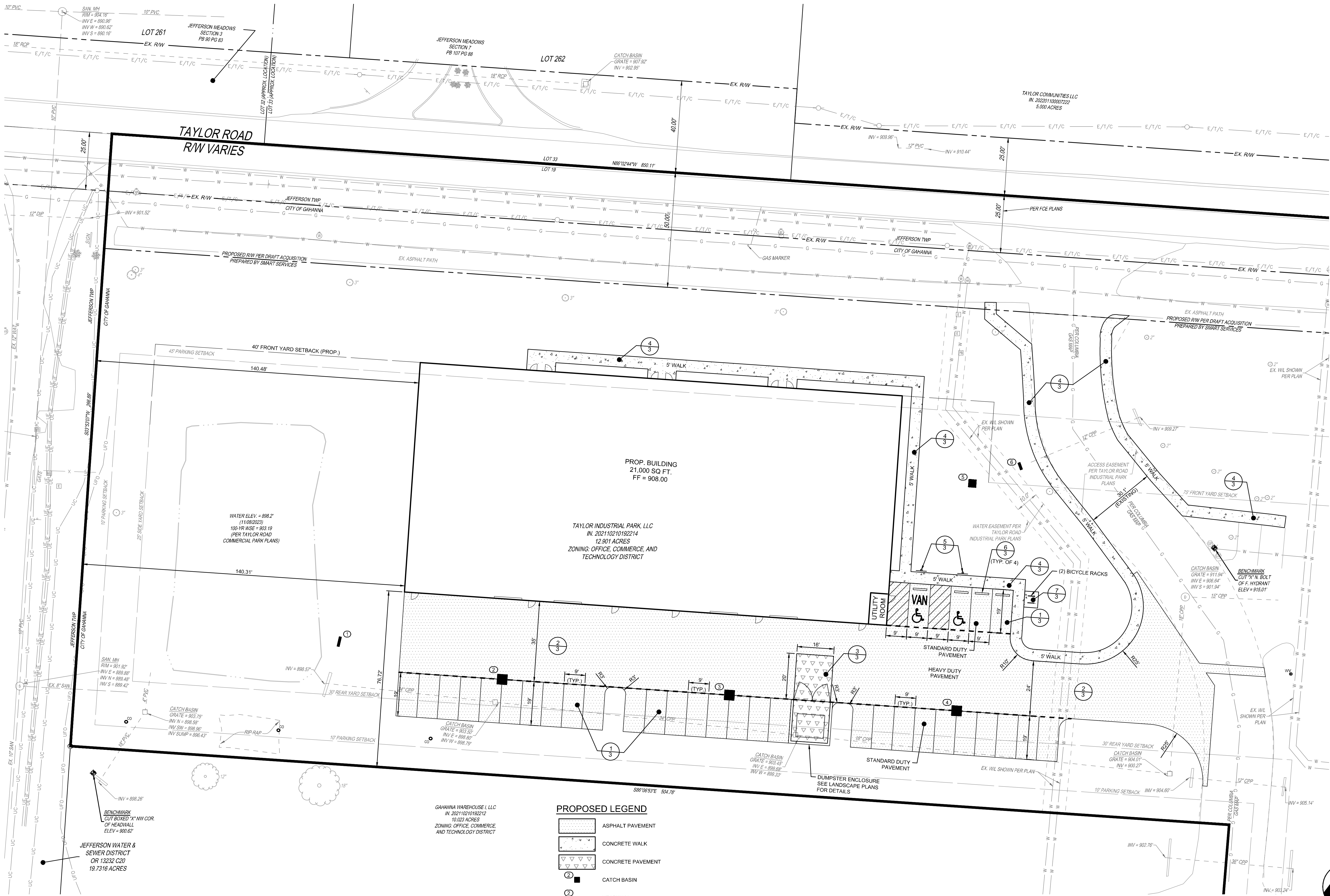
SHEET NAME:

OVERALL IMPERVIOUS AREA PLAN

SHEET NO.

7/13





- PROPOSED LEGEND**
- ASPHALT PAVEMENT
 - CONCRETE WALK
 - CONCRETE PAVEMENT
 - CATCH BASIN
 - HEADWALL
 - WATER VALVE
 - FIRE DEPARTMENT CONNECTION

- NOTES**
- DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT, WHEN CURB IS NOT PRESENT.
 - ALL RADII ARE 5' UNLESS OTHERWISE NOTED.



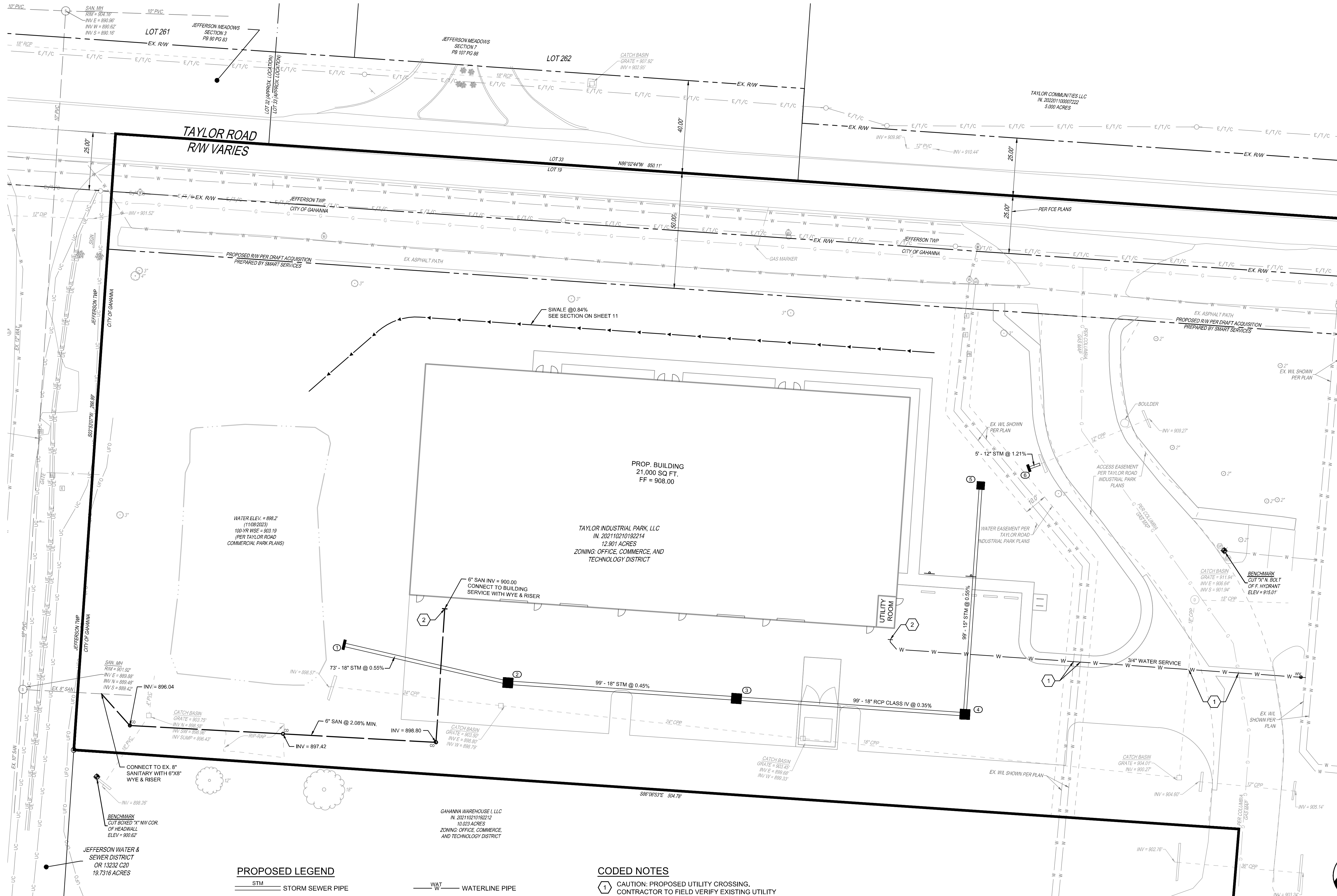
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TAYLOR ROAD
1639 TAYLOR RD
GAHANNA, OHIO

PROJECT NO:	231165.012
DATE:	01/28/2025
SCALE:	0 10 20 40
SHEET NAME:	LOCATION PLAN
SHEET NO.	8/13





PROPOSED LEGEND

- STM STORM SEWER PIPE
- CATCH BASIN
- HEADWALL
- SAN SANITARY SEWER PIPE
- SANITARY SEWER CLEANOUT

- WAT WATERLINE PIPE
- WV WATER VALVE
- FD FIRE DEPARTMENT CONNECTION

CODED NOTES

- 1 CAUTION: PROPOSED UTILITY CROSSING. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO BEND PROPOSED WATER AROUND EXISTING UTILITIES AS NEEDED TO MAINTAIN CLEARANCE.
- 2 COORDINATE UTILITY SERVICE CONNECTION WITH PLUMBING CONTRACTOR

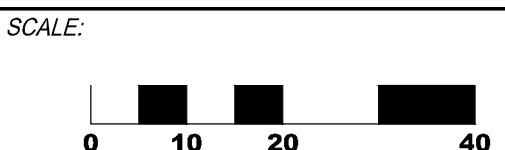


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NO. DATE DESCRIPTION

TAYLOR ROAD
1639 TAYLOR RD
GAHANNA, OHIO

PROJECT NO: 231165.012
DATE: 01/28/2025



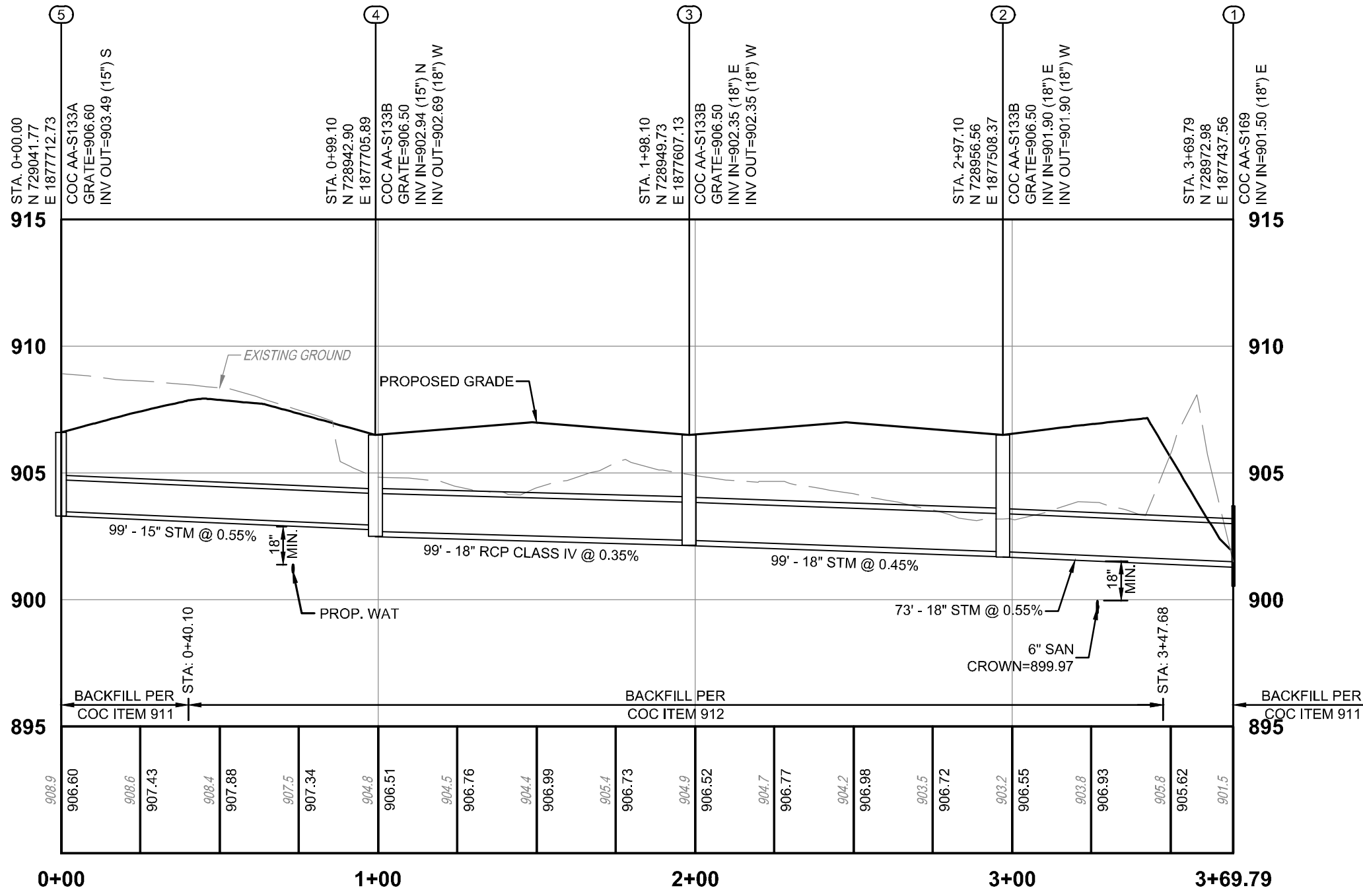
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UTILITY PLAN

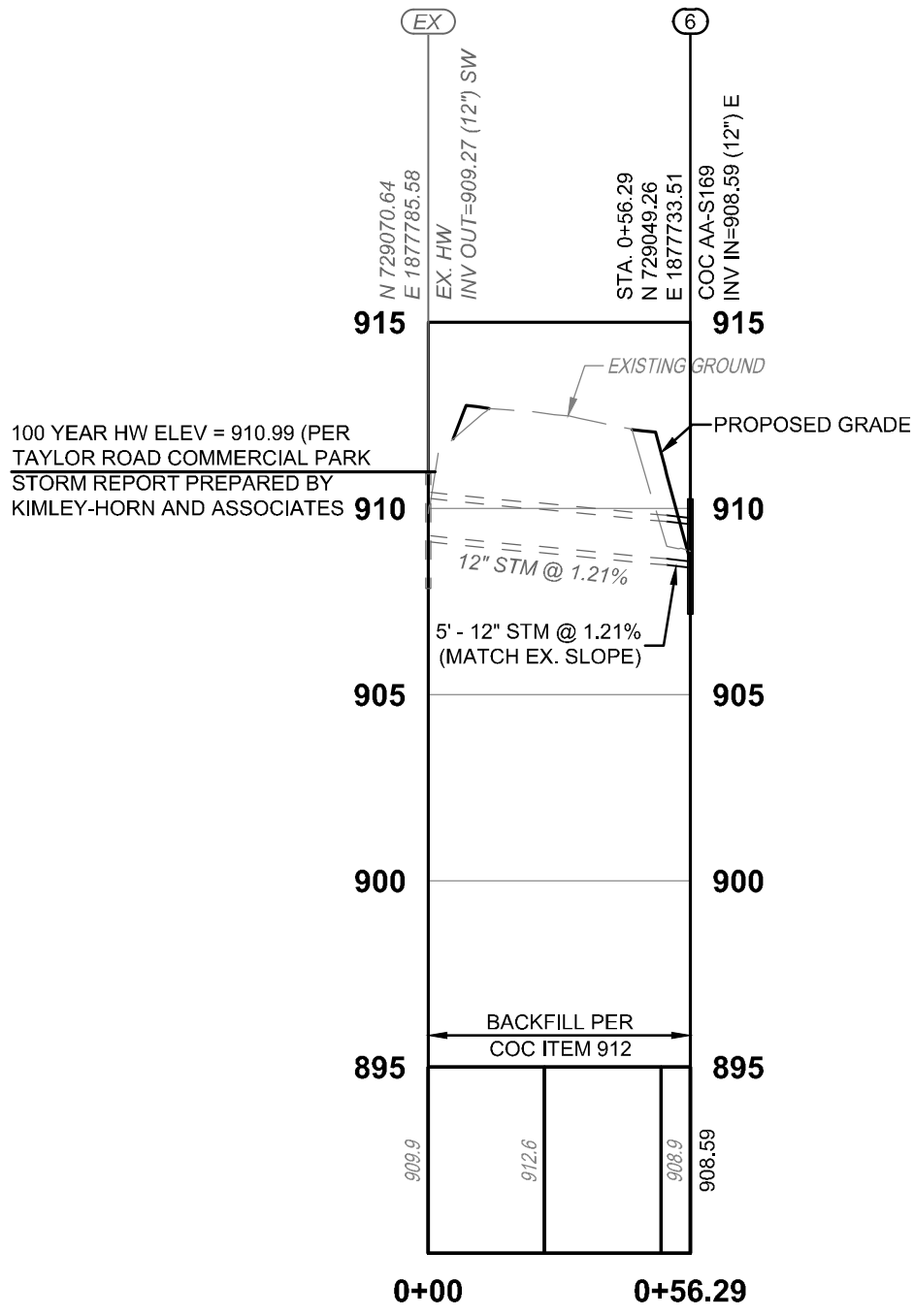
SHEET NO.

9/13





CB 5 TO HW 1



EX. HW TO HW 6

NOTES:

- CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. USE CAUTION WHEN EXCAVATING. IF EXISTING UTILITIES ARE IN CONFLICT WITH PROPOSED UTILITIES, THE DESIGN ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO ENSURE 18" MINIMUM VERTICAL CLEARANCE AT ALL UTILITY CROSSINGS UNLESS OTHERWISE NOTED.
- PROVIDE TRENCHES, BEDDING AND BACKFILL IN ACCORDANCE WITH THE CITY OF COLUMBUS DSD STANDARD DRAWINGS AND CMS.

PROFILE VERTICAL DATUM = NAVD 88



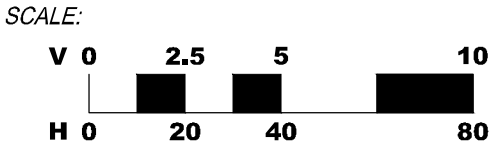
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NO. DATE DESCRIPTION

TAYLOR ROAD
1639 TAYLOR RD
GAHANNA, OHIO

PROJECT NO: 231165.012

DATE: 01/28/2025



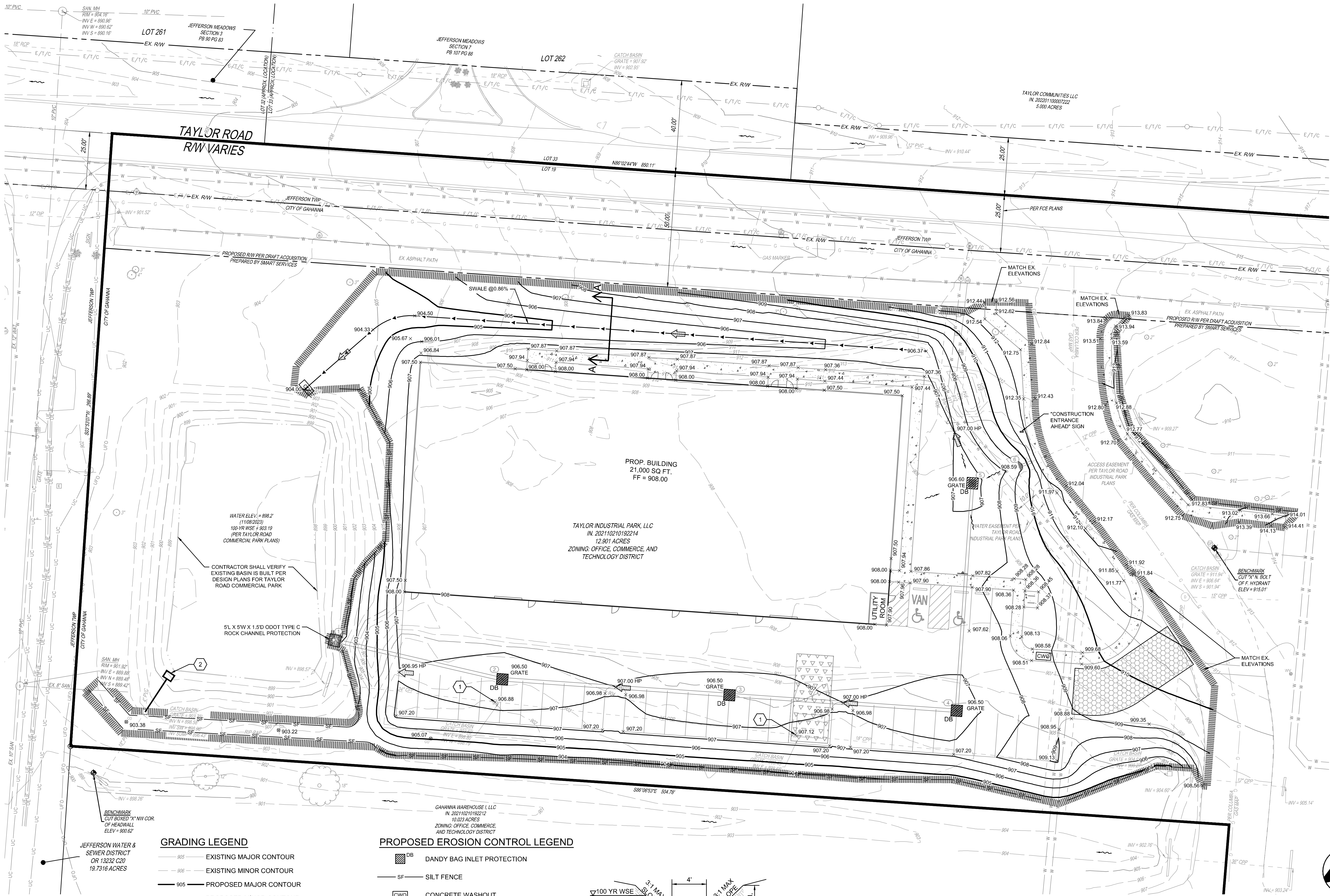
SHEET NAME:

**STORM SEWER
PROFILES**

SHEET NO.

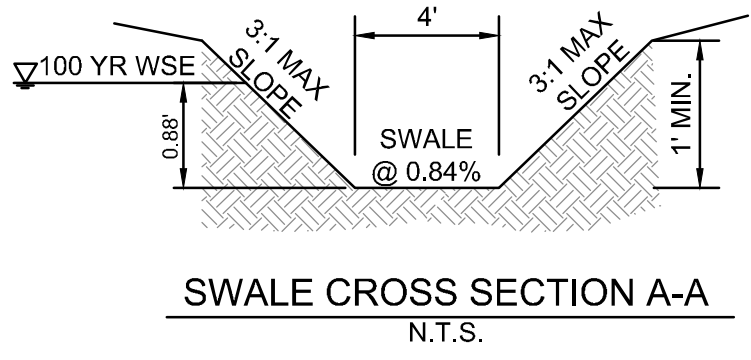
10/13





- GRADING LEGEND**
- 905 — EXISTING MAJOR CONTOUR
 - 906 — EXISTING MINOR CONTOUR
 - 905 — PROPOSED MAJOR CONTOUR
 - 906 — PROPOSED MINOR CONTOUR
 - x 907.00 PROPOSED SPOT ELEVATION
 - x 907.00 HP PROPOSED HIGH POINT SPOT ELEVATION
 - x 907.00 PROPOSED GRATE ELEVATION
 - PROPOSED SWALE
 - 100-YEAR FLOOD ROUTE
 - FLOW ARROW

- PROPOSED EROSION CONTROL LEGEND**
- DB DANDY BAG INLET PROTECTION
 - SF SILT FENCE
 - CWO CONCRETE WASHOUT
 - CONSTRUCTION ENTRANCE
 - ODOT TYPE C ROCK CHANNEL PROTECTION
 - CD CHECK DAM
 - WORKING LIMITS



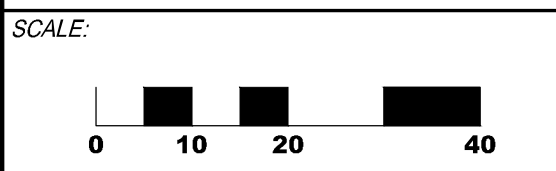
- CODING NOTES**
- RECONSTRUCT EXISTING STRUCTURE TO GRADE AND REPLACE GRATE WITH HEAVY DUTY SOLID LID
 - EXISTING SEDIMENT SKIMMER. CONTRACTOR SHALL VERIFY SKIMMER IS IN GOOD WORKING CONDITION PRIOR TO COMMENCEMENT OF CONSTRUCTION



SEAL:		
NO.	DATE	DESCRIPTION

TAYLOR ROAD
1639 TAYLOR RD
GAHANNA, OHIO

PROJECT NO: 231165.012
DATE: 01/28/2025



GRADING & EROSION CONTROL PLAN

SHEET NO. 11/13



PROJECT DATA

PROJECT DESCRIPTION
THE PROPOSED DEVELOPMENT CONSISTS OF A WAREHOUSE BUILDING WITH ASSOCIATED PARKING, DRIVE, AND UTILITIES.

LATITUDE:	N 40°00'04.0"
LONGITUDE:	W 82°49'28.4"
ESTIMATED CONSTRUCTION DATES:	10/01/2025 - 10/01/2026
TOTAL SITE AREA:	12.90 ACRES
TOTAL DISTURBED AREA:	1.59 ACRES
EXISTING IMPERVIOUS AREA*:	0.00 ACRES
PROPOSED IMPERVIOUS AREA*:	0.98 ACRES
TOTAL IMPERVIOUS AREA AFTER CONSTRUCTION*:	0.98 ACRES
INCREASE IN IMPERVIOUS AREA*:	100%
PRE-CONSTRUCTION RUNOFF COEFFICIENT* :	C=0.40
POST-CONSTRUCTION RUNOFF COEFFICIENT*:	C=0.63

*WITHIN LIMITS OF DISTURBANCE

IMMEDIATE RECEIVING WATER/MS4:	UNNAMED DITCH
ULTIMATE RECEIVING STREAM:	BIG WALNUT CREEK
EXISTING LAND USE:	UNDEVELOPED LAND
SOILS:	AdC2 - ALEXANDRIA SILT LOAM, 6 TO 12 PERCENT SLOPES, ERODED BeB - BENNINGTON SILT LOAM, 2 TO 6 PERCENT SLOPES Cr1B1 - CARDINGTON SILT LOAM, 2 TO 6 PERCENT SLOPES Wt - WESTLAND SILTY CLAY LOAM, SOUTHERN OHIO TILL PLAIN, 0 TO 2 PERCENT SLOPES

CONSTRUCTION SEQUENCE

TO COMPLETE THE EXCAVATION AND CONSTRUCTION OF THE PROPOSED JOB IMPROVEMENTS, COORDINATION OF THE CONTRACTOR'S WORK CREWS WILL BE REQUIRED. THE PROPOSED INLET PROTECTION & EXISTING SEDIMENT BASIN WILL PERFORM TEMPORARY SEDIMENT CONTROL AND STORAGE DURING THE PROPOSED CONSTRUCTION. WORK WILL GENERALLY PROCEED FROM DOWNSTREAM TO UPSTREAM IN THESE WORK AREAS. THE GENERAL CONSTRUCTION SEQUENCE IS AS FOLLOWS:

- A) INSTALL CONSTRUCTION ENTRANCE AND SIGNAGE, PERIMETER CONTROLS, INLET PROTECTION, AND CONCRETE WASHOUT. VERIFY EXISTING SEDIMENT SKIMMER IS STILL INSTALLED AND IN GOOD WORKING CONDITION.
- B) STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL THROUGH THE INCREMENTAL WORK AREA.
- C) INSTALL TEMPORARY SEDIMENT CONTROLS WITHIN 24 HOURS FOLLOWING THE STRIPPING OPERATION.
- D) PERFORM MASS GRADING FOR FINAL PAVING.
- E) INSTALL SITE UTILITIES, INSTALLING INLET PROTECTION ON NEW STORM STRUCTURES AS WORK PROGRESSES.
- F) ANY DISTURBED OR EXPOSED AREAS SHALL BE STABILIZED PER OEPA TEMPORARY AND PERMANENT STABILIZATION REGULATIONS INCLUDING:
 1. SEEDING
 2. DITCH MATTING
 3. INLET PROTECTION
 4. MULCHING
 5. WATERING
- G) INSTALL FINAL PAVING, FINE GRADE, AND PERFORM PERMANENT SEEDING.
- H) PROVIDE PERMANENT STABILIZATION FOR ANY DISTURBED AREAS AND REMOVE PERIMETERS CONTROLS, INLET PROTECTION AND SEDIMENT BASIN SKIMMER.
- I) EXCAVATE REMAINDER OF DETENTION BASIN AS REQUIRED TO MATCH TAYLOR ROAD COMMERCIAL PARK DESIGN PLANS. VERIFY OUTLET IS IN GOOD WORKING CONDTION.
- J) MAINTAIN POST CONSTRUCTION SCPs AS REQUIRED.

EMERGENCY ACTION & SPILL PREVENTION PLAN

THE SCOPE OF WORK COVERED BY THIS PLAN INCLUDES EMERGENCY RESPONSE TO SPILLS, CONTAINMENT OF SPILLED LIQUIDS, EMERGENCY NOTIFICATION NUMBERS, AND SOIL EXCAVATION FOR SPILL CLEAN-UP.

IN THE EVENT OF A SPILL EVENT THE EMPLOYEE SHALL ASSESS THE SPILL AND IMMEDIATELY NOTIFY THE SAFETY OFFICER AND SUPERVISOR IN CHARGE, OR OTHER INDIVIDUALS AS LISTED BELOW.

TITLE	NAME	PHONE NUMBER
SITE SUPERINTENDENT	ROBERT LEVECK	(614) 582-4765
PROJECT ENGINEER	NICK ELMASIAN, PE	(614) 327-2008

IMMEDIATELY AFTER NOTIFICATION, THE EMPLOYEE WILL BE DIRECTED BY THE SAFETY OFFICER, OR RESPONSIBLE PARTY TO START CONTAINMENT PROCEDURES TO PREVENT THE MATERIAL FROM REACHING THE STORM SEWERS, DRAINAGE DITCH, AND OTHER OUTLETS USING THE FOLLOWING ACTIONS OR ANY OTHER MEANS NECESSARY WITHOUT COMPROMISING WORKER SAFETY:

- 1) CLEAR PERSONNEL FROM THE SPILL AREA AND ROPE OFF AREA.
- 2) STOP THE SPILL.
- 3) USE SORBENT MATERIALS, PLUG PUTTY, OR HOLE PUTTY AS NECESSARY TO CONTROL THE SPILL AT THE SOURCE.
- 4) CONSTRUCT A TEMPORARY CONTAINMENT DIKE OF SORBENT MATERIALS OR DIRT TO CONTAIN SPILL.

SPILL KITS WILL BE LOCATED ON THE PROJECT AS DESIGNATED ON THE SWPPP PLAN.

UPON COMPLETION OF CONTAINMENT OPERATIONS, PROPER CLEAN-UP PROCEDURES WILL BE IMPLEMENTED IN ACCORDANCE WITH REGULATORY PROCEDURES.

IF THE SPILL EXCEEDS 25 GALLONS, THE FOLLOWING ORGANIZATIONS SHALL BE CONTACTED WITHIN 30 MINUTES OF THE INCIDENT:

EMERGENCY CONTACTS:	
OHIO EPA EMERGENCY RESPONSE CENTER	800-282-9378 (24-HOUR PHONE NO.)

GENERAL NOTES

THE CONTRACTOR IS HEREBY ADVISED THAT STRICTER POLLUTION CONTROL STANDARDS AND ENFORCEMENT HAVE BEEN IMPOSED BY THE OHIO EPA SINCE MARCH 10, 2003 AND WITH REVISIONS IN APRIL 2018 AND IN APRIL 2023. ALSO, MANY PRIVATE CITIZEN ENVIRONMENTAL GROUPS, WHO HAVE BEEN KNOWN TO FILE CIVIL LEGAL ACTIONS, ARE PRESENT IN THE AREA AND OBSERVE ALL CONSTRUCTION OPERATIONS.

THE CONTRACTOR SHALL INFORM ALL SUBCONTRACTORS OF THE REQUIREMENTS AND RESPONSIBILITIES OF THE SWPPP AND SHALL DOCUMENT ALL SUCH NOTIFICATIONS AND/OR DISCUSSIONS.

THE CONTRACTOR WILL BE REQUIRED TO PARTICIPATE IN SEDIMENT AND EROSION CONTROL INSPECTIONS ON A WEEKLY BASIS AND SIGN AN APPROVED INSPECTION SHEET THAT SHALL BE KEPT ON FILE AT THE JOB SITE.

UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OEPA "RAINWATER AND LAND DEVELOPMENT" HANDBOOK SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.

THIS PROJECT WILL INVOLVE SEVERAL CONSTRUCTION PHASES AND SEQUENCING THROUGHOUT ITS LIFETIME. IT IS VERY IMPORTANT THAT ALL TEMPORARY SEDIMENT AND EROSION CONTROL (S&EC) FIELD METHODS ALONG WITH THIS PLAN, ARE UPDATED TO REFLECT THE ACTUAL FIELD CONDITIONS, CURRENT WEATHER CONDITIONS AND SITE GRADE CHANGES. THE ENGINEER OR THE OHIO EPA CAN AND WILL MODIFY THIS PLAN AS NECESSARY.

THE CONTRACTOR WILL VOLUNTARILY SELF REPORT ANY POTENTIAL VIOLATIONS OF THE OEPA NPDES PERMIT TO THE ENGINEER AND THE OEPA.

THE CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.

CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE PROPERLY DISPOSED OF ACCORDING TO OHIO EPA REQUIREMENTS.

THE CONTRACTOR WILL BE REQUIRED TO BUILD SEDIMENT BASINS OR SEDIMENT TRAPS OR USE EQUAL METHODS TO DETAIN AND CLEAN WATER TO ACCEPTABLE EPA STANDARDS BEFORE RELEASING THE WATER BACK INTO THE STREAM.

THERE SHALL BE NO TURBID DISCHARGES TO SURFACE WATERS, RESULTING FROM DEWATERING ACTIVITIES. SEDIMENT-LADEN WATER MUST PASS THROUGH A SETTLING POND, FILTER BAG, OR OTHER COMPARABLE PRACTICE, PRIOR TO DISCHARGE.

NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.

ALL PROCESS WASTEWATER (EQUIPMENT WASHING, LEACHATE FROM ON-SITE WASTE DISPOSAL, ETC.) SHALL BE COLLECTED AND DISPOSED OF AT A PUBLICLY OWNED TREATMENT WORKS.

ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH ALL LOCAL EROSION/SEDIMENT CONTROL, WASTE DISPOSAL, SANITARY AND HEALTH REGULATIONS.

OTHER EROSION CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND IMPLEMENTATION OF ADDITIONAL EROSION CONTROL ITEMS, AT THE ENGINEER'S DISCRETION.

NO SOIL, ROCK, DEBRIS OR OTHER MATERIAL SHALL BE DUMPED OR PLACED IN ANY AREAS NOT ADEQUATELY PROTECTED BY EROSION CONTROL INSTALLATIONS.

IT IS PREFERRED TO USE PERMANENT EROSION CONTROL ITEMS AS SHOWN IN THE PLANS TO CONTROL CONSTRUCTION POLLUTION WHEN POSSIBLE. OTHERWISE, THE TEMPORARY POLLUTION PREVENTION ITEMS ARE TO BE USED.

MOST TEMPORARY S&EC METHODS, INCLUDING BUT NOT LIMITED TO, SILT FENCE AND DITCH CHECKS MAY ALL HAVE TO BE PERIODICALLY REMOVED AND REPLACED, OR MOVED FROM THE EXISTING ROAD DITCH OR STRIPPED AREAS AS WORK PROGRESSES. ANY CHANGES SHALL BE NOTED IN THE PLAN BY RED LINE AND DATED ON A CORRECTIVE ACTION LOG.

ALL TEMPORARY SEDIMENT CONTROLS AND STORM WATER QUALITY METHODS WILL BE BUILT/INSTALLED AS THE PROJECT PROGRESSES TO ELIMINATE UNNECESSARY DISTURBANCE AND REDUNDANCY. ALL TEMPORARY CONTROLS SHALL BE IN PLACE AND FUNCTIONING PROPERLY WHEN THREATENING WEATHER IS IMMINENT.

"TEMPORARY STABILIZATION" MEANS THE ESTABLISHMENT OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOD, PRESERVATION OF EXISTING VEGETATION AND OTHER TECHNIQUES CAPABLE OF QUICKLY ESTABLISHING COVER OVER DISTURBED AREAS TO PROVIDE EROSION CONTROL BETWEEN CONSTRUCTION OPERATIONS.

"PERMANENT STABILIZATION" MEANS THE ESTABLISHMENT OF PERMANENT VEGETATION, DECORATIVE LANDSCAPE MULCHING, MATTING, SOD, RIP RAP AND LANDSCAPING TECHNIQUES TO PROVIDE PERMANENT EROSION CONTROL ON AREAS WHERE CONSTRUCTION OPERATIONS ARE COMPLETE OR WHERE NO FURTHER DISTURBANCE IS EXPECTED FOR AT LEAST A YEAR.

OFF-SITE TRACKING OF SEDIMENTS SHALL BE MINIMIZED. A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. ALL PAVED STREETS ADJACENT TO THE SITE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP.

STABILIZATION PRACTICES

PERMANENT SEEDING AND MULCHING STABILIZATION SHALL BE PROVIDED PER OEPA GUIDELINES AS SET FORTH IN PART II.B OF OHIO EPA PERMIT NO.: OHC000006. (SEE TABLE 1)

TABLE 1: PERMANENT STABILIZATION	
AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

TEMPORARY SEEDING AND MULCHING STABILIZATION SHALL BE PROVIDED PER OEPA GUIDELINES AS SET FORTH IN PART II.B OF OHIO EPA PERMIT NO.: OHC000006. (SEE TABLE 2)

TABLE 2: TEMPORARY STABILIZATION	
AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY DISTURBED AREAS WITH 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S).
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO THE ONSET OF WINTER WEATHER

ALL TEMPORARY EROSION AND SEDIMENT CONTROL INSTALLATIONS SHALL BE REMOVED WHEN 70% VEGETATION HAS BEEN REACHED.

SEEDING & MULCHING

MULCH AND/OR OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS OF GRADING IF THE AREA IS TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN 14 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.

MULCH SHALL CONSIST OF UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1000 SQ. FT. (TWO TO THREE BALES). THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1000-SQ.-FT. SECTIONS AND PLACE TWO 45-LB. BALES OF STRAW IN EACH SECTION.

MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR RUNOFF. THE FOLLOWING ARE ACCEPTABLE METHODS FOR ANCHORING MULCH:

- 1) MECHANICAL-USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT BE LEFT GENERALLY LONGER THAN 6 IN.
- 2) MULCH NETTINGS-USE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, FOLLOWING ALL PLACEMENT AND ANCHORING SUGGESTIONS. USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MULCH IN PLACE.
- 3) SYNTHETIC BINDERS-FOR STRAW MULCH, SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. ALL APPLICATIONS OF SYNTHETIC BINDERS MUST BE CONDUCTED IN SUCH A MANNER WHERE THERE IS NO CONTACT WITH WATERS OF THE STATE.
- 4) WOOD CELLULOSE FIBER - WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED

AT A NET DRY WEIGHT OF 750 LB./ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./100 GAL. OF WOOD CELLULOSE FIBER.

TEMPORARY SEEDING & MULCHING FOR EROSION CONTROL		
SEED TYPE	PER 1,000 SQ FT	PER ACRE
PERENNIAL RYEGRASS TALL FESCUE ANNUAL RYEGRASS	1 POUND 1 POUND 1 POUND	40 POUNDS 40 POUNDS 40 POUNDS
SMALL GRAIN STRAW	90 POUNDS	2 TONS
FERTILIZER	6 POUNDS OF 10-10-10 OR 12-12-12	250 POUNDS OF 10-10-10 OR 12-12-12

NOTE: OTHER APPROVED SPECIES MAY BE SUBSTITUTED

STOCKPILE

SILT FENCING SHALL BE INSTALLED AROUND TEMPORARY SPOIL STOCKPILES. THESE STOCKPILES SHALL BE STRAW MULCHED AND/OR TEMPORARILY SEEDED WITHIN 7 WORKING DAYS IF LEFT DORMANT FOR 14 DAYS OR LONGER.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, CONSTRUCTION ENTRANCE(S) AND SILT FENCE WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED LONGER THAN 14 DAYS AND/OR WITHIN 7 DAYS OF ANY GRUBBING ACTIVITIES. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 14 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 2 DAYS OF THE LAST DISTURBANCE IF THE AREA IS WITHIN 50 FEET OF A STREAM, AND WITHIN 7 DAYS OF THE LAST DISTURBANCE IF THE AREA IS MORE THAN 50 FEET AWAY FROM A STREAM. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE BASIN.

STABILIZATION TYPE	J	F	M	A	M	J	J	A	S	O	N	D	
PERMANENT SEEDING				•	•	•	*	*	*	•	•		* IRRIGATION NEEDED
DORMANT SEEDING	•	•	•							•	•	•	** IRRIGATION NEEDED FOR 2-3 WEEKS AFTER SOD IS APPLIED
TEMPORARY SEEDING			•	•	•	*	*	*	•	•			
SODDING			**	**	**	**	**	**	**	**			
MULCHING	•	•	•	•	•	•	•	•	•	•	•	•	

INSPECTIONS

ALL BMPS ON THIS SITE SHALL BE INSPECTED BY "QUALIFIED INSPECTION PERSONNEL" ASSIGNED BY THE CONTRACTOR OR DESIGNATED REPRESENTATIVE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND BY THE END OF THE NEXT CALENDAR DAY, EXCLUDING WEEKENDS AND HOLIDAYS UNLESS WORK IS SCHEDULED, AFTER A RAIN EVENT OF 0.5 INCHES PER 24 HOUR PERIOD. A RECORD OF THESE INSPECTIONS SHALL BE MAINTAINED IN THE CONSTRUCTION OFFICE WITH THE SWPPP FOR PUBLIC VIEWING. ANY VIOLATIONS WILL BE REPORTED THROUGH THE PROJECT PERSONNEL. A RAIN GAUGE WILL BE LOCATED WITHIN THE PROJECT LIMITS.

FOLLOWING EACH INSPECTION, A CHECKLIST MUST BE COMPLETED AND SIGNED BY THE QUALIFIED INSPECTION PERSONNEL REPRESENTATIVE. AT A MINIMUM, THE INSPECTION REPORT SHALL INCLUDE:

1. THE INSPECTION DATE;
2. NAMES, TITLES, AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION;
3. WEATHER INFORMATION FOR THE PERIOD SINCE THE LAST INSPECTION (OR SINCE COMMENCEMENT OF CONSTRUCTION ACTIVITY IF THE FIRST INSPECTION) INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT (IN INCHES), AND WHETHER ANY DISCHARGES OCCURRED;
4. WEATHER INFORMATION AND A DESCRIPTION OF ANY DISCHARGES OCCURRING AT THE TIME OF THE INSPECTION;
5. LOCATION(S) OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE;
6. LOCATION(S) OF BMPS THAT NEED TO BE MAINTAINED;
7. LOCATION(S) OF BMPS THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
8. LOCATION(S) WHERE ADDITIONAL BMPS ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND
9. CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THE SWP3 NECESSARY AND IMPLEMENTATION DATES.

MAINTENANCE

THE CONTRACTOR SHALL MAINTAIN, REPAIR, OR REPLACE ALL EROSION CONTROL INSTALLATIONS AS NEEDED TO ENSURE THE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL REPAIRS TO BMPS SHALL BE MADE WITHIN 3 DAYS (OR SOONER IF POSSIBLE) OF NOTIFICATION OF DEFICIENCIES. IF THE CORRECTIONS ARE NOT MADE WITHIN THE 3 DAY PERIOD, LIQUIDATED DAMAGES MAY BE ASSESSED AS PER THE ODOT CMS SECTION 108.07.

ONGOING INSPECTION OF INSTALLATIONS WILL BE PERFORMED BY THE CONTRACTOR OR DESIGNATED REPRESENTATIVE.

ANY TRAPPED SEDIMENT OR DEBRIS REMOVED DURING CLEANING OF OR REMOVAL OF BMP INSTALLATIONS SHALL BE PLACED IN AREAS NOT SUBJECT TO EROSION AND PERMANENTLY STABILIZED.

DUST CONTROL

DUST CONTROL INVOLVES PREVENTING OR REDUCING DUST FROM EXPOSED SOILS OR OTHER SOURCES DURING LAND DISTURBING, DEMOLITION AND CONSTRUCTION ACTIVITIES TO REDUCE THE PRESENCE OF AIRBORNE SUBSTANCES WHICH MAY PRESENT HEALTH HAZARDS, TRAFFIC SAFETY PROBLEMS OR HARM ANIMAL OR PLANT LIFE.

THE FOLLOWING SPECIFICATIONS FOR DUST CONTROL SHALL BE FOLLOWED ONSITE:

1. VEGETATIVE COVER AND/MULCH - APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 14 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING; PERMANENT SEEDING; MULCHING PRACTICES; AND TREE AND NATURAL AREA PROTECTION PRACTICES.
2. WATERING - SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS.
3. SPRAY-ON ADHESIVES - APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS' INSTRUCTIONS.

ADHESIVE	WATER DILUTION (ADHESIVE: WATER)	NOZZLE TYPE	APPLICATION RATE (GAL/AC)
LATEX EMULSION	12.5:1	FINE	235
RESIN IN WATER ACRYLIC EMULSION (NO TRAFFIC)	4:1	FINE	300
ACRYLIC EMULSION (NO TRAFFIC)	7:1	COARSE	450
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE	350


PERMITTEE

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NPDES PERMIT: 4GC09986*AG

DATE OF ISSUE: 05/30/2024



elmasian
engineering LLC

SEAL:

NO. DATE DESCRIPTION

PROJECT NO: 231165.012

DATE: 01/28/2025

SCALE: NOT TO SCALE

SHEET NAME:

EROSION CONTROL NOTES

SHEET NO. 12/13

SPILL PREVENTION

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING:

- 1. AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- 2. ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- 3. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
- 4. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- 5. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- 6. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- 7. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

HAZARDOUS PRODUCTS:

- 1. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- 2. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
- 3. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- 1. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- 2. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- 3. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- 4. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE. SPILLS OF 25 OR MORE GALLONS OF PETROLEUM WASTE MUST BE REPORTED TO OHIO EPA (1-800-282-9378), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MINUTES OF THE SPILL. ALL SPILLS, WHICH RESULT IN CONTACT WITH WATERS OF THE STATE, MUST BE REPORTED TO THE OHIO EPA'S HOTLINE.
- 5. SOILS CONTAMINATED BY PETROLEUM OR OTHER CHEMICAL SPILLS MUST BE TREATED/DISPOSED AT AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITY (TSDF).
- 6. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
- 7. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE WILL DESIGNATE SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

PRODUCT SPECIFIC PRACTICES

PETROLEUM PRODUCTS

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FUEL STORAGE TANKS SHALL BE LOCATED AWAY FROM SURFACE WATERS AND STORM SEWER SYSTEM INLETS. FUEL TANKS SHALL BE STORED IN A DIKED AREA CAPABLE OF HOLDING 150% OF THE TANK CAPACITY.

FERTILIZERS

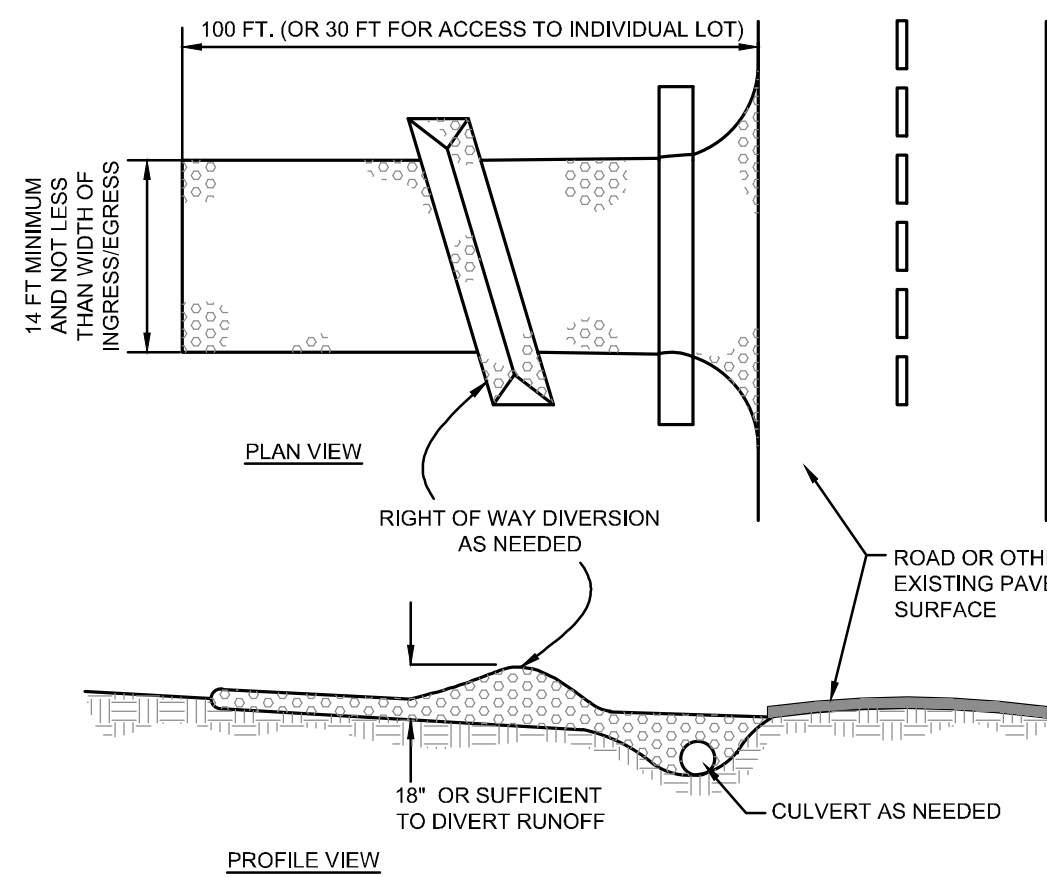
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE WASH WATER/WASH OUTS

CONCRETE WASH WATER SHALL NOT BE ALLOWED TO FLOW TO STREAMS, DITCHES, STORM DRAINS, OR ANY OTHER WATER CONVEYANCE. A SUMP OR PIT WITH NO POTENTIAL FOR DISCHARGE SHALL BE CONSTRUCTED IF NEEDED TO CONTAIN CONCRETE WASH WATER. FIELD TILE OR OTHER SUBSURFACE DRAINAGE STRUCTURES WITHIN 10 FT. OF THE SUMP SHALL BE CUT AND PLUGGED. FOR SMALL PROJECTS, TRUCK CHUTES MAY BE RINSED ON THE LOT AWAY FROM ANY WATER CONVEYANCES.



NOTES

- 1. STONE SIZE - ODOT #2 (1.5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
- 2. LENGTH - THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT. (EXCEPTION: APPLY 30 FT. MINIMUM TO SINGLE RESIDENCE LOTS).
- 3. THICKNESS - THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
- 4. WIDTH - THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- 5. GEOTEXTILE - A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL BE COMPOSED OF STRONG ROT-PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:

MINIMUM TENSILE STRENGTH.....	200 LBS
MINIMUM PUNCTURE STRENGTH.....	80 LBS
MINIMUM TEAR STRENGTH.....	50 LBS
MINIMUM BURST STRENGTH.....	320 PSI
MINIMUM ELONGATION.....	20%
EQUIVALENT OPENING SIZE.....	EOS< 0.6MM
PERMITTIVITY.....	1X10 ⁻⁹ CM/SEC
- 6. TIMING - THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICABLE BEFORE MAJOR GRADING ACTIVITIES.

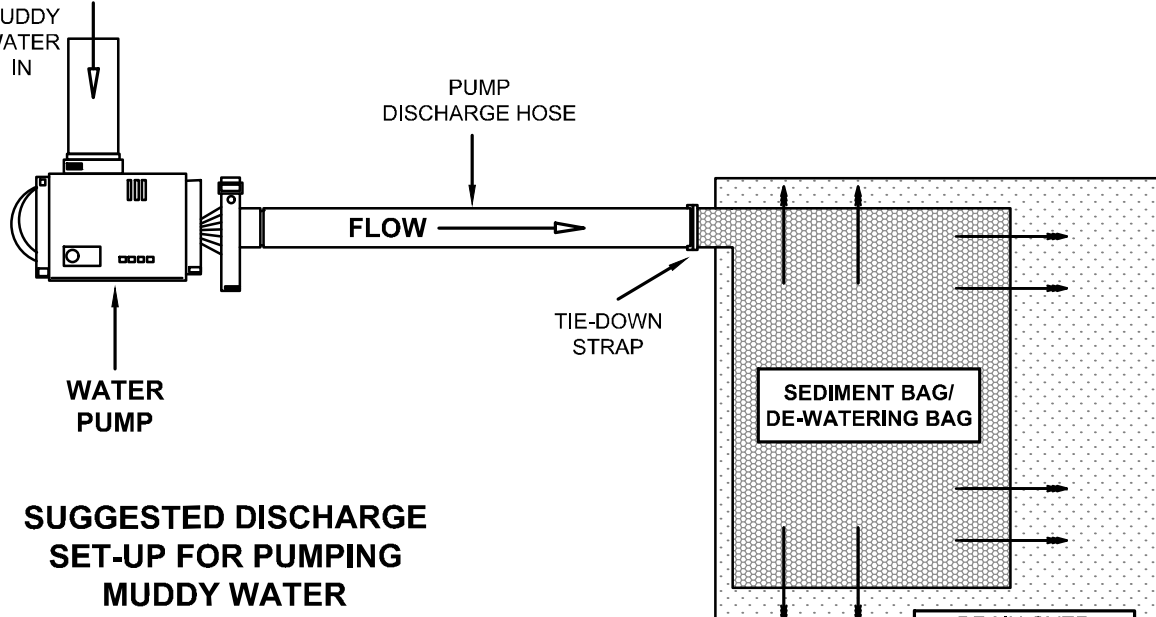
CONSTRUCTION ENTRANCE DETAIL
NTS

NOTICE

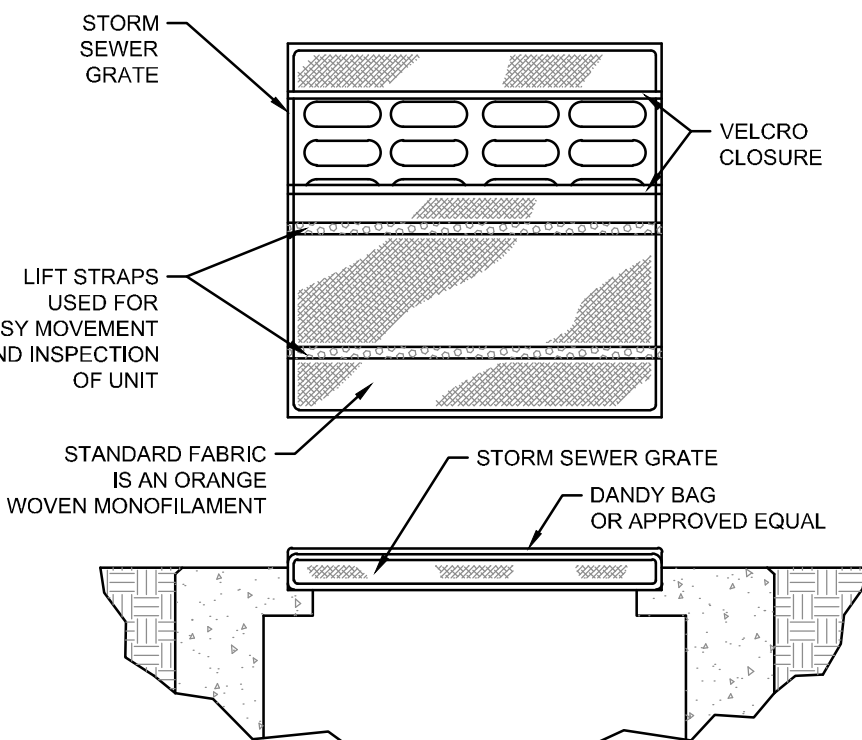
THE PUMPING OR DIRECT DISCHARGE OF SEDIMENT-LADEN (MUDDY) WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF OHIO EPA AND FRANKLIN COUNTY REGULATIONS.

ALL INLET RECEIVING FLOW FROM RUNOFF, PUMPING ACTIVITIES, OR OTHER DIRECT DISCHARGES SHALL BE FITTED WITH AN INLET PROTECTION DEVICE THAT IS PROPERLY SIZED AND SECURED TO REDUCE THE DISCHARGE OF SEDIMENT INTO THE STORM SEWER SYSTEM AND RECEIVING STREAM. INLET PROTECTION IS REQUIRED ON ALL INLETS RECEIVING DISCHARGE REGARDLESS OF WHETHER OR NOT THE INLET IS TRIBUTARY TO ANY DOWNSTREAM EROSION AND SEDIMENT CONTROLS.

DISCHARGE HOSES USED DURING PUMPING ACTIVITIES SHALL BE FITTED WITH SEDIMENT BAGS THAT ARE PROPERLY SIZED PER MANUFACTURER'S RECOMMENDATIONS REGARDLESS OF WHAT OTHER SEDIMENT CONTROLS ARE IN PLACE FURTHER DOWNSTREAM. SEDIMENT BAGS MUST BE PROPERLY SECURED TO THE DISCHARGE HOSE AND PLACED OVER VEGETATED AREAS, WHERE FEASIBLE, DURING DISCHARGE. SEE DETAIL BELOW OF A TYPICAL SEDIMENT BAG INSTALLATION.



SEDIMENT BAG/DE-WATERING BAG
N.T.S.



SPECIFICATIONS

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	KN (LBS)	1.62 (365) X 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 X 10
PUNCTURE STRENGTH	ASTM D 4633	KN (LBS)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	KPA (PSI)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	KN (LBS)	0.51 (115) X 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	MM (US STD SIEVE)	0.425 (40)
FLOW RATE	ASTM D 4491	1/MIN/IN (GAL/MIN/FT.)	5907 (145)
PERMITTIVITY	ASTM D 4491	SEC ⁻¹	2.1

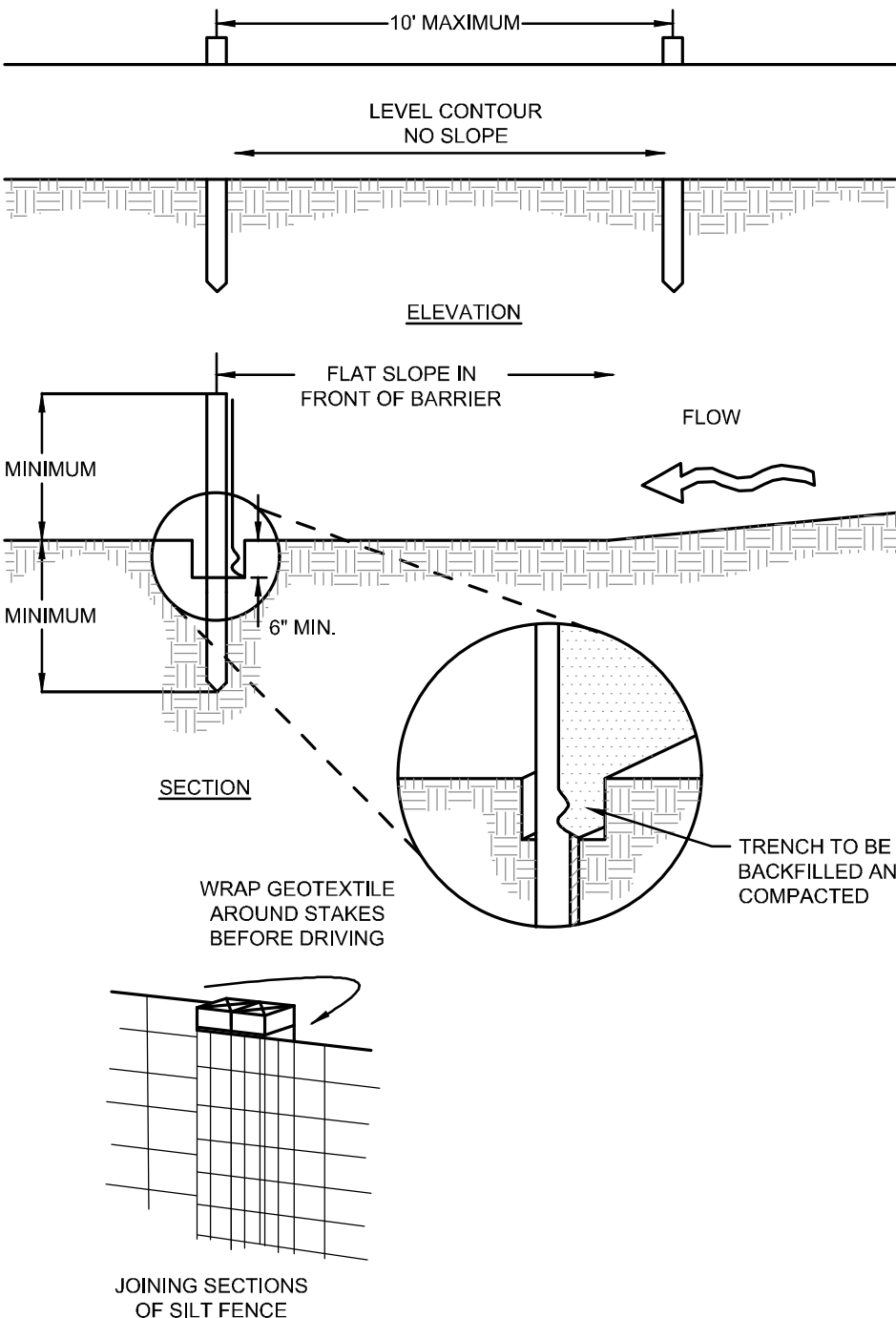
INSTALLATION: THE EMPTY DANDY BAG SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END. IF USING OPTIONAL OIL ABSORBENTS: PLACE ABSORBENT PILLOW IN POUCH, ON THE BOTTOM (BELOW-GRADE SIDE) OF THE UNIT. ATTACH ABSORBENT PILLOW TO TETHER LOOP. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE. HOLDING THE LIFTING DEVICES (DO NOT RELY ON LIFTING DEVICES TO SUPPORT THE ENTIRE WEIGHT OF THE GRATE), PLACE THE GRATE INTO ITS FRAME.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY BAG AS NEEDED. IF USING OPTIONAL OIL ABSORBENTS, REMOVE AND REPLACE ABSORBENT PILLOW WHEN NEAR SATURATION.

DANDY BAG DETAIL

N.T.S.

- 7. CULVERT - A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
- 8. WATER BAR - A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
- 9. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR THE WASHING AND REWORKING OF EXISTING STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. THE USE OF WATER TRUCKS TO REMOVE MATERIALS DROPPED, WASHED, OR TRACKED ONTO ROADWAYS WILL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES. TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVE IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING. CONTRACTOR SHALL HAVE ACCESS TO A VACUUM STREET SWEEPER ON A DAILY BASIS.
- 10. CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION-SITE SHALL BE RESTRICTED FROM MUDDY AREAS.
- 11. REMOVAL - THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED OR REPLACED WITH A PERMANENT ROADWAY OR ENTRANCE.



SILT FENCE DETAIL

N.T.S.

NOTES:

- 1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- 2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS THAT MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- 3. ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
- 4. SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- 5. WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- 6. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 7. THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- 8. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE. A MINIMUM OF 8 INCHES OF GEOTEXTILE MUST BE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6-INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
- 9. SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-IN. OVERLAP PRIOR TO DRIVING INTO THE GROUND.
- 10. MAINTENANCE—SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER THE FABRIC OR AROUND THE FENCE ENDS, OR IN ANY OTHER WAY ALLOWS A CONCENTRATED FLOW DISCHARGE, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.

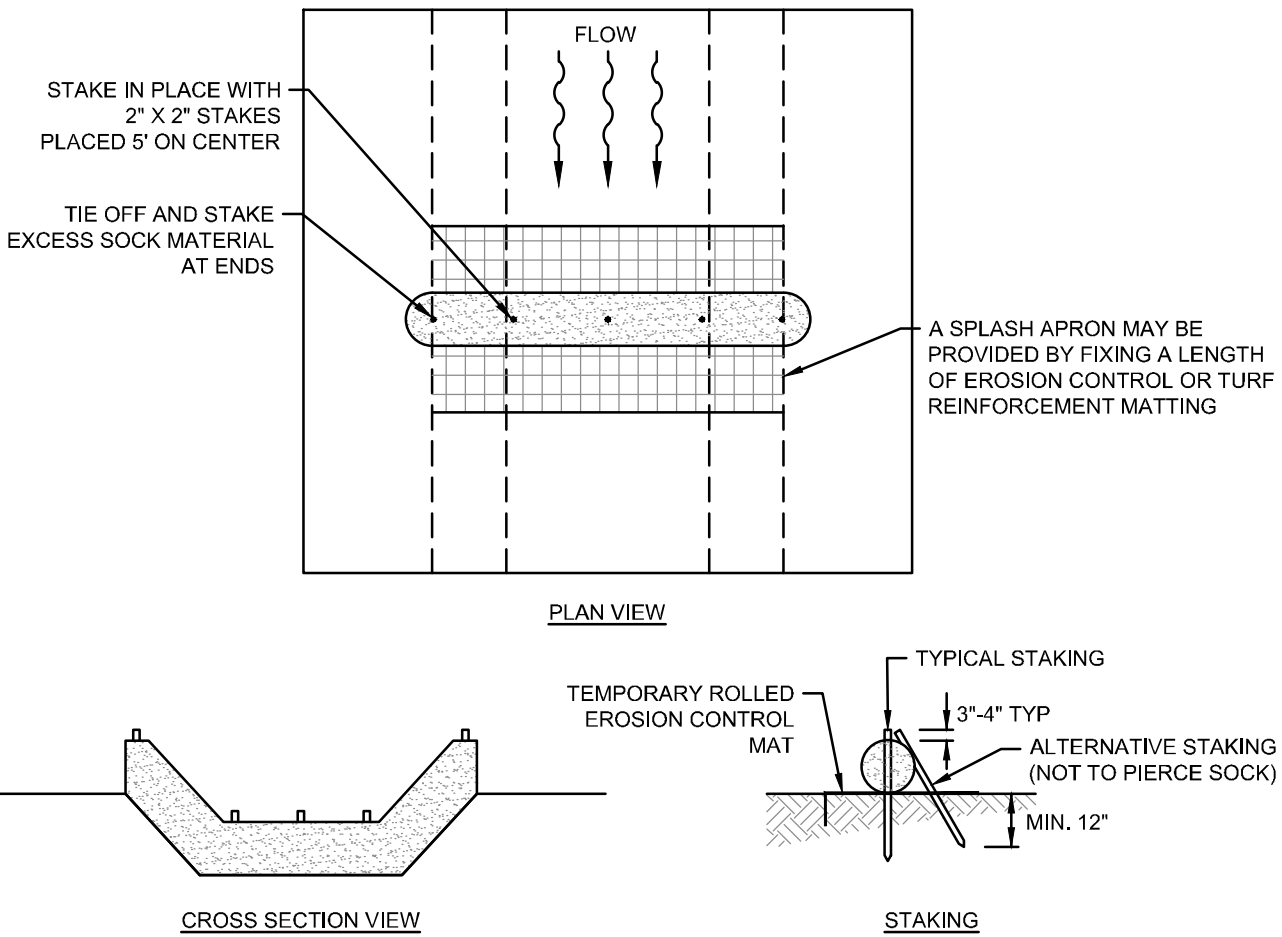
SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE.

SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.

CRITERIA FOR SILT FENCE MATERIALS

- 1. FENCE POST – THE LENGTH SHALL BE A MINIMUM OF 32 INCHES. WOOD POSTS WILL BE 2-BY-2-IN. NOMINAL DIMENSIONED HARDWOOD OF SOUND QUALITY. THEY SHALL BE FREE OF KNOTS, SPLITS AND OTHER VISIBLE IMPERFECTIONS. THAT WILL WEAKEN THE POSTS. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT. POSTS SHALL BE DRIVEN A MINIMUM 16 INCHES INTO THE GROUND, WHERE POSSIBLE. IF NOT POSSIBLE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING OF THE FENCE DUE TO SEDIMENT/WATER LOADING.
- 2. SILT FENCE FABRIC – SEE CHART BELOW.

FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS. (535 N)	ASTM D 4632
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4632
MINIMUM PUNCTURE STRENGTH	50 LBS. (220 N)	ASTM D 4633
MINIMUM TEAR STRENGTH	40 LBS. (180 N)	ASTM D 4633
APPARENT OPENING SIZE	<0.84 MM	ASTM D 4751
MINIMUM PERMITTIVITY	1X10 ⁻² SEC ⁻¹	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM G 4355



NOTES:

- 1. COMPOST SOCK NETTING SHALL USE A KNITTED MESH FABRIC WITH 1/8-3/8 INCH OPENINGS, AND COMPOST MEDIA WITH PARTICLE SIZES 99% < 3 INCHES, AND 60% > 3/8 INCHES.
- 2. COMPOST SOCK CHECK DAMS SHALL BE USED IN AREAS THAT DRAIN 5 ACRES OR LESS.
- 3. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SOCK WHEN IT REACHES ½ THE HEIGHT OF THE CHECK DAM.
- 4. COMPOST SOCK CHECK DAMS SHALL BE CONSTRUCTED WITH 12, 18, OR 24 IN DIAMETER COMPOST SOCKS, AND SHALL COMPLETELY COVER THE WIDTH OF THE CHANNEL. THE MIDPOINT OF THE COMPOST SOCK CHECK DAM SHALL BE A MINIMUM OF 6 INCHES LOWER THAN THE SIDES IN ORDER TO DIRECT FLOW ACROSS THE CENTER AND AWAY FROM THE CHANNEL SIDES. FILTER SOCK CHECK DAMS SHALL BE FILLED TO A DENSITY SUCH THAT THEY SHALL REACH THEIR INTENDED HEIGHT (DIAMETER) AFTER INSTALLATION AND USE. THEY SHALL BE CONSIDERED UNSUITABLE AND IN NEED OF REPLACEMENT AFTER FALLING BELOW 80% OF THEIR MINIMUM REQUIRED HEIGHT (DIAMETER).
- 5. ALTHOUGH NO TRENCING IS NECESSARY, COMPOST SOCK CHECK DAMS SHALL BE PLACED ON A GRADED SURFACE WHERE CONSISTENT CONTACT WITH THE SOIL SURFACE IS MADE WITHOUT BRIDGING OVER GAPS, RILLS, GULLIES, STONES OR OTHER IRREGULARITIES.
- 6. PLACE COMPOST SOCK CHECK DAMS SO THAT THE ENDS EXTEND TO THE TOP OF BANK. STAKING FOR COMPOST SOCK CHECK DAMS SHALL USE 2 INCH X 2 INCH WOODEN STAKES, PLACED 5 FOOT ON CENTER. STAKE LENGTH SHALL ALLOW THEM TO BE DRIVEN 12 INCHS INTO EXISTING SOIL AND ALLOW AT LEAST 2 INCHES ABOVE THE SOCK.
- 7. SPACE COMPOST SOCK CHECK DAMS SO THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION OR LOWER ELEVATION AS THE TOP OF THE DOWNSTREAM COMPOST SOCK CHECK DAM (AT THE CENTER OF THE CHANNEL). THIS WILL BE INFLUENCED BY THE HEIGHT OF THE SOCK AND GRADIENT OF THE WATERWAY.
- 8. A SPLASH APRON MAY BE NEEDED WHERE FLOWS OVER THE SOCK MAY ERODE THE CHANNEL AND UNDERCUT THE COMPOST SOCK CHECK DAM. CREATE THE APRON BY FIXING A LENGTH OF TEMPORARY ROLLED EROSION CONTROL PRODUCT (EROSION CONTROL MATTING) OR TURF REINFORCEMENT MATTING STARTING UPSTREAM OF THE SOCK A DISTANCE EQUAL TO THE SOCK HEIGHT AND EXTENDING A LENGTH TWO TIMES THE HEIGHT OF THE COMPOST SOCK CHECK DAM. SEE CHAPTER 7 FOR INFORMATION REGARDING THESE MATERIALS. MATERIALS USED SHOULD BE ABLE TO BE LEFT IN PLACE (E.G. BIODEGRADABLE/PHOTODEGRADABLE TRECP) WITHOUT CREATING PROBLEMS FOR FUTURE MOWING OR MAINTENANCE OF THE CHANNEL.

MAINTENANCE

- 9. SEDIMENT SHALL BE REMOVED FROM BEHIND CHECK DAM ONCE IT ACCUMULATES TO ONE-HALF THE ORIGINAL HEIGHT OF THE CHECK DAM.

NOTES:

- 1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
- 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

CONCRETE WASHOUT DETAIL

N.T.S.

COMPOST SOCK CHECK DAM DETAIL

N.T.S.



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SEAL:

NO. DATE DESCRIPTION

TAYLOR ROAD

1639 TAYLOR RD
GAHANNA, OHIO

PROJECT NO: 231165.012

DATE: 01/28/2025

SCALE:

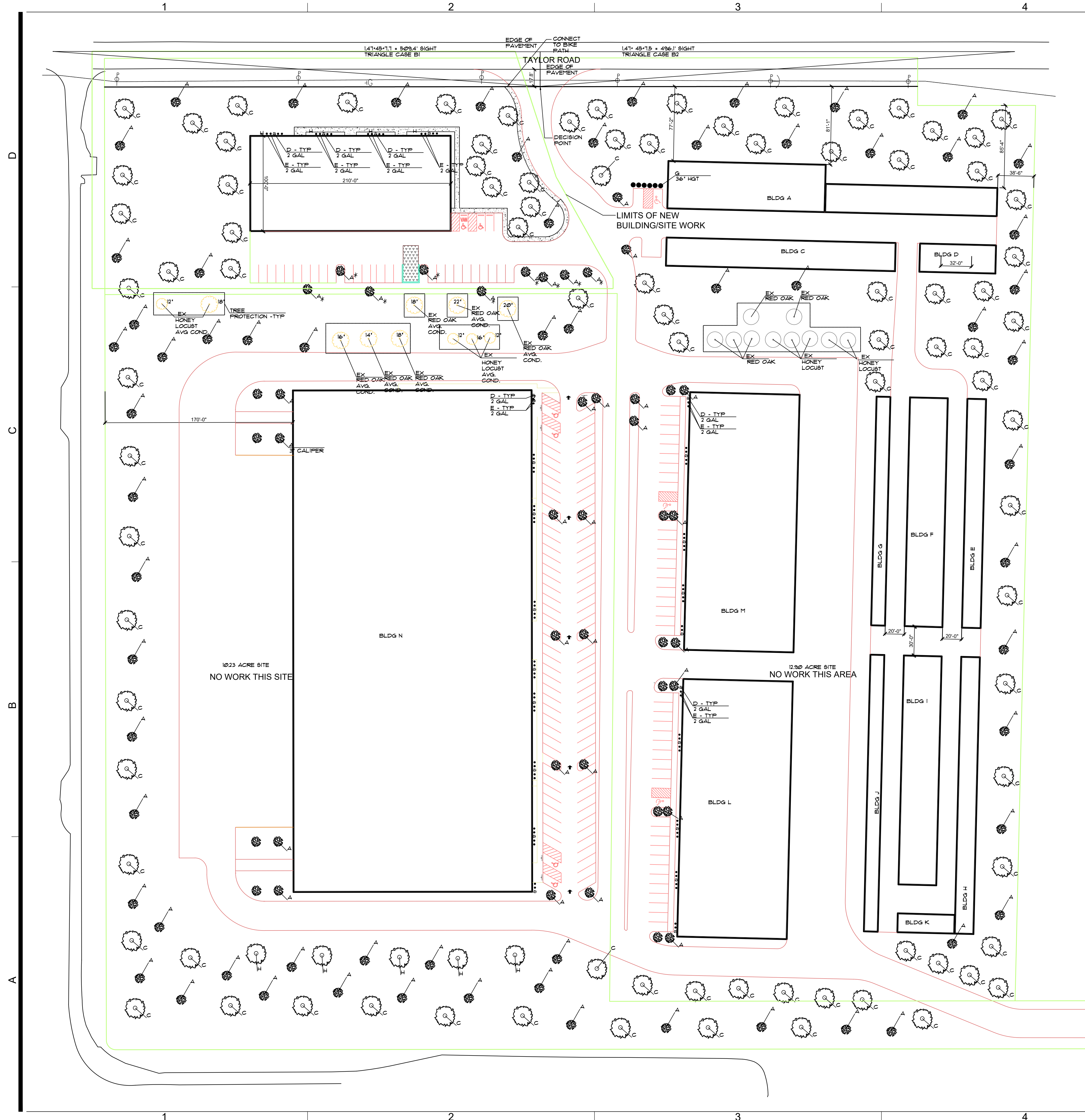
NOT TO SCALE

SHEET NAME:

EROSION
CONTROL NOTES
& DETAILS

SHEET NO.

13/13



12.9 AC SITE LANDSCAPE MATERIALS			
MARK	QTY	DESCRIPTION	SIZE
A	54	SWEET GUM	3" CAL.
C	53	HONEY LOCUST	3" CAL.
D	14	BUXUS "WINTER GEM"	2 GAL.
E	48	NINEBARK	2 GAL.
G	6	JUNIPERUS CHINENSIS "HETZII COLUMNARIS"	36" HGT.
H	56	SUGAR MAPLE	3" CAL.

12.9 AC SITE LANDSCAPE BREAKDOWN		
REQ'D	DESCRIPTION	PROV'D
37.8"	IMPERVIOUS AREA 35 'C' TREES = 105" 5 'A' TREES = 15" TOTAL 120"	3" CAL.
9 TREES	ISLANDS 9 'A' TREES	3" CAL.

LOT SPLIT 12.9 ACRE SITE (New work only)
SUPPLEMENTAL PLANTING REQUIREMENTS
16,808 SF PAVING
21,000 SF BUILDING

37,808 SF IMPERVIOUS SURFACE/1000 = 37.8"
CAL INCHES OF SUPPLEMENTAL PLANTINGS

CAL INCHES OF EXISTING TREES: 60" FROM
ORIGINAL LANDSCAPE PLAN IN WORK AREA
CAL INCHES OF NEW TREES PROVIDED: 57"

LANDSCAPE ISLAND REQUIREMENTS
AREA OF PARKING & ACCESS AISLES: 16,808 SF
REQUIREMENT OF 5%
16,808 SF * 5% = 840 SF
PROVIDED: 840 SF
1 TREE PER 100SF OF LANDSCAPE ISLAND (9 TREES)

LOT SPLIT 12.9 ACRE SITE TOTAL W/ NEW WORK
SUPPLEMENTAL PLANTING REQUIREMENTS
194,305 SF PAVING
135,700 SF BUILDING

330,005 SF IMPERVIOUS SURFACE/1000 = 330.0
CAL INCHES OF SUPPLEMENTAL PLANTINGS

CAL INCHES OF EXISTING TREES: 72"
CAL INCHES OF NEW TREES PROVIDED: 330.0"

LANDSCAPE ISLAND REQUIREMENTS
AREA OF PARKING & ACCESS AISLES: 194,305 SF
REQUIREMENT OF 5%
194,305 SF * 5% = 9715.25 SF
PROVIDED: 9800 SF
1 TREE PER 100SF OF LANDSCAPE ISLAND
* DESIGNATED ISLAND TREES

LANDSCAPE PLAN
SCALE: 1"=50'-0"

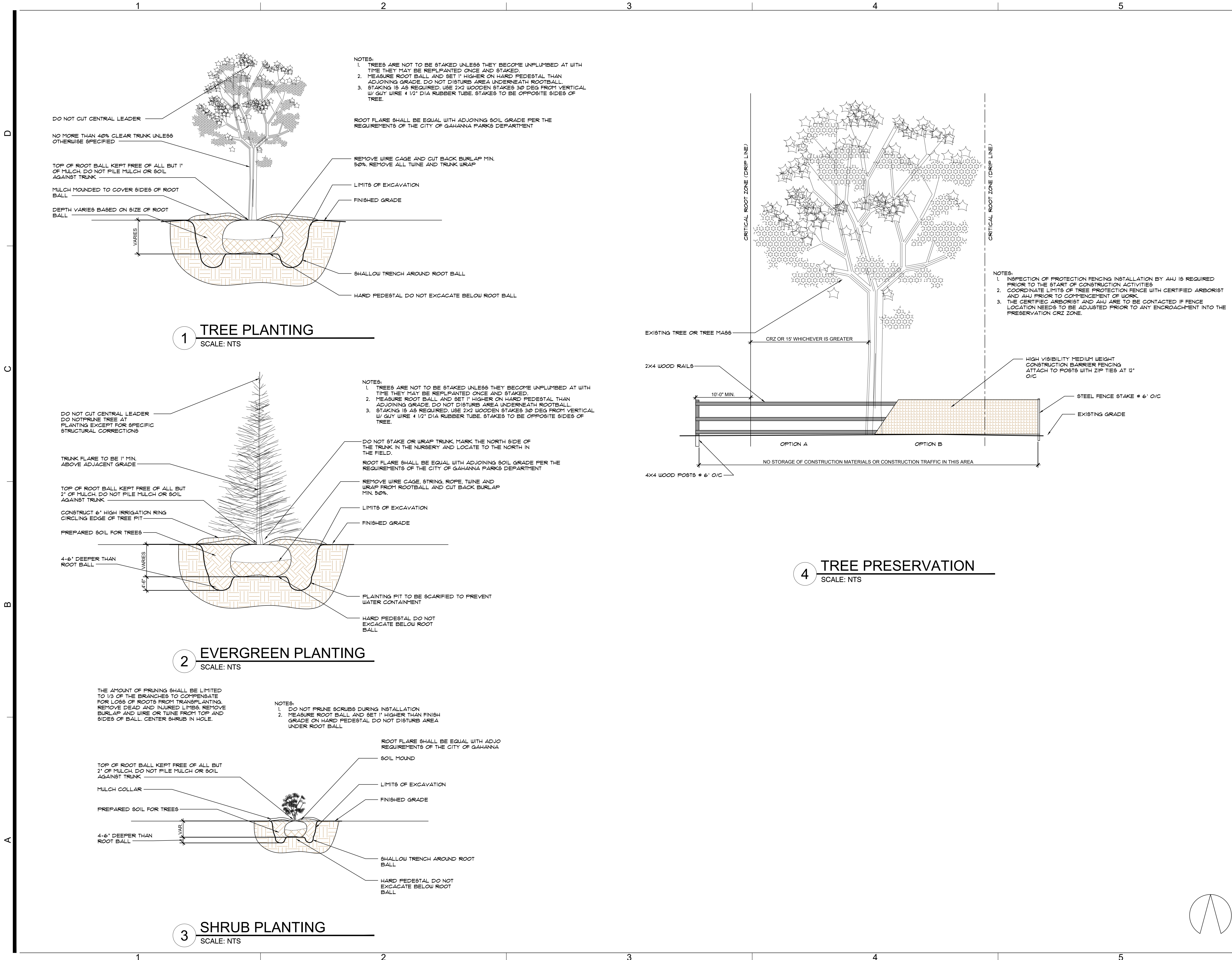
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REVISIONS			
CONSULTING ENGINEER	10/09/21 FDN REV	03/14/22 BLDG RESP.	04/08/22 LOT SPLIT
	07/25/22 FOUNDATION	09/26/22 INSPECTOR	11/03/22 PLANNING
	2/15/24 PLANNING	4/09/24 PLANNING	9/11/24 PLANNING
	12/25/24 PLANNING		

LANDSCAPE PLAN
A PROJECT OF:
LEVECK COMMERCIAL CONSTRUCTION & DEVELOPMENT, LLC
FOR:
TAYLOR INDUSTRIAL PARK, LLC
TAYLOR ROAD
GAHANNA, OHIO 43230

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THOMAS M. MCCASH #89-9178
LICENSE EXPIRES 12/31/26

DATE: 10.03.21 SHEET:
SCALE: AS1.00
DRAWN BY:
PROJECT No: 21003



CONSULTING ENGINEER	
REVISIONS	
10/9/21 FDN REV.	10/9/21 FDN REV.
03/14/22 BLDG RESP.	03/14/22 BLDG RESP.
04/09/22 LOT SPLIT	04/09/22 LOT SPLIT
07/25/22 FOUNDATION	07/25/22 FOUNDATION
09/26/22 INSPECTOR	09/26/22 INSPECTOR
11/03/22 PLANNING	11/03/22 PLANNING
2/15/24 PLANNING	2/15/24 PLANNING
4/09/24 PLANNING	4/09/24 PLANNING
9/11/24 PLANNING	9/11/24 PLANNING

LANDSCAPE DETAILS

A PROJECT OF:
LEVECK COMMERCIAL CONSTRUCTION & DEVELOPMENT, LLC

FOR:
TAYLOR INDUSTRIAL PARK, LLC
TAYLOR ROAD
GAHANNA, OHIO 43230

SCHEMATIC DESIGN 04.17.23

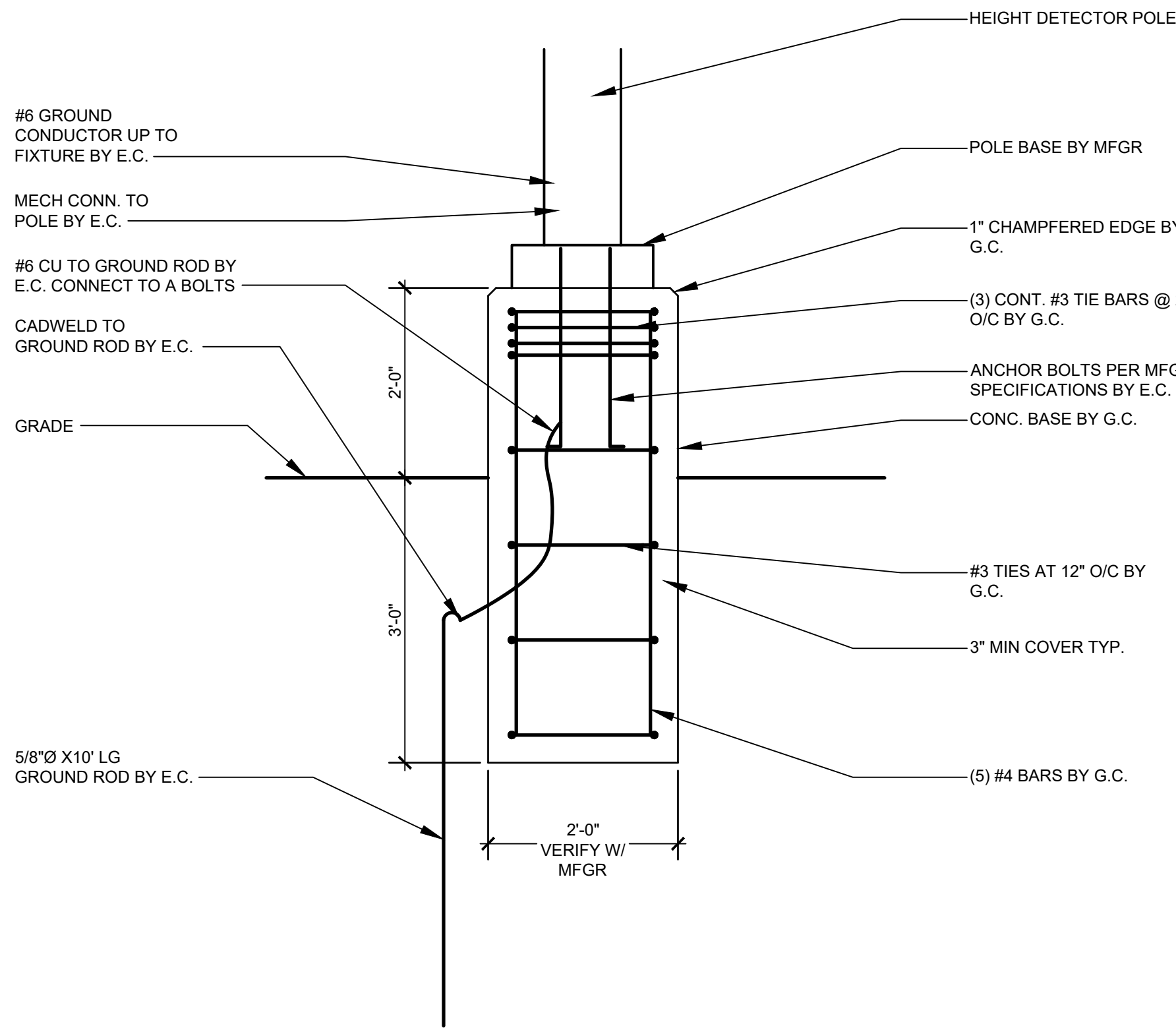
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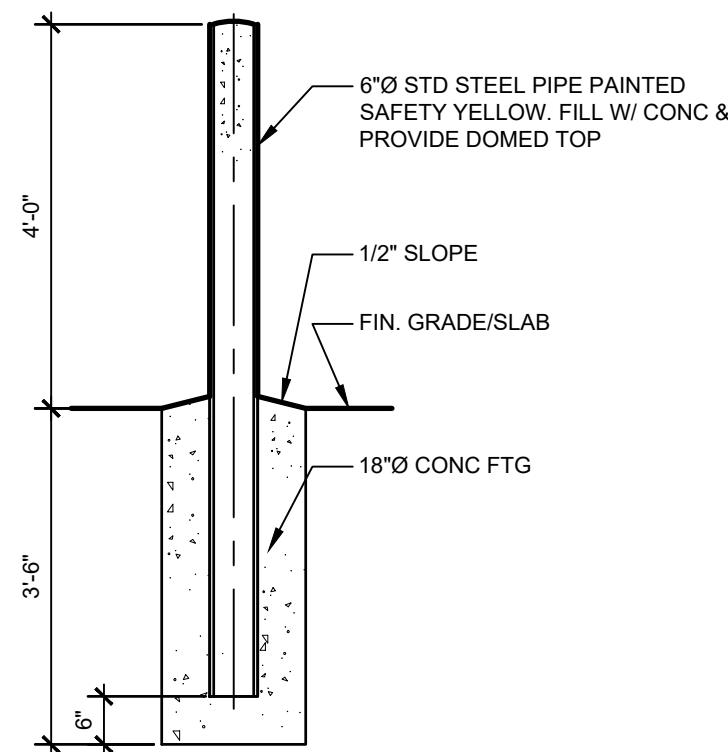
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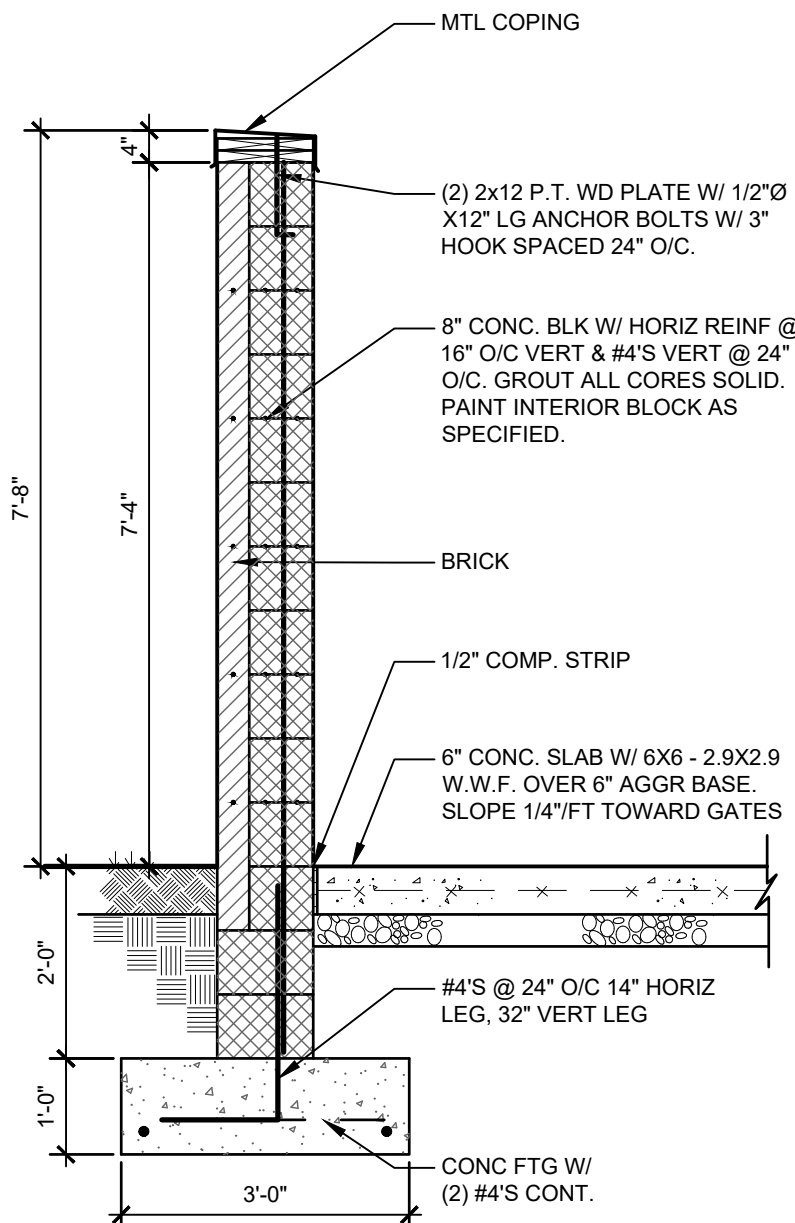
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C
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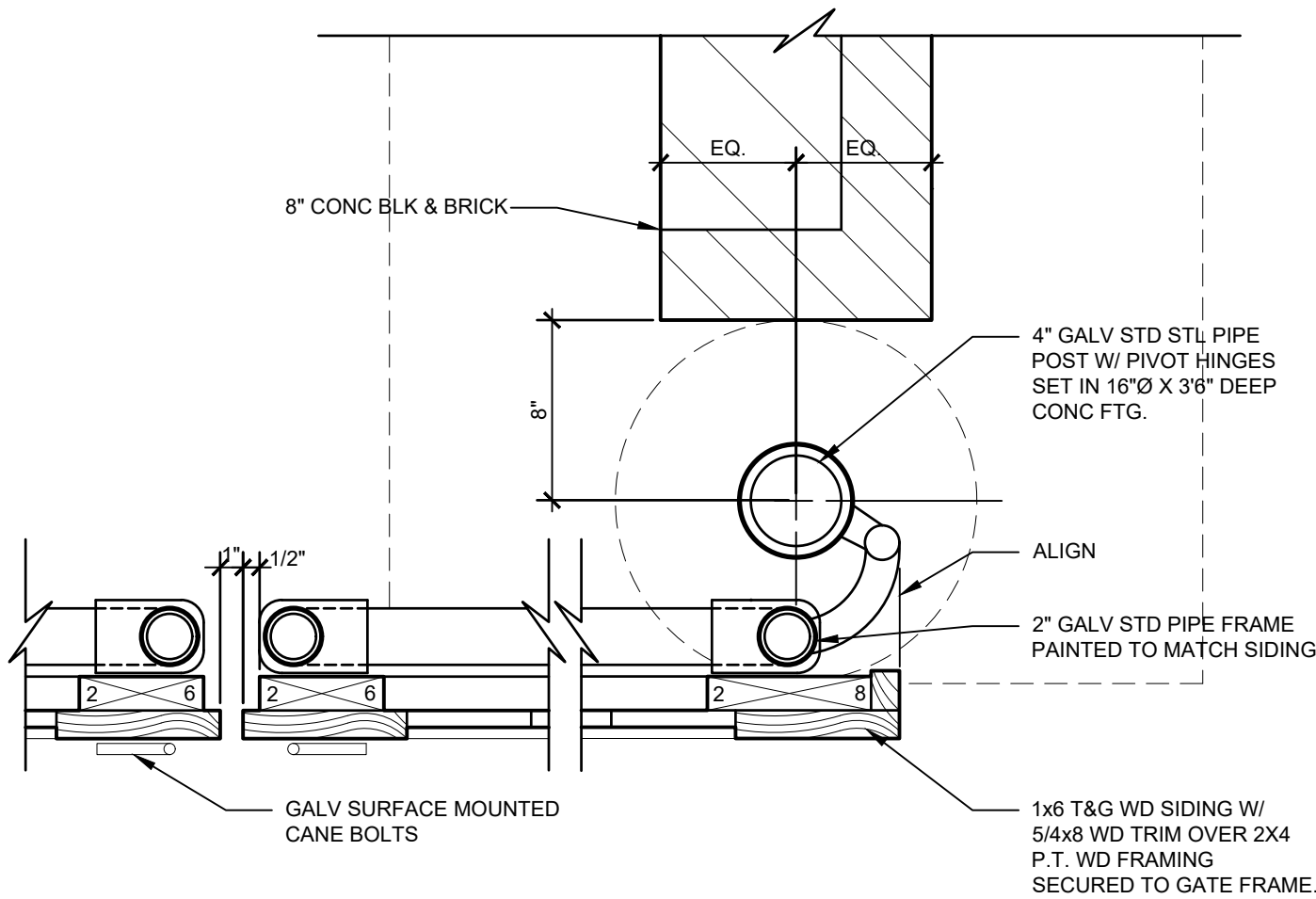
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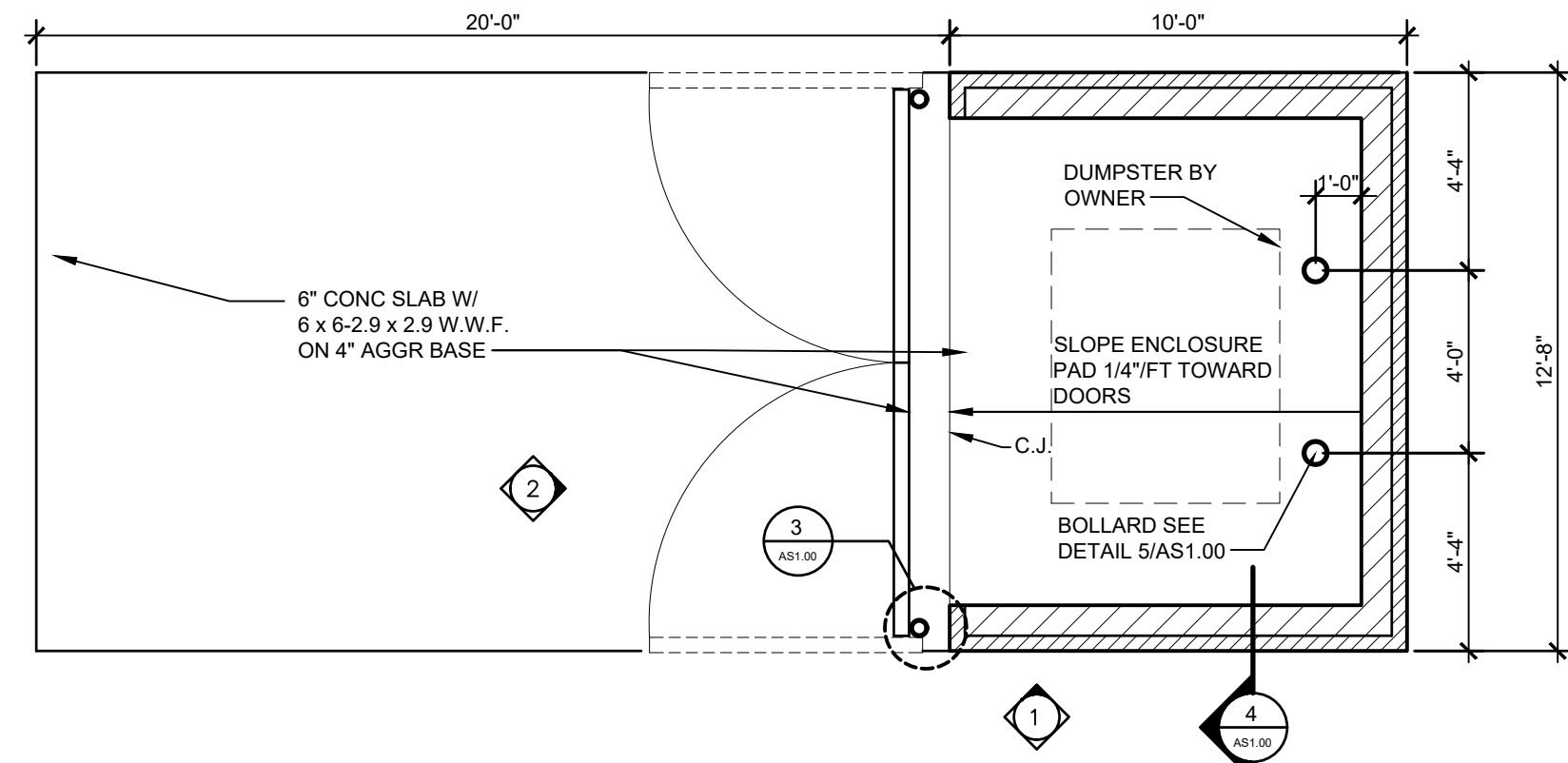
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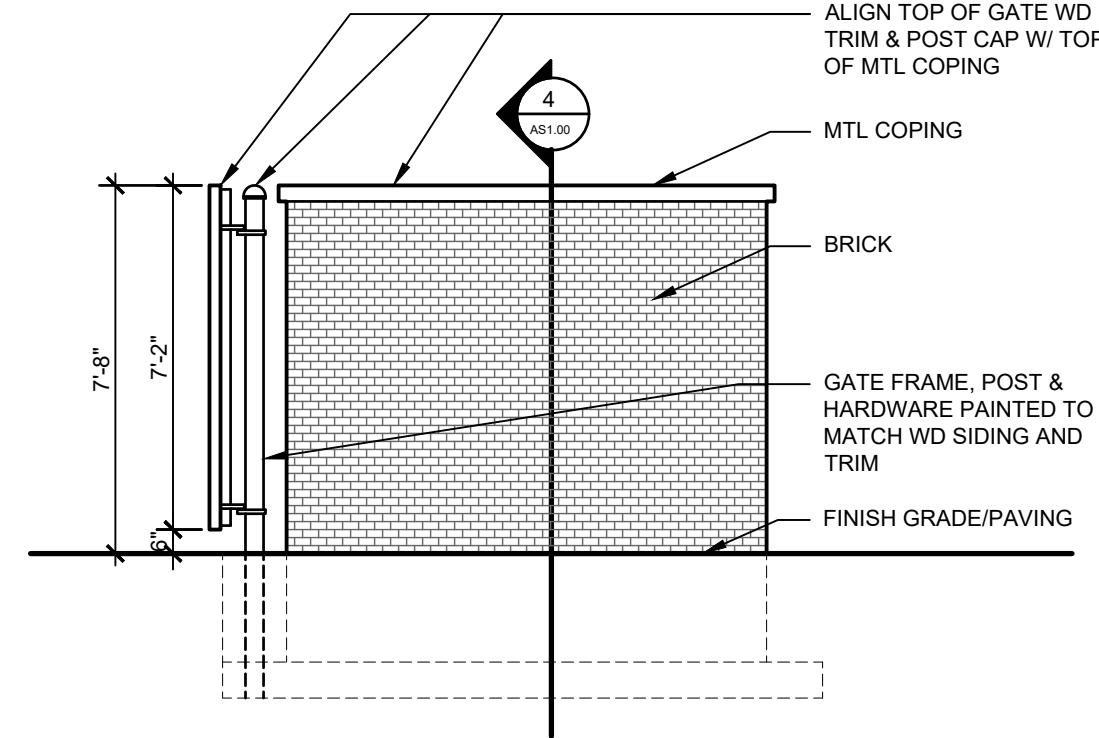
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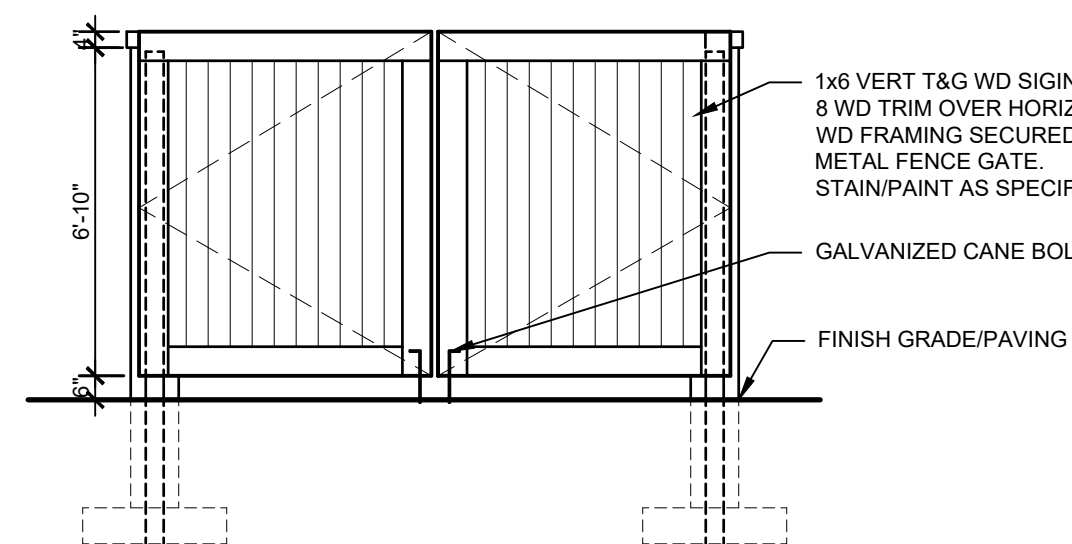
3 DETAIL
1/2"=1'-0"



A PLAN
1/4"=1'-0"



1 SIDE ELEVATION
1/4"=1'-0"



2 FRONT ELEVATION
1/4"=1'-0"

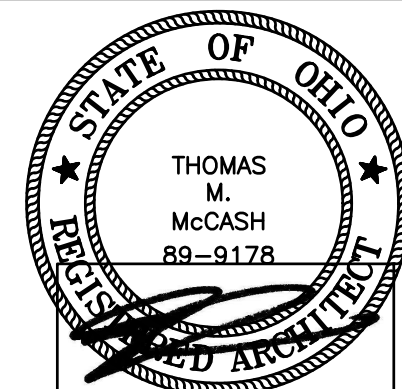
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CONSULTING ENGINEER	REVISIONS
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	11/03/22 PLANNING
	2/15/24 PLANNING
	4/09/24 PLANNING
	9/11/24 PLANNING

SITE DETAILS

A PROJECT OF:
LEVECK COMMERCIAL CONSTRUCTION & DEVELOPMENT, LLC

FOR:
TAYLOR INDUSTRIAL PARK, LLC
TAYLOR ROAD
GAHANNA, OHIO 43230

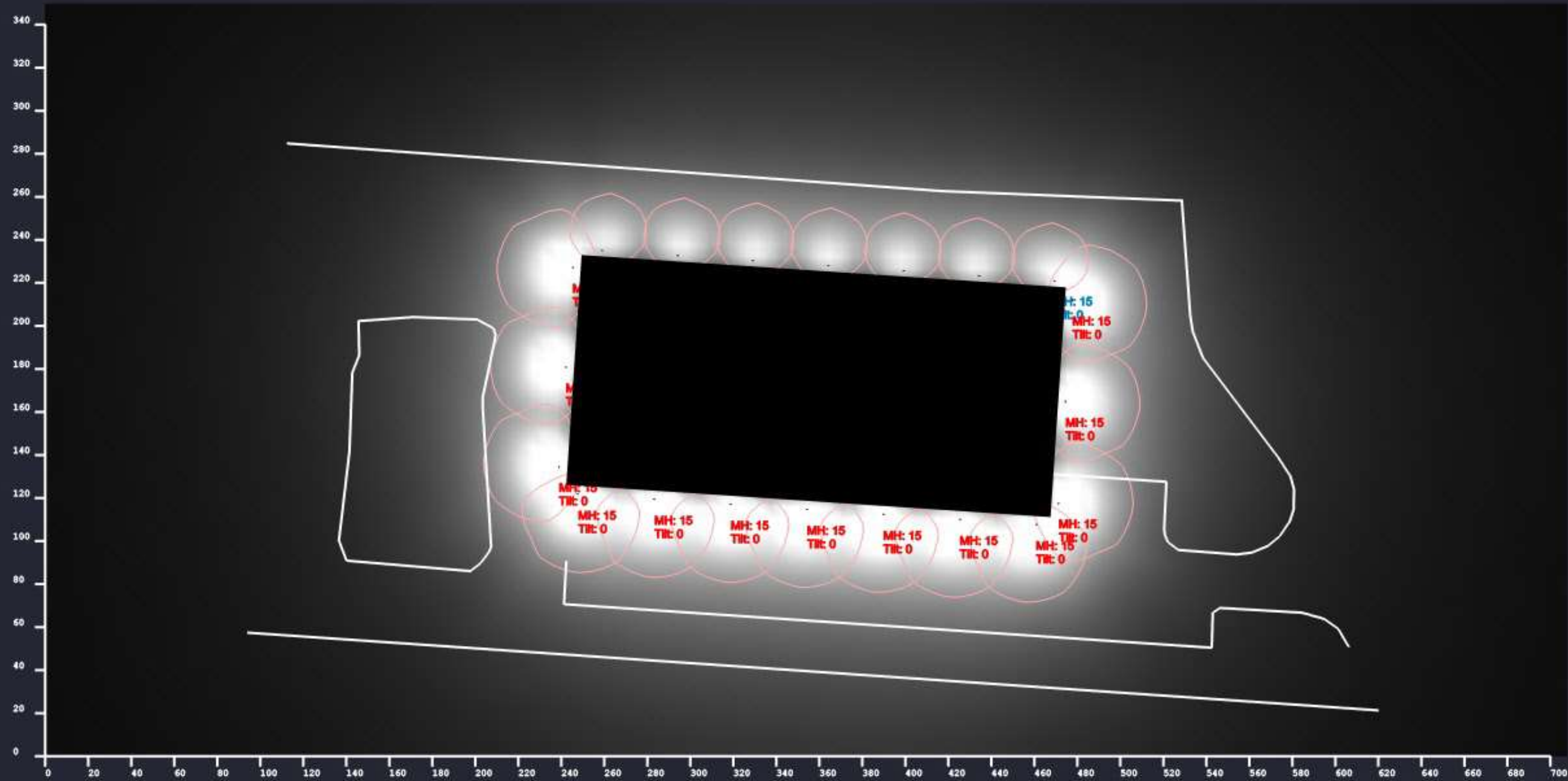
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DATE:	10.03.21	SHEET:
SCALE:		
DRAWN BY:		AS1.00
PROJECT No:	21003	REV:

SCHEMATIC DESIGN 04.17.23



Taylor Rd - 2024 Update

LeVeck Commercial Construction

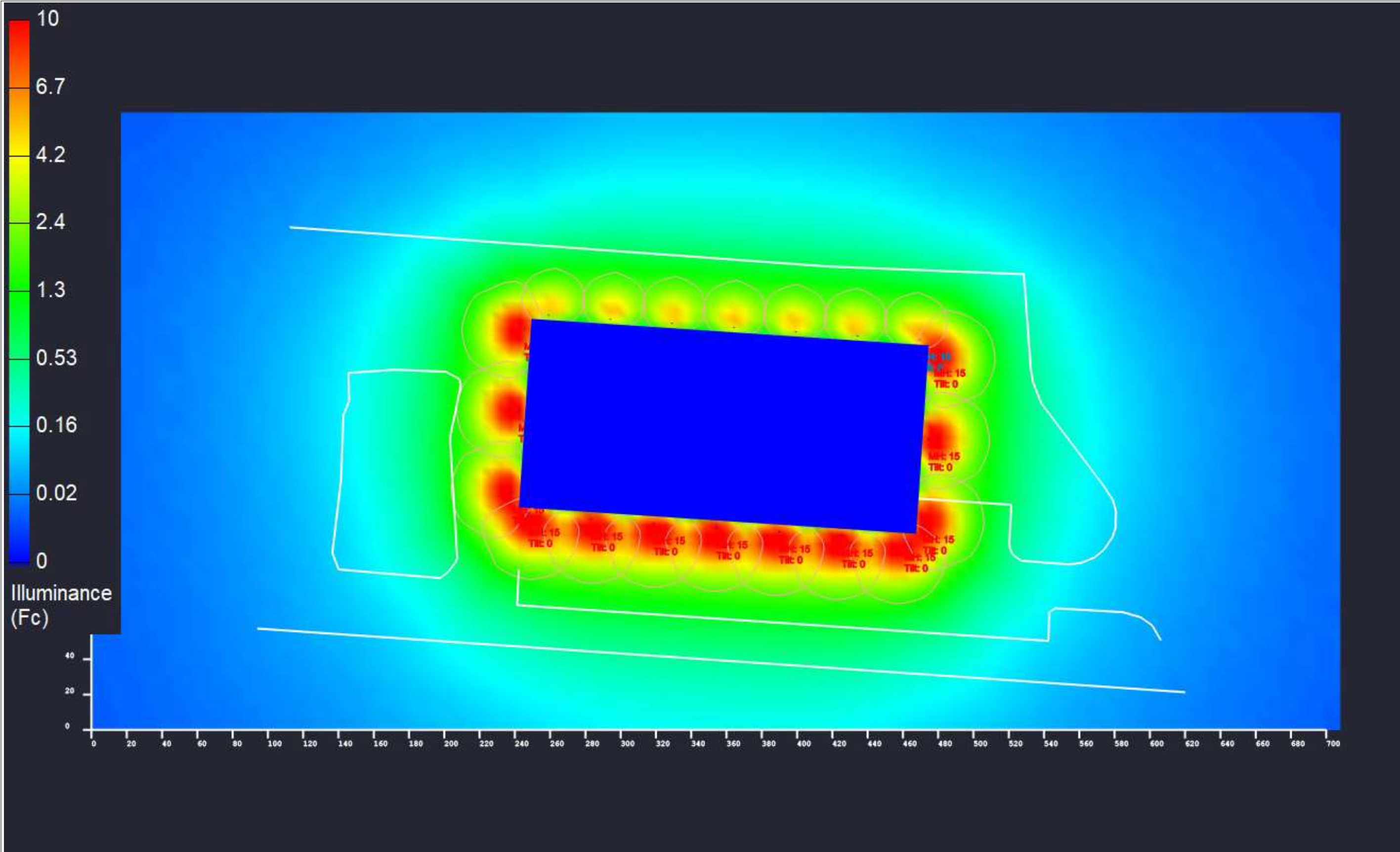
Drawn By: Tony

Checked by:

Date: 2024/2/12

Scale:

Calculations are provided using industry-recognized software and are provided for estimation purposes only. Actual lighting levels will vary depending on field conditions. The calculations correspond to the information provided. Assumptions may be made for information not provided. Due to the above considerations, Altech Electronics will not guarantee that actual light levels measured in the field will match the calculations.



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Drawn By:	Tony
Checked by:	
Date:	2024/2/12
Scale:	

Taylor Rd - 2024 Update
LeVeck Commercial Construction



INGRESS - EGRESS EASEMENT DESCRIPTION

2.297 ACRES

August 13, 2021

Page 1 of 2

Situated in the State of Ohio, County of Franklin, City of Gahanna, Third Quarter of Township 1, Range 16, United States Military Lands, and being part of Lot 19 of David Taylor's Subdivision as recorded in Plat Book 1, Page 10 (original destroyed by fire; reproduction of record), and being a part of that 22.924-acre tract conveyed to Taylor Industrial Park, LLC by Instrument Number 202105280094867, all references are to the records of the Recorder's Office, Franklin County, Ohio, and more particularly described as follows:

Beginning, for reference, at a northeast corner of said 22.924-acre tract, the same being the southeast corner of that 7.624-acre tract conveyed to Eastgate Commercial Park, LLC of record in Instrument Number 201911010145926, in the west right-of-way line for Eastgate Parkway as recorded in Plat Book 101, Page 87;

Thence, along said west right-of-way line, the same being an east line of said 22.924-acre tract, South 05 degrees 19 minutes 23 seconds West, 9.98 feet to the *True Point of Beginning*;

Thence, continue along said west right-of-way line, the same being an east line of said 22.924-acre tract, South 05 degrees 19 minutes 23 seconds West, 30.02 feet;

Thence across said 22.924-acre tract, the following courses;

North 86 degrees 03 minutes 36 seconds West, 574.93 feet;

with a curve to the right (Arc Length = 34.89 feet, Radius = 87.00 feet, Delta = 22 degrees 58 minutes 41 seconds) having chord bearing North 75 degrees 02 minutes 25 seconds West and chord distance 34.66 feet;

North 63 degrees 51 minutes 02 seconds West, 132.17 feet;

with a curve to the left (Arc Length = 36.34 feet, Radius = 97.84 feet, Delta = 21 degrees 16 minutes 54 seconds) having chord bearing North 74 degrees 22 minutes 27 seconds West and chord distance 36.13 feet;

North 84 degrees 40 minutes 00 seconds West, 189.34 feet;

with a curve to the right (Arc Length = 33.15 feet, Radius = 89.57 feet, Delta = 21 degrees 12 minutes 27 seconds) having chord bearing North 74 degrees 16 minutes 39 seconds West and chord distance 32.97 feet;

North 63 degrees 36 minutes 46 seconds West, 90.85 feet;

North 03 degrees 52 minutes 52 seconds East, 612.87 feet;

North 77 degrees 44 minutes 32 seconds East, 38.92 feet;

with a curve to the left (Arc Length = 6.11 feet, Radius = 4.59 feet, Delta = 76 degrees 19 minutes 41 seconds) having chord bearing North 41 degrees 11 minutes 09 seconds East and chord distance 5.67 feet;

North 05 degrees 28 minutes 16 seconds East, 41.33 feet;

with a curve to the left (Arc Length = 85.15 feet, Radius = 199.34 feet, Delta = 24 degrees 28 minutes 24 seconds) having chord bearing North 06 degrees 52 minutes 50 seconds West and chord distance 84.50 feet;

2.297 ACRES
August 13, 2021
Page 2 of 2

with a curve to the right (Arc Length = 52.76 feet, Radius = 131.08 feet, Delta = 23 degrees 03 minutes 43 seconds) having chord bearing North 07 degrees 30 minutes 06 seconds West and chord distance 52.40 feet;

North 04 degrees 01 minutes 45 seconds East, 48.95 feet;

with a curve to the left (Arc Length = 36.93 feet, Radius = 51.41 feet, Delta = 41 degrees 09 minutes 35 seconds) having chord bearing North 17 degrees 14 minutes 29 seconds West and chord distance 36.14 feet to the south right-of-way line for Taylor Road;

Thence, along said south right-of-way line, being 30.00 feet south of the centerline thereof, South 86 degrees 02 minutes 44 seconds East, 56.24 feet;

Thence across said 22.924-acre tract, the following courses;

with a curve to the left (Arc Length = 37.33 feet, Radius = 50.42 feet, Delta = 42 degrees 24 minutes 52 seconds) having chord bearing South 25 degrees 13 minutes 34 seconds West and chord distance 36.48 feet;

South 04 degrees 02 minutes 29 seconds West, 48.69 feet;

with a curve to the left (Arc Length = 40.71 feet, Radius = 101.14 feet, Delta = 23 degrees 03 minutes 43 seconds) having chord bearing South 07 degrees 30 minutes 06 seconds East and chord distance 40.44 feet;

with a curve to the right (Arc Length = 97.85 feet, Radius = 227.83 feet, Delta = 24 degrees 36 minutes 25 seconds) having chord bearing South 06 degrees 52 minutes 20 seconds East and chord distance 97.10 feet;

South 05 degrees 22 minutes 44 seconds West, 41.25 feet;

with a curve to the left (Arc Length = 6.14 feet, Radius = 5.77 feet, Delta = 60 degrees 59 minutes 26 seconds) having chord bearing South 30 degrees 04 minutes 07 seconds East and chord distance 5.85 feet;

South 66 degrees 03 minutes 08 seconds East, 32.93 feet;

South 05 degrees 21 minutes 54 seconds West, 616.15 feet;

South 65 degrees 04 minutes 30 seconds East, 6.83 feet;

with a curve to the left (Arc Length = 22.15 feet, Radius = 57.89 feet, Delta = 21 degrees 55 minutes 27 seconds) having chord bearing South 74 degrees 10 minutes 48 seconds East and chord distance 22.02 feet;

South 84 degrees 42 minutes 31 seconds East, 212.92 feet;

South 63 degrees 51 minutes 29 seconds East, 156.36 feet;

with a curve to the left (Arc Length = 23.28 feet, Radius = 58.63 feet, Delta = 22 degrees 45 minutes 12 seconds) having chord bearing South 74 degrees 59 minutes 15 seconds East and chord distance 23.13 feet;

Thence, continue across said 22.924-acre tract, South 86 degrees 04 minutes 00 seconds East, 575.64 feet to the *True Point of Beginning*, containing 2.297 acres, more or less. Subject to all, legal, easements, rights-of-way, conditions and restrictions. Bearings are based on the Ohio State Plane Coordinate System, South Zone, NAD83 (NSRS 2007).



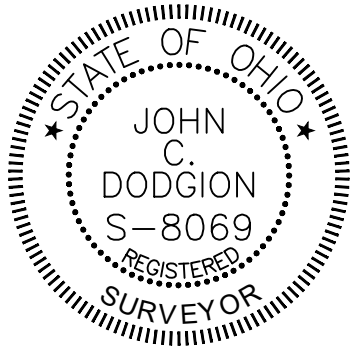
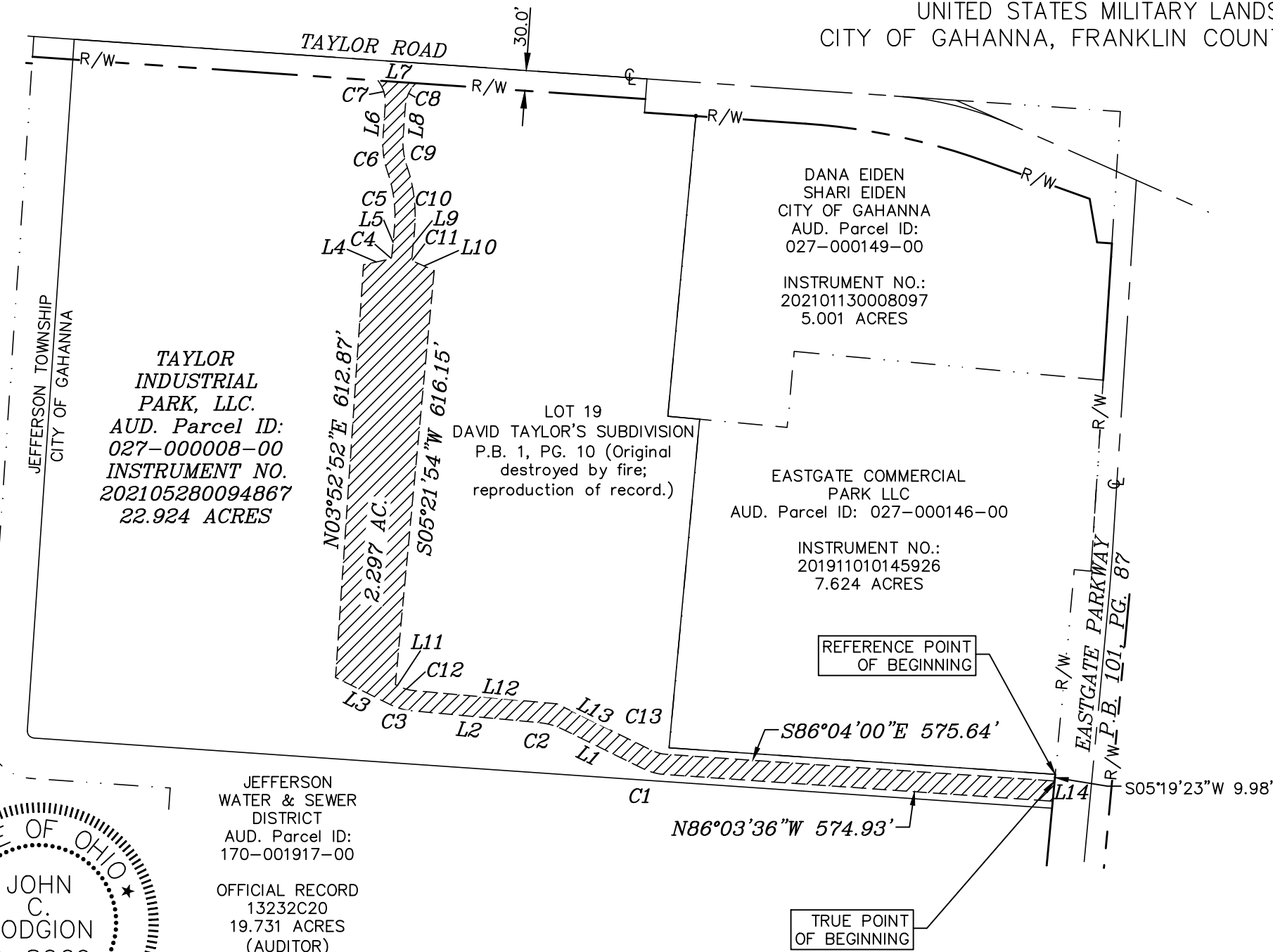

John C. Dodgion, Ohio P.S. 8069

INGRESS-EGRESS
EASEMENT EXHIBIT

PART OF LOT 19, DAVID TAYLOR'S SUBDIVISION,
PLAT BOOK 1, PAGE 10
THIRD QUARTER OF TOWNSHIP 1, RANGE 16,
UNITED STATES MILITARY LANDS
CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

LINE TABLE		
LINE	CHORD DISTANCE	CHORD BEARING
L1	132.17'	N 63°51'02" W
L2	189.34'	N 84°40'00" W
L3	90.85'	N 63°36'46" W
L4	38.92'	N 77°44'32" E
L5	41.33'	N 05°28'16" E
L6	48.95'	N 04°01'45" E
L7	56.24'	S 86°02'44" E
L8	48.69'	S 04°02'29" W
L9	41.25'	S 05°22'44" W
L10	32.93'	S 66°03'08" E
L11	6.83'	S 65°04'30" E
L12	212.92'	S 84°42'31" E
L13	156.36'	S 63°51'29" E
L14	30.02'	S 05°19'23" W

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD DISTANCE	CHORD BEARING
C1	34.89'	87.00'	22°58'41"	34.66'	N 75°02'25" W
C2	36.34'	97.84'	21°16'54"	36.13'	N 74°22'27" W
C3	33.15'	89.57'	21°12'27"	32.97'	N 74°16'39" W
C4	6.11'	4.59'	76°19'41"	5.67'	N 41°11'09" E
C5	85.15'	199.34'	24°28'24"	84.50'	N 06°52'50" W
C6	52.76'	131.08'	23°03'43"	52.40'	N 07°30'06" W
C7	36.93'	51.41'	41°09'35"	36.14'	N 17°14'29" W
C8	37.33'	50.42'	42°24'52"	36.48'	S 25°13'34" W
C9	40.71'	101.14'	23°03'43"	40.44'	S 07°30'06" E
C10	97.85'	227.83'	24°36'25"	97.10'	S 06°52'20" E
C11	6.14'	5.77'	60°59'26"	5.85'	S 30°04'07" E
C12	22.15'	57.89'	21°55'27"	22.02'	S 74°10'48" E
C13	23.28'	58.63'	22°45'12"	23.13'	S 74°59'15" E



JEFFERSON
WATER & SEWER
DISTRICT
AUD. Parcel ID:
170-001917-00

OFFICIAL RECORD
13232C20
19.731 ACRES
(AUDITOR)

John C. Dodgion
JOHN C. DODGION REG. SURVEYOR NO. 8069

PROPERTY ADDRESS

6579 TAYLOR ROAD, GAHANNA, OHIO 43230

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATE
SYSTEM, SOUTH ZONE, NAD83 (NSRS 2007)

DRAWN BY: N. MASON	DATE: AUG. 18, 2021
CHECKED BY: J. DODGION	DRAWING NO.: 794902
JOB NO.: 794902	SHEET 1 OF 1



PREPARED BY:
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PLANNING COMMISSION STAFF REPORT

Project Summary – Taylor Commercial Park

Meeting Date: February 26, 2025

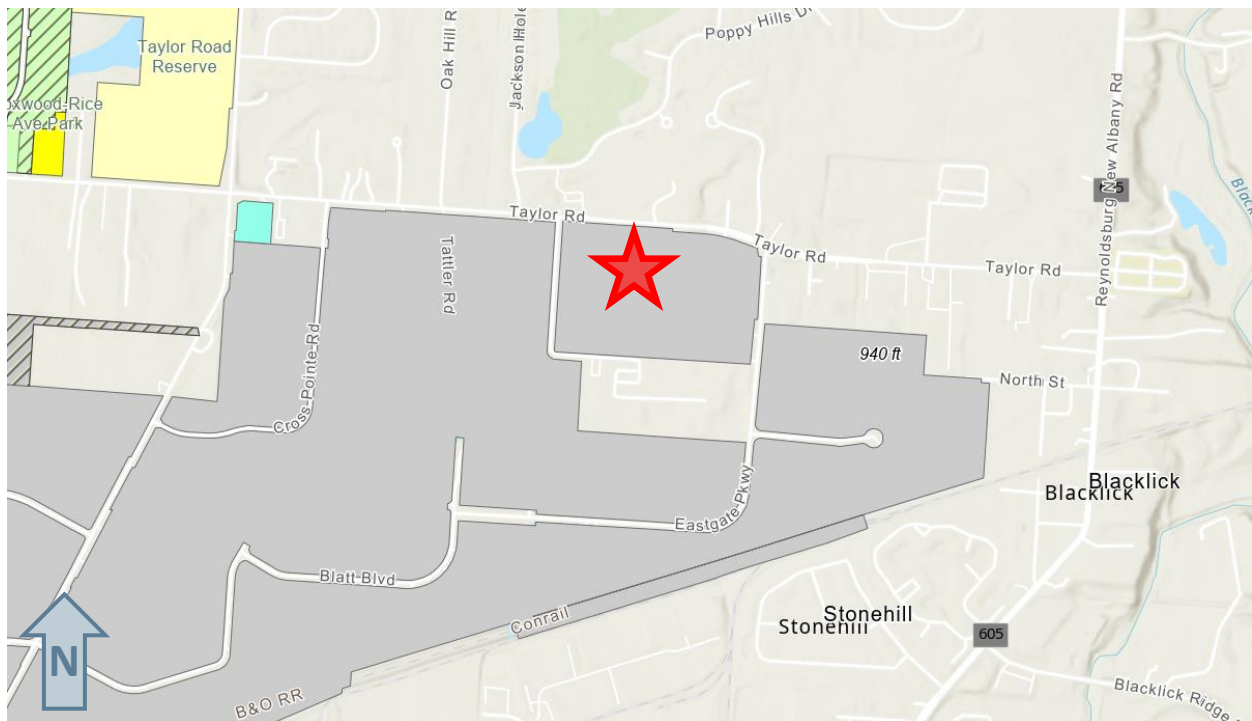
Zoning: Office, Commerce, and Technology (OCT)

Application Type(s): Final Development Plan (FDP), Design Review (DR), and Variance (V)

Staff Representative: Maddie Capka, Planner II

Recommendation: Staff recommends approval of the FDP, DR, and Variance applications.

Location Map:



Staff Review

History

In April 2021, Design Review and Final Development Plan applications were approved for two flex industrial buildings, eight storage buildings, and one large industrial building. All of these totaled 255,350 SF of building space. The approved plans also included associated parking and landscaping. The site is entirely developed, except for the northwest corner that is a part of today's applications.

Overview

The applicant is requesting approval of Final Development Plan, Design Review, and Variance applications for a new 21,000 SF building at the front, northwest corner of the Taylor Industrial Park site. The development includes a new internal access drive, 31 parking spaces, two of which are ADA spaces, and new landscaping around the parking lot and building.

The front elevation of the building that faces the ROW is primarily a tan "tumbleweed" color with stone accent around the base. The rear and side elevations utilize tan "light stone" metal panels that match the front elevation and the existing buildings. Based on the total parking area, 840 SF of landscape area is required and provided, and nine trees will be planted in and around the parking lot.

There is one variance requested for this project. This application was filed under the former zoning code, which required a 75 ft front yard setback for this use. The proposed building is only 40 ft from the front property line. The applicant states that the building cannot be placed any further from the front property line due to the stream on the site and the number of parking spaces required.

Review Criteria

Final Development Plan (FDP)

Planning Commission shall approve an FDP application if the following four conditions are met:

1. The proposed development meets the applicable development standards of this Zoning Ordinance.
2. The proposed development is in accord with appropriate plans for the area.
3. The proposed development would not have undesirable effects on the surrounding area.
4. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

Design Review (DR)

General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.

- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect, and enhance the physical surroundings of the Design Review District.

Variance (V)

The following variance has been requested:

1. Ch 1155.04(b)(1) – Site Planning
 - a. Warehouse/manufacturing/industrial uses must be at least 75 ft from the front property line.
 - b. The applicant states that there may be times where the materials are taller than 10 ft.

Planning Commission shall not grant a variance unless it finds that all the following conditions apply:

- a) There are special circumstances or conditions applying to the land, building or use referred to in the application.
- b) The granting of the variance is necessary for the preservation and enjoyment of substantial property rights.
- c) The granting of the application will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the proposed use and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood.

Recommendation

Staff recommends approval of the Final Development Plan, Design Review, and Variance applications. The site is already mostly developed, and the proposed building is in-line with the existing development in both use and appearance.

The variance request is reasonable and under the current zoning code, the front yard setback is only 20 ft, and a variance would not be required at all. The project meets all code requirements with this one variance.