



VARIANCE APPLICATION SUMMARY



File Number	V-26-1
Property Address	1201 CHERRY BOTTOM RD GAHANNA, OH 43230
Parcel ID	025-004304
Zoning District	CON - Conservation
Project/Business Name	Academy Park
Applicant	John Witkowski
Description of Variance Request	We are requesting variances for 1107.01(g)(1), 1109.01(e)(2) and 1109.02(e). Further information is included in the attached variance request letter.

Requested Variances

Code Section	Code Title
Ch 1107.01(g)(1)	City-Wide Design Standards
Ch 1109.01(e)(2)	Parking, Access, and Circulation
Ch 1109.02(e)	Setbacks and Structure Placement



AUTHORIZATION CONSENT FORM

If you are filling out more than one application for the same project & address, you may submit a copy of this form with each additional application.

As the owner or acting agent for the subject property, I have reviewed the application and hereby authorize the listed applicant to make decisions that may affect my property as it pertains to this application.

**Laurie A
Jadwin**

Digitally signed by Laurie A Jadwin
DN: cn=Laurie A Jadwin, c=US,
o=City of Gahanna,
email=Laurie.Jadwin@gahanna.gov
Date: 2026.02.25 14:58:49 -05'00'

(property owner/acting agent signature)

(printed name)

(date)

**John
Witkowski**

Digitally signed by
John Witkowski
Date: 2026.02.26
09:31:17 -05'00'

(applicant signature)

(printed name)

(date)

JEFFERY D &
DEBORAH D MITCHELL
369 COLDWELL CT
PID:025-007475
ACRES: 0.18

RYAN S &
STEPHANIE E WENDLER
363 COLDWELL CT
PID: 025-007474
ACRES: 0.18

EMILY QUESINBERRY &
ANDREW B BURNS
357 COLDWELL CT
PID:025-007473
ACRES: 0.17

SALLY H EASTERLING
351 COLDWELL CT
PID:025-007472
ACRES: 0.18

RAVEN PROPERTIES LTD
349 COLDWELL DR
PID: 025-007471
ACRES: 0.19

RAYMOND R JR WELLMER
341 COLDWELL DR
PID:025-007470
ACRES: 0.17

ALLA GAVRILOV
335 COLDWELL DR
PID: 025-007469
ACRES: 0.17

ANTHONY NUNNELY
329 COLDWELL DR
PID: 025-007468
ACRES: 0.16

JUSTIN DOUGLAS BONIFIELD
323 COLDWELL DR
PID: 025-007467
ACRES: 0.20

RICHARD J COPELAND
317 COLDWELL DR
PID:025-007466
ACRES: 0.19

RICHARD K JR &
KAREN S HINKLE
309 COLDWELL DR
PID:025-007465
ACRES: 0.19

CARA F WASSERSTROM &
CHRISTOPHER WEIBLE
303 COLDWELL DR
PID: 025-007464
ACRES: 0.19

DONNA POLLOCK
295 COLDWELL DR
PID: 025-007463
ACRES: 0.19

RM1 SFR PROPCO B LP
287 COLDWELL DR
PID:025-007462
ACRES: 0.31



Planning
Urban Design
Landscape Architecture

Columbus Office
100 Northwoods Boulevard
Suite A
Columbus, Ohio 43235
p614.255.3399

February 10, 2026

Maddie Capka
Department of Planning
City of Gahanna
200 South Hamilton Road
Gahanna, OH 43230

Project: Academy Park Filing: DP-25-12
Re: Variance Request

Dear Ms. Capka,

We are requesting variances for the items below. We appreciate your consideration and are available for questions.

1. Gahanna City Zoning Code Chapters
1107.01(g)(1)- CITY-WIDE DESIGN STANDARDS (MATERIALS AND WINDOWS)
Special Circumstances or conditions:
The proposed use for the building is a maintenance/storage and a public restroom facility for a city park.

Necessary for preservation and enjoyment of property rights:

The percentage of transparent glass is zero. The reduced window percentage allows for functionality and privacy for the intended building use. Full compliance would disrupt essential building use.

Will not adversely affect health or safety:

The façade will include architectural detailing and quality materials to preserve visual interest. The variance will not have a known negative effect on public health or safety.

2. Gahanna City Zoning Code Chapters
1109.01(e)(2) - PARKING, ACCESS, AND CIRCULATION (PARKING AREA SCREENING)
Special Circumstances or conditions:
The existing parking lot condition adjacent to the ROW does not currently contain any formal screening. The existing and proposed parking lot are between four and six feet lower in elevation than the road along the ROW. Additionally, the parking lot edge is between 43' and 85' away from the ROW with an existing vegetative buffer more than 80% opaque (Please see image below for an example of looking west into the property from Cherry Bottom Road).

Necessary for preservation and enjoyment of property rights:

Full compliance would create necessary hardship and deter from the natural character of the park

Will not adversely affect health or safety:

The existing condition has not resulted in any known health or safety concerns. Allowing the parking lot to remain without screening will not negatively impact adjacent properties, public health, or safety.



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*Existing vegetative buffer along Cherry Bottom Road adjacent to the existing parking lot (Cherry Bottom Road looking west)



3. Gahanna City Zoning Code Chapters
1109.02(e) – SETBACKS AND STRUCTURE PLACEMENT (DUMPSTER LOCATION)

Special Circumstances or conditions:

The existing dumpsters are not located in the rear of the principal structure and cannot be located in the rear of the proposed structure due to existing park use and lack of vehicular access. Though the dumpster location requirement cannot be met, both the dumpster and parking lot greatly exceed the minimum setback requirements.

Necessary for preservation and enjoyment of property rights:

Strict compliance would create unnecessary hardship and limit reasonable use of the property.

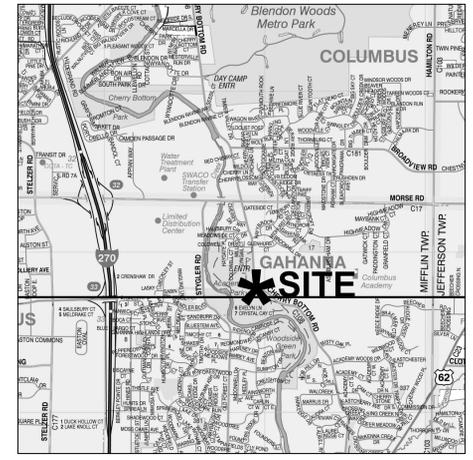
Will not adversely affect health or safety:

The existing condition has not resulted in any known health or safety concerns. Allowing the dumpster to remain in the parking lot will not negatively impact adjacent properties, public health, or safety.

Sincerely,

John Witkowski, PLA,
Project Manager
m 614.425.2862
jwitkowski@poddesign.net

FINAL DEVELOPMENT PLAN FOR ACADEMY PARK 2026



LOCATION MAP
SCALE: 1" = 2,000'

SCOPE OF WORK

DEMOLISH AND REMOVE EXISTING SHELTER BUILDING & PLAYGROUND. IMPROVE EXISTING PARKING LOT DRAINAGE & RESURFACE. INSTALL NEW SHELTER BUILDING, PLAYGROUND, STORM WATER FACILITY AND EXPAND THE PARKING TO PROVIDE ADDITIONAL SPACES.

SITE STATISTICS

PROPOSED.....	CITY PARK
ADDRESS.....	CHERRY BOTTOM ROAD
PARCEL #.....	025-004304
ZONING.....CON (CONSERVATION)	
TOTAL SITE AREA.....	34.95 ACRES (1,522,422 SF)
LIMITS OF DISTURBANCE (LOD).....	5.92 ACRES (257,875 SF)
EXISTING IMPERVIOUS AREA.....	125,400 SF (BASED ON LOD)
EXISTING BUILDING AREA.....	1,570 SF
EXISTING BASKETBALL COURTS.....	9,690 SF
EXISTING PARKING AREA.....	99,943 SF
EXISTING PARKING 25% AREA.....	24,985 SF
EXISTING SHARED-USE PATH AREA.....	13,098 SF
PROPOSED BUILDING AREA.....	4,875 SF
PROPOSED PARKING AREA.....	123,367 SF
INCREASED PARKING AREA.....	23,424 SF
PROPOSED SHARED-USE PATH AREA.....	14,230 SF
PROPOSED IMPERVIOUS AREA.....	160,040 SF (BASED ON LOD)
MAX BUILDING HEIGHT.....	35'
EXISTING BUILDING HEIGHT.....	±15'-0"
PROPOSED BUILDING HEIGHT.....	21'3"
REQUIRED PARKING.....	N/A
EXISTING PARKING.....	298 SPACES
PROPOSED PARKING.....	345 SPACES
REQUIRED ADA SPACES.....	N/A
EXISTING ADA SPACES.....	6 SPACES
PROPOSED ADA SPACES.....	8 SPACES
REQUIRED EV SPACES.....	4 SPACES
EXISTING EV SPACES.....	0 SPACES
PROPOSED EV SPACES.....	4 SPACES
REQUIRED BICYCLE PARKING.....	N/A
EXISTING BICYCLE PARKING.....	0 U-SHAPED RACKS
PROPOSED BICYCLE PARKING.....	5 U-SHAPED RACKS

SEE LANDSCAPE PLANS FOR INTERNAL LANDSCAPE REQUIREMENTS
NOTE: ALL ACREAGE PERCENTAGES TAKEN FROM LIMITS OF DISTURBANCE

1 JEFFERY D & DEBORAH D MITCHELL 369 COLDWELL CT PID: 025-007475 ACRES: 0.18 ZONED: R2	8 ANTHONY NUNNELLY 329 COLDWELL DR PID: 025-007468 ACRES: 0.16 ZONED: R2
2 RYAN S & STEPHANIE E WENDLER 363 COLDWELL CT PID: 025-007474 ACRES: 0.18 ZONED: R2	9 JUSTIN DOUGLAS BONIFIELD 323 COLDWELL DR PID: 025-007467 ACRES: 0.20 ZONED: R2
3 EMILY QUESINBERRY & ANDREW B BURNS 357 COLDWELL CT PID: 025-007473 ACRES: 0.17 ZONED: R2	10 RICHARD J COPELAND 317 COLDWELL DR PID: 025-007466 ACRES: 0.19 ZONED: R2
4 SALLY H EASTERLING 351 COLDWELL CT PID: 025-007472 ACRES: 0.18 ZONED: R2	11 RICHARD K JR & KAREN S HINKLE 309 COLDWELL DR PID: 025-007465 ACRES: 0.19 ZONED: R2
5 RAVEN PROPERTIES LTD 349 COLDWELL DR PID: 025-007471 ACRES: 0.19 ZONED: R2	12 CARA F WASSERSTROM & CHRISTOPHER WEIBLE 303 COLDWELL DR PID: 025-007464 ACRES: 0.19 ZONED: R2
6 RAYMOND R JR WELLMER 341 COLDWELL DR PID: 025-007470 ACRES: 0.17 ZONED: R2	13 DONNA POLLOCK 295 COLDWELL DR PID: 025-007463 ACRES: 0.19 ZONED: R2
7 ALLA GAVRILOV 335 COLDWELL DR PID: 025-007469 ACRES: 0.17 ZONED: R2	14 RMI SFR PROPCO B LP 287 COLDWELL DR PID: 025-007462 ACRES: 0.31 ZONED: R2



INDEX MAP
SCALE: 1" = 80'



SHEET INDEX

TITLE SHEET	1
EXISTING CONDITIONS	2
SITE PLAN	3
UTILITY PLAN	4

DEVELOPER
GAHANNA PARKS AND RECREATION

200 S HAMILTON ROAD
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CONTACT: STEPHANIA BERNARD-FERRELL
PHONE: 614-342-4230
EMAIL: PARKSANDREC@GAHANNA.GOV

ENGINEER/SURVEYOR
ADVANCED CIVIL DESIGN, INC.

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BBCO

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EMAIL: ZAC@BBCODESIGN.COM

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POD DESIGN

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PHONE: 614.360.3058
EMAIL: CHASENFRAZ@PODDESIGN.COM

MECHANICAL/ELECTRICAL/PLUMBING
McMULLEN ENGINEERING

100 S STATE STREET
WESTERVILLE, OH 43081
CONTACT: MART KLEEMAN
PHONE: 614.895-9408
EMAIL: MARTK@MCMULLENENG.COM

CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

**FINAL DEVELOPMENT PLAN
FOR
ACADEMY PARK
TITLE SHEET**

PLAN PREPARED BY:

781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7790
fax 614.428.7755
ENGINEERS SURVEYORS

SCALE: 1"=80'
DATE: 2/19/2026

SHEET C-01

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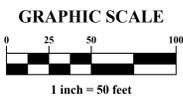
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- LEGEND**
- EXISTING TREELINE
 - 100 YEAR FLOOD PLAIN
 - 500 YEAR FLOOD PLAIN
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATER MAIN
 - EXISTING OHE
 - EX UNDERGROUND ELECTRIC
 - EXISTING PARKING COUNT
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED

UTILITY NOTE: EXISTING SANITARY AND WATER SERVICES ARE TO BE ABANDONED (TBA) IN PLACE AND THE SITE CONTRACTOR SHALL CUT AND CAP THE EXISTING SERVICE LINES AT THE CLOSEST KNOWN LOCATION TO THE EXISTING MAINLINES THEY ARE CONNECTED TO.

EXISTING PARKING LOT SURFACE = 99,943 SF
 99,943 SF * 25% (0.25) = 24,985 SF



CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

FINAL DEVELOPMENT PLAN FOR ACADEMY PARK EXISTING CONDITIONS

PLAN PREPARED BY:

781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1"=80'
 DATE: 2/9/2026

SHEET C-02

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LEGEND

- LIGHT DUTY PAVEMENT, SEE DETAIL SHEET 3
- 1-1/2" MILL AND OVERLAY
- HEAVY DUTY PAVEMENT, SEE DETAIL SHEET 3 (FULL DEPTH REPLACEMENT IN THESE AREAS)
- LIGHT DUTY PAVEMENT, SEE DETAIL SHEET 3 (FULL DEPTH REPLACEMENT IN THESE AREAS)
- CONCRETE DUMPSTER PAD, SEE DETAIL SHEET 3
- CONCRETE SIDEWALK, SEE DETAIL SHEET 3
- ASPHALT PATH, SEE DETAIL SHEET 3

- EXISTING TREE TO REMAIN
- 100 YEAR FLOOD PLAIN
- 500 YEAR FLOOD PLAIN
- EXISTING TREELINE
- PARKING SPACE COUNT
- EV CHARGERS

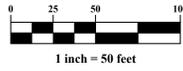
NOTE: PROPOSED PARKING COUNT IS 344 SPACES
EXISTING PARKING LOT TO BE RESURFACED

SITE STATISTICS

PARKING COUNT PRE-DEVELOPMENT: 298
PARKING COUNT POST DEVELOPMENT: 345
IMPERVIOUS AREA PRE-DEVELOPMENT: 125,400
IMPERVIOUS AREA POST DEVELOPMENT: 160,040

PROPOSED PARKING LOT SURFACE AREA = 123,367 SF
 $99,043 \text{ SF} \times 25\% (0.25) = 24,985.75 \text{ SF}$
 $123,367 \text{ SF} - 99,043 \text{ SF} = 23,424 \text{ SF}$

GRAPHIC SCALE



CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

FINAL DEVELOPMENT PLAN FOR ACADEMY PARK SITE PLAN

PLAN PREPARED BY:

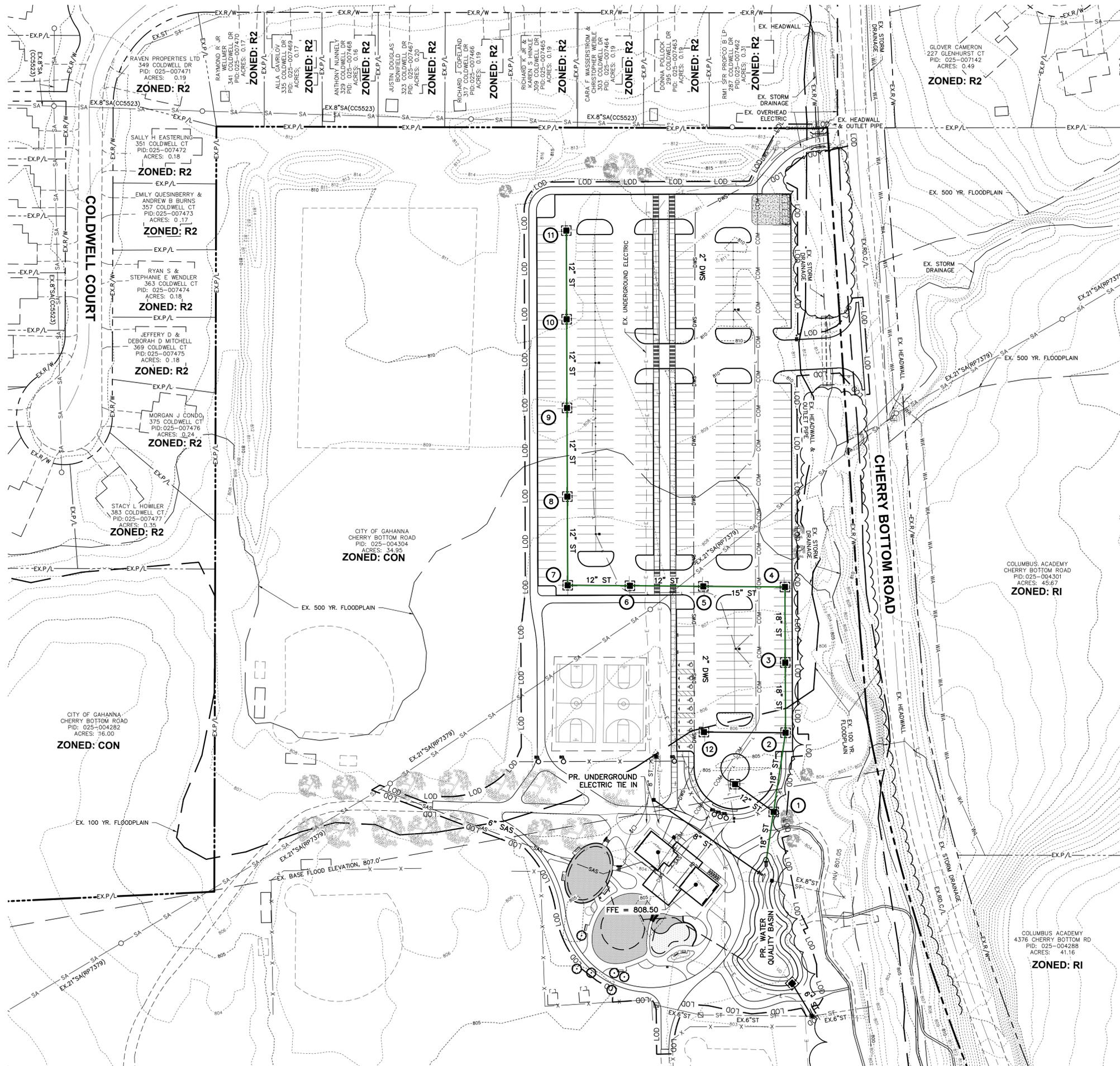
ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

781 Science Boulevard, Suite 100
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ph 614.428.7750
fax 614.428.7755

SCALE: 1"=50'
DATE: 2/19/2026

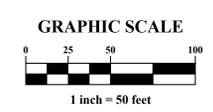
SHEET **C-03**

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LEGEND

---	LOD	LIMITS OF DISTURBANCE
---	---	100 YEAR FLOOD PLAIN
---	---	500 YEAR FLOOD PLAIN
---	---	EXISTING MINOR CONTOUR
---	---	EXISTING MAJOR CONTOUR
---	---	EXISTING STORM SEWER
---	---	EXISTING SANITARY SEWER
---	---	EXISTING WATER MAIN
---	---	EXISTING OHE
---	---	EX UNDERGROUND ELECTRIC
---	---	EXISTING TREE - SEE LANDSCAPE PLAN



CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

**FINAL DEVELOPMENT PLAN
FOR
ACADEMY PARK
SITE UTILITY & GRADING PLAN**

PLAN PREPARED BY:

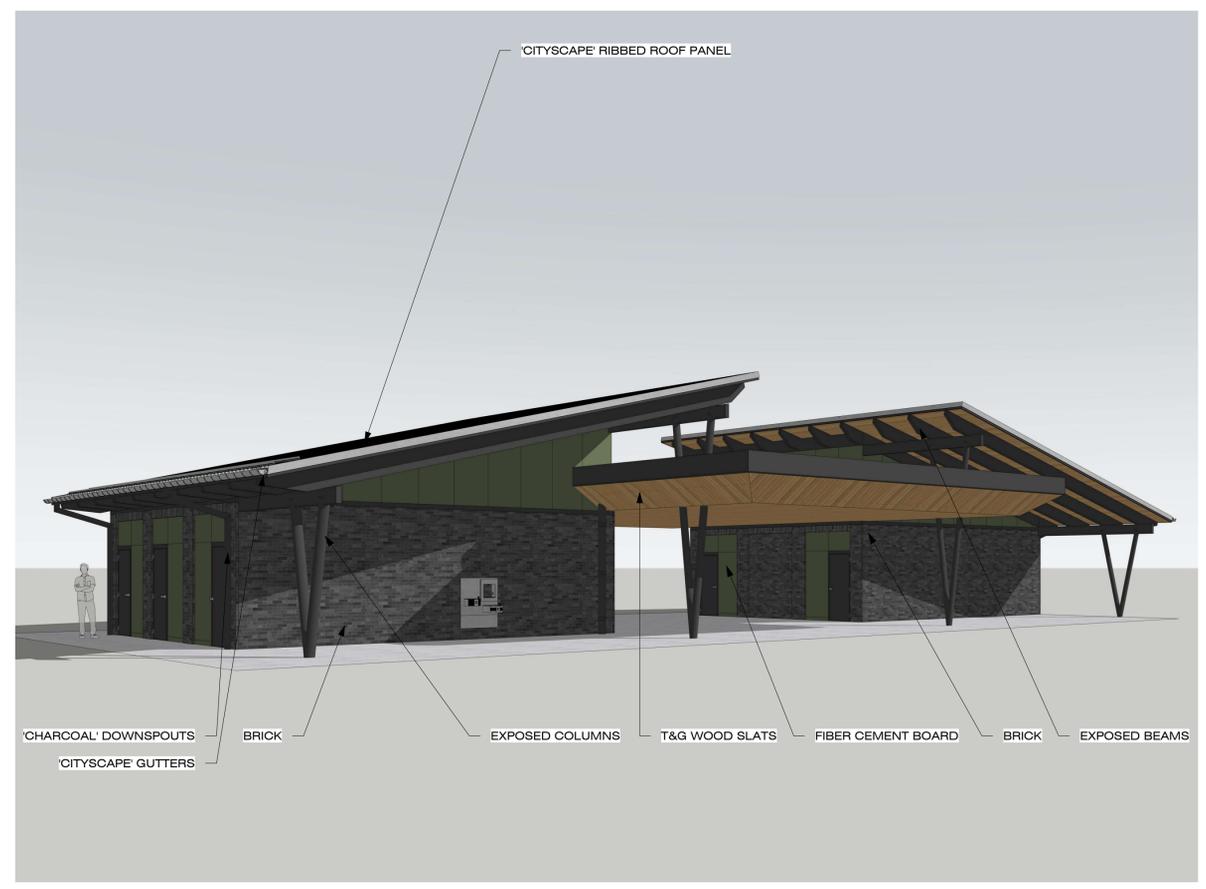
781 Science Boulevard, Suite 100
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fax 614.428.7755

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DATE: 2/19/2026

SHEET C-04

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V U T S R Q P N M L K J H G F E D C B A



V9 FRONT PERSPECTIVE
12" = 1'-0"

IMAGES ARE REPRESENTATIONAL ONLY. DRAWINGS AND SPECIFICATIONS PREVAIL.

K9 REAR PERSPECTIVE
12" = 1'-0"

IMAGES ARE REPRESENTATIONAL ONLY. DRAWINGS AND SPECIFICATIONS PREVAIL.



V1 FRONT AXON
12" = 1'-0"

IMAGES ARE REPRESENTATIONAL ONLY. DRAWINGS AND SPECIFICATIONS PREVAIL.

K1 REAR AXON
12" = 1'-0"

IMAGES ARE REPRESENTATIONAL ONLY. DRAWINGS AND SPECIFICATIONS PREVAIL.

V U T S R Q P N M L K J H G F E D C B A



Columbus
100 Northwoods Blvd, Ste A
Columbus, Ohio 43235
p 614.255.3399

Cincinnati
20 Village Square, Floor 3
Cincinnati, Ohio 45246
p 614.360.3066

PODdesign.net



Project Name
Academy Park
1201 Cherry Bottom Road
Gahanna, OH 43230



Prepared For
Gahanna Parks & Recreation
200 South Hamilton Road
Gahanna, OH 43230

Project Info
Project # 24027
Date 02.26.2026
By JW
Scale As Shown

Revisions
PRELIMINARY
NOT FOR CONSTRUCTION

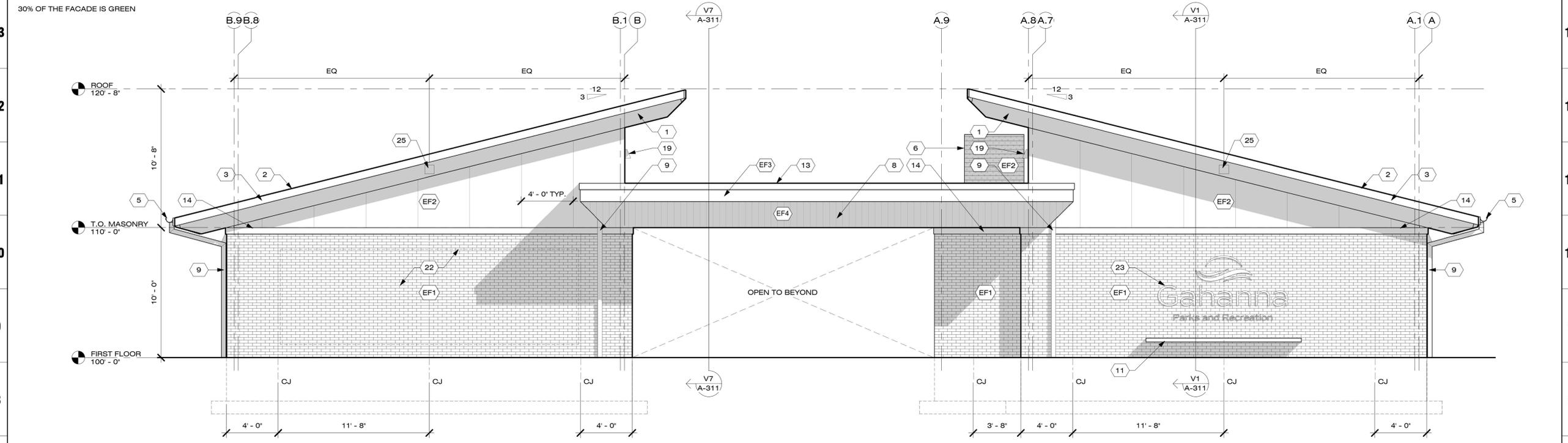
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CONCEPTUAL
RENDERINGS



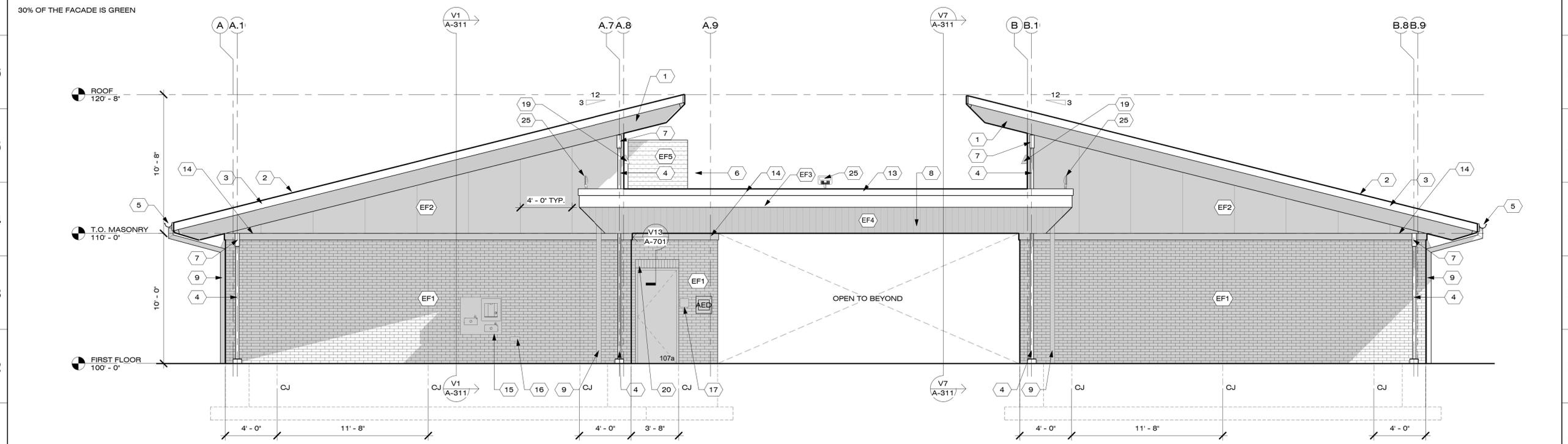
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V	U	T	S	R	Q	P	N	M	L	K	J	H	G	F	E	D	C	B	A
GENERAL NOTES				BUILDING ELEVATION KEYNOTES								FINISH LEGEND							
<p>A. REFER TO CIVIL DRAWINGS FOR SITE GRADING INFORMATION.</p> <p>B. REFER TO LANDSCAPE DRAWINGS FOR INFORMATION RELATED TO VEGETATION AROUND BUILDING.</p> <p>C. REFER TO ELECTRICAL DRAWINGS FOR BUILDING MOUNTED EXTERIOR LIGHTING INFORMATION.</p> <p>D. (XXX) INDICATES DOOR NUMBER, REFER TO A-800 SERIES.</p> <p>E. "CJ" REFERS TO MASONRY CONTROL JOINT. COLOR OF SEALANT TO MATCH MORTAR.</p>				<p>1 EXPOSED STRUCTURAL BEAMS, CHAMFER ENDS AND PAINT P-3, TYP. UNO. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.</p> <p>2 RIBBED METAL ROOF OVER CONTINUOUS UNDERLAYMENT. SLOPE 3:12 TOWARDS GUTTER. BASIS OF DESIGN: PAC-CLAD 7.2 PANEL, CITYSCAPE.</p> <p>3 2X WOOD FASCIA, PAINT P-3.</p> <p>4 EXPOSED STRUCTURAL STEEL TUBE POST. EPOXY PRIMER AND FINISH COAT, TYP. PAINT P-3, UNO. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.</p> <p>5 METAL HALF-ROUND GUTTER. BASIS OF DESIGN: PAC-CLAD, CITYSCAPE.</p> <p>6 PERFORATED, CORRUGATED METAL SCREENING FOR ROOFTOP CONDENSING UNIT. BASIS OF DESIGN: PAC-CLAD, CITYSCAPE.</p> <p>7 EXPOSED STRUCTURAL BEAM, EPOXY PRIMER AND FINISH PAINT COAT, P-3. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.</p> <p>8 STAINED AND SEALED TONGUE AND GROOVE WOOD SOFFIT. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.</p> <p>9 ROUND ALUMINUM DOWNSPOUT CONNECTED TO UNDERGROUND STORM SYSTEM. BASIS OF DESIGN: SAF PERIMETER SYSTEMS, DESIGNER SERIES, EXTRUDED ROUND. FINISH TO MATCH P-3. SEE A-300 SERIES FOR ADDITIONAL INFORMATION.</p> <p>10 MOTORIZED OVERHEAD SECTIONAL DOOR.</p> <p>11 WOOD BENCH.</p>				<p>12 MOTORIZED OVERHEAD ROLLING SECURITY SHUTTER.</p> <p>13 PARAPET COPING. BASIS OF DESIGN: PAC-CLAD CHARCOAL.</p> <p>14 METAL TRIM. BASIS OF DESIGN: PAC-CLAD CHARCOAL.</p> <p>15 FROST-PROOF, EXTERIOR GRADE DRINKING FOUNTAIN WITH BOTTLE FILL. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p>16 LOCATION OF HOSE BIBB, SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p>17 BUILDING MOUNTED SIGNAGE. SEE A-420 SERIES FOR ADDITIONAL INFORMATION.</p> <p>18 VINYL RESTROOM ID GRAPHIC. COLOR TO MATCH P-6.</p> <p>19 EXHAUST WALL CAP. COLOR TO MATCH P-4. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p>20 SOLDIER COURSE. SEE A-700 SERIES FOR ADDITIONAL INFORMATION.</p> <p>21 STAINLESS STEEL THROUGH-WALL COUNTER. SEE A-400 SERIES FOR ADDITIONAL INFORMATION.</p> <p>22 TRAIL HEAD SIGNAGE AND GRAPHICS, COORDINATE WITH OWNER.</p> <p>23 PIN-MOUNTED STAINLESS STEEL LOGO SIGNAGE. FINAL ARTWORK TO BE PROVIDED BY OWNER.</p> <p>24 DIMENSIONAL, 1/4", RESTROOM ID GRAPHIC. STAINLESS STEEL.</p> <p>25 WALL PACK, TYP. SEE ELECTRICAL FOR ADDITIONAL INFORMATION.</p>				<p>EF1 BRICK - MODULAR BASIS OF DESIGN: ENDICOTT CLAY PRODUCTS CO COLOR: MANGANESE IRON SPOT SMOOTH MORTAR: LEHIGH FLAMINGO, X-25 CHARCOAL</p> <p>EF2 FIBER CEMENT BOARD SIZE: 48" PANEL BASIS OF DESIGN: JAMES HARDIE, HARDIE PANEL SIDING FINISH: SMOOTH, PAINT P-4.</p> <p>EF3 FIBER CEMENT BOARD SIZE: 48" PANEL BASIS OF DESIGN: JAMES HARDIE, HARDIE PANEL SIDING FINISH: SMOOTH, PAINT P-3.</p> <p>EF4 DOUGLAS FIR TONGUE AND GROOVE WOOD SLATS SIZE: 2X6 GRADE: SELECT FINISH: STAINED AND SEALED, P-5.</p> <p>EF5 PERFORATED, CORRUGATED METAL PANEL BASIS OF DESIGN: PAC-CLAD 7/8" CORRUGATED, 1/8" ROUND PERFORATIONS (A) COLOR: CITYSCAPE</p>							



V7 NE ELEVATION
1/4" = 1'-0"



V1 SW ELEVATION
1/4" = 1'-0"

V	U	T	S	R	Q	P	N	M	L	K	J	H	G	F	E	D	C	B	A
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Columbus
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Cincinnati
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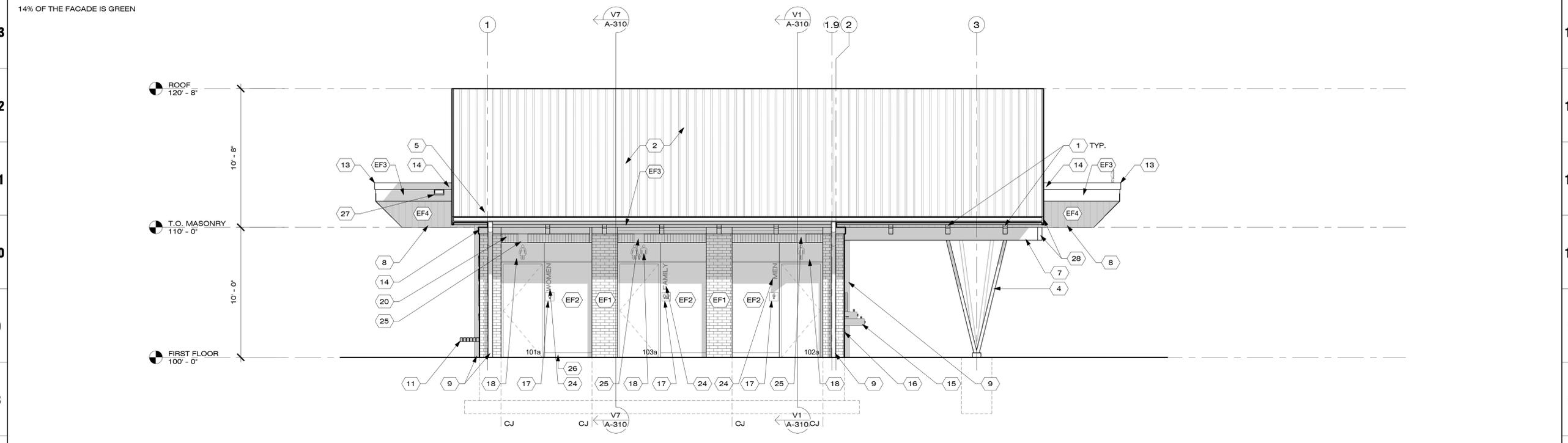
Sheet Title
BUILDING ELEVATIONS



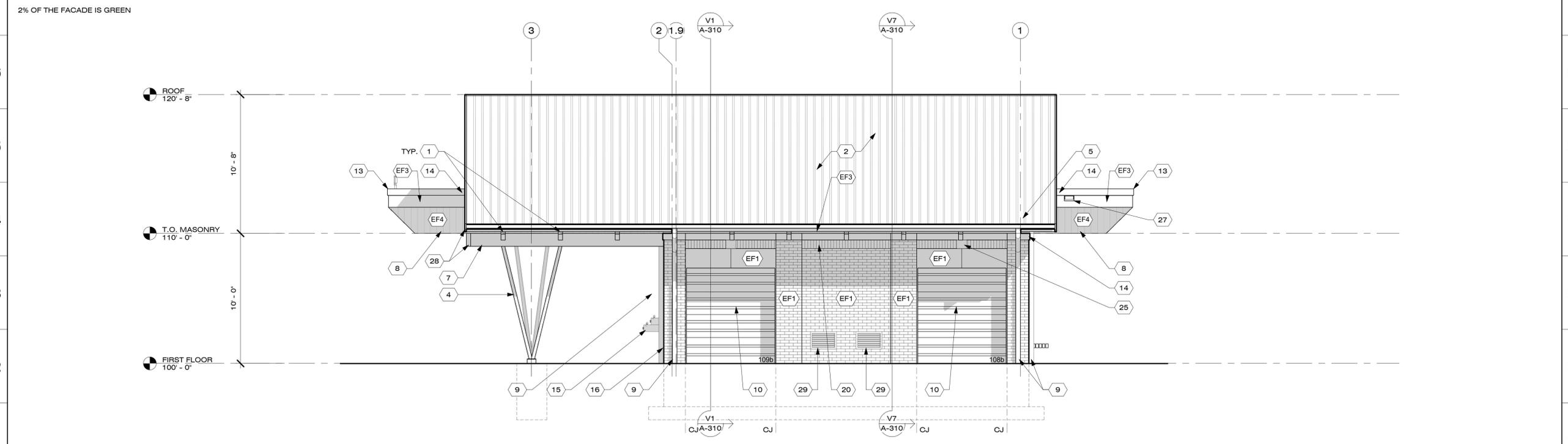
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A-300

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V	U	T	S	R	Q	P	N	M	L	K	J	H	G	F	E	D	C	B	A
GENERAL NOTES				BUILDING ELEVATION KEYNOTES								FINISH LEGEND							
<p>A. REFER TO CIVIL DRAWINGS FOR SITE GRADING INFORMATION.</p> <p>B. REFER TO LANDSCAPE DRAWINGS FOR INFORMATION RELATED TO VEGETATION AROUND BUILDING.</p> <p>C. REFER TO ELECTRICAL DRAWINGS FOR BUILDING MOUNTED EXTERIOR LIGHTING INFORMATION.</p> <p>D. (XXX) INDICATES DOOR NUMBER, REFER TO A-800 SERIES.</p> <p>E. "CJ" REFERS TO MASONRY CONTROL JOINT. COLOR OF SEALANT TO MATCH MORTAR.</p>				<p>1 EXPOSED STRUCTURAL BEAMS, CHAMFER ENDS AND PAINT P-3, TYP. UNO. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.</p> <p>2 RIBBED METAL ROOF OVER CONTINUOUS UNDERLAYMENT. SLOPE 3:12 TOWARDS GUTTER. BASIS OF DESIGN: PAC-CLAD 7.2 PANEL, CITYSCAPE.</p> <p>3 2X WOOD FASCIA, PAINT P-3.</p> <p>4 EXPOSED STRUCTURAL STEEL TUBE POST. EPOXY PRIMER AND FINISH COAT, TYP. PAINT P-3, UNO. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.</p> <p>5 METAL HALF-ROUND GUTTER. BASIS OF DESIGN: PAC-CLAD, CITYSCAPE.</p> <p>6 PERFORATED, CORRUGATED METAL SCREENING FOR ROOFTOP CONDENSING UNIT. BASIS OF DESIGN: PAC-CLAD, CITYSCAPE.</p> <p>7 EXPOSED STRUCTURAL BEAM, EPOXY PRIMER AND FINISH PAINT COAT, P-3. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.</p> <p>8 STAINED AND SEALED TONGUE AND GROOVE WOOD SOFFIT. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.</p> <p>9 ROUND ALUMINUM DOWNSPOUT CONNECTED TO UNDERGROUND STORM SYSTEM. BASIS OF DESIGN: SAF PERIMETER SYSTEMS, DESIGNER SERIES, EXTRUDED ROUND. FINISH TO MATCH P-3. SEE A-300 SERIES FOR ADDITIONAL INFORMATION.</p> <p>10 MOTORIZED OVERHEAD SECTIONAL DOOR.</p> <p>11 WOOD BENCH.</p>				<p>12 MOTORIZED OVERHEAD ROLLING SECURITY SHUTTER.</p> <p>13 PARAPET COPING. BASIS OF DESIGN: PAC-CLAD CHARCOAL.</p> <p>14 METAL TRIM. BASIS OF DESIGN: PAC-CLAD CHARCOAL.</p> <p>15 FROST-PROOF, EXTERIOR GRADE DRINKING FOUNTAIN WITH BOTTLE FILL. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p>16 LOCATION OF HOSE BIBB, SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p>17 BUILDING MOUNTED SIGNAGE. SEE A-420 SERIES FOR ADDITIONAL INFORMATION.</p> <p>18 VINYL RESTROOM ID GRAPHIC. COLOR TO MATCH P-6.</p> <p>19 EXHAUST WALL CAP. COLOR TO MATCH P-4. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p>20 SOLDIER COURSE. SEE A-700 SERIES FOR ADDITIONAL INFORMATION.</p> <p>21 STAINLESS STEEL THROUGH-WALL COUNTER. SEE A-400 SERIES FOR ADDITIONAL INFORMATION.</p> <p>22 TRAIL HEAD SIGNAGE AND GRAPHICS, COORDINATE WITH OWNER.</p> <p>23 PIN-MOUNTED STAINLESS STEEL LOGO SIGNAGE. FINAL ARTWORK TO BE PROVIDED BY OWNER.</p> <p>24 DIMENSIONAL, 1/4", RESTROOM ID GRAPHIC. STAINLESS STEEL.</p> <p>25 WALL PACK, TYP. SEE ELECTRICAL FOR ADDITIONAL INFORMATION.</p>				<p>26 6" FLY ASH BASEBOARD PAINTED TO MATCH EF2. TYP.</p> <p>27 OVERFLOW SCUPPER.</p> <p>28 EXTENT OF STRUCTURAL BEAM TO ALIGN WITH EDGE OF ROOF RAKE.</p> <p>29 LOUVER, MIN. 12" ABOVE GRADE, ON COURSE. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p>30 FLOOD LIGHT, TYP. SEE ELECTRICAL FOR ADDITIONAL INFORMATION.</p> <p>31 DRAIN COVER.</p> <p>32 THRU-WALL SCUPPER.</p>							
				<p>EF1 BRICK - MODULAR BASIS OF DESIGN: ENDICOTT CLAY PRODUCTS CO COLOR: MANGANESE IRON SPOT SMOOTH MORTAR: LEHIGH FLAMINGO, X-25 CHARCOAL</p> <p>EF2 FIBER CEMENT BOARD SIZE: 48" PANEL BASIS OF DESIGN: JAMES HARDIE, HARDIE PANEL SIDING FINISH: SMOOTH, PAINT P-4.</p> <p>EF3 FIBER CEMENT BOARD SIZE: 48" PANEL BASIS OF DESIGN: JAMES HARDIE, HARDIE PANEL SIDING FINISH: SMOOTH, PAINT P-3.</p> <p>EF4 DOUGLAS FIR TONGUE AND GROOVE WOOD SLATS SIZE: 2X6 GRADE: SELECT FINISH: STAINED AND SEALED, P-5.</p> <p>EF5 PERFORATED, CORRUGATED METAL PANEL BASIS OF DESIGN: PAC-CLAD 7/8" CORRUGATED, 1/8" ROUND PERFORATIONS (A) COLOR: CITYSCAPE</p>															



V7 NW ELEVATION
1/4" = 1'-0"



V1 SE ELEVATION
1/4" = 1'-0"

V	U	T	S	R	Q	P	N	M	L	K	J	H	G	F	E	D	C	B	A
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Project Name
Academy Park
1201 Cherry Bottom Road
Gahanna, OH 43230



Prepared For
Gahanna Parks & Recreation
200 South Hamilton Road
Gahanna, OH 43230

Project Info
Project # 24027
Date 02.26.2026
By JW
Scale As Shown

Revisions

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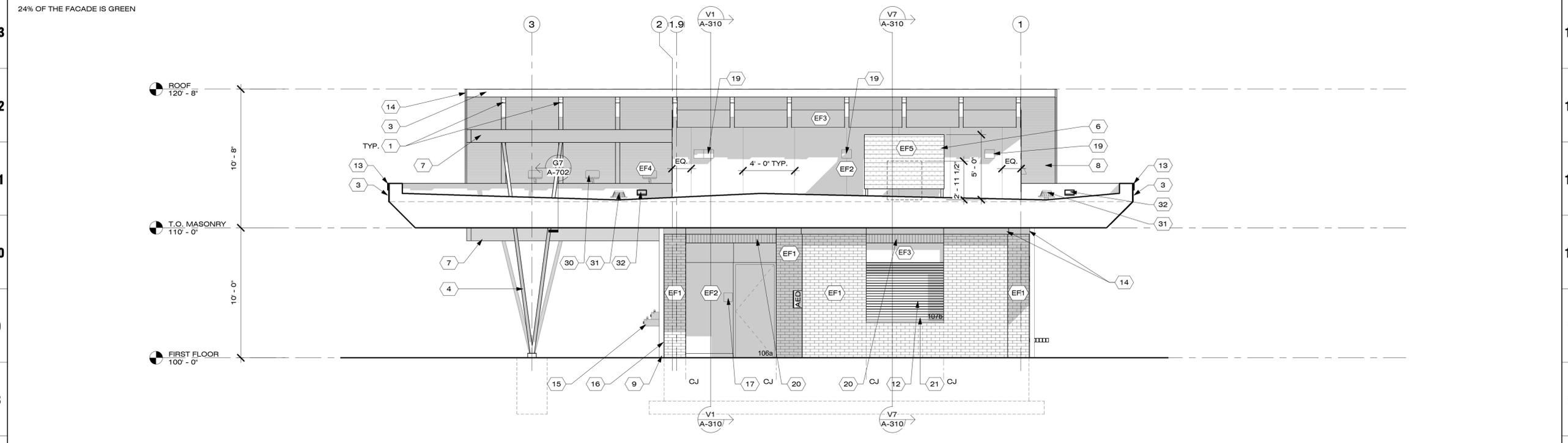
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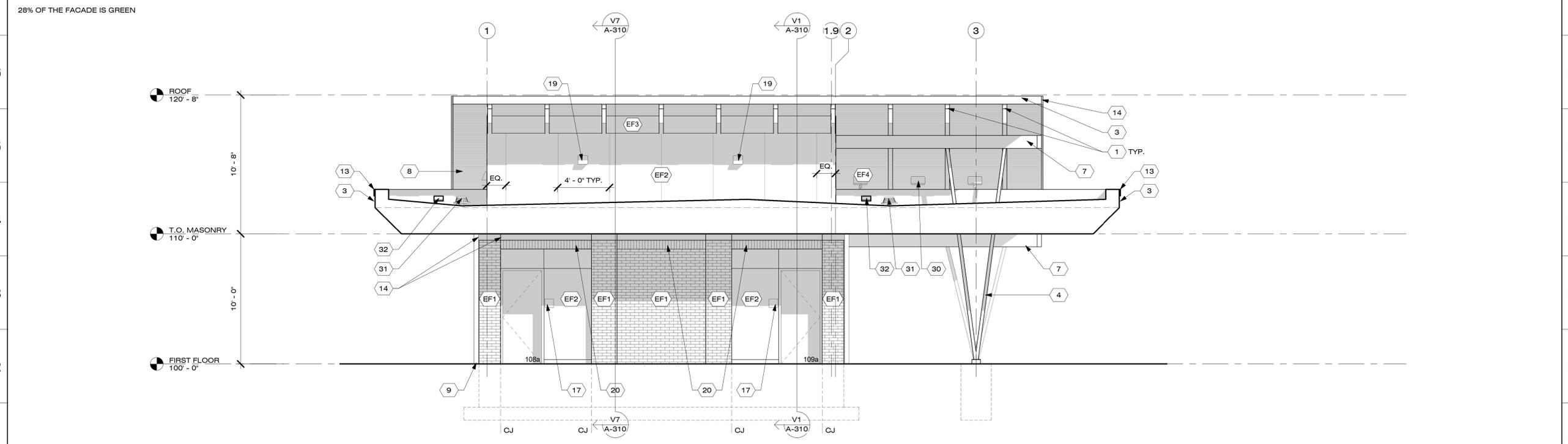
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1/4" = 1'-0"



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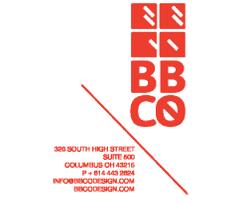
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Project Name
Academy Park
1201 Cherry Bottom Road
Gahanna, OH 43230



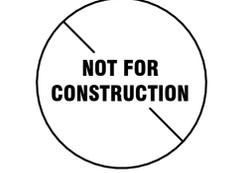
Prepared For
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Gahanna, OH 43230

Project Info
Project # 24027
Date 02.26.2026
By JW
Scale As Shown

Revisions

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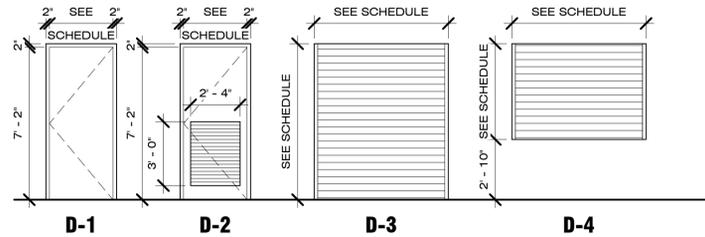
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BUILDING ELEVATIONS



Sheet #
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DOOR TYPES



DOOR SCHEDULE

DOOR NUMBER	ROOM NAME	HW SET	DOOR / FRAME TYPE	DOOR / FRAME RATING	DOOR			DETAILS			FRAME		REMARKS
					SIZE	MATERIAL	FINISH	HEAD	SILL	JAMB	MATERIAL	FINISH	
101a	WOMEN'S RR	05	D-1	-	3' - 0"x7' - 2"x1 3/4"	HM	P-3	Q13/A-700	Q1/A-700	E1/A-700	HM	P-3	1
102a	MEN'S RR	05	D-1	-	3' - 0"x7' - 2"x1 3/4"	HM	P-3	Q13/A-700	Q1/A-700	E1/A-700	HM	P-3	1
103a	FAMILY RR	04	D-1	-	3' - 0"x7' - 2"x1 3/4"	HM	P-3	Q13/A-700	Q1/A-700	E1/A-700	HM	P-3	1
104a	IT CLOSET	01	D-2	-	3' - 0"x7' - 2"x1 3/4"	HM	P-3	Q7/A-701	Q4/A-701	L7/A-701	HM	P-3	
106a	JANITOR	06	D-1	-	3' - 0"x7' - 2"x1 3/4"	HM	P-3	E7/A-700	Q1/A-700	E1/A-700	HM	P-3	1
107a	CONCESSIONS	05	D-1	-	3' - 0"x7' - 2"x1 3/4"	HM	P-3	V13/A-701	Q1/A-700	E1/A-700 SIM	HM	P-3	1
107b	CONCESSIONS	07	D-4	-	6' - 0"x4' - 4"x1 3/4"	STEEL	RAL 7024	M5/A-702	M1/A-702	M13/A-702	-	RAL 7024	1, 3
108a	PARK STORAGE	02	D-1	-	3' - 0"x7' - 2"x1 3/4"	HM	P-3	E7/A-700	Q1/A-700	E1/A-700	HM	P-3	1
108b	PARK STORAGE	07	D-3	-	7' - 0"x7' - 4"x1 3/4"	STEEL	RAL 7024	G11/A-701	G1/A-701	G13/A-701	-	RAL 7024	1, 2
109a	BASEBALL STORAGE	03	D-1	-	3' - 0"x7' - 2"x1 3/4"	HM	P-3	E7/A-700	Q1/A-700	E1/A-700	HM	P-3	1
109b	BASEBALL STORAGE	07	D-3	-	7' - 0"x7' - 4"x1 3/4"	STEEL	RAL7024	G11/A-701	G1/A-701	G13/A-701	-	RAL 7024	1, 2

EQUIPMENT SCHEDULE

TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	DIMENSIONS HxWxD	COMMENTS
AED	AUTOMATED EXTERNAL DEFIBRILLATOR	-	-	-	OWNER PROVIDED, OWNER INSTALLED.
E1	CHEST FREEZER	-	-	-	OWNER PROVIDED, OWNER INSTALLED.
E2	REFRIGERATOR	-	-	-	OWNER PROVIDED, OWNER INSTALLED.
E3	UTILITY SHELF WITH RAG HOOKS AND BROOM HOLDERS	BOBRICK	B-224	-	STAINLESS STEEL SATIN FINISH
T1	WELDED-FRAME MIRROR	BOBRICK	B-290 2436	36" H x 24" W	STAINLESS STEEL FINISH
T2	SURFACE-MOUNTED VERTICAL MANUAL LIQUID SOAP DISPENSER	BOBRICK	B-2111	-	CLASSIC SERIES, STAINLESS STEEL SATIN FINISH, 40 FL. OZ.
T3	SURFACE-MOUNTED AUTOMATIC HAND DRYER	XLERATOR	XL-SB	-	BRUSHED STAINLESS STEEL FINISH
T4	HORIZONTAL SURFACE-MOUNTED BABY CHANGING STATION	KOALA KARE	KB310-SSWM	-	STAINLESS STEEL SATIN FINISH
T5	SURFACE-MOUNTED JUMBO TOILET ROLL HOLDER	BOBRICK	B-2892	-	CLASSIC COLLECTION, TWO ROLLS, STAINLESS STEEL SATIN FINISH
T6	SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL	BOBRICK	B-35139	-	TRIMLINE SERIES, STAINLESS STEEL SATIN FINISH, 0.6-GALLON
T7	GRAB BARS	BOBRICK	B-6806 SERIES	-	36" - BACK WALL, 42" - SIDE WALL, 18" - VERTICAL, STAINLESS STEEL SATIN FINISH
T8	SURFACE-MOUNTED WASTE RECEPTACLE	BOBRICK	B-9279	-	FINO COLLECTION, STAINLESS STEEL SATIN FINISH, 6-GALLON
T9	SURFACE-MOUNTED BAG HOOK	BOBRICK	B-9542	-	FINO COLLECTION, STAINLESS STEEL SATIN FINISH
T10	TOILET PARTITION	BRADLEY CORPORATION	-	-	FLOOR-MOUNTED WITH OVERHEAD BRACE, STAINLESS STEEL SATIN FINISH
T11	SURFACE MOUNTED PAPER TOWEL DISPENSER	BOBRICK	B-9262	-	FINO COLLECTION, STAINLESS STEEL SATIN FINISH
T12	ACCESS PANEL	-	-	16" x 16"	SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
T13	URINAL SCREEN	BRADLEY CORPORATION	-	-	STAINLESS STEEL SATIN FINISH

FINISH LEGEND

CODE	MANUFACTURER	STYLE MATERIAL TYPE	MODEL NUMBER COLOR	DIMENSIONS FINISH	COMMENTS
Floors					
EPOXY	-	EPOXY	-	-	50% SCHIST, 50% BASALT MIX WITH A FULL BROADCAST OF 1/4" CHIP
SCON	-	SEALED CONCRETE	-	-	PROVIDE ANTI-SLIP CONCRETE COATING
Walls					
P-1	SHERWIN WILLIAMS	PAINT	SW 7004 SNOWBOUND	SEMI-GLOSS	SEE SPECIFICATIONS FOR PAINT AND PRIMER TYPE BASED ON SUBSTRATE.
P-2	SHERWIN WILLIAMS	PAINT	SW 6433 INVERNESS	SEMI-GLOSS	-
P-3	SHERWIN WILLIAMS	PAINT	SW 7076 CYBERSPACE	SEMI-GLOSS	-
P-4	SHERWIN WILLIAMS	PAINT	SW 6432 GARDEN SPOT	SEMI-GLOSS	-
P-5	SHERWIN WILLIAMS	EXTERIOR STAIN	SW 3511 CEDAR BARK	SEMI-TRANSPARENT	-
Ceilings					
GWB	-	GYPSUM WALL BOARD	-	-	PAINT P-1 U.N.O.
MISC	-	-	-	-	-
RB-1	JOHNSONITE	RESILIENT BASE	460 COTTON W	4"	DURA-COVE THERMOPLASTIC RUBBER
RB-2	JOHNSONITE	RESILIENT BASE	VN3 GECKO	4"	DURA-COVE THERMOPLASTIC RUBBER, TYP. ALL LOCATIONS TO RECEIVE P-4.

ROOM FINISH SCHEDULE

NAME	NUMBER	WALL FINISH	FLOOR FINISH	BASE FINISH	CEILING FINISH	CASEWORK FINISH	COMMENTS
WOMEN'S RR	101	P1, P4	EPOXY	RB-1, RB-2	EF4	-	
MEN'S RR	102	P1, P4	EPOXY	RB-1, RB-2	EF4	-	
FAMILY RR	103	P1, P4	EPOXY	RB-1, RB-2	EF4	-	
IT CLOSET	104	P1	SCON	-	GWB	-	
MECHANICAL	105	P1	SCON	-	EF4	-	
JANITOR	106	P1	SCON	-	EF4	-	
CONCESSIONS	107	P1	EPOXY	RB-1	GWB	BY OWNER	PROVIDE 2 COATS OF BLOCK FILLER
PARK STORAGE	108	P1	SCON	-	EF4	-	
BASEBALL STORAGE	109	P1	SCON	-	EF4	-	

GENERAL FINISH NOTES

- VERIFY ALL FINISH MATERIALS AND COLORS WITH ARCHITECT PRIOR TO COMMENCING WORK.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, FOUNDATION DRAWINGS AND SPECIFICATIONS.
- FIELD VERIFICATION IS REQUIRED FOR QUANTITIES OF ALL MATERIALS PRIOR TO ORDERING AND INSTALLATION. DO NOT SCALE DRAWINGS.
- ENSURE THAT FLOOR SURFACES ARE PROPERLY PREPARED FOR INSTALLATION OF SPECIFIC FLOOR FINISH.
- ALL MATERIALS ARE TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS, RECOMMENDATIONS AND SPECIFICATIONS FOR THE APPLICATION AND INTENDED USAGE.
- FLOORING TO EXTEND UNDER ALL FIXTURES AND CABINETS U.N.O.
- WHEN FLOOR FINISH CHANGE OCCURS AT A DOORWAY, THE TRANSITION IS TO BE CENTERED UNDER THE DOOR IN THE CLOSED POSITION, U.N.O.
- ALL FLOOR FINISHES TO BE PROTECTED FROM DAMAGE AFTER INSTALLATION. ALL DAMAGE TO BE REPAIRED AT NO COST TO THE OWNER.
- ALL DOOR FRAMES AND BASE TO BE PROTECTED TO AVOID DAMAGE DURING INSTALLATION OF FLOORING MATERIAL. ANY DAMAGE TO FRAMES, BASE & FINISHES TO BE REPAIRED AT NO COST TO OWNER.
- ALL INTERIOR WALLS TO BE PAINTED P-1, UNLESS NOTED OTHERWISE.
- SEE G-SERIES FOR MOUNTING HEIGHTS AND TOILET ACCESSORY DIMENSIONS.
- G.C. TO PROVIDE BLOCKING FOR ALL WALL-MOUNTED ITEMS.
- REFER TO FINISH SCHEDULE FOR FINISH LOCATIONS N. RESILIENT BASE RB-1 U.N.O.
- SEE G-200 FOR MOUNTING HEIGHTS, TYP.

GENERAL DOOR NOTES

- INSTALL CONSTRUCTION CORES IN CYLINDER LOCKS. REPLACE WITH PERMANENT UNITS AT TURN OVER.
- COORDINATE KEYING AND MASTERS WITH TENANT.
- ALL LOCKSETS TO BE COMPLIANT WITH CURRENT ADA GUIDELINES AND CURRENT OBC REQUIREMENTS.
- INSTALL WALL AND FLOOR STOPS AS REQUIRED. COORDINATE KNOX BOX REQUIREMENTS WITH FIRE MARSHALL.
- ALL EXTERIOR DOORS TO MATCH WINDOW AND DOOR COLOR, UNLESS NOTED OTHERWISE.

OBC DOOR RELATED NOTES

- ALL DOORS SHALL SWING IN THE DIRECTION OF EGRESS AS REQUIRED BY CODE (SEE PLAN) AND SHALL BE OF A SIDE SWINGING TYPE.
- ALL MEANS OF EGRESS DOORS SHALL BE READILY OPERABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- MANUALLY OPERATED EDGE TO SURFACE BOLTS ARE PROHIBITED.
- ALL EGRESS DOORS TO HAVE PANIC HARDWARE WHEN SERVING AN OCCUPANCY OF 50 OR MORE OCCUPANTS.

HARDWARE NOTES

- PANIC HARDWARE SHALL HAVE THE ACTIVATING MEMBER MOUNTED AT A HEIGHT NOT LESS THAN 30 INCHES NOR MORE THAN 44 INCHES ABOVE FINISHED FLOOR. ALL HARDWARE SHALL BE CENTERED BETWEEN 30 AND 44 INCHES ABOVE FINISHED FLOOR FOR HAND ACTIVATED HARDWARE. THERE SHALL BE NO GRASP TYPE KNOBS.
- CLOSET DOORS SHALL BE INSTALLED WITH HARDWARE THAT CAN BE OPERATED FROM THE INSIDE (CLASSROOM LOOK).
- ALL HARDWARE FINISH TO BE XXX.
- ALL DOORS TO HAVE FLOOR DOOR STOPS OR WALL STOPS AS NEEDED PER HARDWARE SETS.
- PROVIDE DOOR CLOSER AT ALL EXTERIOR DOORS. EXTERIOR OUTSWING DOORS TO HAVE CLOSERS THAT LOCK TO PREVENT FULL OPENING OF DOOR.
- PROVIDE KICK PLATES ON BOTH SIDES OF DOORS, AS INDICATED ON THE SCHEDULE.

ADA DOOR RELATED NOTES

- 4.13.4 DOUBLE-LEAF DOORWAYS.** IF DOORWAYS HAVE TWO INDEPENDENTLY OPERATED DOOR LEAVES, THEN AT LEAST ONE LEAF SHALL MEET THE SPECIFICATIONS IN 4.13.5 AND 4.13.6. THAT LEAF SHALL BE AN ACTIVE LEAF.
- 4.13.5 CLEAR WIDTH.** DOORWAYS SHALL HAVE A MINIMUM CLEAR OPENING OF 32 IN (815 MM) WITH THE DOOR OPEN 90 DEGREES, MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP. OPENINGS MORE THAN 24 IN (610 MM) IN DEPTH SHALL COMPLY WITH 4.2.1 AND 4.3.3. EXCEPTION: DOORS NOT REQUIRING FULL USER PASSAGE, SUCH AS SHALLOW CLOSETS, MAY HAVE THE CLEAR OPENING REDUCED TO 20 IN (510 MM) MINIMUM.
- 4.13.6 MANEUVERING CLEARANCES AT DOORS.** MINIMUM MANEUVERING CLEARANCES AT DOORS THAT ARE NOT AUTOMATIC OR POWER-ASSISTED SHALL BE AS SHOWN IN FIG. 25. THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR. EXCEPTION: ENTRY DOORS TO ACUTE CARE HOSPITAL BEDROOMS FOR IN-PATIENTS SHALL BE EXEMPTED FROM THE REQUIREMENT FOR SPACE AT THE LATCH SIDE OF THE DOOR IF THE DOOR IS AT LEAST 44 IN (1120 MM) WIDE.
- 4.13.9 DOOR HARDWARE.** HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEAVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 IN (1200 MM) ABOVE FINISHED FLOOR.

REMARKS

- INSULATED
- BASIS OF DESIGN: C.H.I. MODEL 3222. RAL 7024.
- BASIS OF DESIGN: C.H.I. MODEL 6522. RAL 7024.



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Project Name

Academy Park
1201 Cherry Bottom Road
Gahanna, OH 43230



Prepared For

Gahanna Parks & Recreation
200 South Hamilton Road
Gahanna, OH 43230

Project Info

Project # 24027
Date 02.26.2026
By JW
Scale As Shown

Revisions



Sheet Title

SCHEDULES & LEGENDS



Sheet #

A-800

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V U T S R Q P N M L K J H G F E D C B A

EF1



BRICK - MODULAR
BASIS OF DESIGN: ENDICOTT CLAY PRODUCTS CO
COLOR: MANGANESE IRON SPOT SMOOTH
MORTAR: LEHIGH FLAMINGO, X-25 CHARCOAL

EF2



FIBER CEMENT BOARD
SIZE: 48" PANEL
BASIS OF DESIGN: JAMES HARDIE, HARDIE PANEL SIDING
FINISH: SMOOTH, PAINT P-4

EF3



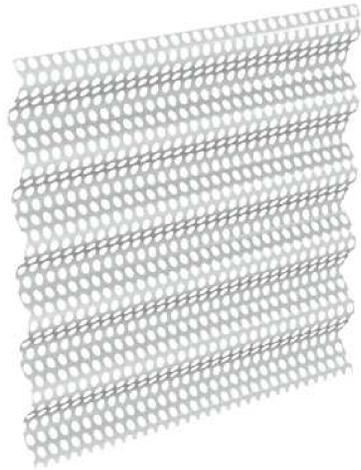
FIBER CEMENT BOARD
SIZE: 48" PANEL
BASIS OF DESIGN: JAMES HARDIE, HARDIE PANEL SIDING
FINISH: SMOOTH, PAINT P-3

EF4



DOUGLAS FIR TONGUE AND GROOVE WOOD SLATS
SIZE: 2X6
GRADE: SELECT
FINISH: STAINED AND SEALED, P-5

EF5



PERFERATED, CORRUGATED METAL PANEL
BASIS OF DESIGN: PAC-CLAD 7/8" CORRUGATED, 1/8" ROUND PERFORATIONS (A)
COLOR: CITYSCAPE

N/A



ROOF ACCESSORIES
BASIS OF DESIGN: PAC-CLAD
COLOR: CHARCOAL

N/A



RIBBED METAL PANEL ROOF
BASIS OF DESIGN: PAC-CLAD
COLOR: CITYSCAPE

N/A

MEMBRANE ROOF
COLOR: WHITE

V U T S R Q P N M L K J H G F E D C B A



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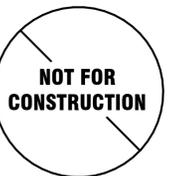
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PRELIMINARY
NOT FOR CONSTRUCTION

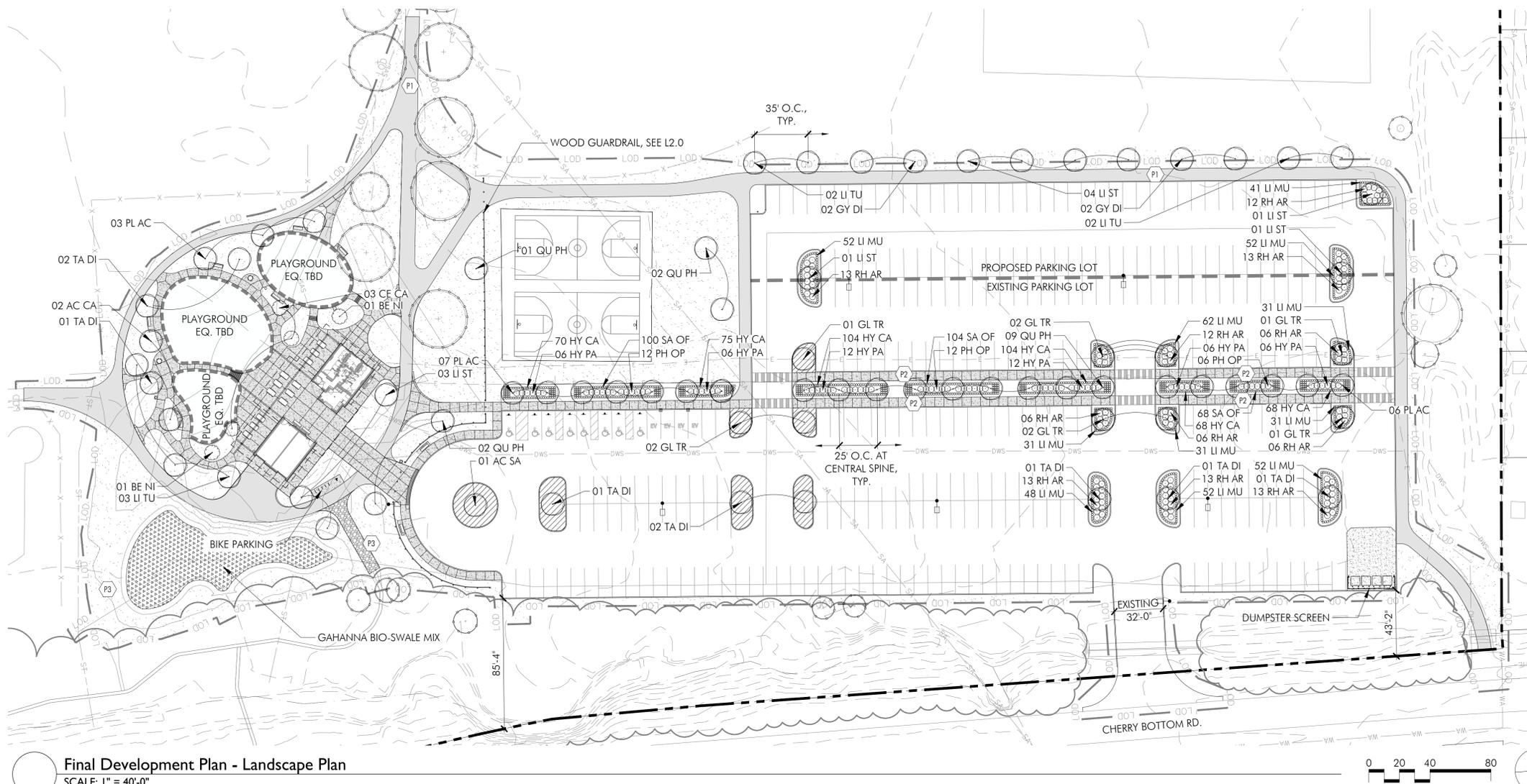
Sheet Title

EXTERIOR FINISHES



Sheet #

A-801



LAYOUT LEGEND

- LOD — LIMIT OF DISTURBANCE
- - - - - PROPERTY LINE
- EXISTING TREES TO REMAIN
- PARKING LOT LIGHTING, REFER TO LIGHTING PLANS
- ▨ MULCHED PLANTING ISLANDS
- ▽▽▽▽ CITY OF GAHANNA BIO-SWALE MIX
- ▨ SEEDED LAWN
- P1 ASPHALT MULTI-USE PATH
- P2 BROOM FINISH CONCRETE
- P3 AGGREGATE PATH
- TREE PROTECTION AT EXISTING TREES - SEE DETAIL #3, SHEET L2.0

Final Development Plan - Landscape Plan
SCALE: 1" = 40'-0"

ZONING CODE REQUIREMENTS

ZONE: CON
DESCRIPTION: CONSERVATION
LEGAL ACRES: 34.95 AC

TREE INFORMATION:
EXISTING TREES WITHIN LIMIT OF DISTURBANCE.....44
TREES TO BE REMOVED LIMIT OF DISTURBANCE.....34
*AS DIRECTED BY CITY FORESTER AND GPRD
PROPOSED TREES WITHIN LIMIT OF DISTURBANCE.....68

CHAPTER 914 - TREE PRESERVATION, PLANTING AND REPLACEMENT

914.04(A)(2) - LOCATION OF PRESERVED PROTECTED TREES AND TREES TO BE PLANTED, INDICATING SPECIES TYPE AND SIZE. SIZE OF TREES TO BE PLANTED SHALL BE DETERMINED BY CALIPER INCHES

914.05(A)(1) - ALL PROJECTS FOR WHICH AN FDP IS REQUIRED IN WHICH THERE ARE NEW STRUCTURES, PARKING AREAS, LOADING AREAS, OR OTHER IMPERVIOUS SURFACES SHALL PLANT A MINIMUM OF ONE SHADE TREE CALIPER INCH PER 1,000 SQUARE FEET OF IMPERVIOUS SURFACE UNLESS LOCATED WITHIN THE PLANNED INDUSTRIAL DISTRICT (PID) ZONING DISTRICTS. PROJECTS LOCATED WITHIN THE PID ARE REQUIRED TO PLANT A MINIMUM OF ONE SHADE TREE CALIPER INCH PER 5,000 SQUARE FEET OF IMPERVIOUS SURFACE

914.05(A)(1)(B) - FOR PROJECTS IN WHICH DEVELOPMENT ALREADY EXISTS, TREE CALIPER INCHES REQUIRED SHALL BE BASED ON THE AMOUNT OF NEW IMPERVIOUS SURFACE

EXISTING TOTAL IMPERVIOUS SURFACE:	125,400 SF	REQUIRED LANDSCAPE AREA.....	1,172 SF
NEW TOTAL IMPERVIOUS SURFACE:	160,040 SF	3" CAL. PARKING LOT TREES REQUIRED (1,172/100).....	12 EA
SHADE TREE CALIPER INCHES REQUIRED:	35 CAL. INCHES	3" PARKING LOT TREES PROVIDED.....	27 EA
SHADE TREE CALIPER INCHES PROVIDED:	110 CAL. INCHES		

1109.01(F) - PARKING AREA LANDSCAPING REQUIREMENTS

- FOR PARKING AREAS OF 1,000 SQUARE FEET OR MORE OR INTENDED FOR FIVE OR MORE VEHICLES, INTERIOR LANDSCAPING IS REQUIRED.
- ANY PARKING AREA ALTERED TO AN EXTENT OF 25 PERCENT OR MORE OF THE TOTAL SQUARE FOOTAGE OF THE EXISTING OFF-STREET PARKING AREA IS REQUIRED TO COMPLY WITH ALL REGULATIONS IN 1109.01(F)
- FIVE PERCENT OF THE TOTAL PARKING AREA IS REQUIRED TO BE LANDSCAPED.
EXISTING PARKING LOT AREA: 99,945 SF
PROPOSED PARKING LOT AREA: 123,367 SF
PARKING LOT INCREASE: 23,424 SF or 23.4%

INTERIOR LANDSCAPING AREA REQ'D (23,424*.05) = 1,172 SF
INTERIOR LANDSCAPING AREA PROVIDED = 4,045 SF
- INTERIOR LANDSCAPING IN PARKING AREAS SHALL BE DISPERSED THROUGHOUT THE PARKING AREA IN LANDSCAPING PENINSULAS AND ISLANDS.
- THE MINIMUM LANDSCAPED PENINSULA SIZE SHALL BE 50 SQUARE FEET AND A MINIMUM LENGTH OR WIDTH DIMENSION OF FIVE FEET.
- ONE TREE PER 100 SQUARE FEET OF REQUIRED LANDSCAPE AREA OR PORTION THEREOF IS REQUIRED. THE MINIMUM CALIPER OF SUCH TREES SHALL BE THREE INCHES AT PLANTING AS MEASURED IN ACCORDANCE WITH ANSI REQUIREMENTS. WHEN APPROPRIATE, THE CITY'S DESIGNEE MAY APPROVE REQUESTS TO PLANT TREES LESS THAN THREE CALIPER INCHES.
- REQUIRED LANDSCAPING SHALL BE MAINTAINED WITHIN THE MINIMUM REQUIREMENTS OF THIS SECTION.

PLANT LIST

QTY.	SYMBOL	BOTANICAL & COMMON NAMES	SIZE	COND.	SPACING
SHADE TREES - CHAPTER 914					
3	AC SA	<i>Acer saccharum</i> 'Wright Brothers' Wright Brothers Sugar Maple	3" CAL.	B&B	AS SHOWN
2	BE NI	<i>Betula nigra</i> 'Heritage' Heritage River birch	12-14' HT.	B&B	AS SHOWN
3	CE CA	<i>Cercis canadensis</i> 'MN Strain' Minnesota Strain Hardy Redbud	8-10' HT.	B&B (SINGLE-STEM)	AS SHOWN
9	GL TR	<i>Gleditsia triacanthos inermis</i> 'Suncole' Sunburst Honeylocust	2.5" CAL.	B&B	AS SHOWN
4	GY DI	<i>Gymnocladus dioica</i> Kentucky Coffee Tree	2.5" CAL.	B&B	AS SHOWN
10	LI ST	<i>Liquidambar styraciflua</i> 'Rotundiloba' Fruitless Sweet Gum	2.5" CAL.	B&B	AS SHOWN
7	LI TU	<i>Liriodendron tulipifera</i> Tuliptree	2.5" CAL.	B&B	AS SHOWN
3	PL AC	<i>Platanus x acerfolia</i> 'Morton Circle' Exclamation! London Planetree	3" CAL.	B&B	AS SHOWN
9	TA DI	<i>Taxodium distichum</i> Bald Cypress	8-10' HT	B&B	AS SHOWN
SHADE TREES - CHAPTER 1109.01					
13	PL AC	<i>Platanus x acerfolia</i> 'Morton Circle' Exclamation! London Planetree	3" CAL.	B&B	AS SHOWN
14	QU PH	<i>Quercus phellos</i> Willow Oak	3" CAL.	B&B	AS SHOWN

QTY.	SYMBOL	BOTANICAL & COMMON NAMES	SIZE	COND.	SPACING
SHRUBS					
	HY PA	<i>Hydrangea paniculata</i> 'LVOBO' Bobo Hydrangea	18" HT.	#5 CONT.	48" O.C.
	RH AR	<i>Rhus aromatica</i> 'Gro-Low' Gro-Low Fragrant Sumac	18" HT.	#3 CONT.	48" O.C.
	PH OP	<i>Physocarpus opulifolius</i> 'Donna May' Little Devil Ninebark	18" HT.	#5 CONT.	48" O.C.
PERENNIALS / ORNAMENTAL GRASSES / GROUND COVERS					
	HY CA	<i>Hypericum calycinum</i> St. John's Wort Groundcover	#1	POT	18" O.C.
	LI MU	<i>Liriope muscari</i> 'Big Blue' Big Blue Lily Turf	#1	POT	18" O.C.
	SA OF	<i>Salvia x sylvestris</i> 'Blauhugel' Blue Hill Meadow Sage	#1	CONT.	18" O.C.

*PLANT SUBSTITUTIONS MAY BE REQUIRED DEPENDING ON PLANT AVAILABILITY. ANY SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT AND SHALL MEET MINIMUM CODE REQUIREMENTS AT TIME OF INSTALLATION.



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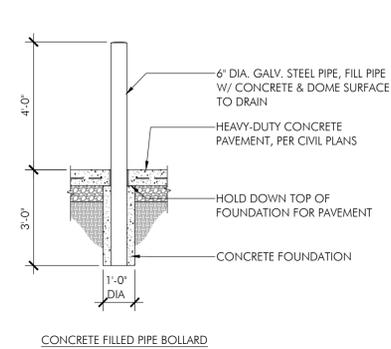
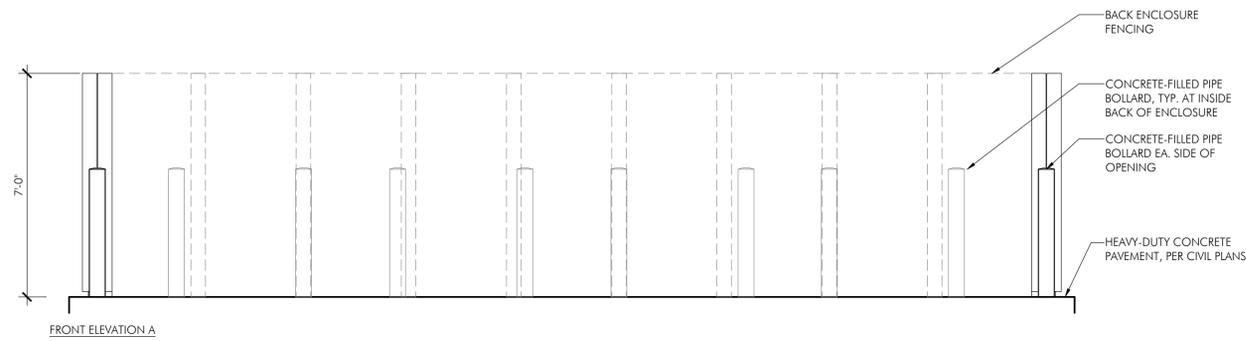
Project Info
Project # 24027
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By JW
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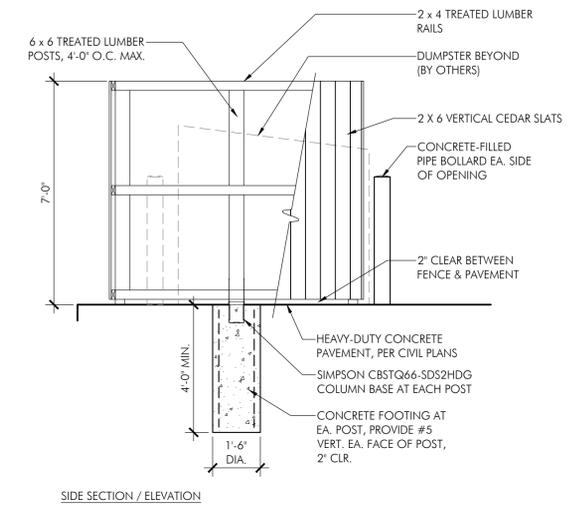
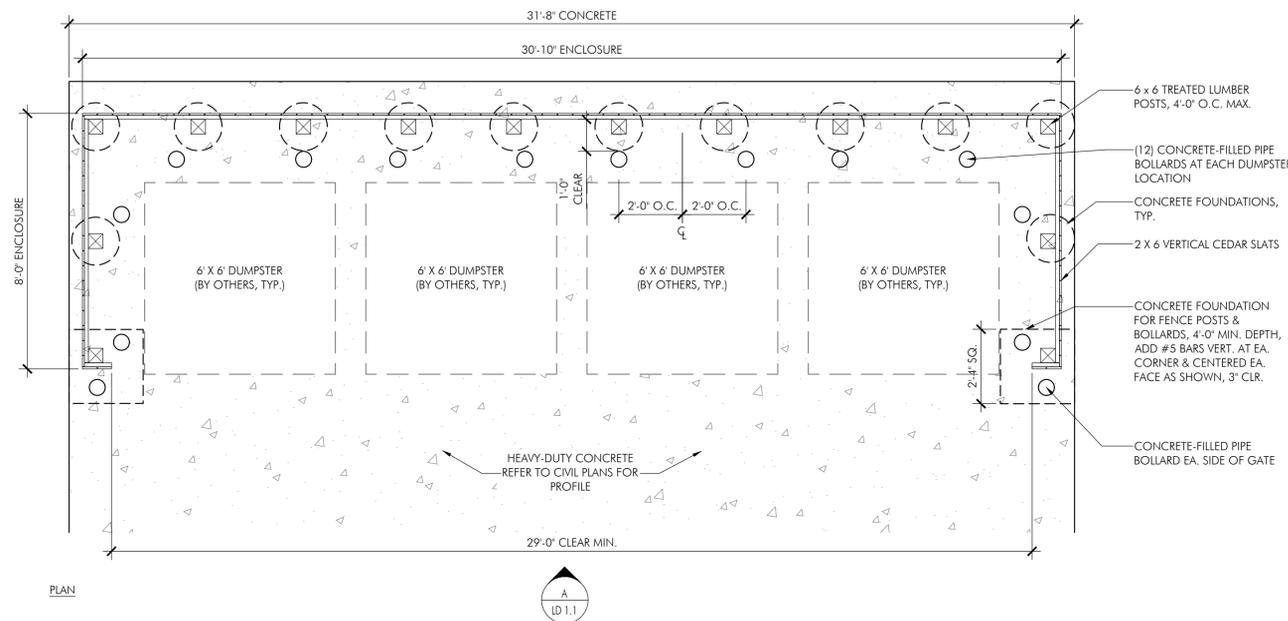
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FINAL DEVELOPMENT PLAN - LANDSCAPE PLAN



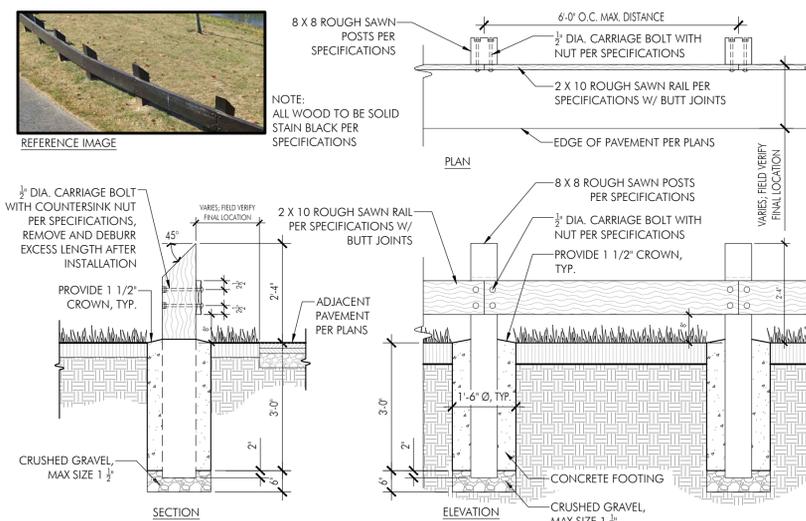
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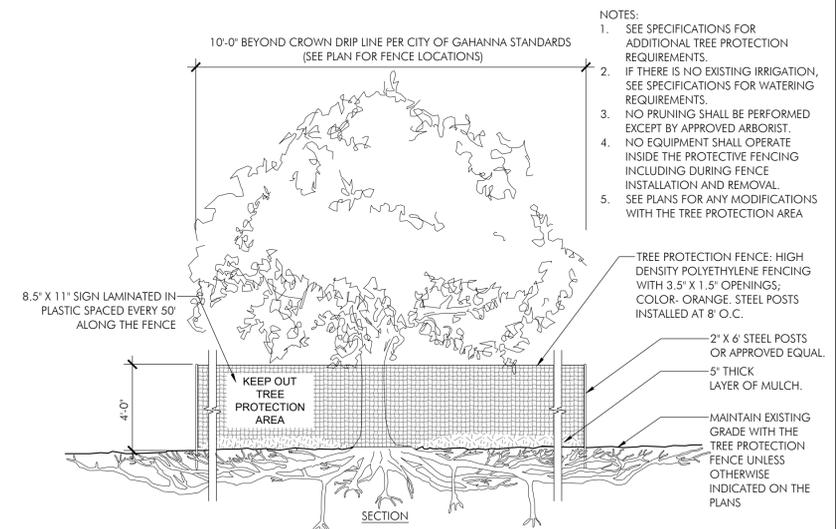
- NOTES:**
- CONTRACTOR TO SUBMIT ALL MATERIALS & PRODUCT DATA TO OWNER FOR APPROVAL.
 - ALL HARDWARE PER SPECIFICATIONS
 - ALL WOOD PER SPECIFICATIONS, STAIN COLOR. COLOR BLACK PER SPECIFICATIONS, TREATED MATERIALS AND SEALANTS PER SPECIFICATIONS.
 - ALL BOLLARDS TO BE PAINTED YELLOW RAL 1028



1 Dumpster Enclosure
3/8" = 1'-0"



2 Wood Guard Rail
1/2" = 1'-0"



3 Tree Protection
1/4" = 1'-0"

- NOTES:**
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - SEE PLANS FOR ANY MODIFICATIONS WITH THE TREE PROTECTION AREA.

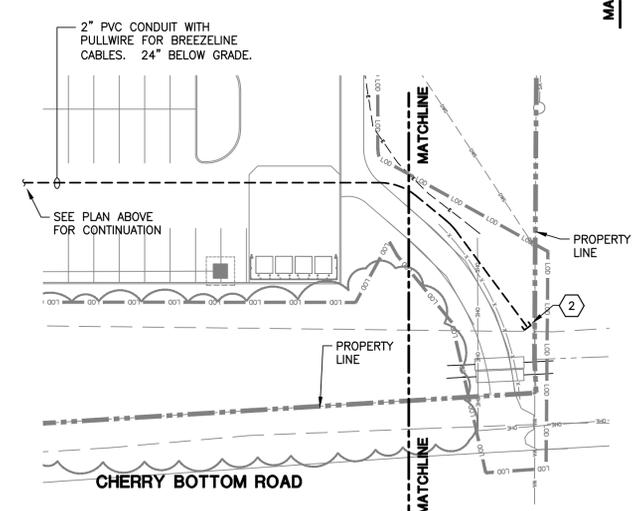
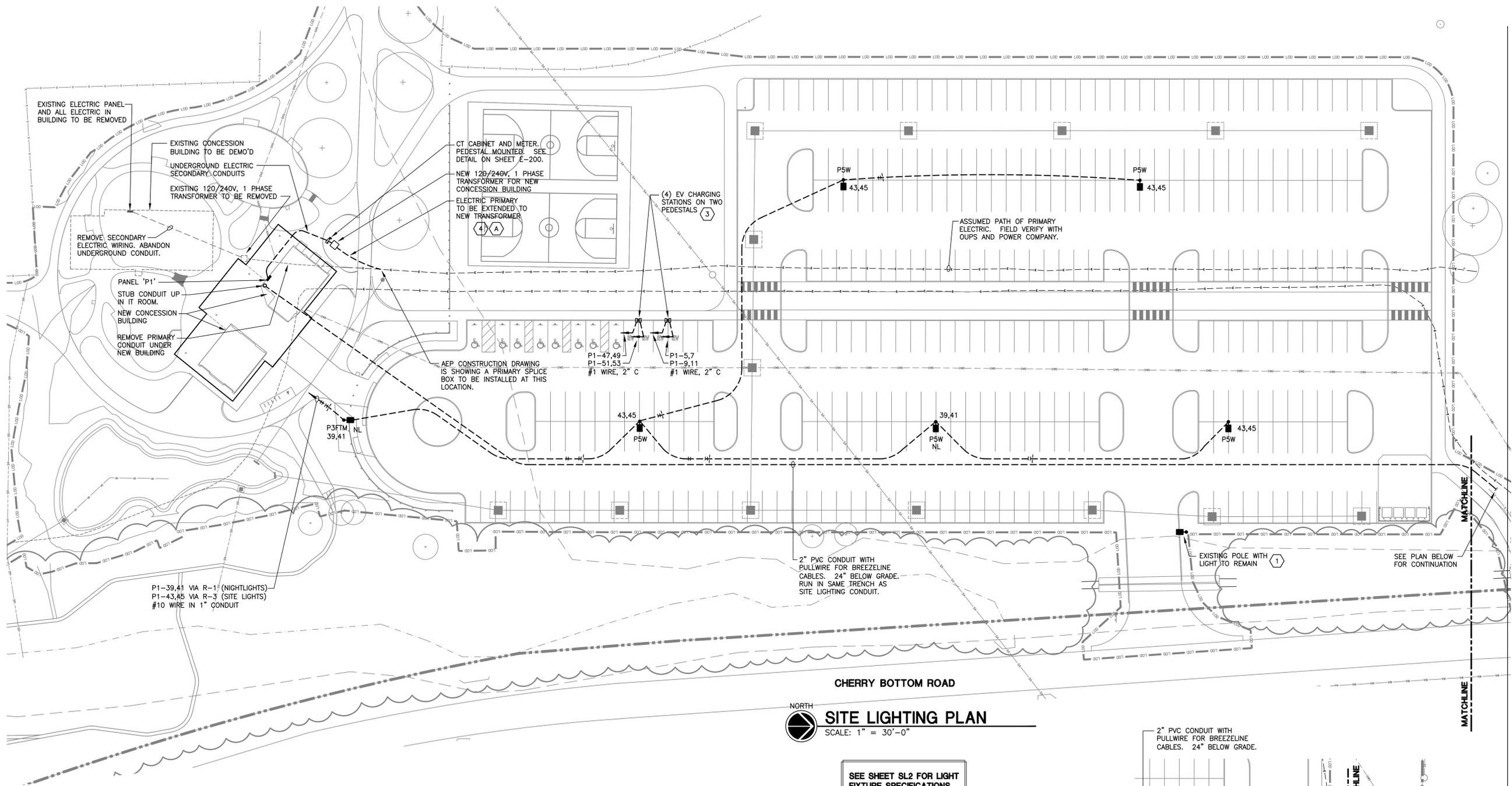
Project Info

Project # 2416-C
Date 2/19/2026
By MECI
Scale As Shown

Revisions

Sheet Title

SITE LIGHTING PLAN



SITE LEGEND	
	TRANSFORMER
	BRANCH CIRCUIT CONDUIT, 1/2" MINIMUM, CONCEALED BELOW SLAB OR IN CEILING'S OR WALLS, SLASH MARKS INDICATE NUMBER OF CONDUCTORS, #12 AWG. UNLESS NOTED OTHERWISE.
	HOMERUN TO PANELBOARD, 3/4" MINIMUM. LETTER INDICATES PANEL, NUMBERS INDICATE CIRCUITS.
	WIRING & CONDUIT UNDERFLOOR
	JUNCTION BOX
	SECONDARY ELECTRIC
	PRIMARY ELECTRIC
	EXISTING
	GROUND FAULT INTERRUPTOR
	NIGHTLIGHT
	INDICATES SAME CIRCUIT USED ELSEWHERE
	WEATHERPROOF
	CODED NOTE, NUMBER 2 IDENTIFICATION

SITE CODED NOTES	
1.	FIELD VERIFY POWER SOURCE AND MAINTAIN CIRCUIT. POWER COMPANY DRAWINGS INDICATES LIGHT IS FED FROM 120/240 VOLT RESIDENTIAL TRANSFORMER AT NORTH PROPERTY LINE.
2.	FIELD COORDINATE STUB LOCATION AND EXACT REQUIREMENTS WITH BREEZELINE. EXTENSION OF CONDUIT TO BREEZELINE UNDERGROUND FACILITY AND CABLE FROM FACILITY TO BUILDING BY BREEZELINE. BREEZELINE CONTACT: WARREN HUNLEY, 614-668-8207. WHUNLEY@BREEZELINE.COM
3.	EV CHARGERS BY CONTRACTOR. EACH CHARGER IS 12 KW, 50 AMP AT 240 VOLT/CHARGER. SEE PANEL 'P1' SCHEDULE FOR WIRING. TWO BACK TO BACK CHARGERS ARE TO BE INSTALLED ON ONE PEDESTAL. INSTALL PEDESTAL AND CHARGER PER MANUFACTURERS INSTALLATION INSTRUCTIONS INCLUDING GROUNDING AND CONCRETE BASE. AUTEL 'MAXICHARGER AC ELITE BUSINESS C50' MODEL #MAXI-US-AC-W12-L-4G
4.	MAINTAIN 3' SEPARATION FROM PARALLEL UTILITIES. MAINTAIN 1' VERTICAL SEPARATION AT UTILITY CROSSINGS.

SITE GENERAL NOTES	
A.	AEP CONTACT IS KYLE J DICKS. CELL: 614-208-0310. EMAIL: KJDICKS@AEP.COM

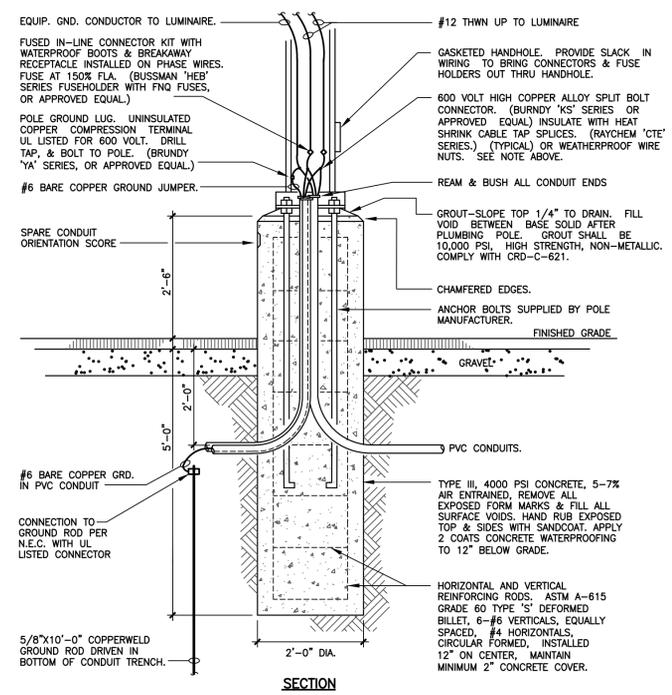
PRIMARY ELECTRIC CODED NOTES	
A.	For Building Construction, Aep will require the contractor to install trenching between the splice location of the existing primary line and the new transformer location. Trench will need to be a minimum of 36 inches deep below final grade, 6 inches wide with minimum 2-3" electrical schedule 40 conduit installed in the trench with sweeping 90 degree elbows at both ends with a minimum 3/4" nylon pullrope installed in the conduit for AEP to pull the wire thru. Trench will need to be inspected by AEP prior to backfilling. When the trench is ready to be inspected email KYLE DICKS photos of the trench with a tape measure showing it has been trenched to the proper depth and width as well as photos showing the ends are in the proper position with a pull string. When the trench has been inspected & approved the trench midsection can be backfilled.



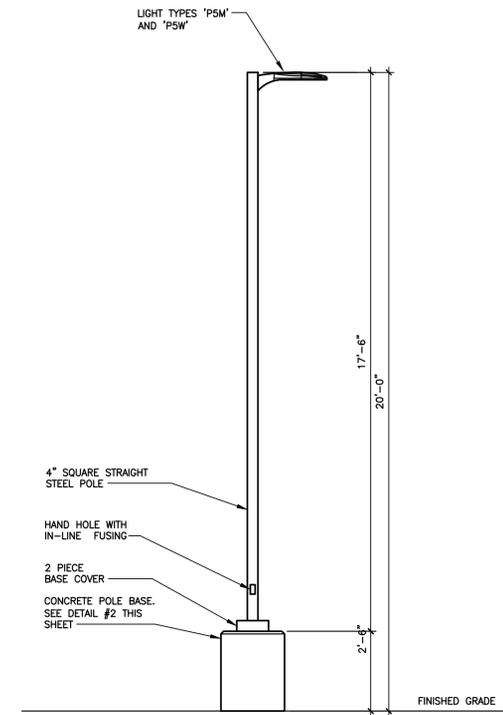
SITE LIGHTING FIXTURE SCHEDULE	
P3FTM	POLE MOUNTED LED AREA LUMINAIRE, FULL CUTOFF WITH FORWARD THROW MEDIUM LIGHT DISTRIBUTION, SINGLE PIECE DIE CAST ALUMINUM HOUSING, INTEGRAL HEAT SINK FINS, IP65 RATED, PRECISION MOLDED ACRYLIC LENSES, 30 LED ARRAY, 12,575 LUMENS, 4,000K, 70 CRI, 700 mA ELECTRONIC DRIVER(S), MOUNT TO 17'-6" LONG, 4" SQUARE STRAIGHT STEEL POLE, 11 GAUGE w/ HAND HOLE AND BASE COVER, DARK BRONZE FINISH, 240 VOLT, 102 WATTS. FIXTURE: LITHONIA DSX1-LED-P3-40K-70CRI-TFTM-MVOLT-SPA-DBXD POLE: #SSS-QS-17.5'-4C-DM19AS-DBXD or equal by McGraw Edison, Architectural Area Lighting, Lumark, Gardco, and others.
P5W	POLE MOUNTED LED AREA LUMINAIRE, FULL CUTOFF WITH TYPE 5 WIDE DISTRIBUTION, SINGLE PIECE DIE CAST ALUMINUM HOUSING, INTEGRAL HEAT SINK FINS, IP65 RATED, PRECISION MOLDED ACRYLIC LENSES, 30 LED ARRAY, 14,505 LUMENS, 4,000K, 70 CRI, 1050 mA ELECTRONIC DRIVER(S), MOUNT TO 17'-6" LONG, 4" SQUARE STRAIGHT STEEL POLE, 11 GAUGE w/ HAND HOLE AND BASE COVER, DARK BRONZE FINISH, 240 VOLT, 102 WATTS. FIXTURE: LITHONIA DSX1-LED-P3-40K-70CRI-T5W-MVOLT-SPA-DBXD POLE: #SSS-QS-17.5'-4C-DM19AS-DBXD or equal by McGraw Edison, Architectural Area Lighting, Lumark, Gardco, and others.
WM1	WALL MOUNTED CUT-OFF SMALL WALL PACK WITH 750 LUMENS, 35K, 80 CRI, WEDGE SHAPE, VISUAL COMFORT WIDE OPTICS, BLACK FINISH, 120 VOLT, 7 WATTS. LITHONIA #WJDE1-LED-PO-35K-80CRI-VW-MVOLT-DBLXD or equal

FL2, WM1 AND WM2 LIGHT SPECIFICATIONS ARE ON THE BUILDING PLANS

NOTE:
THIS STANDARD DETAIL COVERS VARIOUS INSTALLATIONS. PROVIDE IN-LINE FUSES FOR EACH 'HOT' WIRE ONLY (120 - ONE FUSE, 240 VOLT, SINGLE PHASE - TWO FUSES).
WIRE CONNECTORS INSIDE POLE AT HANDHOLE MAY BE WEATHERPROOF TYPE WIRE NUTS FOR #12 AND #10 WIRE. FOR LARGER WIRE SIZES, CONNECTORS SHALL BE SPLIT BOLT CONNECTORS AS NOTED ON DETAIL.

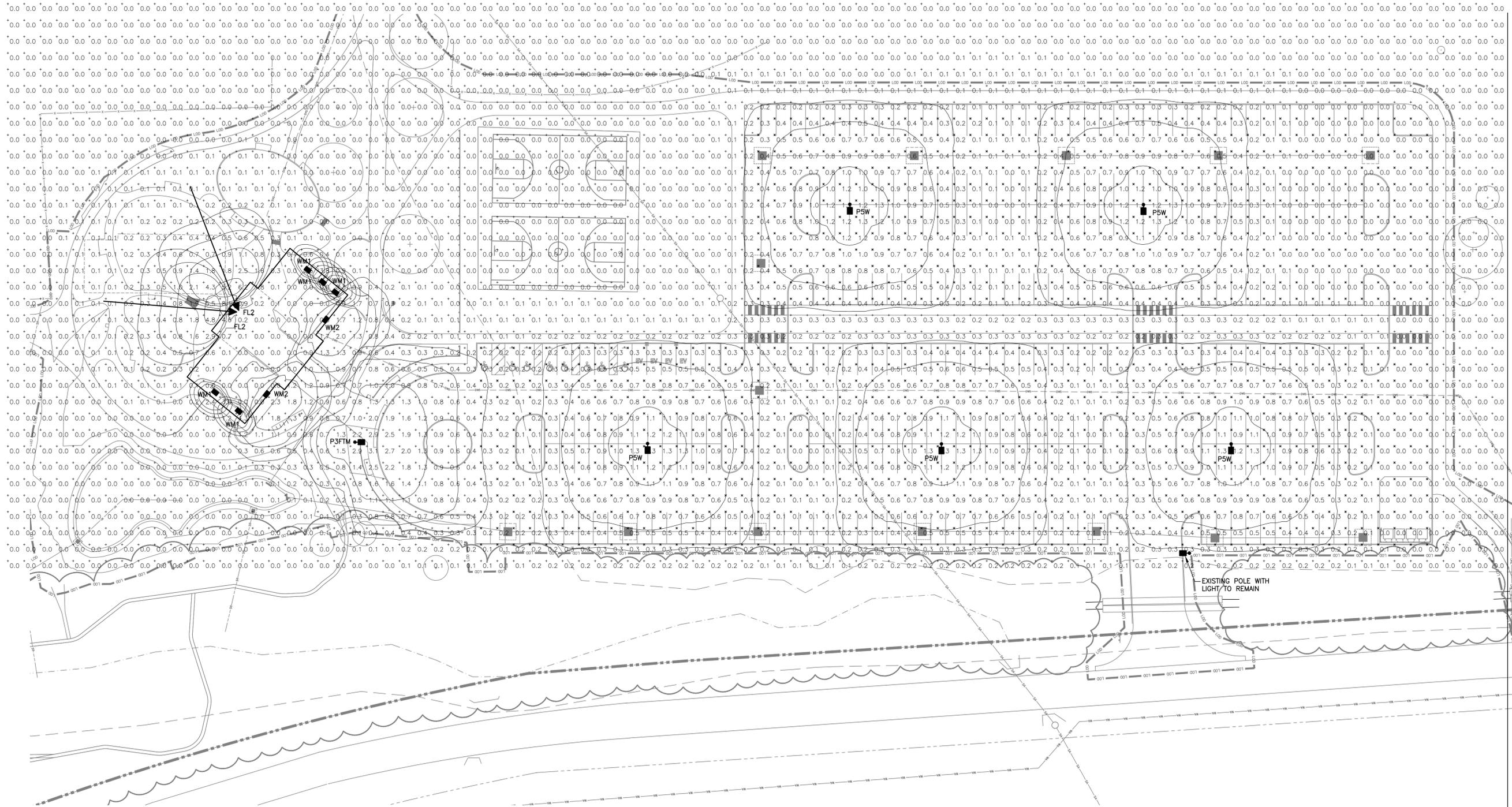


2 POLE BASE DETAIL
SL2 N.T.S.



1 LIGHTING FIXTURE w/2'-6" POLE BASE ELEVATION
SL2 N.T.S.

USED IN PAVED AREAS



NORTH

SITE LIGHTING PHOTOMETRICS
 SCALE: 1" = 30'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EAST PARKING	⌘	0.4 fc	1.3 fc	0.0 fc	N/A	N/A
WEST PARKING	⌘	0.4 fc	1.3 fc	0.0 fc	N/A	N/A



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 E-Mail: meci@mcmulleneng.com
 Web: http://www.mcmulleneng.com

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**SITE LIGHTING
 PHOTOMETRICS**



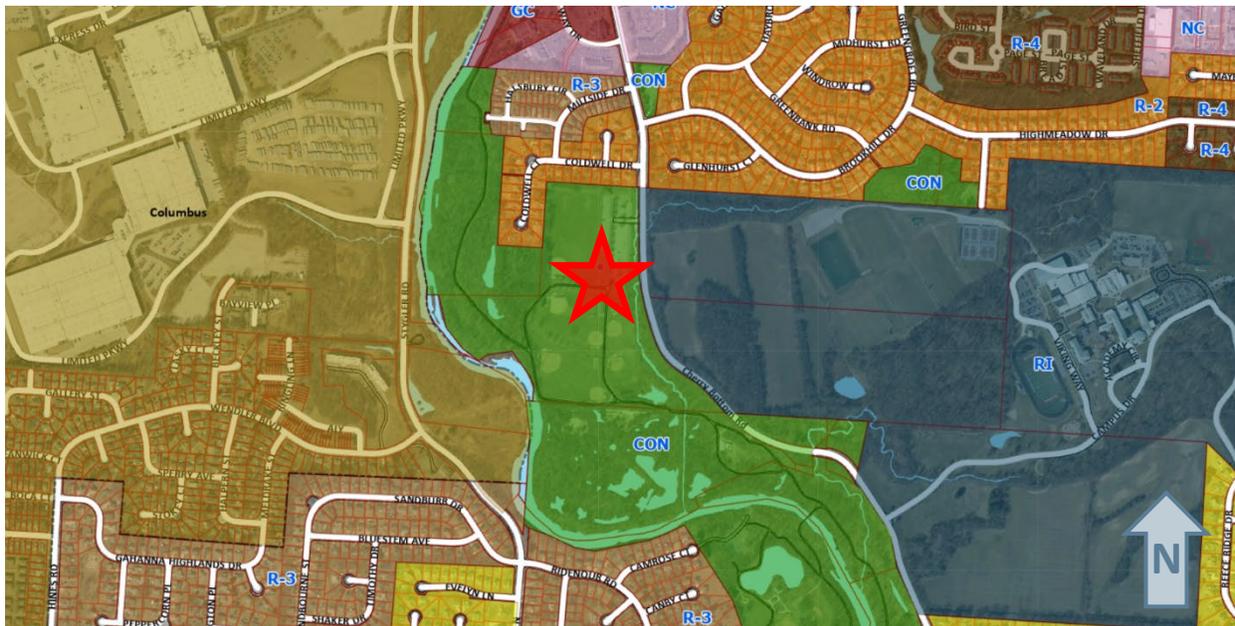
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PLANNING COMMISSION STAFF REPORT

Project Summary – Academy Park

- Meeting Date:** March 11, 2026
- Location:** 1201 Cherry Bottom Road
- Zoning:** Conservation (CON)
- Application Type(s):** Development Plan (DP), Variance (V)
- Staff Representative:** Maddie Capka, Planner II
- Recommendation:** Staff recommends approval of both applications.

Location Map:



Staff Review

Overview

The applicant is requesting approval of Major Development Plan and Variance applications to redevelop Academy Park. The project includes repaving the existing parking lot, adding an additional 47 spaces, adding new playground equipment, and constructing a new bathroom/storage building.

Building Design

The only new building included with these applications is a bathroom/storage building adjacent to the parking area. The building is 1,570 SF and 21.25 ft tall at its highest point. It is a modern style building with exterior materials of green fiber cement board, grey brick, a grey roof, and wood slats. The materials themselves meet code requirements, but green is not listed as an approved color in the zoning code. Planning Commission must approve the green color, which will occur if these applications are approved.

In the design guidelines chapter, the zoning code requires that all buildings have at least 25% transparent glass on the primary façade, and the proposed building does not have any windows. This is because its primary function is a public restroom.

Playground Area

Adjacent to the new building is a new playground area with new equipment. The existing playground will be removed. There is a system of new sidewalks around the parking lot leading to the new playground and building area. The basketball courts will remain.

Parking

As mentioned, the layout of the existing parking area will be unchanged but repaved. 47 additional spaces will be added onto the west side of the existing parking area. Since the existing parking layout is not being modified, EV charging and landscaping requirements only apply to the new parking area. They are installing 4 EV charging spaces next to the required ADA parking spaces.

The use on the site is considered “large scale outdoor recreation”, which requires one parking space per 400 SF of GFA. Since there is only one building on the site, this equates to only four parking spaces. The applicant is providing 345 spaces to meet their needs. There will also be five bicycle parking spaces, and the park currently has zero.

There will be new dumpsters near where the existing dumpsters are. A variance is required for the dumpsters’ location since it is to the front of the primary building. However, based on site layout and the location of the only building on the site, it is impossible to have the dumpsters to the rear of that building. The dumpsters are fully screened.

Landscaping

For the new parking area, the zoning code required 1,172 SF of parking lot landscaping, and the applicant is providing 4,045 SF of landscaping. 12 new parking lot trees are required, and they are

planting 27. The applicant is also planting an additional 110 caliper inches of trees to meet the requirements in Ch 914.

The zoning code also requires screening between the parking lot and the ROW. The applicant requested a variance to this requirement since there is existing dense vegetation between the parking lot and the ROW. Additionally, the parking lot is 4-6 ft lower in elevation than the ROW.

Review Criteria

Major Development Plan (MDP)

Planning Commission shall approve an application for a Major Development Plan if the following four conditions are met:

- 1) The proposed development meets the applicable development standards of this Zoning Ordinance.
- 2) The proposed development is in accord with appropriate plans for the area.
- 3) The proposed development would not have undesirable effects on the surrounding area.
- 4) The proposed development would be in keeping with the existing land use character and physical development potential of the area.

Variance (V)

The following variances have been requested:

1. 1107.01(g)(1) – City-Wide Design Standards
 - a. The ground floor of the primary façade must be at least 25% transparent glass.
 - b. The proposed building has 0% transparent glass on the primary façade.
2. 1109.01(e)(2) – Parking, Access, and Circulation
 - a. Parking areas must be screened from the ROW with a three-foot-high continuous screen.
 - b. No new screening is proposed, but there is existing dense foliage along the ROW.
3. 1109.02(e) – Setbacks and Structure Placement
 - a. Dumpsters must be to the rear of the principal structure.
 - b. The dumpsters are located to the front of the only structure.

Before granting a variance, Planning Commission shall find that:

- a) The variance is not likely to result in substantial change to the essential character of the neighborhood;
- b) The variance is not likely to result in damage to adjoining properties;
- c) The variance is not likely to affect the delivery of governmental services (e.g., water, sewer, garbage);
- d) The variance is not likely to result in environmental impacts greater than what is typical for other lots in the neighborhood;
- e) The variance is necessary for the economical use of the property, and such economical use of the property is not easily achieved through some method other than a variance;

- f) The variance is not likely to undermine the objectives of the land use plan;
- g) Whether the variance is substantial and is the minimum necessary to make possible the reasonable use of land or structures; and,
- h) The practical difficulty could be eliminated by some other method, even if the solution is less convenient or more costly to achieve.

Recommendation

Staff recommends approval of both the Major Development Plan and all three variance requests. The variances are all requested out of necessity, and they are minor in nature. Staff believes that granting these variances would not have any negative effects.

The site is in need of redevelopment, and the updated site is more aesthetically pleasing and accessible than the current site layout. The building materials themselves meet code requirements, and the green color is only 30% of the building. Staff believes that the green color is appropriate for a park and complements the building design.