



ZONING DIVISION
200 S. Hamilton Road
Gahanna, Ohio 43230
614-342-4025
zoning@gahanna.gov
www.gahanna.gov

FINAL DEVELOPMENT PLAN APPLICATION

PROPERTY INFORMATION		
Project/Property Address: 460 Havens Corners		Project Name/Business Name: Campus & Co.
Parcel #: 025-007064-00	Zoning: (see Map) CC	Acreage: .54


PLAN SPECIFICATIONS
Project Description & Proposed Use(s): Interior renovation, and enclose vestibule with storefront windows/doors. Private membership organization for the retail sale of grocery/household items.

APPLICANT INFORMATION	
Applicant Name (Primary Contact): Jerry Southard	Applicant Address: 1301 Research Rd.
Applicant E-mail: jerry@accidb.com	Applicant Phone: 614 804 4217
Business Name (if applicable): ACCi Design Build	

ADDITIONAL CONTACTS	
Please list all applicable contacts for correspondence	
Name(s)	Contact Information (phone/email)
Property Owner Name: (if different from Applicant) Eagle Academy of Columbus	Property Owner Contact Information (phone no./email): 614-596-4190 / gavin.gooden@blastone.com

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant Signature:  Date: 11/28/22

ADDITIONAL INFORMATION ON NEXT PAGE....

INTERNAL
USE

Zoning File No. FDP0464-2022 RECEIVED: JW. PAID Check 2032
DATE: 11/29/22 DATE: 11/29/22 Updated
Apr 2022

FINAL DEVELOPMENT PLAN APPLICATION - SUBMISSION REQUIREMENTS

TO BE COMPLETED/SUBMITTED BY THE APPLICANT:
1. Review Gahanna Code Chapter 1108 (visit www.municode.com) & Chapter 914 , Tree Requirements
2. Pre-application conference with staff. Contact zoning@gahanna.gov to schedule
3. The Final Development Plan shall include the following: <ol style="list-style-type: none"> a. Scale: Minimum - one inch equals 100 feet. b. The proposed name of the development, approximate total acreage, north arrow, and date c. The names of any public and/or private streets adjacent to or within the development d. Names and addresses of owners, developers and the surveyor who designed the plan e. Vicinity map showing relationship to surrounding development and its location within the community f. Natural features currently within proposed development, including drainage channels, tree lines, bodies of water, and other significant features g. Zoning district, building and parking setbacks h. Proposed location, size and height of building and/or structures i. Location and dimensions of proposed driveways and access points j. Proposed parking and number of parking spaces k. Distance between buildings
4. A table of development calculations is required which shall include: <ol style="list-style-type: none"> a. Parking calculations: (square footage of proposed buildings, number of spaces per square foot, number of spaces required, and actual number of spaces proposed) b. Lot coverage calculations: (square footage of site, area of permanently impervious surfaces broken down into buildings and parking, area of uncovered land, coverage requirements, proposed lot coverage) c. Setback calculations necessary when commercial abuts residential (if needed; see chapter 1167.20) d. Landscaping calculations: (square footage of pavement, proposed area of landscaping, square footage of landscaping, number of trees required, and number of trees proposed; see chapter 1163.08)
5. Any other information the Planning Commission may deem to be necessary to evaluate the application. These items can include such things as elevations, traffic studies, floor plans, etc.
6. List of contiguous property owners & their mailing address
7. One set of pre-printed mailing labels for all contiguous property owners
8. Application fee (<i>in accordance with the Building & Zoning Fee Schedule</i>)
9. Application & all supporting documents submitted in digital format
10. Application & all supporting documents submitted in hardcopy format
11. One (1) copy 24"x36" or 11"x17" prints of the plans
12. Authorization Consent Form Complete & Notarized (see page 3)

PLEASE NOTE:

- The Public Hearing will not occur until the City of Gahanna reviews the Application for Code Consistency. Applications that are not consistent with the code will not be scheduled for hearing.
- The application expires if no action is taken 6 months from the date of the last staff comment letter.

AUTHORIZATION CONSENT FORM

(must sign in the presence of a notary)

If you are filling out more than one application for the same project & address, you may submit a copy of this form with additional applications.

PROPERTY OWNER

IF THE PROPERTY OWNER IS THE APPLICANT, SKIP TO NEXT SECTION

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all terms and agreements made by the applicant/representative

FIFTH THIRD BANK NATIONAL ASSOCIATION

BY: Thomas A. Ross Jennifer E. Hume **CONSISTENT WITH SUCH PLAN**

NAME: TITLE (property owner name printed) AND TITLE
Thomas A. Ross Jennifer E. Hume

VP-Director of Corporate Real Estate VP, Fifth Third Bank 2/21/23
 (property owner signature) (date)
 EWS Real Estate Manager

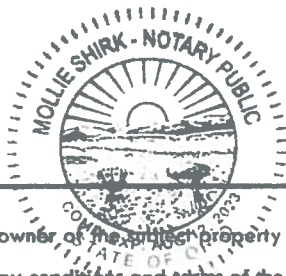
WITH RESPECT TO THE PLAN IN ITS CURRENT FORM WITHOUT

SINCE PROPERTY OWNER REQUIRES 2 SIGNATURES TO CONSENT, PLEASE SEE ATTACHED "PROPERTY OWNER SECOND SIGNATURE PAGE"

Subscribed and sworn to before me on this 21 day of February, 2023.

State of Ohio County of Hamilton

Notary Public Signature: [Signature]



Applicant/Property Owner/Representative

AGREEMENT TO COMPLY AS APPROVED As the applicant/representative/owner of the subject property listed on this application, I hereby agree that the project will be completed as approved with any conditions and terms of the approval, and any proposed changes to the approval shall be submitted for review and approval to City staff.

AUTHORIZATION TO VISIT THE PROPERTY I hereby authorize City representatives to visit, photograph and post notice (if applicable) on the subject property as described.

APPLICATION SUBMISSION CERTIFICATION I hereby certify that the information on this application is complete and accurate to the best of my knowledge.

Jerry Southard
 (applicant/representative/property owner name printed)

[Signature] 2/21/2023
 (applicant/representative/property owner signature) (date)

Subscribed and sworn to before me on this 21 day of February, 2023.

State of Ohio County of Franklin

Notary Public Signature: Carilyn Hess

Carilyn Hess
 Notary Public, State of Ohio
 My Commission Expires 10/01/2024

PROPERTY OWNER SECOND SIGNATURE PAGE TO
AUTHORIZATION CONSENT FORM TO
460 HAVENS CORNERS ROAD TENANT IMPROVEMENTS
DATED 10/18/2022 PROPOSED BY DES ENGINEERING, LLC ("PLAN")

As the property owner/authorized owner's representative of the subject property listed on this application, hereby authorize the applicant/representative to act in all matters pertaining to the processing and approval of this application, with respect to the Plan in its current form without modifying the project, I agree to be bound by all terms and agreements made by the applicant/representative consistent with such Plan.

FIFTH THIRD BANK NATIONAL ASSOCIATION

By: [Signature]
(property owner name and title)
Thomas A. Ross

Name & Title: VP-Director of Corporate Real Estate Jennifer E. Hume

X [Signature] AVP, Fifth Third Bank
(property owner signature) EWS Real Estate Manager

2/21/23
(date)

Subscribed and sworn to before me on this 21st day of February, 2023.

State of Ohio, County of Hamilton

Notary Public Signature: [Signature]





EXP. 12/31/23

DARIN RANKER ARCHITECTS
+ INTERIOR DESIGNERS
5925 Wilcox Place, Suite E, Dublin, OH 43016
Phone: 614-792-1001
adm@darinranker.com



Gahanna, Ohio

Tenant Improvements For
Campus & Co.
460 Havens Corner Rd

DRA Proj. No.: 22-295
Drawn by: AJH
Checked By: BAR
Date: 11-10-2022
Revisions

GO.01

Tenant Improvements For Campus & Co.

at

460 Havens Corners Rd. Gahanna, Ohio

ARCHITECT:



DARIN RANKER ARCHITECTS
+ INTERIOR DESIGNERS
5925 Wilcox Place Suite E, Dublin, Ohio 43016,
Ph. 614-792-1002, Fax 614-792-1001

ENGINEER:



ALLEMANG ENGINEERING, LLC
Donald K. Alleman, PE
5501 Old Creek Lane Hilliard, Ohio 43026
(614) 580-0006 d.alleman@columbus.rr.com

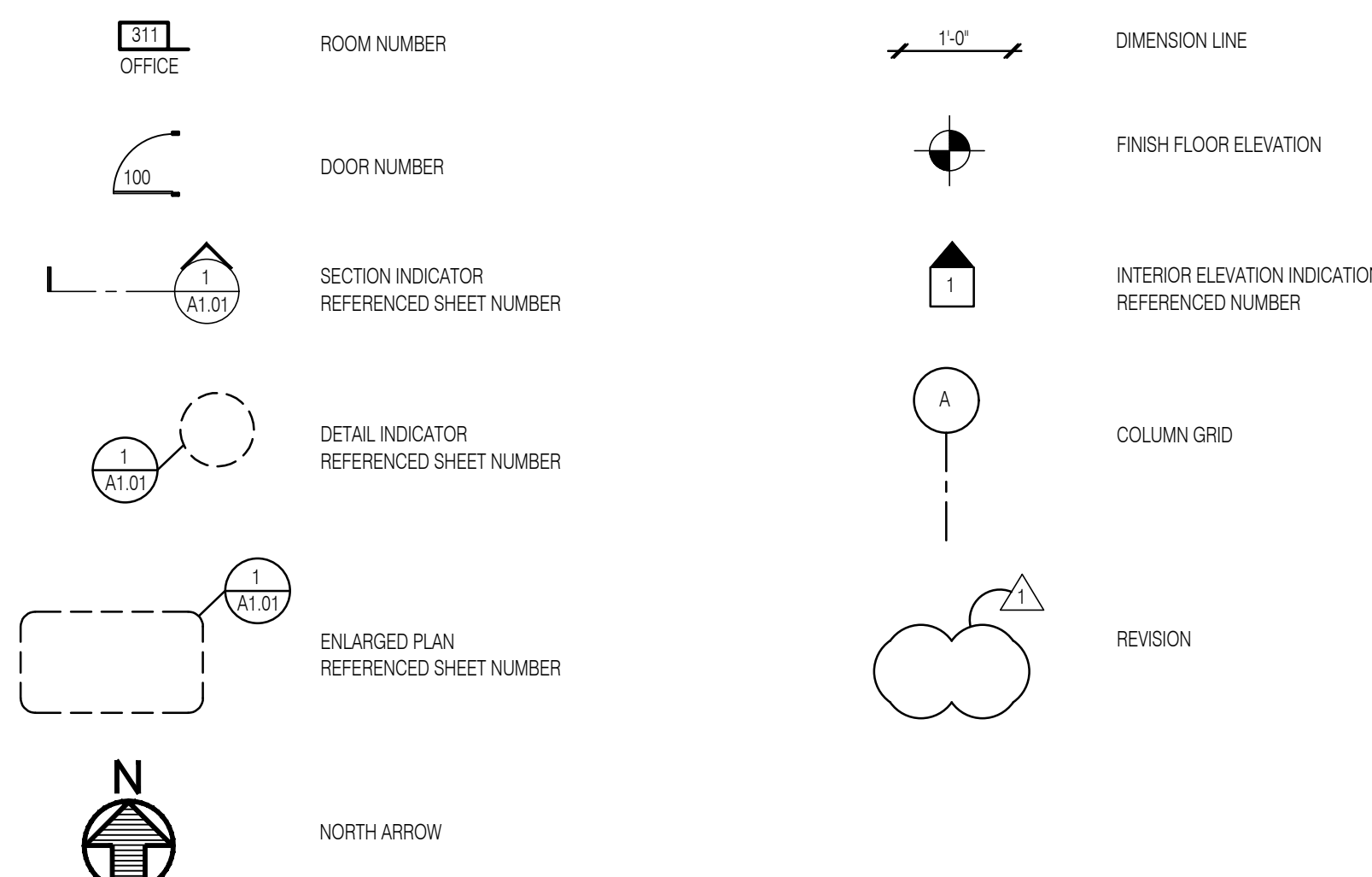
GENERAL ARCHITECTURAL NOTES

- GOVERNING CODE - OHIO BUILDING CODE 2017.
- THIS IS A 'BUILDERS SET' OF DRAWINGS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE ITEMS SHOWN ON THE ARCHITECTURAL DRAWINGS. OBTAIN ARCHITECTS SPECIFIC APPROVAL PRIOR TO DEVIATING FROM THE DRAWINGS. IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO COMPLY WITH STANDARD BUILDING AND CONSTRUCTION PRACTICES AND AND MANUFACTURERS RECOMMENDATIONS FOR ALL ITEMS NOT SPECIFICALLY INDICATED AND DETAILED ON THE DRAWINGS. FOLLOW THE BEST TRADE PRACTICES AND ENGINEERING FOR THE ITEMS NOT SPECIFICALLY DETAILED AND INDICATED.
- DIMENSIONS SHOWN ARE FINISHED DIMENSIONS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS. ALL DIMENSIONS SHALL BE VERIFIED AT THE JOB SITE BY THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR. THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
- THESE DOCUMENTS WERE PREPARED ON THE BASIS OF EXAMINATION OF VISIBLE PORTIONS OF THE EXISTING STRUCTURE. THE ARCHITECTS/ENGINEERS ASSUME NO RESPONSIBILITY FOR ANY SITUATIONS, DIMENSIONS, OR OTHER CONDITIONS OF THE EXISTING STRUCTURE WHICH MAY ARISE DURING DEMOLITION OR CONSTRUCTION.
- SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE DRAWINGS CONFLICT WITH THESE NOTES, STRUCTURAL NOTES, THE SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
- THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL BUILDING CODE REQUIREMENTS THE LOCAL GOVERNING AUTHORITY, AND SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, FEES, AND INSPECTIONS, WITH THE EXCEPTION OF FEES REQUIRED FOR THE PLUMBING, HVAC, AND ELECTRICAL PORTIONS OF THE WORK, WHICH ARE THE RESPONSIBILITY OF THE RESPECTIVE SUBCONTRACTORS.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW THE APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
- PERFORM DEMOLITION AS INDICATED ON PLANS AND DETAILS AND AS REQUIRED FOR THE COMPLETION OF THE PROJECT AS INDICATED. SCHEDULE AND PERFORM DEMOLITION PROCEDURES TAKING NECESSARY PRECAUTIONS TO PREVENT WATER DAMAGE TO THE EXISTING STRUCTURE.
- DO NOT CUT OR PATCH ANY WORK THAT WILL IMPAIR THE STRUCTURAL LOAD CARRYING CAPACITY OR REDUCE THE LOAD/DEFLECTION RATIO.
- PROVIDE ADEQUATE TEMPORARY SUPPORT AND SHORING FOR WORK BEING CUT AND PATCHED TO PREVENT FAILURE. PROVIDE ADEQUATE PROTECTION OF OTHER WORK DURING CUTTING AND PATCHING TO PREVENT DAMAGE. CUT WORK BY METHOD MOST LIKELY TO DAMAGE RETAINED AND ADJOINING WORK.
- CUTTING INTO NEW WORK OF OTHER TRADES OR INTO THE EXISTING STRUCTURE SHALL BE PERFORMED BY THE TRADE REQUIRING THE CUTTING. ALL CUTTING SHALL BE DONE IN A NEAT MANNER USING SAWS WHERE POSSIBLE. ANY DAMAGE TO THE WORK OF THE OTHER TRADES OR TO THE EXISTING STRUCTURE IN EXCESS OF THE CUTTING REQUIRED, WHICH, IN THE OPINION OF THE ARCHITECT, IS DUE TO NEGLIGENCE, SHALL BE REPAIRED AT THE EXPENSE OF THE TRADE WHO DID THE CUTTING. ALL PATCHING AND PAINTING AS A RESULT OF THE CUTTING AND NOT TO THE NEGLIGENCE ACTION SHALL BE DONE BY THE CONTRACTOR AT HIS EXPENSE.
- IN ANY ROOM IN WHICH PLUMBING, HEATING, OR ELECTRICAL ALTERATIONS ARE MADE, THE CONTRACTOR REQUIRING CUTTING INTO EXISTING WORK SHALL MAKE PROPER REPAIRS TO OTHER BUILDING ITEMS AFFECTED (I.E., FLOORS, WALLS, CEILINGS, BASE, CHAIR RAIL, TRIM ETC.).
- ALL CONNECTIONS ARE TO DEVELOP THE FULL STRENGTH OF THE FRAMING MEMBERS, UNLESS OTHERWISE APPROVED.
- BOLTING OF WOOD TO STRUCTURAL MEMBERS OR MASONRY SHALL BE IN GENERAL WITH A MINIMUM OF 1/2" DIA. ANCHOR BOLTS AT 4'-0" O.C. EXCEPT WHERE SHOWN OTHERWISE. SITUATIONS REQUIRING SPECIAL BOLTING SHALL BE WITH THE SIZE AND SPACING OF BOLTS TO SUIT THE CONDITIONS. ANCHORING OF WOOD TO STRUCTURAL MEMBERS, OR CONCRETE SHALL BE, IN GENERAL, WITH STRAP ANCHORS FIXED IN PLACE WITH EXPANSION ANCHORS OR POWER DRIVEN ANCHORS.
- PROVIDE LINTELS OR HEADERS OVER ALL OPENINGS INCLUDING THOSE REQUIRED FOR DUCTWORK, PIPES, LOUVERS, GRILLES, DAMPERS, ETC.
- FILL ANY MASONRY VOIDS WITH MORTAR OR CONCRETE WHERE ANCHORS OCCUR.
- THE COURSING OF ALL MASONRY IS TO MATCH THAT IN THE EXISTING BUILDING. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND PROFILES OF STONE AT THE SITE.
- EQUIPMENT FRAMING LOADS, OPENINGS AND STRUCTURE IN ANY WAY RELATED TO HVAC, PLUMBING, OR ELECTRICAL REQUIREMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. CONTRACTORS SHALL OBTAIN APPROVAL OF THE TRADES INVOLVED BEFORE PROCEEDING WITH SUCH PORTION OF THE WORK. EXCESS COST RELATED TO VARIATION IN THESE REQUIREMENTS ARE TO BE BORNE BY THE APPROPRIATE CONTRACTOR.
- ALL EQUIPMENT FURNISHED AND WORK PERFORMED UNDER THE CONTRACT DOCUMENTS SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE. ANY FAILURE OF EQUIPMENT OR WORK DUE TO DEFECTS IN MATERIAL OR WORKMANSHIP SHALL BE CORRECTED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- ALL CONCRETE CURBS AND EQUIPMENT PADS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR AND SIZED AND LOCATED BY THE CONTRACTOR INSTALLING THE EQUIPMENT, UNLESS NOTED OTHERWISE.
- SIZE AND LOCATION OF ALL FLOOR AND ROOF OPENINGS ARE TO BE VERIFIED WITH THE TRADE AFFECTED BEFORE PROCEEDING WITH THE WORK.
- COORDINATE LOCATIONS AND/OR ELEVATIONS OF FLOOR DRAINS, REGISTERS, ACCESS PANELS, GRILLS, LOUVERS, CONNECTORS, CABINET UNIT HEATERS, PANELS, ETC., WITH MECHANICAL AND ELECTRICAL CONTRACTORS.
- IN GENERAL, NEW MATERIALS AND MATERIALS FOR REPAIR CONDITIONS SHALL MATCH SIMILAR ITEMS IN QUALITY, DETAIL, PROFILE, AND FINISH AS THOSE ALREADY BUILT INTO THE WORK.
- PATCH ALL WALLS, FLOORS, AND CEILINGS AND PROPERLY PREPARE ALL SURFACES FOR NEW FINISHES. PATCH WITH SEAMS WHICH ARE DURABLE AND AS INVISIBLE AS POSSIBLE. COMPLY WITH SPECIFIED TOLERANCES FOR THE TYPE OF WORK BEING DONE. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND, WHERE NECESSARY, EXTEND NEW FINISH RESTORATION ONTO ADJOINING RETAINED WORK IN A MANNER WHICH WILL ELIMINATE EVIDENCE OF PATCHING.
- CONSTRUCTION JOINTS ARE PERMITTED ONLY WHERE SHOWN OR AS APPROVED BY THE ARCHITECT.
- BENCH MARK: NEW FINISH FLOOR ELEVATIONS 100'-0" TO MATCH EXISTING BUILDING ELEVATION UNLESS NOTED OTHERWISE.

ABBREVIATIONS

AFF ABOVE FINISH FLOOR	EWC ELECTRIC WATER COOLER	MFR MANUFACTURE (R)	REV REVISION (S); REVISED
ACT ACOUSTICAL CEILING TILE	EL ELEVATION	MAR MARBLE	ROW RIGHT OF WAY
ADJ ADJACENT	EO EQUAL	MAS MASONRY	RD ROOF DRAIN
A/C AIR CONDITIONING	EXIST EXISTING	MO MASONRY OPENING	RM ROOM
ALT ALTERNATE	EB EXPANSION BOLT	MAX MAXIMUM	RO ROUGH OPENING
ALUM ALUMINIUM	EXP EXPOSED	MECH MECHANIC (AL)	SCH SCHEDULE
AB ANCHOR BOLT	EXT EXTERIOR	MTL METAL	SEC SECTION
ANOD ANODIZED	FOC FACE OF CONCRETE	M METER (S)	SHF SHEET
ASPH ASPHALT	FOM FACE OF MASONRY	MM MILLIMETER (S)	SIM SIMILAR
BRG BEARING	FOS FACE OF STUDS	MIN MINIMUM	SC SOLID CORE
BPL BEARING PLATE	FIN FINISH (ED)	MI MIRROR IMAGE	S SOUTH
BM BENCH MARK	FE FIRE EXTINGUISHER	MLD MOLDING, MOULDING	SPEC SPECIFICATION (S)
BIT BITUMINOUS	FEC FIRE EXTINGUISHER CABINET	MT MOUNT (ED), (ING)	SQ SQUARE
BLKG BLOCKING	FLR FLOOR (ING)	NRC NOISE REDUCTION COEFFICIENT	SS STAINLESS STEEL
BD BOARD	FD FLOOR DRAIN	NOM NOMINAL	STD STANDARD
BOT BOTTOM	FTG FOOTER	N NORTH	STL STEEL
BLDG BUILDING	FND FOUNDATION	NIC NOT IN CONTRACT	SD STORM DRAIN
CAB CABINET	FR FRAME (L), (ING)	NTS NOT TO SCALE	SUSP SUSPENDED
CB CATCH BASIN	FUR FURRED (ING)	OC ON CENTER (S)	SYM SYMMETRY (ICAL)
CLG CEILING	GA GAGE GAUGE	OPCI OWNER FURNISHED/	TEL TELEPHONE
CEM CEMENT	GL GLASS, GLAZING	CONTRACTOR INSTALLED	TEMP TEMPERED
CM CENTIMETER (S)	GB GRAB BAR	OFOI OWNER FURNISHED/	TFTI TENANT FURNISHED
CT CERAMIC TILE	HDW HARDWARE	OWNER INSTALLED	TENANT INSTALLED
COL COLUMN	HTG HEATING	OPG OPENING	TV TELEVISION
CONC CONCRETE	HVAC HEATING/VENTILATION/	OPP OPPOSITE	THK THICK
CONC CONCRETE MASONRY UNIT	AIR CONDITIONING	OPH OPPOSITE HAND	TAG TONGUE AND GROOVE
CONST CONSTRUCTION	HT HEIGHT	OD OUTSIDE DIAMETER	TSL TOP OF SLAB
CONT CONTINUOUS OR CONTINUE	HC HOLLOW CORE	OH OVERHEAD	TST TOP OF STEEL
CONTR CONTRACT (OR)	HM HOLLOW METAL	PNL PANEL	TW TOP OF WALL
CTF CONTROL JOINT	HOR HORIZONTAL	PTN PARTITION	TB TOWEL BAR
CORR CORRUGATED	HB HOSE BIB	PVT PAVEMENT	TYP TYPICAL
CRS COURSE (S)	HWH HOT WATER HEATER	PLAM PLASTIC LAMINATE	UNO UNLESS NOTED OTHERWISE
CFT CUBIC FOOT	ID INSIDE DIAMETER	PL PLATE	UR URINAL
CYD CUBIC YARD	INT INTERIOR	PLYD PLYWOOD	WC WATER CLOSET
DL DEAD LOAD	INV INVERT	PVC POLYVINYL CHLORIDE	WP WATER PROOF (ING)
DTL DETAIL	JT JOINT	PCF POUNDS PER CUBIC FOOT	WVF WELDED WIRE FABRIC
DM DIMENSION	LAB LABORATORY	PFL POUNDS PER LINEAL FOOT	W WEST
DN DIVISION	LAM LAMINATE (D)	PSF POUNDS PER SQUARE FOOT	W WIDTH
DR DOOR	LAV LAVATORY	PSI POUNDS PER SQUARE INCH	WO WITHOUT
DS DOWN SPOUT	LH LEFT HAND	PL PROPERTY LINE	W/WID W/ WIDTH
DW DRYWALL	LL LINE LOAD	RA RETURN AIR	W WEST
DWG DRAWING	MAT MATERIAL (S)	RAD RADIUS	W/WID W/ WIDTH
E EAST	MH MANHOLE	REF REFRIGERATOR	W/WID W/ WIDTH
ELEC ELECTRIC		RET RETURN	W/WID W/ WIDTH

SYMBOLS



BUILDING CODE DATA

USE GROUP - B
CONSTRUCTION TYPE - VB
EXISTING NUMBER OF STORIES - 1
OCCUPANCY - RETAIL
ENTRY/CHECK-OUT/RETAIL/LIGHT = 1,996 SQ. FT. = 32 PERSONS
STORE = 338 SQ. FT. = 2 PERSONS
KITCHEN = 291 SQ. FT. = 2 PERSONS
TOTAL TENANT AREA = 3,237 SQ. FT.
TOTAL OCCUPANT LOAD = 36 PERSONS

ALL DRAWINGS IN THIS SUBMITTAL HAVE BEEN PREPARED UNDER THE 2017 EDITION OF THE OHIO BUILDING CODE, OMC, OBC AND IN ACCORDANCE WITH ICC/ANSI A117.1-2009 AND THE 2017 NEC.

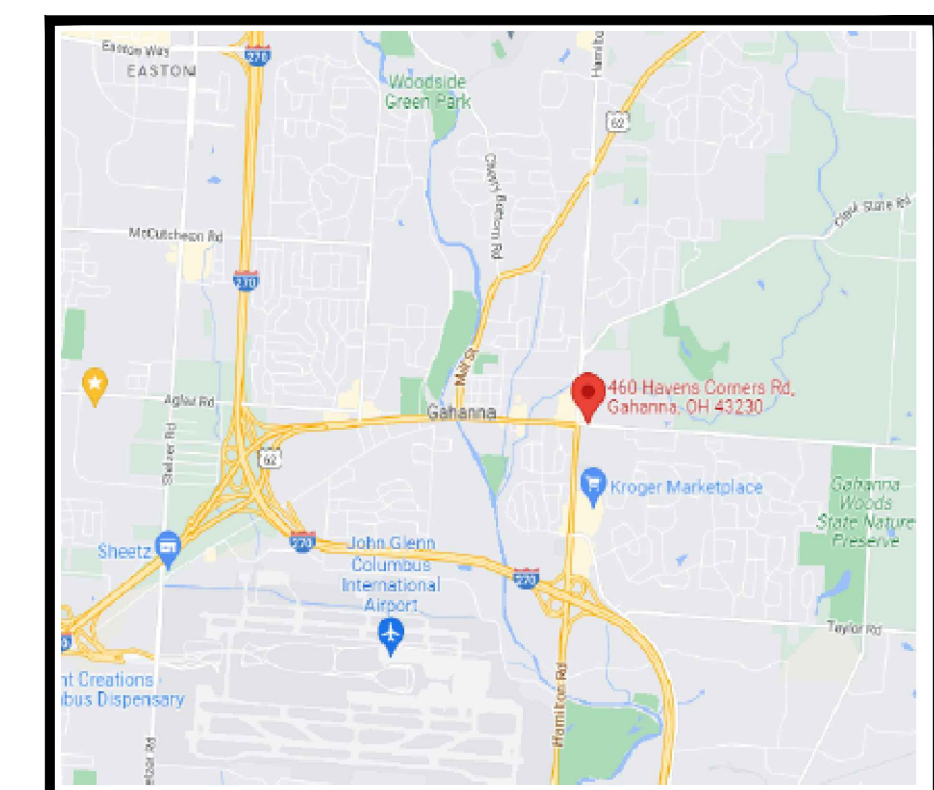
THE EXISTING BUILDING IS NOT PROVIDED WITH AN AUTOMATIC FIRE SUPPRESSION SYSTEM.

EMERGENCY POWER FOR EXIT SIGNS AND EMERGENCY EGRESS LIGHTING IS PROVIDED THROUGH A BATTERY BACK-UP WIRED AHEAD OF ANY LOCAL SWITCHING.

THE EXISTING BUILDING DOES NOT HAVE AN ENUNCIATED AUTOMATIC FIRE PROTECTIVE SIGNALING SYSTEM.

DRAWING INDEX

- G0.01 COVER SHEET
- G0.02 ACCESSIBILITY STANDARDS
- SP.01 SITE PLAN
- L5.01 LIFE SAFETY PLAN
- D1.01 DEMOLITION PLAN
- A1.01 NEW WORK PLAN
- A2.01 FINISHES PLAN
- A3.01 REFLECTED CEILING PLAN
- A4.01 FURNITURE AND EQUIPMENT PLAN
- A5.01 INTERIOR ELEVATIONS
- P1-1 PLUMBING PLAN
- H1-1 HVAC PLAN
- E1-1 LIGHTING/POWER PLAN
- E1-2 SPECIFICATION & SCHEDULES
- S1 FOUNDATION HEADER PLAN



SITE LOCATION MAP



GENERAL NOTES

1. ALL DIAGRAMS ARE BASED UPON THE GOVERNING CODE - ANSI A117.1-2009
2. DIMENSIONS SHOWN ARE FROM FINISH MATERIALS, UNLESS NOTED OTHERWISE
3. NOT ALL CONDITIONS MAY EXIST IN THE PROJECT
4. THESE STANDARDS ARE TO BE MET FOR ALL CONDITIONS PRESENT IN PROJECT UNLESS NOTED OTHERWISE IN THE DOCUMENTS
5. REVIEW ALL DIAGRAMS PRIOR TO FIXTURE/ACCESSORY INSTALLATION TO VERIFY APPROPRIATE CLEARANCES CAN BE MET, NOTIFY ARCHITECT OF ANY DISCREPANCIES

A.D.A. SIGNAGE NOTES

INSTALL SIGNAGE AT ALL A.D.A RESTROOM AND REQUIRED EXIT LOCATIONS

RAISED CHARACTERS
 RAISED CHARACTERS SHALL BE 1/32 INCH MINIMUM ABOVE THEIR BACKGROUND.
 CHARACTERS SHALL BE UPPER CASE.
 CHARACTERS SHALL BE SANS SERIF.
 CHARACTERS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPER CASE LETTER 'O' IS 55 PERCENT MINIMUM AND 100 PERCENT MAXIMUM OF THE HEIGHT OF THE UPPER CASE LETTER 'I'.
 CHARACTER HEIGHT MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8 INCH MINIMUM AND 2 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE.
 STROKE THICKNESS OF THE UPPER CASE LETTER 'I' SHALL BE 15 PERCENT MAXIMUM OF THE HEIGHT CHARACTER.
 CHARACTER SPACING SHALL BE MEASURED BETWEEN THE TWO CLOSEST POINTS OF ADJACENT RAISED CHARACTERS WITHIN A MESSAGE, EXCLUDING WORD SPACES.
 SPACING BETWEEN THE BASELINES OF SEPARATE LINES OF RAISED CHARACTERS WITHIN A MESSAGE SHALL BE 135 PERCENT AND 170 PERCENT MAXIMUM OF THE RAISED CHARACTER HEIGHT.

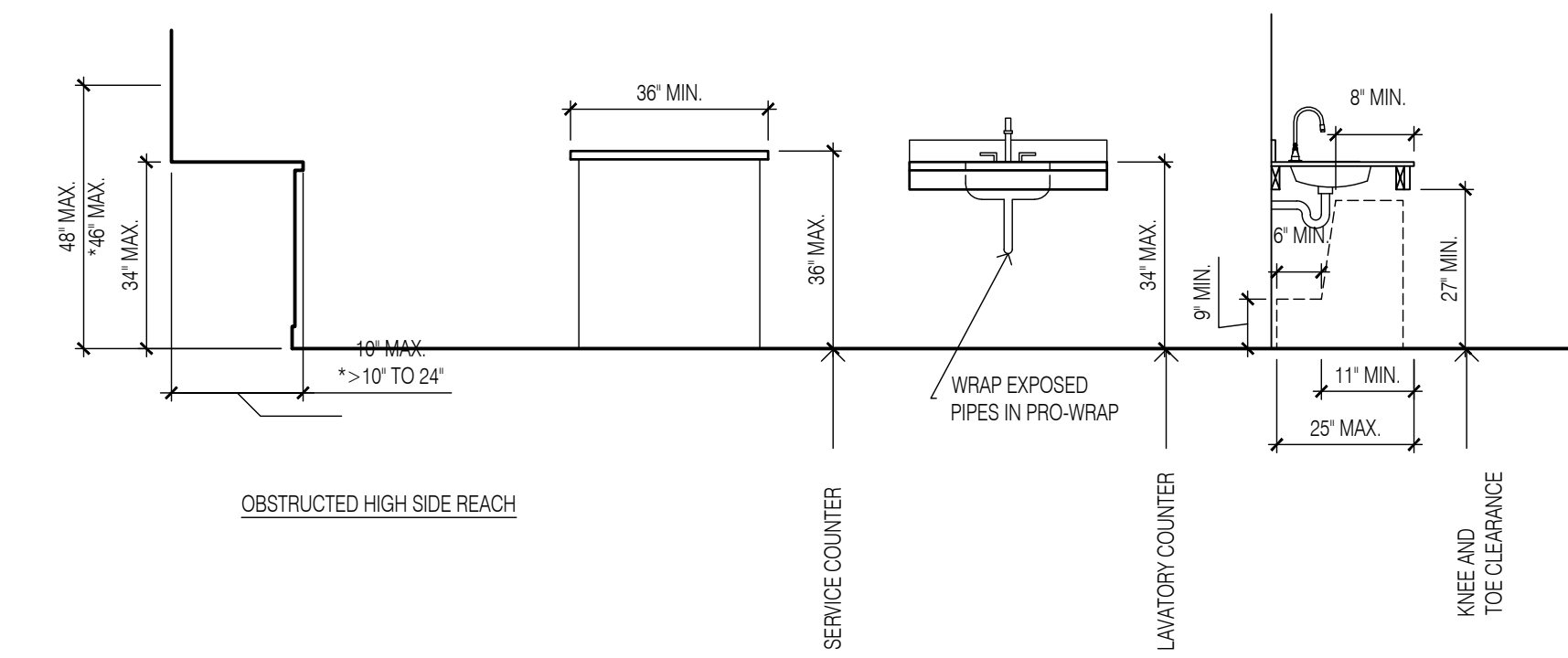
BRAILLE
 BRAILLE DOTS SHALL HAVE A DOMED OR ROUNDED SHAPE.
 BRAILLE SHALL BE POSITIONED BELOW THE CORRESPONDING TEXT.
 TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST TACTILE CHARACTER AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST TACTILE CHARACTER.
 WHERE A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONG THE DOOR AT THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE LOCATED TO THE RIGHT OF THE RIGHT HAND DOOR. WHERE THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR AT THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE LOCATED ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18 INCHES MINIMUM BY 18 INCHES MINIMUM, CENTERED ON THE TACTILE CHARACTERS IS PROVIDED BY THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.

VISUAL CHARACTERS
 CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
 CHARACTERS SHALL BE UPPER CASE OR LOWER CASE OR A COMBINATION OF BOTH.
 CHARACTERS SHALL BE CONVENTIONAL IN FORM.
 CHARACTERS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPER CASE LETTER 'O' IS 55 PERCENT MINIMUM AND 110 PERCENT MAXIMUM OF THE HEIGHT OF THE UPPER CASE LETTER 'I'.
 VISUAL CHARACTERS SHALL BE 40 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND.
 STROKE THICKNESS OF THE UPPER CASE LETTER 'I' SHALL BE 10 PERCENT MINIMUM AND 30 PERCENT MAXIMUM OF THE HEIGHT OF THE CHARACTER.
 CHARACTER SPACING SHALL BE MEASURED BETWEEN THE TWO CLOSEST POINTS OF ADJACENT CHARACTERS, EXCLUDING WORD PHRASES. SPACING BETWEEN INDIVIDUAL CHARACTERS SHALL BE 10 PERCENT MINIMUM AND 35 PERCENT MAXIMUM OF CHARACTER HEIGHT.
 SPACING BETWEEN THE BASELINES OF SEPARATE LINES OF CHARACTERS WITHIN A MESSAGE SHALL BE 135 PERCENT MINIMUM AND 170 PERCENT MAXIMUM OF THE CHARACTER HEIGHT.

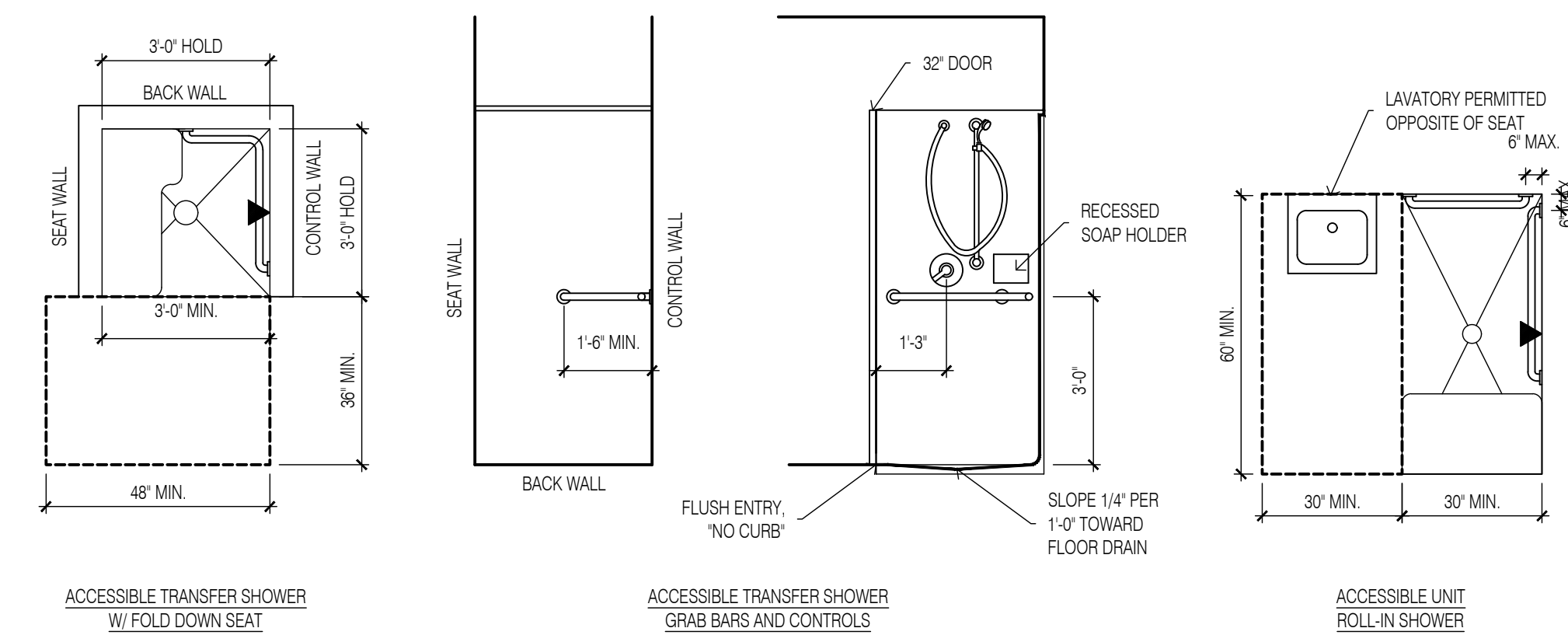
PICTOGRAMS
 PICTOGRAMS SHALL HAVE A FIELD HEIGHT OF 6 INCHES MINIMUM. PICTOGRAMS AND THEIR FIELD SHALL HAVE A NON-GLARE FINISH. PICTOGRAMS SHALL CONTRAST WITH THEIR FIELD WITH EITHER A LIGHT PICTOGRAM ON A DARK FIELD OR A DARK PICTOGRAM ON A LIGHT FIELD.
 PICTOGRAMS SHALL HAVE TEXT DESCRIPTORS LOCATED DIRECTLY BELOW THE PICTOGRAM FIELD.

SYMBOLS OF ACCESSIBILITY
 SYMBOLS OF ACCESSIBILITY AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. SYMBOLS OF ACCESSIBILITY SHALL CONTRAST WITH THEIR BACKGROUND WITH EITHER A LIGHT SYMBOL ON A DARK BACKGROUND OR A DARK SYMBOL ON A LIGHT BACKGROUND.

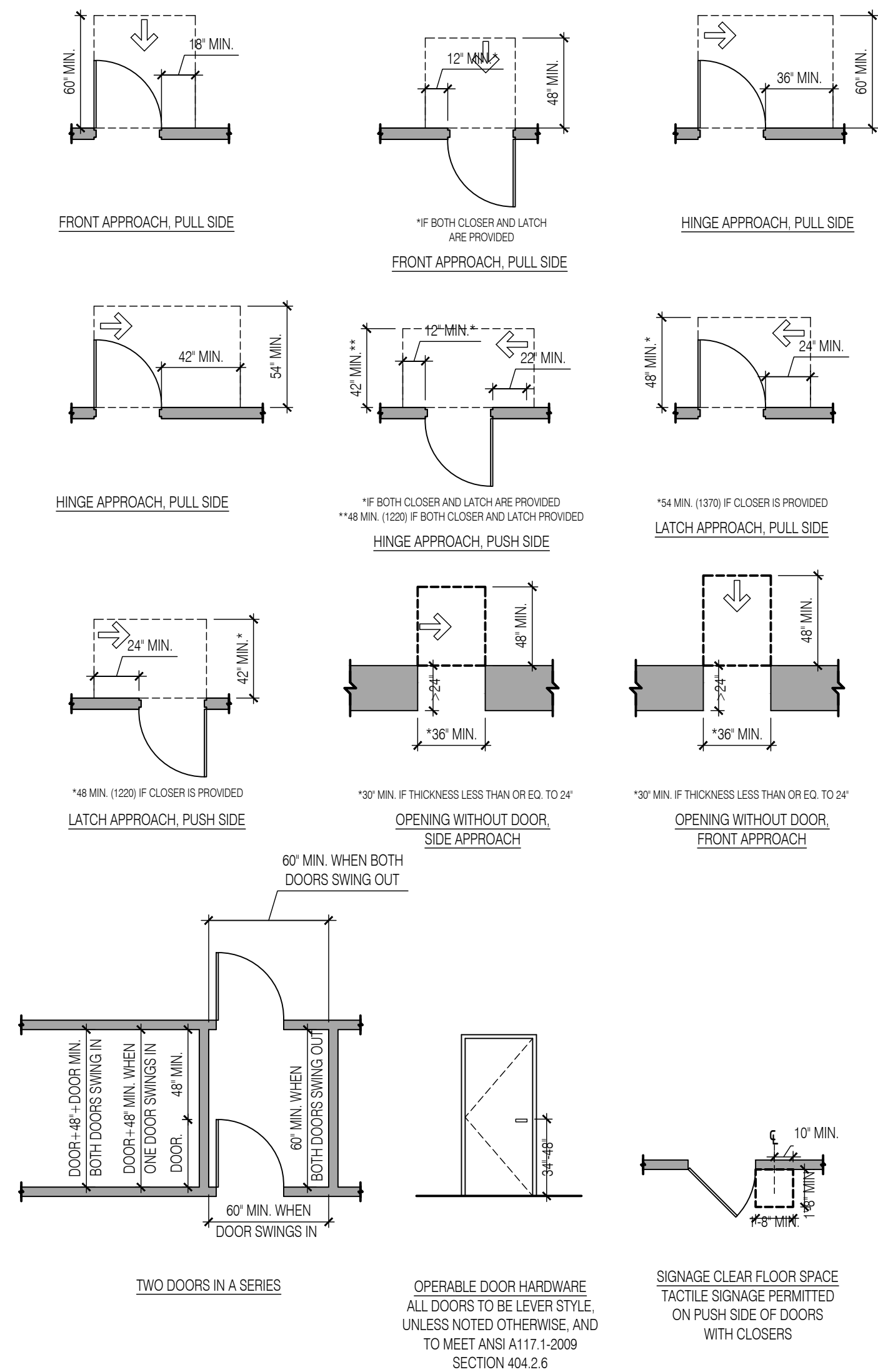
ACCESSIBLE COUNTER HEIGHTS



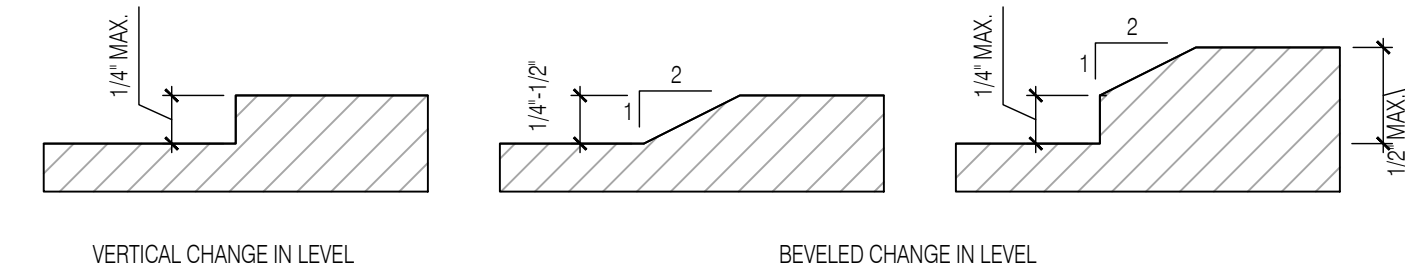
ACCESSIBLE SHOWER CLEARANCES



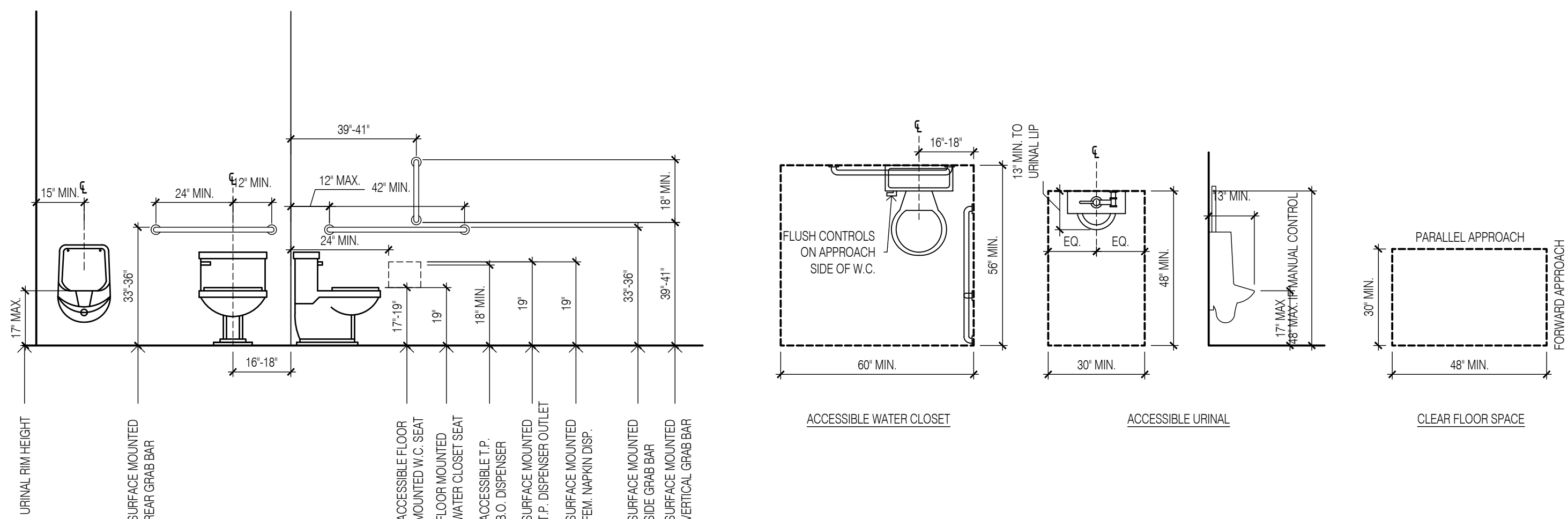
ACCESSIBLE DOOR CLEARANCES



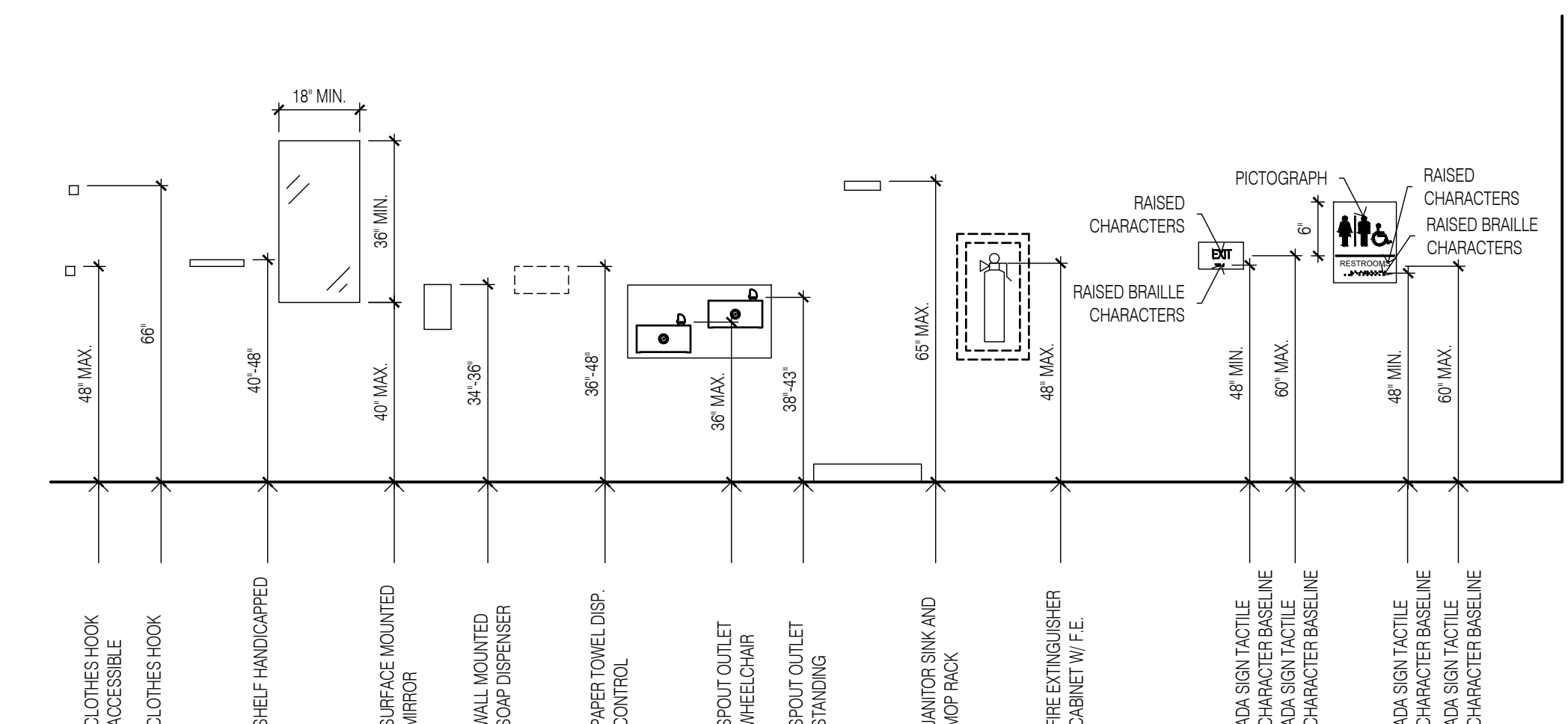
CHANGES IN LEVEL



TYPICAL FIXTURE MOUNTING



TYPICAL ACCESSORY MOUNTING HEIGHTS



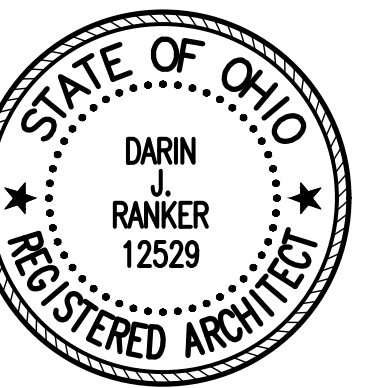
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 adm@darinranker.com

DRA

Tenant Improvements For
Campus & Co.
 460 Havens Corner Rd
 Gahanna, Ohio

DRA Proj. No.: 22-295
 Drawn by: AJH
 Checked By: BAR
 Date: 11-10-2022
 Revisions

GO.02



EXP. 12/31/23

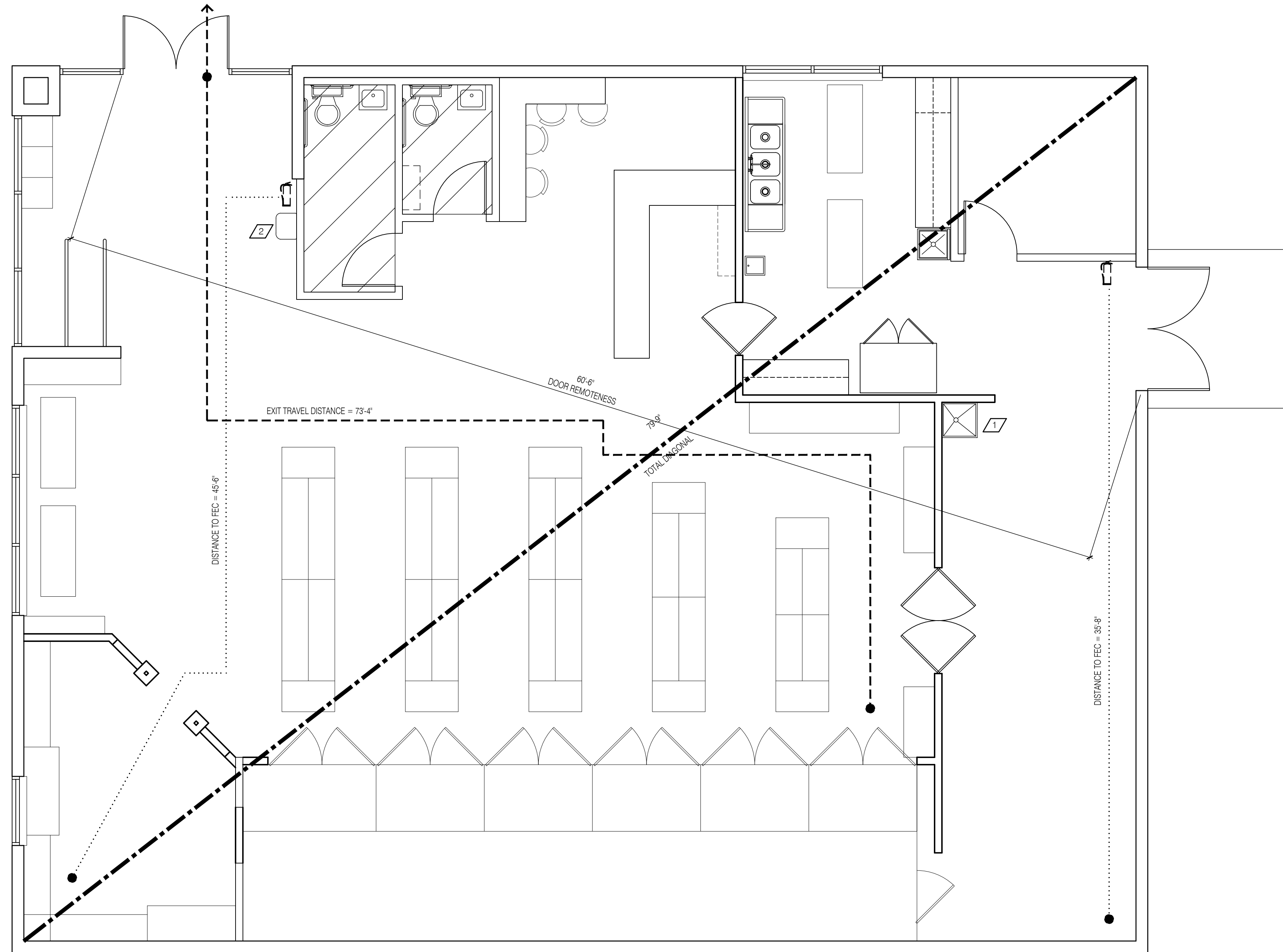
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LS.01



N egress plan

1/4"=1'-0"

LEGEND	
	EXISTING (ADA COMPLIANT) RESTROOMS
	EXISTING SERVICE SINK
	EXISTING ADA COMPLIANT DRINKING FOUNTAIN
	5lb ABC FIRE EXTINGUISHER IN A SEMI-RECESSED CABINET
	EXIT TRAVEL DISTANCE
	FEC TRAVEL DISTANCE

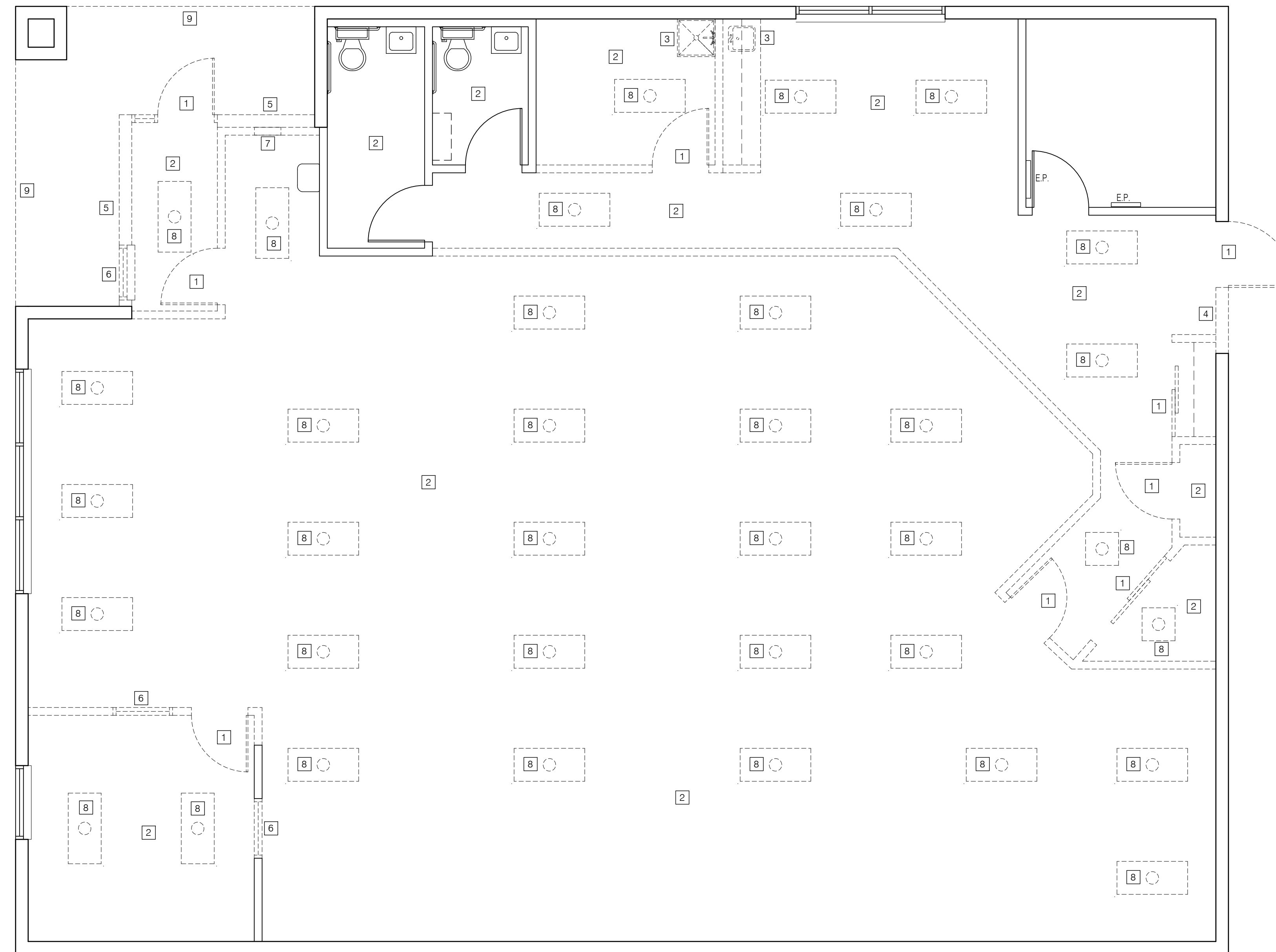
EXIT ACCESS REQUIREMENTS	
OCCUPANCY = RETAIL NON-SPRINKLED BUILDING	
1006.2.1 - COMMON PATH OF TRAVEL = 75'-0" MAX.	OCCUPANT LOAD 30 OR LESS = 100'-0"
1017.2 - TOTAL TRAVEL DISTANCE = 200'-0" MAX.	
1007.1.1 - DOOR REMOTENESS = MIN. 1/2 TOTAL DIAGONAL	



EXP. 12/31/23

DEMOLITION NOTES

- PERFORM DEMOLITION AS INDICATED ON PLANS AND DETAILS AND AS REQUIRED FOR THE COMPLETION OF THE PROJECT AS INDICATED.
- PROVIDE ADEQUATE TEMPORARY SUPPORT FOR WORK BEING CUT AND PATCHED TO PREVENT FAILURE. DO NOT ENDANGER OTHER WORK. PROVIDE ADEQUATE PROTECTION OF OTHER WORK DURING CUTTING AND PATCHING TO PREVENT DAMAGE. CUT WORK TO BE PERFORMED BY METHODS LEAST LIKELY TO DAMAGE WORK TO BE RETAINED AND/OR WORK ADJOINING.
- DO NOT CUT AND PATCH WORK WHICH WILL IMPAIR THE STRUCTURE'S LOAD CARRYING CAPACITY OR REDUCE THE LOAD / DEFLECTION RATIO.
- PATCH AND REPAIR ALL REMAINING WALL, FLOOR AND CEILING WITH APPROPRIATE MATERIALS COMPATIBLE WITH EXISTING SUBSTRATES AND NEW FINISH MATERIALS.
- PATCH WITH SEAMS WHICH ARE DURABLE AND AS INVISIBLE AS POSSIBLE. COMPLY WITH SPECIFIED TOLERANCES FOR THE TYPE OF WORK BEING DONE. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND WHERE NECESSARY, EXTEND NEW FINISH ONTO ADJOINING RETAINED WORK IN A MANNER WHICH WILL ELIMINATE EVIDENCE OF PATCHING.
- ANY EQUIPMENT, FIXTURES OR ANY OTHER ITEMS NOT SPECIFICALLY SHOWN WITH DASHED LINES DESCRIBED HEREIN TO BE REMOVED REMAIN AND ARE TO BE PROTECTED FROM DAMAGE. NOTIFY OWNERS REPRESENTATIVE OF ANY ITEMS WHICH MAY INTERFERE WITH THE PROGRESS OF THE DEMOLITION WORK BEFORE DISTURBING SAID ITEMS.
- UNLESS NOTED OTHERWISE, ALL MATERIAL TO BE REMOVED SHALL BE PROPERLY DISPOSED OF, OR SALVAGED OFF-SITE, BY THE CONTRACTOR.
- ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, CURRENT EDITION, AND OHIO BUILDING CODE, CURRENT EDITION.
- ELECTRICAL CONTRACTOR SHALL TEST ALL WIRING FOR CONTINUITY AND GROUNDS BEFORE FIXTURE INSTALLATION AND SHALL THEN TEST THE ENTIRE SYSTEM IN THE PRESENCE OF THE ARCHITECT OR BUILDING MANAGER UPON COMPLETION TO ENSURE THE ABSENCE OF SHORT CIRCUITS AND GROUNDS.
- ALL ELECTRIC TO BE REMOVED BACK TO PANEL; RE-WIRE REMAINING OUTLETS.



WALL TYPES LEGEND

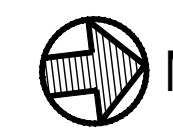
- EXISTING PARTITION WALL TO REMAIN
- EXISTING PARTITION WALL TO BE REMOVED

INDICATES LOCATION OF RELOCATED DOOR. SEE DOOR SCHEDULE ON SHEET AS 01

NOTE:
REMOVE ANY AND ALL WALL COVERING, PATCH AND PREP FOR PAINT FINISH.

DEMOLITION CODED NOTES

- 1 REMOVE EXISTING DOOR, FRAME, & HARDWARE
- 2 REMOVE EXISTING FINISH FLOOR AND BASE; PATCH AND PREP FOR NEW FINISH
- 3 REMOVE EXISTING PLUMBING FIXTURES, SEE PLUMBING DRAWINGS
- 4 REMOVE PORTION OF EXISTING EXTERIOR FOR NEW DOOR. SEE STRUCTURAL PLANS FOR ANY REQUIREMENTS
- 5 REMOVE EXISTING EXTERIOR WALL
- 6 REMOVE EXISTING GLASS
- 7 REMOVE & SALVAGE EXISTING SAFE. RETURN TO OWNER
- 8 REMOVE & SALVAGE EXISTING LIGHTS FOR RELOCATION
- 9 REMOVE EXISTING SLAB AS REQUIRED FOR NEW FOUNDATION. FOR NEW EXTERIOR WALLS, SEE STRUCTURAL PLANS



demolition plan

1/4"=1'-0"

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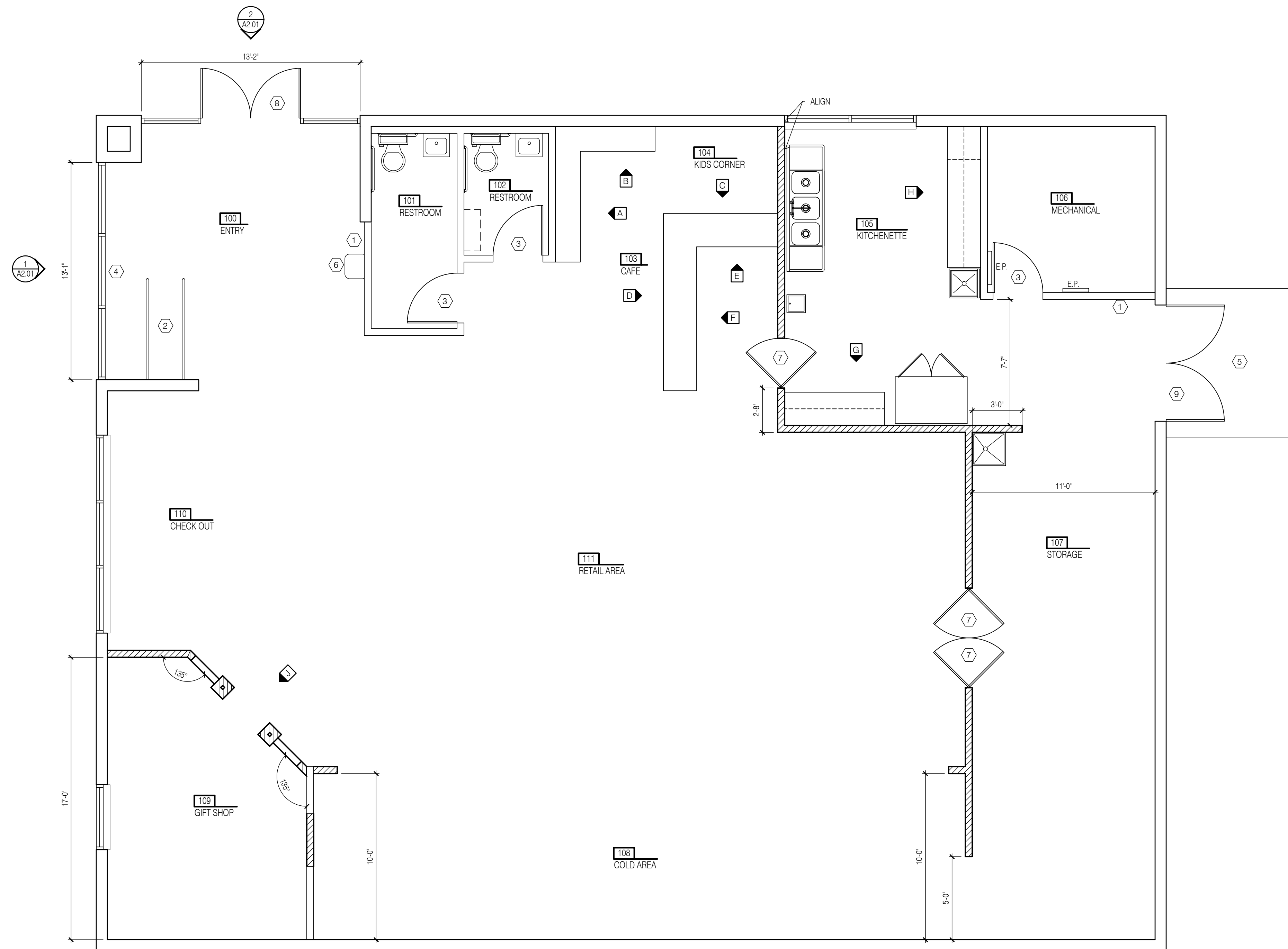
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GENERAL NOTES

1. ALL WORK SHALL CONFORM TO APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. EACH CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, TEST AND INSPECTIONS FOR HIS OWN WORK WHICH HAVE NOT BEEN PREVIOUSLY PAID FOR, AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
2. CONTRACTOR SHALL SUPERVISE THE WORK DURING PROGRESS AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND CONSTRUCTION SAFETY. COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL AND OSHA REGULATIONS.
3. CONTRACTORS SHALL VISIT SITE AND BECOME FAMILIAR WITH TENANT STANDARDS AND EXISTING CONDITIONS AS MAY AFFECT HIS OWN WORK. EACH CONTRACTOR SHALL COORDINATE HIS OWN WORK WITH THAT OF OTHER TRADES. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, INCLUDING EXISTING SITE CONDITION. ALL ERRORS, OMISSIONS AND INCONSISTENCIES ARE TO BE REPORTED TO THE ARCHITECT OR CONSTRUCTION MANAGER BEFORE PROCEEDING WITH THE WORK. THESE DRAWINGS ARE NOT BE SCALED. IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT OR CONSTRUCTION MANAGER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
4. EACH CONTRACTOR SHALL FURNISH ALL CUTTING AND PATCHING REQUIRED FOR HIS OWN WORK. NO CUTTING SHALL BE PERFORMED WITHOUT PRIOR APPROVAL.
5. ALL WORK PASSING THROUGH FIRE WALLS TO BE SEALED IN ACCORDANCE WITH NFPA STANDARDS.
6. CONTRACTOR AND ALL SUBCONTRACTORS SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIAL, TOOLS, CONSTRUCTION EQUIPMENT AND SURPLUS MATERIAL SHALL BE REMOVED FROM SITE PRIOR TO SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE.
7. CONTRACTOR SHALL PRESENT THE PROJECT TO THE OWNER FOR ACCEPTANCE. CLEAN AND READY FOR USE. ALL GLASS TO BE CLEANED, FLOORS SWEEPED BROOM CLEAN, FIXTURES WASHED AND LABELS REMOVED FROM ALL ITEMS.
8. DELIVERIES: CONTRACTOR SHALL SCHEDULE THE DELIVERY OF MATERIALS WITH THE BUILDINGS PROPERTY MANAGEMENT DEPARTMENT. DAMAGE TO WALLS, DOORS, FRAMES AND ELEVATORS CAUSED BY DELIVERY OF MATERIALS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
9. CLEAN-UP: CLEAN-UP AND DEBRIS WILL BE REMOVED FROM THE CONSTRUCTION AREA DAILY. CONTRACTOR WILL PROVIDE A FINAL CLEAN-UP AT THE COMPLETION OF THE PROJECT, WHICH SHALL INCLUDE:
 - A. WASHING OF BOTH SIDES OF INTERIOR GLASS.
 - B. WASHING OF INTERIOR SIDE OF PERIMETER GLASS CURTAIN WALL.
 - C. DUSTING OF ALL VERTICAL AND HORIZONTAL WALLS AND SURFACES.
 - D. VACUUM AND CLEAN INTERIOR AND EXTERIOR OF PERIMETER INDUCTION UNITS, INCLUDING FAN UNIT AND COIL.
 - E. WALL INTERIOR AND EXTERIOR SURFACES OF ALL LIGHT FIXTURES.
 - F. VACUUM ALL CARPETED AREAS, USE CREVICE TOOL AT ALL EDGES AND SPOT CLEAN SPILLS FROM ALL EDGES.
 - G. DUST AND DAMP MOP ALL VCT FLOOR TILE.
 - H. WASH INTERIOR AND EXTERIOR SURFACES OF CABINETS AND COUNTERS, INCLUDING SINKS AND FAUCETS.
 - I. CLEAN RESTROOMS INCLUDING FLOORS, WALLS, COUNTER, TOILET PARTITION AND ALL PLUMBING FIXTURES.
10. DIMENSIONS SHOWN ARE FINISHED DIMENSIONS UNLESS OTHERWISE NOTED.
11. CONTRACTORS SHALL VERIFY AND CHECK ALL DIMENSIONS AND CONDITIONS ON THE JOB PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.
12. ALL COLUMNS SHALL BE FURRED OUT TO A MINIMUM THICKNESS, TO ENSURE THAT THEY ARE PLUMB AND SQUARE. ANY CHANGE OF SPECIFIED DIMENSIONS SHALL BE REPORTED TO THE ARCHITECT.
13. INTERIOR PERIMETER MASONRY WALLS SHALL BE FURRED OUT, INSULATED, AND FINISHED TO MATCH THE SELECTED TENANT FINISHES. U.N.O.
14. UNFINISHED INTERIOR TENANT SEPARATION WALLS SHALL BE INSULATED AND FINISHED TO MATCH THE SELECTED TENANT FINISHES. U.N.O.
15. ALL NEW DOORS SHALL BE BUILDING STANDARD, STAINED AND FINISHED TO MATCH EXISTING. U.N.O.
16. DOOR FRAME ROUGH OPENING HEIGHT SHALL BE 7'-1" FROM THE SLAB TO THE METAL STUD HEADER FOR 7'-0" INTERIOR DOORS. U.N.O.
17. ALL LOCKS SHALL BE OF A TYPE WHICH WILL NOT REQUIRE THE USE OF A KEY OR SIMILAR DEVICE TO PERMIT EGRESS. THE LATCHES OR BOLTS SHALL BE RETRACTED FROM THE KEEPERS BY THE USE OF A LEVER, WHICH ANY PERSON CAN OPERATE WITH REASONABLE EASE AND WITHOUT INSTRUCTION.
18. REPLACE EXISTING KNOB TYPE HARDWARE WITH A.D.A. APPROVED LEVER TYPE HARDWARE TO MATCH THE BUILDING STANDARD FINISH.



N new work plan

1/4" = 1'-0"

WALL TYPES LEGEND

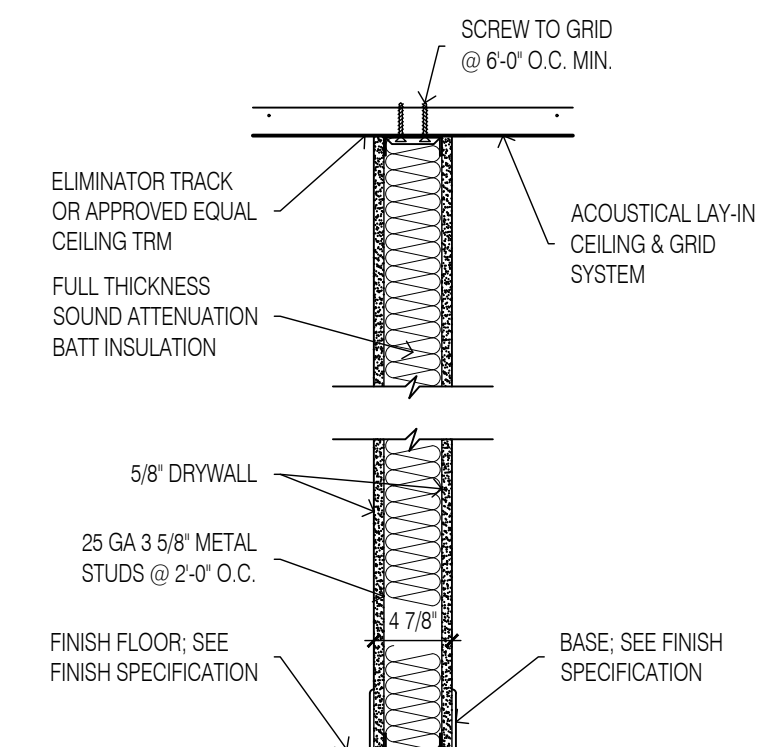
- EXISTING PARTITION WALL TO REMAIN
- NEW PARTITION WALL UP TO CEILING; SEE SECTION 1 ON SHEET A1.01

INTERIOR ELEVATIONS SHOWN ON A2.01

NEW WORK CODED NOTES

- EXISTING 5 LB ABC 'DRY CHEMICAL' FIRE EXTINGUISHER IN A SEMI-RECESSED CABINET
- NEW PARKING ZONE FOR SHOPPING CARTS
- EXISTING DOOR/FRAME/LEVER STYLE HARDWARE TO REMAIN
- NEW STOREFRONT. SEE ELEVATIONS, SHEET A2.01. SEE STRUCTURAL PLANS FOR MORE INFO
- EXTEND EXISTING SIDEWALK TO MATCH EXISTING. SEE STRUCTURAL PLANS FOR MORE INFO
- EXISTING DRINKING FOUNTAIN TO REMAIN
- NEW LIGHT WEIGHT DOUBLE ACTION DOOR W/PUSH HARDWARE ON BOTH SIDES
- NEW PAIR (2) OF 3070 STOREFRONT DOORS WITH PUSH-PULL HARDWARE, CLOSERS & ADAMS RITE PADDLE (#560), 4910 SERIES DEAD LATCH (OR APPROVED EQUAL), PUSH TO EXIT HARDWARE TIED INTO KEY LOCK
- NEW PAIR (2) OF 3070 H.M. DOORS & FRAMES W/LEVER STYLE STOREROOM HARDWARE, (2) CLOSERS, MANUAL FLUSHBOLTS ON IN-ACTIVE LEAF

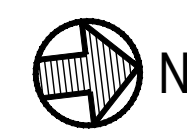
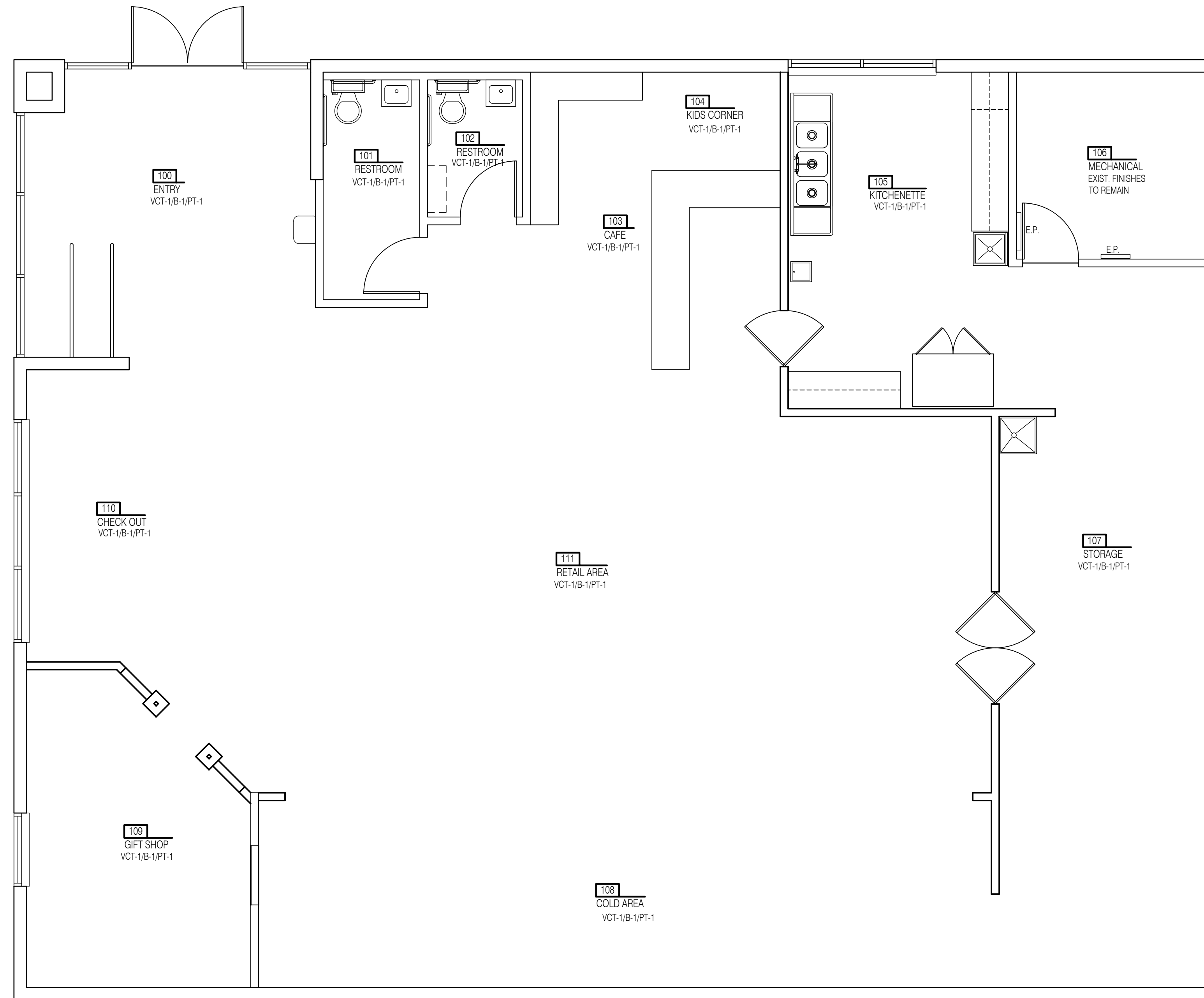
NOTES:
- PROVIDE F.R. BLOCKING @ ALL NEW CASEWORK, SHELVING, ETC LOCATIONS.
- ALL DOORS (EXIST. & NEW), UNLESS NOTED OTHERWISE ARE LEVER STYLE & MEET ANSI A117-1-2009 SECTION 404.2-6
- DIMENSIONS SHOWN ARE FINISHED DIMENSIONS UNLESS OTHERWISE NOTED.



1 partition wall
UP TO CEILING GRID N.T.S.



EXP. 12/31/23



finishes plan

1/4" = 1'-0"

FINISH SPECIFICATIONS

CPT-1	CARPET
TO BE SELECTED	
FT-1	FLOOR TILE
TO BE SELECTED	
LVT-1	LUXURY VINYL TILE
TO BE SELECTED	
SC-1	SEALED CONCRETE
TO BE SELECTED	
VCT-1	VINYL COMPOSITION TILE
TO BE SELECTED	
B-1	BASE
TO BE SELECTED	
B-2	BASE
TO BE SELECTED	
PT-1	PAINT - MAIN
TO BE SELECTED	
PT-2	PAINT - ACCENT
TO BE SELECTED	
PT-3	PAINT - FRAMES
TO BE SELECTED	
WC-1	WALL COVERING
TO BE SELECTED	
PL-1	PLASTIC LAMINATE (COUNTERS)
TO BE SELECTED	
PL-2	PLASTIC LAMINATE (CABINETS)
TO BE SELECTED	
SS-1	SOLID SURFACE
TO BE SELECTED	
SS-2	SOLID SURFACE
TO BE SELECTED	

- NOTES:
- PLEASE ALLOW 8-10 WEEKS FOR MANUFACTURING AND DELIVERY OF ALL FINISHES. NO SUBSTITUTIONS MADE WITHOUT ARCHITECT'S APPROVAL PRIOR TO ORDERING.
 - APPLY ALL FINISHES ACCORDING TO MANUFACTURERS' INSTRUCTIONS.
 - ALL WALLS TO RECEIVE 1 COAT PRIMER AND 2 FINISH COATS.
 - FLOORING CONTRACTOR SHALL PERFORM RH TEST ON CONCRETE SLAB TO DETERMINE IF SLAB RH LEVELS ARE WITHIN ACCEPTABLE LEVELS FOR THE CARPET BACKING AND LVT BACKING SPECIFIED.

INTERIOR FINISH REQUIREMENTS

INTERIOR FINISH OF WALLS AND CEILING SHALL HAVE A FLAME SPREAD AND SMOKE DEVELOPED RATING NOT GREATER THAN THAT LISTED BELOW AS TESTED IN ACCORDANCE WITH ASTM E 84. THE CLASSIFICATIONS OF INTERIOR FINISHES CORRESPOND TO THE FOLLOWING:

- CLASS A: FLAME SPREAD 0-25; SMOKE DEVELOPED 0-450
- CLASS B: FLAME SPREAD 26-75; SMOKE DEVELOPED 0-450
- CLASS C: FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450

TYPE OF SPACE - MIN CLASS REQ'D

VERTICAL EXITS AND EXIT PASSAGEWAYS	A
EXIT ACCESS CORRIDORS AND OTHER EXITWAYS	B
ROOMS AND ENCLOSED SPACES	C

FLOOR FINISHES THAT ARE FIBER BASED, SUCH AS CARPET, SHALL CONFORM TO CLASSIFICATIONS AS TESTED IN ACCORDANCE WITH NFPA 253. THE CLASSIFICATIONS ARE AS FOLLOWS: CLASS I, 0.45 WATTS/CM² OR GREATER; CLASS II, 0.22 WATTS/CM² OR GREATER. FINISHED FLOOR MATERIALS OF WOOD, VINYL, LINOLEUM, TERRAZZO AND OTHER RESILIENT FLOOR COVERINGS ARE EXEMPT FROM THESE REQUIREMENTS.

TYPE OF SPACE - MIN CLASS REQ'D

VERTICAL EXITS, EXIT PASSAGEWAYS AND EXIT ACCESS CORRIDORS	II
--	----

ALL OTHER AREAS: DOC FF-1 "PULL TEST"

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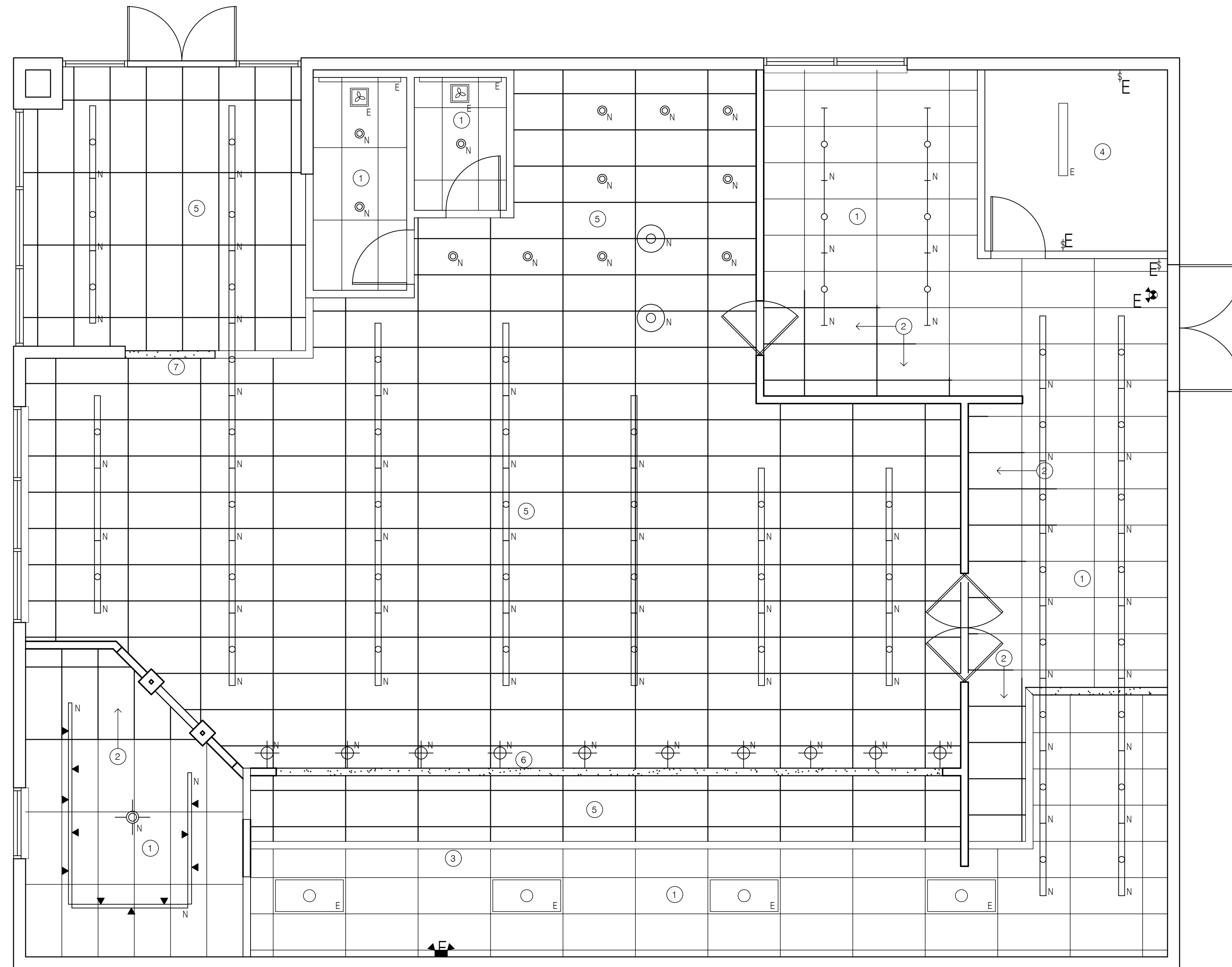


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N reflected ceiling plan

1/4"=1'-0"

REFLECTED CEILING LEGEND

- ACOUSTICAL CEILING & GRID SYSTEM
- DRYWALL SOFFIT / HEADER
- RECESSED 2X4 FLUORESCENT LIGHT FIXTURE
- 4' LED LINEAR FIXTURE W/GASKETED LENS
- 4' LINEAR INDUSTRIAL STRIP FIXTURE SURFACE MOUNTED
- LED DOWNLIGHT
- VERVE SHELL PENDANT, LARGE
- SMALL LED CHANDELIER
- LED WALL SCONCE BLACK FINISH
- TRACK LIGHT W/LED HEADS
- EXHAUST FAN
- E EXISTING
- R RELOCATED
- N NEW

RCP CODED NOTES

- ① EXISTING ACOUSTICAL CEILING AND GRID TO REMAIN @ 7'-9" A.F.F.
- ② PATCH IN NEW ACOUSTICAL CEILING AND GRID TO MATCH EXISTING
- ③ EXISTING D.W. HEADER
- ④ OPEN CEILING TO DECK
- ⑤ NEW ACOUSTICAL CEILING AND GRID @ 8'-8" A.F.F.
- ⑥ NEW D.W. HEADER @ 4" BELOW CEILING GRID
- ⑦ EXTEND EXISTING D.W. HEADER TO MATCH EXISTING

NOTE:
 PATCH & REPAIR EXISTING CEILING SYSTEM AS REQUIRED, ANY NEW TO MATCH EXISTING.



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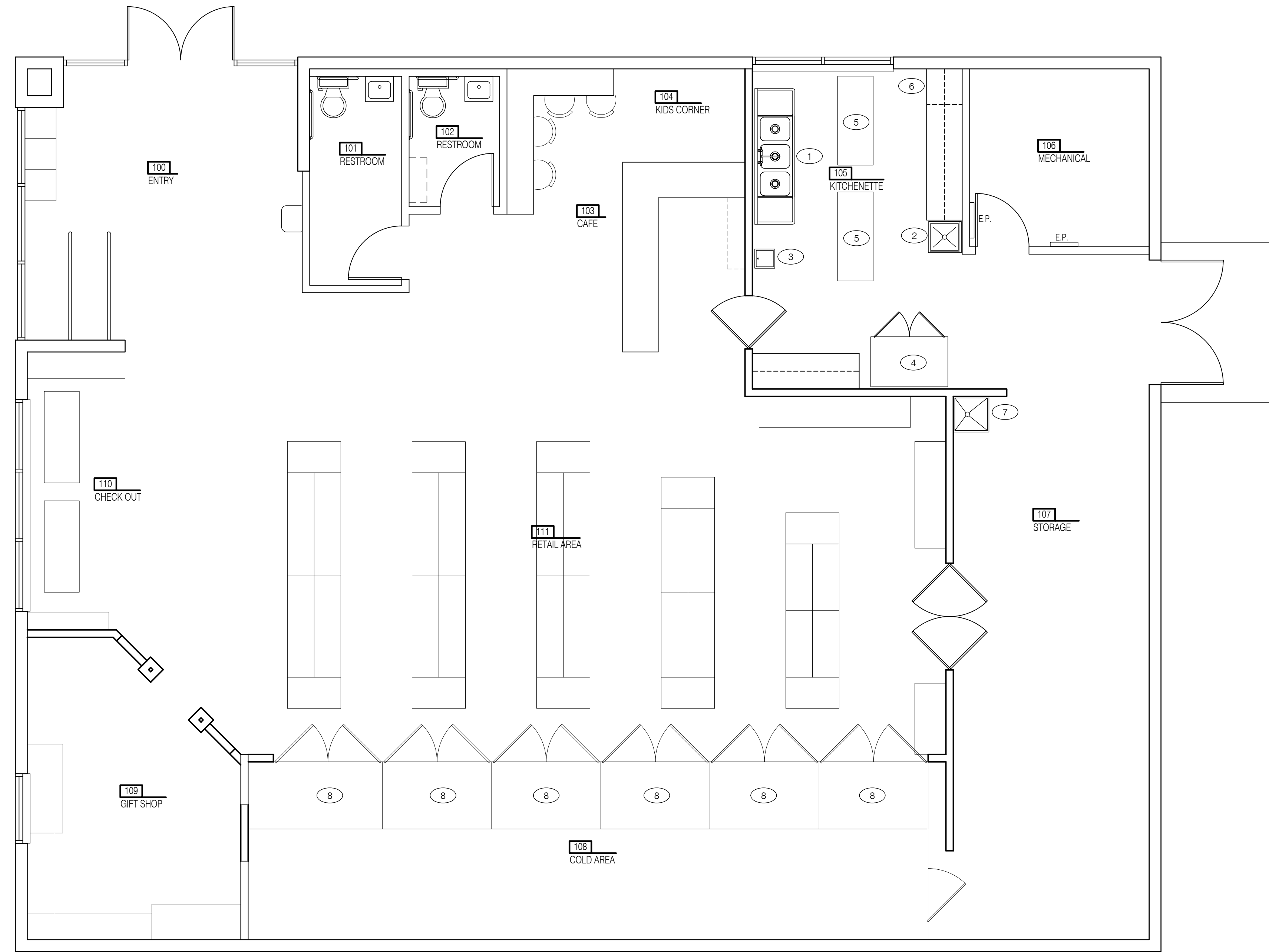


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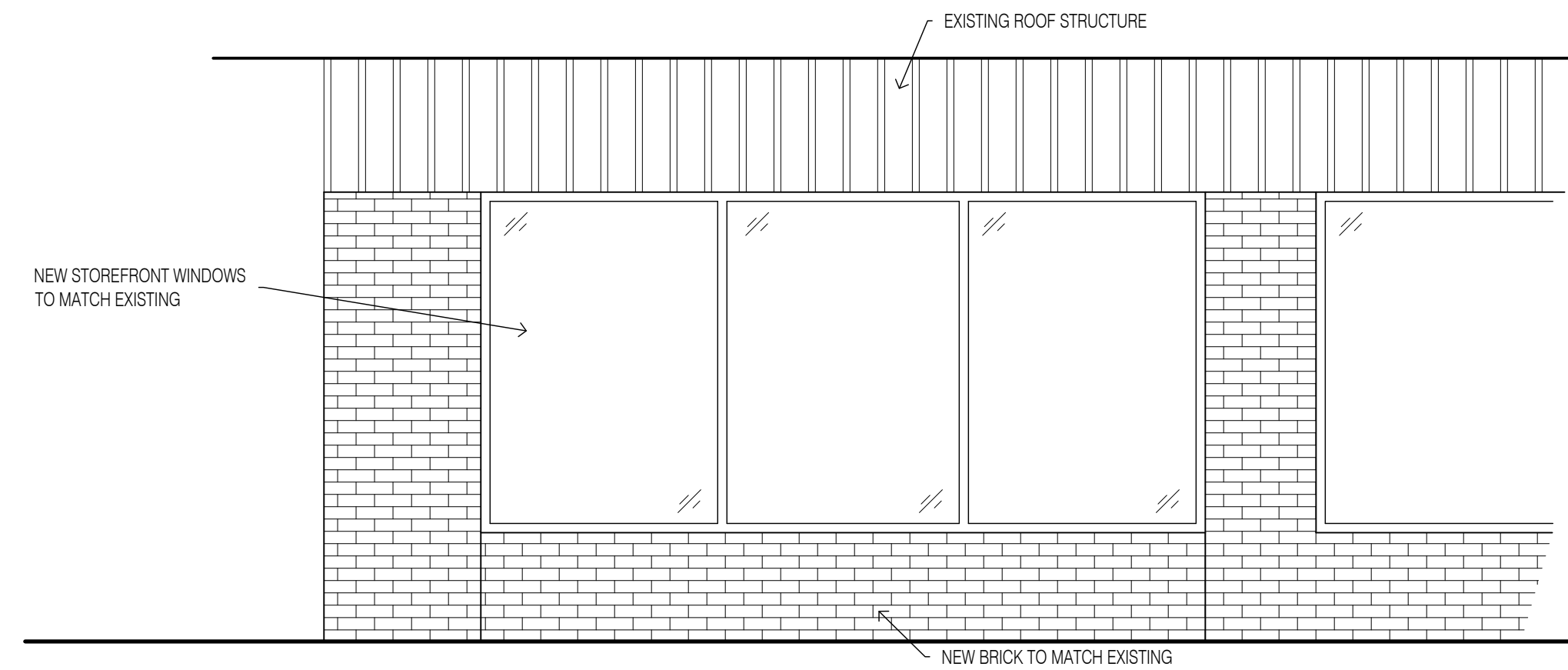
EQUIPMENT NOTES	
1	3 COMP SINK
2	PREP SINK
3	HAND SINK
4	HEAVY DUTY REFRIGERATOR
5	PREP TABLE
6	WALL OVEN
7	MOP SINK
8	FREEZER/REFRIGERATOR



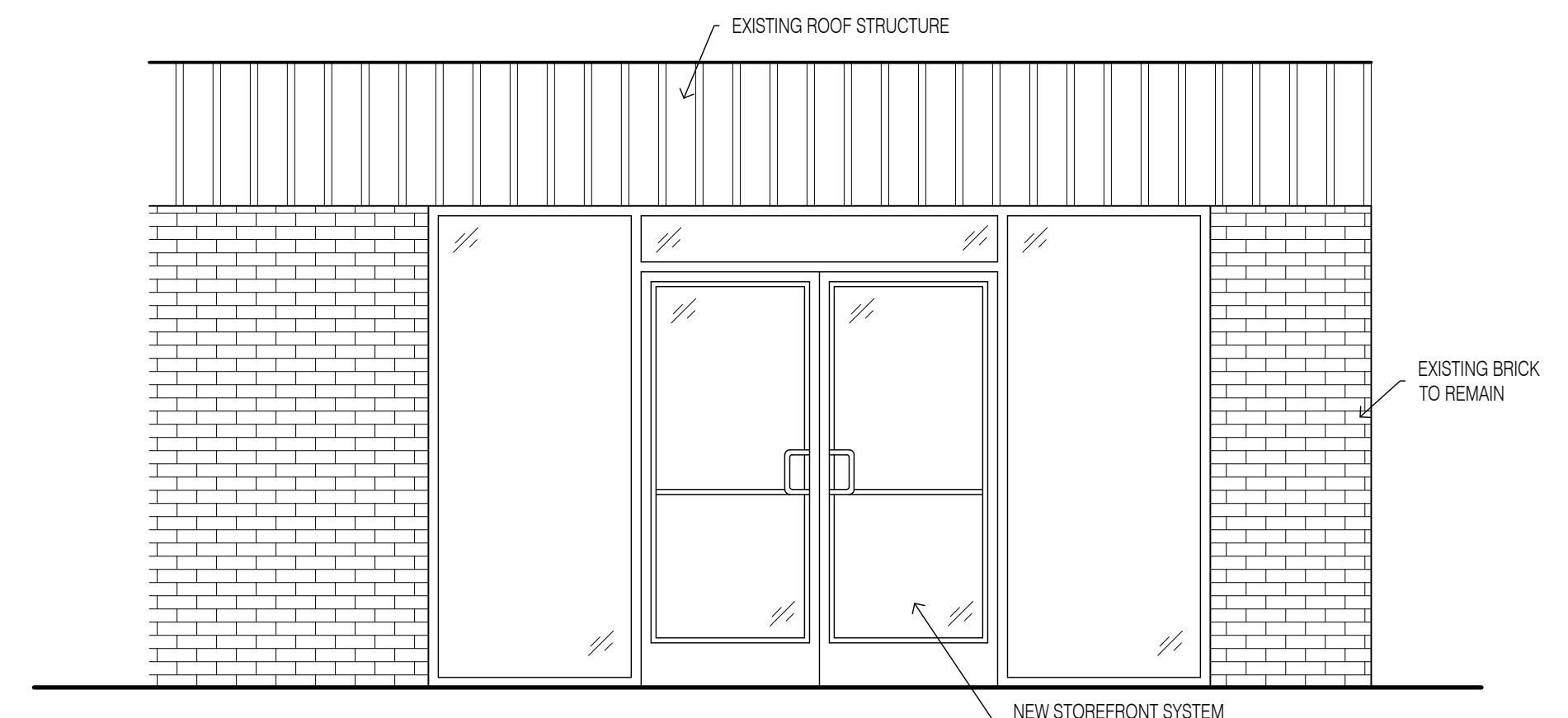
furniture / equipment plan

For Reference Only - Verify Final Layout With Vendor

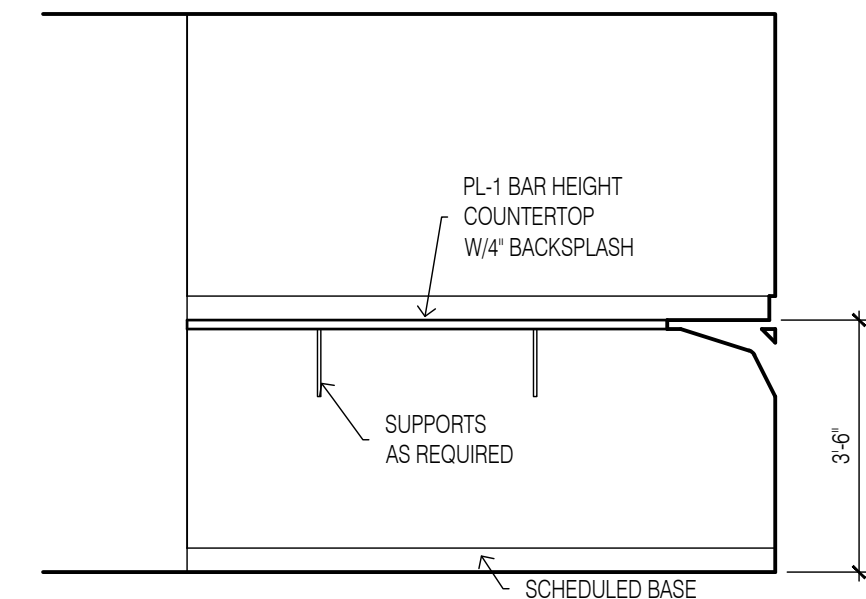
1/8" = 1'-0"



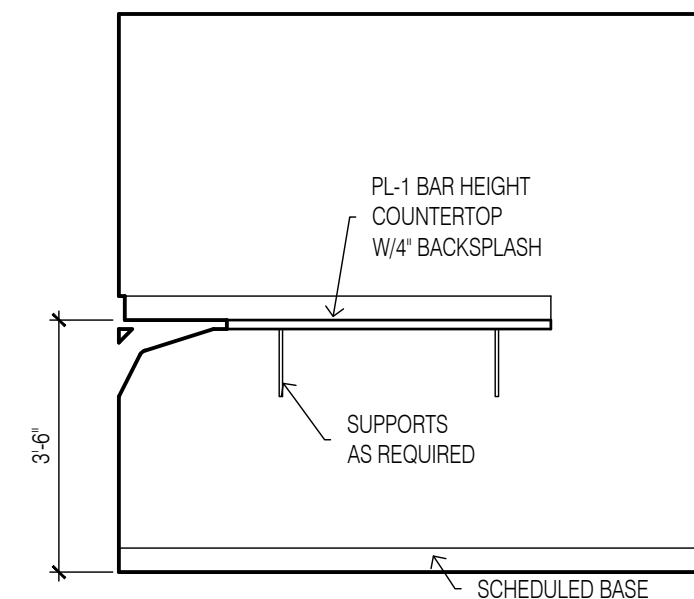
1 new storefront elevation
 SOUTH ELEVATION 3/8"=1'-0"



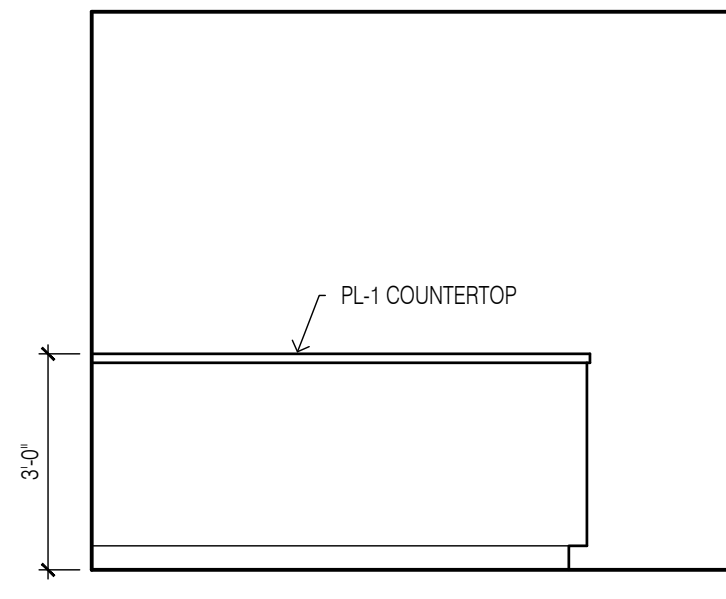
2 new storefront elevation
 WEST ELEVATION 3/8"=1'-0"



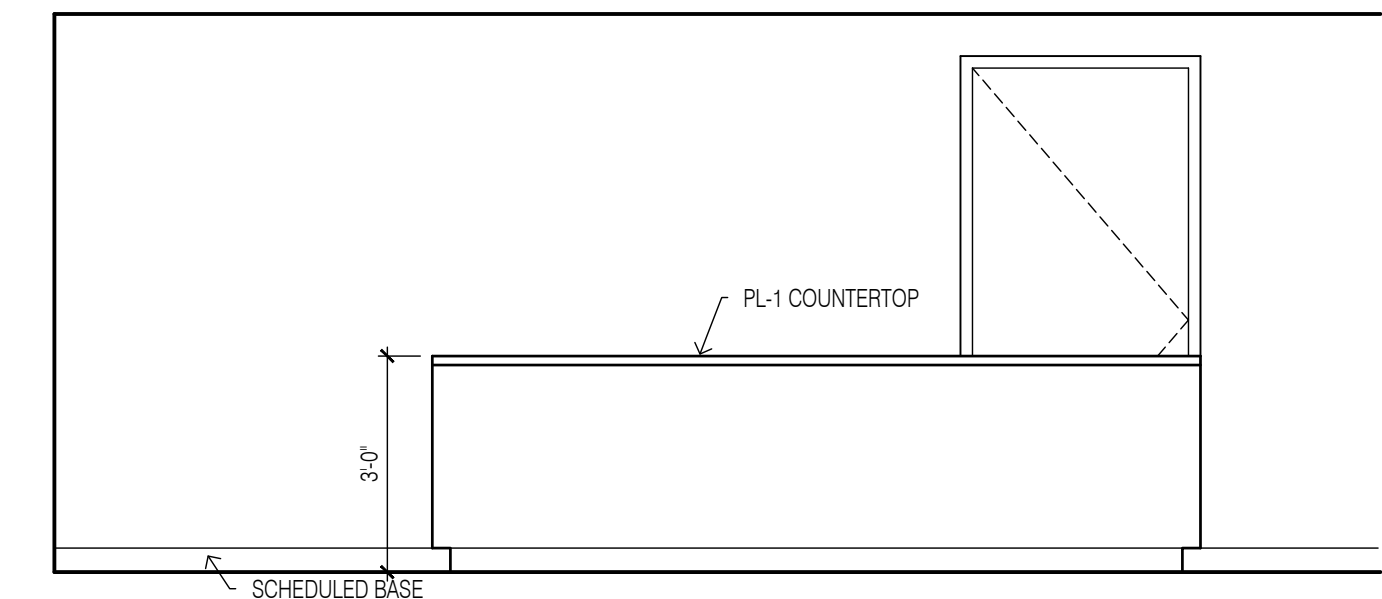
elevation A
 CAFE - 103 3/8"=1'-0"



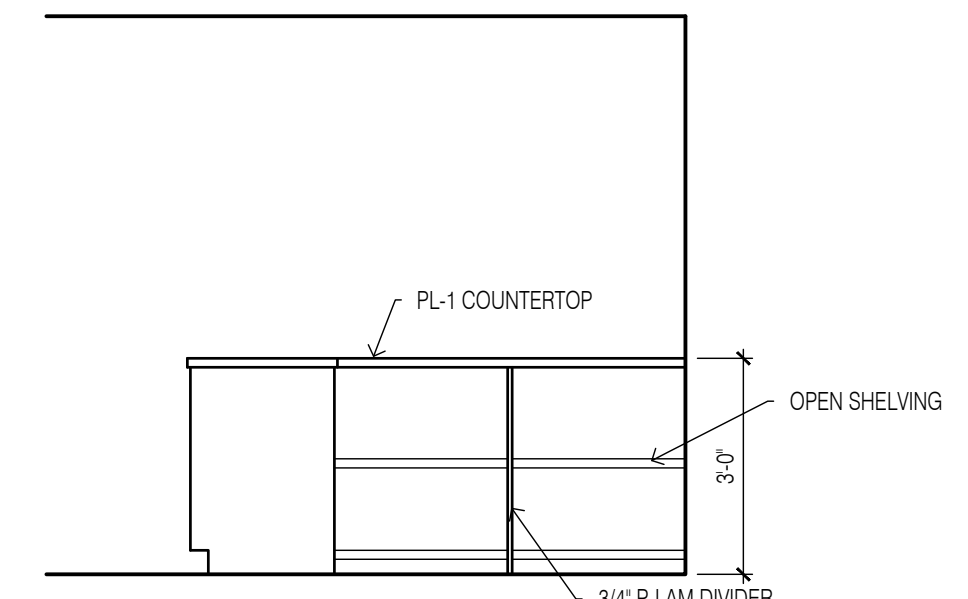
elevation B
 CAFE - 103 3/8"=1'-0"



elevation C
 CAFE - 103 3/8"=1'-0"



elevation D
 CAFE - 103 3/8"=1'-0"



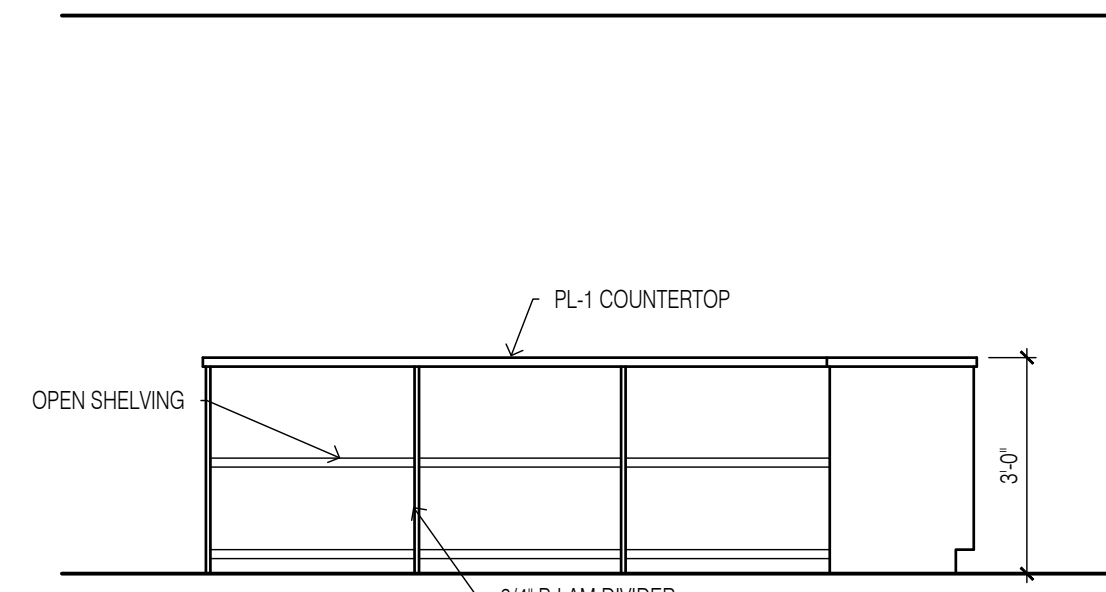
elevation E
 CAFE - 103 3/8"=1'-0"

CASEWORK LEGEND

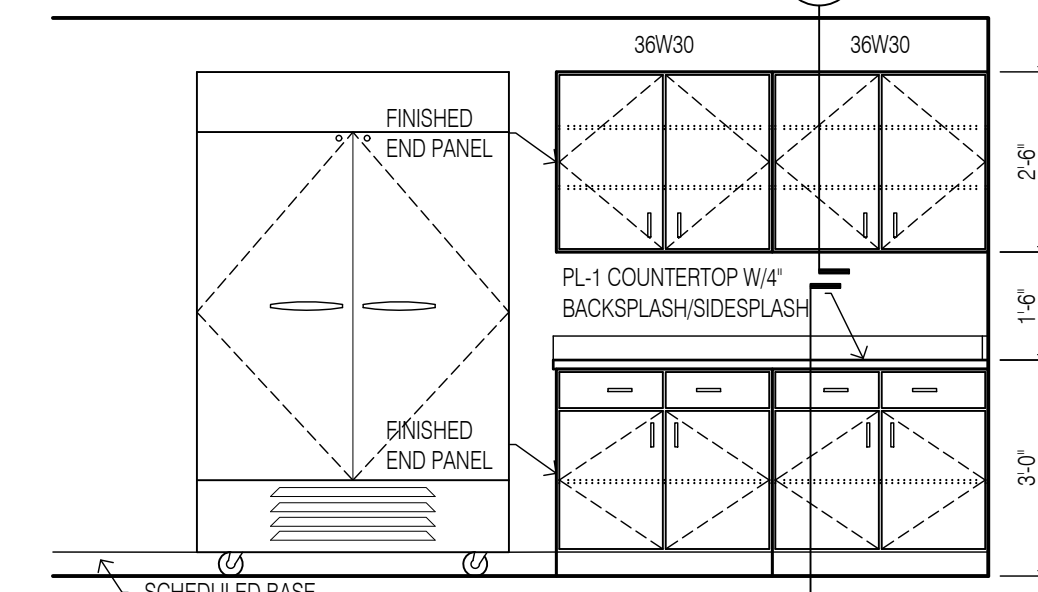
24DB36-2

- Number of drawers
- Nominal Unit Height
- Cabinet Type
- Nominal Unit Width

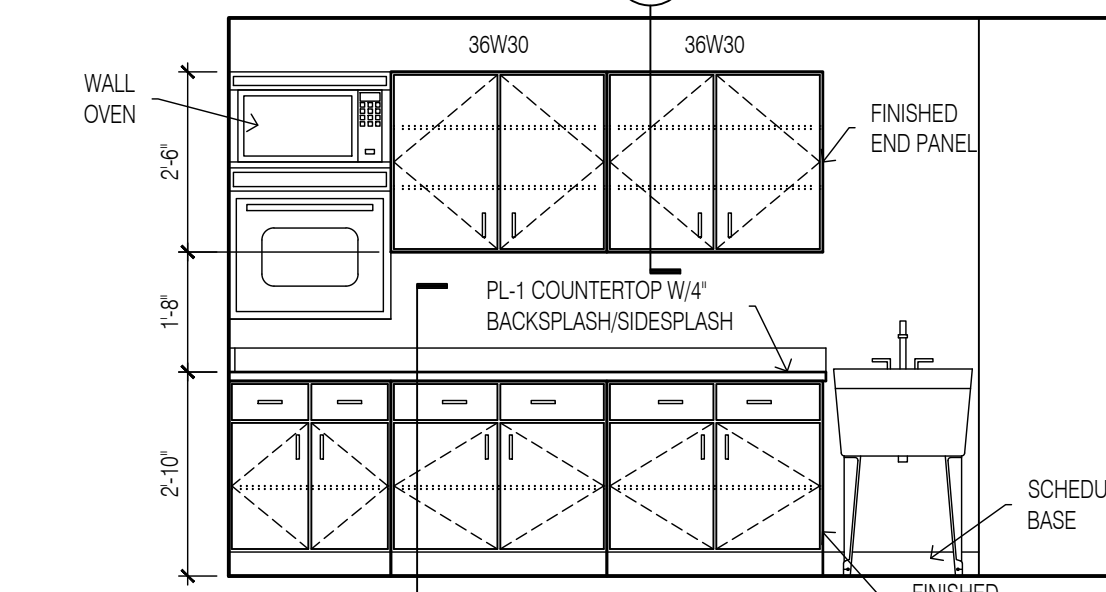
- B Base Cabinet
- SB Sink Base Cabinet
- DB Drawer Base Cabinet
- FC File Cabinet
- W Wall Cabinet
- S Storage Cabinet
- BCC Blind Corner Cabinet



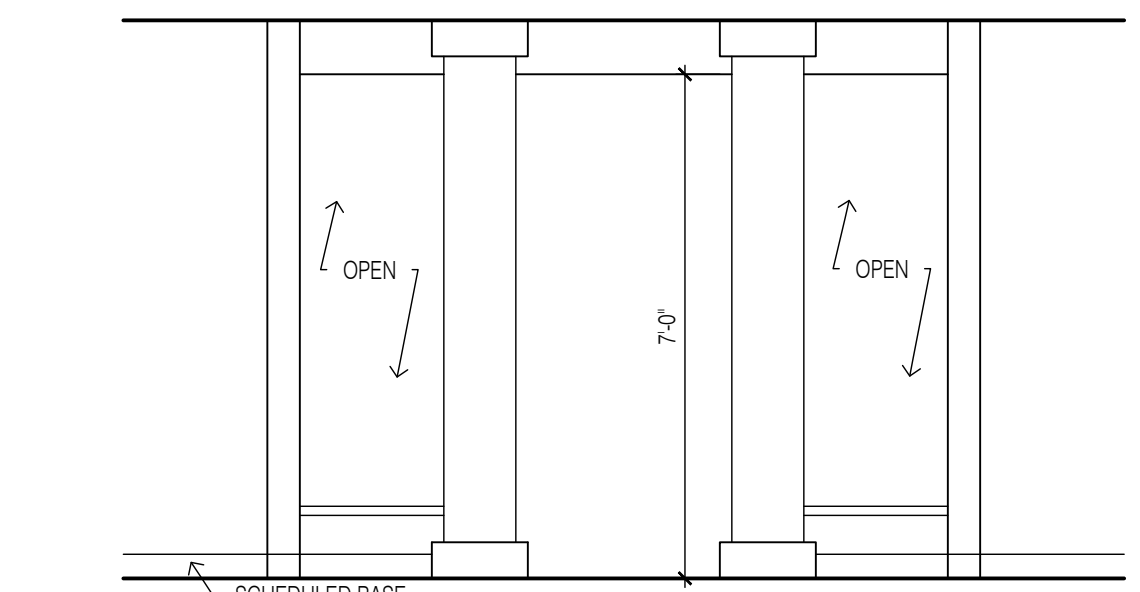
elevation F
 CAFE - 103 3/8"=1'-0"



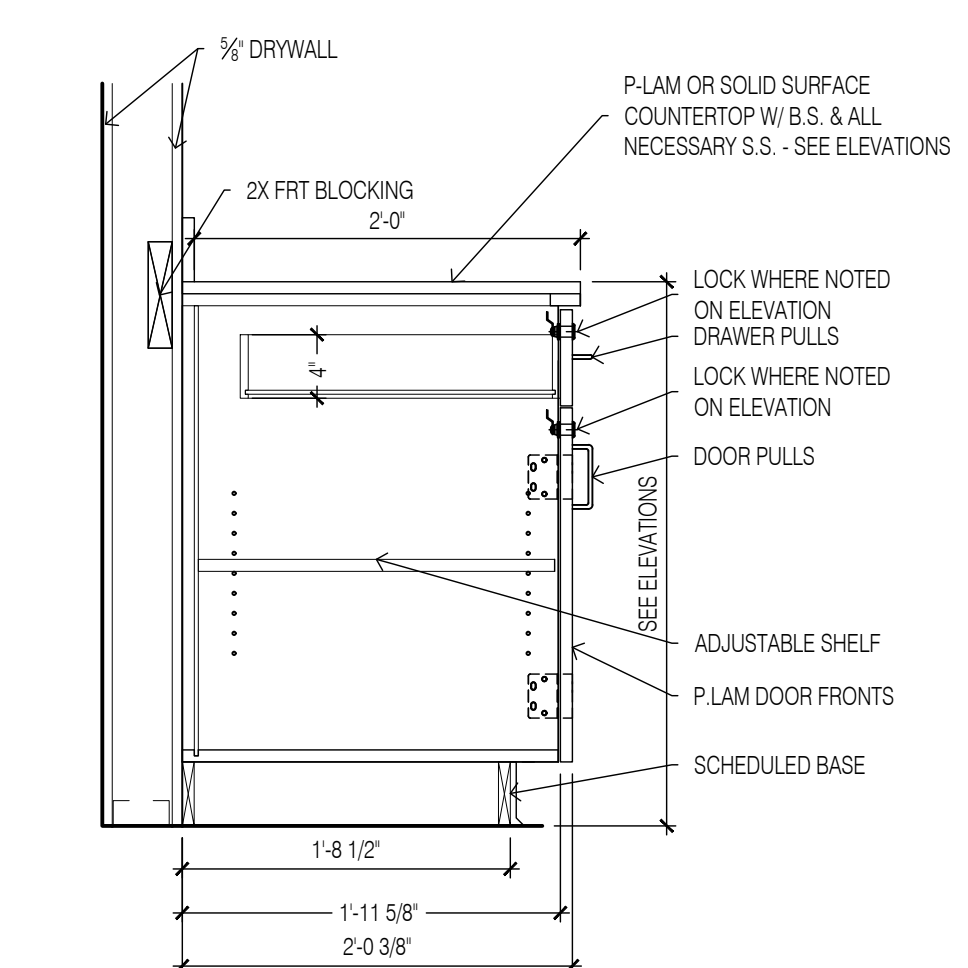
elevation G
 KITCHENETTE - 105 3/8"=1'-0"



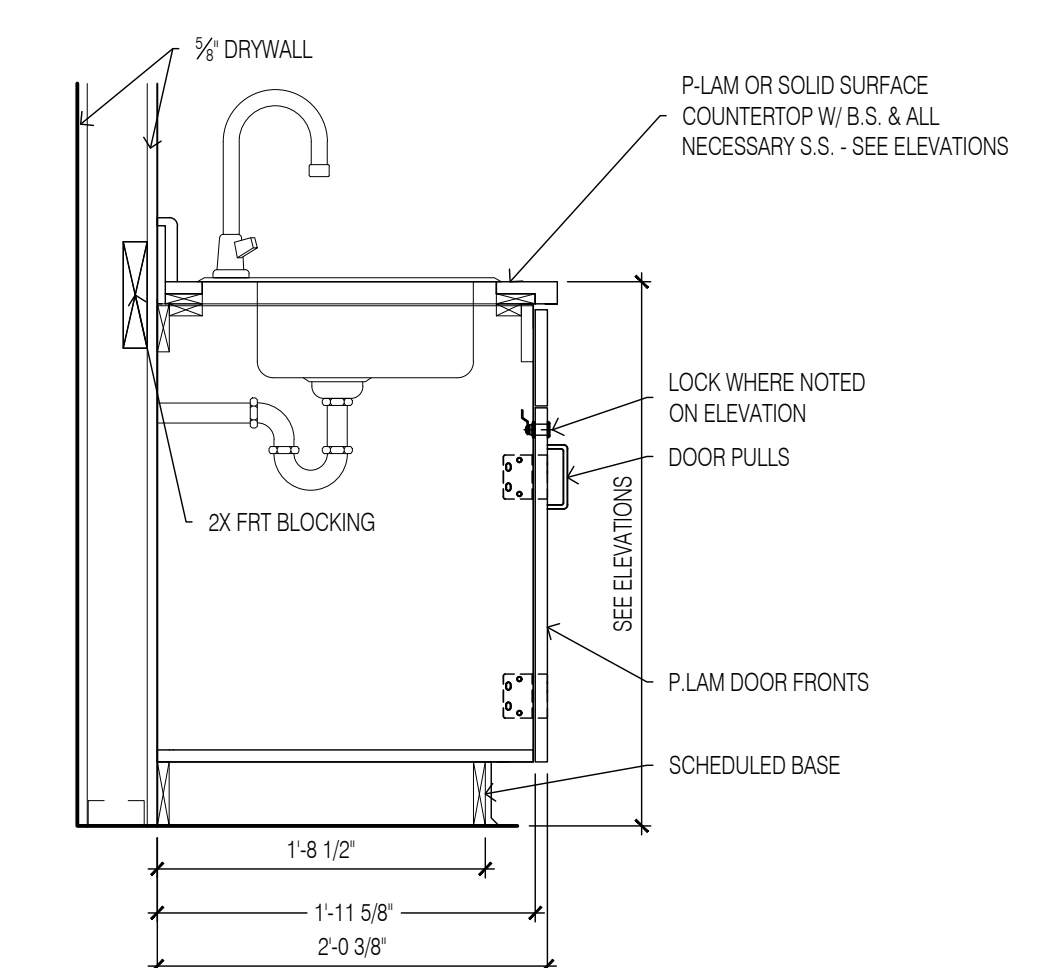
elevation H
 KITCHENETTE - 105 3/8"=1'-0"



elevation J
 GIFT SHOP - 109 3/8"=1'-0"



1 section 1"=1'-0"



2 section 1"=1'-0"

PLUMBING SPECIFICATIONS:

1.0 SCOPE OF WORK

- A. THE PLUMBING CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO PROVIDE THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM AS DESCRIBED HEREIN AND INDICATED ON THE DRAWINGS.
- B. INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2017 OHIO PLUMBING CODE (OPC).
- C. THE PLUMBING CONTRACTOR SHALL ARRANGE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED.

2.0 SANITARY, VENTS AND DOMESTIC WATER PIPING

- 2.1 SANITARY PIPING
 - A. ABOVE GROUND WASTE, DRAIN AND VENT PIPING SHALL CONFORM TO MATERIAL AND ASTM STANDARDS LISTED IN TABLE 702.1 OF THE 2017 OPC.
 - B. SANITARY PIPING SHALL BE CAST IRON OR PVC.
 - C. SANITARY PIPING SHALL HAVE MINIMUM SLOPES OF 1/4" /FT FOR PIPES 2.5 AND BELOW, 1/8" /FT FOR PIPES 3"-6".
 - D. VENT PIPING SHALL BE CAST IRON. GALVANIZED IS PERMITTED FOR VENTS 2" OR LESS.
 - E. VENT SIZES AND DISTANCES SHALL CONFORM TO OPC CHAPTER 9.
- 2.2 POTABLE WATER PIPING SYSTEM:
 - A. TYPE "L" OR TYPE "K" DRAWN COPPER TUBE WITH COPPER FITTINGS.
 - B. TYPE "L" OR "K": ASTM B75; ASTM B88; ASTM B 251; ASTM B447
 - C. WATER PIPING SHALL BE INSULATED WHERE REQUIRED.

3.0 HOT WATER SYSTEM:

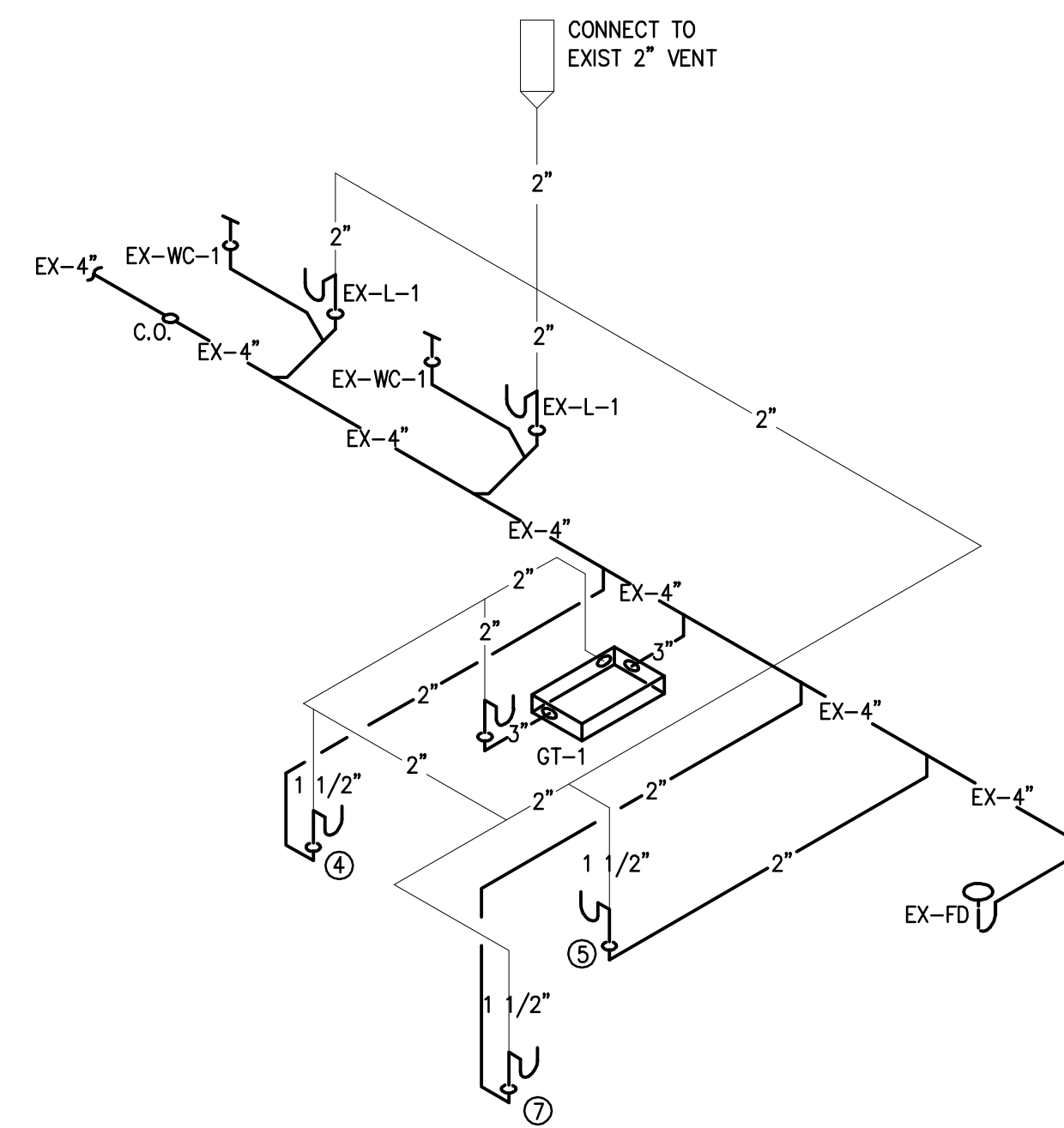
- A. THE WATER HEATER IS EXISTING TO REMAIN.

4.0 PLUMBING FIXTURES AND ACCESSORIES

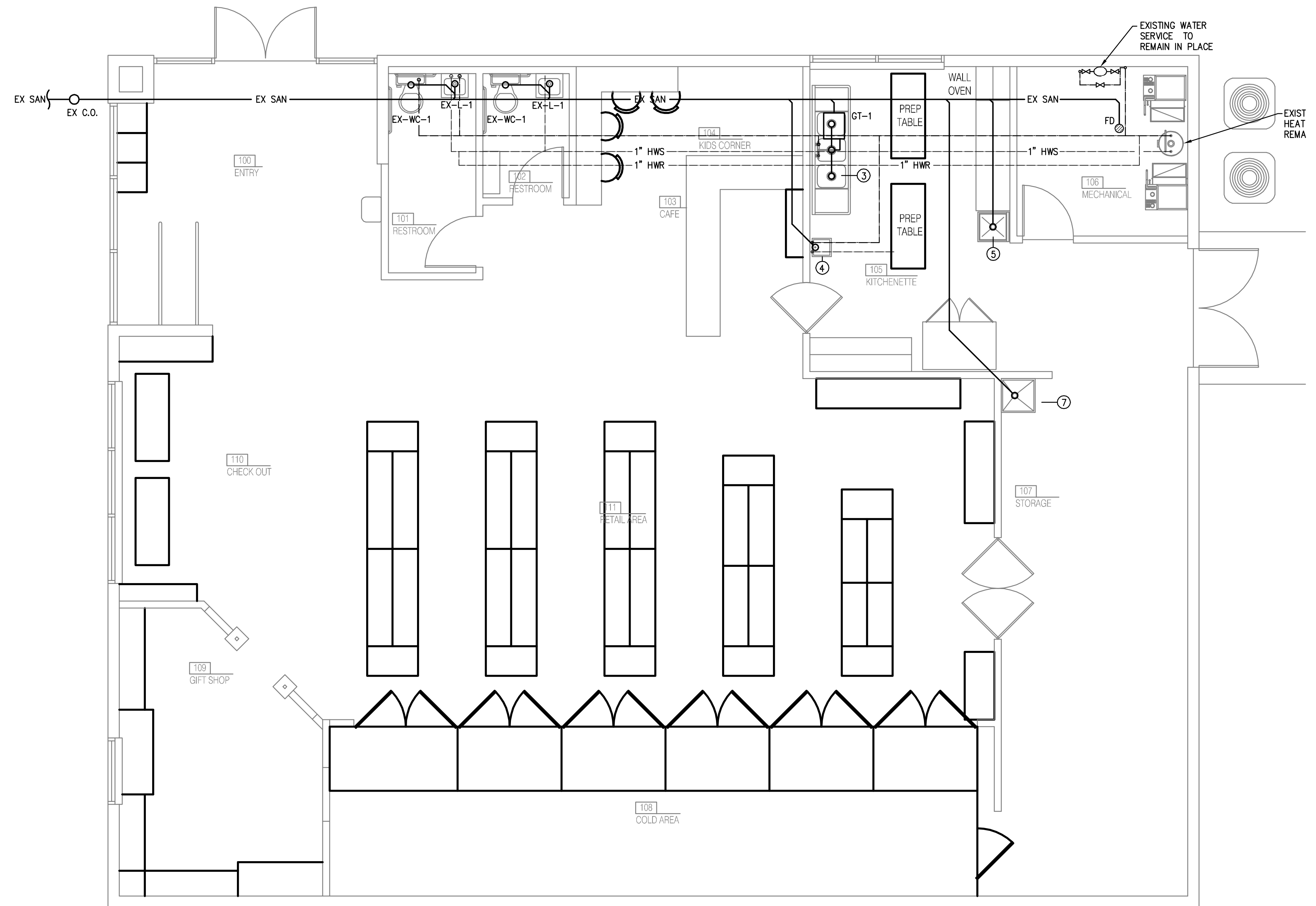
- 4.1 PLUMBING FIXTURES SHALL BE AS DESCRIBED IN THE PLUMBING FIXTURE SCHEDULE.
- 4.2 FIXTURES SHALL BE UL LISTED AND SHALL BE PROVIDED WITH ALL ACCESSORIES, TRIMS, FIXTURE STOPS, AND HARDWARE REQUIRED FOR A COMPLETE INSTALLATION.
- 4.3 FIXTURE FINISHES SHALL BE CONSISTENT IN SPACES AND SHALL BE AS SELECTED BY THE OWNER.
- 4.4 VALVES, SHUT OFF, FULL OPEN
 - A. SHUT OFF VALVES SHALL BE INSTALLED IN THE FOLLOWING: ALL FIXTURE SUPPLIES, WATER SUPPLY AT EACH SILLCOCK AND WATER SUPPLY TO ALL APPLIANCES. SHUTOFFS SHALL BE ACCESSIBLE PER IFGC 409.1.3 AND SEPARATE FROM THE APPLIANCE PER IFGC 409.5.
- 4.5 SINKS SHALL COMPLY WITH OPC SECTION 418 AND SHALL CONFORM TO ASME A112, AND CSA STANDARDS. PROVIDE ASSE 1070 TEMPERING VALVES LIMITED TO A MAXIMUM OF 110° F FOR HAND AND PREP SINKS.

5.0 TESTING

- 5.1 ALL NEW WATER AND VENT LINES SHALL BE PRESSURE TESTED FOR LEAKS PER LOCAL REQUIREMENTS.

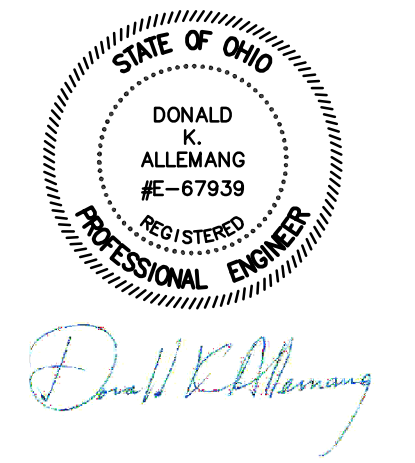


STACK RISER



PLUMBING PLAN
1/4"=1'-0"

EQUIPMENT SCHEDULE										
TAG	DESCRIPTION	MANUFACTURER	ELECTRICAL			PLUMBING			NATURAL GAS	
			VOLT/PHASE	CONNECTION	LOAD	CW	HW	DRAIN	GAS	BTU
1	STACKED CONVECTION OVEN	MOFFET: E22M3-2	120V,1Ø	NEMA 5-15P (EACH)	1.5KW	--	--	--	--	--
2	UNDER BAR SINK W/FAUCET	AMGOOD	---	---	--	1/2"	1/2"	1 1/2"	--	--
3	3 COMP SINK W/FAUCET	KLINGERS: MCS32D WITH YOOGY FAUCET	---	---	--	1/2"	1/2"	1 1/2"	--	--
4	HAND SINK W/FAUCET	ASSURED SIGNS: WRS10478	---	---	--	1/2"	1/2"	1 1/2"	--	--
5	PREP SINK W/FAUCET	RUVATI: RVH7112	---	---	--	1/2"	1/2"	1 1/2"	--	--
6	AUTOMATIC GLASS RINSER	LHYCS: AUTO GLASS RINSE	---	---	--	1/2"	--	1 1/2"	--	--
7	AUTOMATIC GLASS RINSER	LHYCS: AUTO GLASS RINSE	---	---	--	1/2"	--	1 1/2"	--	--
8	AUTOMATIC GLASS RINSER	LHYCS: AUTO GLASS RINSE	---	---	--	1/2"	--	1 1/2"	--	--



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TENANT IMPROVEMENTS FOR
CAMPUS & CO.
 460 HAVENNS CORNER
 GAHANNA, OHIO 43230

NO	REVISION	DATE

DATE: 10.17.2022

SHEET TITLE:
 PLUMBING PLAN

HVAC SPECIFICATIONS

PART 1 GENERAL

1.0 SCOPE

- A. THE HVAC CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, TOOLS AND EQUIPMENT REQUIRED FOR A COMPLETE INSTALLATION AND TESTING OF THE HVAC SYSTEM AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- B. SCOPE TO INCLUDE INSTALLATION OF THE COMPLETE HVAC SYSTEM INCLUDING DUCTWORK, DIFFUSERS, RETURN GRILLES, THERMOSTAT WIRING TESTING AND BALANCING.
- C. THE HVAC CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED FOR HIS WORK.

1.1 CODES AND STANDARDS

- A. ALL WORK, MATERIAL AND EQUIPMENT SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2017 OHIO BUILDING CODE, 2017 OHIO MECHANICAL CODE (OMC), ICC/ANSI A117.1-2009 ACCESSIBILITY CODE, O.S.H.A. AND ALL ENFORCED STATE AND LOCAL CODES.
- B. ALL MATERIALS SHALL BE U.L. LISTED AND BEAR THE U.L. LABEL.

PART 2 DUCTWORK AND DEVICES

2.0 AIR DEVICES

- A. SUPPLY AIR AND RETURN DEVICES SHALL BE RE-USED WHERE POSSIBLE. NEW DIFFUSERS SHALL BE NOTED.
- B. NEW AIR DEVICES SHALL MATCH BUILDING STANDARD COLOR AND FINISH.

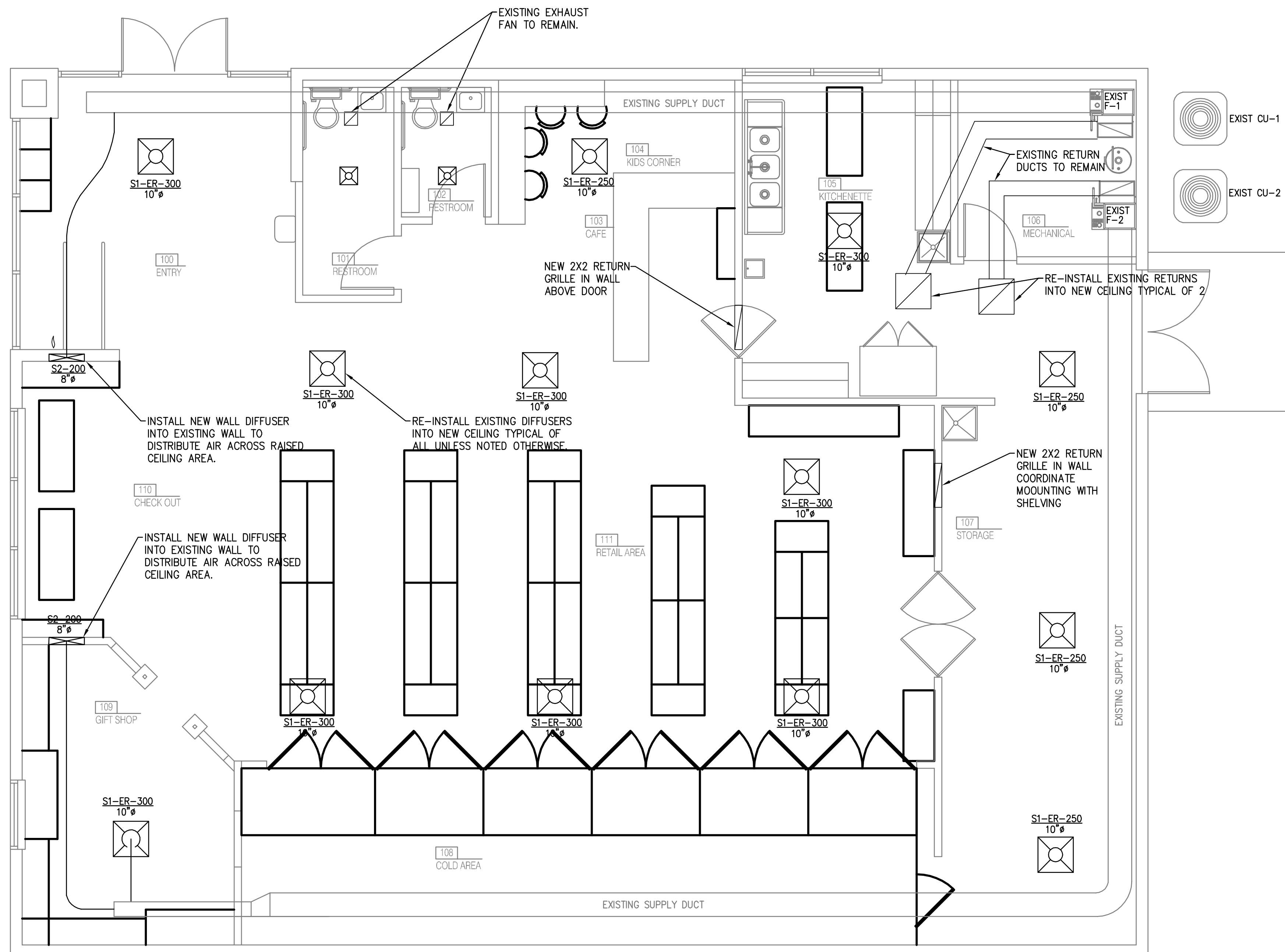
2.1 DUCTWORK

- A. DUCTWORK SHALL BE INSULATED GALVANIZED SHEET METAL AND FLEX SIMILAR TO TYPE USED IN BUILDING.
- B. REUSE EXISTING DUCTWORK WHERE POSSIBLE, CONTRACTOR SHALL INSPECT SAME TO MAKE SURE AIR TIGHT SEAL IS MAINTAINED. REPAIR OR REPLACE DEFECTIVE SEALS.
- C. PROVIDE VOLUME DAMPERS FOR EACH BRANCH RUN TO ALLOW FOR SYSTEM BALANCING. DAMPERS SHALL BE SINGLE CROSS-BLADE UP TO 12" BLADE WIDTH AND MULTI-BLADE IN LARGER SIZES. DAMPERS MOUNTED IN DUCTS SHALL BE CONTROLLED BY A LOCKING QUADRANT POSITIONER WITH HANDLE FOR DUCTS WITH EXTERIOR INSULATION. PROVIDE SUITABLE EXTENSIONS FOR POSITIONERS EQUAL TO VENT LOCK 637. MULTI-BLADE DAMPERS SHALL BE OPPOSED BLADE WITH ADEQUATE LOCKING MEANS FOR STABLE POSITIONING. FURNISH ACCESS PANELS WHERE REQUIRED FOR ACCESS TO DAMPERS.
- D. MATERIALS SHALL MEET ASTM E-84 STANDARDS FOR SMOKE DEVELOPMENT OF 150 OR LESS AND FLAME SPREAD OF 25 OR LESS.
- E. ELBOWS SHALL HAVE AN INSIDE RADIUS EQUAL TO THE DUCT WIDTH, IN LIEU OF WHICH DOUBLE WALL TURNING VANES HAVING EQUIVALENT OR LESS PRESSURE DROP ARE ACCEPTABLE.
- F. ALL MATERIALS EXPOSED ABOVE CEILING IN RETURN PLENUM SHALL CONFORM TO OMC 602.2.1

PART 3 CONTROLS

- A. EXISTING THERMOSTAT SHALL BE RELOCATED AS DIRECTED IN FIELD TO COORDINATE WITH SHELVING AND NEW WALLS. REUSE CONTROL WIRING IF POSSIBLE.

FRESH AIR SCHEDULE								
DESCRIPTION	S.F.	S.F. O.A.	OCCUPANTS	OCCUPANT CFM	TOTAL O.A. REQ'D	Ez	SUPPLY AIR	FRESH AIR
RETAIL	1,350 S.F.	162 CFM	30	225 CFM	387 CFM	1.0	2500 CFM	500 CFM
RETAIL	178 S.F.	21 CFM	4	30 CFM	51 CFM	1.0	300 CFM	60 CFM



HVAC PLAN
1/4"=1'-0"



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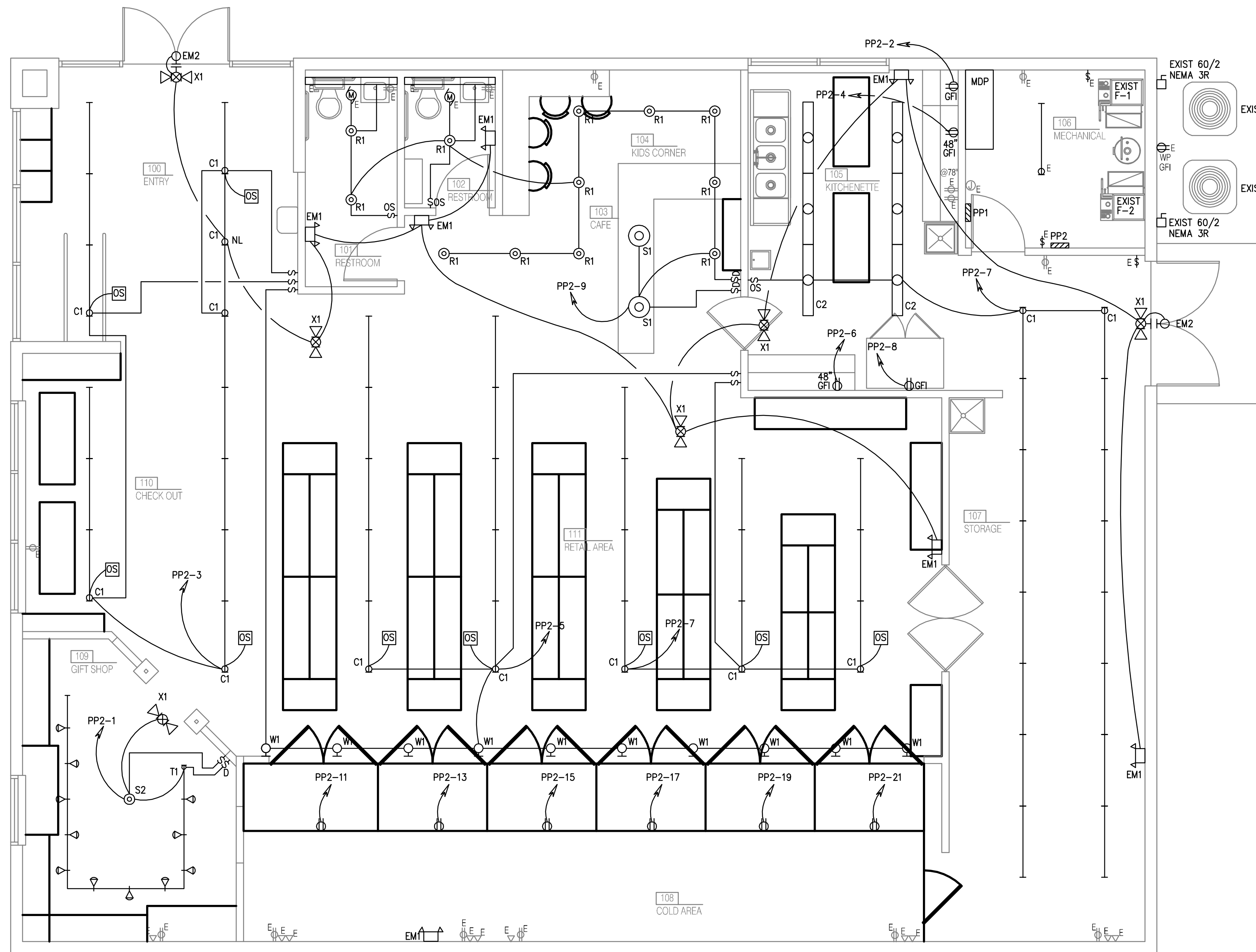
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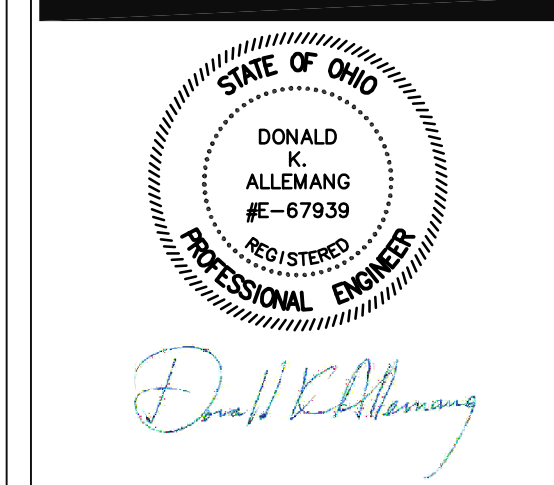
SHEET TITLE:
HVAC PLAN



ELECTRICAL PLAN
1/4"=1'-0"

LIGHTING FIXTURE SCHEDULE				
TYPE	DESCRIPTION	LAMPS	MANUFACTURER/CATALOG NUMBER	
C1	4' LED INDUSTRIAL STRIP FIXTURE SURFACE MOUNTED.	LED 3500K	CONTRACTOR PACKAGE	
C2	4' LED LINEAR FIXTURE WITH GASKETED LENS.	LED 3500K	CONTRACTOR PACKAGE	
R1	LED DOWNLIGHT	LED 3500K	CONTRACTOR PACKAGE	
S1	VERVE SHELL PENDANT, LARGE	LED 3500K	VERVE: SKU-PE21020 GM	
S2	SMALL LED CHANDELIER	LED 3500K	CONTRACTOR PACKAGE	
T1	TRACK FIXTURE WITH LED HEADS	LED 3500K	CONTRACTOR PACKAGE	
W1	LED WALL SCONCE BLACK FINISH	LED 3500K	CONTRACTOR PACKAGE	
X1	BATTERY LED EXIT FIXTURE WITH WHITE FACE, RED LETTERS AND (2) EM HEADS	WITH UNIT	EMERGI-LITE ELXN400R-2LED(R) REMOTE	
EM1	BATTERY POWERED EMERGENCY FIXTURE WITH 2 HEADS AND WHITE FINISH	LED	EMERGI-LITE: EL-2LED	
EM2	EMERGENCY 2-HEAD FIXTURE WIRED TO EXIT SIGN.	LED	EMERGI-LITE: EF44D-LEDWP	

EQUIPMENT SCHEDULE										
TAG	DESCRIPTION	MANUFACTURER	VOLT/PHASE	ELECTRICAL CONNECTION	LOAD	PLUMBING			NATURAL GAS	
						CW	HW	DRAIN	GAS	BTU
1	STACKED CONVECTION OVEN	MOFFET: E22M3-2	120V,1ø	NEMA 5-15P (EACH)	1.5KW	--	--	--	--	--
2	UNDER BAR SINK W/FAUCET	AMGOOD	---	---	--	1/2"	1/2"	1 1/2"	--	--
3	3 COMP SINK W/FAUCET	KLINGERS: MCS32D WITH YOOGY FAUCET	---	---	--	1/2"	1/2"	1 1/2"	--	--
4	HAND SINK W/FAUCET	ASSURED SIGNS: WRS10478	---	---	--	1/2"	1/2"	1 1/2"	--	--
5	PREP SINK W/FAUCET	RU VATI: RVH7112	---	---	--	1/2"	1/2"	1 1/2"	--	--
6	AUTOMATIC GLASS RINSER	LHYCS: AUTO GLASS RINSE	---	---	--	1/2"	--	1 1/2"	--	--



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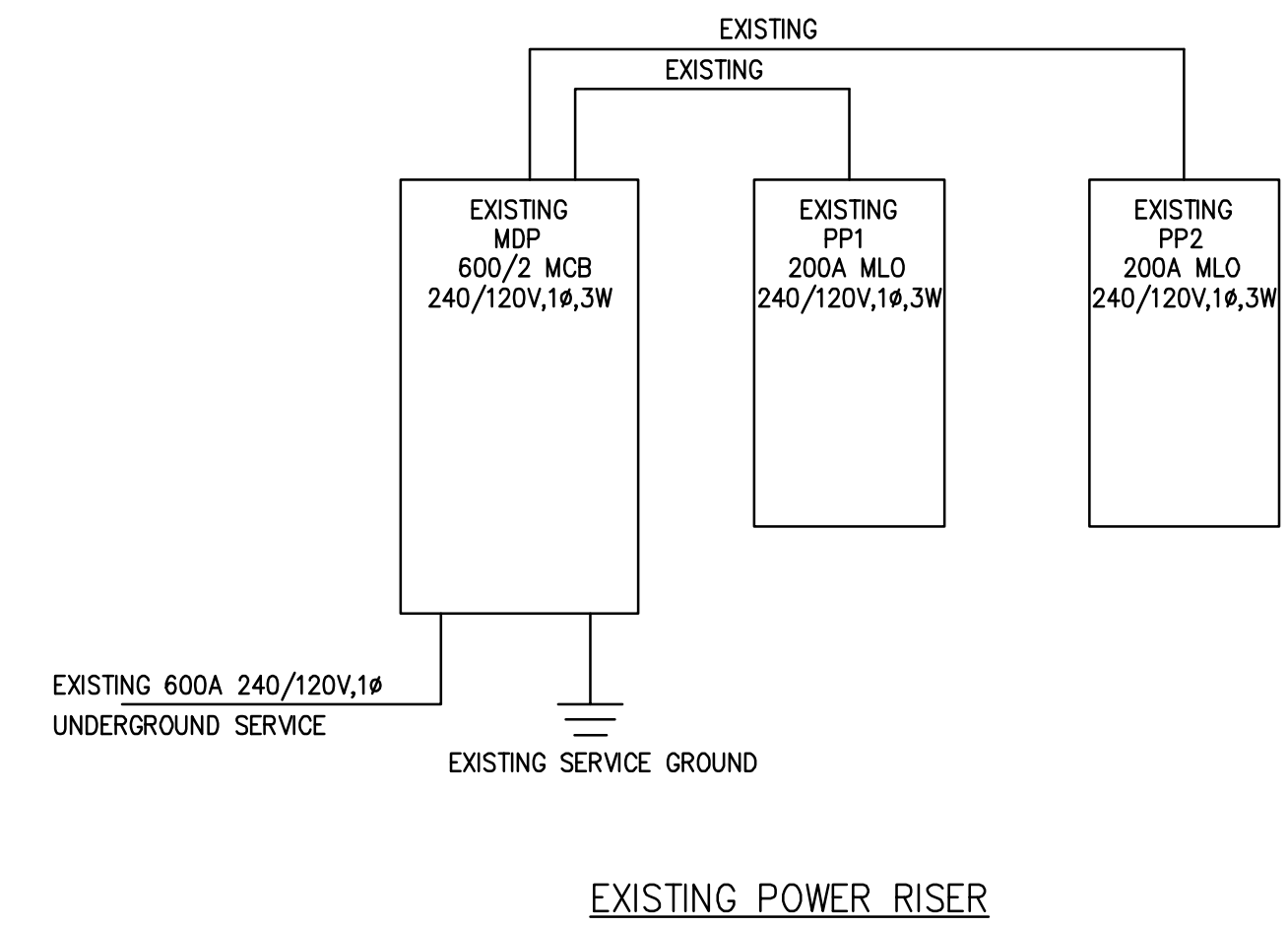
TENANT IMPROVEMENTS FOR
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 GAHANNA, OHIO 43230

NO	REVISION	DATE

DATE: 10.17.2022

SHEET TITLE:
 LIGHTING PLAN

E1-1



ELECTRICAL SPECIFICATIONS

PART 1 GENERAL

1.0 GENERAL

- A. THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, TOOLS AND EQUIPMENT REQUIRED FOR A COMPLETE INSTALLATION OF THE ELECTRICAL SYSTEMS AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- B. THE ELECTRICAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED FOR HIS WORK.
- C. PROVIDE ARC FAULT WARNING SHORT CIRCUIT CURRENT ON ALL PANELS

1.1 CODES AND STANDARDS

- A. ALL WORK, MATERIAL AND EQUIPMENT SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2017 OHIO BUILDING CODE, THE 2017 NATIONAL ELECTRICAL CODE (NEC), THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), THE LATEST ADDITIONS OF THE ICC/ANSI A117.1-2009 ACCESSIBILITY CODE, O.S.H.A. AND ALL OTHER ENFORCED STATE AND LOCAL CODES.

PART 2 CONDUIT, WIRE, BOXES AND DEVICES

2.1 CONDUIT

- A. ALL CONDUIT SHALL BE 3/4" MINIMUM EXCEPT WHERE NOTED OTHERWISE. ALL CONDUITS IN FINISHED SPACES SHALL BE CONCEALED.
- B. RIGID, INTERMEDIATE GRADE, EMT, ARE PERMITTED FOR WIRING.

2.2 WIRE

- A. ALL SINGLE CONDUCTOR POWER WIRE SHALL BE 600 VOLT, THHN OR THHN COPPER CONDUCTORS, METAL CLAD (MC CABLE) IS ALSO PERMITTED.
- B. MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCEPT WHERE OTHERWISE NOTED.
- C. CONDUCTORS FOR POWER FEEDERS AND BRANCH CIRCUITS SHALL HAVE CONDUCTOR IDENTIFICATION AS CALLED OUT FOR IN THE N.E.C. AND SHALL BE CONSISTENT THROUGHOUT.

2.3 BOXES

- A. OUTLET AND DEVICE WIRING BOXES SHALL BE SHEET STEEL WITH STAMPED KNOCKOUTS, THREADED SCREW HOLES AND ACCESSORIES FOR EACH LOCATION INCLUDING MOUNTING BRACKETS, STRAPS, CABLE CLAMPS, EXTERIOR RINGS AND FIXTURE STUDS.

2.4 DEVICES

- A. ALL WIRING DEVICES SHALL BE HEAVY DUTY, SPECIFICATION GRADE AS MANUFACTURED BY BRYANT, HUBBELL, LEVITON OR APPROVED EQUAL. FINISH SHALL BE WHITE UNLESS NOTED OTHERWISE OR SELECTED BY THE OWNER OR ARCHITECT.
- B. SWITCHES SHALL BE SINGLE POLE, 3-WAY, DIMMER, WALL OR CEILING OCCUPANCY SENSOR TYPE AS INDICATED. SWITCHES SHALL BE RATED 20 AMPERE 120/277 VOLT.
- C. RECEPTACLES SHALL BE DUPLEX, 2 POLE, 3-WIRE NEMA 5-20R, GROUNDING TYPE RATED 20 AMP, 125VOLT. RECEPTACLE COVER PLATES SHALL BE STAINLESS STEEL OR PLASTIC AS REQUIRED, NOTED OR REQUESTED BY THE OWNER, TENANT OR THE ARCHITECT.
- D. ALL DEVICES SHALL BE FLUSH MOUNTED WITH PROPER FITTING PLATES.
- E. DEVICES IN PUBLIC SPACES SHALL BE TAMPER RESISTANT PER NEC. 406.12.
- F. DEVICES BEHIND KITCHEN EQUIPMENT SHALL BE PROTECTED WITH GROUND FAULT CIRCUIT INTERRUPTION BREAKERS IN THE PANELS IF THE RECEPTACLE IS NOT ACCESSIBLE FOR RESET. PER NEC 210.8(A) THROUGH (E).

PART 3 GROUNDING

3.1 GENERAL

- A. PROVIDE ALL MATERIALS AND LABOR REQUIRED TO INSTALL AN APPROVED GROUNDING SYSTEM TO A GROUND SOURCE AS DESCRIBED IN N.E.C. 250.
- B. GROUND ALL CONDUITS, FIXTURES, RECEPTACLES, MOTORS, PANELS AND OTHER EXPOSED NON CURRENT CARRYING METAL PARTS OR ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ALL PROVISIONS LISTED IN THE N.E.C.
- C. PROVIDE AN INSULATED GROUND WIRE IN ALL FEEDER AND BRANCH CIRCUIT CONDUITS.

PART 4 SYSTEMS

4.1 TELECOMMUNICATIONS

- A. PROVIDE ROUGH-IN FOR TELECOMMUNICATION OUTLETS. ROUGH-INS TO INCLUDE BOX WITH BLANK COVER PLATE AND PULL STRING TO ABOVE ACCESSIBLE CEILING.

PART 5 LIGHTING

5.0 LIGHT FIXTURES

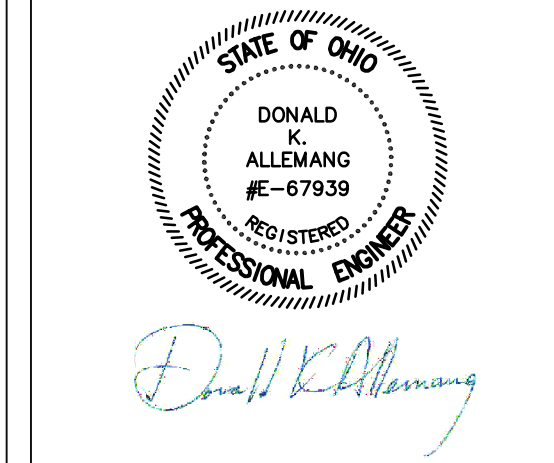
- A. ALL FIXTURES ARE AS LISTED IN THE FIXTURE SCHEDULE
- B. BATTERY POWERED EXITS AND EMERGENCY FIXTURES SHALL BE WIRED TO FIXTURES IN SAME SPACE AHEAD OF THE SWITCH LEG.

EXISTING PANELBOARD "PP2"											
LOAD DESCRIPTION		LOAD KVA	C/B POLES	C/B AMPS	CIR. NO.	PHASE	CIR. NO.	C/B AMPS	C/B POLES	LOAD KVA	LOAD DESCRIPTION
LIGHTING		0.4	1	20	1	A	2	20	1	1.5	CONVECTION OVEN
LIGHTING		0.5	1	20	3	B	4	20	1	0.4	KITCHEN GFI
LIGHTING		0.6	1	20	5	A	6	20	1	0.4	KITCHEN GFI
LIGHTING		0.6	1	20	7	B	8	20	1	0.6	COOLER
LIGHTING		0.6	1	20	9	A	10	20	1	0.6	CONVENIENCE RECEPTACLES
COOLER		1.0	1	20	11	B	12	20	1	0.6	CONVENIENCE RECEPTACLES
COOLER		1.0	1	20	13	A	14	20	1	0.6	CONVENIENCE RECEPTACLES
COOLER		1.0	1	20	15	B	16	20	1	0.6	CONVENIENCE RECEPTACLES
COOLER		1.0	1	20	17	A	18	20	1	-	-
COOLER		1.0	1	20	19	B	20	20	1	-	-
COOLER		1.0	1	20	21	A	22	20	1	-	-
TOILET RECEPTACLES		0.4	1	20	23	B	24	20	1	-	-
.		-	1	20	25	A	26	20	1	-	-
.		-	1	20	27	B	28	20	1	-	-
.		-	1	20	29	A	30	20	1	-	-
.		-	1	20	31	B	32	20	1	-	-
.		-	1	20	33	A	34	20	1	-	-
.		-	1	20	35	B	36	20	1	-	-
.		-	1	20	37	A	38	20	1	-	-
.		-	1	20	39	B	40	20	1	-	-
.		-	1	20	41		42	20	1	-	-

FED FROM: MDP

DEMAND LOAD 14.4 KVA 60 A @ 240V

SYMBOLS	
Ⓢ	WALL SWITCH WITH COVER PLATE
Ⓢos	WALL MOUNTED OCCUPANCY SENSOR (NON DIMMING) WATTSTOPPER: DSW-301
Ⓢi	CEILING MOUNTED OCCUPANCY SENSOR: WATTSTOPPER: LMDC-100
Ⓢx	EXIT SIGN WITH EM HEADS
Ⓢl	WALL MTD. EMERGENCY LIGHT FIXTURE
Ⓢo	SPECIAL RECEPTACLE AS LISTED.
Ⓢd	STANDARD DUPLEX, 20A RECEPTACLE,
Ⓢq	STANDARD QUADRUPLEX, 20A RECEPTACLE,
Ⓢd	CEILING DUPLEX RECEPTACLE
Ⓢm	MOTOR AS INDICATED
Ⓢv	COMBINATION VOICE/DATA ROUGH-IN OUTLET
Ⓢh	DISCONNECT SWITCH RATING AS INDICATED
Ⓢz	SURFACE MOUNTED PANEL BOARD
Ⓢj	JUNCTION BOX
ER	EXISTING TO REMAIN
RL	EXISTING TO BE RELOCATED
R	EXISTING TO BE REMOVED
GFI	GROUND FAULT CIRCUIT INTERRUPTER
WP	WEATHERPROOF, WEATHER RESISTANT ENCLOSURE
NL	NITE LIGHT
N.F.	NON FUSED



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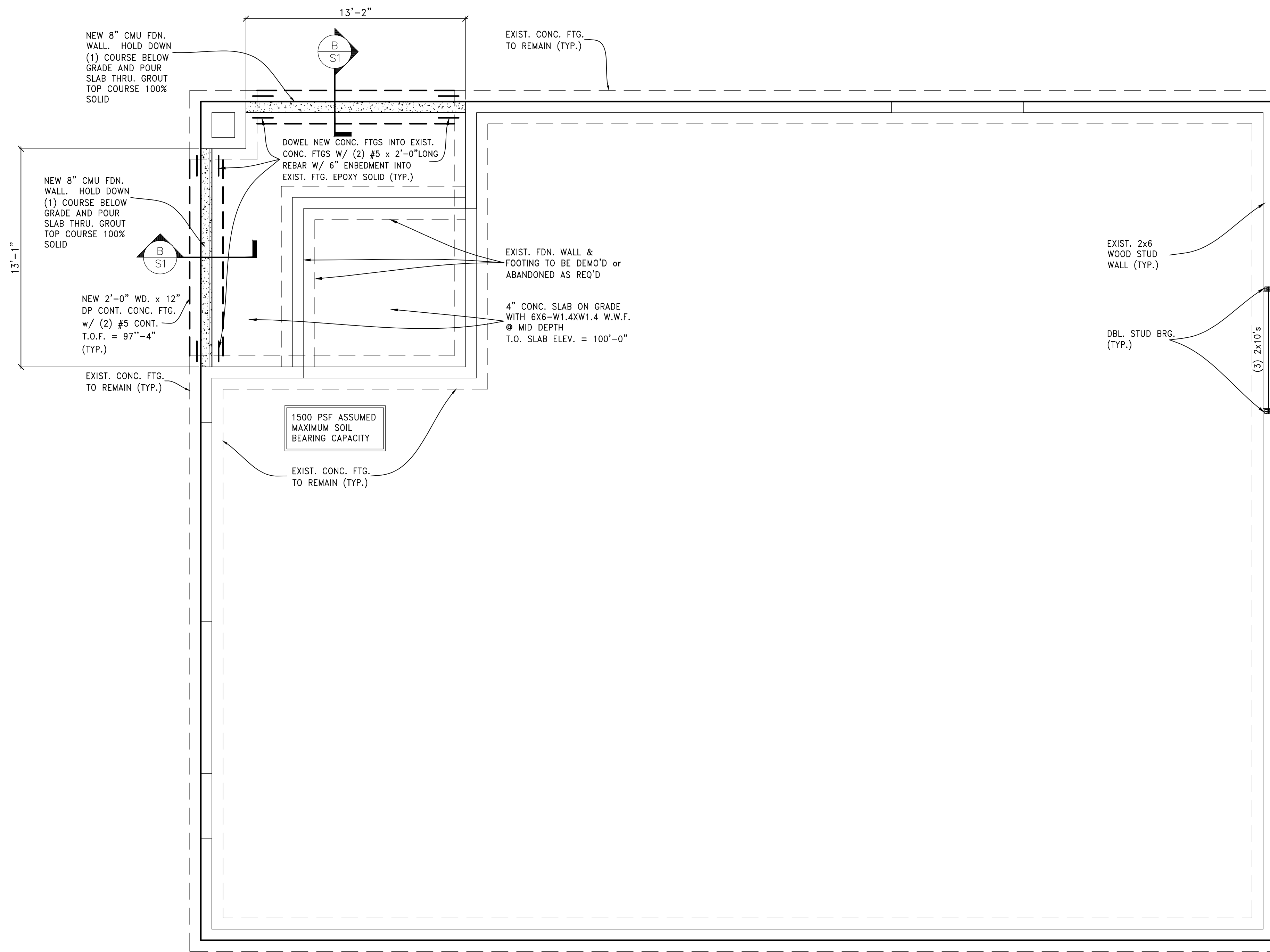
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SHEET TITLE:
 SPECIFICATIONS AND SCHEDULES

E1-2



STRUCTURAL NOTES:

A. GENERAL

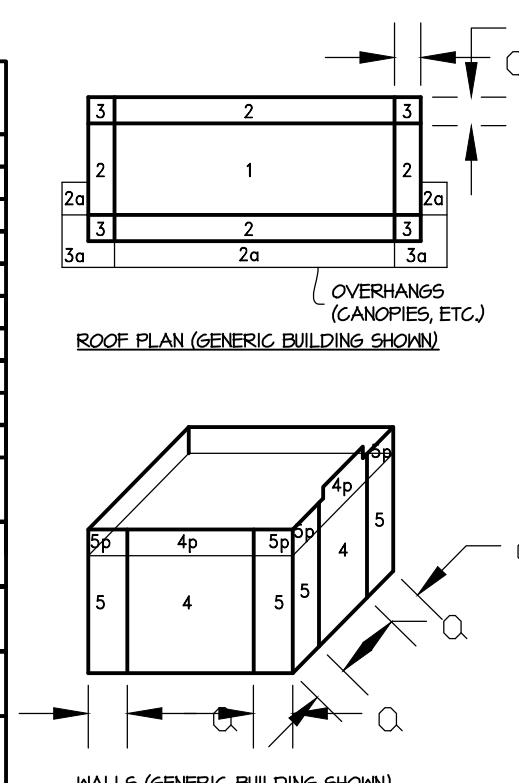
1. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS WHICH MIGHT BE NECESSARY. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER THE COMPLETION OF THE PROJECT.
2. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
3. EQUIPMENT FRAMING LOADS, OPENINGS AND STRUCTURE IN ANY WAY RELATED TO HVAC, PLUMBING, OR ELECTRICAL REQUIREMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL OBTAIN APPROVAL OF THE INVOLVED TRADES BEFORE PROCEEDING WITH SUCH PORTION OF THE WORK. EXCESS COST RELATED TO VARIATION IN THESE REQUIREMENTS TO BE BORNE BY THE APPROPRIATE CONTRACTOR.
4. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THESE STRUCTURAL NOTES, THE SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
5. ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR AND SHALL CONFORM TO THOSE SHOWN ON THE ARCHITECTURAL DRAWINGS. VERIFY ALL EXISTING DIMENSIONS AND ELEVATIONS WHICH AFFECT THE NEW CONSTRUCTION.

B. GOVERNING CODE: 2017 OHIO BUILDING CODE.

1. ROOF SNOW LOADS
 - A. GROUND SNOW LOAD = 20 psf.
 - B. FLAT-ROOF SNOW LOAD = 20 psf.
 - C. SNOW EXPOSURE FACTOR = $C_e = 1.0$
 - D. SNOW LOAD IMPORTANCE FACTOR = 1.0
 - E. THERMAL FACTOR = $C_t = 1.0$
2. ROOF LIVE LOADS
 - A. MINIMUM ROOF LIVE LOAD = 20 psf.
 - B. DESIGN ROOF LIVE LOAD = 25 psf.
 - C. DESIGN ROOF DEAD LOAD = 20 psf
3. FLOOR LIVE LOADS
 - A. DESIGN FLOOR LIVE LOAD = 100 psf
4. WIND LOADS
 - A. ULTIMATE DESIGN WIND SPEED (3-SECOND GUST) = 115 mph
 - B. WIND IMPORTANCE FACTOR = 1.0
 - C. BUILDING CATEGORY 2
 - D. WIND EXPOSURE CATEGORY B
 - E. INTERNAL PRESSURE COEFFICIENT = ± 0.18
 - F. COMPONENTS AND CLADDING TO BE DESIGNED FOR 35 PSF

COMPONENT & CLADDING DESIGN WIND PRESSURES (PSF)				
ROOF				
ZONE	10 SF	50 SF	100 SF	500 SF
ALL ZONES	+20.0	+17.0	+16.0	
1	-49.0	-46.0	-45.0	
2	-83.0	-62.0	-54.0	
3	-83.0	-62.0	-54.0	
4 & 24	-71.0	-68.0	-67.0	
3a	-71.0	-68.0	-68.0	
WALLS				
ZONE	10 SF	50 SF	100 SF	500 SF
4	+45.2	+38.5	+33.9	
	-48.9	-42.3	-37.6	
4p	+118.4	+80.7	+75.9	
	-82.9	-68.9	-59.2	
5	-71.0	-68.0	+33.9	
	-60.2	-46.9	-37.6	
5p	+118.4	+80.7	-68.0	
	+94.7	-73.8	-59.2	

- 1) TABLE PRESSURES ARE FOR THE SQUARE FOOT (SF) TRIBUTARY AREA SHOWN. FOR OTHER TRIBUTARY AREAS, LINEARLY INTERPOLATE BTWN. VALUES SHOWN ABOVE.
- 2) POSITIVE PRESSURES ACT TOWARD THE BUILDING, NEGATIVE PRESSURES ACT AWAY FROM THE BUILDING.
- 3) SEE DIAGRAMS FOR LOCATION OF ZONES.
5. EARTHQUAKE DESIGN DATA:
 - A. SEISMIC DESIGN CATEGORY B.
 - B. SPECTRAL RESPONSE COEFFICIENT $S_{ds} = 0.177$
 - C. SPECTRAL RESPONSE COEFFICIENT $S_{d1} = 0.1056$
 - D. SITE CLASS = D
 - E. BASIC SEISMIC-FORCE-RESISTING SYSTEM = LIGHT FRAMED WOOD SHEAR WALLS
 - F. DESIGN BASE SHEAR = 2 KIPS
 - G. ANALYSIS PROCEDURE: EQUIVALENT LATERAL PROCEDURE
 - H. $S_s = 0.166$; $S_1 = 0.066$
 - I. $C_s = 0.02$
 - J. $R = 6$
6. SPECIAL LOADS:
 - A. INTERIOR PARTITIONS = 5 PSF
 - B. HANDRAILS = 50 PLF



C. REINFORCED CONCRETE

1. MATERIALS:
 - A. SPECIFICATIONS: IN GENERAL, COMPLY WITH ACI 301-89 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."
 - B. STRUCTURAL CONCRETE
- | CLASS | INTENDED USE OF CONC. | f'c (28 DAY) | MIN. CEMENT CONTENT | MAXIMUM W/C RATIO | AIR CONTENT | MAX. AGG. SIZE |
|-------|--|--------------|---------------------|-------------------|-------------|----------------|
| I | FOOTINGS, INTERIOR PIERS | 3000 | 470#/C.Y. | --- | 2%-4% | 1" |
| II | INTERIOR SLABS | 3500 | 517#/C.Y. | 0.53 | --- | 3/4" |
| III | EXTERIOR CONCRETE: SLABS ON GRADE, PIERS, WALLS, SITE CONCRETE. ALL CONC. EXPOSED TO WEATHER | 4000 | 564#/C.Y. | 0.40 | 5%-7% | 3/4" |
| IV | BACKFILL BELOW FOOTINGS | 1500 | 376#/C.Y. | --- | --- | --- |
- C. ALL DEFORMED REINFORCING BARS: $F_y = 60,000$, REINFORCING BARS MAY NOT BE WELDED WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER.
 - D. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A165-85. (SHEET FORM, NOT ROLLED)
 2. FIELD MANUAL: PROVIDE AT LEAST ONE COPY OF THE ACI FIELD REFERENCE MANUAL, SP-15, IN THE FIELD OFFICE AT ALL TIMES.
 3. SUPPORTS:
 - A. PROVIDE SUPPORTS AS REQUIRED TO MAINTAIN ALIGNMENT OF SCHEDULED REINFORCING. SUCH SUPPORTS ARE TO BE REFLECTED IN THE BID.
 4. FOOTINGS:
 - A. DOWELS IN FOOTINGS TO MATCH VERTICAL WALL REINFORCING.
 - B. PROVIDE LEAN CONCRETE (CLASS IV) UNDER FOUNDATIONS FOR ACCIDENTAL OVER-EXCAVATION, SOFT SPOTS AND TRENCHES.
 5. SPLICES: UNLESS NOTED OTHERWISE, MINIMUM LAP SPLICE LENGTHS TO BE AS FOLLOWS:
 - A. VERTICAL BARS IN WALLS, PIERS, OR COLUMNS (INCLUDING DOWELS) 35 DIAMETER
 - B. HORIZONTAL BARS IN SLABS & FOOTING 35 DIAMETER
 - C. HORIZONTAL BARS IN WALL 45 DIAMETER
 6. CONSTRUCTION JOINTS:
 - A. CONSTRUCTION JOINTS PERMITTED ONLY WHERE SHOWN OR AS APPROVED BY THE STRUCTURAL ENGINEER. ALL CONSTRUCTION JOINTS ARE TO BE KEVED. KEYWAYS SHALL BE 1-1/2 INCHES DEEP X 1/3 MEMBER THICKNESS.

D. MASONRY

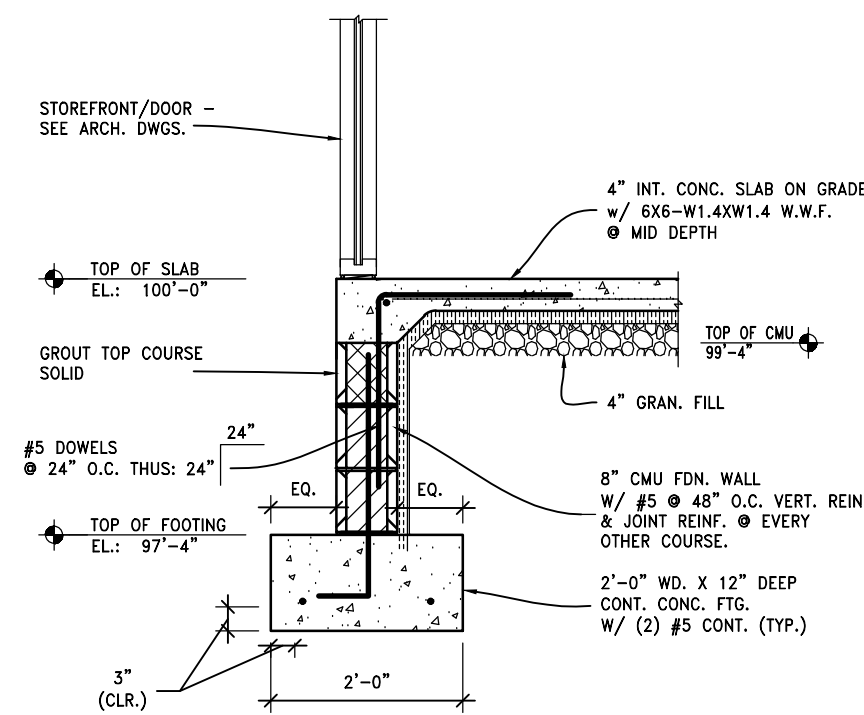
1. MATERIALS:
 - A. CONCRETE BLOCK: ASTM C90 (HOLLOW) ASTM C145 (SOLID).
 - B. MORTAR: ASTM C270 TYPE S, MINIMUM COMPRESSIVE STRENGTH: 1800 PSI (PROPERTY SPECIFICATIONS).
 - C. CORE FILL: ASTM C476, COARSE TYPE.
 - D. JOINT REINFORCING: MILL GALVANIZED FINISH, 9 GAGE MINIMUM SIDE WIRES AND CROSS WIRES.
 - E. BAR REINFORCING: ASTM A615, GRADE 60 (UNLESS NOTED OTHERWISE). REINFORCED MASONRY, WHERE VERTICAL BARS ARE TO BE GROUTED INTO CORES.
2. MISCELLANEOUS:
 - A. FILL CORE SOLID AROUND ANCHOR BOLTS.
 - B. PROVIDE 100% SOLID BLOCKS OR SOLIDLY FILLED HOLLOW BLOCKS AT ALL EXPANSION BOLT LOCATIONS.
 - C. HOLLOW MASONRY UNITS TO BE LAID WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS. WEBS SHALL ALSO BE BEDDED IN ALL COURSES OF PIERS, COLUMNS, AND PLIESTERS, AND IN THE STARTING COURSE ON FOOTINGS, AND WHEN ADJACENT TO CELLS OR CAVITIES TO BE REINFORCED OR FILLED WITH CONCRETE OR GROUT. SOLID UNITS TO BE LAID WITH FULL HEAD AND BED JOINTS.
 - D. PROVIDE JOINT REINFORCING AT 16 INCHES, EXCEPT AS NOTED.
 - E. LAP JOINT REINFORCING 6 INCHES FOR STANDARD, 15 INCHES FOR HEAVY WEIGHT.
 - F. WHERE MASONRY UNITS ARE USED ABOVE HOLLOW UNITS OF A DIFFERENT THICKNESS, PROVIDE A CONTINUOUS COURSE OF 100% SOLID MASONRY AT LEAST 8 INCHES HIGH BELOW TRANSITION

E. STRUCTURAL LUMBER

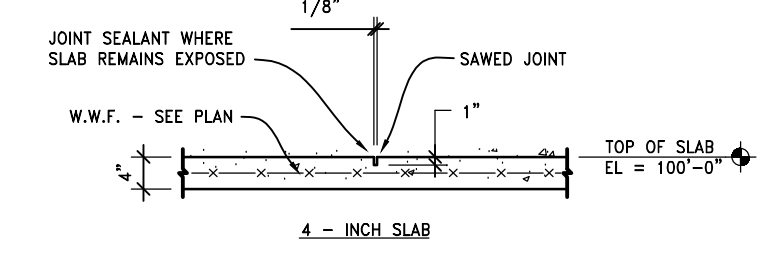
1. A. STRUCTURAL LUMBER: SOUTHERN PINE #2 :

SIZE	F_b (psi)	F_t (psi)	F_v (psi)	F_c (psi)	F_c (psi)	E (psi)
2x4	1500	925	90	565	1650	1,600,000
2x6	1250	725	90	565	1600	1,600,000
2x8	1200	650	90	565	1550	1,600,000
2x10	1050	600	90	565	1500	1,600,000
2x12	975	550	90	565	1450	1,600,000
- B. PLYWOOD: C-C PLUGGED, STRUCTURAL II, EXTERIOR GLUE. FOR ROOF AND WALLS PANEL IDENTIFICATION INDEX 24/0 - 1/2 INCH OR 16/0 - 1/2 INCH (WITH PLYWOOD CLIPS).
2. SPECIFICATIONS: UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST REVISIONS OF:
 - A. NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS.
 - B. U.S. PRODUCT STANDARD PS-1 FOR SOFTWOOD PLYWOOD - CONSTRUCTION AND INDUSTRIAL.
3. CONNECTIONS:
 - A. JOISTS TO BEAMS - 16 GA. GALVANIZED STD. JOIST HANGERS, UNLESS SHOWN OTHERWISE.
 - B. PLYWOOD TO ROOF TRUSSES OR RAFTERS - NAILED - USE 6d RING SHANK NAILS AT 6 INCHES O/C AT PANEL EDGES AND 12 INCHES O/C AT INTERMEDIATE SUPPORTS. PROVIDE PLYWOOD CLIPS AT MID-SPAN OF PLYWOOD BETWEEN SUPPORTS.
4. MISCELLANEOUS:
 - A. USE ONE LINE OF SOLID BLOCKING OR CROSS BRIDGING AT 8'-0" O/C MAX. FOR ALL JOISTS AND RAFTERS, USE SOLID BLOCKING AT JOIST AND RAFTER BEARING.
 - B. USE SOLID BLOCKING AT MID-HEIGHT FOR ALL EXTERIOR STUD WALLS AND INTERIOR BEARING PARTITIONS.
 - C. USE DOUBLE STUDS UNDER BEAM AND LINTEL BEARING, UNLESS SHOWN OTHERWISE.

ALTERNATE: 8" CONCRETE FOUNDATION WALLS W/ (2) #5 CONT. AND #5 VERT. REIN. AT 24" O.C. MAY BE SUBSTITUTED FOR THE CMU FOUNDATION WALLS.



B SECTION
3/4" = 1'-0"



C FLOOR CONTROL JOINT
3/4" = 1'-0"

A FOUNDATION/HEADER PLAN
1/4" = 1'-0"

FOUNDATION NOTES

1. 4" CONCRETE SLAB ON GRADE 6X6-W1.4XW1.4 W.W.F. @ MID DEPTH.
2. DESIGNED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY = 1,500 PSF (ASSUMED).
3. ALL FOOTING EXCAVATIONS SHALL BE INSPECTED AND APPROVED PRIOR TO PLACING CONCRETE. EXCAVATIONS SHALL BE KEPT FREE OF WATER AT ALL TIMES.
4. TOP OF SLAB ELEV. = 100'-0".
5. NO ENGINEERED FILL SHALL BE PLACED UNTIL EXCAVATION BOTTOMS HAVE BEEN INSPECTED AND APPROVED BY A SOILS ENGINEER.
6. SEE ARCHITECTURAL DRAWINGS FOR ALL EMBEDMENTS INTO CONCRETE INCLUDING, BUT NOT LIMITED TO, PLATES, ANGLES, RAILINGS AND OTHER MISCELLANEOUS METALS AND ANCHORS.
7. VERIFY ALL STOREFRONT/DOOR OPENING LOCATIONS W/ ARCH. DWGS.
8. ALL FOUNDATION WALLS TO BE CENTERED ON CONT. WALL FOOTINGS.

JOSEPH LEWIS, P.E.
CONSULTING STRUCTURAL ENGINEER
3260 W. HENDERSON RD., SUITE 10
Columbus, Ohio 43220
(614) 326-2806 (Phone)
(614) 326-2805 (Fax)

THIS DRAWING, INCLUDING THE DESIGN CONCEPTS DEPICTED, IS THE EXCLUSIVE PROPERTY OF JOSEPH LEWIS, P.E. IT IS TO BE USED BY THE REFERENCED OWNER FOR THE DESCRIBED PROJECT AT THE LOCATION INDICATED. ITS USE BY OTHERS IS LIMITED TO FILING FOR PERMITS, BIDDING, DISTRIBUTION OF CONTRACTS, AND THE CONSTRUCTION INDICATED.



REV #	DATE	DESCRIPTION

JOB #	22-806
DRAWN BY	BL
CHECKED BY	JL
ISSUE DATE	11/04/2022

Partial Foundation/Header Plan and Details
Tenant Improvements for
Campus and Company
460 Havens Corner Road
Columbus, OHIO 43230

S1



December 21, 2022

ACCI Partners LLC
1301 Research Rd.
Gahanna, OH 43230

RE: Project 460 Havens Corners Rd Final Development Plan

Dear ACCI Partners LLC:

The following comments were generated from the review of the submitted plans and documents for the referenced project. For the next submittal, please provide a response to comments, revised plans, and/or other information as requested for further review. The response to comments needs to include both the original comment and the appropriate response. If desired, these comments can be emailed. Re-submitted plans that do not include the disposition of comments document will not be reviewed and will be returned to you.

Parks

1. No Comment per Julie Predieri

Building

2. The alterations shall comply with the requirements of the Ohio Building Code.

Fire District

3. The fire division has no objection to the Design Review and Final Development Plan for the facility at 460 Havens Corner Road – Campus & Company.

Planning

4. Please revise the site plan to be consistent with the one submitted for the Design Review. Include a data table with information like building size (SF), height, parking, etc. See similar comment on DR.

(Please see updated Site Plan below)

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker
Planning and Zoning Coordinator



February 22, 2023

ACCI Partners LLC
1301 Research Rd.
Gahanna, OH 43230

RE: Project 460 Havens Corners Rd Final Development Plan

Dear ACCI Partners LLC:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

Parks

1. No Comment per Julie Predieri

Building

2. The alterations shall comply with the requirements of the Ohio Building Code.

Fire District

3. The fire division has no objection to the Design Review and Final Development Plan for the facility at 460 Havens Corner Road – Campus & Company.

Planning

4. Informational Comment: All necessary information has been submitted and code requirements met. No objections

City Engineer

5. All sidewalk along the frontage of the site shall be updated to comply with ADA PROWAG standards, if deficiencies are present
6. Site Civil Engineering approval will be required, subsequent to a successful FDP approval.
7. A private access easement between the subject and adjoining property is required.
8. Increased impervious surface on adjoining property; recognized however, for the sole benefit of the applicant's property, shall bear the cost for increased stormwater ERU fees/rates.

If you have general comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025. If your questions are specific to a certain department's comments please reach out to that department.

Sincerely,

Kelly Wicker
Planning and Zoning Coordinator



STAFF REPORT

Request Summary

The applicant is requesting approval of a Final Development Plan and Design Review for various exterior modifications at 460 Havens Corners Road. The property is located on the northern side of Havens Corners Road and is zoned CC – Community Commercial. This commercial zoning designates the site as part of Design Review District 3 (DRD-3).

Part of the proposal is to add a second drive and apron at the northeast portion of the site, in addition to the existing access drive on the south property line. The new drive will connect to an access drive that currently only provides access to the neighboring properties to the north and west. This will add 487 square feet of pavement to the lot.

The second part of the proposal is to fully enclose the existing vestibule at the southwest corner of the building, thus increasing its total interior square footage. The new exterior walls will be constructed of brick to match the existing wall. Additionally, a new door will be located on the west elevation and new windows on the south elevation. These will also match the existing windows and doors.

Final Development Plan

Planning Commission shall approve an FDP application if the following four conditions are met:

- The proposed development meets the applicable development standards of this Zoning Ordinance.
- The proposed development is in accord with appropriate plans for the area.
- The proposed development would not have undesirable effects on the surrounding area.
- The proposed development would be in keeping with the existing land use character and physical development potential of the area.

Design Review

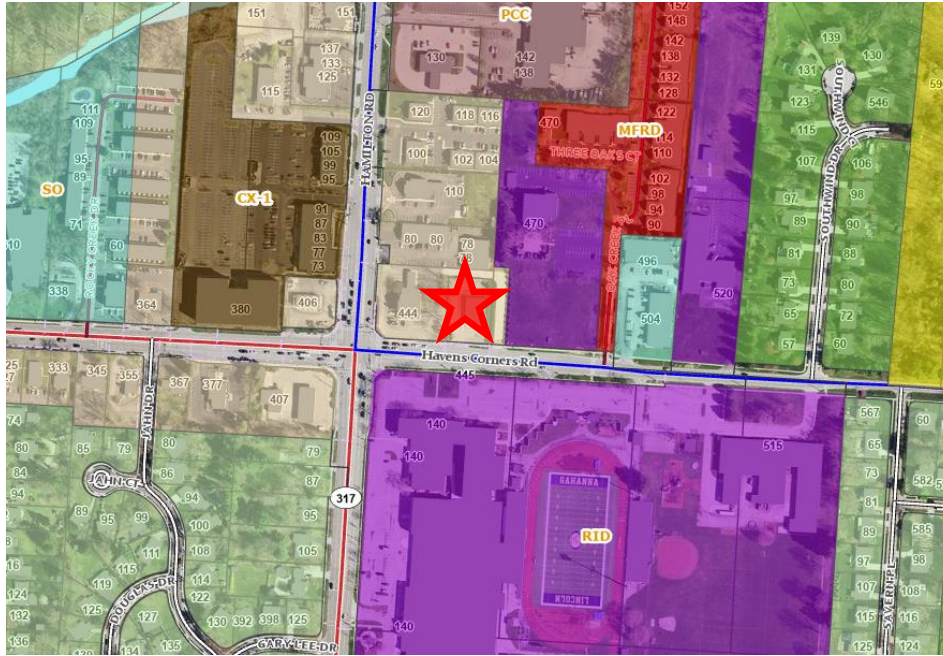
General review criteria for Design Review applications include the following:

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect and enhance the physical surroundings of the Design Review District.

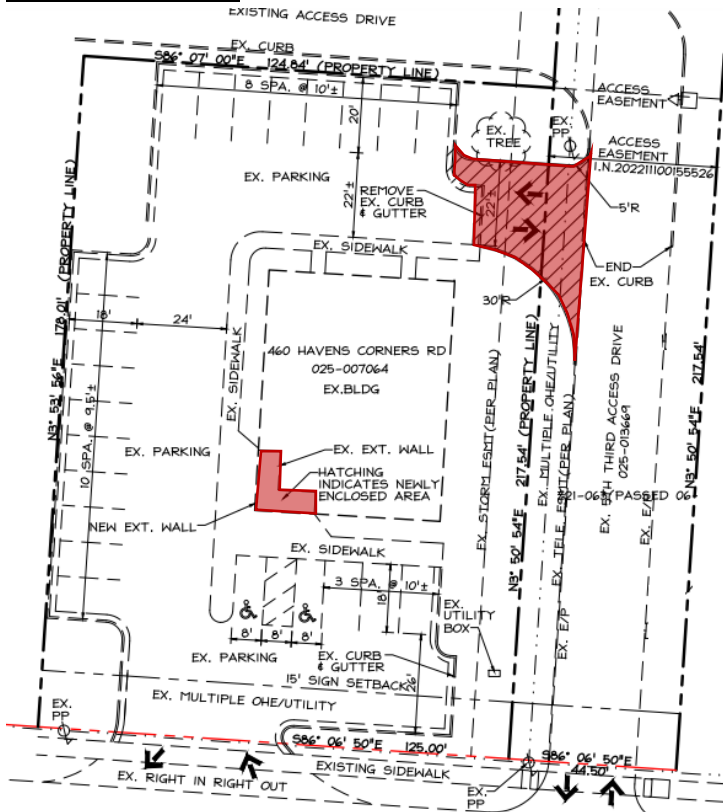
Staff Comments

Staff recommends approval of the Final Development Plan and Design Review applications as submitted. The proposed modifications are minor in nature and meet the relevant criteria outlined above. The site still exceeds parking requirements after the proposed changes. The proposed modifications meet all applicable Code requirements, and no variances are required.

Location/Zoning Map



Submitted Site Plan



Respectfully Submitted By:
Maddie Capka
Planner