



VARIANCE APPLICATION SUMMARY



File Number V-24-22
Property Address 175 JOHNSTOWN
 GAHANNA, OH 43230
Parcel ID 025-000890 025-000808 025-000855 025-000798
Zoning District R-4 - Multi-Unit Residential
Project/Business Name Avenue Partners Acquisitions
Applicant Paul Pardi pardi@avenuepartners.com
Description of Variance Request Multi-Unit Dwelling Density, Setbacks, Exterior Materials, Parking Space Dimensions, Electric Vehicle Charging

Requested Variances

Code Section	Code Title
1103.10	Multi-Unit Dwelling Density
1103.10	Building Setbacks
1107.01(d)(3)	Materials
1107.01(e)(2)	Colors
1109.01(a)(2)/(4)	Parking Setbacks
1109.01(d)	Parking Dimensions
1109.01(j)	Electric Vehicle Charging
1109.04(b)(5)	Dumpster Screening
1109.04(c)	Buffering and Screening
1109.02(d)	Dumpster Setbacks



AUTHORIZATION CONSENT FORM

If you are filling out more than one application for the same project & address, you may submit a copy of this form with each additional application.

As the owner or acting agent for the subject property, I have reviewed the application and hereby authorize the listed applicant to make decisions that may affect my property as it pertains to this application.

Jim Steadman
(property owner/acting agent signature)

JON STEADMAN
(printed name)
PRESIDENT - CREEKSIDE GREEN
CONDOMINIUM ASSOCIATION

11/19/2024
(date)

Paul Pardi
(applicant signature)

Paul Pardi
(printed name)


11/19/24
(date)



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_____	<u>Access Energy</u>	_____
(property owner/acting agent signature)	(printed name)	(date)
<u></u>	<u>Paul E. Pardi, authorized signatory</u>	<u>6/20/2024</u>
(applicant signature)	(printed name) for Avenue Partners Acquisitions, LLC	(date)

Per 4/23/2023 Commercial Real Estate Purchase Contract between Avenue Partners Acquisitions, LLC and Access Energy LLC: "Buyer has Seller's consent to execute and deliver any zoning or related applications necessary for the Buyer to obtain entitlements for the Buyer's intended use of the Property."



Johnstown Road Development Submission

List of Contiguous Property Owners & Their Mail Addressees

Nicewarner J R Trust (Jerry Nicewarner)
143 James Rd
Gahanna, OH 43230

Creekside Green Condominium Association
President of Condo Association is Jon Steadman @
158 Creekside Green Dr Ste#19
Gahanna, OH 43230
Nearest Condo Unit is Yolanda Ewing @
141 Creekside Green Unit #7
Gahanna, OH 43230

Club Properties Investments LLC
1207 Harrison Pond Dr
New Albany, OH 43054

November 18, 2024

Avenue Partners

100 W 3rd Ave, Suite 240R
Columbus, OH 43201

City of Gahanna

Department of Planning
200 S. Hamilton Road
Gahanna, Ohio 43230

Attn: Michael Blackford, Director

Re: **Avenue Partners**
Johnstown Road Apartments
Site Variances

Mr. Blackford,

As you are aware, Avenue Partners is planning a new 182-unit apartment community to be located on approximately 6.395 acres of property located at the southwest corner of W. Johnstown Road and James Road. The development team is excited for the opportunity to present their new apartment community to the City of Gahanna. The subject development is located in the Multi-Unit Residential (R-4) zoning district. Avenue Partners has a hardship and practical difficulty with compliance with the cited Zoning Code Sections due to the physical configuration of the site, two street frontages, adjoining uses varying from commercial/multifamily/single-family, and the preference of Avenue Partners and City of Gahanna for location of parking and reasonable development of the site. The proposed variances will not impair an adequate supply of light and air to adjacent properties, unreasonably increase congestion on public streets, increase the risk of fire, nor endanger the public health, safety or welfare of the inhabitants of the City of Gahanna. Avenue Partners requests variances from the following sections of the Gahanna Zoning Code:

Section 1103.10

- Multi-Unit Dwelling Density: 25 du/acre.
 - Proposed Dwelling Density: 28.46 du/acre.
 - The development team believes that the additional units are critical to the success of the project. The 3.46 higher unit/acre is a function of smaller average unit size than other apartments previously built in Gahanna.
- Front Building Setback: 25 ft.
 - Proposed Front Building setback: 10 ft.

- The buildings will be positioned at least 20' from the existing ROW along W. Johnstown and James Road. The proposed buildings will have great curb appeal and the setback variance proposed is in a similar context to a number of properties in the W. Johnstown Road corridor.
- Rear Building Setback: 25 ft.
 - Proposed Rear Building setback: 5 ft.
 - This 5' variance is driven by the garage buildings near the west property line. There is only a technical variance on the south property line, as Avenue Partners is purchasing a perpetual easement from the Creekside Green Condominium Association which extends an additional 35+ feet to the south for parking, an access drive, screening fence and landscaping.

Section 1107.01 (d) Materials:

- Primary façade materials do not include vinyl siding.
 - Proposed building materials will include vinyl siding and will be greater than 20%.
 - The vinyl siding will be positioned in good taste with a mix of other approved façade materials. The proposed Final Development Plan illustrates the building elevations, material selections and colors proposed for the project. The development team is requesting consideration to allow the use of vinyl as an approved building material for the project.

Section 1107.01 (e) Colors:

- Not more than four colors allowed.
 - Elevation includes 6 exterior colors: (1) Brick is Beige/Grey ("Greystone"), (2) Corrugated Metal is Silver, (3) Board & Batten Vinyl is Beige-ish (Sterling), (4) Dutch Lap Vinyl Siding is Grey Slate ("Ironstone"), (5) Hardi-Panel Siding (connected to window element) and Windows are White, and (6) Gutters, Downspouts, and Railings are Black.

Section 1109.01:

- Front Parking Setback: 25 ft.
 - Proposed Front Parking setback: 20 ft.
 - All of the proposed parking will be located at or behind buildings located along W. Johnstown Road and James Road.
- Rear Parking Setback: 10 ft.
 - Proposed Rear Parking Setback: 0 ft.
 - This setback is 5' to the west and would be between 7' to 10' to the south; however, the south parking setback is technically 0' due to Avenue Partners purchasing a perpetual easement from the condo association for parking, an access drive, screening fence and landscaping. The site plan has been coordinated with the condo association and the south property line will be screened well with landscaping and fencing.
- Parking Space Dimensions: 9' x 19'
 - Proposed Parking Space Dimension: 9' x 18'

- The development team is respectfully requesting a reduction of the depth of a parking space from 19' to 18'.
- The project is also proposing compact parking spaces along the south side of the project where there are eight (8) parking spaces with 8.5' widths and twenty-three (23) parking spaces with a reduced depth of sixteen feet (16').
- Electric Vehicle Charging: 1 EV space per 25 parking spaces
 - Code required EV Spaces: 10 EV Spaces
 - Proposed EV Spaces: 7 EV Spaces
 - The development team will be providing electric infrastructure to have the ability to expand the EV charging spaces in the future. The development team would rather grow with EV technology over time rather than investing in equipment that may be obsolete or found to be inefficient in 5-10 years.
- Dumpster Setback: 10 ft.
 - Proposed Dumpster Setback: 5 ft.
 - The proposed dumpster is located on the west side of the parcel and adjacent to the commercial development.

1109.04(b) – Dumpsters:

- All dumpsters and other refuse storage areas shall meet the screening requirements of this division up to a maximum height of eight feet.
 - The proposed height of the screening for the community refuse compactor is ten (10) feet.
 - The refuse compactor and related screening are located along the west side of the property where it is sandwiched between the water meter building (13'-4 7/8" tall at the midpoint of the roof) and a garage building (12'-6 7/8" tall at the midpoint of the roof).

1109.04 (c)– Buffers and Screening

- Buffer A (adjacent to multifamily) = ten ft. wide buffer easement along shared boundary which consists of one tree per 40 linear ft. of boundary and a continuous six ft. high screen.
 - The proposed development will have a minimum buffer of five feet (5'), the majority of the buffer will be wider than this.

Please review and let us know if there are any questions or concerns.

Respectfully submitted,
Paul E. Pardi of Avenue Partners



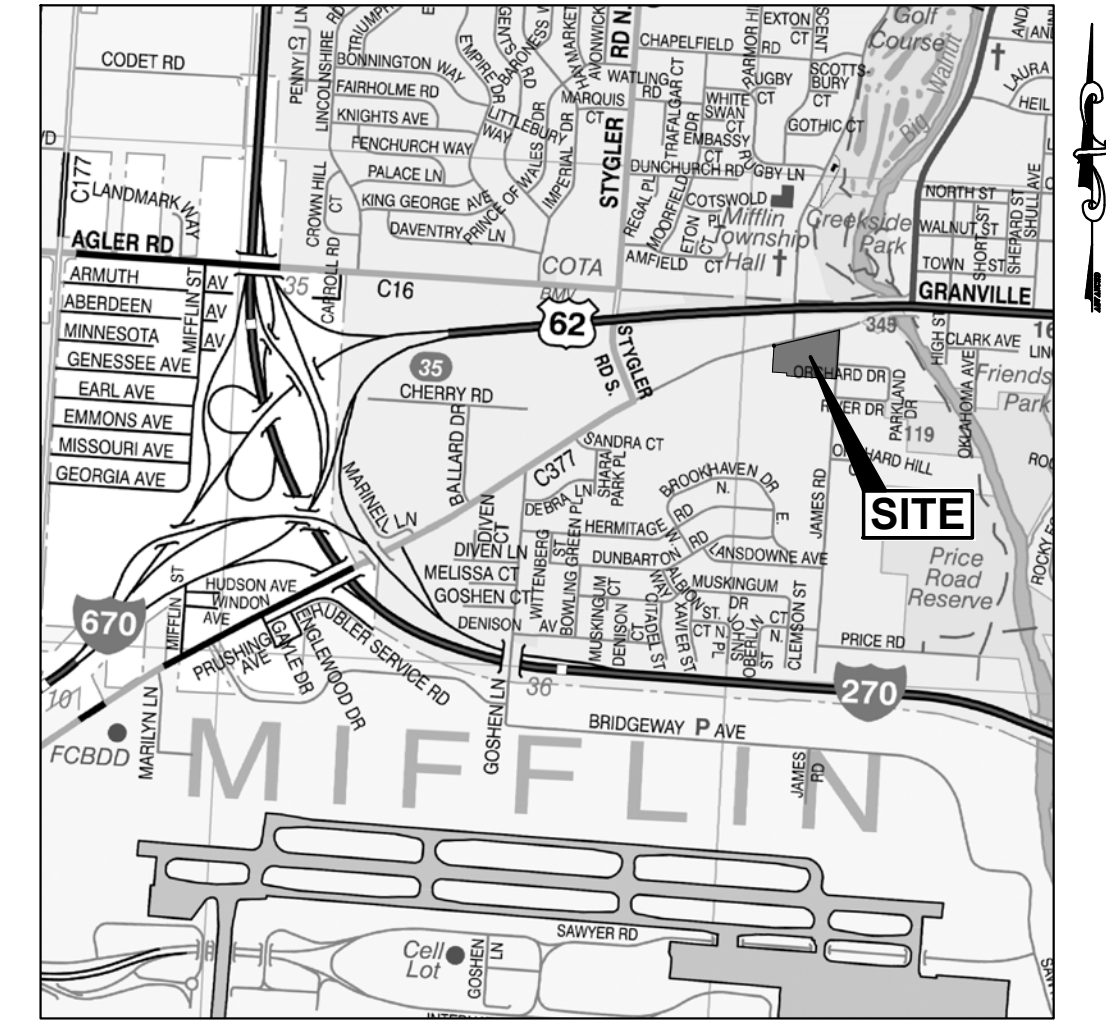
Johnstown Road Apartments

FINAL DEVELOPMENT PLAN

FOR

JOHNSTOWN ROAD APARTMENTS

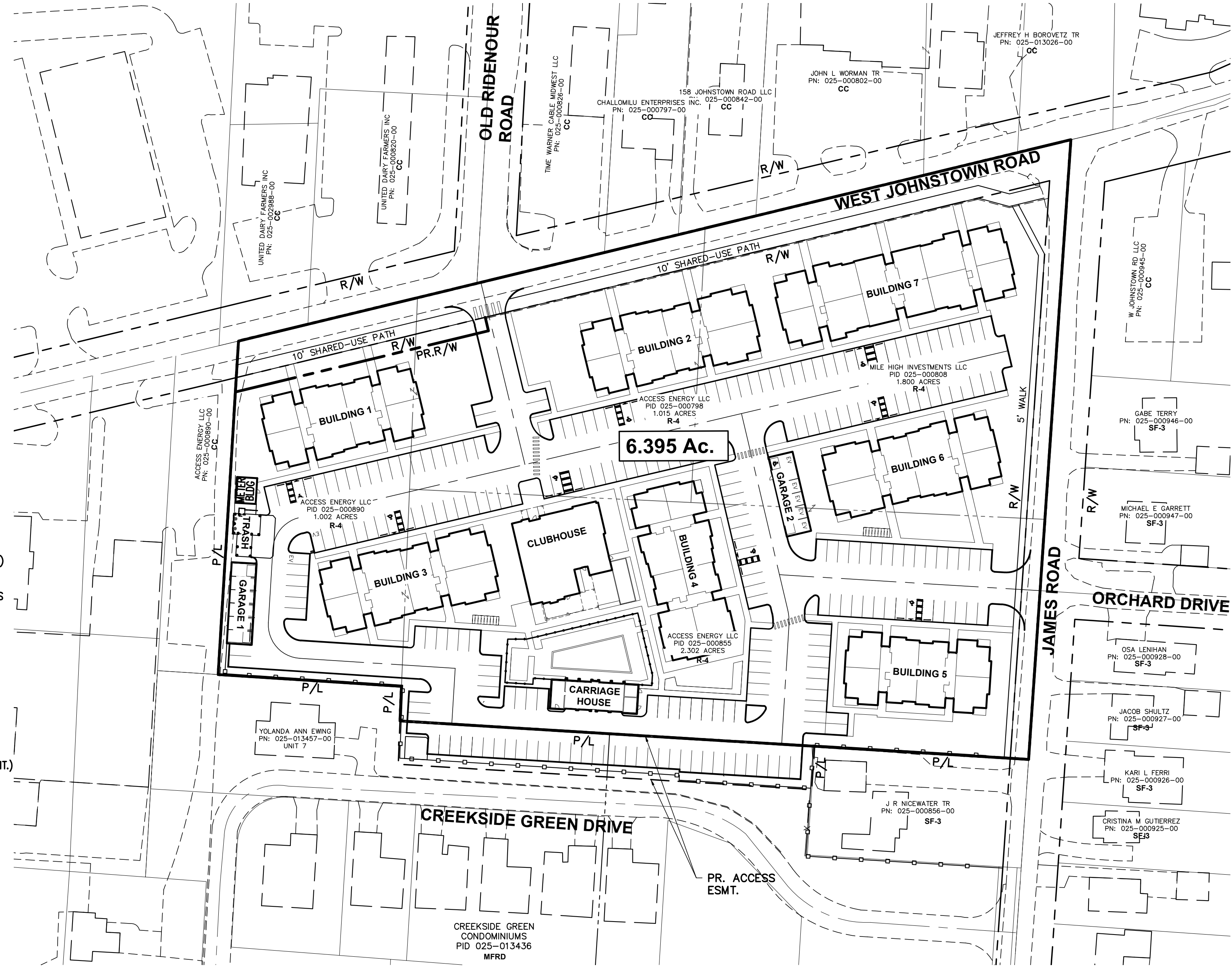
2024



LOCATION MAP
SCALE: 1" = 2,000'

SITE STATISTICS

PROPOSED.....	MULTI-FAMILY RESIDENTIAL										
ADDRESS.....	JOHNSTOWN ROAD										
PARCEL #.....	025-000855, 025-000808 025-000798, 025-000890, 025-013457, 025-013436										
ZONING.....	R-4										
TOTAL SITE AREA.....	6.395 ACRES (278,567 SF)										
MAXIMUM LOT COVERAGE BY BUILDINGS (75%).....	208,926 SF										
BUILDING AREA.....	62,934 SF (22.6%)										
PAVEMENT AREA.....	88,450 SF										
DUMPSTER AREA.....	579 SF										
SIDEWALK AREA.....	26,436 SF										
LOT COVERAGE AREA.....	178,399 SF (64.0%)										
SHARED-USE PATH AREA.....	6,782 SF										
JAMES ROAD SIDEWALK AREA.....	2,315 SF										
MAX BUILDING HEIGHT.....	50 FEET										
PROPOSED BUILDING HEIGHT.....	42 FEET										
1 BEDROOM UNITS.....	116 UNITS										
2 BEDROOM UNITS.....	66 UNITS										
TOTAL UNITS.....	182 UNITS										
SITE DENSITY.....	182/6.395 = 28.46 DU/AC										
REQUIRED PARKING (1 PER 1BR UNIT+2 PER 2BR UNIT).....	248 SPACES										
SURFACE PARKING.....	250 SPACES										
GARAGE PARKING.....	14 SPACES										
TOTAL PARKING.....	264 SPACES										
REQUIRED ADA SPACES.....	7 SPACES (INCLUDING 2 VAN SPACES)										
PROVIDED ADA SPACES.....	9 SPACES (8 SURFACE, 1 GARAGE) INCLUDING 2 VAN ACCESSIBLE SPACES										
REQUIRED EV SPACES (1 PER 25).....	10 SPACES										
PROVIDED EV SPACES.....	7 SPACES (5 INSIDE GARAGE UNITS)										
REQUIRED SETBACK, SIDE & REAR YARD.....	<table border="0"> <tr> <td>BLDG</td> <td>PVMT</td> </tr> <tr> <td>NORTH: 25'</td> <td>25'</td> </tr> <tr> <td>EAST: 25'</td> <td>25'</td> </tr> <tr> <td>SOUTH: 25'</td> <td>10'</td> </tr> <tr> <td>WEST: 25'</td> <td>10'</td> </tr> </table>	BLDG	PVMT	NORTH: 25'	25'	EAST: 25'	25'	SOUTH: 25'	10'	WEST: 25'	10'
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NORTH: 25'	25'										
EAST: 25'	25'										
SOUTH: 25'	10'										
WEST: 25'	10'										
PROVIDED BUILDING & PARKING SETBACK.....	<table border="0"> <tr> <td>BLDG</td> <td>PVMT</td> </tr> <tr> <td>NORTH: 10'</td> <td>25'</td> </tr> <tr> <td>EAST: 20'</td> <td>20'</td> </tr> <tr> <td>SOUTH: 15' (25' INCL. ESMT.)</td> <td>0' (7' INCL. ESMT.)</td> </tr> <tr> <td>WEST: 5'</td> <td>5'</td> </tr> </table>	BLDG	PVMT	NORTH: 10'	25'	EAST: 20'	20'	SOUTH: 15' (25' INCL. ESMT.)	0' (7' INCL. ESMT.)	WEST: 5'	5'
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NORTH: 10'	25'										
EAST: 20'	20'										
SOUTH: 15' (25' INCL. ESMT.)	0' (7' INCL. ESMT.)										
WEST: 5'	5'										
SEE LANDSCAPE PLANS FOR INTERNAL LANDSCAPE REQUIREMENTS											



INDEX MAP
SCALE: 1" = 100'

DEVELOPER
AVENUE PARTNERS
AVENUE
PARTNERS
100 W THIRD AVE, SUITE 240R
COLUMBUS, OH 43201
CONTACT: RYAN SZYMANSKI
PHONE: 614.843.3388
EMAIL: SZYMANSKI@AVENUEPARTNERS.COM

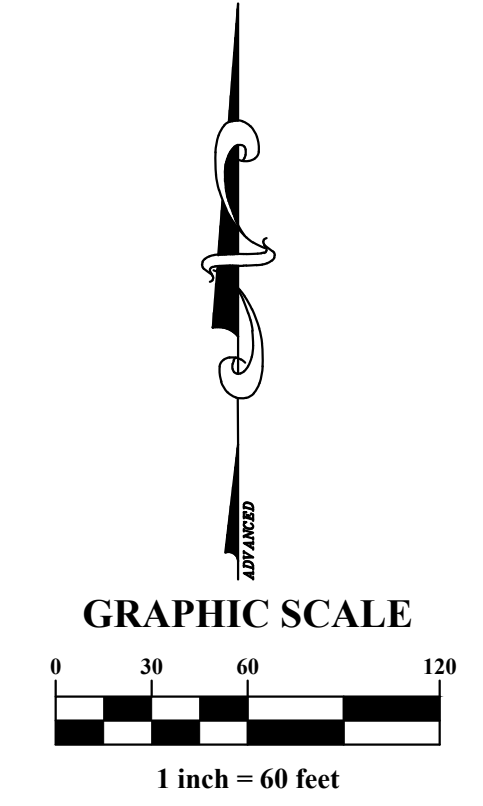
ARCHITECT
SULLIVAN BRUCK ARCHITECTS
SULLIVAN BRUCK
ARCHITECTS
8 SOUTH GRANT AVE.
COLUMBUS, OH 43201
CONTACT: JON STEPHENS
PHONE: 614.464.9800
EMAIL: JONSSBARCH.COM

ENGINEER/SURVEYOR
ADVANCED CIVIL DESIGN, INC.
ADVANCED
CIVIL DESIGN
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fx 614.428.7755
781 SCIENCE BLVD., SUITE 100
GAHANNA, OH 43230
CONTACT: THOMAS M. WARNER
PHONE: 614.428.7750
EMAIL: TWARNER@ADVANCEDCIVILDISEGN.COM

LANDSCAPE ARCHITECT
POD DESIGN
POD design
100 NORTHWOODS BLVD.
COLUMBUS, OH 43235
CONTACT: CHRISTIAN HASENFRAZT
PHONE: 614.360.3058
EMAIL: CHASENFRAZT@PODDESIGN.COM

SHEET INDEX

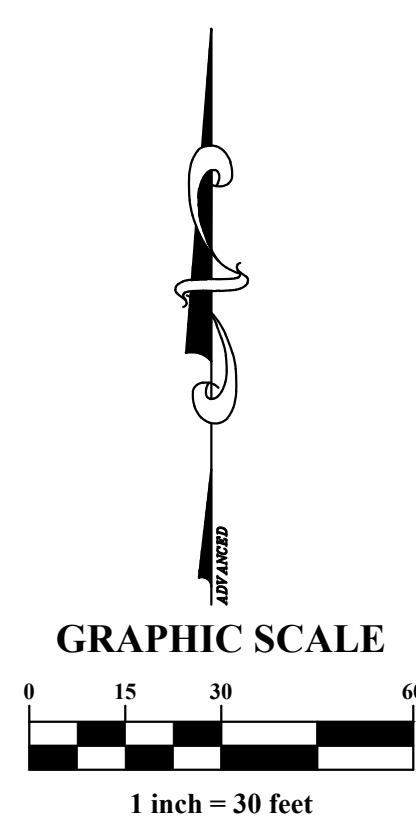
TITLE SHEET	1
EXISTING CONDITIONS	2
SITE PLAN	3
UTILITY PLAN	4



CITY OF GAHANNA, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
JOHNSTOWN ROAD APARTMENTS
TITLE SHEET
PLAN PREPARED BY:
ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755
SCALE: 1"=60'
DATE: 10/16/2024
SHEET 1 / 4

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CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

FINAL DEVELOPMENT PLAN
FOR
JOHNSTOWN ROAD APARTMENTS
EXISTING CONDITIONS

PLAN PREPARED BY:



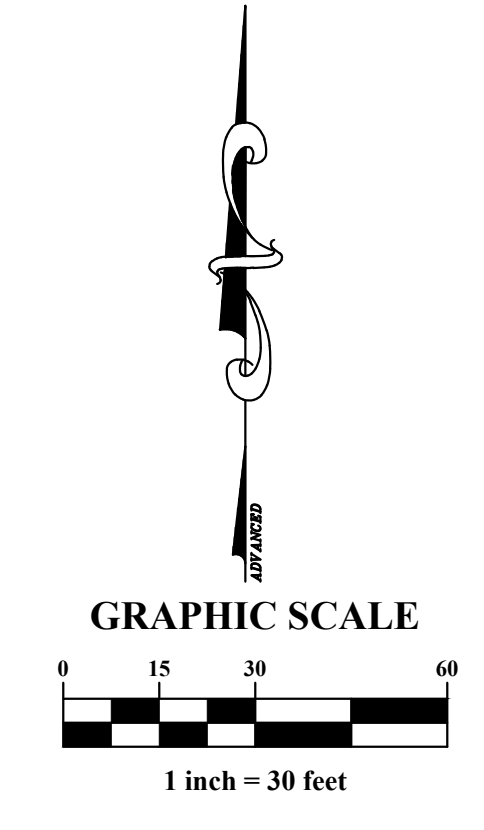
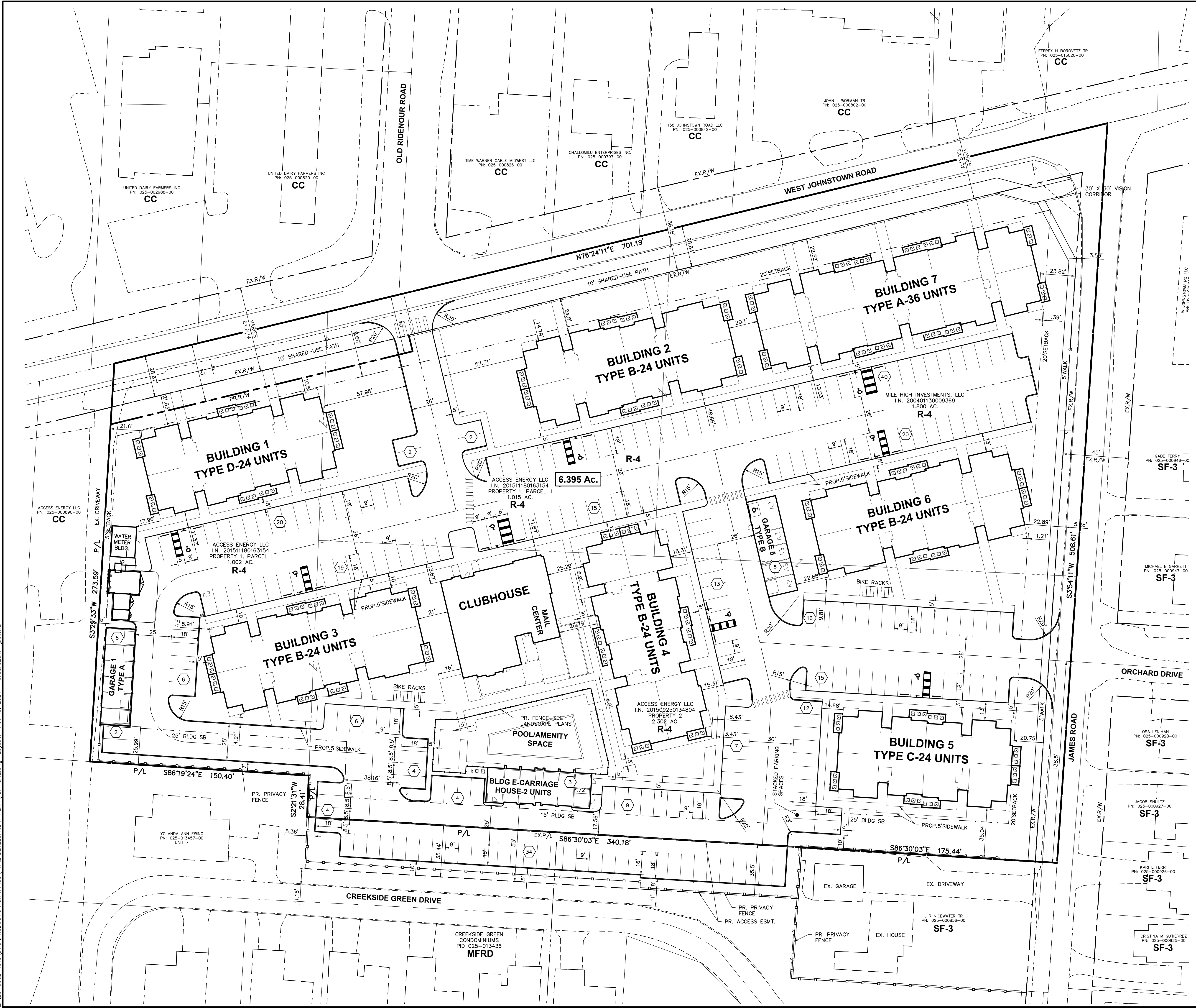
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

SCALE: 1"=30'
DATE: 10/16/2024

SHEET 2 / 4

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CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

FINAL DEVELOPMENT PLAN
FOR
JOHNSTOWN ROAD APARTMENTS
SITE PLAN

PLAN PREPARED BY:

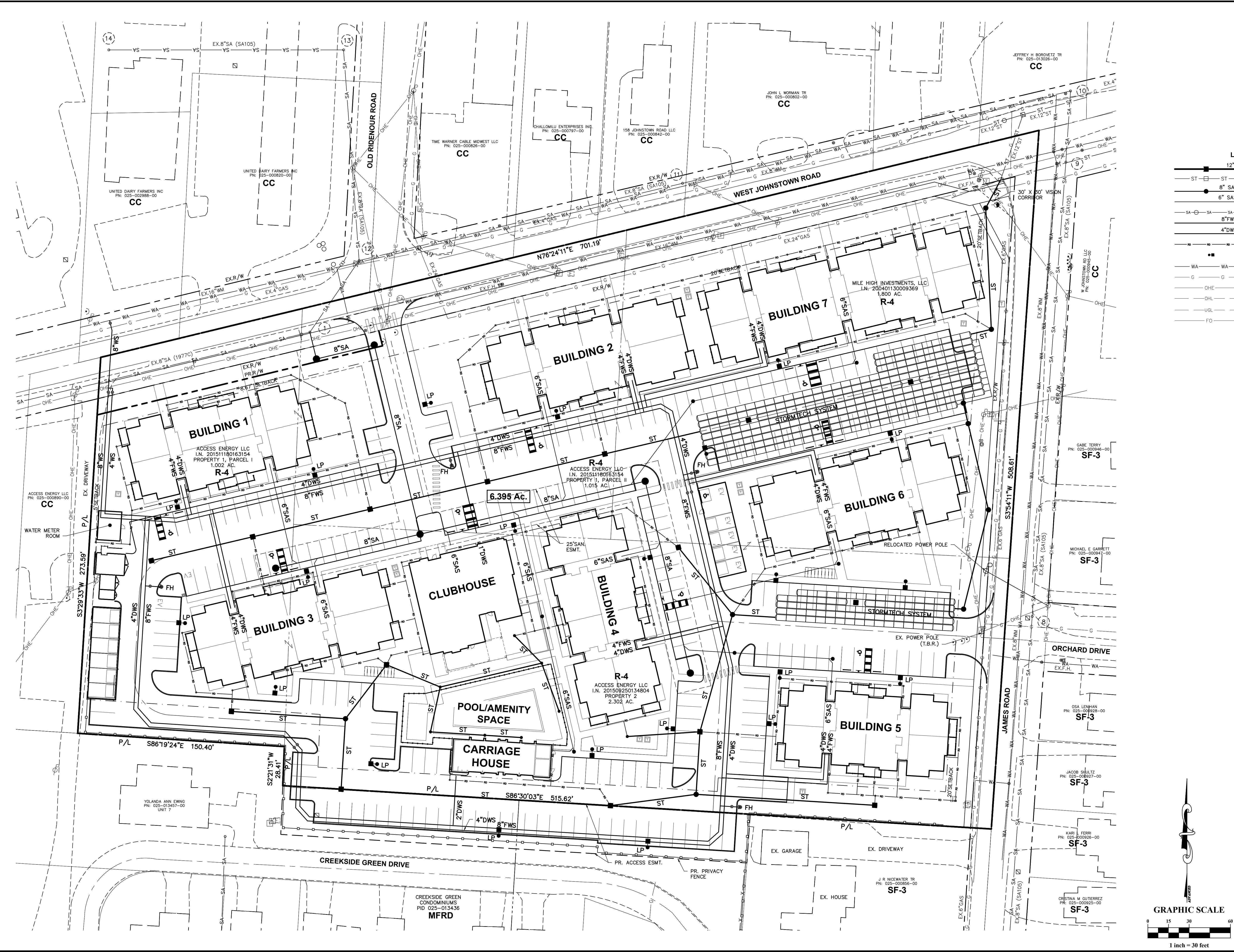


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fax 614.428.7755

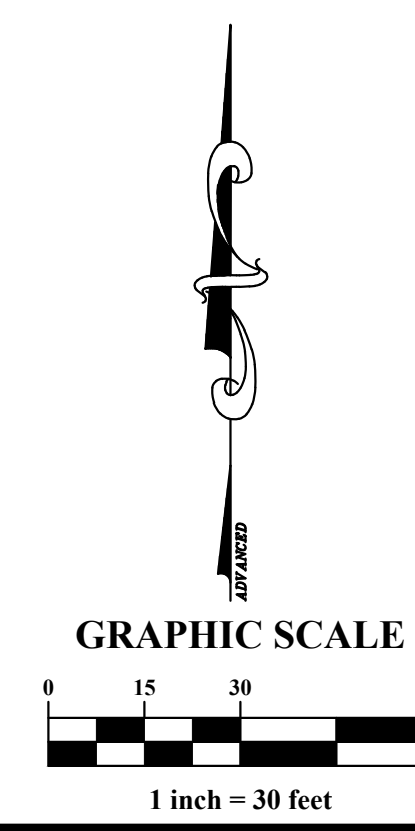
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SHEET 3 / 4

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- LEGEND**
- 12" ST PROPOSED STORM SEWER
 - ST EXISTING STORM SEWER
 - 8" SAN PROPOSED STORM SEWER
 - 6" SAS PROPOSED SANITARY SERVICE
 - SA EXISTING SANITARY SEWER
 - 8" FWS PROPOSED FIRE WATER SERVICE
 - 4" DWS PROPOSED DOMESTIC WATER SERVICE
 - PROPOSED ROOF DRAIN
 - PROPOSED LIGHT POLE
 - WA EXISTING WATER MAIN
 - G EXISTING GAS MAIN
 - OHE EXISTING OVERHEAD ELECTRIC
 - OHL EXISTING OVERHEAD LIGHTING
 - UGL EXISTING UNDERGROUND ELECTRIC
 - FO EXISTING FIBER



CITY OF GAHANNA, FRANKLIN COUNTY, OHIO

**FINAL DEVELOPMENT PLAN
FOR
JOHNSTOWN ROAD APARTMENTS
UTILITY PLAN**

PLAN PREPARED BY:

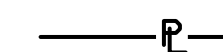

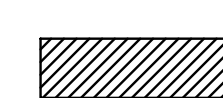



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ph 614.428.7750
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SCALE: 1"=30'
DATE: 10/16/2024

SHEET 4 / 4

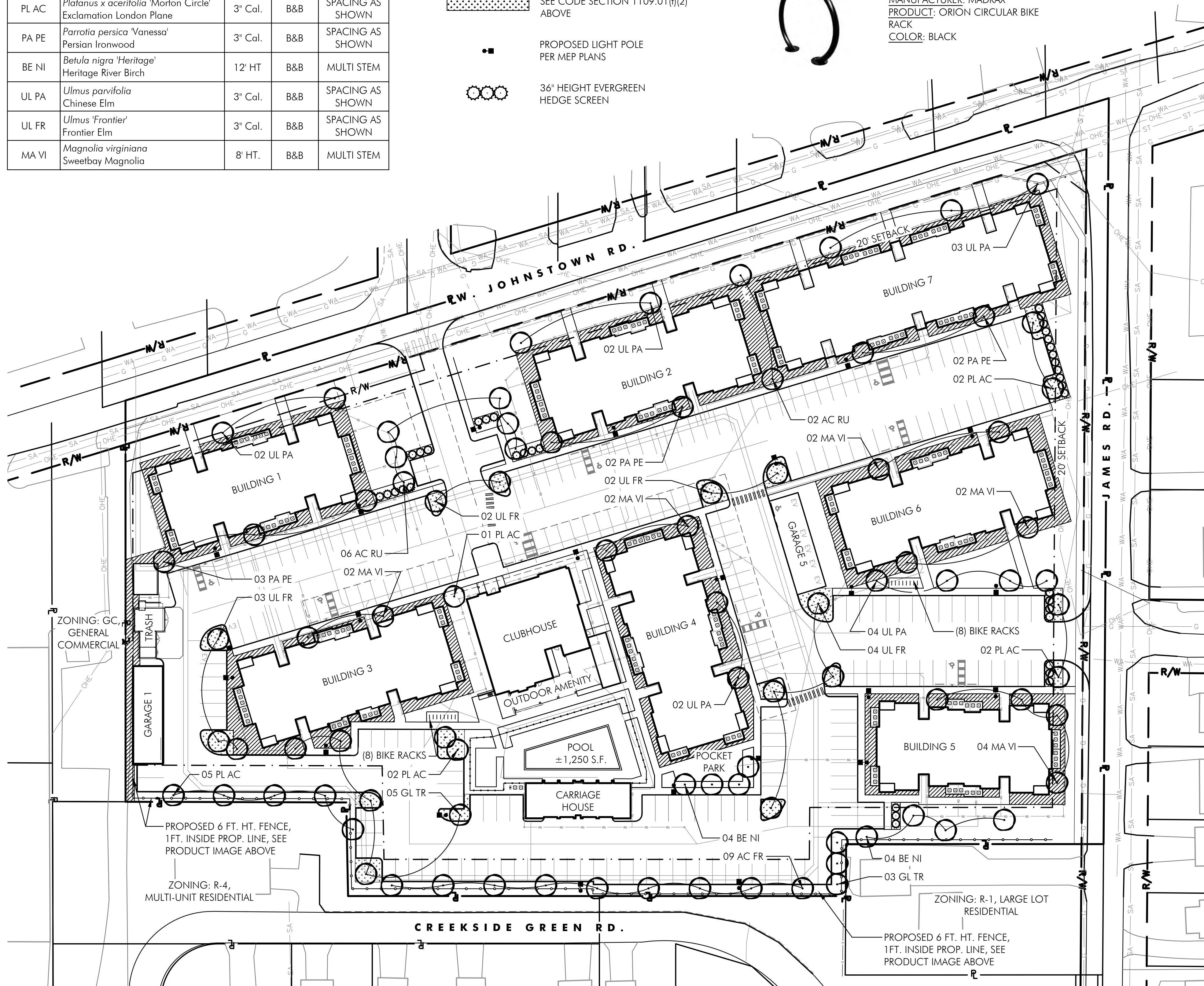
PLANT LIST				
SYMBOL	BOTANICAL & COMMON NAMES	SIZE	COND.	REMARKS
DECIDUOUS TREES				
AC RU	<i>Acer rubrum</i> 'Brandywine' Brandywine Red Maple	3" Cal.	B&B	SPACING AS SHOWN
AC FR	<i>Acer x freemanii</i> 'Armstrong' Armstrong Maple	3" Cal.	B&B	SPACING AS SHOWN
GL TR	<i>Gleditsia triacanthos</i> f.i. 'Skycole' Skyline Honeylocust	3" Cal.	B&B	SPACING AS SHOWN
PL AC	<i>Platanus x acerifolia</i> 'Morton Circle' Exclamation London Plane	3" Cal.	B&B	SPACING AS SHOWN
PA PE	<i>Parrotia persica</i> 'Vanessa' Persian Ironwood	3" Cal.	B&B	SPACING AS SHOWN
BE NI	<i>Betula nigra</i> 'Heritage' Heritage River Birch	12' HT	B&B	MULTI STEM
UL PA	<i>Ulmus parvifolia</i> Chinese Elm	3" Cal.	B&B	SPACING AS SHOWN
UL FR	<i>Ulmus</i> 'Frontier' Frontier Elm	3" Cal.	B&B	SPACING AS SHOWN
MA VI	<i>Magnolia virginiana</i> Sweetbay Magnolia	8' HT.	B&B	MULTI STEM

LEGEND

-  PROPERTY LINE
-  RIGHT-OF-WAY
-  PROPOSED PLANT BED (20,234 SQ. FT.)
-  PARKING AREA PLANT BED (SEE CODE SECTION 1109.01(f)(2) ABOVE)
-  PROPOSED LIGHT POLE PER MEP PLANS
-  36" HEIGHT EVERGREEN HEDGE SCREEN

PRODUCT LIST

-  **VINYL FENCE**
MANUFACTURER: BUFFTECH BY BARRETTE
OUTDOOR LIVING
PRODUCT: CHESTERFIELD VINYL FENCE,
6FT. HT.
COLOR: WHITE
-  **BIKE RACK**
MANUFACTURER: MADRAX
PRODUCT: ORION CIRCULAR BIKE RACK
COLOR: BLACK



CODE OF ORDINANCES - LANDSCAPING

MINIMUM TREES REQUIRED - 914.05(a)(1) ALL PROJECTS SHALL PLANT A MINIMUM OF ONE (1) SHADE TREE CALIPER INCH PER 1,000 SQ. FT. OF IMPERVIOUS SURFACE. FOR PROJECTS IN WHICH DEVELOPMENT ALREADY EXISTS, TREE CALIPER INCHES REQUIRED SHALL BE BASED ON THE AMOUNT OF NEW IMPERVIOUS SURFACE.	
REQUIRED	PROVIDED
PROPOSED SITE IMPERVIOUS = 180,480 SQ. FT. EXISTING SITE IMPERVIOUS = 118,540 SQ. FT. NEW IMPERVIOUS = 61,940 SQ. FT. 61,940 SQ. FT. / 1,000 = 62 CALIPER INCHES REQ.	29 TREES @ 3 CALIPER IN. EACH = 87 CALIPER IN.
PARKING AREA SCREENING - 1109.01(e)(2) PARKING AREAS SHALL BE SCREENED FROM PUBLIC R.O.W. BY A CONTINUOUS THREE (3) FT. HIGH SCREEN OF EVERGREEN HEDGES, FENCES OR WALLS	
REQUIRED	PROVIDED
PARKING LOT SCREENING ADJACENT TO R.O.W.	EVERGREEN HEDGES ALONG PARKING AREAS ADJACENT TO R.O.W. (SEE PLAN)
PARKING AREA LANDSCAPING - 1109.01(f)(2) FIVE PERCENT OF THE TOTAL PARKING AREA IS REQUIRED TO BE LANDSCAPED.	
REQUIRED	PROVIDED
88,534 SQ. FT. PARKING PAVEMENT x 5% = 4,427 SQ. FT. INTERIOR LANDSCAPING REQUIRED	5,148 SQ. FT. INTERIOR LANDSCAPING
PARKING AREA LANDSCAPING - 1109.01(f)(5) ONE (1) TREE PER 100 SQ. FT. OF REQUIRED LANDSCAPED AREA IS REQUIRED.	
REQUIRED	PROVIDED
4,427 SQ. FT. OF REQUIRED LANDSCAPING (PER SECTION 1109.01(f)(2) / 100 = 44 TREES REQ.	44 TREES PROVIDED IN PARKING LOT ISLANDS/PENINSULAS & OPEN SPACE ADJACENT TO PARKING LOT
BICYCLE PARKING - 1109.01(l) BICYCLE PARKING SPACES SHALL BE PROVIDED AT A RATE OF ONE (1) PARKING SPACE PER 5,000 SQ. FT. OF GFA. BICYCLE PARKING SPACES SHALL BE LOCATED NOT MORE THAN 200 FT. FROM THE MAIN ENTRYWAY INTO THE PRINCIPLE STRUCTURE.	
REQUIRED	PROVIDED
TOTAL GROSS FLOOR AREA (GFA) OF BUILDINGS #1-7 (REFER TO ARCHITECTURE PLANS) = 161,940 SQ. FT. TOTAL GFA / 5,000 = 32 BICYCLE PARKING SPACES REQUIRED	16 BIKE RACKS PROVIDED x (2) PARKING SPACES PER RACK = 32 PARKING SPACES
DUMPSTER SCREENING - 1109.04(b)(5) ALL DUMPSTERS & REFUSE AREAS SHALL BE SCREENED WITH AN 8 FT. MAX. HEIGHT WALL, FENCE, MOUND, LANDSCAPING OR COMBINATION THEREOF.	
REQUIRED	PROVIDED
8 FT. MAX. HEIGHT SCREEN AROUND DUMPSTER	SCREEN WALL/FENCE BY OTHERS
PROPERTY BUFFERS & SCREENING - 1109.04(c) PARKING AREAS SHALL BE SCREENED FROM PUBLIC R.O.W. BY A CONTINUOUS THREE (3) FT. HIGH SCREEN OF EVERGREEN HEDGES	
REQUIRED	PROVIDED
ADJOINING USE: ONE-UNIT DWELLING (R-1); PROPERTY ADJACENT TO SOUTHEAST BOUNDARY REQUIRED: BUFFER TYPE A: 10 FT. WIDE BUFFER EASEMENT ALONG SHARED BOUNDARY + ONE (1) TREE PER 40 LF + A SIX (6) FT. HIGH CONTINUOUS SCREEN	A 10 FT. WIDE BUFFER EASEMENT ALONG PARKING SPACES AT SOUTHEAST BOUNDARY + 38 LF. OF PARKING SPACES / 40 = 1 TREE REQUIRED (1 PROVIDED) + SIX (6) FT. HIGH FENCE/SCREEN
ADJOINING USE: MULTI-UNIT RESIDENTIAL (R-4); PROPERTY ADJACENT TO SOUTH/SOUTHWEST BOUNDARY REQUIRED: BUFFER TYPE A: 10 FT. WIDE BUFFER EASEMENT ALONG SHARED BOUNDARY + ONE (1) TREE PER 40 LF + A SIX (6) FT. HIGH CONTINUOUS SCREEN	VARIANCE NEEDED, 7 FT. BUFFER PROVIDED INSTEAD OF 10 FT. + ±550 LF. PROP. LINE / 40 = 14 TREES REQUIRED (14 PROVIDED) + SIX (6) FT. HIGH FENCE/SCREEN
ADJOINING USE: GENERAL COMMERCIAL (GC); PROPERTY ADJACENT TO WEST BOUNDARY REQUIRED: CONTINUOUS 3 FT. HIGH SCREEN OF OPAQUE EVERGREEN HEDGE, FENCE OR WALL (PER SECTION 1109.01(e))	COMBINATION OF GARAGE BUILDINGS, THE DUMPSTER ENCLOSURE AND A SIX (6) FT. HIGH FENCE ALONG WEST PROPERTY LINE



Columbus
100 Northwoods Blvd, Ste A
Columbus, Ohio 45235
p 614.255.3399

Cincinnati
20 Village Square, Floor 3
Cincinnati, Ohio 45246
p 614.360.3066

PODdesign.net

Project Name

Johnstown Road Apartments



Prepared For

Avenue Partners
100 W. Third Ave, Suite 240 R
Columbus, OH, 43201

Project Info

Project # 24030
Date 10/16/2024
By BD, CH
Scale As Shown

Revisions

Sheet Title

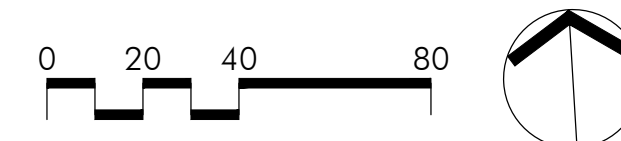
Zoning Plan

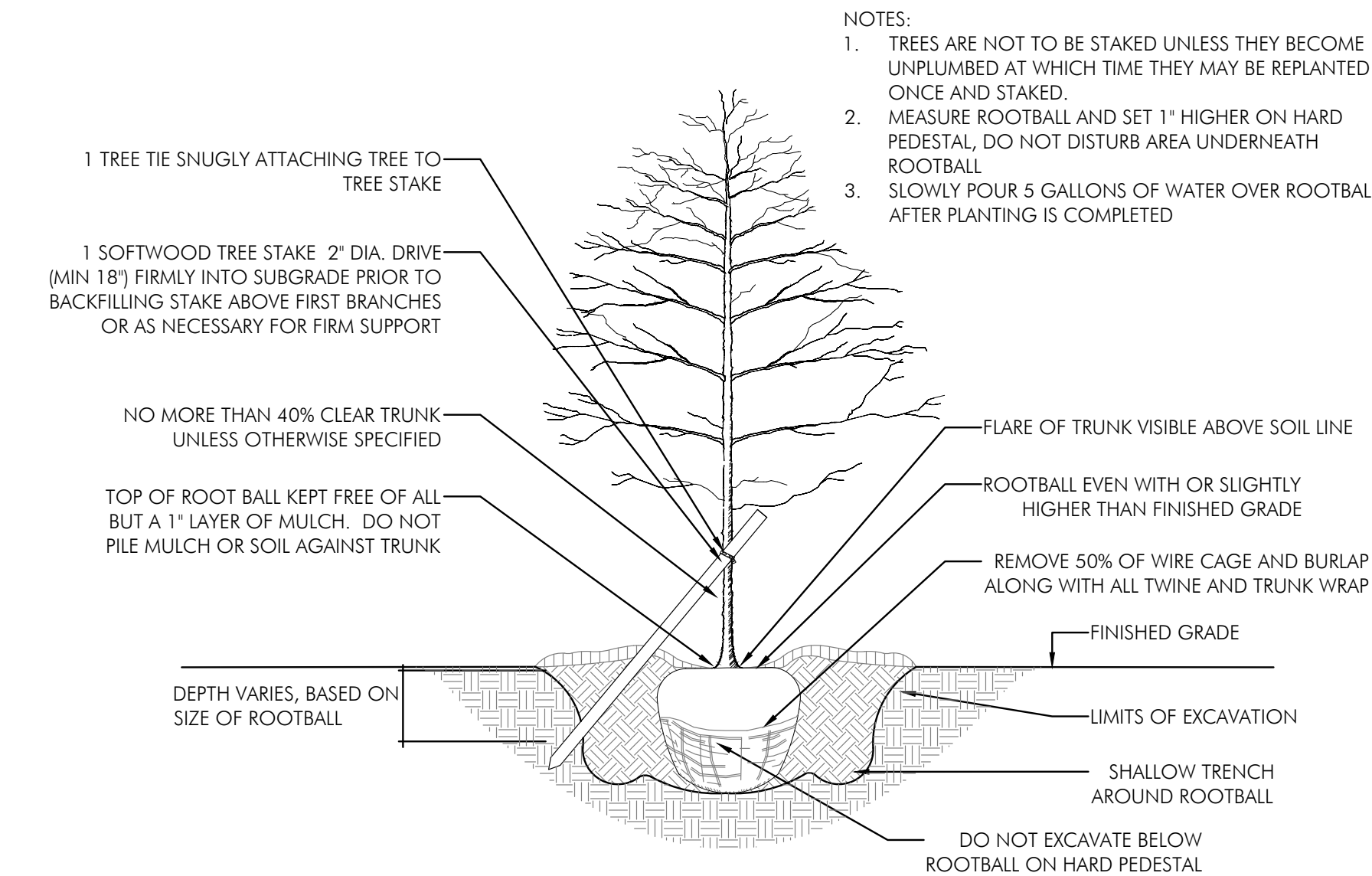


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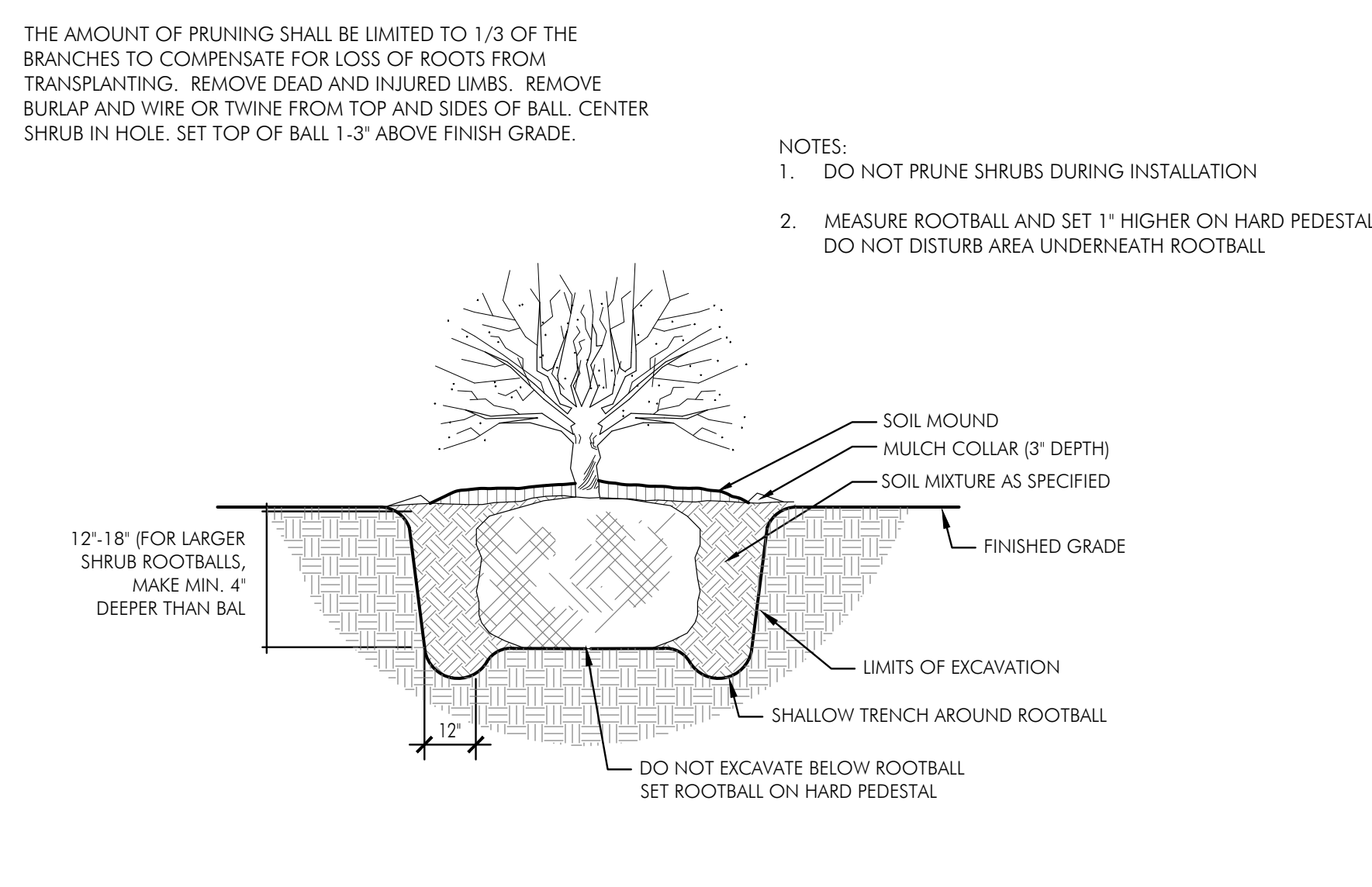
L1.0

Zoning Plan
SCALE: 1" = 40'-0"

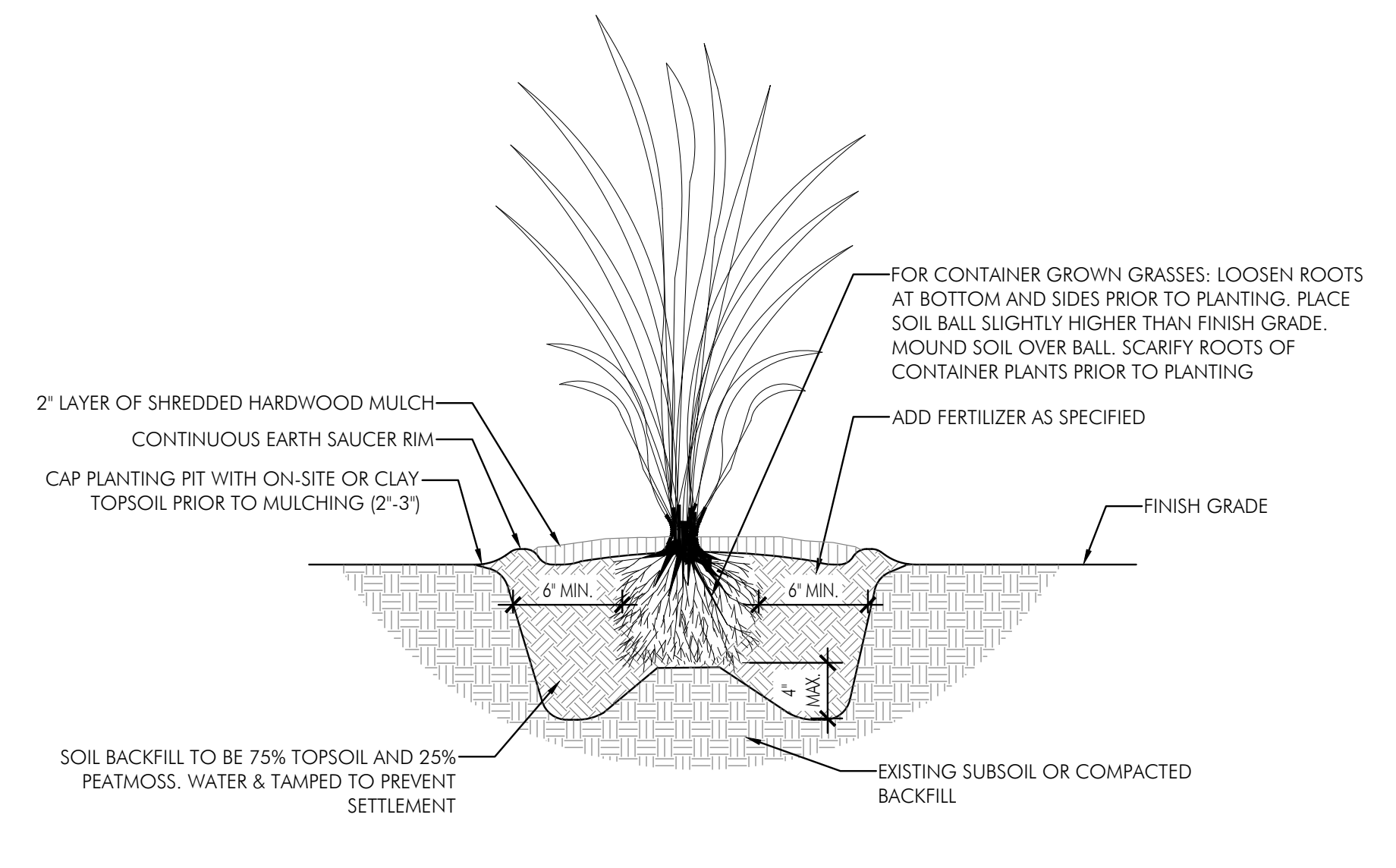




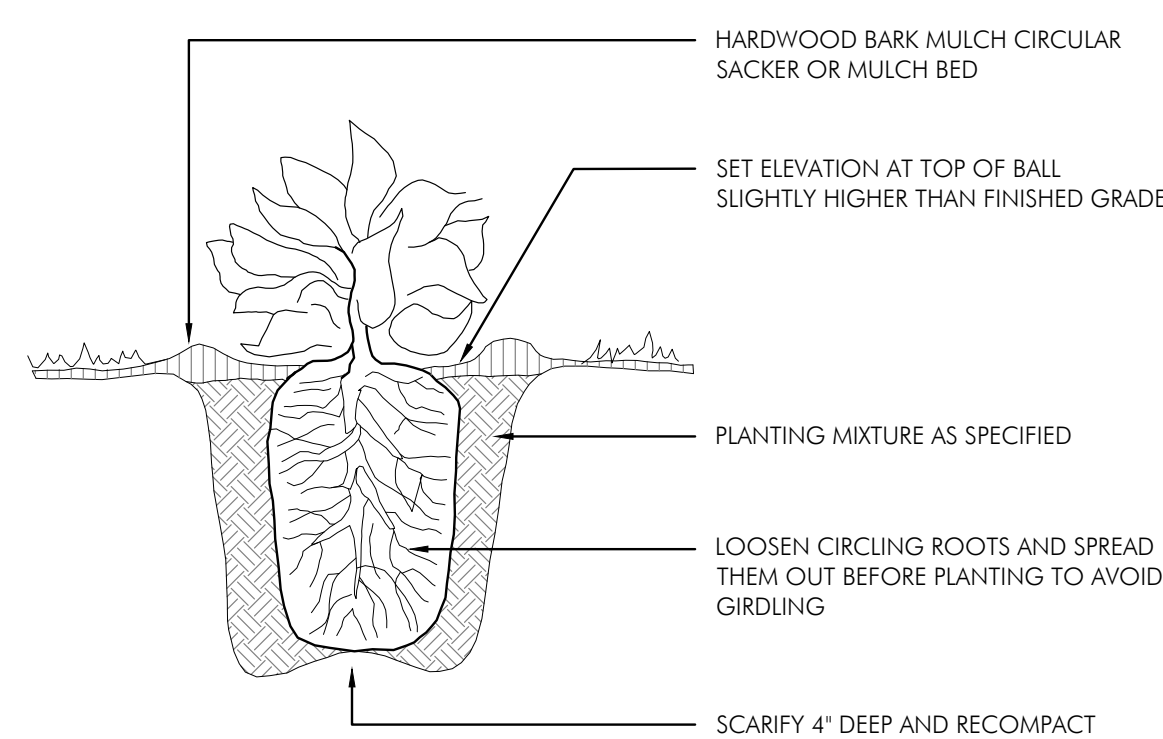
1 Tree Planting
N.T.S.



2 Shrub Planting
N.T.S.



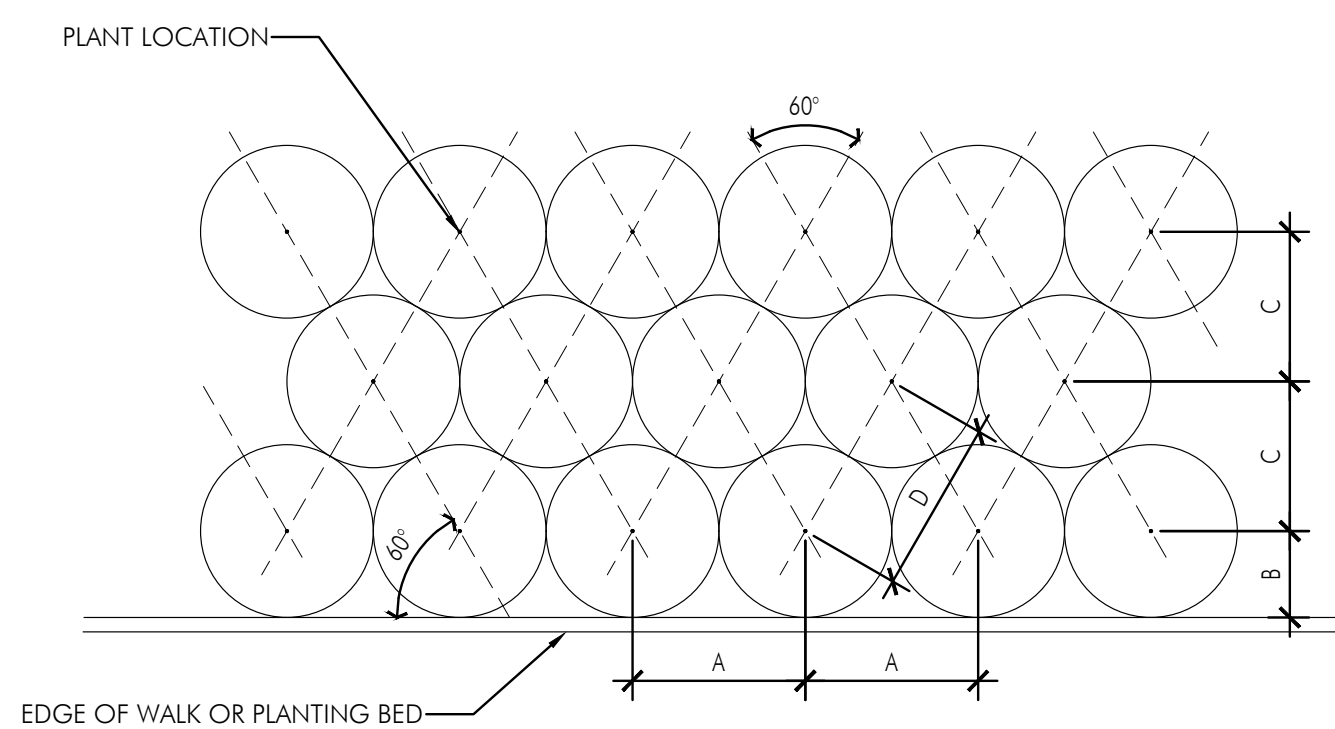
3 Ornamental Grass Planting
1 1/2" = 1'-0"



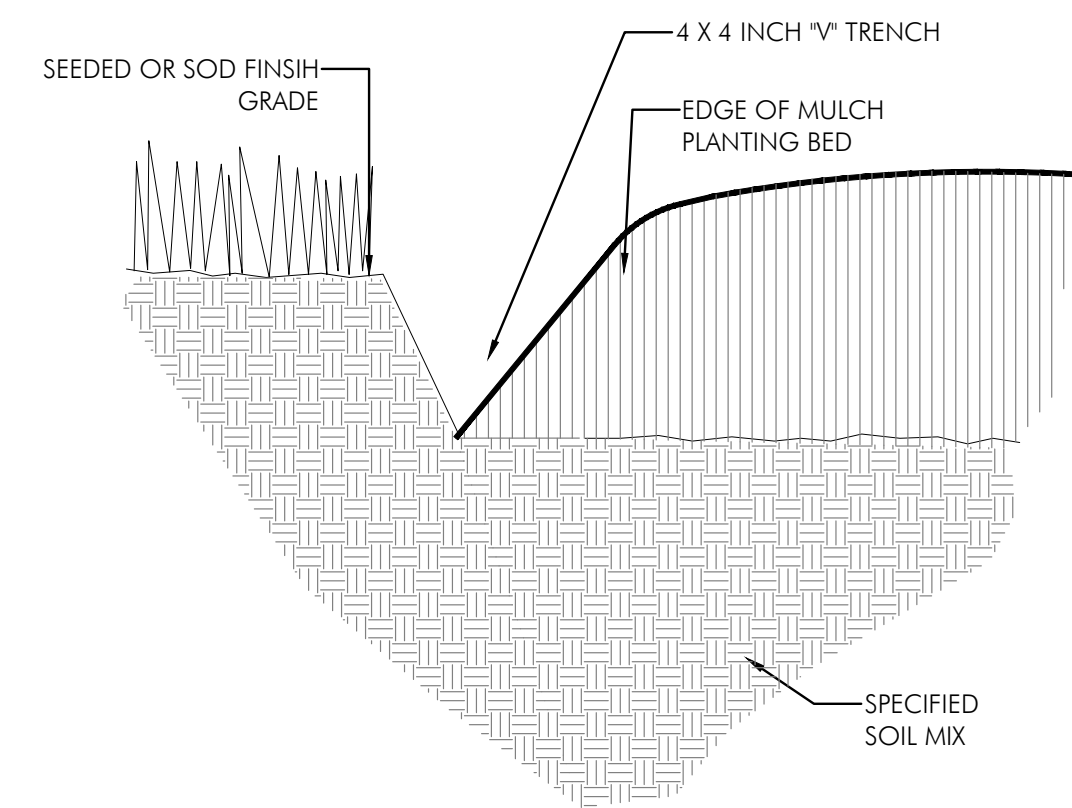
NOTE:
SEE PLANTING NOTES FOR MULCH TYPE AND DEPTH, TYP.

4 Perennial Planting
N.T.S.

SPACING	A	B	C	D	
12"	12"	6"	10"	12"	A = SPACING
18"	18"	8"	15"	18"	B = SP/2
24"	24"	10"	20"	24"	C = SP/1.2
36"	36"	18"	31"	36"	D = SPACING
48"	48"	21"	41"	48"	



5 Perennial Spacing
N.T.S.



6 Mulch Edge Treatment at Lawn
N.T.S.

PLANT INSTALLATION NOTES

- CONTRACTOR SHALL VERIFY WITH THE OWNER AND UTILITY COMPANIES THE LOCATIONS OF THE EXISTING UTILITIES PRIOR TO STARTING WORK. CALL THE OHIO UTILITIES PROTECTION SERVICE AT (800) 362-2764. CONTRACTOR TO REPAIR ALL DAMAGES TO EXISTING UTILITIES, CURBS, PAVEMENTS, ETC. RESULTING FROM LANDSCAPE INSTALLATIONS WHICH OCCUR DURING THE CONSTRUCTION OF THE PROJECT.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL SITE ELEMENTS AND IMMEDIATELY INFORM THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS A DISCREPANCY WITHOUT OWNER'S APPROVAL.
- CONTACT THE OWNER TO REQUEST ELECTRONIC FILES FOR LAYOUT AND STAKING.
- PLANT MATERIAL SHALL BE FURNISHED IN THE QUANTITIES AND/OR SPACING AS SHOWN OR NOTED. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING SOIL AMENDMENTS:
SOIL AMENDMENT:
'COM-TIL' ORGANIC COMPOST (OR EQUAL)
7000 STATE ROUTE 104
SOUTH LOCKBOURNE, OHIO 43137
(614) 645-3152

PERENNIAL BED AREAS:
SPREAD 3" OF 'COM-TIL' OVER NEW LANDSCAPE AREAS AND INCORPORATE INTO THE TOP 8" OF THE SOIL BY MECHANICAL TILLER.

TREES AND SHRUBS:
MIX 30% 'COM-TIL' TO 70% EXISTING SOIL FROM PLANT PIT EXCAVATION. IF EXCAVATED SOIL IS NOT SUITABLE, SUPPLEMENT WITH IMPORTED TOPSOIL.
- ALL PLANT MATERIAL TO MEET OR EXCEED AMERICAN STANDARD FOR NURSERY STOCK, CURRENT EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SUBJECT TO INSPECTION PRIOR, DURING AND AFTER INSTALLATION. ANY PLANT NOT MEETING THE REQUIREMENTS WILL BE CAUSE FOR REJECTION BY THE OWNER. ALL REJECTED PLANTS SHALL BE IMMEDIATELY REMOVED AND DISPOSED OF BY THE CONTRACTOR AND THE REPLACEMENT MATERIAL SHALL BE PROVIDED.
- ALL SUBSTITUTIONS AND PLANT CHANGES MUST BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO ANY ACTION TAKEN. TREES SHALL BE PROTECTED AND HANDLED CAREFULLY AT ALL TIMES DURING TRANSPORT & HANDLING TO PREVENT DRYING OF TREE OR ROOT BALL BY WINDS AND TO PREVENT ANY DAMAGE OR BREAKAGE OF THE ROOT BALL. BARK SHALL BE PROTECTED FROM BRUISING OR ABRASION.
- WATER TREES IMMEDIATELY AFTER PLANTING AND CONTINUE TO WATER UNTIL FINAL ACCEPTANCE BY THE OWNER.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION.
- BED LINE TO BE 18" FROM BASE OF PLANT MATERIAL UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADING IN THE PROJECT REQUIRED TO PROVIDE A PROPER SOD AND PLANTING BED.
- ALL SHRUB AND BED AREAS TO BE MULCHED WITH TWO INCHES (2") DEPTH MINIMUM SHREDDED HARDWOOD MULCH. SUBMIT SAMPLE TO OWNER FOR APPROVAL.
- ALL AREAS OUTSIDE OF PLANTING BEDS SHALL BE SODDED AS SHOWN AND NOTED.
- FINISHED TURF (SOD) TO BE FLUSH WITH TOP OF ADJACENT CURB OR WALK. COORDINATE WITH OWNER IN FIELD AS REQUIRED.
- THE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS AND GROUND COVERS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE. REPLACE MATERIAL WITHIN SEVEN (7) DAYS OF NOTIFICATION OF THE OWNER.
- PERFORM CLEANING DURING INSTALLATION OF LANDSCAPE WORK AND UPON COMPLETION. REMOVE FROM SITE ALL EXCESS LANDSCAPE RELATED MATERIAL, SOIL DEBRIS AND EQUIPMENT. REPAIR DAMAGE RESULTING FROM LANDSCAPING OPERATIONS. SWEEP AND HOSE DOWN PAVED SURFACES AFFECTED BY LANDSCAPING OPERATIONS. COORDINATE WITH OWNER AND OTHER CONTRACTORS FOR FINAL CLEANUP PRIOR TO CLEANING.
- MAINTENANCE: THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE COMPLETED LANDSCAPE AND IRRIGATION SYSTEMS UNTIL THE DATE OF FINAL ACCEPTANCE.
 - MOWING - MINIMUM ONCE PER WEEK.
 - TRIMMING - SHRUBS, TREES, AND GROUND COVERS MINIMUM TWO TIMES PER YEAR OR AS REQUIRED.
 - FERTILIZING - APPLY FERTILIZER AT A RATE EQUAL TO 1 LB. OF ACTUAL NITROGEN/1000 S.F. IN THE SPRING AND FALL TO ALL TURF AND PLANTINGS.
 - BED EDGING - EDGE ALL BEDS BY HAND, SPADE AT LEAST TWO TIMES PER YEAR AND TOP-MULCH WITH DRESS WOOD MULCH IN FALL AND SPRING.



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Notes	Notes	Notes	Notes	Notes
□	P2L P2L HS	1	Shawmut Lighting	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001
□	PSM	1	Shawmut Lighting	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001
□	P4M P4M HS	1	Shawmut Lighting	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001
□	DSX DSX HS	1	Shawmut Lighting	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001	2000-10001-001-001

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.5 fc	5.5 fc	0.0 fc	N/A	N/A
Central Parking	X	1.7 fc	4.2 fc	0.3 fc	14.0:1	5.7:1
Creekside Drive Road	X	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Creekside Properties	X	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
East Parking	X	1.9 fc	4.3 fc	0.8 fc	5.4:1	2.4:1
North Entry	X	1.1 fc	4.7 fc	0.0 fc	N/A	N/A
North Parking	X	1.3 fc	4.6 fc	0.0 fc	N/A	N/A
South Parking	X	1.1 fc	5.5 fc	0.1 fc	55.0:1	11.0:1
Southwest Parking	X	1.3 fc	3.5 fc	0.1 fc	35.0:1	13.0:1
West Parking	X	1.5 fc	4.8 fc	0.1 fc	48.0:1	15.0:1



Plan View
Scale - 1" = 30ft

Johnstown Road Apartments

McMULLEN ENGINEERING CO., INC.
MECHANICAL AND ELECTRICAL ENGINEERS
100 South State Street, Westerville, Ohio 43081
614-895-9408 FAX: 614-895-9450
E-Mail: meci@mcmmulleneng.com
Web: http://www.mcmmulleneng.com

Designer
Date: 10/04/2024
Scale: Not to Scale
Drawing No.:
Summary
1 of 1



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Johnstown Road
Apartments
Gahanna, OH

Date of Issue:
2024-10-16
Issued for:
Zoning

Revision History :

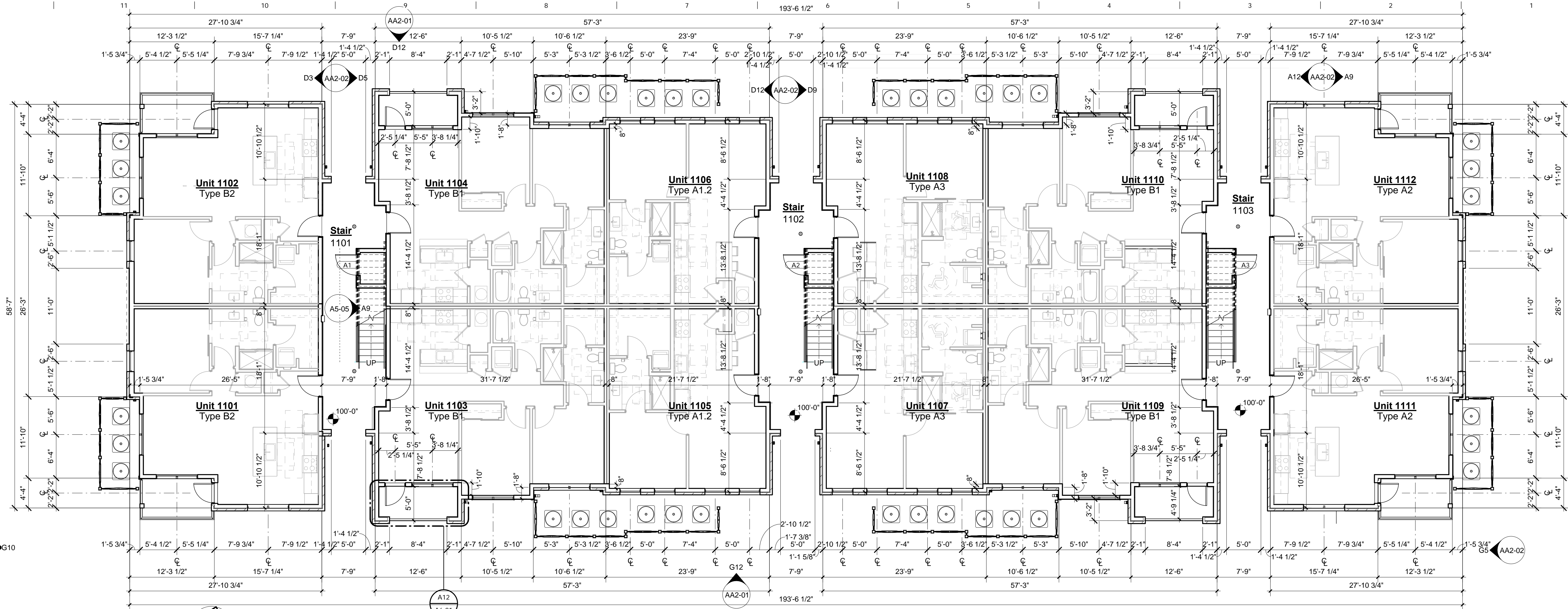
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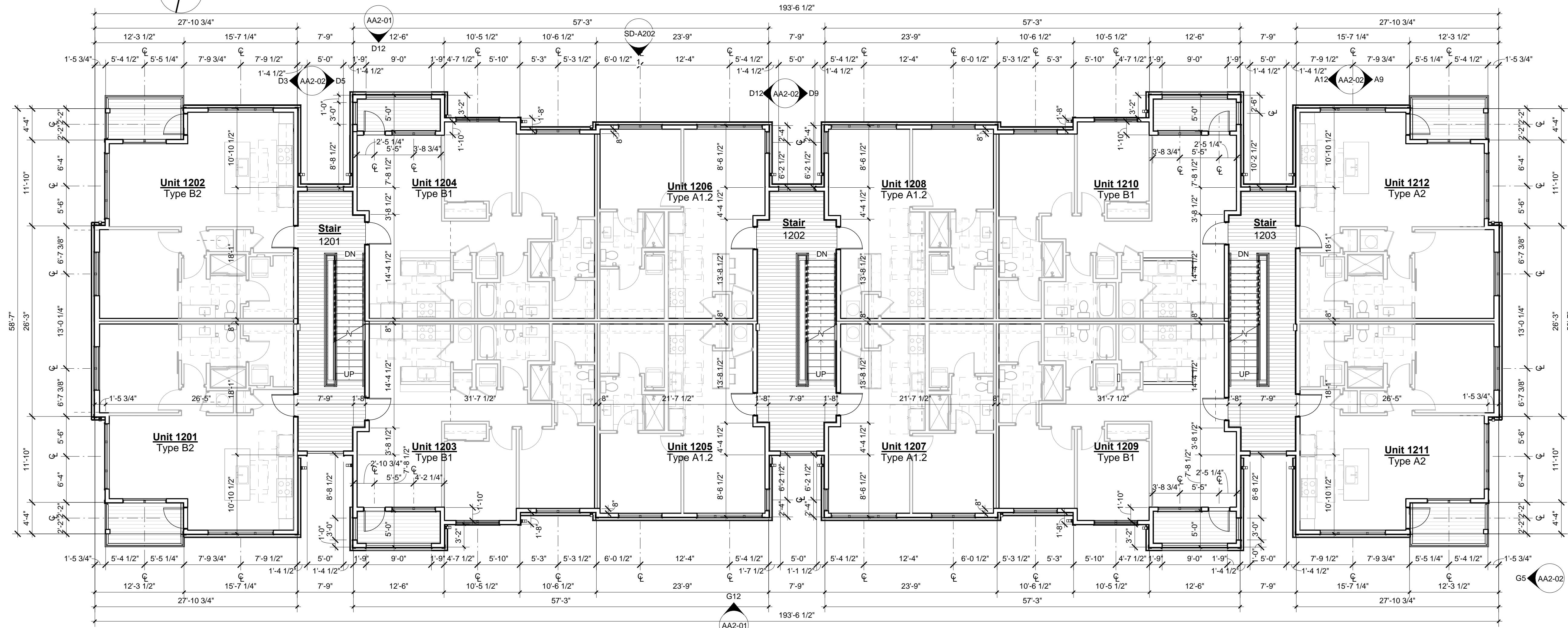
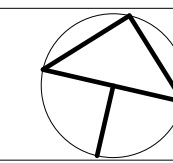
Project Number
23012

Bldg. 7 - Floor 1 &
2 Plans

AA1-01



E12 Bldg. A - Floor 1 Plan
1/8" = 1'-0"



A12 Bldg. A - Floor 2 Plan
1/8" = 1'-0"

2024.10.16 10:58 AM
2024.10.16 10:58 AM
2024.10.16 10:58 AM



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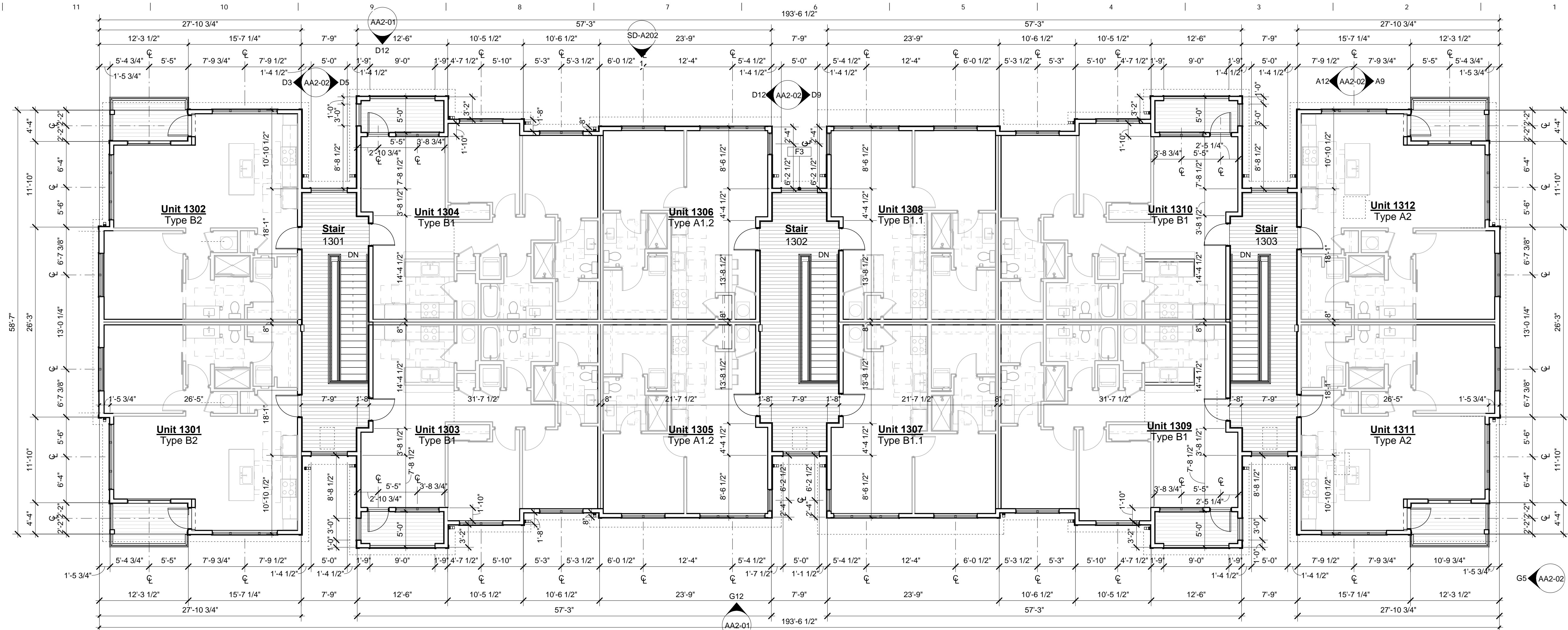
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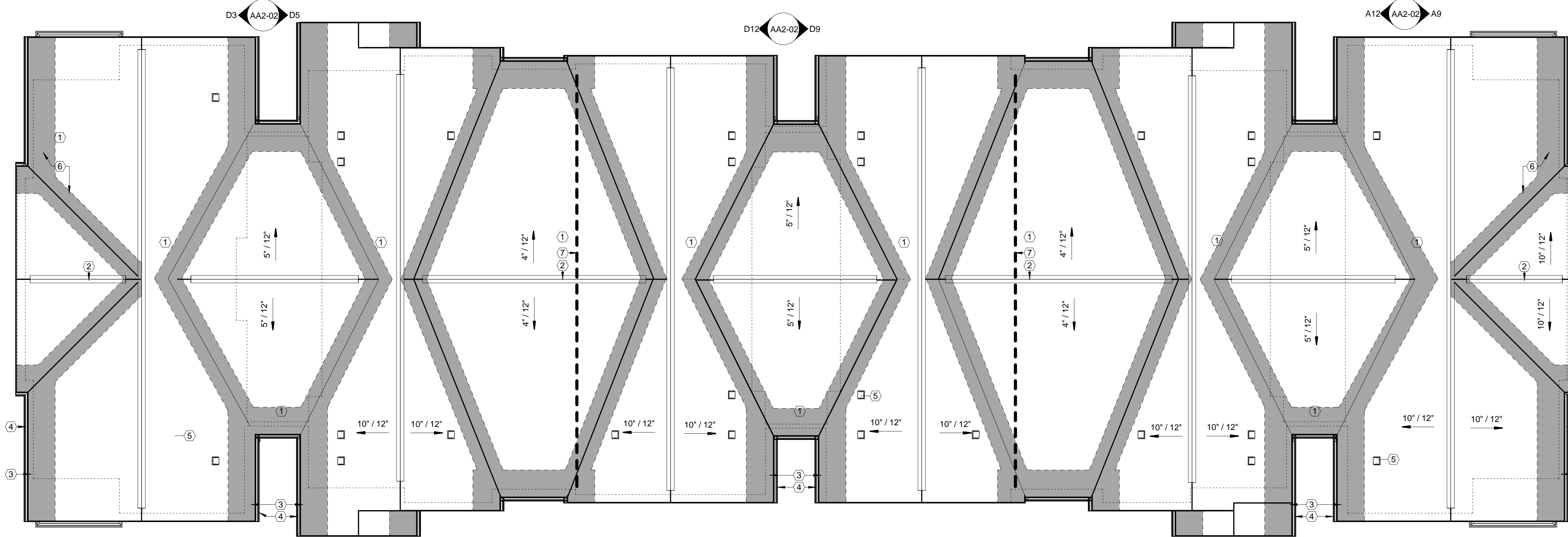
Bldg. 7 - Floor 3 &
Roof Plans

AA1-02



E12 Bldg. A - Floor 3 Plan
1/8" = 1'-0"

- | ROOF PLAN CODED NOTES | ROOF PLAN CODED NOTES | ROOF PLAN CODED NOTES |
|--|---|--|
| 1 ASPHALT SHINGLE ROOFING (MIN. 25 YEAR WARRANTY) ON 15# FELTS. SEE EXTERIOR FINISH SPECIFICATIONS FOR SHINGLE SPEC. | 4 PREFINISHED ALUMINUM GUTTER. SEE EXTERIOR FINISH SPECIFICATIONS FOR GUTTER SPEC. | 7 DRAFTSTOPPING IN ATTIC OVER TENANT SEPARATION WALL - SEE WALL SECTIONS FOR MORE INFO |
| 2 RIDGE VENT. COR-A-VENT S-400 OR EQUAL TO PROVIDE 20 SQUARE INCHES OF NET FREE AREA PER LINEAL FOOT. | 5 BOX VENT; BLACK FINISH - 50 SQ IN NET FREE AREA | |
| 3 SOFFIT VENTING TO PROVIDE 5 SQUARE INCHES OF NET FREE VENT AREA PER LINEAR FOOT OF SOFFIT. | 6 SHADED AREA INDICATES ICE AND WATER SHIELD TO BE INSTALLED FROM FASCIA UP 24" (MIN.) MEASURED THE INSIDE FACE OF THE EXTERIOR WALL LINE TYPICAL AND UP 18" EITHER DIRECTION FROM VALLEYS. | |



A12 Bldg. A - Roof Plan
1/8" = 1'-0"



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Gahanna, OH

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Project Number
23012

Bldg. 7 Exterior
Elevations

AA2-01



G12 Bldg. A Front Elevation
1/8" = 1'-0"



D12 Bldg. A Rear Elevation
1/8" = 1'-0"

FIBER CEMENT PANEL TRIM SCHEDULE

AT WINDOW SILLS: EZ-8 J-TRIM
AT WINDOW HEADS: EZ-4 J-TRIM
AT SIDE EDGES: EZ-8 J-TRIM
AT BOTTOM EDGES: EZ-10 BASE TRIM
AT HORIZ. PANEL JOINTS: EZ-5 PANEL TRIM
AT VERT. PANEL JOINTS: EZ-7 PANEL TRIM
AT OUTSIDE CORNERS: EZ-14 OUTSIDE CORNER

MODEL NUMBERS BASED ON "EASYTRIM" REVEALS
FINISH AT ALL LOCATIONS: WHITE

NO WINDOWS ARE REQUIRED PER OBC 2604 TO HAVE SAFETY GLAZING. ALL PATIO DOORS AND TRANSOMS ARE REQ'D TO HAVE SAFETY GLAZING

SEE SHEET A9-01 FOR WINDOWS REQUIRED TO COMPLY WITH OBC 1030.2, 24" NET CLEAR OPENING, 5.7 S.F. CLEAR OPENING.

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- A1 DASHED LINE INDICATES LOCATION OF ELECTRIC METERS AND SWITCHGEAR - SEE ELECTRICAL DRAWINGS
- B1 BRICK VENEER
- B2 BRICK ROWLOCK WINDOW/SILL. SLOPE 15 DEGREE MIN. AND PROJECT MIN 3/4" BEYOND FACE OF BRICK VENEER.
- B3 BRICK ROWLOCK WATER TABLE (SLOPE 15" MIN.)
- C1 1X 10 FIBER CEMENT ROOF FASCIA
- C2 1X 10 FIBER CEMENT BALCONY FASCIA
- C3 1X 12 FIBER CEMENT FASCIA
- C4 6X6 P.T. WD. POST W/ 1X SMOOTH PRE-PRIMED FIBER CEMENT TRIM WRAP (PAINT)
- C5 1/4" PRE-PRIMED FIBER REINFORCED CEMENT PANEL CLADDING - PAINT. "EASY-TRIM" ALUM. TRIMS AT ALL PANEL EDGES AND PANEL JOINTS (MATCH CLADDING/BRICK)
- C7 1X 8 FIBER CEMENT TRIM
- D1 P.T. WD. CONDENSOR SCREEN FENCE (PAINT)
- E1 SCONCE; SEE ELECTRICAL
- F1 42" TALL PRE FINISHED ALUMINUM BALCONY GUARDRAIL SYSTEM - SEE EXTERIOR FINISH SPECIFICATIONS
- F2 PVC / COMPOSITE FALSE LOUVER - PRIME AND PAINT
- M1 METAL SIDING TYPE M1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- M3 METAL CORNER TRIM TO MATCH ADJACENT MTL SIDING FINISH
- M4 METAL "J" TRIM AROUND WINDOW / WALL OPENING TO MATCH ADJACENT SIDING FINISH
- M5 PREFIN. MTL Z-FLASHING TO PROVIDE EXPANSION JOINT FOR SIDING PANELS - COLOR TO MATCH ADJACENT SIDING
- R1 ASPHALT SHINGLES ON 15# ROOFING FELT
- R2 RIDGE VENT
- R3 PREFIN. METAL GUTTER
- R4 PREFIN. METAL DOWNSPOUT - SEE ROOF PLAN FOR MORE INFO.

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- R6 PREFIN METAL FLASHING CAP
- R7 CONT. PREFIN. MTL. DRIPEDGE
- V1 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V2 VINYL SIDING TYPE V2 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V3 VINYL SIDING TYPE V3 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V4 4" SMOOTH VINYL CORNER POST WITH INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING
- V5 DOUBLE "J" CHANNEL TO RECEIVE BOARD AND BATTEN SIDING FROM BELOW AND ABOVE - COLOR TO MATCH ADJACENT SIDING
- V6 VINYL J-CHANNEL - COLOR TO MATCH WINDOWS
- V7 PVC EXHAUST AND INTAKE TERMINALS W/ PVC MOUNTING BLOCK W/ INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING / BRICK
- V8 VINYL J-CHANNEL - COLOR TO MATCH ADJACENT FIELD SIDING
- V9 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET. TERMINATE AT ALL EDGES WITH J-CHANNEL TO MATCH SIDING TYPE V1

EXTERIOR FINISH SPECIFICATIONS BLDGS. A, B, C, D, E

BRICK: PALMETTO BRICK, 1.25 GREYSTONE. MODULAR SIZE

MORTAR: TYPE N STANDARD WITH BROWN MASONS SAND

SHINGLE ROOFING: CERTAINTEED "LANDMARK" ASPHALT SHINGLES. COLOR: MOIRE BLACK

SIDING (METAL) TYPE M1: DMI CP75 EXPOSED FASTENER CORRUGATED METAL SIDING (COLOR: METALLIC SILVER)

SIDING (VINYL) TYPE V1: ROYAL BOARD AND BATTEN SIDING (COLOR: STERLING) OR EQUAL

SIDING (VINYL) TYPE V2: ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL

SIDING (VINYL) TYPE V3: ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: STERLING) OR EQUAL

SOFFIT (VINYL) TYPE VS: ROYAL, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL

PANEL SIDING: JAMES HARDIE "HARDI-PANEL", SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 7757 HIGH REFLECTIVE WHITE)

FASCIA / BALCONY TRIM: FIBER CEMENT / COMPOSITE, SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 6991 BLACK MAGIC)

COPING AND FLASHINGS: BY SIDING MANUFACTURER TO MATCH ADJACENT METAL SIDING

GUTTERS: 5" BEVEL PROFILE, GALVALUME FINISH. COLOR: BLACK

DOWNSPOUTS: 4" ROUND, GALVALUME FINISH. COLOR: BLACK

WINDOWS: VINYL SINGLE HUNG WINDOWS W/ UNEQUAL SASHES. FRAME COLOR: WHITE.

BALCONY DOORS: VINYL INSULATED PATIO DOOR, FINISH TO MATCH WINDOWS NO SIMULATED DIVIDED LITES.

BALCONY RAILINGS: PREFABRICATED, PREFINISHED ALUMINUM GUARDRAIL, 42" TALL (SUPER PROLINE RAILING), CONTINUOUS TOP RAIL OVER POSTS TYP. AS ILLUSTRATED ON ELEVATIONS. COLOR: BLACK.

CONDENSOR FENCE: P.T. WOOD. COLOR: BLACK MAGIC SW 6991



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Project Number
23012

Bldg. 7 Exterior
Elevations

AA2-02

FIBER CEMENT PANEL TRIM SCHEDULE

AT WINDOW SILLS: EZ-8 J-TRIM
AT WINDOW HEADS: EZ-4 J-TRIM
AT SIDE EDGES: EZ-8 J-TRIM
AT BOTTOM EDGES: EZ-10 BASE TRIM
AT HORIZ. PANEL JOINTS: EZ-5 PANEL TRIM
AT VERT. PANEL JOINTS: EZ-7 PANEL TRIM
AT OUTSIDE CORNERS: EZ-14 OUTSIDE CORNER
MODEL NUMBERS BASED ON "EASYTRIM" REVEALS
FINISH AT ALL LOCATIONS: WHITE



G10 Bldg. A Left Elevation
1/8" = 1'-0"

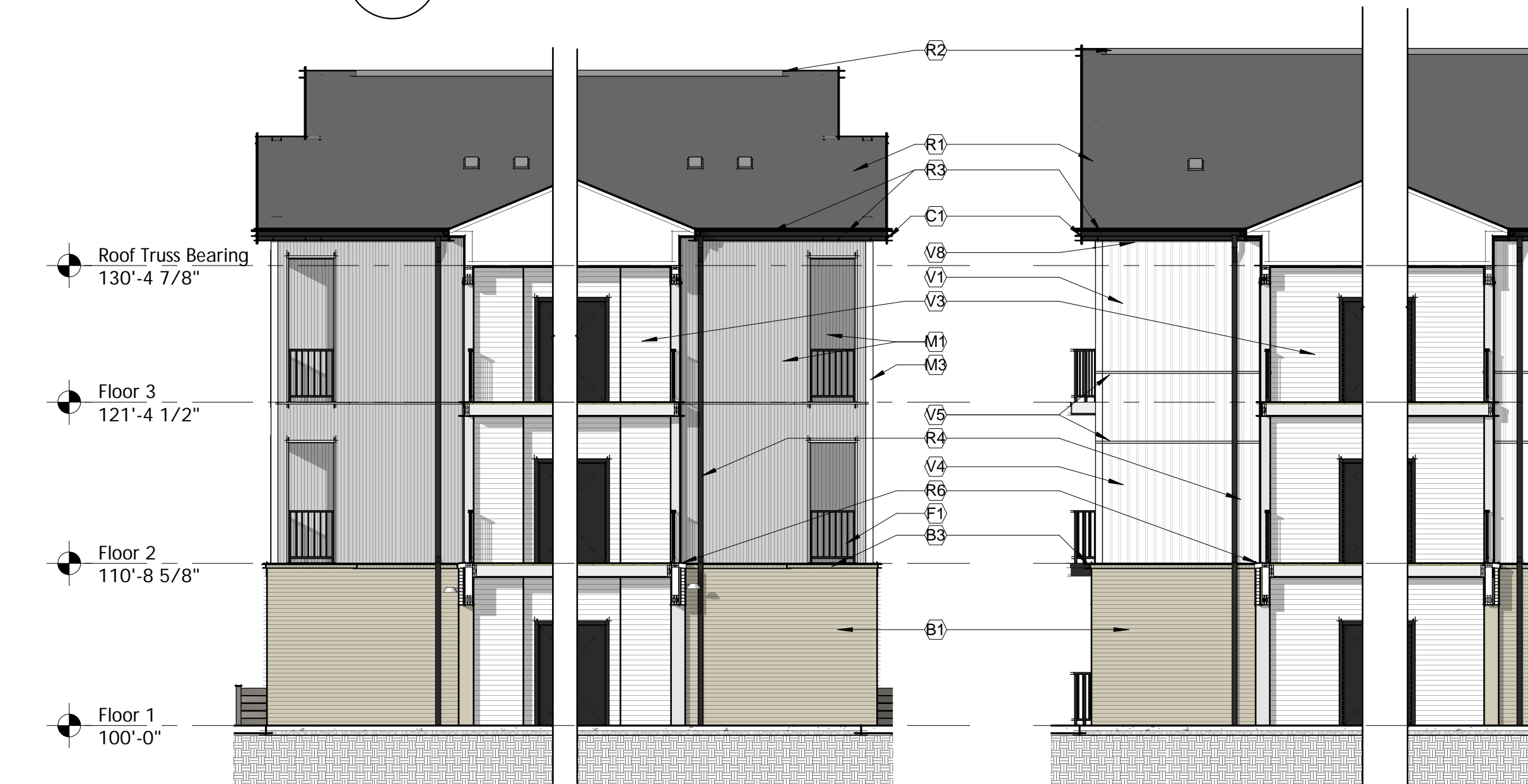


G5 Bldg. A Right Elevation
1/8" = 1'-0"



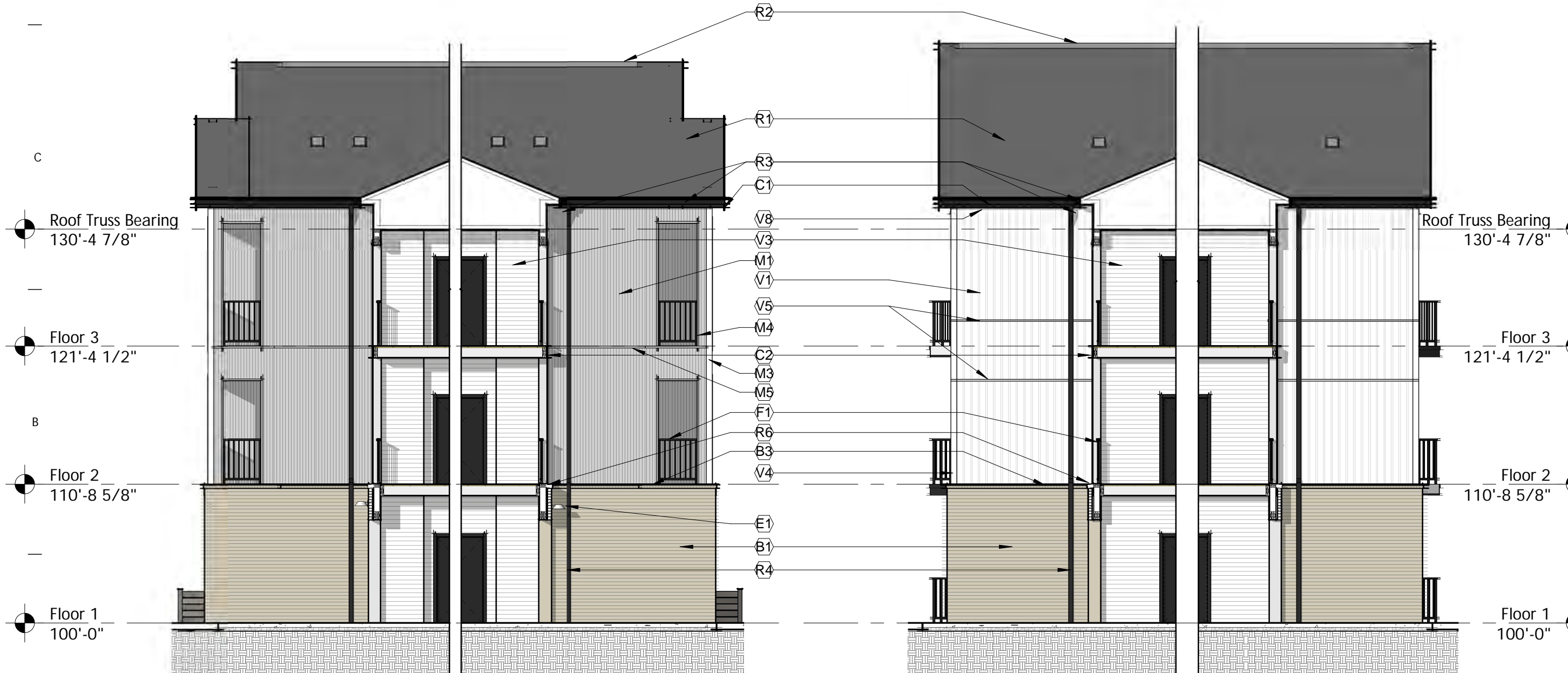
D12 Bldg. A Breezeway 2 Elev. A
1/8" = 1'-0"

D9 Bldg. A Breezeway 2 Elev. B
1/8" = 1'-0"



D5 Bldg. A Breezeway 1 Elev. A
1/8" = 1'-0"

D3 Bldg. A Breezeway 1 Elev. B
1/8" = 1'-0"



A12 Bldg. A Breezeway 3 Elev. A
1/8" = 1'-0"

A9 Bldg. A Breezeway 3 Elev. B
1/8" = 1'-0"

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- A1 DASHED LINE INDICATES LOCATION OF ELECTRICAL METERS AND SWITCHGEAR - SEE ELECTRICAL DRAWINGS
- B1 BRICK VENEER
- B2 BRICK ROWLOCK WINDOW/SILL. SLOPE 15 DEGREE MIN. AND PROJECT MIN 3/4" BEYOND FACE OF BRICK VENEER.
- B3 BRICK ROWLOCK WATER TABLE (SLOPE 15" MIN.)
- C1 1X 10 FIBER CEMENT ROOF FASCIA
- C2 1X 10 FIBER CEMENT ROOF FASCIA
- C3 1X 12 FIBER CEMENT FASCIA
- C4 6X6 P.T. WD. POST W/ 1X SMOOTH PRE-PRIMED FIBER CEMENT TRIM WRAP (PAINT)
- C5 1/4" PRE-PRIMED FIBER REINFORCED CEMENT PANEL CLADDING - PAINT. "EASY-TRIM" ALUM. TRIMS AT ALL PANEL EDGES AND PANEL JOINTS (MATCH CLADDING/BRICK)
- C7 1X 8 FIBER CEMENT TRIM
- D1 P.T. WD. CONDENSOR SCREEN FENCE (PAINT)
- E1 SCOTCH, SEE ELECTRICAL
- F1 42" TALL PRE FINISHED ALUMINUM BALCONY GUARDRAIL SYSTEM - SEE EXTERIOR FINISH SPECIFICATIONS
- F2 PVC / COMPOSITE FALSE LOUVER - PRIME AND PAINT
- M1 METAL SIDING TYPE M1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- M3 METAL CORNER TRIM TO MATCH ADJACENT MTL SIDING FINISH
- M4 METAL "J" TRIM AROUND WINDOW / WALL OPENING TO MATCH ADJACENT SIDING FINISH
- M5 PREFIN. MTL Z-FLASHING TO PROVIDE EXPANSION JOINT FOR SIDING PANELS - COLOR TO MATCH ADJACENT SIDING
- R1 ASPHALT SHINGLES ON 15# ROOFING FELT
- R2 RIDGE VENT
- R3 PREFIN. METAL GUTTER
- R4 PREFIN. METAL DOWNSPOUT - SEE ROOF PLAN FOR MORE INFO.
- R6 PREFIN METAL FLASHING CAP
- R7 CONT. PREFIN. MTL. DRIPEDGE
- V1 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V2 VINYL SIDING TYPE V2 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V3 VINYL SIDING TYPE V3 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V4 4" SMOOTH VINYL CORNER POST WITH INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING
- V5 DOUBLE "J" CHANNEL TO RECEIVE BOARD AND BATTEN SIDING FROM BELOW AND ABOVE - COLOR TO MATCH ADJACENT SIDING
- V6 VINYL J-CHANNEL - COLOR TO MATCH WINDOWS
- V7 PVC EXHAUST AND INTAKE TERMINALS W/ PVC MOUNTING BLOCK W/ INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING / BRICK
- V8 VINYL J-CHANNEL - COLOR TO MATCH ADJACENT FIELD SIDING
- V9 FINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET. TERMINATE AT ALL EDGES WITH J-CHANNEL TO MATCH SIDING TYPE V1

NO WINDOWS ARE REQUIRED PER OBC 2604 TO HAVE SAFETY GLAZING. ALL PATIO DOORS AND TRANSOMS ARE REQ'D TO HAVE SAFETY GLAZING

SEE SHEET A9-01 FOR WINDOWS REQUIRED TO COMPLY WITH OBC 1030.2, 24" NET CLEAR OPENING, 5.7 S.F. CLEAR OPENING.

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- R6 PREFIN METAL FLASHING CAP
- R7 CONT. PREFIN. MTL. DRIPEDGE
- V1 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V2 VINYL SIDING TYPE V2 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V3 VINYL SIDING TYPE V3 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V4 4" SMOOTH VINYL CORNER POST WITH INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING
- V5 DOUBLE "J" CHANNEL TO RECEIVE BOARD AND BATTEN SIDING FROM BELOW AND ABOVE - COLOR TO MATCH ADJACENT SIDING
- V6 VINYL J-CHANNEL - COLOR TO MATCH WINDOWS
- V7 PVC EXHAUST AND INTAKE TERMINALS W/ PVC MOUNTING BLOCK W/ INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING / BRICK
- V8 VINYL J-CHANNEL - COLOR TO MATCH ADJACENT FIELD SIDING
- V9 FINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET. TERMINATE AT ALL EDGES WITH J-CHANNEL TO MATCH SIDING TYPE V1

EXTERIOR FINISH SPECIFICATIONS BLDGS. A, B, C, D, E

BRICK: PALMETTO BRICK, 1.25 GREYSTONE. MODULAR SIZE

MORTAR: TYPE N STANDARD WITH BROWN MASONS SAND

SHINGLE ROOFING: CERTAINTED "LANDMARK" ASPHALT SHINGLES. COLOR: MOIRE BLACK

SIDING (METAL) TYPE M1: DMI CP75 EXPOSED FASTENER CORRUGATED METAL SIDING (COLOR: METALLIC SILVER)

SIDING (VINYL) TYPE V1: ROYAL BOARD AND BATTEN SIDING (COLOR: STERLING) OR EQUAL

SIDING (VINYL) TYPE V2: ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL

SIDING (VINYL) TYPE V3: ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: STERLING) OR EQUAL

SOFFIT (VINYL) TYPE VS: ROYAL, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL

PANEL SIDING: JAMES HARDIE "HARDI-PANEL", SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 7757 HIGH REFLECTIVE WHITE)

FASCIA / BALCONY TRIM: FIBER CEMENT / COMPOSITE, SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 6991 BLACK MAGIC)

COPING AND FLASHINGS: BY SIDING MANUFACTURER TO MATCH ADJACENT METAL SIDING

GUTTERS: 5" BEVEL PROFILE, GALVALUME FINISH. COLOR: BLACK

DOWNSPOUTS: 4" ROUND, GALVALUME FINISH. COLOR: BLACK

WINDOWS: VINYL SINGLE HUNG WINDOWS W/ UNEQUAL SASHES. FRAME COLOR: WHITE.

BALCONY DOORS: VINYL INSULATED PATIO DOOR, FINISH TO MATCH WINDOWS NO SIMULATED DIVIDED LITES.

BALCONY RAILINGS: PREFABRICATED, PREFINISHED ALUMINUM GUARDRAIL, 42" TALL (SUPER PROLINE RAILING), CONTINUOUS TOP RAIL OVER POSTS TYP. AS ILLUSTRATED ON ELEVATIONS. COLOR: BLACK.

CONDENSOR FENCE: P.T. WOOD. COLOR: BLACK MAGIC SW 6991



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Gahanna, OH

Date of Issue:
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Issued for:
Zoning

Revision History :

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Bldg. 7 Exterior
Views

AA2-03



Building A View of Front Left



Building A View of Front Right

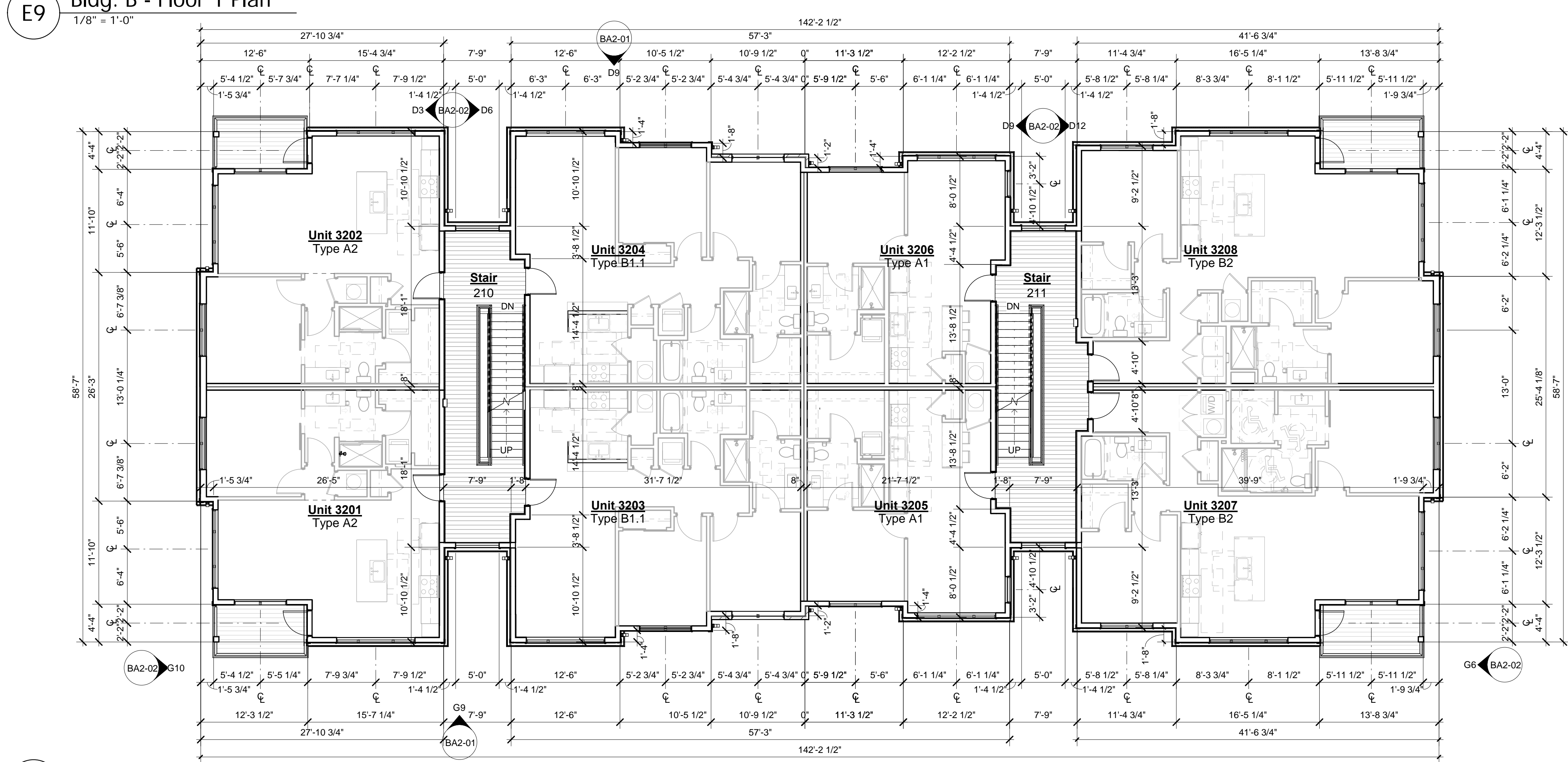
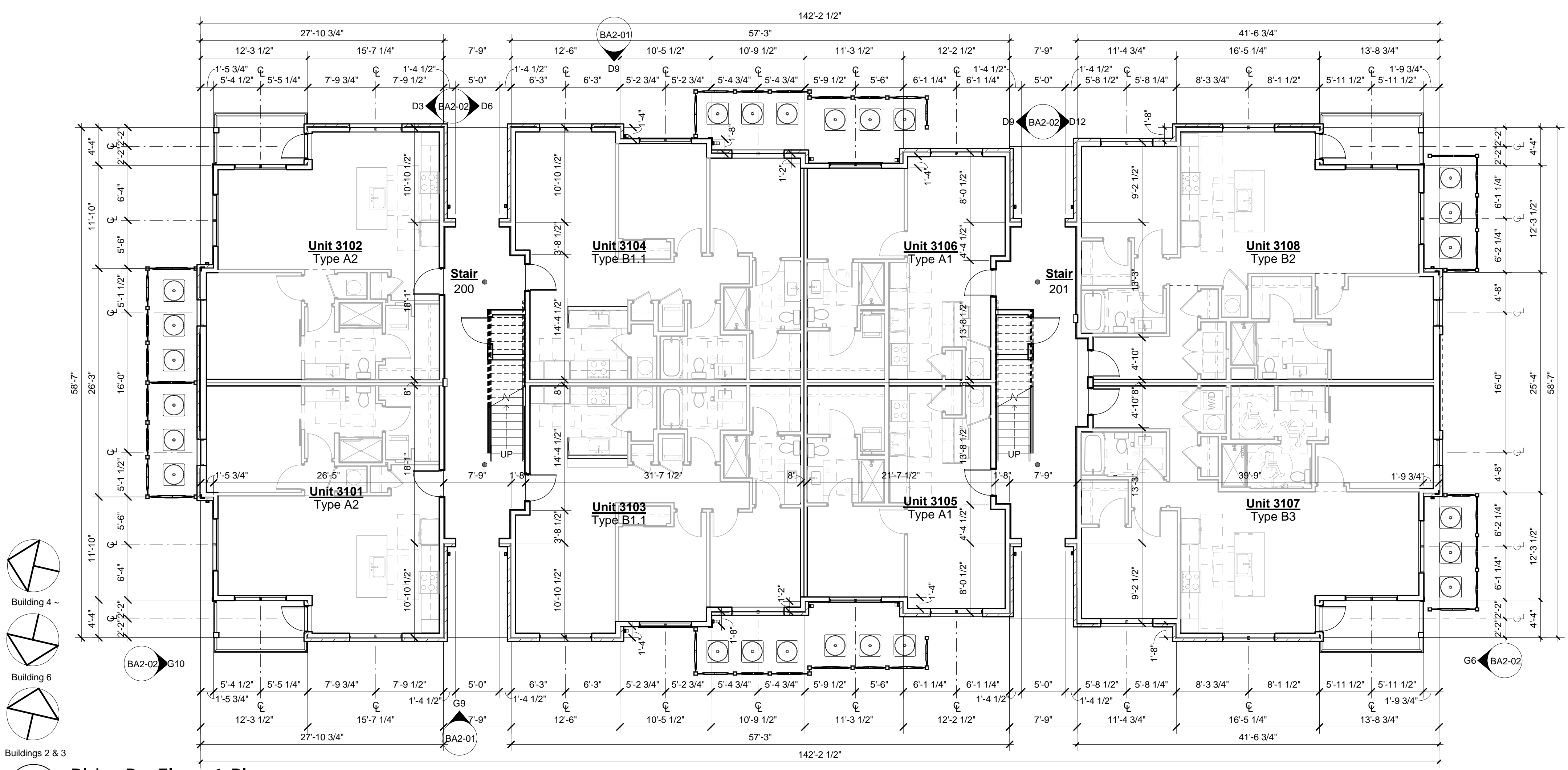
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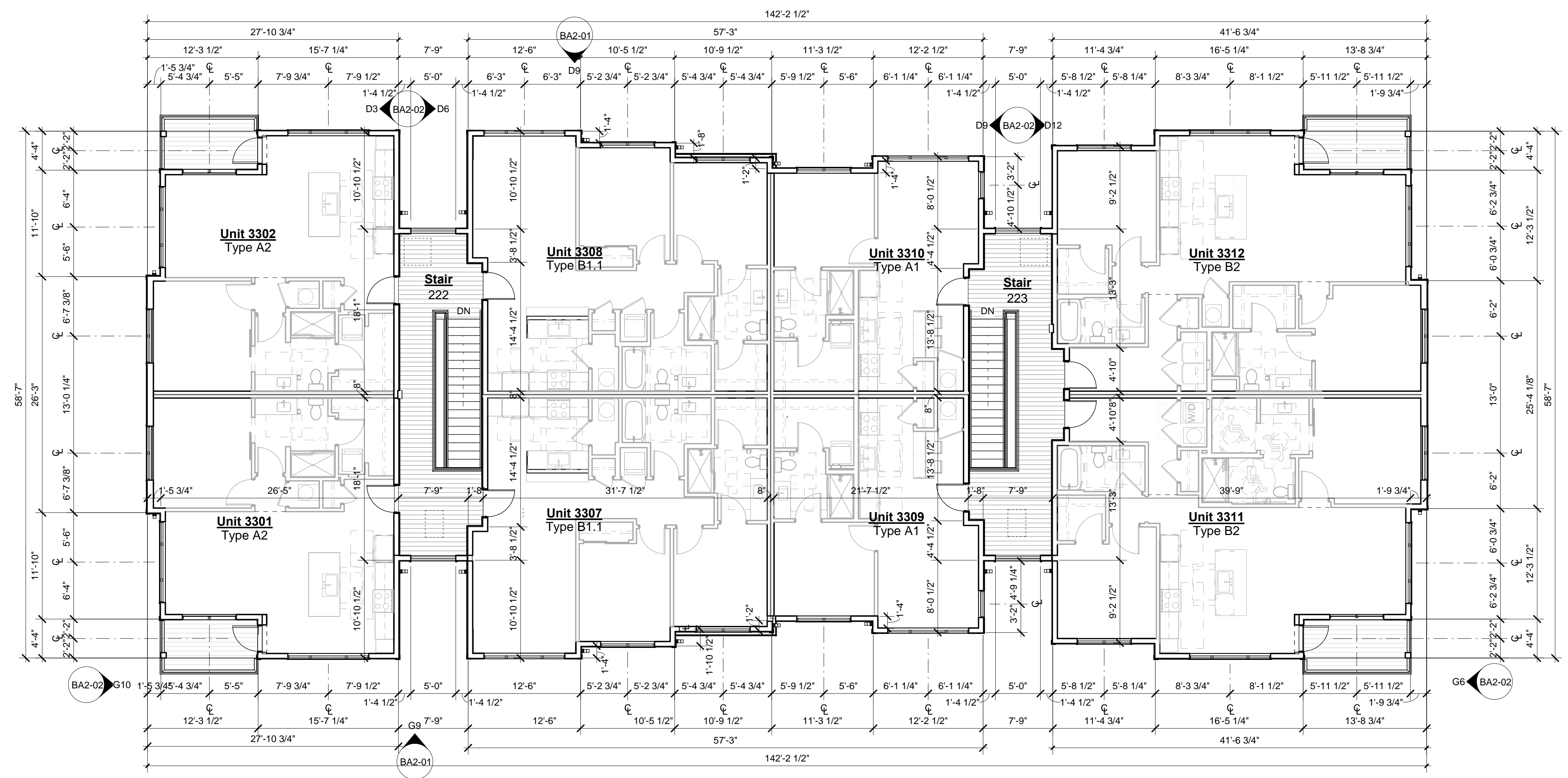
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Bldg. 2,3,4,6 -
 Floor 1 & 2 Plans

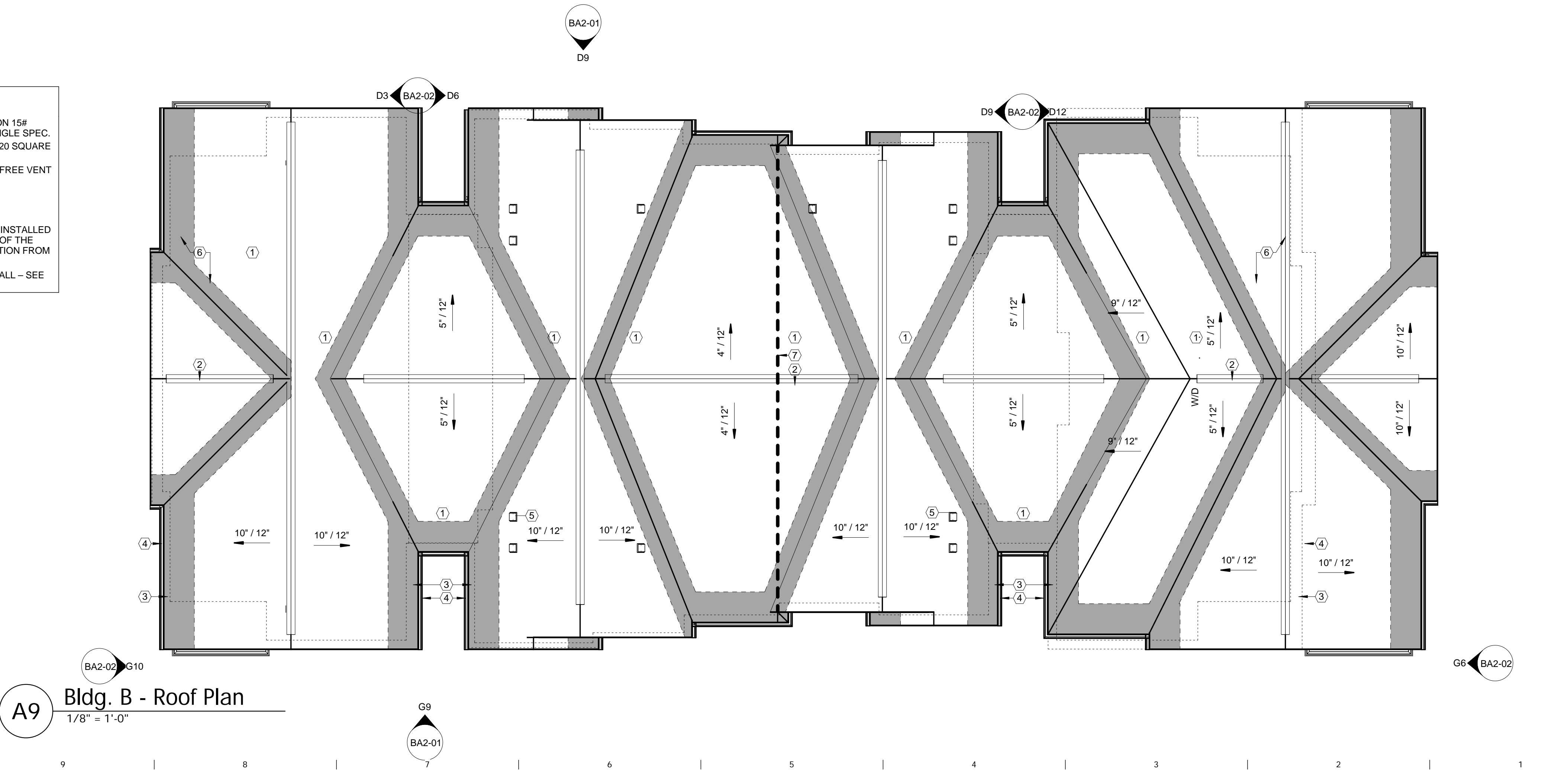
BA1-01





E9 Bldg. B - Floor 3 Plan
 1/8" = 1'-0"

- ROOF PLAN CODED NOTES**
- 1 ASPHALT SHINGLE ROOFING (MIN. 25 YEAR WARRANTY) ON 15# FELTS. SEE EXTERIOR FINISH SPECIFICATIONS FOR SHINGLE SPEC.
 - 2 RIDGE VENT. COR-A-VENT S-400 OR EQUAL TO PROVIDE 20 SQUARE INCHES OF NET FREE AREA PER LINEAL FOOT.
 - 3 SOFFIT VENTING TO PROVIDE 5 SQUARE INCHES OF NET FREE VENT AREA PER LINEAL FOOT OF SOFFIT.
 - 4 PREFINISHED ALUMINUM GUTTER. SEE EXTERIOR FINISH SPECIFICATIONS FOR GUTTER SPEC.
 - 5 BOX VENT, BLACK FINISH - 50 SQ IN NET FREE AREA
 - 6 SHADED AREA INDICATES ICE AND WATER SHIELD TO BE INSTALLED FROM FASCIA UP 24" (MIN.) MEASURED THE INSIDE FACE OF THE EXTERIOR WALL LINE TYPICAL AND UP 18" EITHER DIRECTION FROM VALLEYS.
 - 7 DRAFTSTOPPING IN ATTIC OVER TENANT SEPARATION WALL - SEE WALL SECTIONS FOR MORE INFO



A9 Bldg. B - Roof Plan
 1/8" = 1'-0"



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Project Number
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Bldg. 2,3,4,6
Exterior Elevations

BA2-01



G9 Bldg. B Front Elevation
1/8" = 1'-0"



D9 Bldg. B Rear Elevation
1/8" = 1'-0"

FIBER CEMENT PANEL TRIM SCHEDULE

AT WINDOW SILLS: EZ-8 J-TRIM
AT WINDOW HEADS: EZ-4 J-TRIM
AT SIDE EDGES: EZ-9 J-TRIM
AT BOTTOM EDGES: EZ-10 BASE TRIM
AT HORIZ. PANEL JOINTS: EZ-5 PANEL TRIM
AT VERT. PANEL JOINTS: EZ-7 PANEL TRIM
AT OUTSIDE CORNERS: EZ-14 OUTSIDE CORNER

MODEL NUMBERS BASED ON "EASYTRIM" REVEALS
FINISH AT ALL LOCATIONS: WHITE

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- A1 DASHED LINE INDICATES LOCATION OF ELECTRIC METERS AND SWITCHGEAR - SEE ELECTRICAL DRAWINGS
- B1 BRICK VENEER
- B2 BRICK ROWLOCK WINDOWSILL. SLOPE 15 DEGREE MIN. AND PROJECT MIN 3/4" BEYOND FACE OF BRICK VENEER.
- B3 BRICK ROWLOCK WATER TABLE (SLOPE 15° MIN.)
- C1 1X 10 FIBER CEMENT ROOF FASCIA
- C2 1X 12 FIBER CEMENT BALCONY FASCIA
- C3 6X6 P. T. WD. POST W/ 1X SMOOTH PRE-PRIMED FIBER CEMENT TRIM WRAP (PAINT)
- C4 1/4" PRE-PRIMED FIBER REINFORCED CEMENT PANEL CLADDING - PAINT. "EASY-TRIM" ALUM. TRIMS AT ALL PANEL EDGES AND PANEL JOINTS (MATCH CLADDING/BRICK)
- C5 1X 8 FIBER CEMENT TRIM
- D1 P.T. WD. CONDENSOR SCREEN FENCE (PAINT)
- E1 SCONCE: SEE ELECTRICAL
- F1 42" TALL PRE FINISHED ALUMINUM BALCONY GUARDRAIL SYSTEM - SEE EXTERIOR FINISH SPECIFICATIONS
- F2 PVC / COMPOSITE FALSE LOUVER - PRIME AND PAINT
- M1 METAL SIDING TYPE M1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- M3 METAL CORNER TRIM TO MATCH ADJACENT MTL SIDING FINISH
- M4 METAL "J" TRIM AROUND WINDOW / WALL OPENING TO MATCH ADJACENT SIDING FINISH
- M5 PREFIN. MTL Z-FLASHING TO PROVIDE EXPANSION JOINT FOR SIDING PANELS - COLOR TO MATCH ADJACENT SIDING
- R1 ASPHALT SHINGLES ON 15# ROOFING FELT
- R2 RIDGE VENT
- R3 PREFIN. METAL GUTTER
- R4 PREFIN. METAL DOWNSPOUT - SEE ROOF PLAN FOR MORE INFO.

NO WINDOWS ARE REQUIRED PER OBC 2604 TO HAVE SAFETY GLAZING. ALL PATIO DOORS AND TRANSOMS ARE REQ'D TO HAVE SAFETY GLAZING

SEE SHEET A9-01 FOR WINDOWS REQUIRED TO COMPLY WITH OBC 1030.2, 24" NET CLEAR OPENING, 5.7 S.F. CLEAR OPENING.

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- R6 PREFIN METAL FLASHING CAP
- R7 CONT. PREFIN. MTL. DRIDGE
- V1 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V2 VINYL SIDING TYPE V2 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V3 VINYL SIDING TYPE V3 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V4 4" SMOOTH VINYL CORNER POST WITH INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING
- V5 DOUBLE "J" CHANNEL TO RECEIVE BOARD AND BATTEN SIDING FROM BELOW AND ABOVE - COLOR TO MATCH ADJACENT SIDING
- V6 VINYL J-CHANNEL - COLOR TO MATCH WINDOWS
- V7 PVC EXHAUST AND INTAKE TERMINALS W/ PVC MOUNTING BLOCK W/ INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING / BRICK
- V8 VINYL J-CHANNEL - COLOR TO MATCH ADJACENT FIELD SIDING
- V9 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET. TERMINATE AT ALL EDGES WITH J-CHANNEL TO MATCH SIDING TYPE V1

EXTERIOR FINISH SPECIFICATIONS BLDGS. A, B, C, D, E

- BRICK:** PALMETTO BRICK, 1.25 GREYSTONE. MODULAR SIZE
- MORTAR:** TYPE N STANDARD WITH BROWN MASONS SAND
- SHINGLE ROOFING:** CERTAINTED "LANDMARK" ASPHALT SHINGLES. COLOR: MOIRE BLACK
- SIDING (METAL) TYPE M1:** DMI CPT5 EXPOSED FASTENER CORRUGATED METAL SIDING (COLOR: METALLIC SILVER)
- SIDING (VINYL) TYPE V1:** ROYAL BOARD AND BATTEN SIDING (COLOR: STERLING) OR EQUAL
- SIDING (VINYL) TYPE V2:** ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL
- SIDING (VINYL) TYPE V3:** ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: STERLING) OR EQUAL
- SOFFIT (VINYL) TYPE VS:** ROYAL, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL
- PANEL SIDING:** JAMES HARDIE "HARDI-PANEL". SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 7757 HIGH REFLECTIVE WHITE)
- FASCIA / BALCONY TRIM:** FIBER CEMENT / COMPOSITE, SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 6991 BLACK MAGIC)
- COPING AND FLASHINGS:** BY SIDING MANUFACTURER TO MATCH ADJACENT METAL SIDING
- GUTTERS:** 5" BEVEL PROFILE, GALVALUME FINISH. COLOR: BLACK
- DOWNSPOUTS:** 4" ROUND, GALVALUME FINISH. COLOR: BLACK
- WINDOWS:** VINYL SINGLE HUNG WINDOWS W/ UNEQUAL SASHES. FRAME COLOR: WHITE.
- BALCONY DOORS:** VINYL INSULATED PATIO DOOR, FINISH TO MATCH WINDOWS NO SIMULATED DIVIDED LITES.
- BALCONY RAILINGS:** PREFABRICATED, PREFINISHED ALUMINUM GUARDRAIL, 42" TALL (SUPER PROLINE RAILING), CONTINUOUS TOP RAIL OVER POSTS TYP. AS ILLUSTRATED ON ELEVATIONS. COLOR: BLACK.
- CONDENSOR FENCE:** P. T. WOOD. COLOR: BLACK MAGIC SW 6991



G10 Bldg. B Left Side Elevation
1/8" = 1'-0"



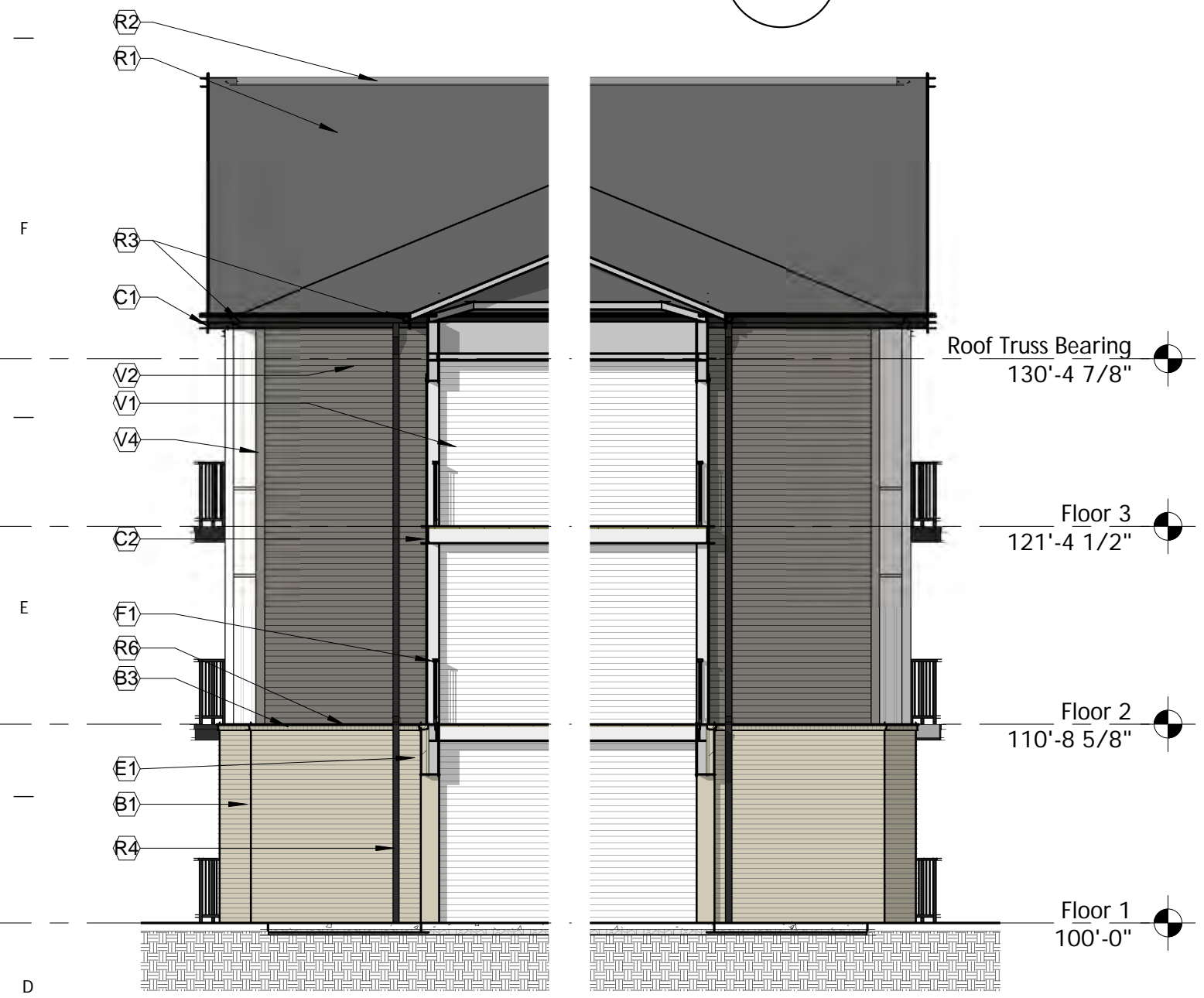
G6 Bldg. B Right Side Elevation
1/8" = 1'-0"

FIBER CEMENT PANEL TRIM SCHEDULE

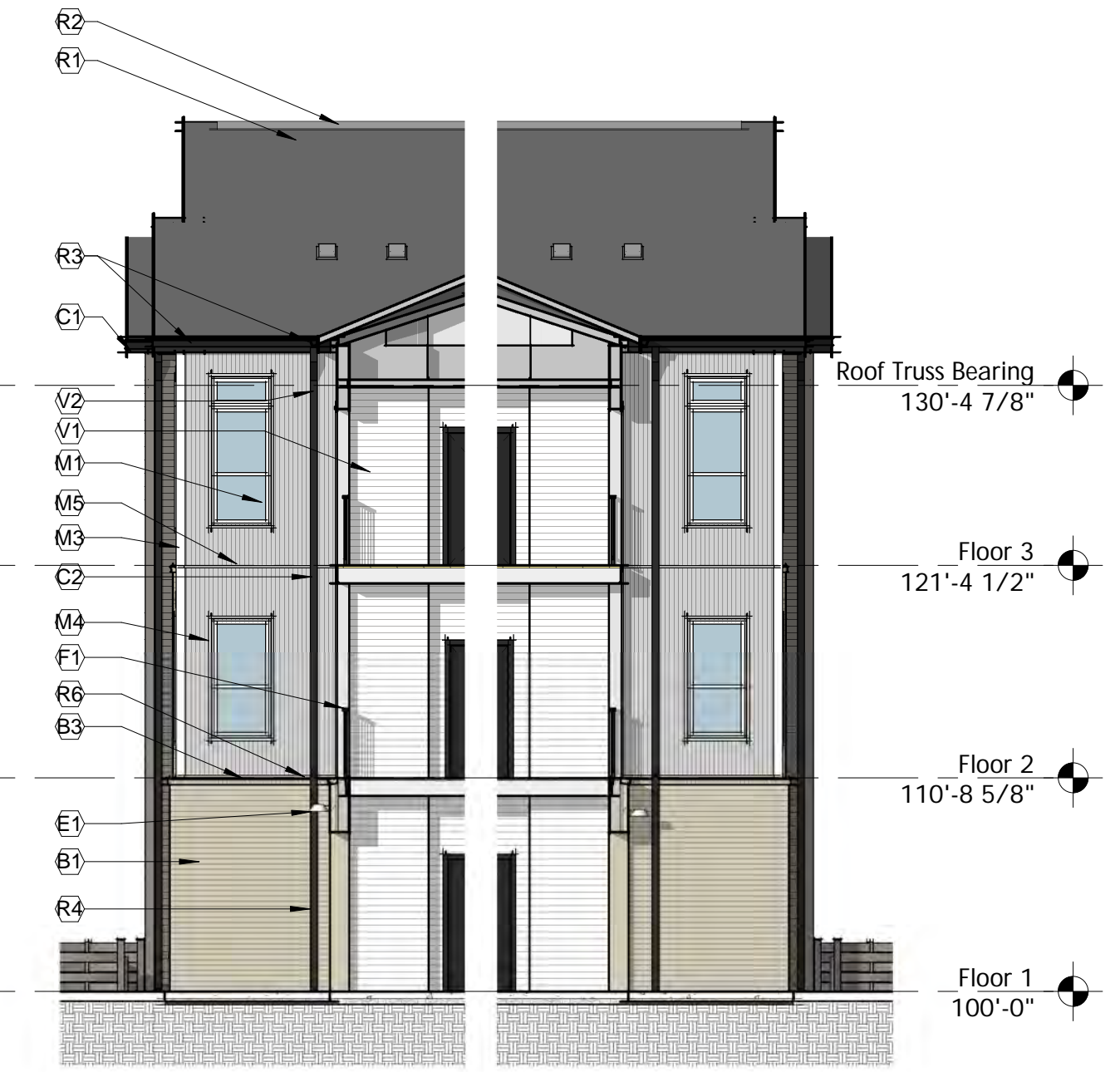
AT WINDOW SILLS: EZ-8 J-TRIM
 AT WINDOW HEADS: EZ-4 J-TRIM
 AT SIDE EDGES: EZ-8 J-TRIM
 AT BOTTOM EDGES: EZ-10 BASE TRIM
 AT HORIZ. PANEL JOINTS: EZ-5 PANEL TRIM
 AT VERT. PANEL JOINTS: EZ-7 PANEL TRIM
 AT OUTSIDE CORNERS: EZ-14 OUTSIDE CORNER

MODEL NUMBERS BASED ON "EASYTRIM" REVEALS

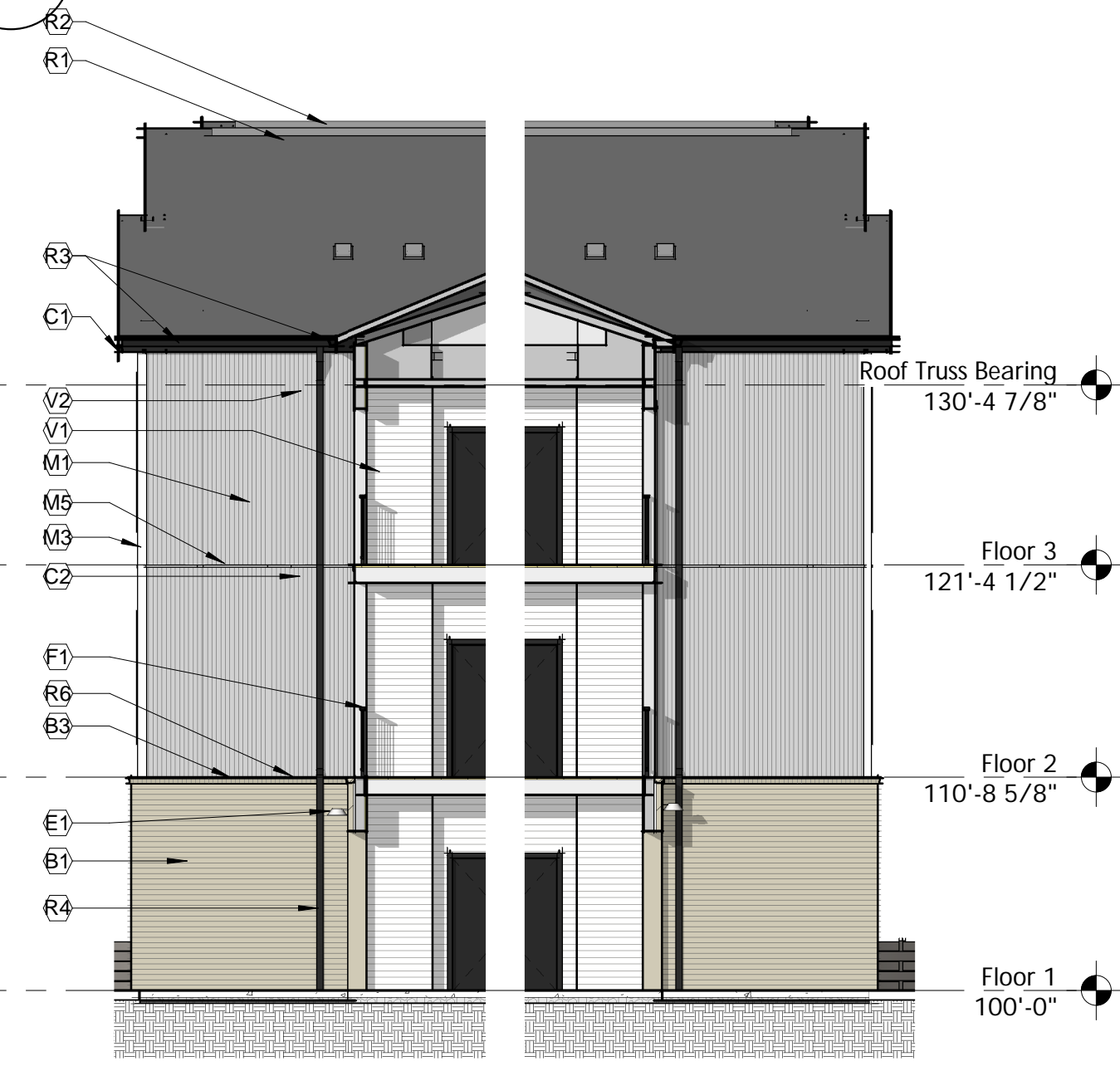
FINISH AT ALL LOCATIONS: WHITE



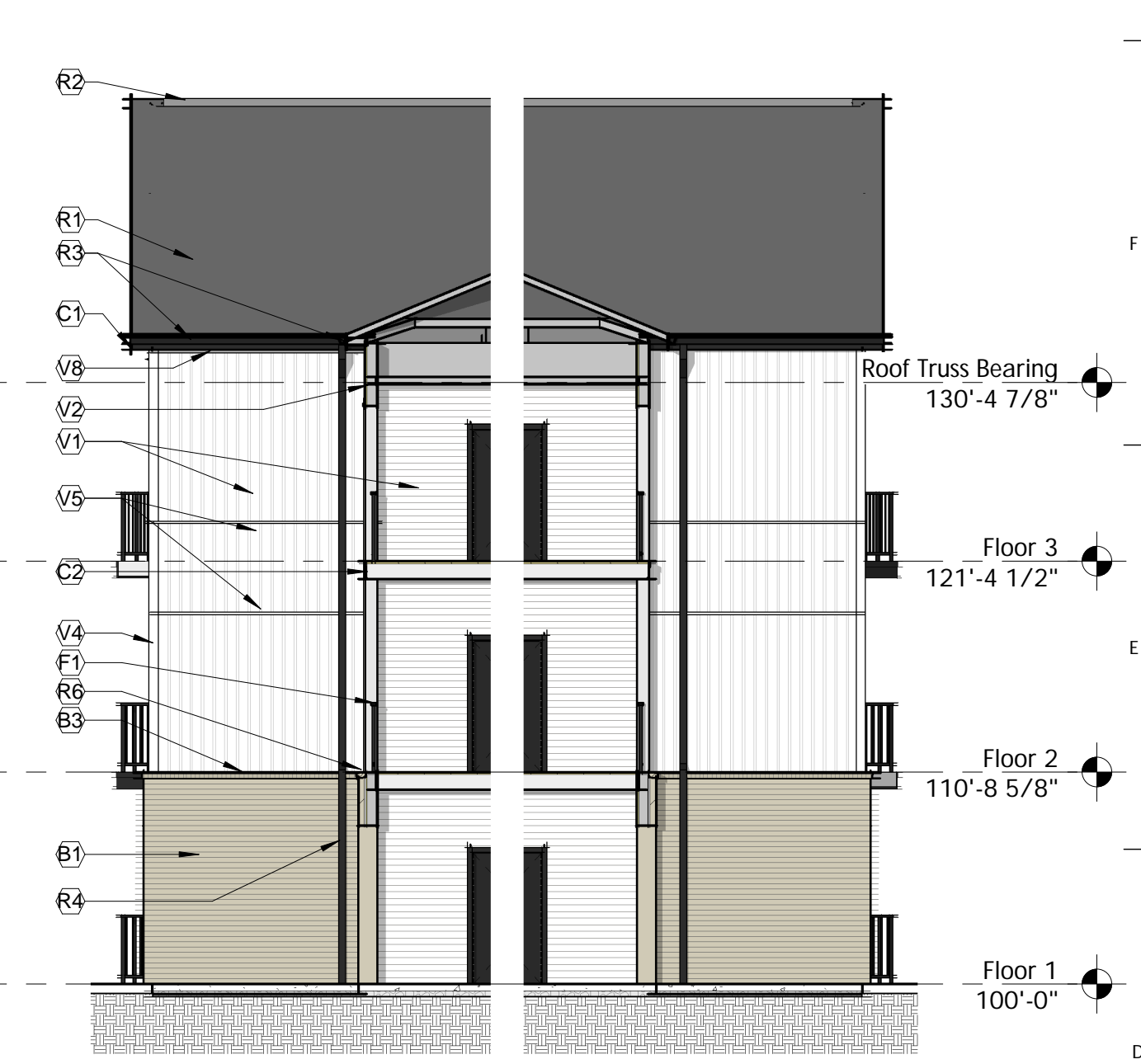
D12 Bldg. B Breezeway 2 Elev. A
1/8" = 1'-0"



D9 Bldg. B Breezeway 2 Elev. B
1/8" = 1'-0"



D6 Bldg. B Breezeway 1 Elev. A
1/8" = 1'-0"



D3 Bldg. B Breezeway 1 Elev. B
1/8" = 1'-0"

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- A1 DASHED LINE INDICATES LOCATION OF ELECTRIC METERS AND SWITCHGEAR - SEE ELECTRICAL DRAWINGS
- B1 BRICK VENEER
- B2 BRICK ROWLOCK WINDOWSILL - SLOPE 15 DEGREES MIN. AND PROJECT MIN 3/4" BEYOND FACE OF BRICK VENEER.
- B3 BRICK ROWLOCK WATER TABLE (SLOPE 15° MIN.)
- C1 1X 10 FIBER CEMENT ROOF FASCIA
- C2 1X 10 FIBER CEMENT BALCONY FASCIA
- C3 1X 12 FIBER CEMENT FASCIA
- C4 6X6 P.T. WD. POST W/ 1X SMOOTH PRE-PRIMED FIBER CEMENT TRIM WRAP (PAINT)
- C5 1/4" PRE-PRIMED FIBER REINFORCED CEMENT PANEL CLADDING - PAINT: "EASY-TRIM" ALUM. TRIMS AT ALL PANEL EDGES AND PANEL JOINTS (MATCH CLADDING/BRICK)
- C7 1X 8 FIBER CEMENT TRIM
- D1 P.T. WD. CONDENSOR SCREEN FENCE (PAINT)
- E1 SCONCE; SEE ELECTRICAL
- F1 42" TALL PRE FINISHED ALUMINUM BALCONY GUARDRAIL SYSTEM - SEE EXTERIOR FINISH SPECIFICATIONS
- F2 PVC / COMPOSITE FALSE LOUVER - PRIME AND PAINT
- M1 METAL SIDING TYPE M1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- M3 METAL CORNER TRIM TO MATCH ADJACENT MTL SIDING FINISH
- M4 METAL "J" TRIM AROUND WINDOW / WALL OPENING TO MATCH ADJACENT SIDING FINISH
- M5 PREFIN. MTL Z-FLASHING TO PROVIDE EXPANSION JOINT FOR SIDING PANELS - COLOR TO MATCH ADJACENT SIDING
- R1 ASPHALT SHINGLES ON 15# ROOFING FELT
- R2 RIDGE VENT
- R3 PREFIN. METAL GUTTER
- R4 PREFIN. METAL DOWNSPOUT - SEE ROOF PLAN FOR MORE INFO.

NQ WINDOWS ARE REQUIRED PER OBC 2604 TO HAVE SAFETY GLAZING. ALL PATIO DOORS AND TRANSOMS ARE REQ'D TO HAVE SAFETY GLAZING

SEE SHEET A9-01 FOR WINDOWS REQUIRED TO COMPLY WITH OBC 1030.2, 24" NET CLEAR OPENING, 5.7 S.F. CLEAR OPENING.

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- R6 PREFIN METAL FLASHING CAP
- R7 CONT. PREFIN. MTL. DRIPEDGE
- V1 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V2 VINYL SIDING TYPE V2 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V3 VINYL SIDING TYPE V3 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V4 4" SMOOTH VINYL CORNER POST WITH INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING
- V5 DOUBLE "J" CHANNEL TO RECEIVE BOARD AND BATTEN SIDING FROM BELOW AND ABOVE - COLOR TO MATCH ADJACENT SIDING
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- V7 PVC EXHAUST AND INTAKE TERMINALS W/ PVC MOUNTING BLOCK W/ INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING / BRICK
- V8 VINYL J-CHANNEL - COLOR TO MATCH ADJACENT FIELD SIDING
- V9 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET. TERMINATE AT ALL EDGES WITH J-CHANNEL TO MATCH SIDING TYPE V1

EXTERIOR FINISH SPECIFICATIONS BLDGS. A, B, C, D, E

- BRICK:** PALMETTO BRICK, 1.25 GREYSTONE. MODULAR SIZE
- MORTAR:** TYPE N STANDARD WITH BROWN MASONS SAND
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- SIDING (VINYL) TYPE V1:** ROYAL BOARD AND BATTEN SIDING (COLOR: STERLING) OR EQUAL
- SIDING (VINYL) TYPE V2:** ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL
- SIDING (VINYL) TYPE V3:** ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: STERLING) OR EQUAL
- SOFFIT (VINYL) TYPE VS:** ROYAL, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL
- PANEL SIDING:** JAMES HARDIE "HARDI-PANEL", SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 7757 HIGH REFLECTIVE WHITE)
- FASCIA / BALCONY TRIM:** FIBER CEMENT / COMPOSITE, SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 6991 BLACK MAGIC)
- COPING AND FLASHINGS:** BY SIDING MANUFACTURER TO MATCH ADJACENT METAL SIDING
- GUTTERS:** 5" BEVEL PROFILE, GALVALUME FINISH. COLOR: BLACK
- DOWNSPOUTS:** 4" ROUND, GALVALUME FINISH. COLOR: BLACK
- WINDOWS:** VINYL SINGLE HUNG WINDOWS W/ UNEQUAL SASHES. FRAME COLOR: WHITE.
- BALCONY DOORS:** VINYL INSULATED PATIO DOOR. FINISH TO MATCH WINDOWS NO SIMULATED DIVIDED LITES.
- BALCONY RAILINGS:** PREFABRICATED, PREFINISHED ALUMINUM GUARDRAIL, 42" TALL (SUPER PROLINE RAILING), CONTINUOUS TOP RAIL OVER POSTS TYP. AS ILLUSTRATED ON ELEVATIONS. COLOR: BLACK.
- CONDENSOR FENCE:** P.T. WOOD. COLOR: BLACK MAGIC SW 6991



Building B View Front Left



Building B View of Front Right



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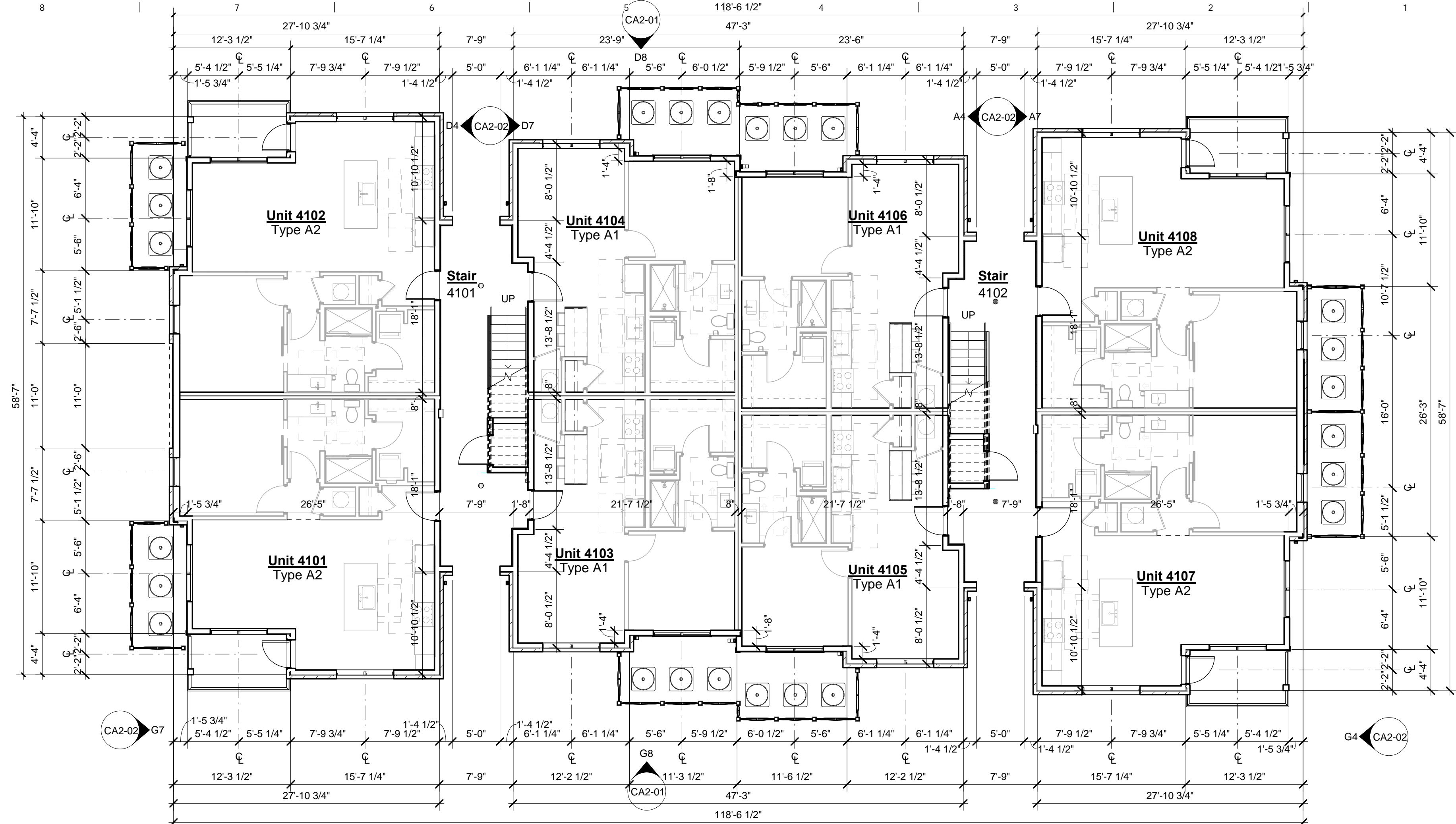
Project Number
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Bldg. 2,3,4,6
Exterior Views

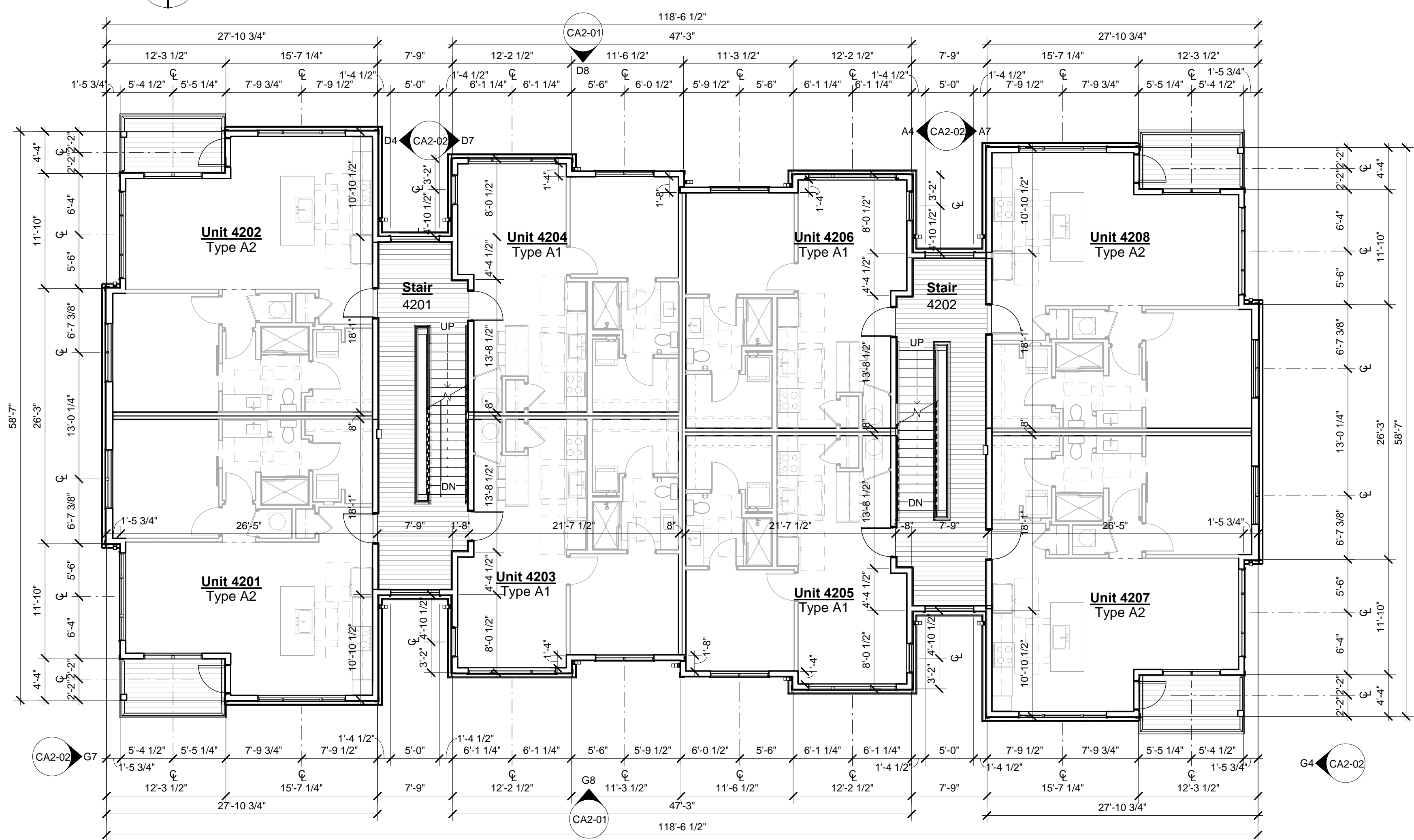
BA2-03

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E8 Bldg. C - Floor 1 Plan
 1/8" = 1'-0"



A8 Bldg. C - Floor 2 Plan
 1/8" = 1'-0"



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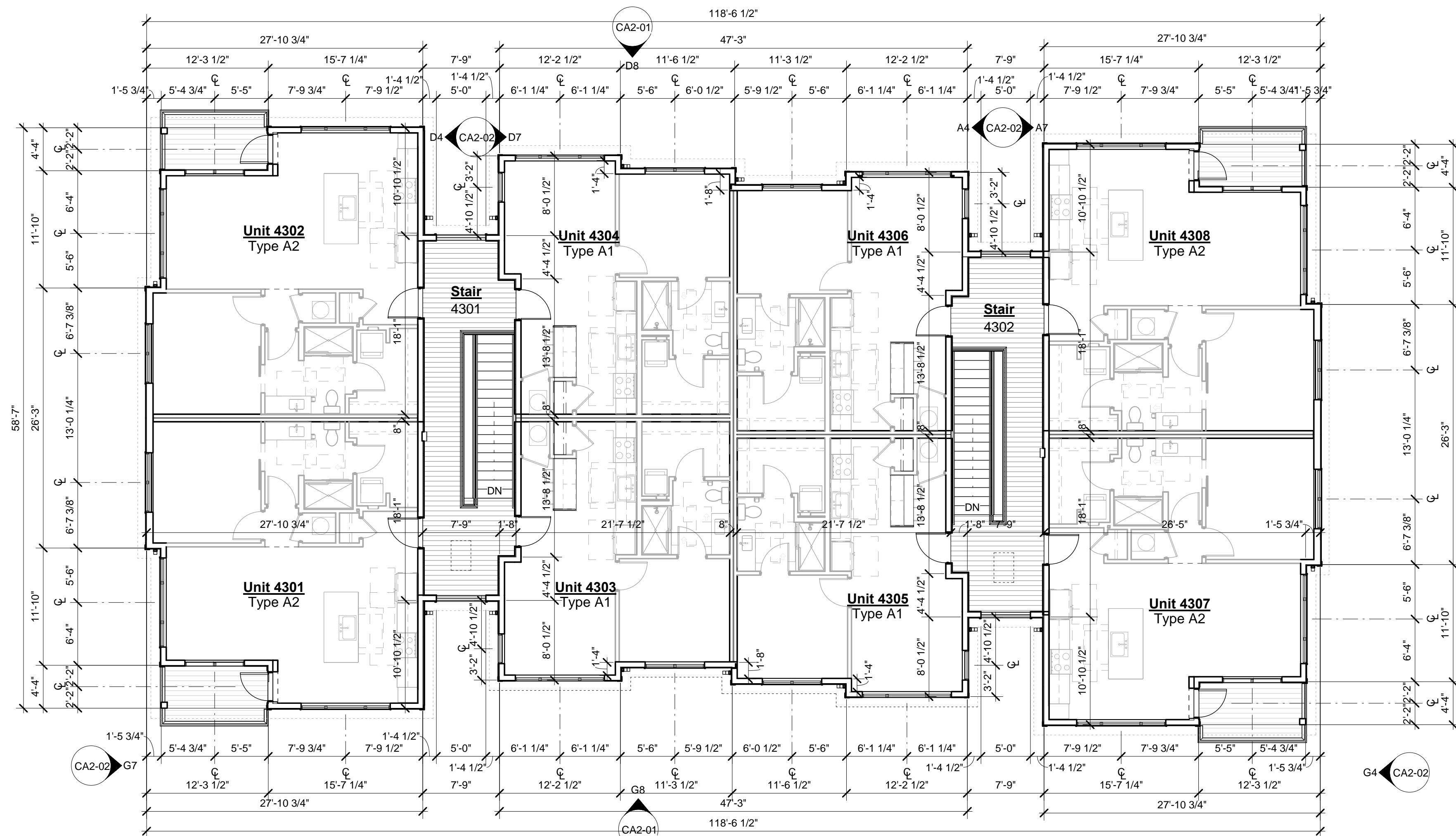
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Bldg. 5 - Floor 3 &
Roof Plans

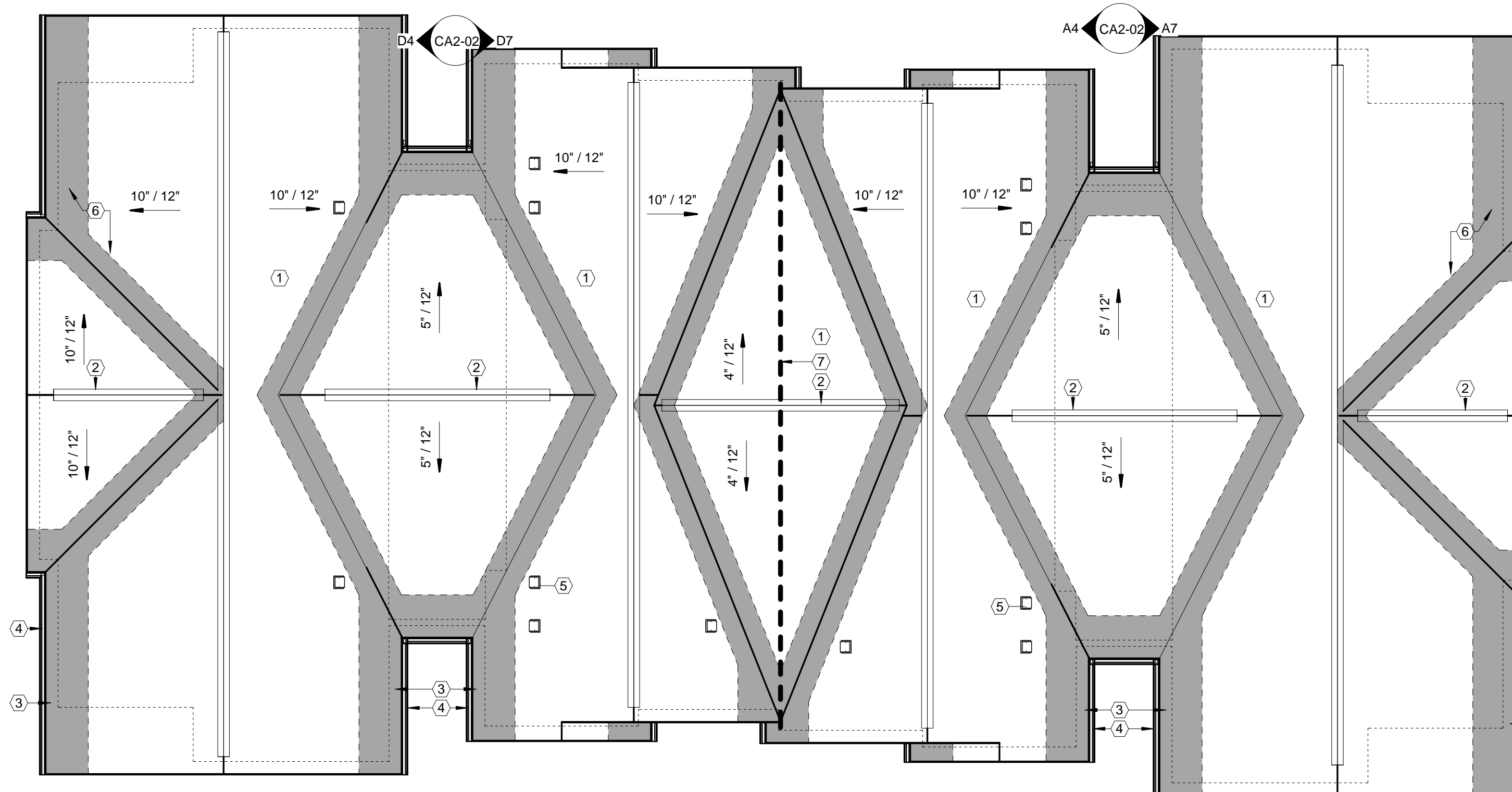
CA1-02



E8 Bldg. C - Floor 3 Plan
1/8" = 1'-0"

ROOF PLAN CODED NOTES

- 1 ASPHALT SHINGLE ROOFING (MIN. 25 YEAR WARRANTY) ON 15# FELTS. SEE EXTERIOR FINISH SPECIFICATIONS FOR SHINGLE SPEC.
- 2 RIDGE VENT. COR-A-VENT S-400 OR EQUAL TO PROVIDE 20 SQUARE INCHES OF NET FREE AREA PER LINEAL FOOT.
- 3 SOFFIT VENTING TO PROVIDE 5 SQUARE INCHES OF NET FREE VENT AREA PER LINEAR FOOT OF SOFFIT.
- 4 PREFINISHED ALUMINUM GUTTER. SEE EXTERIOR FINISH SPECIFICATIONS FOR GUTTER SPEC.
- 5 BOX VENT; BLACK FINISH - 50 SQ IN NET FREE AREA
- 6 SHADED AREA INDICATES ICE AND WATER SHIELD TO BE INSTALLED FROM FASCIA UP 24" (MIN.) MEASURED THE INSIDE FACE OF THE EXTERIOR WALL LINE TYPICAL AND UP 18" EITHER DIRECTION FROM VALLEYS.
- 7 DRAFTSTOPPING IN ATTIC OVER TENANT SEPARATION WALL - SEE WALL SECTIONS FOR MORE INFO



A8 Bldg. C - Roof Plan
1/8" = 1'-0"



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Johnstown Road
Apartments
Gahanna, OH

Date of Issue:
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Project Number
23012

Bldg. 5 Exterior
Elevations

CA2-01



G8 Bldg. C Front Elevation

1/8" = 1'-0"



D8 Bldg. C Rear Elevation

1/8" = 1'-0"

FIBER CEMENT PANEL TRIM SCHEDULE

AT WINDOW SILLS: EZ-8 J-TRIM
AT WINDOW HEADS: EZ-4 J-TRIM
AT SIDE EDGES: EZ-8 J-TRIM
AT BOTTOM EDGES: EZ-10 BASE TRIM
AT HORIZ. PANEL JOINTS: EZ-5 PANEL TRIM
AT VERT. PANEL JOINTS: EZ-7 PANEL TRIM
AT OUTSIDE CORNERS: EZ-14 OUTSIDE CORNER
MODEL NUMBERS BASED ON "EASYSYSTEM" REVEALS
FINISH AT ALL LOCATIONS: WHITE

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- A1 DASHED LINE INDICATES LOCATION OF ELECTRIC METERS AND SWITCHGEAR - SEE ELECTRICAL DRAWINGS
- B1 BRICK VENEER
- B2 BRICK ROWLOCK WINDOWSILL, SLOPE 15 DEGREES MIN. AND PROJECT MIN 3/4" BEYOND FACE OF BRICK VENEER.
- B3 BRICK ROWLOCK WATER TABLE (SLOPE 15° MIN.)
- C1 1X 10 FIBER CEMENT ROOF FASCIA
- C2 1X 10 FIBER CEMENT BALCONY FASCIA
- C3 1X 12 FIBER CEMENT FASCIA
- C4 6X6 P.T. WD. POST W/ 1X SMOOTH PRE-PRIMED FIBER CEMENT TRIM WRAP (PAINT)
- C5 1/4" PRE-PRIMED FIBER REINFORCED CEMENT PANEL CLADDING - PAINT. "EASY-TRIM" ALUM. TRIMS AT ALL PANEL EDGES AND PANEL JOINTS (MATCH CLADDING/BRICK)
- C7 1X 8 FIBER CEMENT TRIM
- D1 P.T. WD. CONDENSOR SCREEN FENCE (PAINT)
- E1 SCONGE: SEE ELECTRICAL
- F1 42" TALL PRE FINISHED ALUMINUM BALCONY GUARDRAIL SYSTEM - SEE EXTERIOR FINISH SPECIFICATIONS
- F2 PVC / COMPOSITE FALSE LOUVER - PRIME AND PAINT
- M1 METAL SIDING TYPE M1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- M3 METAL CORNER TRIM TO MATCH ADJACENT MTL SIDING FINISH
- M4 METAL "J" TRIM AROUND WINDOW / WALL OPENING TO MATCH ADJACENT SIDING FINISH
- M5 PREFIN. MTL Z-FLASHING TO PROVIDE EXPANSION JOINT FOR SIDING PANELS - COLOR TO MATCH ADJACENT SIDING
- R1 ASPHALT SHINGLES ON 15# ROOFING FELT
- R2 RIDGE VENT
- R3 PREFIN. METAL GUTTER
- R4 PREFIN. METAL DOWNSPOUT - SEE ROOF PLAN FOR MORE INFO.

NO WINDOWS ARE REQUIRED PER OBC 2604 TO HAVE SAFETY GLAZING. ALL PATIO DOORS AND TRANSOMS ARE REQ'D TO HAVE SAFETY GLAZING

SEE SHEET A9-01 FOR WINDOWS REQUIRED TO COMPLY WITH OBC 1030.2, 24" NET CLEAR OPENING, 5.7 S.F. CLEAR OPENING.

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- R6 PREFIN METAL FLASHING CAP
- R7 CONT. PREFIN. MTL DRIPEDGE
- V1 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V2 VINYL SIDING TYPE V2 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V3 VINYL SIDING TYPE V3 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V4 4" SMOOTH VINYL CORNER POST WITH INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING
- V5 DOUBLE "J" CHANNEL TO RECEIVE BOARD AND BATTEN SIDING FROM BELOW AND ABOVE - COLOR TO MATCH ADJACENT SIDING
- V6 VINYL J-CHANNEL - COLOR TO MATCH WINDOWS
- V7 PVC EXHAUST AND INTAKE TERMINALS W/ PVC MOUNTING BLOCK W/ INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING / BRICK
- V8 VINYL J-CHANNEL - COLOR TO MATCH ADJACENT FIELD SIDING
- V9 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET. TERMINATE AT ALL EDGES WITH J-CHANNEL TO MATCH SIDING TYPE V1

EXTERIOR FINISH SPECIFICATIONS BLDGS. A, B, C, D, E

BRICK: PALMETTO BRICK, 1.25 GREYSTONE. MODULAR SIZE
MORTAR: TYPE N STANDARD WITH BROWN MASONS SAND
SHINGLE ROOFING: CERTAINTED "LANDMARK" ASPHALT SHINGLES. COLOR: MOIRE BLACK
SIDING (METAL) TYPE M1: DMI CP75 EXPOSED FASTENER CORRUGATED METAL SIDING (COLOR: METALLIC SILVER)
SIDING (VINYL) TYPE V1: ROYAL BOARD AND BATTEN SIDING (COLOR: STERLING) OR EQUAL
SIDING (VINYL) TYPE V2: ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL
SIDING (VINYL) TYPE V3: ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: STERLING) OR EQUAL
SOFFIT (VINYL) TYPE VS: ROYAL. SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL
PANEL SIDING: JAMES HARDIE "HARDI-PANEL", SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 7757 HIGH REFLECTIVE WHITE)
FASCIA / BALCONY TRIM: FIBER CEMENT / COMPOSITE, SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 6991 BLACK MAGIC)
COPING AND FLASHINGS: BY SIDING MANUFACTURER TO MATCH ADJACENT METAL SIDING
GUTTERS: 5" BEVEL PROFILE, GALVALUME FINISH. COLOR: BLACK
DOWNSPOUTS: 4" ROUND, GALVALUME FINISH. COLOR: BLACK
WINDOWS: VINYL SINGLE HUNG WINDOWS W/ UNEQUAL SASHES. FRAME COLOR: WHITE.
BALCONY DOORS: VINYL INSULATED PATIO DOOR, FINISH TO MATCH WINDOWS NO SIMULATED DIVIDED LITES.
BALCONY RAILINGS: PREFABRICATED, PREFINISHED ALUMINUM GUARDRAIL, 42" TALL (SUPER PROLINE RAILING), CONTINUOUS TOP RAIL OVER POSTS TYP. AS ILLUSTRATED ON ELEVATIONS. COLOR: BLACK.
CONDENSOR FENCE: P.T. WOOD. COLOR: BLACK MAGIC SW 6991



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FIBER CEMENT PANEL TRIM SCHEDULE

AT WINDOW SILLS: EZ-8 J-TRIM
AT WINDOW HEADS: EZ-4 J-TRIM
AT SIDE EDGES: EZ-8 J-TRIM
AT BOTTOM EDGES: EZ-10 BASE TRIM
AT HORIZ. PANEL JOINTS: EZ-5 PANEL TRIM
AT VERT. PANEL JOINTS: EZ-7 PANEL TRIM
AT OUTSIDE CORNERS: EZ-14 OUTSIDE CORNER
MODEL NUMBERS BASED ON "EASYTRIM" REVEALS
FINISH AT ALL LOCATIONS: WHITE



G7 Bldg. C Left Elevation
1/8" = 1'-0"



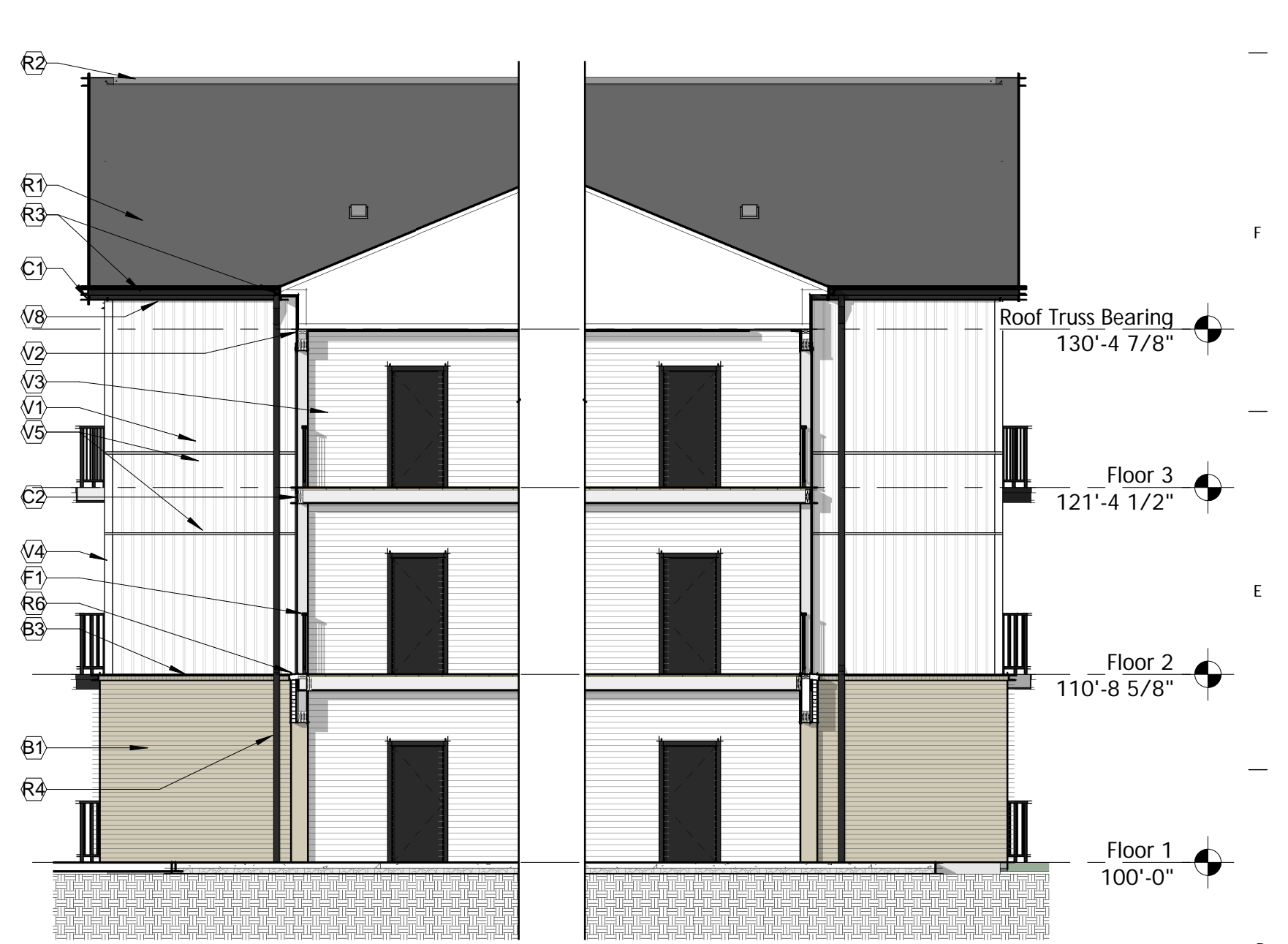
G4 Bldg. C Right Elevation
1/8" = 1'-0"



A7 Bldg. C Breezeway 2 Elev. A
1/8" = 1'-0"



D7 Bldg. C Breezeway 1 Elev. A
1/8" = 1'-0"



D4 Bldg. C Breezeway 1 Elev. B
1/8" = 1'-0"



A4 Bldg. C Breezeway 2 Elev. B
1/8" = 1'-0"

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- A1 DASHED LINE INDICATES LOCATION OF ELECTRIC METERS AND SWITCHGEAR - SEE ELECTRICAL DRAWINGS
- B1 BRICK VENEER
- B2 BRICK ROWLOCK WINDOWSILL. SLOPE 15 DEGREE MIN. AND PROJECT MIN 3/4" BEYOND FACE OF BRICK VENEER.
- B3 BRICK ROWLOCK WATER TABLE (SLOPE 15° MIN.)
- C1 1X 10 FIBER CEMENT ROOF FASCIA
- C2 1X 10 FIBER CEMENT BALCONY FASCIA
- C3 1X 12 FIBER CEMENT FASCIA
- C4 6X6 P.T. WD. POST W/ 1X SMOOTH PRE-PRIMED FIBER CEMENT TRIM WRAP (PAINT)
- C5 1/4" PRE-PRIMED FIBER REINFORCED CEMENT PANEL CLADDING - PAINT. "EASY-TRIM" ALLUM. TRIMS AT ALL PANEL EDGES AND PANEL JOINTS (MATCH CLADDING/BRICK)
- C7 1X 8 FIBER CEMENT TRIM
- D1 P.T. WD. CONDENSOR SCREEN FENCE (PAINT)
- E1 SCOFF, SEE ELECTRICAL
- F1 42" TALL PRE FINISHED ALUMINUM BALCONY GUARDRAIL SYSTEM - SEE EXTERIOR FINISH SPECIFICATIONS
- F2 PVC / COMPOSITE FALSE LOUVER - PRIME AND PAINT
- M1 METAL SIDING TYPE M1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- M3 METAL CORNER TRIM TO MATCH ADJACENT MTL SIDING FINISH
- M4 METAL 1" TRIM AROUND WINDOW / WALL OPENING TO MATCH ADJACENT SIDING FINISH
- M5 PREFIN. MTL Z-FLASHING TO PROVIDE EXPANSION JOINT FOR SIDING PANELS - COLOR TO MATCH ADJACENT SIDING
- R1 ASPHALT SHINGLES ON 15# ROOFING FELT
- R2 RIDGE VENT
- R3 PREFIN. METAL GUTTER
- R4 PREFIN. METAL DOWNSPOUT - SEE ROOF PLAN FOR MORE INFO.

NO WINDOWS ARE REQUIRED PER OBC 2604 TO HAVE SAFETY GLAZING. ALL PATIO DOORS AND TRANSOMS ARE REQ'D TO HAVE SAFETY GLAZING

SEE SHEET A9-01 FOR WINDOWS REQUIRED TO COMPLY WITH OBC 1030.2, 24" NET CLEAR OPENING, 5.7 S.F. CLEAR OPENING.

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- R6 PREFIN METAL FLASHING CAP
- R7 CONT. PREFIN. MTL. DRIPEDGE
- V1 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V2 VINYL SIDING TYPE V2 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V3 VINYL SIDING TYPE V3 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V4 4" SMOOTH VINYL CORNER POST WITH INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING
- V5 DOUBLE J CHANNEL TO RECEIVE BOARD AND BATTEN SIDING FROM BELOW AND ABOVE - COLOR TO MATCH ADJACENT SIDING
- V6 VINYL J-CHANNEL - COLOR TO MATCH WINDOWS
- V7 PVC EXHAUST AND INTAKE TERMINALS W/ PVC MOUNTING BLOCK W/ INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING / BRICK
- V8 VINYL J-CHANNEL - COLOR TO MATCH ADJACENT FIELD SIDING
- V9 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET. TERMINATE AT ALL EDGES WITH J-CHANNEL TO MATCH SIDING TYPE V1

EXTERIOR FINISH SPECIFICATIONS BLDGS. A, B, C, D, E

BRICK: PALMETTO BRICK, 1.25 GREYSTONE. MODULAR SIZE

MORTAR: TYPE N STANDARD WITH BROWN MASONS SAND

SHINGLE ROOFING: CERTAINTED "LANDMARK" ASPHALT SHINGLES. COLOR: MOIRE BLACK

SIDING (METAL) TYPE M1: DMI CP75 EXPOSED FASTENER CORRUGATED METAL SIDING (COLOR: METALLIC SILVER)

SIDING (VINYL) TYPE V1: ROYAL BOARD AND BATTEN SIDING (COLOR: STERLING) OR EQUAL

SIDING (VINYL) TYPE V2: ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL

SIDING (VINYL) TYPE V3: ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: STERLING) OR EQUAL

SOFFIT (VINYL) TYPE VS: ROYAL, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL

PANEL SIDING: JAMES HARDIE "HARDI-PANEL", SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 7757 HIGH REFLECTIVE WHITE)

FASCIA / BALCONY TRIM: FIBER CEMENT / COMPOSITE, SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 6991 BLACK MAGIC)

COPING AND FLASHINGS: BY SIDING MANUFACTURER TO MATCH ADJACENT METAL SIDING

GUTTERS: 5" BEVEL PROFILE, GALVALUME FINISH. COLOR: BLACK

DOWNSPOUTS: 4" ROUND, GALVALUME FINISH. COLOR: BLACK

WINDOWS: VINYL SINGLE HUNG WINDOWS W/ UNEQUAL SASHES. FRAME COLOR: WHITE.

BALCONY DOORS: VINYL INSULATED PATIO DOOR, FINISH TO MATCH WINDOWS NO SIMULATED DIVIDED LITES.

BALCONY RAILINGS: PREFABRICATED, PREFINISHED ALUMINUM GUARDRAIL, 42" TALL (SUPER PROLINE RAILING), CONTINUOUS TOP RAIL OVER POSTS TYP. AS ILLUSTRATED ON ELEVATIONS. COLOR: BLACK.

CONDENSOR FENCE: P.T. WOOD. COLOR: BLACK MAGIC SW 6991

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Project Number
23012
Bldg. 5 Exterior
Elevations
CA2-02



Building C View of Front Left



Building C View of Front Right



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Apartments

Gahanna, OH

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Project Number
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Bldg. 5 Exterior
Views

CA2-03



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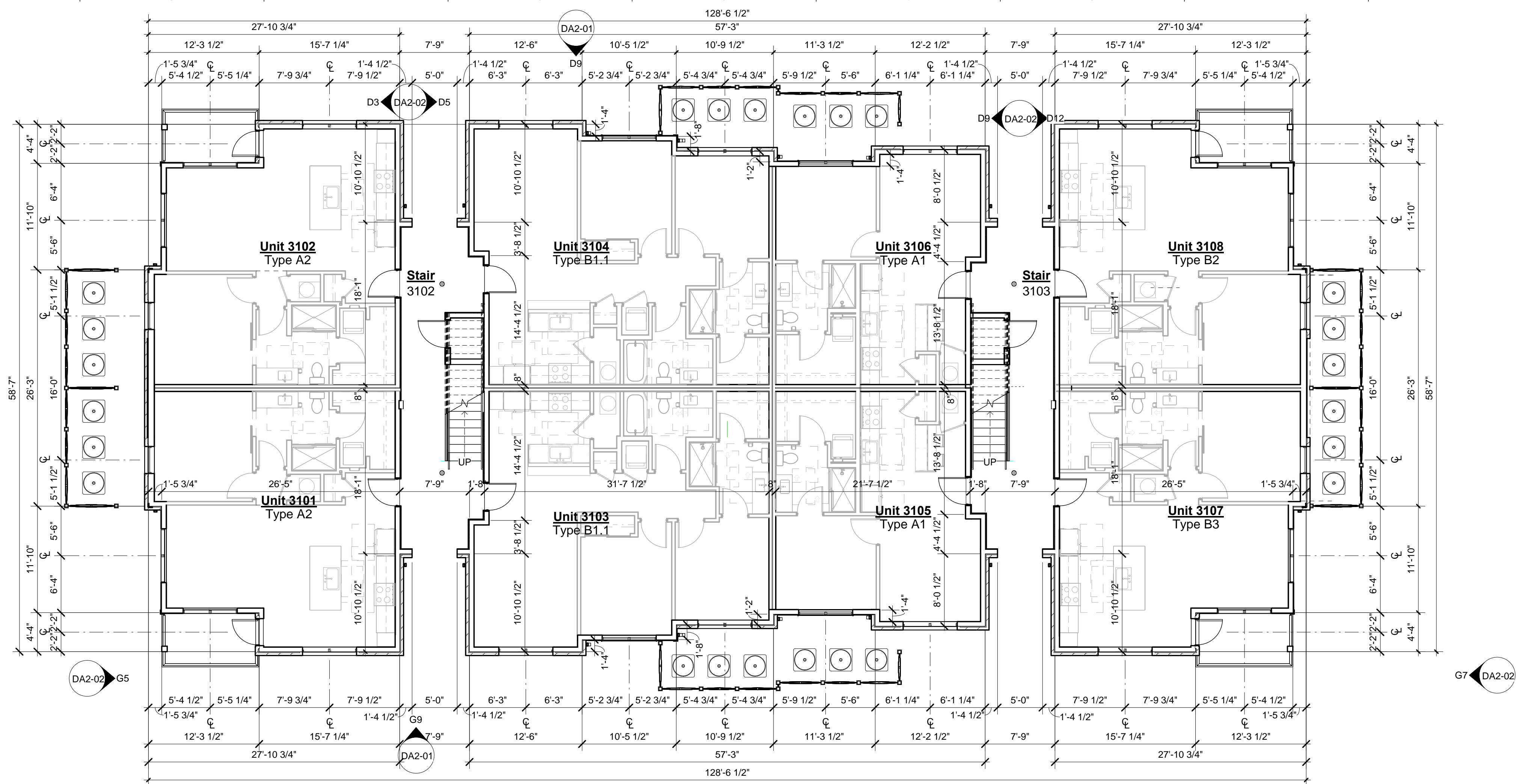
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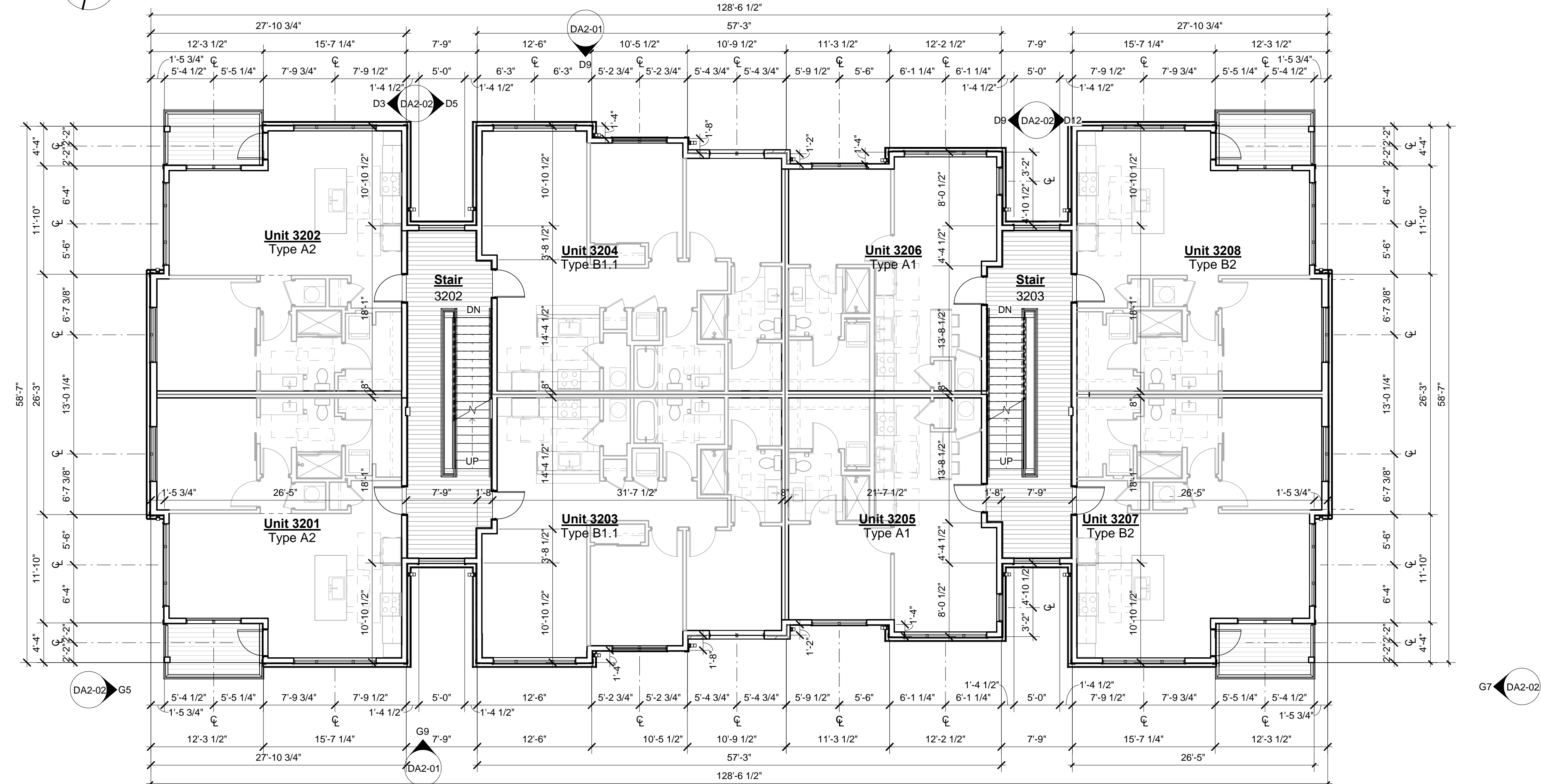
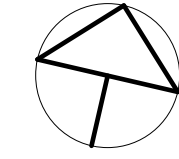
Project Number
23012

Bldg. 1 - Floor 1 &
2 Plans

DA1-01



E10 Bldg. D - Floor 1 Plan
1/8" = 1'-0"



A10 Bldg. D - Floor 2 Plan
1/8" = 1'-0"

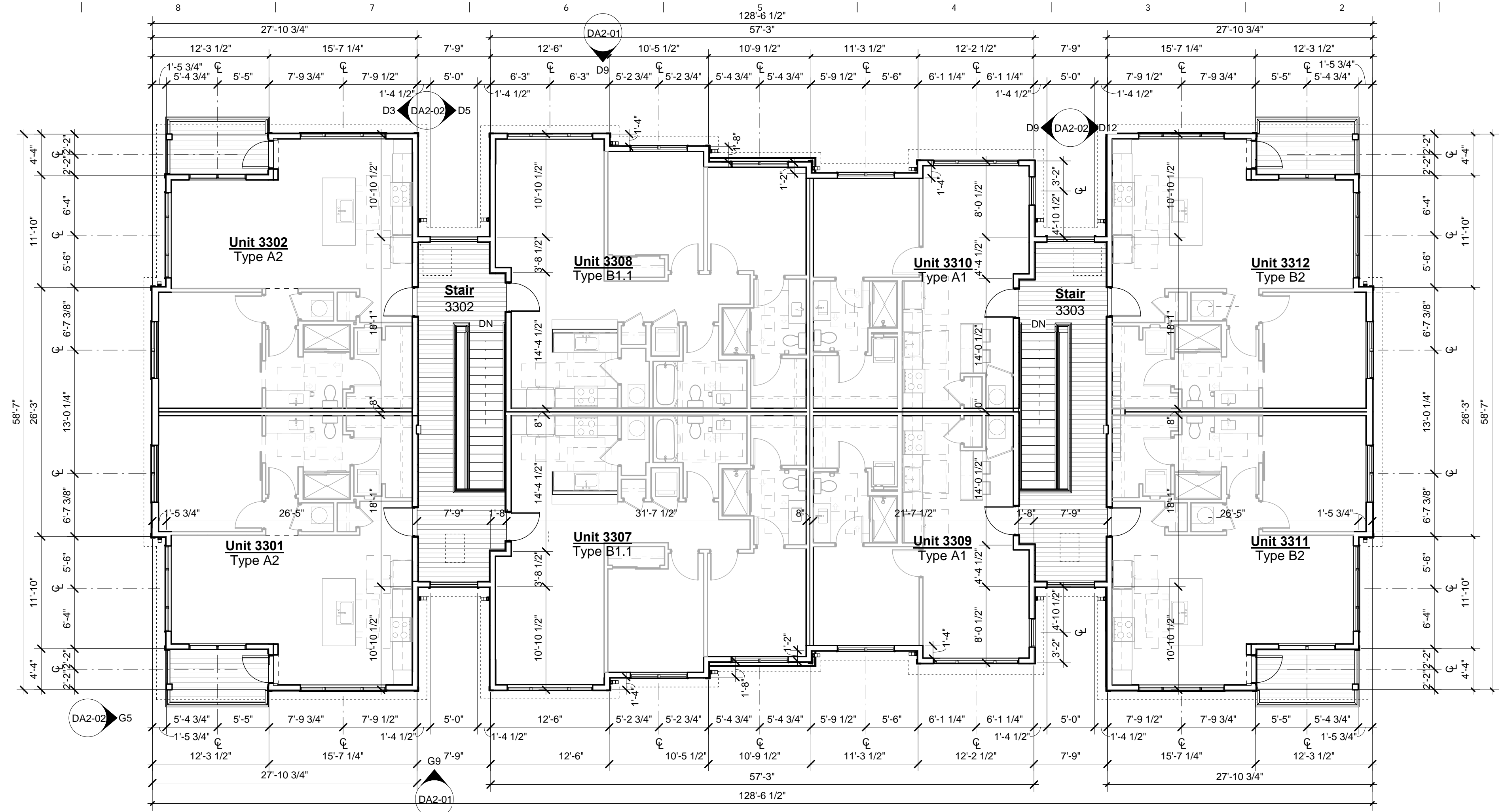
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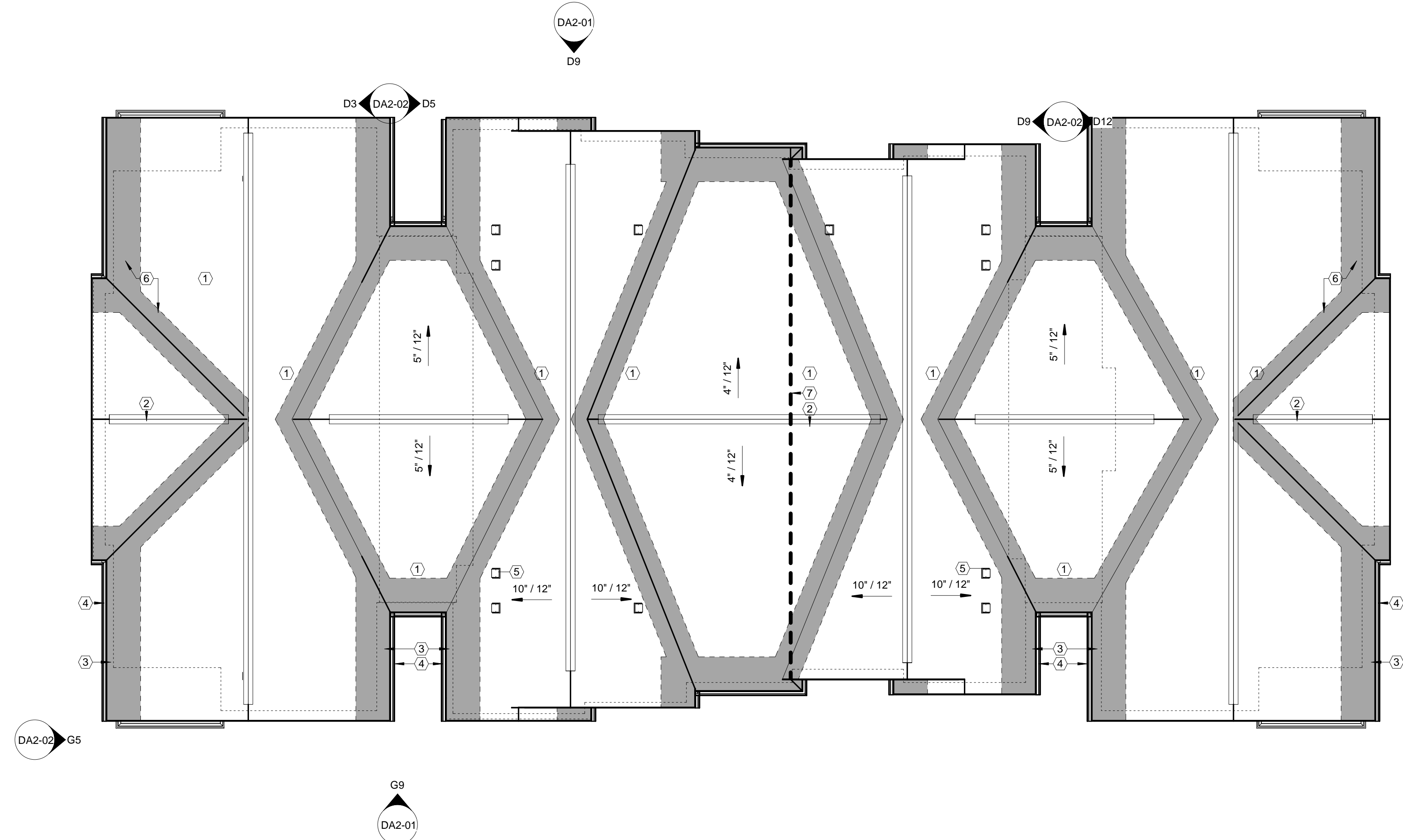
**Bldg. 1 - Floor 3 &
 Roof Plans**

DA1-02



E10 Bldg. D - Floor 3 Plan
 1/8" = 1'-0"

- ROOF PLAN CODED NOTES**
- 1 ASPHALT SHINGLE ROOFING (MIN. 25 YEAR WARRANTY) ON 15# FELTS. SEE EXTERIOR FINISH SPECIFICATIONS FOR SHINGLE SPEC.
 - 2 RIDGE VENT, COR-A-VENT S-400 OR EQUAL TO PROVIDE 20 SQUARE INCHES OF NET FREE AREA PER LINEAL FOOT.
 - 3 SOFFIT VENTING TO PROVIDE 5 SQUARE INCHES OF NET FREE VENT AREA PER LINEAL FOOT OF SOFFIT.
 - 4 PREFINISHED ALUMINUM GUTTER. SEE EXTERIOR FINISH SPECIFICATIONS FOR GUTTER SPEC.
 - 5 BOX VENT; BLACK FINISH - 50 SQ IN NET FREE AREA
 - 6 SHADED AREA INDICATES ICE AND WATER SHIELD TO BE INSTALLED FROM FASCIA UP 24" (MIN.) MEASURED THE INSIDE FACE OF THE EXTERIOR WALL LINE TYPICAL AND UP 18" EITHER DIRECTION FROM VALLEYS.
 - 7 DRAFTSTOPPING IN ATTIC OVER TENANT SEPARATION WALL - SEE WALL SECTIONS FOR MORE INFO



A10 Bldg. D - Roof Plan
 1/8" = 1'-0"



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G9 Bldg. D Front Elevation
1/8" = 1'-0"



D9 Bldg. D Rear Elevation
1/8" = 1'-0"

FIBER CEMENT PANEL TRIM SCHEDULE

AT WINDOW SILLS: E2-8 J-TRIM
AT WINDOW HEADS: E2-4 J-TRIM
AT SIDE EDGES: E2-8 J-TRIM
AT BOTTOM EDGES: E2-10 BASE TRIM
AT HORIZ. PANEL JOINTS: E2-5 PANEL TRIM
AT VERT. PANEL JOINTS: E2-7 PANEL TRIM
AT OUTSIDE CORNERS: E2-14 OUTSIDE CORNER

MODEL NUMBERS BASED ON "EASYTRIM" REVEALS
FINISH AT ALL LOCATIONS: WHITE

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

A1 DASHED LINE INDICATES LOCATION OF ELECTRIC METERS AND SWITCHGEAR - SEE ELECTRICAL DRAWINGS
B1 BRICK VENEER
B2 BRICK ROWLOCK WINDOW/SILL. SLOPE 15 DEGREE MIN. AND PROJECT MIN 3/4" BEYOND FACE OF BRICK VENEER.
B3 BRICK ROWLOCK WATER TABLE (SLOPE 15" MIN.)
C1 1X 10 FIBER CEMENT ROOF FASCIA
C2 1X 12 FIBER CEMENT BALCONY FASCIA
C3 6X6 P.T. WD. POST W/ 1X SMOOTH PRE-PRIMED FIBER CEMENT TRIM WRAP (PAINT)
C4 1/4" PRE-PRIMED FIBER REINFORCED CEMENT PANEL CLADDING - PAINT. "EASY-TRIM" ALUM. TRIMS AT ALL PANEL EDGES AND PANEL JOINTS (MATCH CLADDING/BRICK)
C5 1X 8 FIBER CEMENT TRIM
D1 P.T. WD. CONDENSOR SCREEN FENCE (PAINT)
E1 SCONCE; SEE ELECTRICAL
F1 42" TALL PRE FINISHED ALUMINUM BALCONY GUARDRAIL SYSTEM - SEE EXTERIOR FINISH SPECIFICATIONS
F2 PVC / COMPOSITE FALSE LOUVER - PRIME AND PAINT
M1 METAL SIDING TYPE M1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
M3 METAL CORNER TRIM TO MATCH ADJACENT MTL SIDING FINISH
M4 METAL J TRIM AROUND WINDOW / WALL OPENING TO MATCH ADJACENT SIDING FINISH
M5 PREFIN. MTL Z-FLASHING TO PROVIDE EXPANSION JOINT FOR SIDING PANELS - COLOR TO MATCH ADJACENT SIDING
R1 ASPHALT SHINGLES ON 15# ROOFING FELT
R2 RIDGE VENT
R3 PREFIN. METAL GUTTER
R4 PREFIN. METAL DOWNSPOUT - SEE ROOF PLAN FOR MORE INFO.

NO WINDOWS ARE REQUIRED PER OBC 2604 TO HAVE SAFETY GLAZING. ALL PATIO DOORS AND TRANSOMS ARE REQ'D TO HAVE SAFETY GLAZING

SEE SHEET A9-01 FOR WINDOWS REQUIRED TO COMPLY WITH OBC 1030.2, 24" NET CLEAR OPENING, 5.7 S.F. CLEAR OPENING.

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

R6 PREFIN METAL FLASHING CAP
R7 CONT. PREFIN. MTL. DRIPEDGE
V1 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
V2 VINYL SIDING TYPE V2 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
V3 VINYL SIDING TYPE V3 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
V4 4" SMOOTH VINYL CORNER POST WITH INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING
V5 DOUBLE J CHANNEL TO RECEIVE BOARD AND BATTEN SIDING FROM BELOW AND ABOVE - COLOR TO MATCH ADJACENT SIDING
V6 VINYL J-CHANNEL - COLOR TO MATCH WINDOWS
V7 PVC EXHAUST AND INTAKE TERMINALS W/ PVC MOUNTING BLOCK W/ INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING / BRICK
V8 VINYL J-CHANNEL - COLOR TO MATCH ADJACENT FIELD SIDING
V9 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET. TERMINATE AT ALL EDGES WITH J-CHANNEL TO MATCH SIDING TYPE V1

EXTERIOR FINISH SPECIFICATIONS BLDGS. A, B, C, D, E

BRICK: PALMETTO BRICK, 1.25 GREYSTONE. MODULAR SIZE
MORTAR: TYPE N STANDARD WITH BROWN MASONS SAND
SHINGLE ROOFING: CERTAINTED "LANDMARK" ASPHALT SHINGLES. COLOR: MOIRE BLACK
SIDING (METAL) TYPE M1: DMI CP75 EXPOSED FASTENER CORRUGATED METAL SIDING (COLOR: METALLIC SILVER)
SIDING (VINYL) TYPE V1: ROYAL BOARD AND BATTEN SIDING (COLOR: STERLING) OR EQUAL
SIDING (VINYL) TYPE V2: ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL
SIDING (VINYL) TYPE V3: ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: STERLING) OR EQUAL
SOFFIT (VINYL) TYPE VS: ROYAL, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL
PANEL SIDING: JAMES HARDIE "HARDI-PANEL", SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 7757 HIGH REFLECTIVE WHITE)
FASCIA / BALCONY TRIM: FIBER CEMENT / COMPOSITE, SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 6991 BLACK MAGIC)
COPING AND FLASHINGS: BY SIDING MANUFACTURER TO MATCH ADJACENT METAL SIDING
GUTTERS: 5" BEVEL PROFILE, GALVALUME FINISH. COLOR: BLACK
DOWNSPOUTS: 4" ROUND, GALVALUME FINISH. COLOR: BLACK
WINDOWS: VINYL SINGLE HUNG WINDOWS W/ UNEQUAL SASHES. FRAME COLOR: WHITE.
BALCONY DOORS: VINYL INSULATED PATIO DOOR, FINISH TO MATCH WINDOWS NO SIMULATED DIVIDED LITES.
BALCONY RAILINGS: PREFABRICATED, PREFINISHED ALUMINUM GUARDRAIL, 42" TALL (SUPER PROLINE RAILING), CONTINUOUS TOP RAIL OVER POSTS TYP. AS ILLUSTRATED ON ELEVATIONS. COLOR: BLACK.
CONDENSOR FENCE: P.T. WOOD. COLOR: BLACK MAGIC SW 6991

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Project Number
23012

Bldg. 1 Exterior
Elevations

DA2-01



G5 Bldg. D Left Side Elevation
1/8" = 1'-0"



G7 Bldg. D Right Side Elevation
1/8" = 1'-0"

FIBER CEMENT PANEL TRIM SCHEDULE

AT WINDOW SILLS: EZ-8 J-TRIM
 AT WINDOW HEADS: EZ-4 J-TRIM
 AT SIDE EDGES: EZ-8 J-TRIM
 AT BOTTOM EDGES: EZ-10 BASE TRIM
 AT HORIZ. PANEL JOINTS: EZ-5 PANEL TRIM
 AT VERT. PANEL JOINTS: EZ-7 PANEL TRIM
 AT OUTSIDE CORNERS: EZ-14 OUTSIDE CORNER

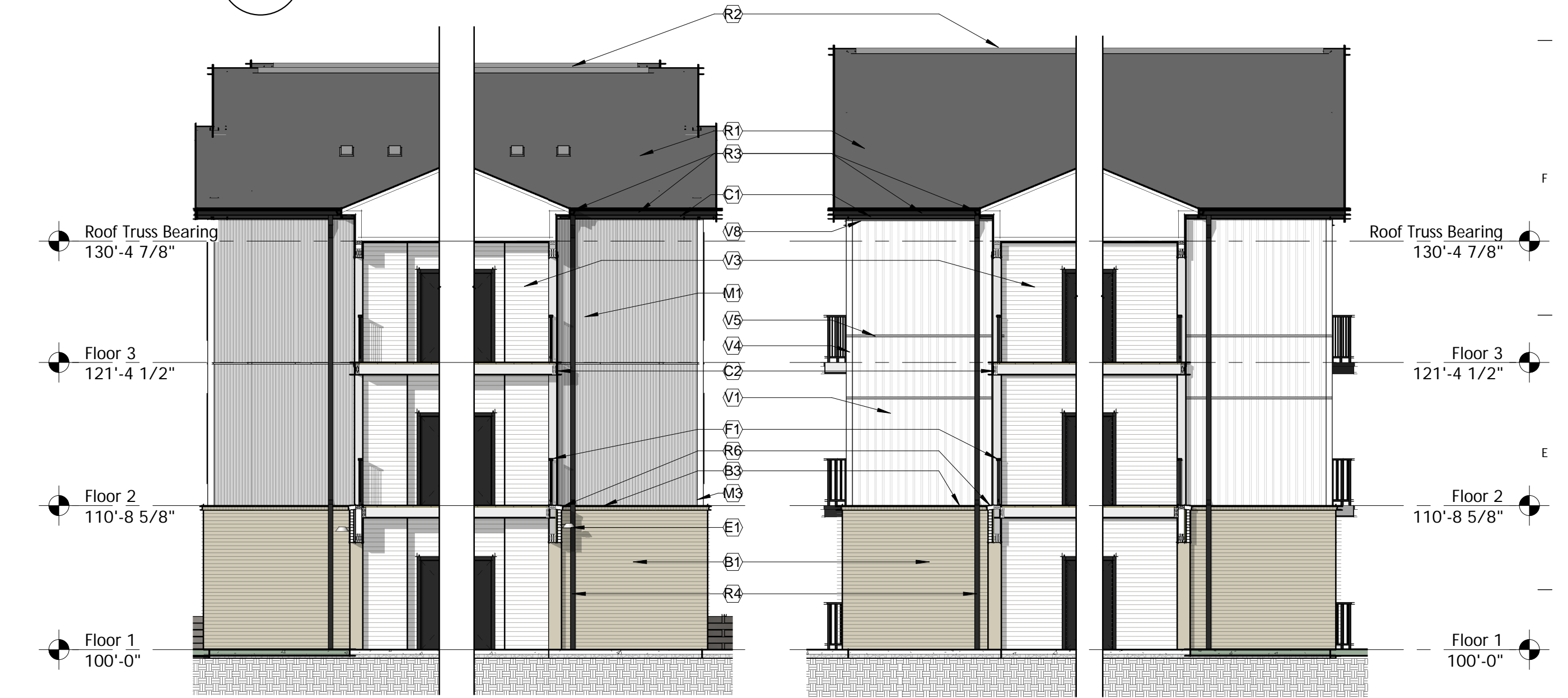
MODEL NUMBERS BASED ON "EASYTRIM" REVEALS

FINISH AT ALL LOCATIONS: WHITE



D12 Bldg. D Breezeway 2 Elev. A
1/8" = 1'-0"

D9 Bldg. D Breezeway 2 Elev. B
1/8" = 1'-0"



D5 Bldg. D Breezeway 1 Elev. A
1/8" = 1'-0"

D3 Bldg. D Breezeway 1 Elev. B
1/8" = 1'-0"

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

A1 DASHED LINE INDICATES LOCATION OF ELECTRIC METERS AND SWITCHGEAR - SEE ELECTRICAL DRAWINGS

B1 BRICK VENEER

B2 BRICK ROWLOCK WINDOWSILL - SLOPE 15 DEGREE MIN. AND PROJECT MIN 3/4" BEYOND FACE OF BRICK VENEER.

B3 BRICK ROWLOCK WATER TABLE (SLOPE 15° MIN.)

C1 1X 10 FIBER CEMENT ROOF FASCIA

C2 1X 10 FIBER CEMENT BALCONY FASCIA

C3 1X 12 FIBER CEMENT FASCIA

C4 6X6 P.T. WD. POST W/ 1X SMOOTH PRE-PRIMED FIBER CEMENT TRIM WRAP (PAINT)

C5 1/4" PRE-PRIMED FIBER REINFORCED CEMENT PANEL CLADDING - PAINT - "EASY-TRIM" ALUM. TRIMS AT ALL PANEL EDGES AND PANEL JOINTS (MATCH CLADDING/BRICK)

C7 1X 8 FIBER CEMENT TRIM

D1 P.T. WD. CONDENSOR SCREEN FENCE (PAINT)

E1 SCOONCE - SEE ELECTRICAL

F1 42" TALL PRE FINISHED ALUMINUM BALCONY GUARDRAIL SYSTEM - SEE EXTERIOR FINISH SPECIFICATIONS

F2 PVC / COMPOSITE FALSE LOUVER - PRIME AND PAINT

M1 METAL SIDING TYPE M1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET

M3 METAL CORNER TRIM TO MATCH ADJACENT MTL SIDING FINISH

M4 METAL "J" TRIM AROUND WINDOW / WALL OPENING TO MATCH ADJACENT SIDING FINISH

M5 PREFIN. MTL Z-FLASHING TO PROVIDE EXPANSION JOINT FOR SIDING PANELS - COLOR TO MATCH ADJACENT SIDING

R1 ASPHALT SHINGLES ON 15# ROOFING FELT

R2 RIDGE VENT

R3 PREFIN. METAL GUTTER

R4 PREFIN. METAL DOWNSPOUT - SEE ROOF PLAN FOR MORE INFO.

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

R6 PREFIN METAL FLASHING CAP

R7 CONT. PREFIN. MTL DRIPEDGE

V1 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET

V2 VINYL SIDING TYPE V2 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET

V3 VINYL SIDING TYPE V3 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET

V4 4" SMOOTH VINYL CORNER POST WITH INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING

V5 DOUBLE "J" CHANNEL TO RECEIVE BOARD AND BATTEN SIDING FROM BELOW AND ABOVE - COLOR TO MATCH ADJACENT SIDING

V6 VINYL J-CHANNEL - COLOR TO MATCH WINDOWS

V7 PVC EXHAUST AND INTAKE TERMINALS W/ PVC MOUNTING BLOCK W/ INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING / BRICK

V8 VINYL J-CHANNEL - COLOR TO MATCH ADJACENT FIELD SIDING

V9 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET. TERMINATE AT ALL EDGES WITH J-CHANNEL TO MATCH SIDING TYPE V1

EXTERIOR FINISH SPECIFICATIONS BLDGS. A, B, C, D, E

BRICK: PALMETTO BRICK, 1.25 GREYSTONE. MODULAR SIZE

MORTAR: TYPE N STANDARD WITH BROWN MASONS SAND

SHINGLE ROOFING: CERTAINTED "LANDMARK" ASPHALT SHINGLES. COLOR: MOIRE BLACK

SIDING (METAL) TYPE M1: DMI CP75 EXPOSED FASTENER CORRUGATED METAL SIDING (COLOR: METALLIC SILVER)

SIDING (VINYL) TYPE V1: ROYAL BOARD AND BATTEN SIDING (COLOR: STERLING) OR EQUAL

SIDING (VINYL) TYPE V2: ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL

SIDING (VINYL) TYPE V3: ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: STERLING) OR EQUAL

SOFFIT (VINYL) TYPE VS: ROYAL, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL

PANEL SIDING: JAMES HARDIE "HARDI-PANEL", SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 7757 HIGH REFLECTIVE WHITE)

FASCIA / BALCONY TRIM: FIBER CEMENT / COMPOSITE, SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 6991 BLACK MAGIC)

COPING AND FLASHINGS: BY SIDING MANUFACTURER TO MATCH ADJACENT METAL SIDING

GUTTERS: 5" BEVEL PROFILE, GALVALUME FINISH. COLOR: BLACK

DOWNSPOUTS: 4" ROUND, GALVALUME FINISH. COLOR: BLACK

WINDOWS: VINYL SINGLE HUNG WINDOWS W/ UNEQUAL SASHES. FRAME COLOR: WHITE.

BALCONY DOORS: VINYL INSULATED PATIO DOOR, FINISH TO MATCH WINDOWS NO SIMULATED DIVIDED LITES.

BALCONY RAILINGS: PREFABRICATED, PREFINISHED ALUMINUM GUARDRAIL, 42" TALL (SUPER PROLINE RAILING), CONTINUOUS TOP RAIL OVER POSTS TYP. AS ILLUSTRATED ON ELEVATIONS. COLOR: BLACK.

CONDENSOR FENCE: P.T. WOOD. COLOR: BLACK MAGIC SW 6991

NO WINDOWS ARE REQUIRED PER OBC 2604 TO HAVE SAFETY GLAZING. ALL PATIO DOORS AND TRANSOMS ARE REQ'D TO HAVE SAFETY GLAZING

SEE SHEET A9-01 FOR WINDOWS REQUIRED TO COMPLY WITH OBC 1030.2, 24" NET CLEAR OPENING, 5.7 S.F. CLEAR OPENING.

Date of Issue:
 2024-10-16
 Issued for:
 Zoning

Revision History :

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Project Number
 23012

Bldg. 1 Exterior
 Elevations

DA2-02



Building D View of Front Left



Building D View of Front Right



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Johnstown Road
Apartments
Gahanna, OH

Date of Issue:
2024-10-16
Issued for:
Zoning

Revision History :

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Project Number
23012

Bldg. 1 Exterior
Views

DA2-03



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Johnstown Road
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Gahanna, OH

Date of Issue:
2024-10-16
Issued for:
Zoning

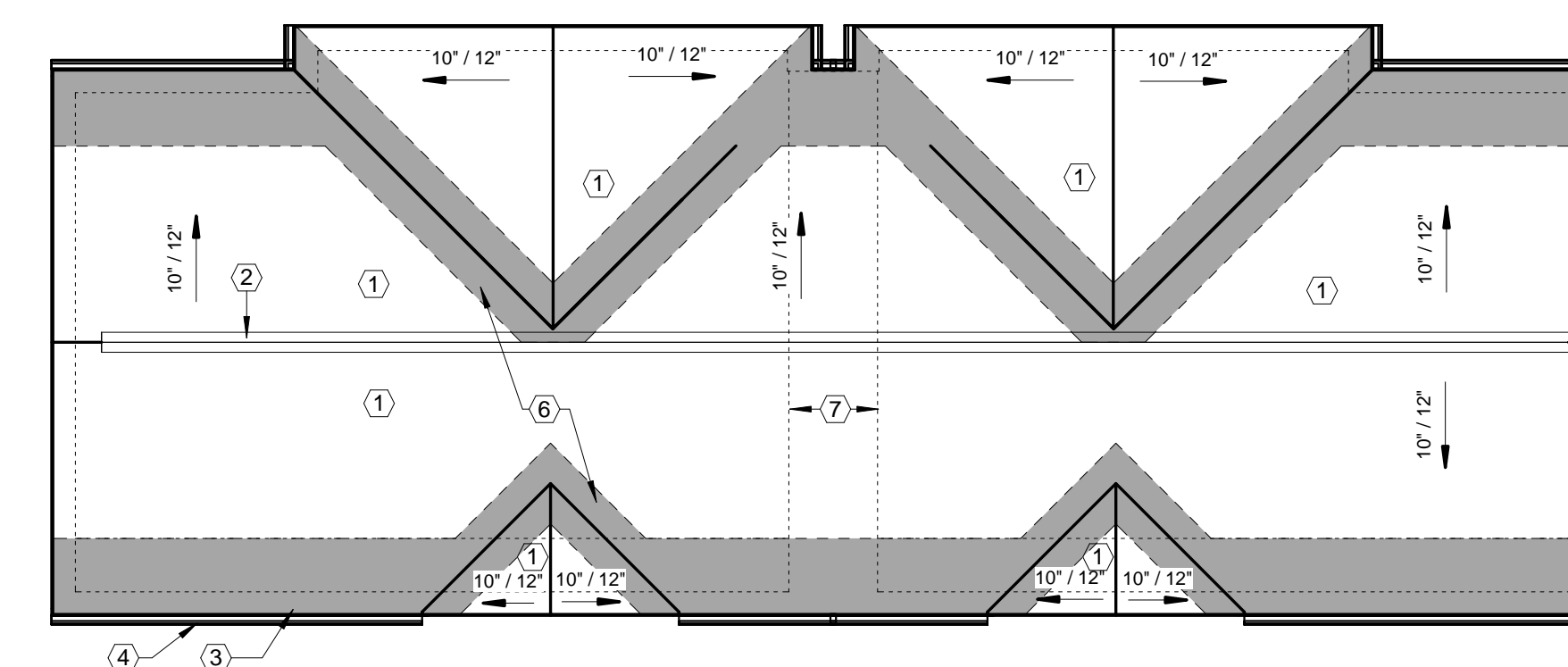
Revision History :

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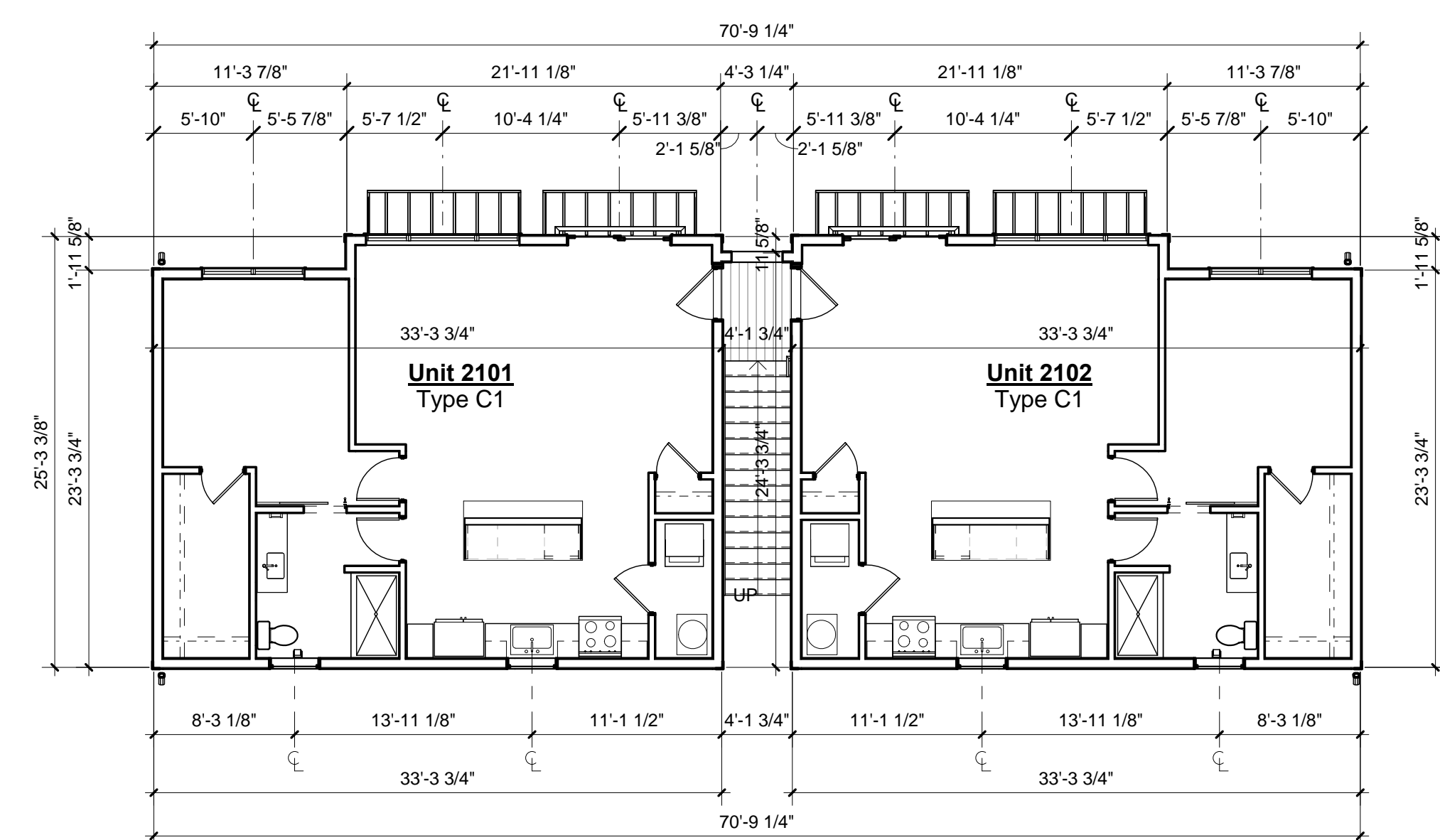
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Project Number
23012
Carriage House -
Floor 1 & 2 & Roof
Plans
EA1-01

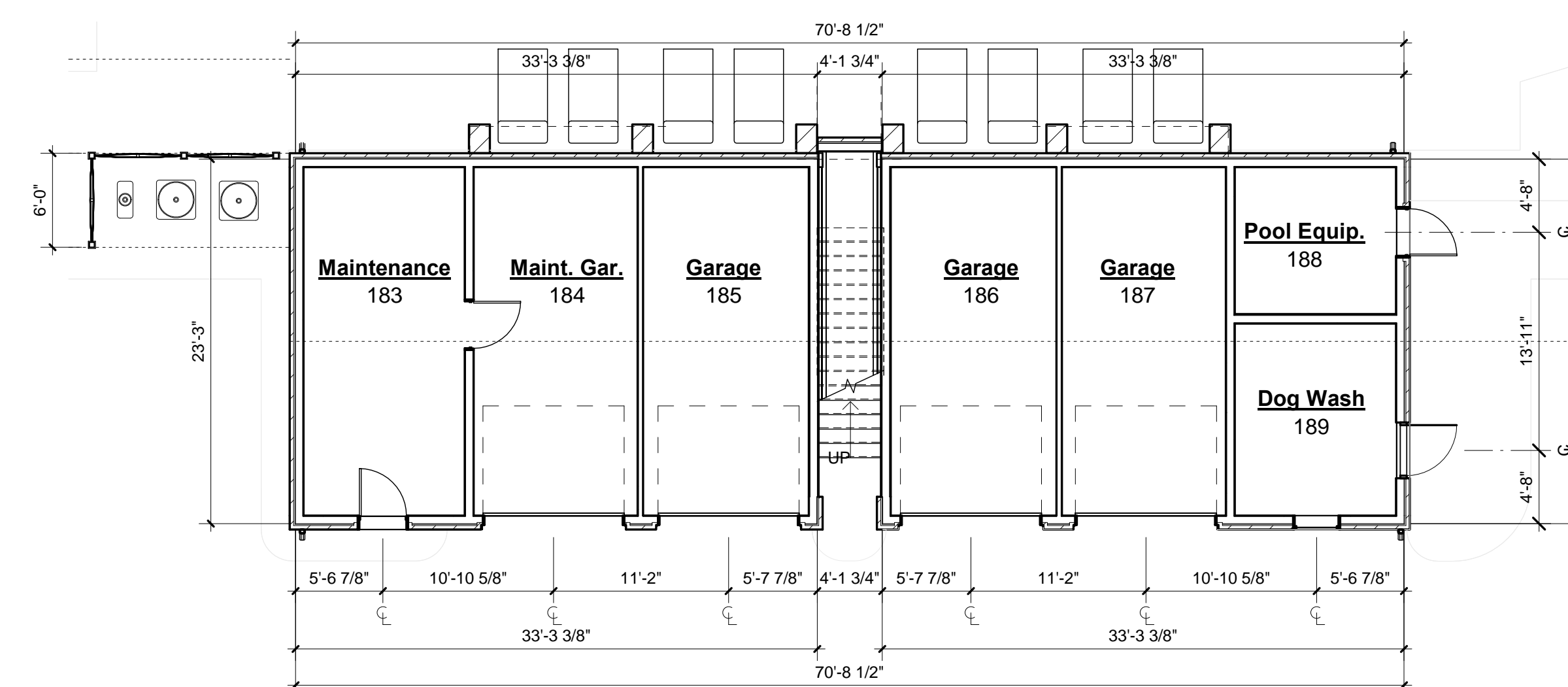
- ROOF PLAN CODED NOTES**
- 1 ASPHALT SHINGLE ROOFING (MIN. 25 YEAR WARRANTY) ON 15# FELTS. SEE EXTERIOR FINISH SPECIFICATIONS FOR SHINGLE SPEC.
 - 2 RIDGE VENT. COR-A-VENT S-400 OR EQUAL TO PROVIDE 20 SQUARE INCHES OF NET FREE AREA PER LINEAL FOOT.
 - 3 SOFFIT VENTING TO PROVIDE 5 SQUARE INCHES OF NET FREE VENT AREA PER LINEAR FOOT OF SOFFIT.
 - 4 PREFINISHED ALUMINUM GUTTER. SEE EXTERIOR FINISH SPECIFICATIONS FOR GUTTER SPEC.
 - 5 BOX VENT; BLACK FINISH - 50 SQ IN NET FREE AREA
 - 6 SHADED AREA INDICATES ICE AND WATER SHIELD TO BE INSTALLED FROM FASCIA UP 24" (MIN.) MEASURED THE INSIDE FACE OF THE EXTERIOR WALL LINE TYPICAL AND UP 18" EITHER DIRECTION FROM VALLEYS.
 - 7 DRAFTSTOPPING IN ATTIC OVER TENANT SEPARATION WALL - SEE WALL SECTIONS FOR MORE INFO



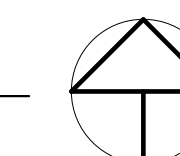
G5 Bldg. E Carriage House - Roof Plan
1/8" = 1'-0"



D5 Bldg. E Carriage House - Floor 2 Plan
1/8" = 1'-0"



A5 Bldg. E Carriage House - Floor 1 Plan
1/8" = 1'-0"





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Date of Issue:
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Zoning

Revision History :

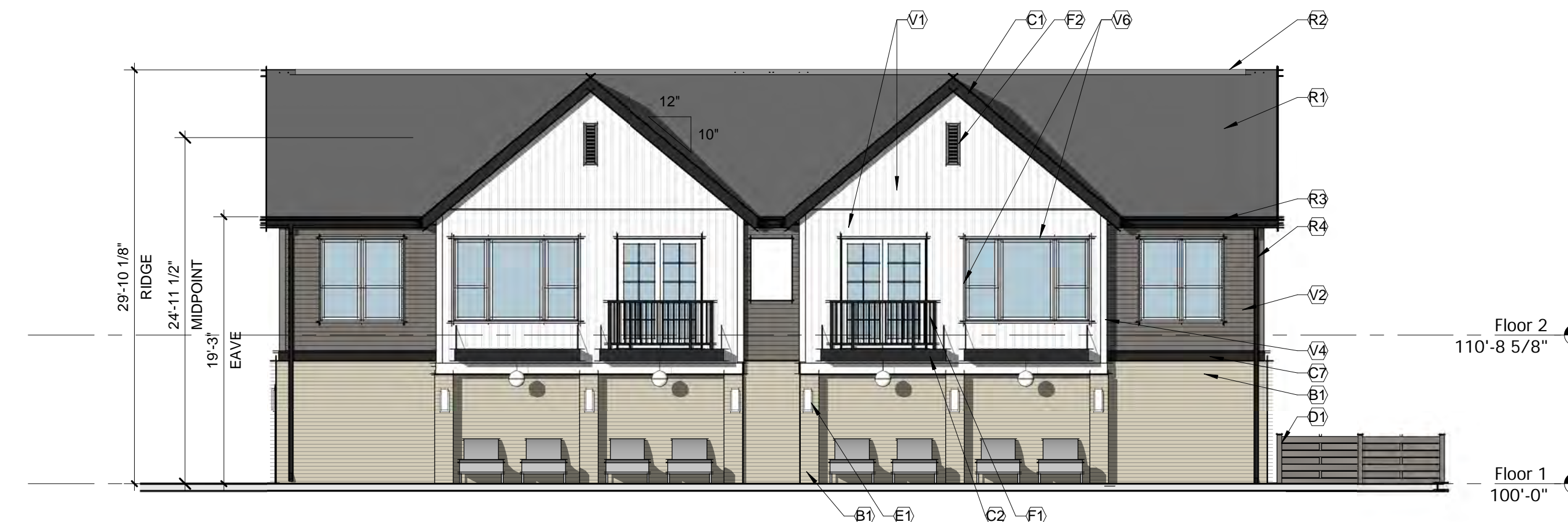
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Project Number
23012
Carriage House -
Elevations &
Perspectives
EA2-01



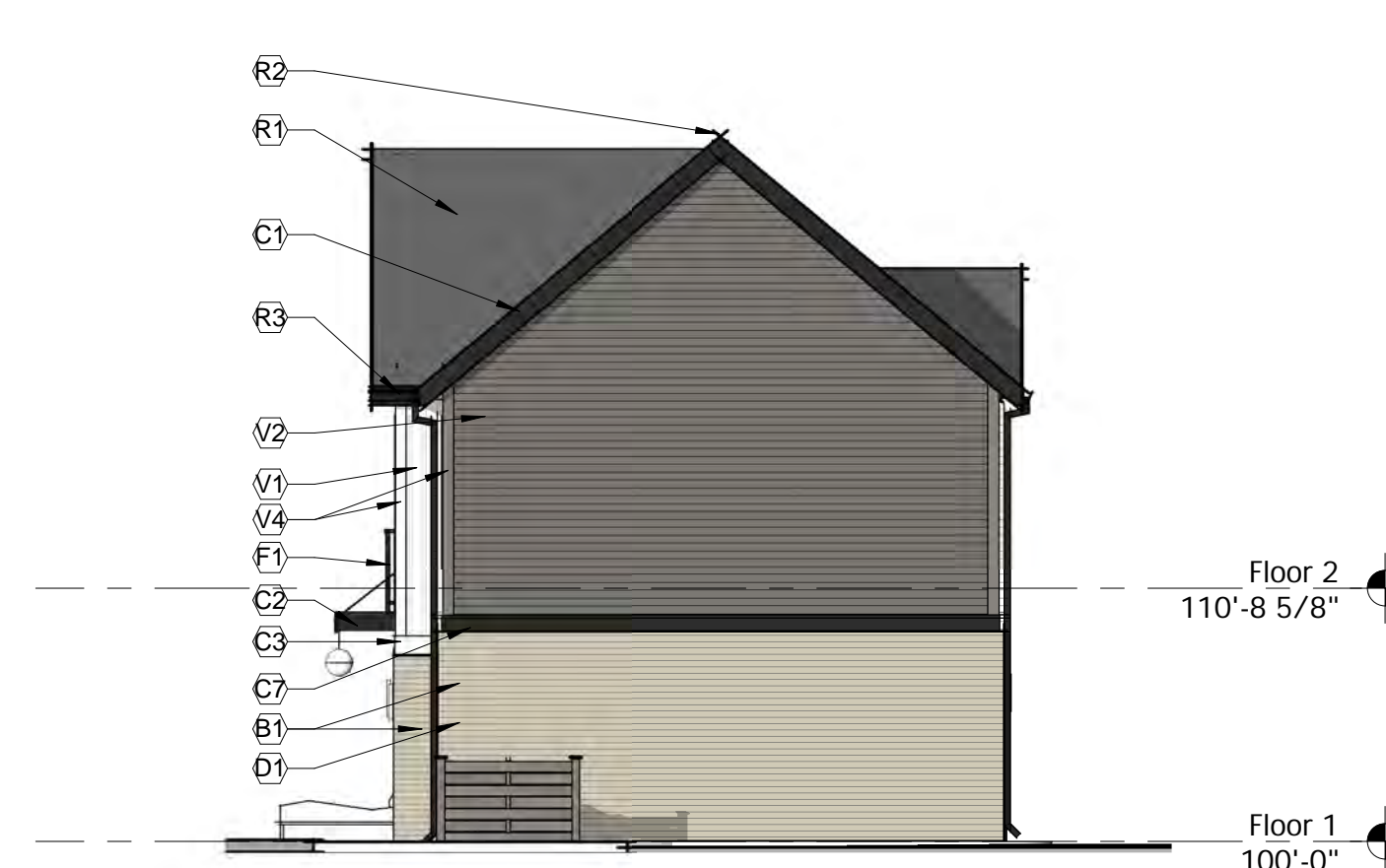
G11 Bldg. E Carriage House South Elevation
1/8" = 1'-0"



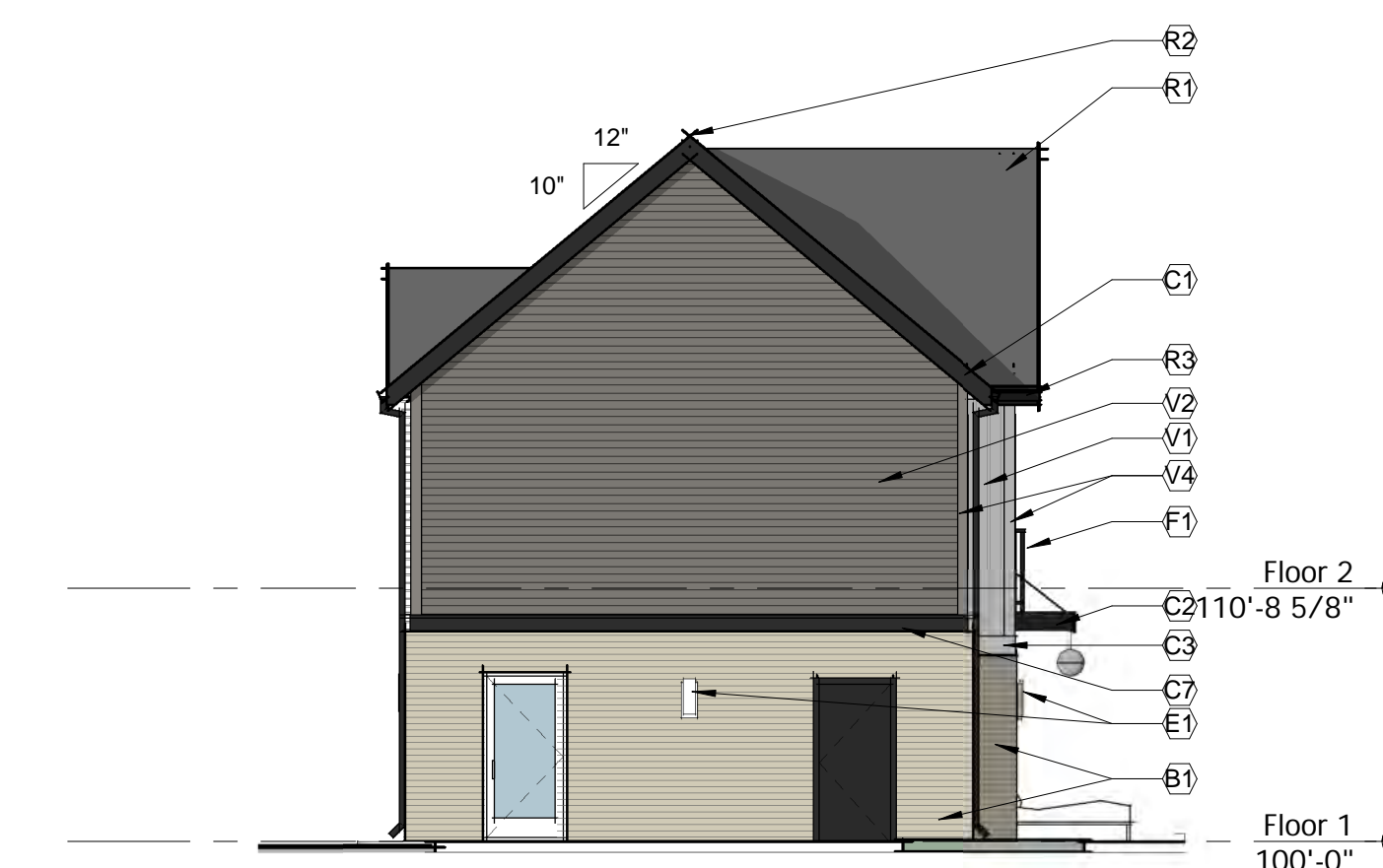
G5 Bldg. E Carriage House North Elevation
1/8" = 1'-0"



D11 Building E Carriage House View from North



D6 Bldg. E Carriage House West Elevation
1/8" = 1'-0"



D3 Bldg. E Carriage House East Elevation
1/8" = 1'-0"



A11 Building E Carriage House View from South

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- A1 DASHED LINE INDICATES LOCATION OF ELECTRIC METERS AND SWITCHGEAR - SEE ELECTRICAL DRAWINGS
- B1 BRICK VENEER
- B2 BRICK ROWLOCK WINDOW/ILL. SLOPE 15 DEGRESS MIN. AND PROJECT MIN 3/4" BEYOND FACE OF BRICK VENEER.
- B3 BRICK ROWLOCK WATER TABLE (SLOPE 15° MIN.)
- C1 1X 10 FIBER CEMENT ROOF FASCIA
- C2 1X 10 FIBER CEMENT BALCONY FASCIA
- C3 1X 12 FIBER CEMENT FASCIA
- C4 6X6 P.T. WD. POST W/ 1X SMOOTH PRE-PRIMED FIBER CEMENT TRIM WRAP (PAINT)
- C5 1/4" PRE-PRIMED FIBER REINFORCED CEMENT PANEL CLADDING - PAINT. "EASY-TRIM" ALUM. TRIMS AT ALL PANEL EDGES AND PANEL JOINTS (MATCH CLADDING/BRICK)
- C7 1X 8 FIBER CEMENT TRIM
- D1 P.T. WD. CONDENSOR SCREEN FENCE (PAINT)
- E1 SCONCE; SEE ELECTRICAL
- F1 42" TALL PRE FINISHED ALUMINUM BALCONY GUARDRAIL SYSTEM - SEE EXTERIOR FINISH SPECIFICATIONS
- F2 PVC / COMPOSITE FALSE LOUVER - PRIME AND PAINT
- M1 METAL SIDING TYPE M1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- M3 METAL CORNER TRIM TO MATCH ADJACENT MTL SIDING FINISH
- M4 METAL 'J' TRIM AROUND WINDOW / WALL OPENING TO MATCH ADJACENT SIDING FINISH
- M5 PREFIN. MTL Z-FLASHING TO PROVIDE EXPANSION JOINT FOR SIDING PANELS - COLOR TO MATCH ADJACENT SIDING
- R1 ASPHALT SHINGLES ON 15# ROOFING FELT
- R2 RIDGE VENT
- R3 PREFIN. METAL GUTTER
- R4 PREFIN. METAL DOWNSPOUT - SEE ROOF PLAN FOR MORE INFO.

NO WINDOWS ARE REQUIRED PER OBC 2604 TO HAVE SAFETY GLAZING. ALL PATIO DOORS AND TRANSOMS ARE REQ'D TO HAVE SAFETY GLAZING

SEE SHEET A9-01 FOR WINDOWS REQUIRED TO COMPLY WITH OBC 1030.2, 24" NET CLEAR OPENING, 5.7 S.F. CLEAR OPENING.

EXTERIOR ELEVATION CODED NOTES, BLDGS A,B,C,D,E

- R6 PREFIN METAL FLASHING CAP
- R7 CONT. PREFIN. MTL DRIPED CAP
- V1 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V2 VINYL SIDING TYPE V2 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V3 VINYL SIDING TYPE V3 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET
- V4 4" SMOOTH VINYL CORNER POST WITH INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING
- V5 DOUBLE 'J' CHANNEL TO RECEIVE BOARD AND BATTEN SIDING FROM BELOW AND ABOVE - COLOR TO MATCH ADJACENT SIDING
- V6 VINYL J-CHANNEL - COLOR TO MATCH WINDOWS
- V7 PVC EXHAUST AND INTAKE TERMINALS W/ PVC MOUNTING BLOCK W/ INTEGRAL J-CHANNELS. COLOR TO MATCH ADJACENT SIDING / BRICK
- V8 VINYL J-CHANNEL - COLOR TO MATCH ADJACENT FIELD SIDING
- V9 VINYL SIDING TYPE V1 - SEE EXTERIOR FINISH SPECIFICATIONS THIS SHEET. TERMINATE AT ALL EDGES WITH J-CHANNEL TO MATCH SIDING TYPE V1

FIBER CEMENT PANEL TRIM SCHEDULE

AT WINDOW SILLS: EZ-8 J-TRIM
AT WINDOW HEADS: EZ-4 J-TRIM
AT SIDE EDGES: EZ-8 J-TRIM
AT BOTTOM EDGES: EZ-10 BASE TRIM
AT HORIZ. PANEL JOINTS: EZ-5 PANEL TRIM
AT VERT. PANEL JOINTS: EZ-7 PANEL TRIM
AT OUTSIDE CORNERS: EZ-14 OUTSIDE CORNER
MODEL NUMBERS BASED ON "EASYTRIM" REVEALS
FINISH AT ALL LOCATIONS: WHITE

EXTERIOR FINISH SPECIFICATIONS BLDGS. A, B, C, D, E

- BRICK:** PALMETTO BRICK, 1.25 GREYSTONE. MODULAR SIZE
- MORTAR:** TYPE N STANDARD WITH BROWN MASONS SAND
- SHINGLE ROOFING:** CERTAINTEED "LANDMARK" ASPHALT SHINGLES. COLOR: MOIRE BLACK
- SIDING (METAL) TYPE M1:** DMI CP75 EXPOSED FASTENER CORRUGATED METAL SIDING (COLOR: METALLIC SILVER)
- SIDING (VINYL) TYPE V1:** ROYAL BOARD AND BATTEN SIDING (COLOR: STERLING) OR EQUAL
- SIDING (VINYL) TYPE V2:** ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL
- SIDING (VINYL) TYPE V3:** ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: STERLING) OR EQUAL
- SOFFIT (VINYL) TYPE VS:** ROYAL, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL
- PANEL SIDING:** JAMES HARDIE "HARDI-PANEL". SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 7757 HIGH REFLECTIVE WHITE)
- FASCIA / BALCONY TRIM:** FIBER CEMENT / COMPOSITE, SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 6991 BLACK MAGIC)
- COPING AND FLASHINGS:** BY SIDING MANUFACTURER TO MATCH ADJACENT METAL SIDING
- GUTTERS:** 5" BEVEL PROFILE, GALVALUME FINISH. COLOR: BLACK
- DOWNSPOUTS:** 4" ROUND, GALVALUME FINISH. COLOR: BLACK
- WINDOWS:** VINYL SINGLE HUNG WINDOWS W/ UNEQUAL SASHES. FRAME COLOR: WHITE.
- BALCONY DOORS:** VINYL INSULATED PATIO DOOR, FINISH TO MATCH WINDOWS NO SIMULATED DIVIDED LITES.
- BALCONY RAILINGS:** PREFABRICATED, PREFINISHED ALUMINUM GUARDRAIL, 42" TALL (SUPER PROLINE RAILING), CONTINUOUS TOP RAIL OVER POSTS TYP. AS ILLUSTRATED ON ELEVATIONS. COLOR: BLACK.
- CONDENSOR FENCE:** P.T. WOOD. COLOR: BLACK MAGIC SW 6991

CODE DATA: Garage A & B

SCOPE OF PROJECT: NEW ONE STORY ACCESSORY STRUCTURE

PROJECT ADDRESS: GARAGE A: TBD
GARAGE B: TBD

GOVERNING CODES
BUILDING: 2024 OHIO BUILDING CODE
MECHANICAL: 2024 OHIO MECHANICAL CODE
ELECTRIC: 2023 NATIONAL ELECTRIC CODE

USE GROUP CLASSIFICATION: U - UTILITY

CONSTRUCTION TYPE: V-B, COMBUSTIBLE

ALLOWABLE HEIGHT: 40 FEET, ONE STORY

ACTUAL HEIGHT: 16 FEET, ONE STORY

ALLOWABLE AREA: 1,000 SF/FLOOR (OBC SECTION 406.3.1)

ACTUAL AREA: GARAGE A: 1,324.00 SF
GARAGE B: 1,324.00 SF

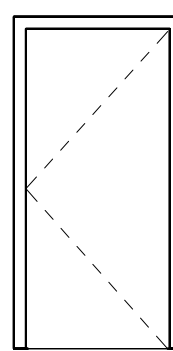
FIRE RESISTANCE RATING REQUIREMENTS (HOURS) FOR BUILDING ELEMENTS PER OBC TABLE 601

BUILDING ELEMENT	TYPE V-B CONSTRUCTION
PRIMARY STRUCTURAL FRAME	0 HOUR
BEARING WALLS	
INTERIOR	0 HOUR
EXTERIOR	0 HOUR
NONBEARING WALLS AND PARTITIONS	
INTERIOR	0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS:	0 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS:	0 HOUR



DOOR G100

PREFINISHED METAL GARAGE DOORS, PANEL AS SHOWN IN ELEVATIONS. CLOPAY VALUE METAL DOORS STYLE: LONG PANEL FINISH: BLACK PROVIDE 3/4 BELT DRIVE AUTOMATIC GARAGE DOOR OPENER BY LIFTMASTER OR EQUAL; LISTED IN ACCORDANCE WITH UL 325.



DOOR G101

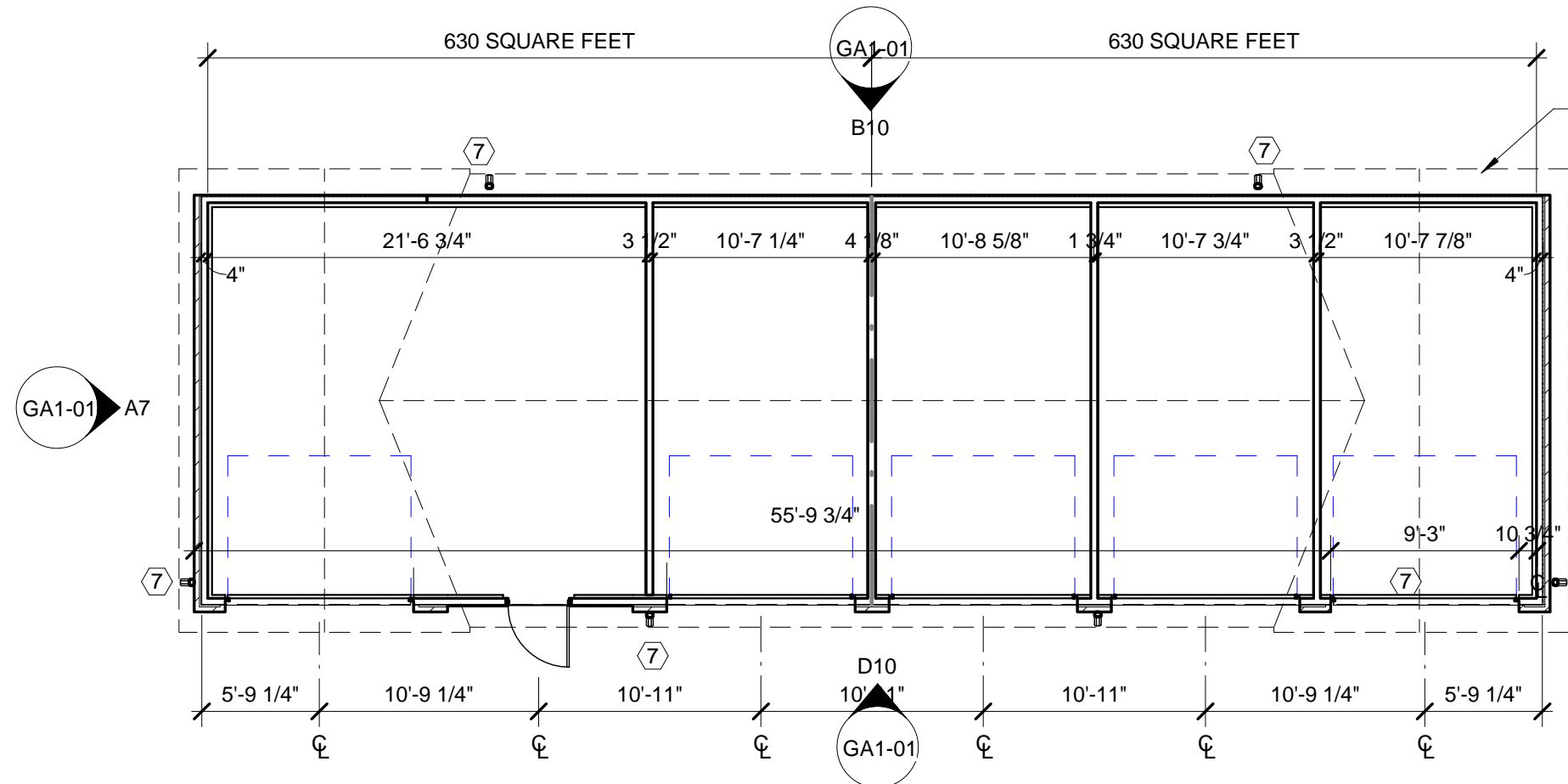
3068 PREFINISHED INSULATED FLUSH METAL PRE-PRIMED - PAINT TO MATCH OVERHEAD DOORS COMPOSITE FRAME W/ BRICKMOLD PASSAGE SET W/ DEADBOLT

Wall Types Legend

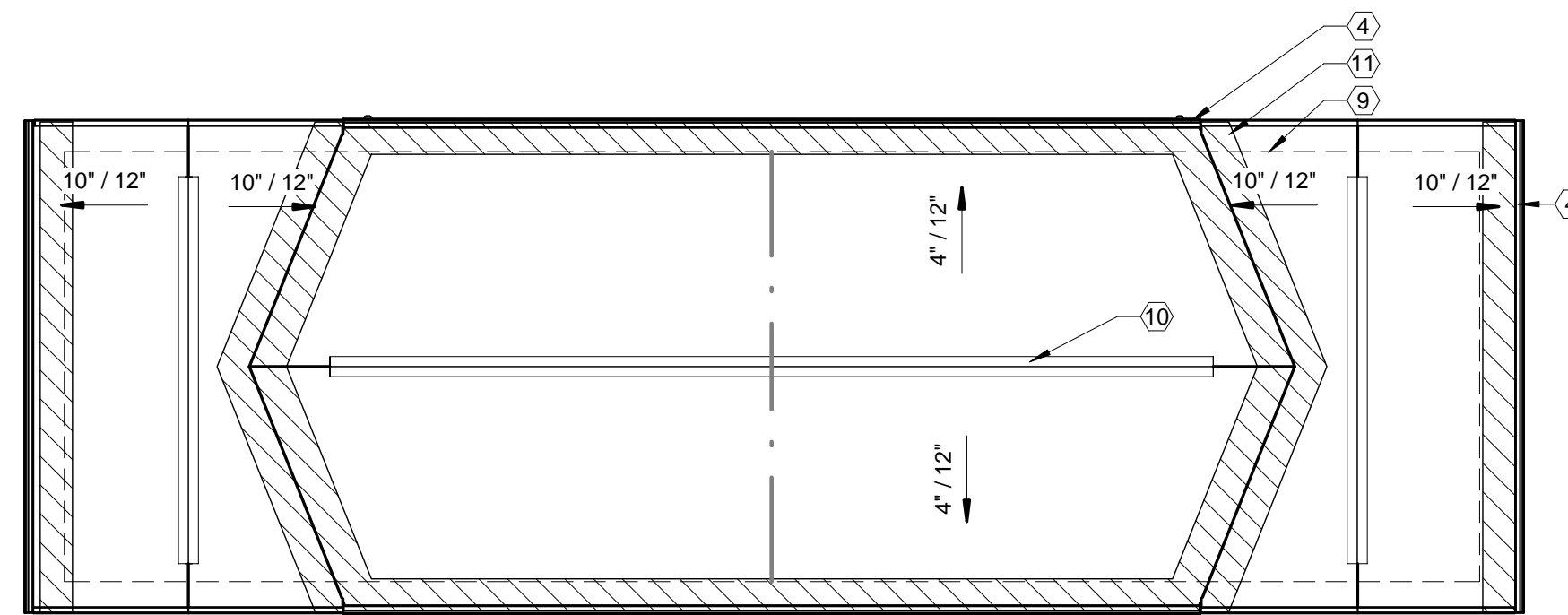
	MODULAR SIZE FACE BRICK VENEER; 1" AIRSPACE; EXT. GRADE SHEATHING; 2x4 WD. STUDS.
	FIBER CEMENT LAP OR PANEL SIDING; EXT. GRADE SHEATHING; 2x4 WD. STUDS.
	ONE (1) LAYER 7/16" OSB.; 2x4 WD. STUDS.
	ONE (1) LAYER 5/8" GYP. BD.; 2x4 WD. STUDS.
	ONE (1) LAYER 5/8" GYP. BD. UL DESIGN NO. U305 (1-HOUR)

Garage & Water Meter Building - Plan & Elevation Coded Notes

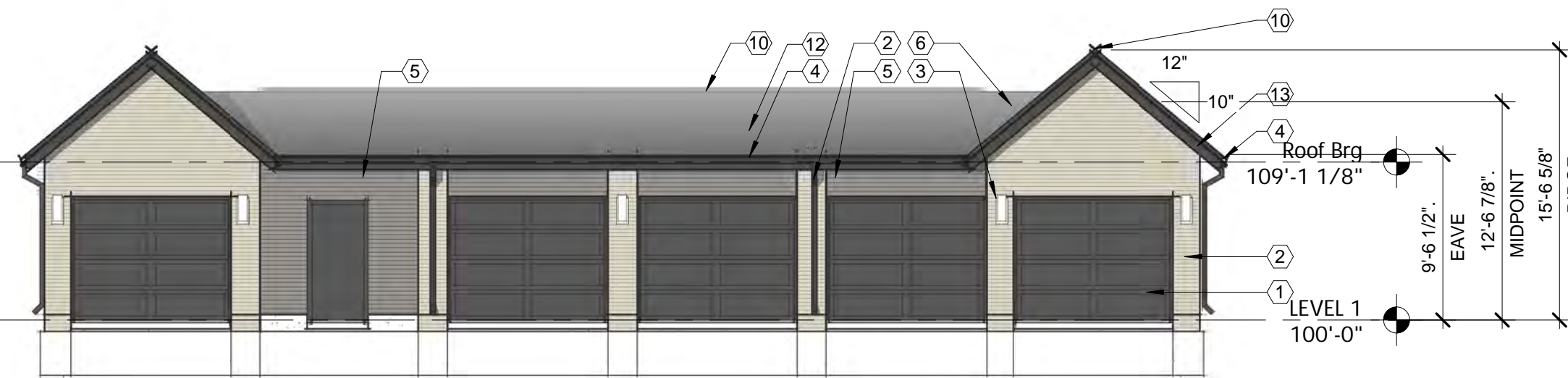
Keynote Number	Note Text
1	PREFINISHED METAL GARAGE DOOR
2	FACE BRICK VENEER
3	LIGHT FIXTURE; SEE ELECTRICAL DRAWING
4	PREFINISHED ALUMINUM GUTTER - TIE TO UNDERGROUND STORM SYSTEM; SEE EXTERIOR FINISH SPECIFICATIONS
5	VINYL SIDING TYPE 2 - SEE EXTERIOR FINISH SPECIFICATIONS
6	1" FORMED PREFINISHED ALUMINUM VALLEY FLASHING
7	4" ROUND DOWNSPOUT
7a	4" ROUND DOWNSPOUT - TIE TO UNDERGROUND
8	ROOF OUTLINE ABOVE
9	WALL OUTLINE BELOW @ OUTSIDE OF STUD
10	ASPHALT SHINGLE COVERED RIDGE VENT
11	SHADED AREA INDICATES ICE AND WATER SHIELD TO BE INSTALLED FROM FASCIA UP 24" (MIN.) MEASURED THE INSIDE FACE OF THE EXTERIOR WALL LINE TYPICAL AND UP 18" EITHER DIRECTION FROM VALLEYS.
12	ASPHALT SHINGLES ON (1) LAYER 15# ROOF FELT
13	PRE-PRIMED 1X3 FIBER CEMENT FASCIA - SMOOTH FINISH - PAINT
14	VINYL TRIM, 3 1/2" - 1x SMART TRIM JAMBS



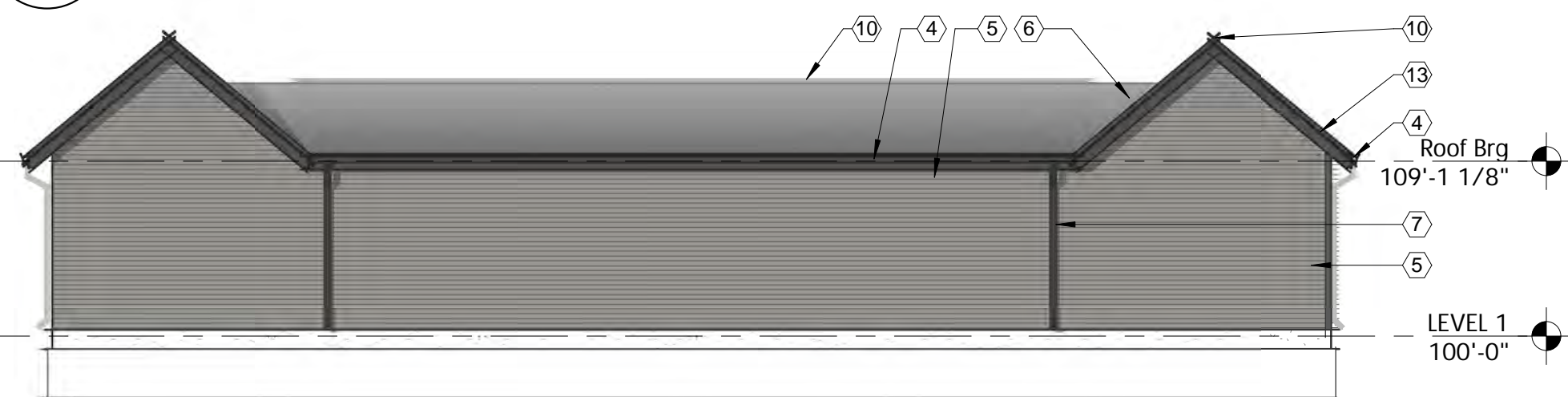
G10 Garage B Floor Plan
1/8" = 1'-0"



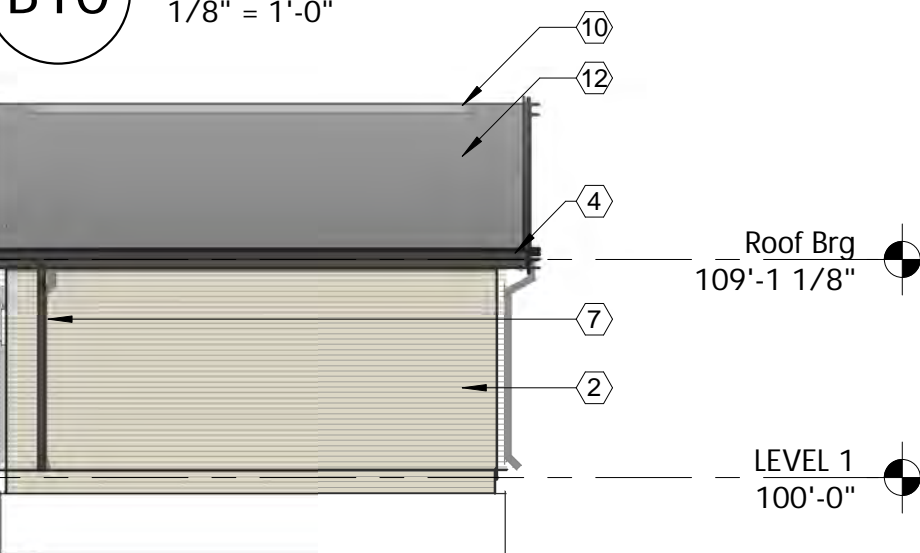
E10 Garage B Roof Plan
1/8" = 1'-0"



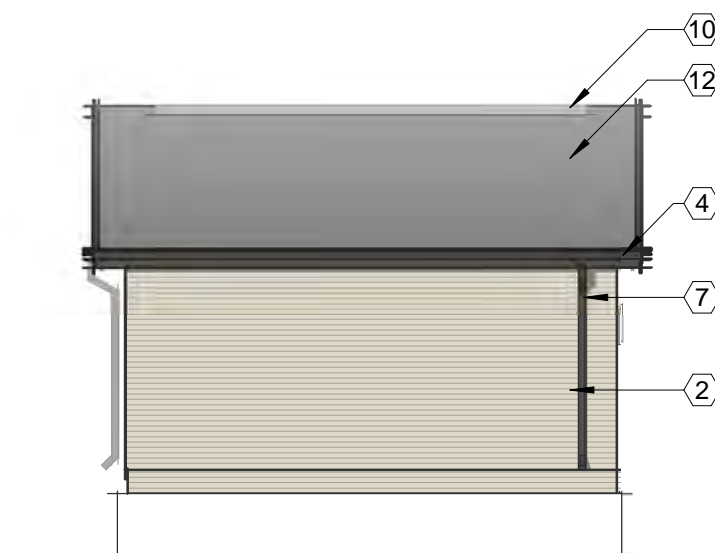
D10 Garage B South Elevation
1/8" = 1'-0"



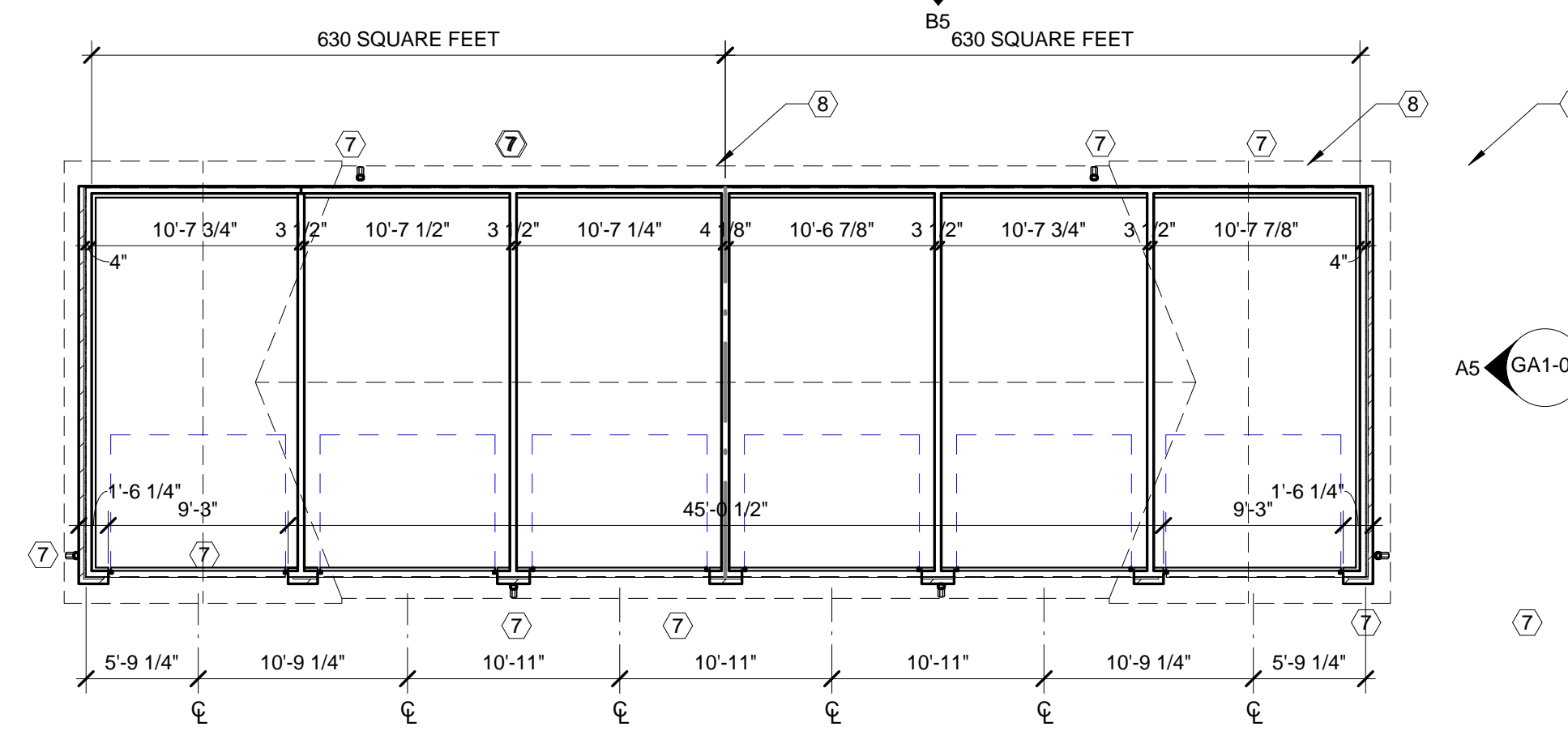
B10 Garage B North Elevation
1/8" = 1'-0"



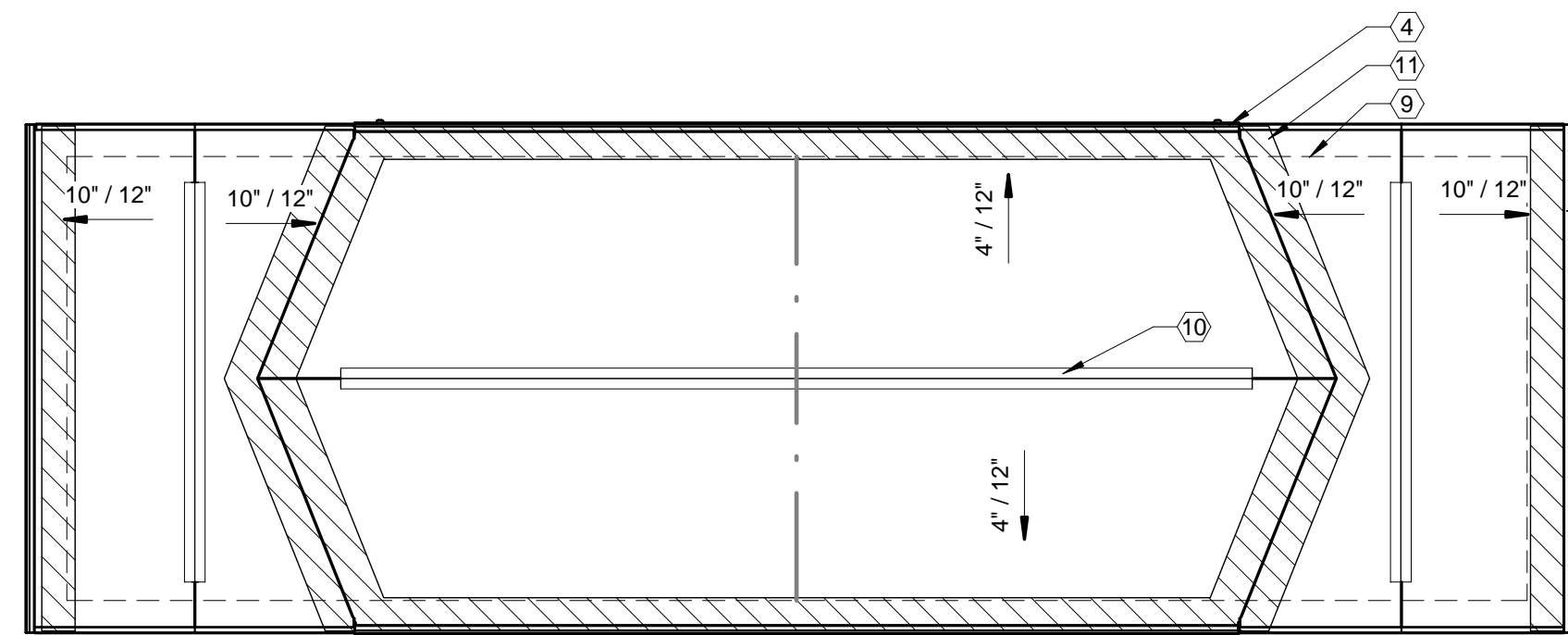
A10 Garage B East Elevation
1/8" = 1'-0"



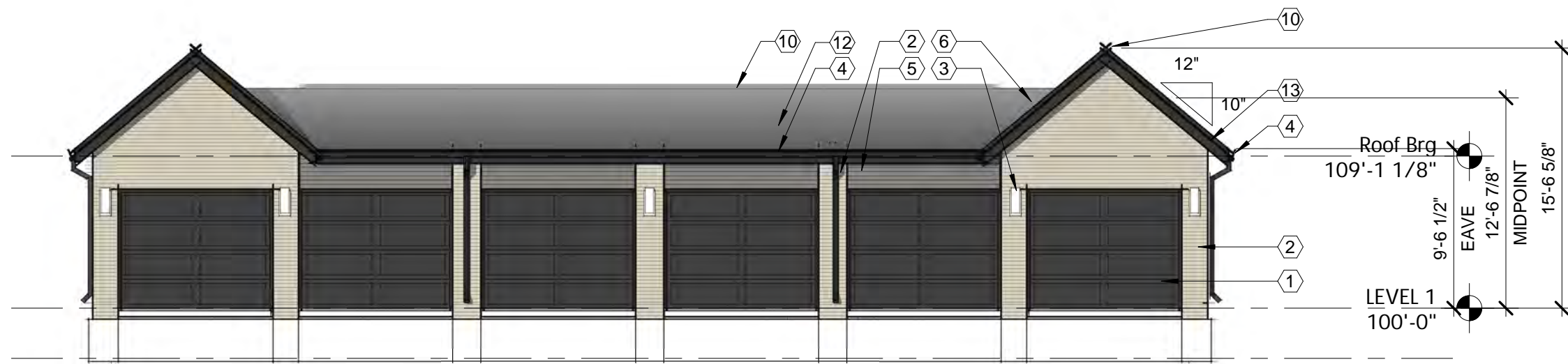
A7 Garage B West Elevation
1/8" = 1'-0"



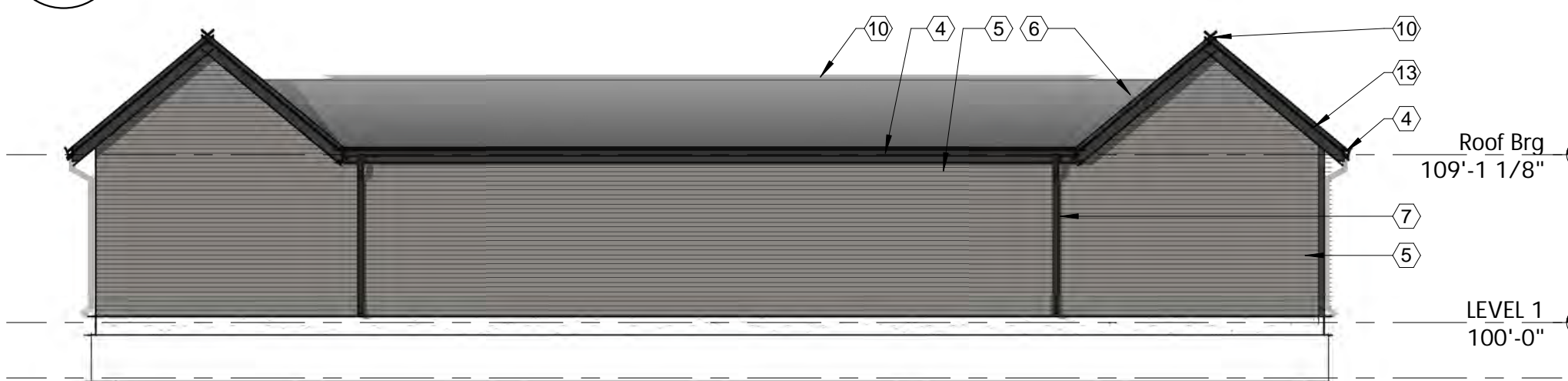
G5 Garage A Floor Plan
1/8" = 1'-0"



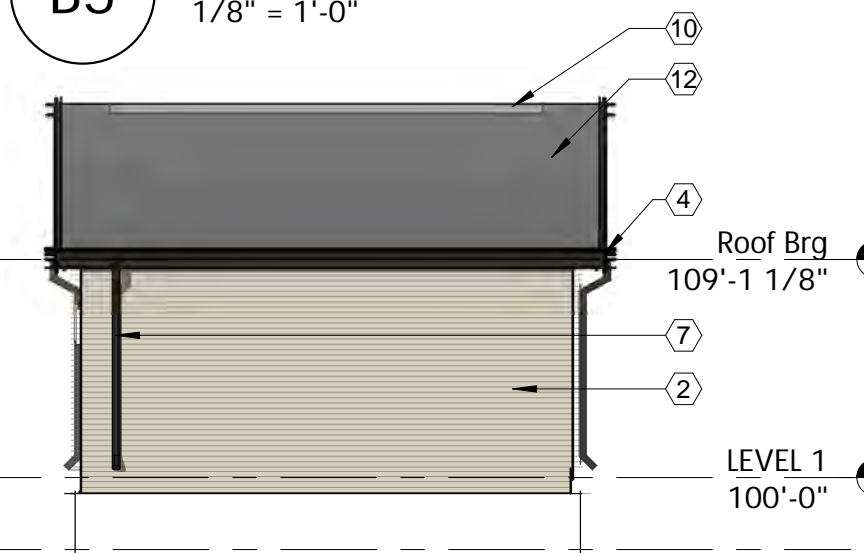
E5 Garage A Roof Plan
1/8" = 1'-0"



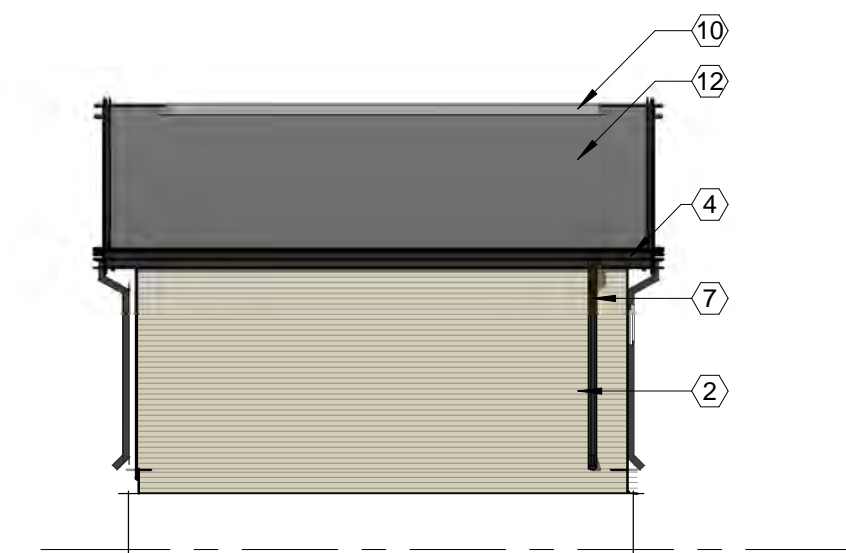
D5 Garage A South Elevation
1/8" = 1'-0"



B5 Garage A North Elevation
1/8" = 1'-0"



A5 Garage A East Elevation
1/8" = 1'-0"



A3 Garage A West Elevation
1/8" = 1'-0"

CODE DATA: Water Meter Building

SCOPE OF PROJECT: NEW ONE STORY ACCESSORY STRUCTURE
 PROJECT ADDRESS: WATER METER BUILDING: TBD

GOVERNING CODES
 BUILDING: 2024 OHIO BUILDING CODE
 MECHANICAL: 2024 OHIO MECHANICAL CODE
 ELECTRICAL: 2023 NATIONAL ELECTRIC CODE

USE GROUP CLASSIFICATION: U - UTILITY

CONSTRUCTION TYPE: V-B, COMBUSTIBLE

ALLOWABLE HEIGHT: 40 FEET, ONE STORY

ACTUAL HEIGHT: 18 FEET, ONE STORY

ALLOWABLE AREA: 1,000 SF/FLOOR (OBC SECTION 406.3.1)

ACTUAL AREA: WATER METER BUILDING: 322 SF

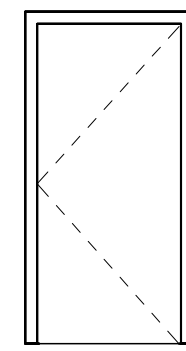
FIRE RESISTANCE RATING REQUIREMENTS (HOURS) FOR BUILDING ELEMENTS PER OBC TABLE 601

BUILDING ELEMENT	TYPE V-B CONSTRUCTION
PRIMARY STRUCTURAL FRAME	0 HOUR
BEARING WALLS	
INTERIOR	0 HOUR
EXTERIOR	0 HOUR
NONBEARING WALLS AND PARTITIONS	
INTERIOR	0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS:	0 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS:	0 HOUR



PREFINISHED METAL GARAGE DOORS, PANEL AS SHOWN IN ELEV.. CLOPAY VALVE METAL DOORS STYLE: LONG PANEL FINISH: BLACK PROVIDE 3/4 BELT DRIVE AUTOMATIC GARAGE DOOR OPENER BY LIFTMASTER OR EQUAL, LISTED IN ACCORDANCE WITH UL 325.

DOOR G100



3068 PREFINISHED INSULATED FLUSH METAL PRE-PRIMED - PAINT TO MATCH OVERHEAD DOORS COMPOSITE FRAME W/ BRICKMOLD PASSAGE SET W/ DEADBOLT

DOOR G101

Wall Types Legend

	MODULAR SIZE FACE BRICK VENEER; 1" AIRSPACE; EXT. GRADE SHEATHING; 2x4 WD. STUDS
	FIBER CEMENT LAP OR PANEL SIDING; EXT. GRADE SHEATHING; 2x4 WD. STUDS;
	ONE (1) LAYER 7/16" OSB.; 2x4 WD. STUDS
	ONE (1) LAYER 5/8" GYP. BD.; 2x4 WD. STUDS; ONE (1) LAYERS 5/8" GYP. BD. UL DESIGN NO. U305 (1-HOUR)

Garage & Water Meter Building - Plan & Elevation Coded Notes

Keynote Number	Note Text
1	PREFINISHED METAL GARAGE DOOR
2	FACE BRICK VENEER
3	LIGHT FIXTURE; SEE ELECTRICAL DRAWING
4	PREFINISHED ALUMINUM GUTTER - TIE TO UNDERGROUND STORM SYSTEM; SEE EXTERIOR FINISH SPECIFICATIONS
5	VINYL SIDING TYPE 2 - SEE EXTERIOR FINISH SPECIFICATIONS
6	"W" FORMED PREFINISHED ALUMINUM VALLEY FLASHING
7	4" ROUND DOWNSPOUT
7a	4" ROUND DOWNSPOUT - TIE TO UNDERGROUND
8	ROOF OUTLINE ABOVE
9	WALL OUTLINE BELOW @ OUTSIDE OF STUD
10	ASPHALT SHINGLE COVERED RIDGE VENT
11	SHADED AREA INDICATES ICE AND WATER SHIELD TO BE INSTALLED FROM FASCIA UP 24" (MIN.) MEASURED THE INSIDE FACE OF THE EXTERIOR WALL LINE TYPICAL AND UP 18" EITHER DIRECTION FROM VALLEYS.
12	ASPHALT SHINGLES ON (1) LAYER 15# ROOF FELT
13	PRE-PRIMED 1X8 FIBER CEMENT FASCIA - SMOOTH FINISH - PAINT
14	VINYL TRIM; 3 1/2" - 1x SMART TRIM JAMBS

ROOF VENTILATION

PRODUCTS:
 RIDGE VENT @ 18 SI PER LINEAR FOOT
 CAP VENTILATOR @ 120 SI PER UNIT
 SOFFIT VENT @ 9 SI PER LINEAL FOOT

Garage A:
REQUIRED:
 1,324 SQ. FT. / 300 = 4.41 SQ. FT. = 635.0 SI
 PROVIDE 50% @ RIDGE & REMAINDER AT SOFFIT / FASCIA
 635 / 2 = 317.5 SI REQUIRED

PROVIDED:
 HIGH VENTILATION
 RIDGE VENT
 67 LF x 18 = 1,206 SI
 LOW VENTILATION
 SOFFIT VENT
 119 LF MINIMUM x 9 = 1,071 SI

Garage B:
REQUIRED:
 1,324.58 SQ. FT. / 300 = 4.41 SQ. FT. = 635.0 SI
 PROVIDE 50% @ RIDGE & REMAINDER AT SOFFIT / FASCIA
 635 / 2 = 317.5 SI REQUIRED

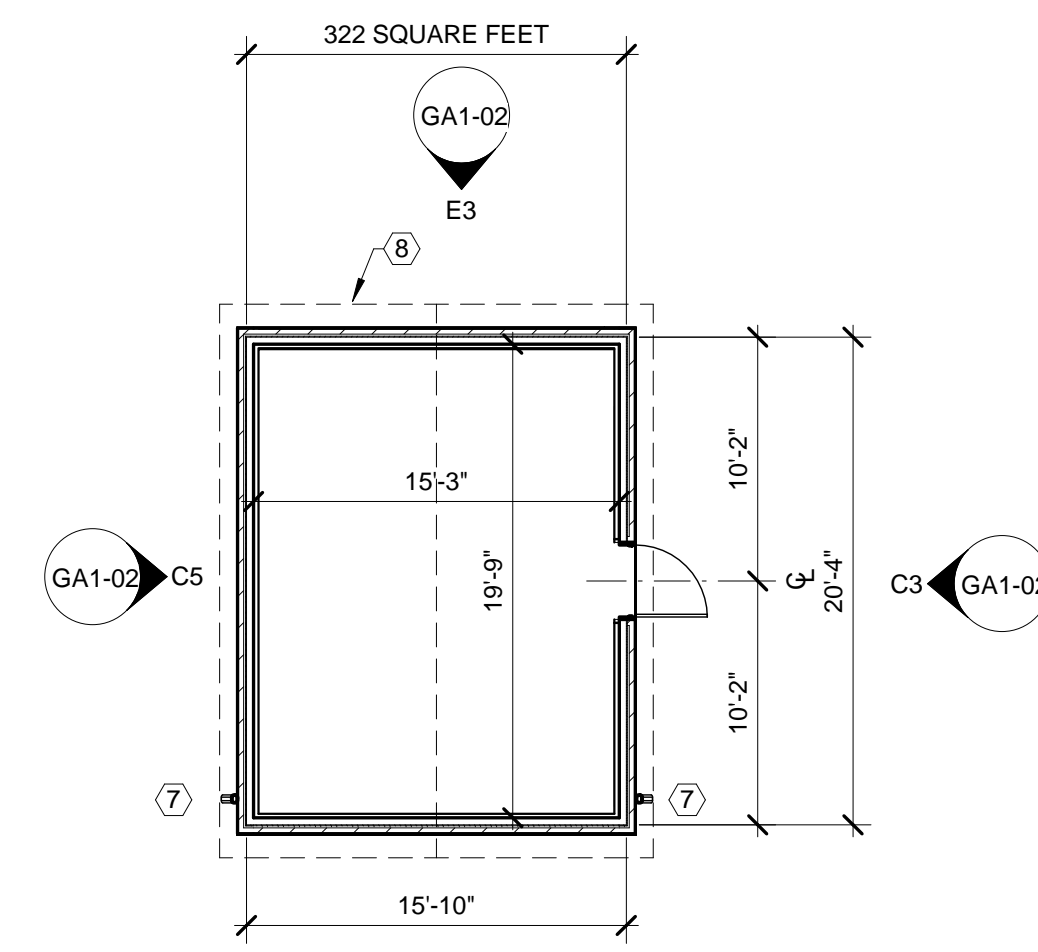
PROVIDED:
 HIGH VENTILATION
 RIDGE VENT
 67 LF x 18 = 1,206 SI
 LOW VENTILATION
 SOFFIT VENT
 119 LF MINIMUM x 9 = 1,071 SI

Water Meter Building:
REQUIRED:
 322 SQ. FT. / 300 = 1.07 SQ. FT. = 154.1 SI
 PROVIDE 50% @ RIDGE & REMAINDER AT SOFFIT / FASCIA
 154.1 / 2 = 77.1 SI REQUIRED

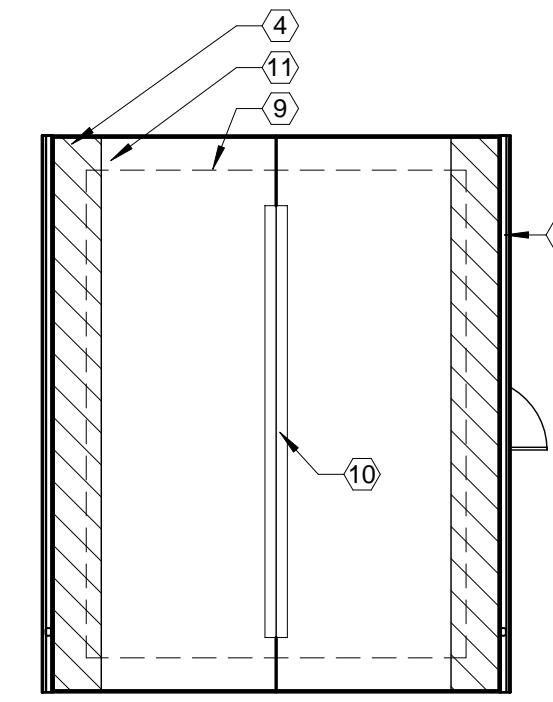
PROVIDED:
 HIGH VENTILATION
 RIDGE VENT
 18 LF x 18 = 324 SI
 LOW VENTILATION
 SOFFIT VENT
 40 LF MINIMUM x 9 = 360 SI

EXTERIOR FINISH SPECIFICATIONS

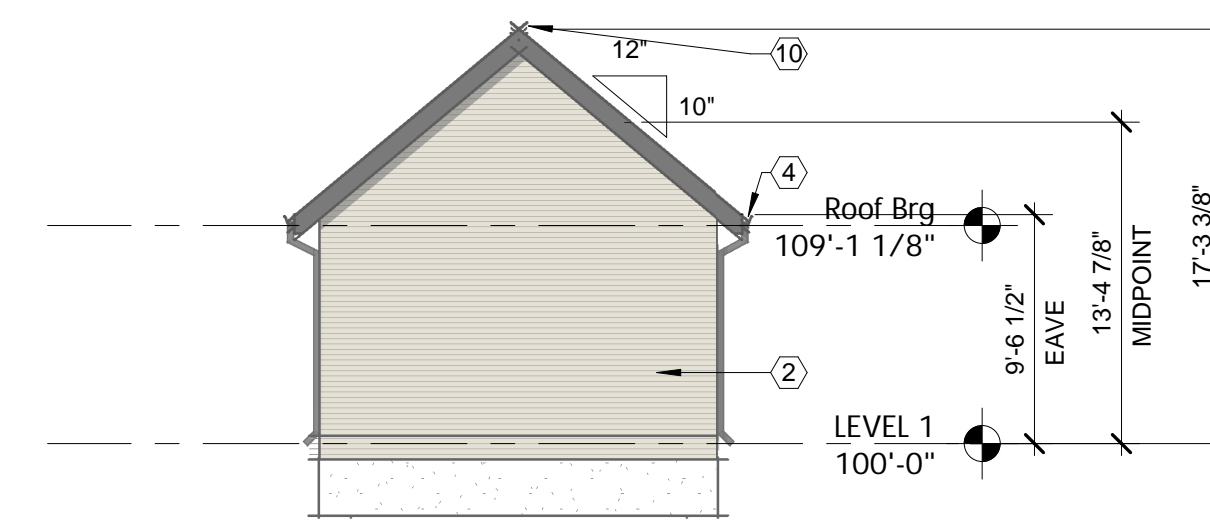
BRICK: PALMETTO BRICK, 1.25 GREYSTONE. MODULAR SIZE
MORTAR: TYPE N STANDARD WITH BROWN MASON'S SAND
SHINGLE ROOFING: CERTAINTEED "LANDMARK" ASPHALT SHINGLES. COLOR: MOIRE BLACK
SIDING (VINYL) TYPE V2: ROYAL 4" DUTCH LAP, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL
SOFFIT (VINYL) TYPE V2: ROYAL, SMOOTH FINISH (COLOR: IRONSTONE) OR EQUAL
FASCIA / BALCONY TRIM: FIBER CEMENT / COMPOSITE, SMOOTH FINISH, PRE-PRIMED (PAINT, COLOR: SW 6991 BLACK MAGIC)
COPING AND FLASHINGS: BY SIDING MANUFACTURER TO MATCH ADJACENT METAL SIDING
GUTTERS: 5" BEVEL PROFILE, GALVALUME FINISH. COLOR: BLACK
DOWNSPOUTS: 4" ROUND, GALVALUME FINISH. COLOR: BLACK
MAN DOORS: PRE-PRIMED INSUL. H.M. FLUSH DOOR, COMP. FRAME. PAINT. COLOR: SW 6991 BLACK MAGIC.
GARAGE DOORS: PREFINISHED INSULATED METAL GARAGE DOORS, TO BE CLOPAY VALUE SERIES, LONG PANEL STYLE OR EQUAL. FINISH: BLACK.



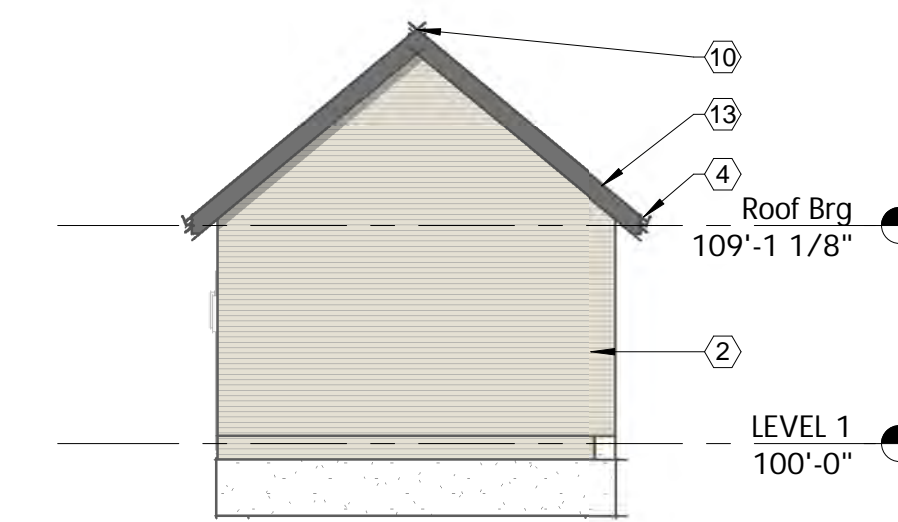
G5 Water Meter Building Floor Plan
 1/8" = 1'-0"



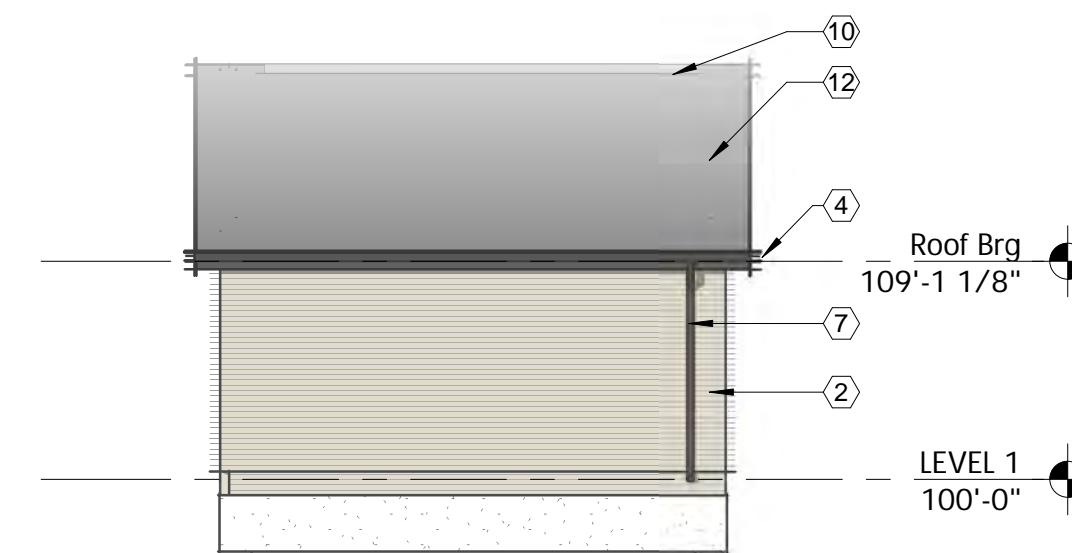
G3 Water Meter Building Roof Plan
 1/8" = 1'-0"



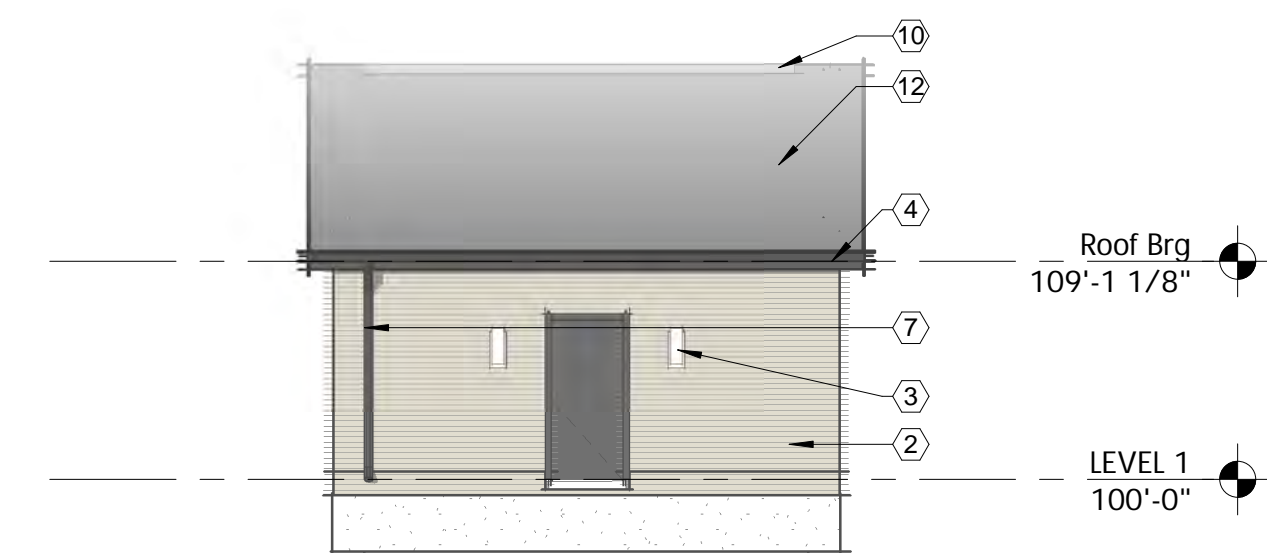
E5 Water Meter Building South Elevation
 1/8" = 1'-0"



E3 Water Meter Building North Elevation
 1/8" = 1'-0"



C5 Water Meter Building West Elevation
 1/8" = 1'-0"



C3 Water Meter Building East Elevation
 1/8" = 1'-0"

SULLIVAN BRUCK ARCHITECTS
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 Fax 614.464.9809
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AVENUE PARTNERS

Johnstown Rd.
 Apartments
 Gahanna, OH

Date of Issue:
 2024-10-16
 Issued for:
 Zoning

Revision History :

PRELIMINARY NOT FOR CONSTRUCTION

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Project Number
 23012.00

Water Meeting
 Plans & Elevations

GA1-02

Development Plan – Submission Requirements
 The following outlines the required information for plans that may be included in a Development Plan application. Some plans may not be applicable depending on the type and scope of work. Other materials or plans may be requested at the City's discretion.

DEVELOPMENT PLAN (Required) – Gahanna Code Section 1117.07	
<input type="checkbox"/>	Scale: Minimum of 1 in. = 100 ft.
<input type="checkbox"/>	Development name, approximate total acreage, north arrow, and data.
<input type="checkbox"/>	The names of any public and/or private streets adjacent to or within the development.
<input type="checkbox"/>	Names and addresses of owners, developers, and the surveyor who designed the plan.
<input type="checkbox"/>	Vicinity map showing the surrounding development and its location within the City.
<input type="checkbox"/>	Natural features currently within the development. (Drainage channels, tree lines, bodies of water, and other significant features)
<input type="checkbox"/>	Zoning district, building setbacks, and parking setbacks.
<input type="checkbox"/>	Distance between buildings.
<input type="checkbox"/>	Proposed location, size, and height of buildings and/or structures.
<input type="checkbox"/>	Location and dimensions of proposed driveways and access points.
<input type="checkbox"/>	Proposed parking location and calculations. (Number of spaces per square foot, number of spaces required, number of spaces proposed, and parking space dimensions)
<input type="checkbox"/>	Lot coverage calculations. (Square footage of site, area of permanently impervious surfaces broken down into buildings and/or structures and parking, area of uncovered land, lot coverage requirement, and proposed lot coverage)
MATERIALS LIST (As applicable) – Gahanna Code Chapter 1107	
<input type="checkbox"/>	Proposed building colors and materials (see last page).
ELEVATIONS AND/OR RENDERINGS (As applicable)	
<input type="checkbox"/>	Color rendering(s) of the project in plan/perspective/elevation.
<input type="checkbox"/>	Elevations of buildings/structures from all sides. (Entrances, doorways, and all other projecting and recessed elements of exterior)
LANDSCAPING PLAN (As applicable) – Gahanna Code Sections 1109.03-1109.04	
<input type="checkbox"/>	Scale: Minimum of 1 in. = 100 ft.
<input type="checkbox"/>	Square footage of new impervious surfaces. (Including buildings, structures, sidewalks, and parking areas as applicable)

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<input type="checkbox"/>	Existing and proposed area(s) of landscaping. (Square footage of existing landscaping, square footage of proposed landscaping, buffer and/or screening requirements, and proposed buffer and/or screening)
<input type="checkbox"/>	Existing tree details. (Number of existing trees and species)
<input type="checkbox"/>	Proposed tree details. (Number of trees required, number of trees proposed, and species of all proposed trees)
LIGHTING PLAN (As applicable) – Gahanna Code Section 1109.06	
<input type="checkbox"/>	Scale: Minimum of 1 in. = 100 ft.
<input type="checkbox"/>	Proposed lighting intensity measured in footcandles.
<input type="checkbox"/>	Average lighting intensity across the lot(s).
<input type="checkbox"/>	Details of lighting fixtures. (Type of lighting, fixture height, and other similar information)

MATERIALS LIST (As applicable) – Gahanna Code Chapter 1107			
Item	Material Type	Color Name	Color Number
Masonry Veneer	Palmetto Brick : Modular	1.25 Greystone	
Mortar	Type N Standard with Brown Mason's Sand		
Corrugated Metal Siding	DMI Dynaclad CP75 Exposed Fastener	Metallic Silver	
Vinyl Siding - Type 1	Royal Board and Batten Siding	Sterling	
Vinyl Siding - Type 2	Royal 4" Dutch Lap, Smooth Finish	Ironstone	
Vinyl Siding - Type 3	Royal 4" Dutch Lap, Smooth Finish	Sterling	
Panel Siding	James Hardie "Hardi-Panel" Smooth Finish	High Reflective White	SW 7757
Copings & Flashings	Metal	To Match Adjacent Siding Colors	
Gutters	Metal 5" Bevel Profile, Galvalume Finish	Black	
Downspouts	Metal 4" Round Galvalume Finish	Black	
Windows	Vinyl Single Hung - Unequal Sash, Picture, Transoms	White	
Balcony Doors	Fiberglass or Insulated Metal Patio Door	White to Match Windows	

Note: Item refers to building material, awning, lighting, roofing, trim, or other similar building item.

MATERIALS LIST (As applicable) – Gahanna Code Chapter 1107			
Item	Material Type	Color Name	Color Number
Pre Fabricated Aluminum Railing	Balcony Railings- Super Proline or EQ.	Black	
Asphalt Roofing Shingles	Certainteed "Landmark"	Moire Black	
Fascia & Balcony Trim	Fiber Cement Composite - Smooth Finish	Black Magic	SW 6991
Vinyl Soffit - Type S	Royal, Smooth Finish	Ironstone	
Garage Man Doors	H.M. Flush Door, Comp Frame, Pre Primed Insulated	Black Magic	SW 6991
Garage Doors	Clopay Value Series - Long Panel Style, Pre-Finished Insulated Metal or Equal	Black	
Condensor Fence	Pressure Treated Wood	Black Magic	SW 6991
Trash Enclosure	Pre- Manufactured Panel System by Smartsurround or Equivalent	Tan	
Pipe Rail (Trash Enclosure)	Metal Guardrail	Black	

Note: Item refers to building material, awning, lighting, roofing, trim, or other similar building item.

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Johnstown Road
 Apartments
 Gahanna, OH

Date of Issue:
 2024-10-16
 Issued for:
 Zoning

Revision History :

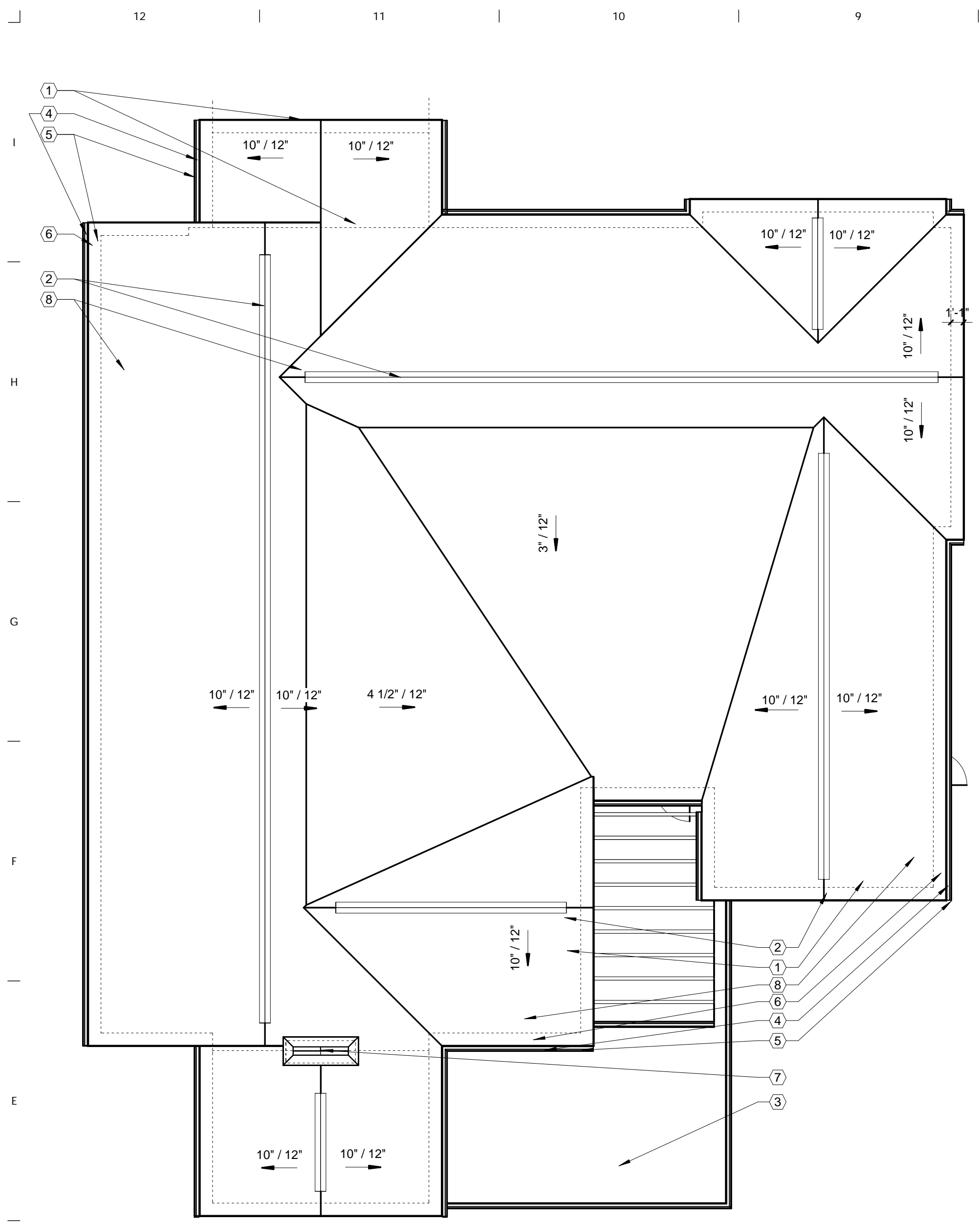
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Project Number
 23012

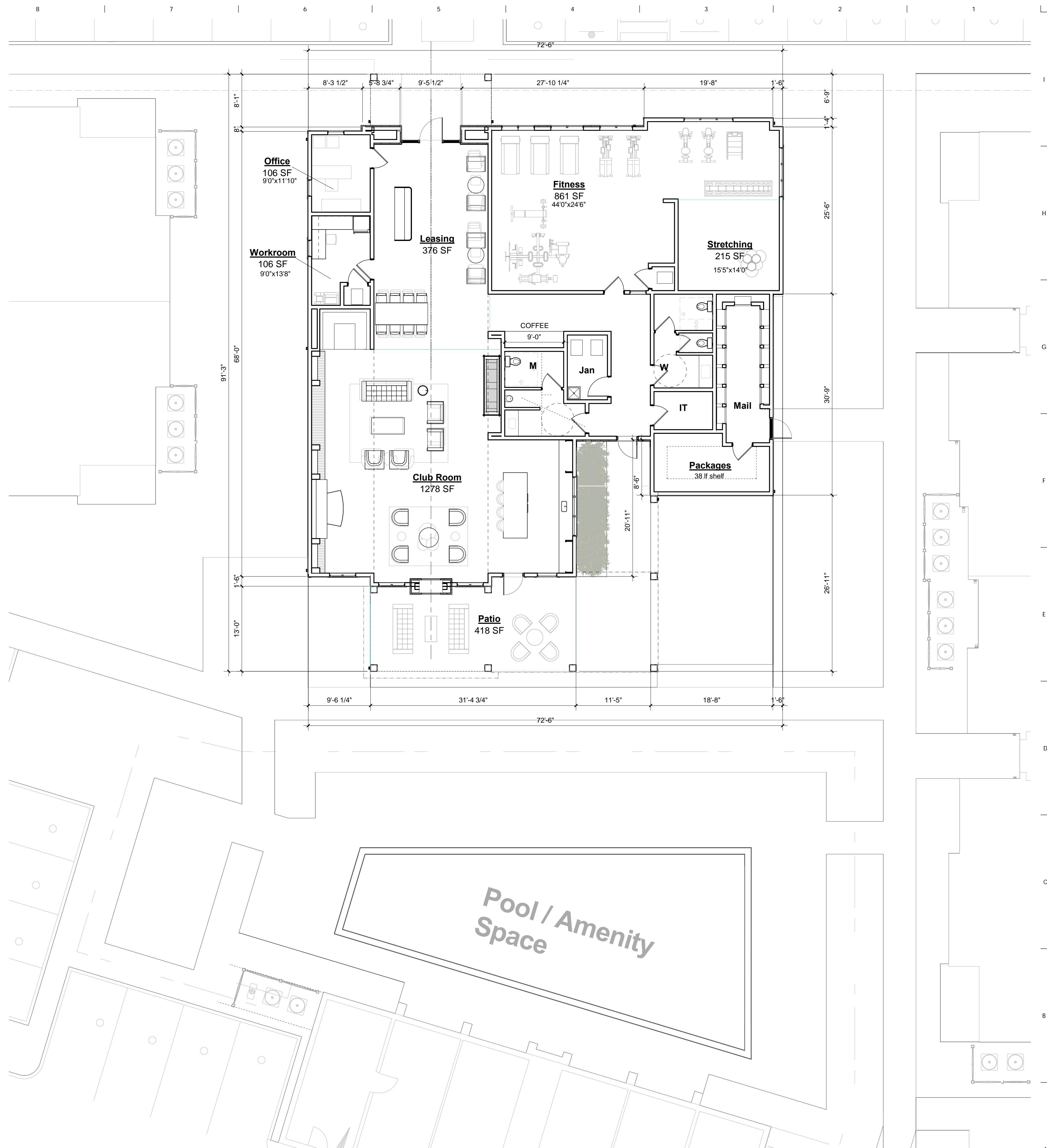
Materials

AM1-01



D12 Roof Plan
1/8" = 1'-0"

- ROOF PLAN CODED NOTES**
- 1 ASPHALT SHINGLE ROOFING (MIN. 25 YEAR WARRANTY) ON 15# FELTS. SEE EXTERIOR FINISH SPECIFICATIONS FOR SHINGLE SPEC.
 - 2 RIDGE VENT. COR-A-VENT S-400 OR EQUAL TO PROVIDE 20 SQUARE INCHES OF NET FREE AREA PER LINEAL FOOT.
 - 3 60 MIL TPO MEMBRANE ROOFING.
 - 4 PREFINISHED ALUMINUM GUTTER. SEE EXTERIOR FINISH SPECIFICATIONS FOR GUTTER SPEC.
 - 5 PREFINISHED ALUMINUM DOWNSPOUT. SEE EXTERIOR FINISH SPECIFICATIONS FOR DOWNSPOUT SPEC.
 - 6 SOFFIT VENTING TO PROVIDE 5 SQUARE INCHES OF NET FREE VENT AREA PER LINEAR FOOT OF SOFFIT.
 - 7 PREFINISHED METAL CHIMNEY CAP
 - 8 SHADED AREA INDICATES ICE AND WATER SHIELD TO BE INSTALLED FROM FASCIA UP 24" (MIN.) MEASURED THE INSIDE FACE OF THE EXTERIOR WALL LINE TYPICAL AND UP 18" EITHER DIRECTION FROM VALLEYS.



A8 Clubhouse - Floor 1 Plan
1/8" = 1'-0"



Johnstown Rd.
Clubhouse
Gahanna, OH

Date of Issue:
2024-10-16
Issued for:
Zoning

Revision History :

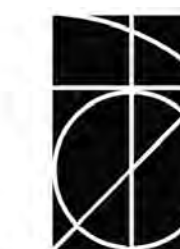
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Project Number
23012

Clubhouse and
Amenity Floor Plan

CH1-01



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AVEINUE
PARTNERS

Johnstown Rd.
Clubhouse

Gahanna, OH

Date of Issue:
2024-10-16

Issued for:
Zoning

Revision History :

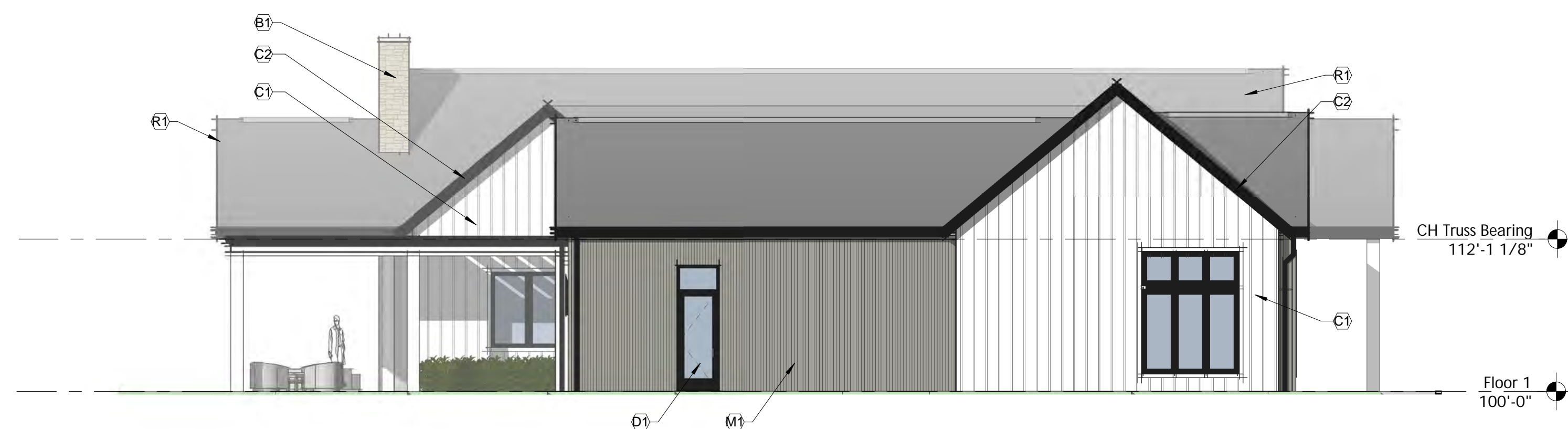
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Project Number
23012

Clubhouse Exterior
Elevations

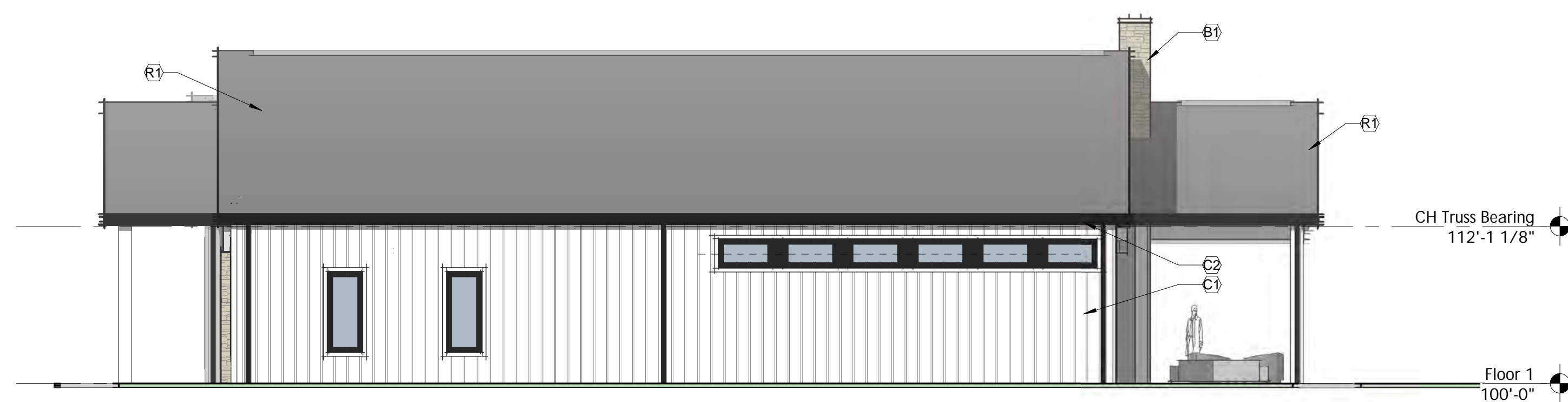
CH2-01



F12 East Elevation
1/8" = 1'-0"



F5 North Elevation
1/8" = 1'-0"



D12 West Elevation
1/8" = 1'-0"



D5 South Elevation
1/8" = 1'-0"

EXT. ELEV. CODED NOTES, CLUBHOUSE

- B1 SYNTHETIC STONE VENEER S1
- C1 BOARD AND BATTEN CEMENTITIOUS SIDING
- C2 1X 8 FIBER CEMENT ROOF FASCIA
- D1 PREFINISHED ALUM. STOREFRONT ENTRANCE W/ WIDE
STILE AND RAIL STOREFRONT DOOR. FINISH - BLACK.
- M1 METAL SIDING
- R1 ASPHALT SHINGLES ON 15# ROOFING FELT

NOTE : ALL LINEAR TRIM TO BE PRE PRIMED
FIBER REINFORCED CEMENT BOARD,
SMOOTH FINISH, PAINTED. COLORS TBD

SG = SAFETY GLAZING



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Johnstown Rd.
Clubhouse

Gahanna, OH

Date of Issue:
2024-10-16
Issued for:
Zoning

Revision History :

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Project Number
23012

Clubhouse Exterior
Views

CH2-02



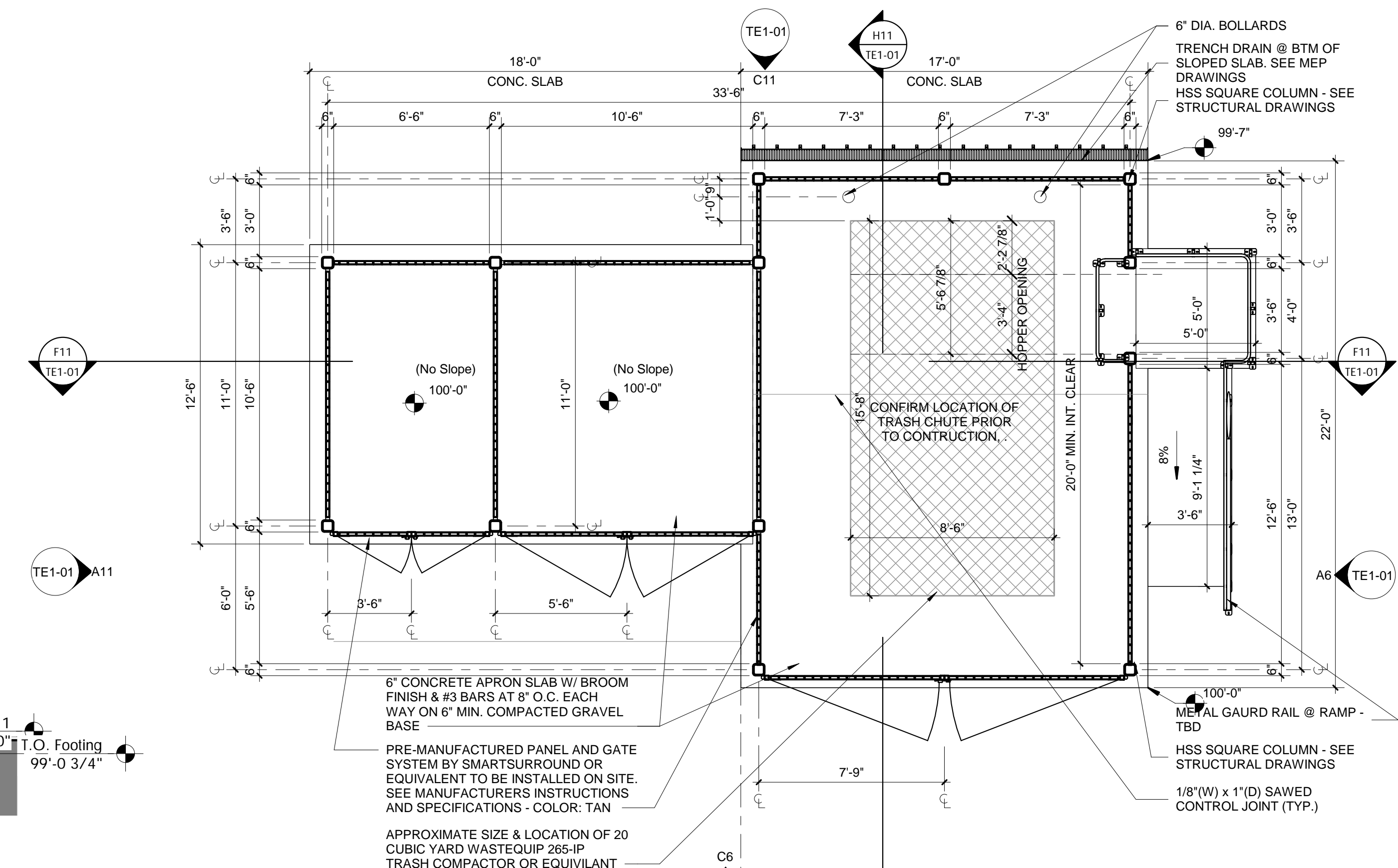
View from Entrance



View From Pool 2

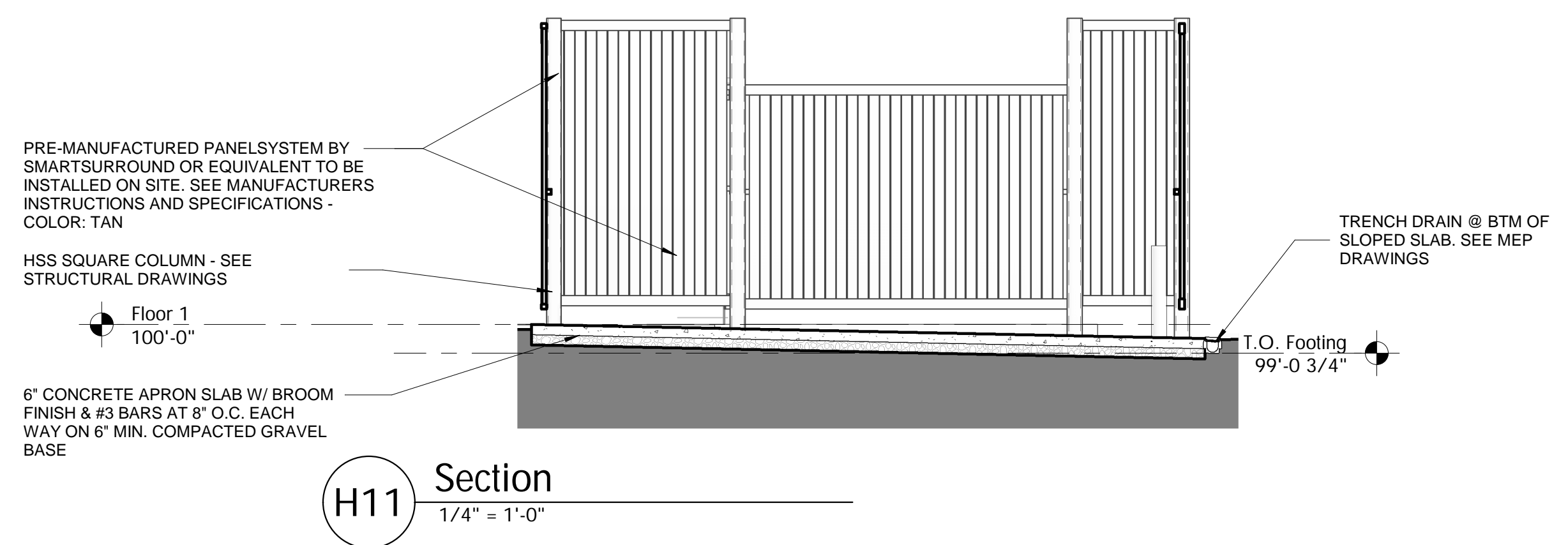


View From Pool

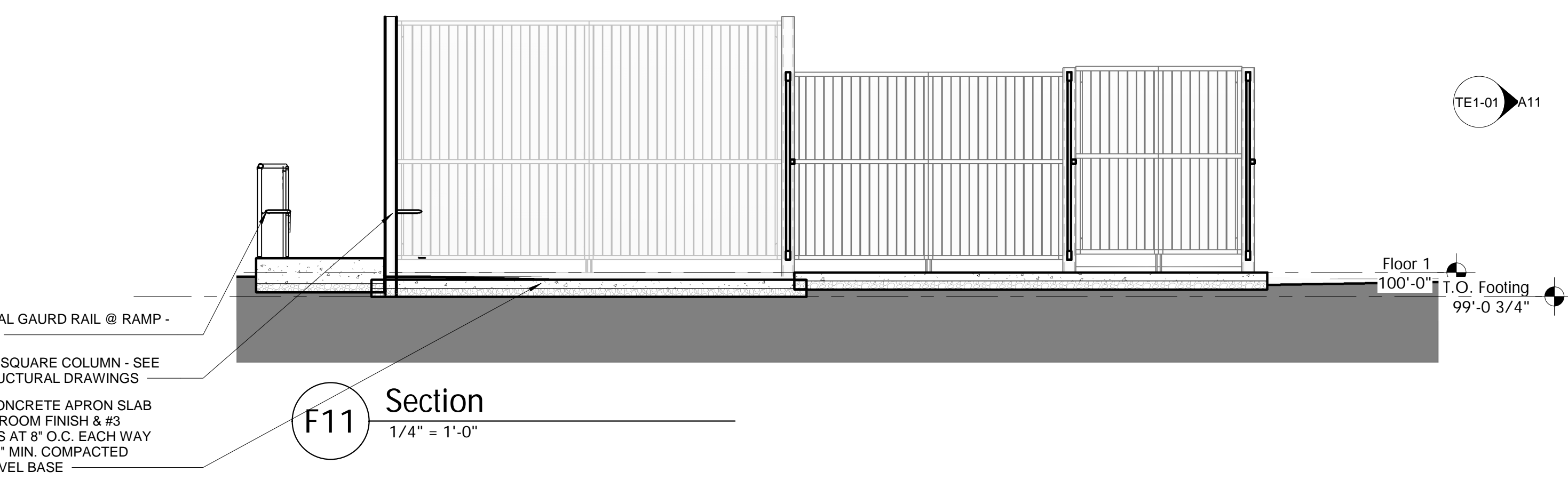


E6 Trash Enclosure & Bulk Pickup Floor Plan
1/4" = 1'-0"

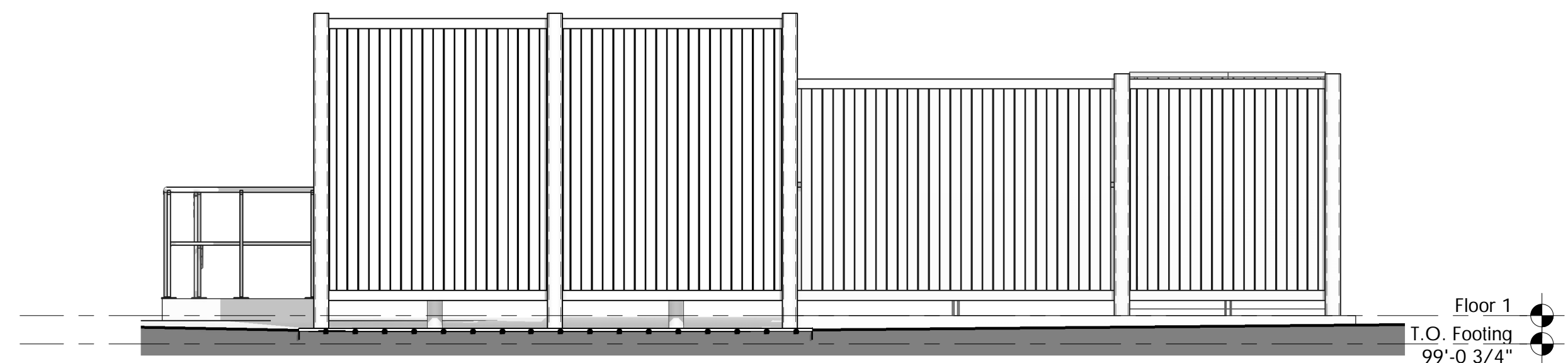
NOTE:
ANY TENANT OPERABLE PART AT THE TRASH CHUTE SHALL BE LOCATED WITH AN ACCESSIBLE REACH RANGE AND BE OPERABLE WITH ONE HAND WITHOUT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PART SHALL BE POSITIONED 15" MIN. TO 48" MAX. A.F.F. ANY EMERGENCY CONTROLS SHALL BE WITH THE ACCESSIBLE REACH RANGE.
ANSI 2009:308.1, 309.1 TYPICAL



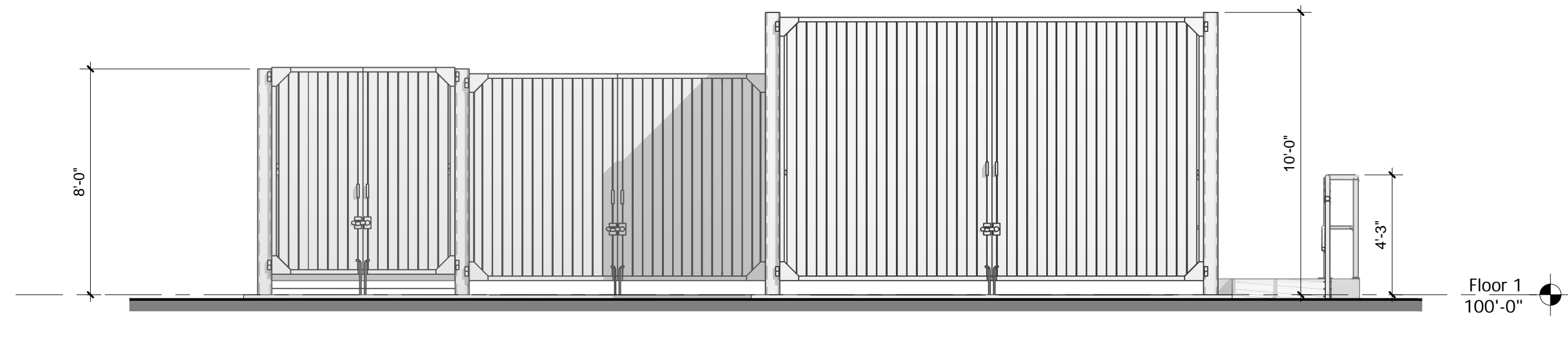
H11 Section
1/4" = 1'-0"



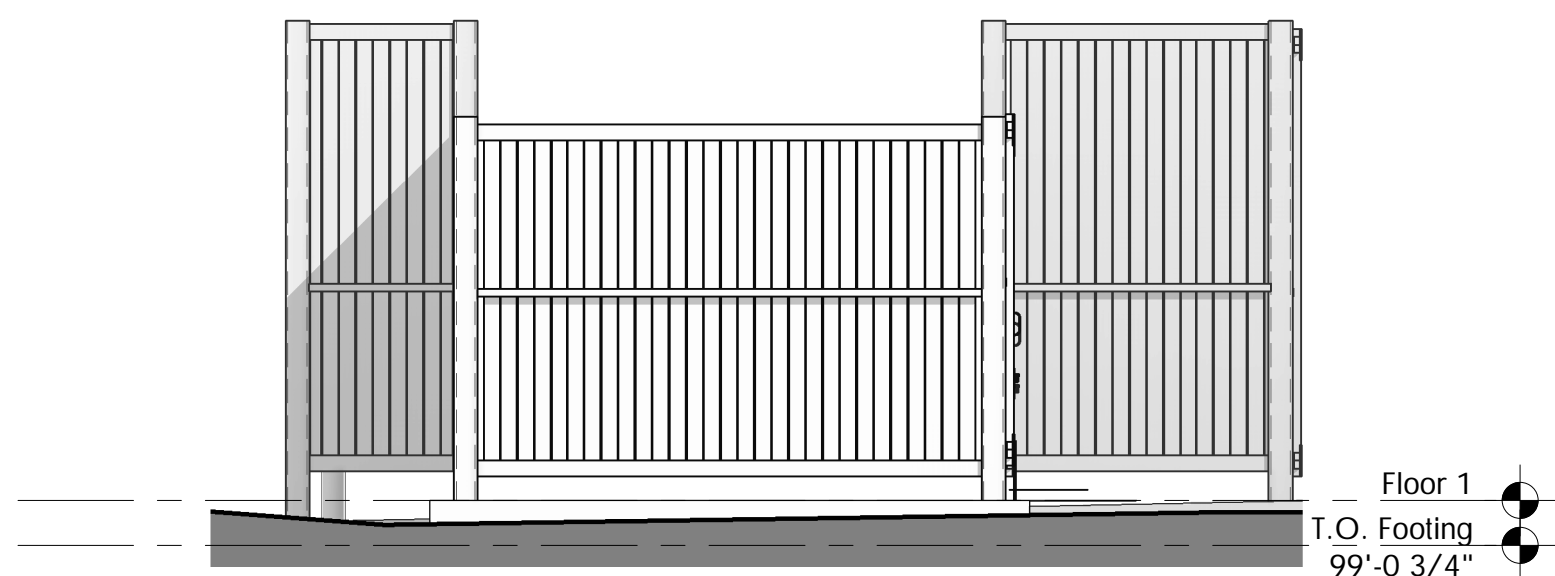
F11 Section
1/4" = 1'-0"



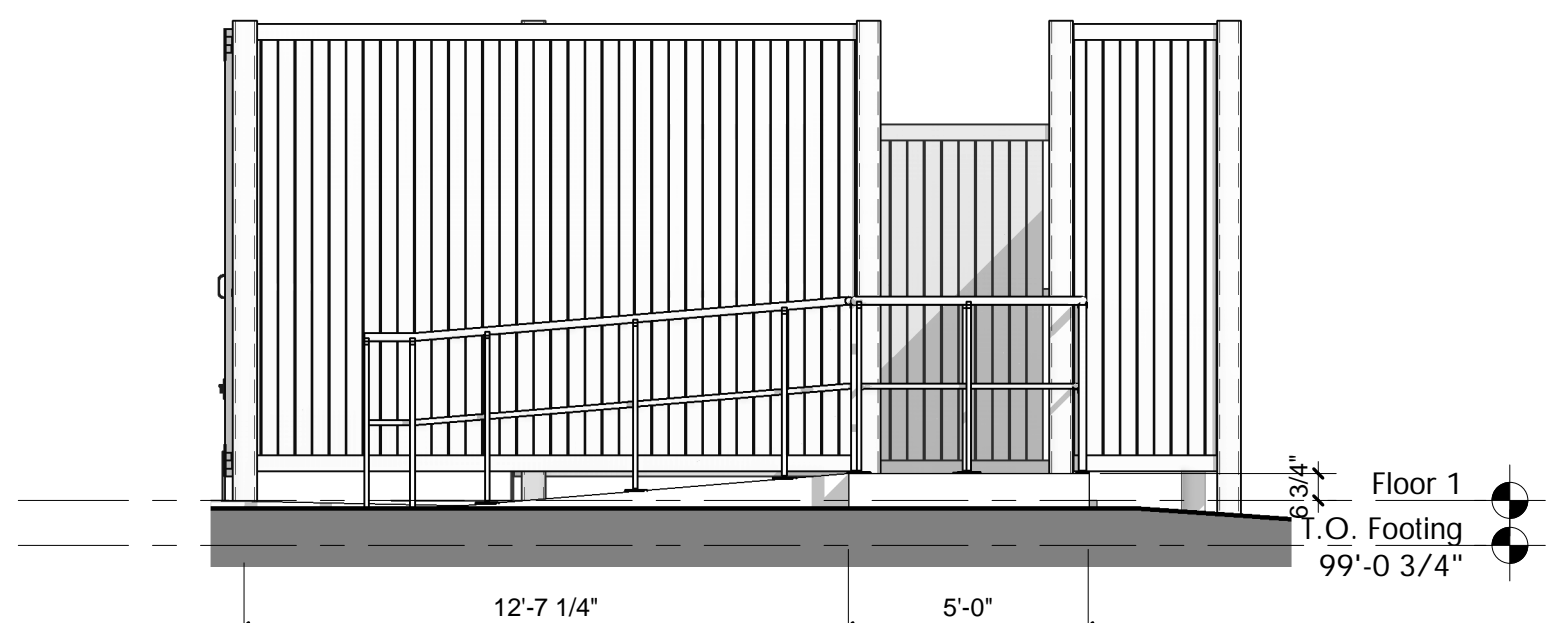
C11 Exterior Elevation
1/4" = 1'-0"



C6 Exterior Elevation
1/4" = 1'-0"



A11 Exterior Elevation
1/4" = 1'-0"



A6 Exterior Elevation
1/4" = 1'-0"

CODE DATA:

SCOPE OF PROJECT: NEW ONE STORY ACCESSORY STRUCTURE

PROJECT ADDRESS: BULK TRASH STORAGE: XXX JOHNSTOWN ROAD COLUMBUS, OHIO

GOVERNING CODES
BUILDING: 2017 OHIO BUILDING CODE
MECHANICAL: 2017 OHIO MECHANICAL CODE
ELECTRIC: 2017 NATIONAL ELECTRIC CODE

USE GROUP CLASSIFICATION: U - UTILITY

CONSTRUCTION TYPE: V-B, COMBUSTIBLE

ALLOWABLE HEIGHT: 40 FEET, ONE STORY

ACTUAL HEIGHT: 10 FEET, ONE STORY

ALLOWABLE AREA: 5,500 SF/FLOOR (OBC SECTION 506.2)

ACTUAL AREA: 536 SF

FIRE RESISTANCE RATING REQUIREMENTS (HOURS) FOR BUILDING ELEMENTS PER OBC TABLE 601

BUILDING ELEMENT	TYPE V-B CONSTRUCTION
PRIMARY STRUCTURAL FRAME	0 HOUR
BEARING WALLS	0 HOUR
INTERIOR EXTERIOR	0 HOUR
NONBEARING WALLS AND PARTITIONS	0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS:	0 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS:	0 HOUR

PLANNING COMMISSION STAFF REPORT

Project Summary – Johnstown Rd Apartments

Meeting Date: December 18, 2024

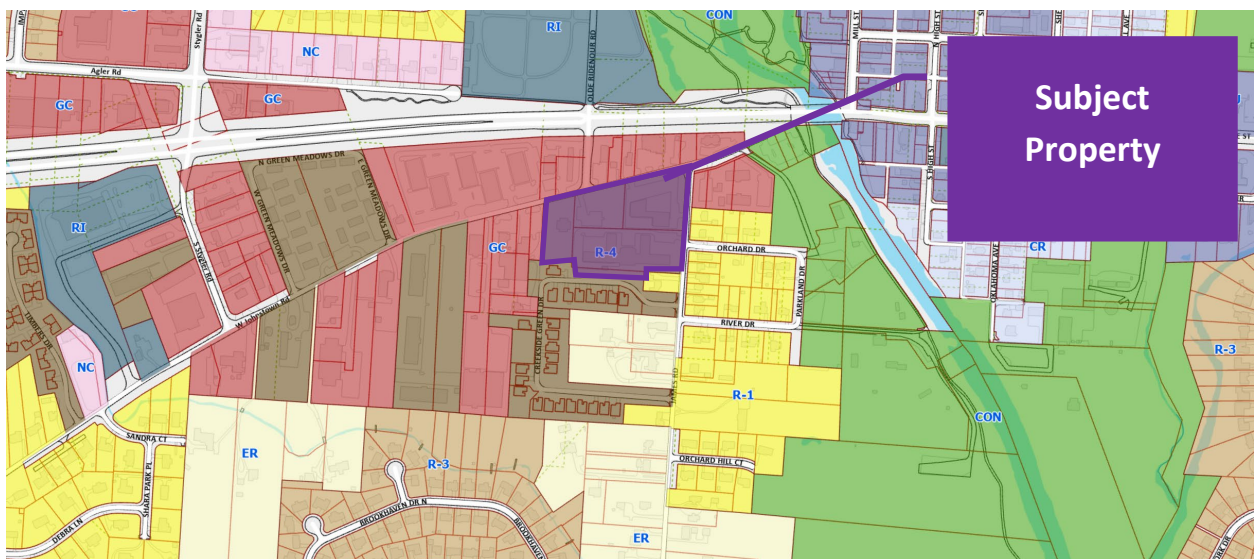
Zoning: Multi-Unit Residential (R-4)

Application Type(s): Development Plan (Major)
Variance (V)

Staff Representative: Michael Blackford, AICP
Director of Planning

Recommendation: Staff is generally supportive of the project but has concerns regarding the number of variances necessary to permit as proposed; please see staff comments for staff concerns

Location Map:



Staff Review

Overview

A development plan and variance application have been submitted to redevelop the subject properties with apartments. Combined, the properties total just under 6.5 acres with a proposed unit count of 182 units, for a density of just under 28.5 units an acre.

264 parking spaces are being provided, which includes two garage buildings. Parking exceeds the minimum amount required by code by 18. Seven residential buildings are proposed with a maximum height of 42' or three and half stories. R-4 permits up to 50' building height. Of the 182 units, 116 are one-bedroom and 66 are two-bedroom.

Portions of the property were previously occupied by an assisted living facility but have been vacant for the better part of a decade. A previous proposal for that portion of the property was for an inpatient substance abuse clinic. That request was denied by the City and the site has been unoccupied since. The portion of the site closest to the West Johnstown/James Road intersection are developed with a one-story office building.

Zoning

As part of the zoning code rewrite, the properties were administratively rezoned from Community Commercial (CC) to Multi-Unit Residential (R-4). The City believes that multi-unit residential is an appropriate use of the site given the location of the property in proximity to similar residential uses and residential amenities, existing infrastructure, and the need for additional housing opportunities in the region. Development parameters of the current and previous zoning include the following:

Zoning	Uses	Density
R-4 (Current)	Multi-unit (apartments)	25 units an acre
Community Commercial (Previous)	Typical Uses: retail, office, medical, personal services (gym, barber, salon); residential not permitted	N/A

Chapter 1107 provides architectural standards throughout the City. Elements of the code that are relevant to this development include, but aren't limited to the following:

- Variations in façade elements to reduce perceived mass and scale.
- Variations in height, mass, roof forms, and wall planes to mitigate linear appearance of development.
- Use of architectural features such as windows, columns, materials, and other features.
- Primary façade materials include: brick, stone veneer, architectural pre-cast concrete, newly developed materials.
- Articulated entrances along front elevations.

- Exterior colors should be neutral tones of light brown, tan, beige, white, creams, grey, black, and similar colors.
- Not more than four total colors on any elevation.

Land Use Plan

The City's Comprehensive Land Use Plan (LUP) designates the property as Mixed Use. Mixed Use recommends residential uses at a density up to 30 units an acre. Buildings should be oriented towards the street with parking to the side and/or rear or in a structured garage. 0-20' setback from the right-of-way is recommended.

The LUP recognized the need for additional housing opportunities, specifically apartments with modern amenities. Almost 90% of Gahanna's housing stock was built prior to 2000.

The LUP makes recommendations. Consistency, or lack thereof, with LUP does not mandate a specific vote.

Variations

In order to develop the property as proposed, several variations have been requested. These variations are largely the same variations that were presented at the Planning Commission workshop from August 2024. The following variations have been requested:

1. Chapter 1103.10 – Density
 - a. 25 units an acre permissible. 28.46 units an acre requested.
 - b. The applicant provides that the unit total is larger than other projects built in Gahanna because of the smaller average unit size. Approximately 66% of all units are one bedroom with no three-bedroom units.
 - c. Staff does not believe that the additional density is warranted. Until 2024, the zoning code limited density in multifamily zoning to 12 units an acre. The new code more than doubled permissible density. Without compelling justification to exceed the maximum allowed, and coupled with the fact that the development footprint is too large to meet minimum setbacks, staff does not support this variance.
2. Chapter 1103.10 – Building Setbacks
 - a. Code requires a 25' front and rear yard setback. A 10' front yard setback and 5 rear yard setback are requested.
 - b. A 10' building setback is provided along W. Johnstown Rd where right-of-way has been reserved. 20' or more setback is provided along other portions of W. Johnstown Rd and James Rd. A 5' setback has been proposed along the western property line. This property line is adjacent to single story commercial development that primarily consists of trade related activities.
3. Chapter 1107.01(d)(3) – Materials
 - a. Code limits vinyl to no more that 20% of a primary building material.
 - b. Applicant requests to use vinyl percentages greater than 20% on some facades.

4. Chapter 1107.01(e)(2) – Colors
 - a. No more than four colors permitted on any elevation.
 - b. Six exterior colors are proposed.
 - c. All six of the colors are neutral tones called out in Chapter 1107.01(e)(1) as preferred colors. The applicant has provided renderings that depict the six colors and it is staff's opinion that the look of the buildings is consistent with the intent of the code. No objection from staff.
5. Chapter 1109.01(a)(2)/(4) – Parking Setbacks
 - a. A 25' front yard parking setback is required and a 10' rear yard setback.
 - b. Applicant proposes 20' front yard (Johnstown and James Roads), 5' along the west property line and 0' along the south property line. The applicant has acquired an easement from the condo association for parking, access drive, screening fence and landscaping.
 - c. Staff has no objection to this variance. The applicant has coordinated the use of the adjacent condo association property and owners' authorization from them has been received. Adequate buffering and screening has been provided along the rear property lines to shield lighting from headlights.
6. Chapter 1109.01(d) – Parking Dimensions
 - a. Compact parking spaces have been requested with a variety of sizes, the smallest of which are 9' x 16'. Up to 23 spaces would have a reduced depth.
 - b. Code requirements vary but a typical parking space is 9' x 19'. The applicant has previously stated that their projects typically have very few trucks and SUVs so the demand for larger parking spaces is minimal.
7. Chapter 1109.01(j) – EV Charging
 - a. Code requires one EV space per 25 parking spaces. Seven EV spaces are proposed; 10 required.
 - b. The applicant has stated that they will be providing electric infrastructure for the ability to expand the network over time.
8. Chapter 1109.02(d) – Dumpster Setbacks
 - a. Code requires a 10' setback; 5' proposed.
 - b. The dumpster is strategically located along the west property line, in a location that would minimize impacts to residents and adjacent properties. Staff does not object to this variance request.
9. Chapter 1109.04(b)(5) – Dumpster Screening
 - a. Applicant proposes screening that is 10' in height; 8' in height permitted by code.
 - b. The applicant states that the dumpster is located between two buildings that are approximately 12'-14' in height and that increased screening height is warranted for compatibility with these buildings.
10. Chapter 1109.04(c) – Buffering and Screening
 - a. A 10' wide buffer along the southern boundary is required. Applicant proposes a variable width buffer. 5' being the shortest distance, most of the buffer is wider than this.

- b. Portions of the buffer would be 5', 8' and 10' or greater. While the buffer width would vary, screening requirements are consistent throughout. 6' tall opaque fencing and a tree every 40' are provided.

Review Criteria

Development Plan (Major)

Approval:

- The proposed development meets the applicable development standards of this Zoning Ordinance.
- The proposed development is in accord with appropriate plans for the area.
- The proposed development would not have undesirable effects on the surrounding area.
- The proposed development would be in keeping with the existing land use character and physical development potential of the area.

Approval with modification:

- To be in accord with appropriate plans for the area; and
- To prevent undesirable effects on adjacent properties and surrounding area.

Disapproval:

- The proposed development does not meet the applicable development standards of the Zoning Ordinance.
- The proposed development is not in accord with the appropriate plans of the area.
- The proposed development will have undesirable effects on the surrounding area.
- The proposed development is not in keeping with the existing land use character and physical development potential of the area.

Variance

Before granting a variance, Planning Commission shall find that:

- a) The variance is not likely to result in substantial change to the essential character of the neighborhood;
- b) The variance is not likely to result in damage to adjoining properties;
- c) The variance is not likely to adversely affect the delivery of governmental services (e.g., water, sewer, garbage);
- d) The variance is not likely to result in environmental impacts greater than what is typical for other lots in the neighborhood.
- e) The variance is necessary for the economical use of the property, and such economical use of the property is not easily achieved through some method other than a variance; and,
- f) The variance is not likely to undermine the objectives of the land use plan.

Recommendation

Staff is generally supportive of the project as staff was the driving force behind rezoning the property to permit multi-unit development. However, staff is of the opinion that a project requiring fewer variances, especially related to density, is a more consistent project with the land use plan, zoning code, and established development patterns.

Prior to the establishment of the new zoning code, developing the property with residential would have required a rezoning. Maximum density without Planning Commission approval was 12 units an acre and up to 18 with a conditional use. Appropriate densities in the new zoning code were determined based on housing trends, recommendations from the Land Use Plan, and established development patterns within Gahanna. The zoning code was revised to permit 25 units an acre by right when, just a year ago, it was 12 units.

Staff is of the opinion that the density limitations of the zoning code should be followed without compelling reasons to deviate. The additional units are necessitating, or at least contributing to, a number of other variances. Compliance with the code is generally easier to achieve with less development/density.

Additionally, approval of a variance to density may now become the new normal. Staff has concerns that granting variances to density will encourage other projects to request as many units as possible.