

### **FINAL DEVELOPMENT PLAN APPLICATIONS**

Check application for completeness of documents  ✓

Enter into Legistar (Make sure numbering is correct)  ✓

Set up File (Blue) (Site Address/Applicant or Business Name)  ✓

Prepare Legal Ad (Requires 1 Ad) (Copy for file)  ✓

Post Public Hearing to the webpage  ✓

Letters to Contiguous Property Owners  ✓

~~Staple Contiguous Property Owner List to copy of letter~~

### **AFTER PLANNING COMMISSION ACTION ON FDP APPLICATION**

Record of Action to Applicant and Zoning (copy for file)  ✓

Put copy of Minutes and Power point from meeting in file  ✓

Put all items in file in chronological order  ✓

**PUBLIC HEARING**  
**Gahanna Planning Commission**  
**Wednesday, July 10, 2013**  
**7:00 p.m.**

**FDP-0005-2013** To consider a Final Development Plan for Taylor Pointe; for property located at 799 Cross Pointe Road; Kenny Companies; Don Kenney Jr., applicant.

Council Chambers, City Hall,  
200 S. Hamilton Road, Gahanna



PLANNING COMMISSION  
200 SOUTH HAMILTON ROAD  
GAHANNA, OHIO 43230-2996

www.gahan

## PLANNING CO

UNITED STATES OF AMERICA  
745 TAYLOR STATION RD  
GAHANNA, OH 43230

126

433206020000

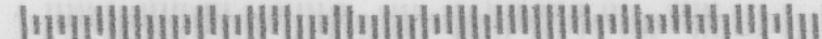


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MAILED FROM ZIP CODE 43230

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RETURN TO SENDER  
NOT DELIVERABLE AS ADDRESSED  
UNABLE TO FORWARD

BC: 43230299699 \*1446-00183-28-37





PLANNING COMMISSION  
200 SOUTH HAMILTON ROAD  
GAHANNA, OHIO 43230-2996

200 SOUTH HAMILTON ROAD  
FAX: (614) 342-4190



[www.gahanna.org](http://www.gahanna.org)

PLANNING CO

UNITED STATES OF AMERICA  
765 TAYLOR STATION RD  
GAHANNA, OH 43230

43230999999

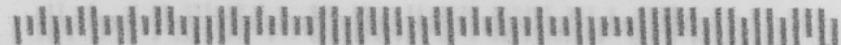


GAHANNA, OHIO 43230-2996  
TELEPHONE: (614) 342-4090

NIXIE 430 SE 1009 0007/11/13

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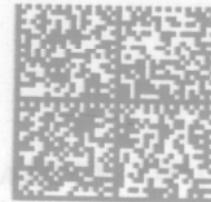
PLANNING COMMISSION  
200 SOUTH HAMILTON ROAD  
GAHANNA, OHIO 43230-2996

200 SOUTH HAMILTON ROAD  
FAX: 614-876-5200

MARK SWEATLAND  
842 TAYLOR RD  
GAHANNA, OH 43230

PLANNING COMMISSION

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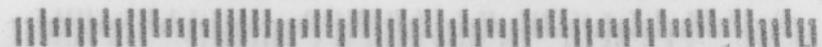


0006560320 \$ 00.46<sup>0</sup>  
JUN 28 2013  
MAILED FROM ZIP CODE 43230

NIXIE 430 SE 1009 0007/11/13

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NO SUCH STREET  
UNABLE TO FORWARD

BC: 43230299699 \*1446-00226-28-37



200 SOUTH HAMILTON ROAD  
FAX: (614) 342-4190



GAHANNA, OHIO 43230-2996  
TELEPHONE: (614) 342-4090

[www.gahanna.gov](http://www.gahanna.gov)

**PLANNING COMMISSION**

MARK SWEATLAND  
842 TAYLOR RD  
GAHANNA, OH 43230

You are hereby notified that the Gahanna Planning Commission will hold a public hearing on:

**Wednesday, July 10, 2013  
7:00 p.m.**

Council Chambers  
Gahanna City Hall  
200 South Hamilton Road  
Gahanna, Ohio

**FDP-0005-2013** To consider a Final Development Plan for Taylor Pointe; for property located at 799 Cross Pointe Road; by Kenney Companies; Don Kenney Jr., applicant.

All regular and special meetings of the Planning Commission are open to the public. This application is on file in the office of the Clerk of Council for review.

*Donna L. Jernigan*  
Sr. Deputy Clerk of Council

Planning Commission  
City of Gahanna, Ohio  
Gahanna's Vision is...

...to be an innovative model community that values its rich heritage, pursues high standards, and where citizens respect one another.

*Gahanna's Mission is...*

...to ensure an exceptional quality of life by providing comprehensive services, financial stability, and well-planned development which preserves the natural environment, so that city government will continue to be responsive, accessible, and accountable to our diverse and growing community of citizens.

**Lot 2 of Crossroads Commerce Center ~ 4.141 Acres: 799 Cross Pointe Road**

Situated in the State of Ohio, County of Franklin, City of Gahanna, located in Quarter Township 3, Township 1, Range 16, United States Military District.

Being all of Lot Number 2 of Crossroads Commerce Center of record in Plat Book 94, Page 91, Recorder's Office, Franklin County, Ohio.

**Advanced Civil Design, Inc.**

Z:\13-0009-414\survey\Lot 2 Legal

### SITE DATA TABLE

ADDRESS: 799 CROSS POINTE ROAD  
ZONED: OCT (OFFICE, COMMERCE, TECHNOLOGY)

SITE ACREAGE: 4.141 AC. (180,382 S.F.)

96 SUITES = 23.2 SUITES / ACRE

SITE STATISTICS:

IMPERVIOUS AREA 110,204 S.F.  
BUILDING + PARKING (80% MAX.) 61.1%

INTERNAL LANDSCAPE REQUIREMENTS (OVERALL):

TOTAL PARKING AREA = 66,060 SF  
REQUIRED INTERNAL LANDSCAPE AREA (5%) = 3,303 SF  
INTERNAL LANDSCAPE AREA PROVIDED = 3,800 SF  
REQUIRED TREES (1 PER 100 SF INT. LANDSCAPE) = 38

TOTAL PARKING SPACES  
TOTAL HANDICAP SPACES REQUIRED  
TOTAL HANDICAP SPACES PROVIDED

(10) =PROPOSED PARKING

ADVANCED

GRAPHIC SCALE  
0 20 40 80  
1 inch = 40 feet

### LEGEND

- STANDARD PAVEMENT SECTION
- HEAVY DUTY PAVEMENT SECTION
- CONCRETE PAVEMENT SECTION

REFERENCE SHEET 2 FOR PAVEMENT SECTION DETAILS

— UNDERDRAIN

### SITE PLAN NOTES

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.

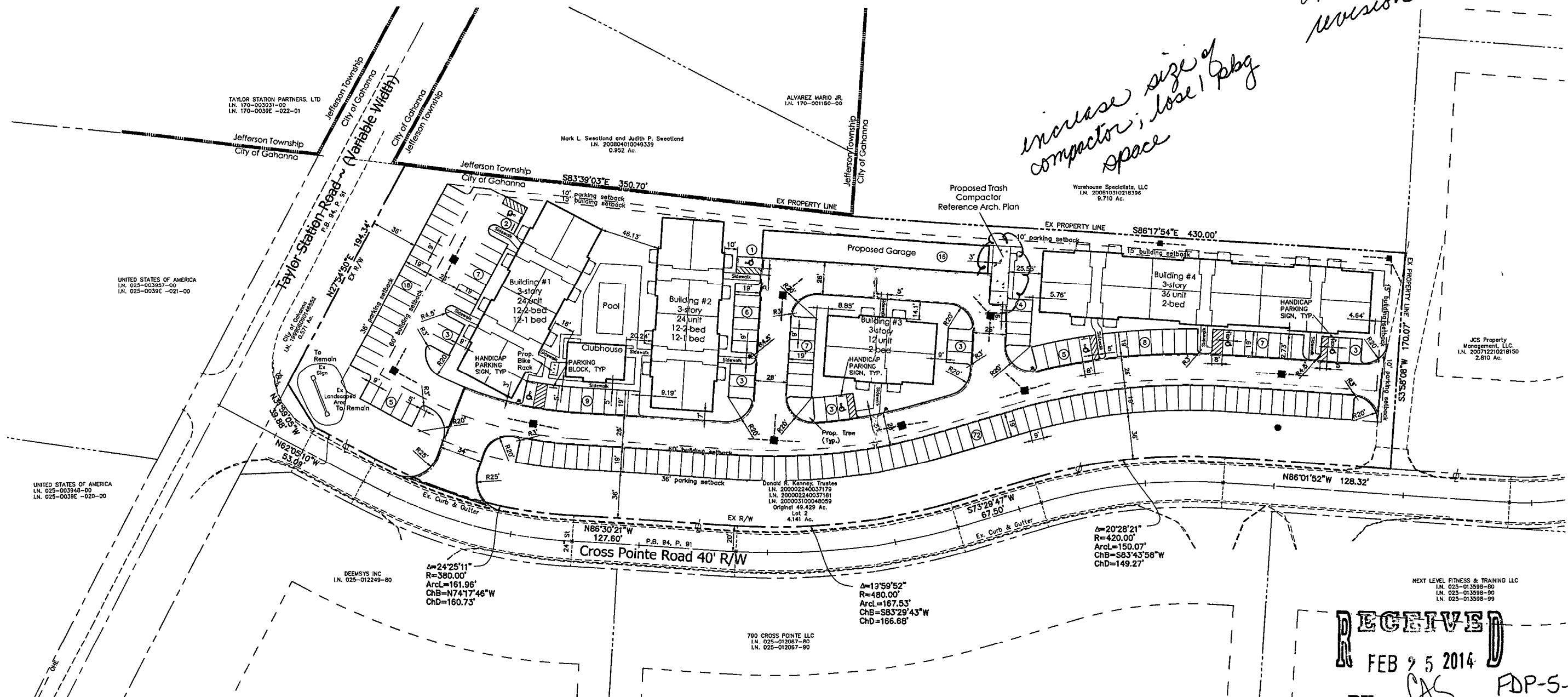
ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

CURB RADII AND PAVEMENT RADII NOT LABELED ARE 5' OR ONE-HALF THE WIDTH OF ISLAND.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

ALL PRIVATE PAVEMENT MARKING SHALL BE WHITE UNLESS OTHERWISE NOTED.

2/26/14  
revision



200 SOUTH HAMILTON ROAD  
FAX: (614) 342-4190



GAHANNA, OHIO 43230-2996  
TELEPHONE: (614) 342-4090

[www.gahanna.gov](http://www.gahanna.gov)

## PLANNING COMMISSION RECORD OF ACTION

KENNEY COMPANIES  
DON KENNY JR.  
470 OLDE WORTHINGTON RD.  
WESTERVILLE, OH

Gahanna Planning Commission met on Wednesday, July 24, 2013 with members Andrews, Rosan, Price, Keehner, Shepherd, Thom and Wester present, to consider along with other business:

**FDP-0005-2013** To consider a Final Development Plan for Taylor Point, an extended stay hotel; for property located at 799 Cross Pointe Road; by Kenney Companies, Don Kenney, applicant.

A motion was made by Thom, seconded by Price, to approve FDP-0005-2013; Voting Yes – Thom, Price, Andrews, Keehner, Rosan, Shepherd, Wester.

*Final Development Plan application: APPROVED.*

This Finding of Fact is certified, this 31st day of July, 2013.

The signature of Donna L. Jernigan, written in cursive ink.  
Donna L. Jernigan, MMC  
Sr. Deputy Clerk of Council

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**FDP-0005-2013** To consider a Final Development Plan for Taylor Pointe, an extended stay hotel; for property located at 799 Cross Pointe Road; by Kenney Companies; Don Kenney, applicant.

Gard said we do have a revised site plan; they have incorporated everything we asked for; additional landscaping on the north edge of building 4; did add windows on the ends of buildings 1 and 2; also added balconies; changed elevations on some of the garages to make them more attractive; discussed dimensional shingles and Gard said they are required by code; also received planting plans which are in the small version you received this evening.

Chair opened the public hearing at 7:05 p.m. and asked for proponents.

Tom Warner, Advanced Civil Design, 422 Beecher Road, said concerning the dimensional shingles since that is part of the code we will incorporate them; feel we have addressed all the concerns the Commission had; architect and landscape architect are here if you have any questions.

Chair asked for opponents. There were none.

Rosan asked if Collins or his crew had seen the landscape plans, and Gard said yes and they did have time to make comments and there were none.

Chair closed the public hearing at 7:08 p.m.

Andrews said thank you for listening and incorporating the changes we asked for; we appreciate it; will be a nice development for Gahanna.

**A motion was made by Thom, seconded by Price, that this Final Development Plan be Approved. The motion carried by the following vote:**

**Yes:** 7 - Shepherd, Thom, Andrews, Price, Rosan, Keehner and Wester

**DR-0018-2013** To consider a Certificate of Appropriateness for Site Plan, Landscaping, Building Design and Signage for Taylor Pointe, an extended stay hotel; for property located at 799 Cross Pointe Road; by Kenney Companies; Don Kenney, applicant.

See discussion above.

**A motion was made by Thom, seconded by Andrews, that this Design Review be Approved. The motion carried by the following vote:**

**Yes:** 7 - Shepherd, Thom, Andrews, Price, Rosan, Keehner and Wester

200 SOUTH HAMILTON ROAD  
FAX: (614) 342-4190



GAHANNA, OHIO 43230-2996  
TELEPHONE: (614) 342-4090

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## PLANNING COMMISSION

You are hereby notified that the Gahanna Planning Commission will hold a public hearing on:

**Wednesday, July 10, 2013  
7:00 p.m.**

Council Chambers  
Gahanna City Hall  
200 South Hamilton Road  
Gahanna, Ohio

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*Donna L. Jernigan*  
Sr. Deputy Clerk of Council

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# City of Gahanna

## Master

200 South Hamilton Road  
Gahanna, Ohio 43230

**File Number:** FDP-0005-2013

**File Number:** FDP-0005-2013

**File Type:** Final Development Plan

**Status:** Applications/Public Hearings:

**Version:** 1

**Reference:**

**Controlling Body:** Planning Commission

**File Name:** 799 Cross Pointe/Taylor Pointe

**Introduced:** 7/10/2013

**Requester:**

**Cost:**

**Final Action:**

**Title:** To consider a Final Development Plan for Taylor Point, an extended stay hotel; for property located at 799 Cross Pointe Road; by Kenney Companies; Don Kenney, applicant.

**Sponsors:**

**Notes:**

**Indexes:** PC - FINAL DEVELOPMENT PLAN

**Attachments:**

### History of Legislative File

<b>Version:</b>	<b>Acting Body:</b>	<b>Date:</b>	<b>Action:</b>	<b>Sent To:</b>	<b>Due Date:</b>	<b>Return Date:</b>	<b>Result:</b>
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**Existing Property Owners**

790 CROSS POINTE LLC  
790 CROSS POINTE RD  
COLUMBUS, OH 43230

MARIO ALVAREZ JR  
852 TAYLOR STATION RD  
COLUMBUS, OH 43230

DEEMSYS INC  
800 CROSS POINTE RD  
COLUMBUS, OH 43230

MICHAEL HALTER  
750 CROSS POINTE RD  
COLUMBUS, OH 43230

JCS PROPERTY MANAGEMENT LLC  
735 CROSS POINTE RD  
COLUMBUS, OH 43230

JCS PROPERTY MANAGEMENT LLC  
675 CROSS POINTE RD  
COLUMBUS, OH 43230

NEXT LEVEL FITNESS & TRAINING LLC  
720 CROSS POINTE RD  
COLUMBUS, OH 43230

KANWAL N SINGH LYNN W SINGH  
875 TAYLOR STATION RD  
COLUMBUS, OH 43230

MARK L SWEATLAND JUDITH P  
SWEATLAND  
842 TAYLOR STATION RD  
COLUMBUS, OH 43230

TAYLOR STATION PARTNERS LTD  
841 -841 TAYLOR STATION RD  
COLUMBUS, OH 43230

UNITED STATES OF AMERICA  
765 TAYLOR STATION RD  
COLUMBUS, OH 43230

UNITED STATES OF AMERICA  
745 TAYLOR STATION RD  
COLUMBUS, OH 43230

WAREHOUSE SPECIALISTS LLC  
650 TAYLOR STATION RD  
COLUMBUS, OH 43230



## SUBMITTAL REQUIREMENTS

	Applicant Or Agent	Planning & Zoning Administrator
A. The Final Development Plan shall contain the following:		
1. Scale: Minimum – one inch equals 100 feet.	1. <input checked="" type="checkbox"/>	1. <input checked="" type="checkbox"/>
2. The proposed name of the development, approximate total acreage, north arrow, and date.	2. <input checked="" type="checkbox"/>	2. <input checked="" type="checkbox"/>
3. The names of any public and/or private streets adjacent to or within the development.	3. <input checked="" type="checkbox"/>	3. <input checked="" type="checkbox"/>
4. Names and addresses of owners, developers and the surveyor who designed the plan.	4. <input checked="" type="checkbox"/>	4. <input checked="" type="checkbox"/>
5. Vicinity map showing relationship to surrounding development and its location within the community.	5. <input checked="" type="checkbox"/>	5. <input checked="" type="checkbox"/>
6. Natural features currently within proposed development, including drainage channels, tree lines bodies of water, and other significant features.	6. <input checked="" type="checkbox"/>	6. <input checked="" type="checkbox"/>
7. Current zoning district, building and parking setbacks.	7. <input checked="" type="checkbox"/>	7. <input checked="" type="checkbox"/>
8. Proposed location, size and height of building and/or structures.	8. <input checked="" type="checkbox"/>	8. <input checked="" type="checkbox"/>
9. Proposed driveway dimensions and access points.	9. <input checked="" type="checkbox"/>	9. <input checked="" type="checkbox"/>
10. Proposed parking and number of parking spaces.	10. <input checked="" type="checkbox"/>	10. <input checked="" type="checkbox"/>
11. Distance between buildings.	11. <input checked="" type="checkbox"/>	11. <input checked="" type="checkbox"/>
12. List of adjacent property owners for notification.	12. <input checked="" type="checkbox"/>	12. <input checked="" type="checkbox"/>
13. Reduced site plan suitable for showing on an overhead projector.	13. <input checked="" type="checkbox"/>	13. <input checked="" type="checkbox"/>
14. Any other information the Planning Commission may deem to be necessary to evaluate the application. These items can include such things as elevations, traffic studies, floor plans, etc.	14. <input checked="" type="checkbox"/>	14. <input checked="" type="checkbox"/>
B. In addition to the aforementioned requirements, the developer shall submit a table of development calculations. This table shall include:		
1. Parking calculations: (square footage of proposed buildings, number of spaces per square foot, number of spaces required, actual number of spaces proposed).	1. <input checked="" type="checkbox"/>	1. <input checked="" type="checkbox"/>
2. Lot coverage calculations: (square footage of site, area of permanently impervious surfaces broken down into buildings and parking, area of uncovered land, coverage requirements, proposed lot coverage).	2. <input checked="" type="checkbox"/>	2. <input checked="" type="checkbox"/>
3. Setback calculations, (if needed).	3. <input checked="" type="checkbox"/>	3. <input checked="" type="checkbox"/>
4. Landscaping calculations: (square footage of pavement, proposed area of landscaping, square footage of landscaping, number of two-inch caliper trees required, number of trees proposed).	4. <input checked="" type="checkbox"/>	4. <input checked="" type="checkbox"/>

(Ord. 132-96. Passed 8-6-96.)



## CITY OF GAHANNA

### Agreement to Build as Specified

Your signature below affirms that, as the applicant Kenney Companies  
(Please Print - Applicant Name)

for 799 Cross Pointe Rd.

(Business Name and/or Address)

you will build the project as approved and specified by the Planning Commission  
for the City of Gahanna. You, as the applicant, also agree that any necessary change  
to the project must go back through Planning Commission process to amend the plans.

Applicant Signature Kenney Companies

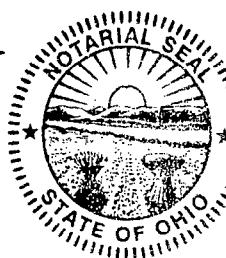
(Applicant Name/Applicant Representative)

Date 6-11-13

(Signature of Notary)

6/11/13

(Date)



Kara L Perry  
★ Notary Public, State of Ohio  
MY COMMISSION EXPIRES 3/31/15

Stamp/Seal

# **Planning Commission**

## **Information for All Applicants**

- 1. All required information must be submitted with the application. The Tuesday, four (4) weeks prior to the Public Hearing Date, by 5:00 p.m., is the deadline for acceptance of all applications. No application will be forwarded to Planning Commission until all information is received in the Planning & Zoning Office.**
- 2. It is the responsibility of the applicant to have a court reporter present, at the applicant's expense, if they wish to have a verbatim transcript of the meeting. Council office must be advised in advance if a court reporter is going to be present.**
- 3. Reduced drawings suitable to an 11x17 inch size must be submitted. If an application is amended at any time during the process, a new reduced drawing must be submitted as well as any full size drawings requested.**
- 4. Agendas will be mailed to the applicant on the Friday prior to the Planning Commission meeting. If the agenda is to go to someone other than the applicant, it needs to be noted on the application.**
- 5. If a list of Contiguous Property owners needs to be submitted with an application, it must be compiled in a list on a separate sheet of paper. This must include mailing name and address of property owner. Showing them only on one of the plan sheets is not acceptable.**
- 6. For Design Review applications, a materials list, unless otherwise instructed by the Planning & Zoning Administrator, must be submitted with the application. If materials are changed during the process, then a new materials list must be submitted.**
- 7. For Multi-tenant ground sign & Master Sign Plan applications, location must be noted on a site plan. Also notate location on site plan for a freestanding sign or on building elevation for a wall sign. Color renderings must be submitted.**
- 8. Please review "Submission Requirements" on any application before submitting to the Planning & Zoning Division.**
- 9. Copies of specific sections of the zoning code are available in the Zoning Office at no charge. The entire zoning code with a map is available in the Council Office at a cost of \$25.00. Zoning Code is available on line and can be found @ [www.gahanna.gov/departments/development/planning.asp](http://www.gahanna.gov/departments/development/planning.asp) under Code Ordinances.**
- 10. Planning Commission members may visit the property prior to the hearing to review the application.**

# FINAL DEVELOPMENT PLAN

TAYLOR POINTE  
799 CROSS POINT RD, GAHANNA, OH 43230  
PREPARED FOR:  
KENNEY COMPANIES

470 OLDE WORTHINGTON RD, WESTERVILLE, OH 43082

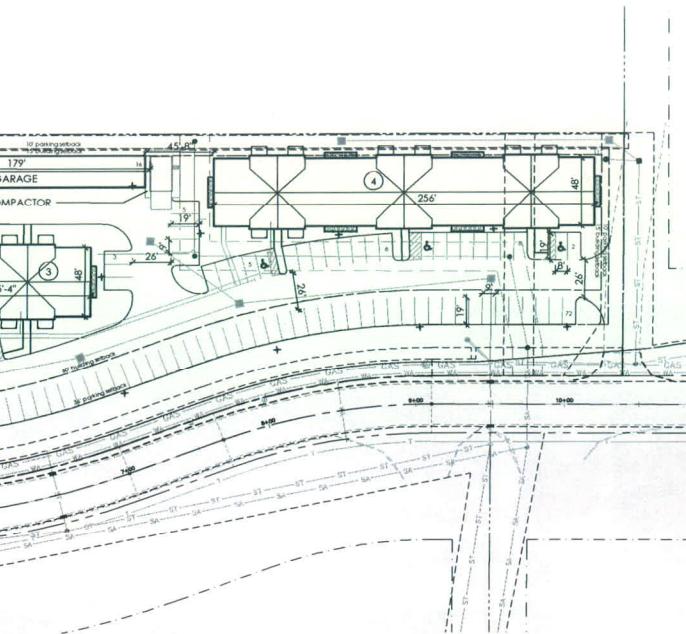
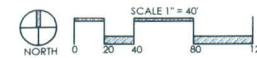
REVISIONS	

TAYLOR POINTE  
799 CROSS POINT RD, GAHANNA, OH 43230

**Faris Planning & Design**  
LANDSCAPE ARCHITECTURE  
Columbus, OH 43215  
www.farisplanninganddesign.com

DATE	6/12/13
PROJECT	13027
SHEET	

**DP-1**



## SITE DATA

ZONING	OCT (OFFICE, COMMERCE & TECHNOLOGY)
TOTAL ACRES	+/-.4.141 AC. (180,382 SF)
TOTAL SUITES	96
TOTAL BUILDING AREA	37,074.7 SF
PROPOSED BUILDING HEIGHT	35' MAX (PRIMARY STRUCTURES)
PARKING PROVIDED	183 (1.9 SP/SUITE)
SURFACE	167
GARAGE	16
SETBACKS REQUIRED	SEE PLAN

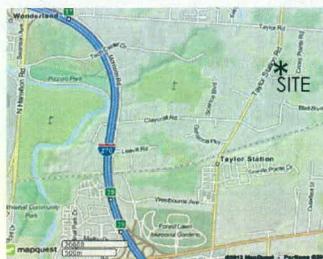
## DEVELOPMENT CALCULATIONS

PARKING	
SQUARE FOOTAGE OF BLDGS.	37,074.7 SF
SPACES PER SQUARE FOOT	.005 SP/FT
REQUIRED SPACES (1 SPACE PER RENTAL UNIT, PLUS 1 SPACE PER EMPLOYEE ON LARGEST SHIFT, PLUS 1 SPACE PER 150 SQUARE FEET OF MEETING, CONFERENCE, RESTAURANT AND LOUNGE AREA)	107
PROPOSED SPACES	183
LOT COVERAGE	56%
SITE	180,382 SF
BUILDING	37,074.7 SF
PAVEMENT	66,435.2 SF

## LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
INTERIOR PARKING LOT STANDARDS		
INTERIOR GREEN SPACE - (TOTAL PAVEMENT AREA = 66,435.2 SF)		
INTERIOR LANDSCAPE AREA	3,321.8 SF (5%)	4,516.25 SF (7%)
TREES - 1 PER 100 SF OF REQUIRED LANDSCAPE AREA (MIN. 2" CALIPER)		
	33 TREES	33 TREES
SCREENING		
PARKING LOT SCREENING - ANY PARKING LOT ADJACENT TO PUBLIC ROW SHALL BE SCREENED WITH EVERGREEN HEDGE, MASONRY WALL, MOUND OR COMBINATION THEREOF TO A HEIGHT OF 3'	3' HGT SCREEN	PROVIDED
STREET TREES		
SHALL BE INSTALLED ALONG PUBLIC ROAD FRONTAGES (MIN. 1 1/2 CALIPER INCH TREE)	LARGE TREES -45" O.C. MEDIUM -35" O.C., SMALL - 25" O.C.	EXISTING
PERIMETER SCREENING		
RESIDENTIAL ZONE ADJOINING ANY COMMERCIAL ZONE-ONE TREE PER 40' AND A CONTINUOUS 6' HIGH PLANTING, HEDGE, FENCE, WALL, OR EARTH MOUND	SEE LEFT	ONE TREE PER 40' AND CONTINUOUS HEDGE

## VICINITY MAP



## PROJECT TEAM

**OWNER:**  
SEE APPLICANT

**APPLICANT:**  
KENNEY COMPANIES  
DON KENNEY JR.  
470 OLDE WORTHINGTON ROAD, SUITE 100  
WESTERVILLE, OH 43082  
614-540-2400

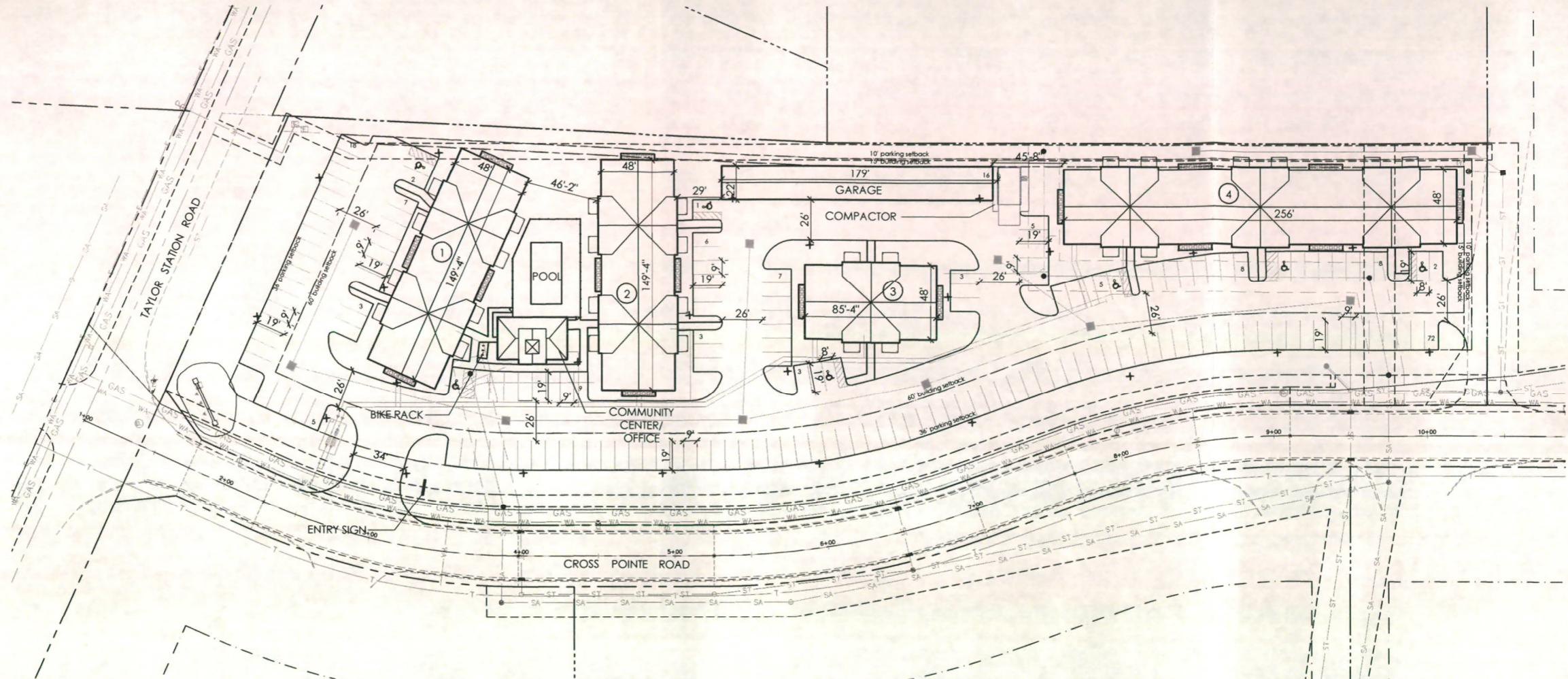
**LAND PLANNER/LANDSCAPE ARCHITECT:**  
FARIS PLANNING & DESIGN LLC  
TO: PLANNING  
245 N. 5TH STREET, SUITE 401  
COLUMBUS, OH 43215  
614-487-1964

**CIVIL ENGINEER/SURVEYOR:**  
ADVANCED CIVIL DESIGN  
TO: J. WARNER  
422 BUCKEYE ROAD  
GAHANNA, OH 43230  
614-428-7750

REVISIONS


FINAL DEVELOPMENT PLAN

TAYLOR POINTE  
799 CROSS POINTE RD GAHANNA OH 43230  
PREPARED FOR  
KENNEY COMPANIES  
470 OLDE WORTHINGTON RD, WESTERVILLE OH, 43082



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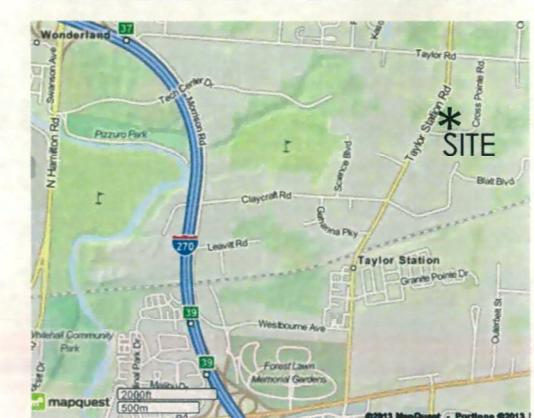
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	33 TREES	33 TREES
SCREENING		
PARKING LOT SCREENING - ANY PARKING LOT ADJACENT TO PUBLIC ROW SHALL BE SCREENED WITH EVERGREEN HEDGE, MASONRY WALL, MOUND OR COMBINATION THEREOF TO A HEIGHT OF 3'	3' HGT SCREEN	PROVIDED
STREET TREES		
SHALL BE INSTALLED ALONG PUBLIC ROAD FRONTAGES (MIN. 1 1/2 CALIPER INCH TREE)	LARGE TREES -45' O.C., MEDIUM -35' O.C., SMALL - 25' O.C.	EXISTING
PERIMETER SCREENING		
RESIDENTIAL ZONE ADJOINING ANY COMMERCIAL ZONE-ONE TREE PER 40' AND A CONTINUOUS 6' HIGH PLANTING, HEDGE, FENCE, WALL, OR EARTH MOUND	SEE LEFT	ONE TREE PER 40' AND CONTINUOUS HEDGE

VICINITY MAP



PROJECT TEAM

OWNER:	SEE APPLICANT
APPLICANT:	KENNEY COMPANIES DON KENNEY JR. 470 OLDE WORTHINGTON ROAD, SUITE 100 WESTERVILLE, OH 43062 614-540-2400
LAND PLANNER/LANDSCAPE ARCHITECT:	FARIS PLANNING & DESIGN LLC TODD FARIS 243 N. 5TH STREET, SUITE 401 COLUMBUS, OH 43215 614-487-1964
CIVIL ENGINEER/SURVEYOR:	ADVANCED CIVIL DESIGN TOM WARNER 422 BEECHER ROAD GAHANNA, OH 43230 614-428-7750
LAND PLANNING	243 N. 5th Street P (614) 487-1964
LANDSCAPE ARCHITECTURE	Suite 401 www.farispdn.com
DATE	6/12/13
PROJECT	13027
SHEET	
DP-1	

**Existing Property Owners**

790 CROSS POINTE LLC  
790 CROSS POINTE RD  
COLUMBUS, OH 43230

MARIO ALVAREZ JR  
852 TAYLOR STATION RD  
COLUMBUS, OH 43230

DEEMSYS INC  
800 CROSS POINTE RD  
COLUMBUS, OH 43230

MICHAEL HALTER  
750 CROSS POINTE RD  
COLUMBUS, OH 43230

JCS PROPERTY MANAGEMENT LLC  
735 CROSS POINTE RD  
COLUMBUS, OH 43230

JCS PROPERTY MANAGEMENT LLC  
675 CROSS POINTE RD  
COLUMBUS, OH 43230

NEXT LEVEL FITNESS & TRAINING LLC  
720 CROSS POINTE RD  
COLUMBUS, OH 43230

KANWAL N SINGH LYNN W SINGH  
875 TAYLOR STATION RD  
COLUMBUS, OH 43230

MARK L SWEATLAND JUDITH P  
SWEATLAND  
842 TAYLOR STATION RD  
COLUMBUS, OH 43230

TAYLOR STATION PARTNERS LTD  
841 -841 TAYLOR STATION RD  
COLUMBUS, OH 43230

UNITED STATES OF AMERICA  
765 TAYLOR STATION RD  
COLUMBUS, OH 43230

UNITED STATES OF AMERICA  
745 TAYLOR STATION RD  
COLUMBUS, OH 43230

WAREHOUSE SPECIALISTS LLC  
650 TAYLOR STATION RD  
COLUMBUS, OH 43230

**Lot 2 of Crossroads Commerce Center ~ 4.141 Acres: 799 Cross Pointe Road**

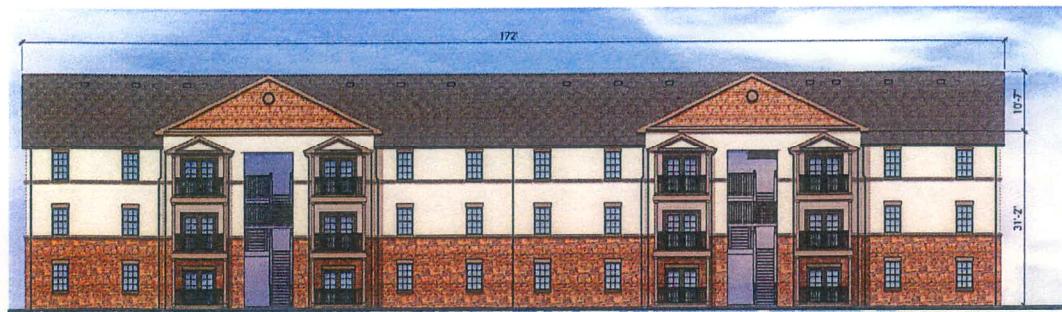
Situated in the State of Ohio, County of Franklin, City of Gahanna, located in Quarter Township 3, Township 1, Range 16, United States Military District.

Being all of Lot Number 2 of Crossroads Commerce Center of record in Plat Book 94, Page 91, Recorder's Office, Franklin County, Ohio.

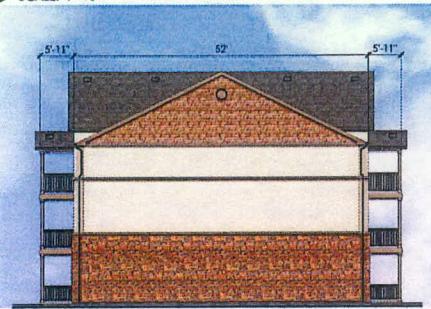
**Advanced Civil Design, Inc.**

Z:\13-0009-414\survey\Lot 2 Legal

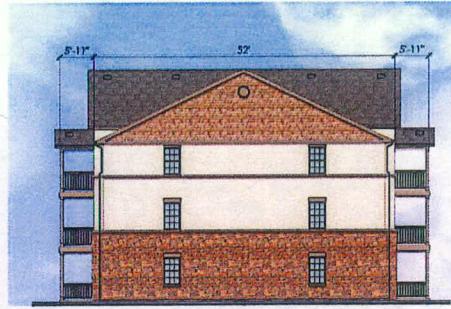




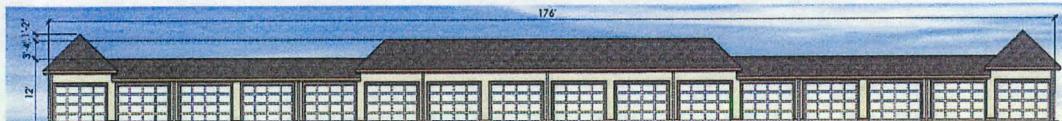
① 3 STORY-24 UNIT BUILDING (TYPICAL ELEVATION WITH PATIOS & DECKS)  
SCALE: 1'=10'



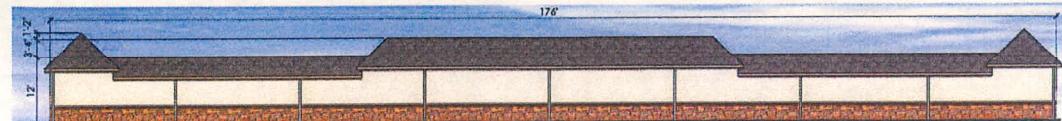
② 3 STORY-24 UNIT BUILDING (TYPICAL SIDE ELEVATION)  
SCALE: 1'=10'



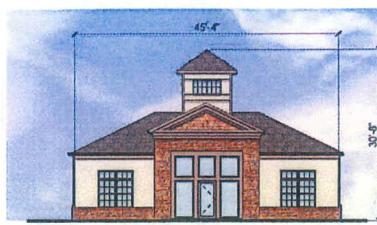
③ 3 STORY-24 UNIT BUILDING  
(SOUTH FACING SIDE ELEVATION FOR BUILDING #1 & #2)  
SCALE: 1'=10'



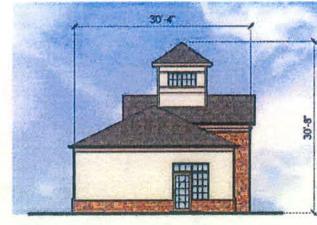
④ GARAGE ELEVATION (FRONT)  
SCALE: 1'=10'



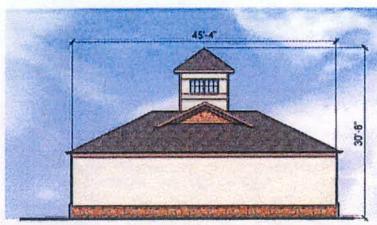
⑤ GARAGE ELEVATION (REAR)  
SCALE: 1'=10'



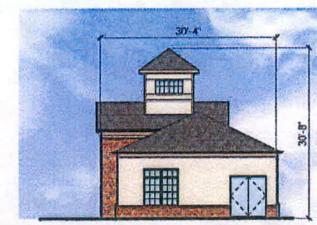
⑥ CLUBHOUSE (FRONT)  
SCALE: 1'=10'



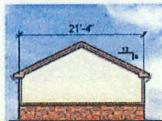
⑨ CLUBHOUSE (WEST)  
SCALE: 1'=10'



⑦ CLUBHOUSE (REAR)  
SCALE: 1'=10'



⑩ CLUBHOUSE (EAST)  
SCALE: 1'=10'



⑧ GARAGE ELEVATION (SIDE)  
SCALE: 1'=10'

#### ARCHITECTURAL MATERIALS KEY

	SHAKE SIDING
	STONE VENEER
	ASPHALT SHINGLE
	STUCCO SIDING
	EFIS TRIM

REVISIONS

#### ILLUSTRATIVE ELEVATIONS

TAYLOR POINTE  
79 CROSS POINT RD, GAHANNA OH 43230  
REEDERSON INC  
KENNEY COMPANIES  
470 OLD WORTHINGTON RD, WESTERVILLE OH 43082

Paris Planning & Design  
LAND PLANNING +  
LANDSCAPE ARCHITECTURE  
243 N. Lathrop Street  
Columbus, OH 43215  
P (614) 469-1104  
Sales: 401  
www.parisplanningdesign.com

DATE 7/24/13

PROJECT 13027

SHEET

AR-1

REVISIONS	

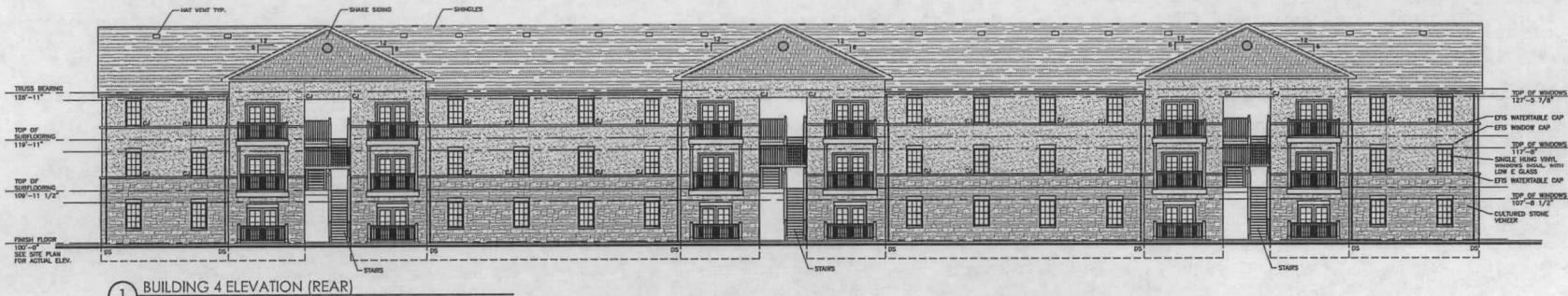
BUILDING 4  
ELEVATION

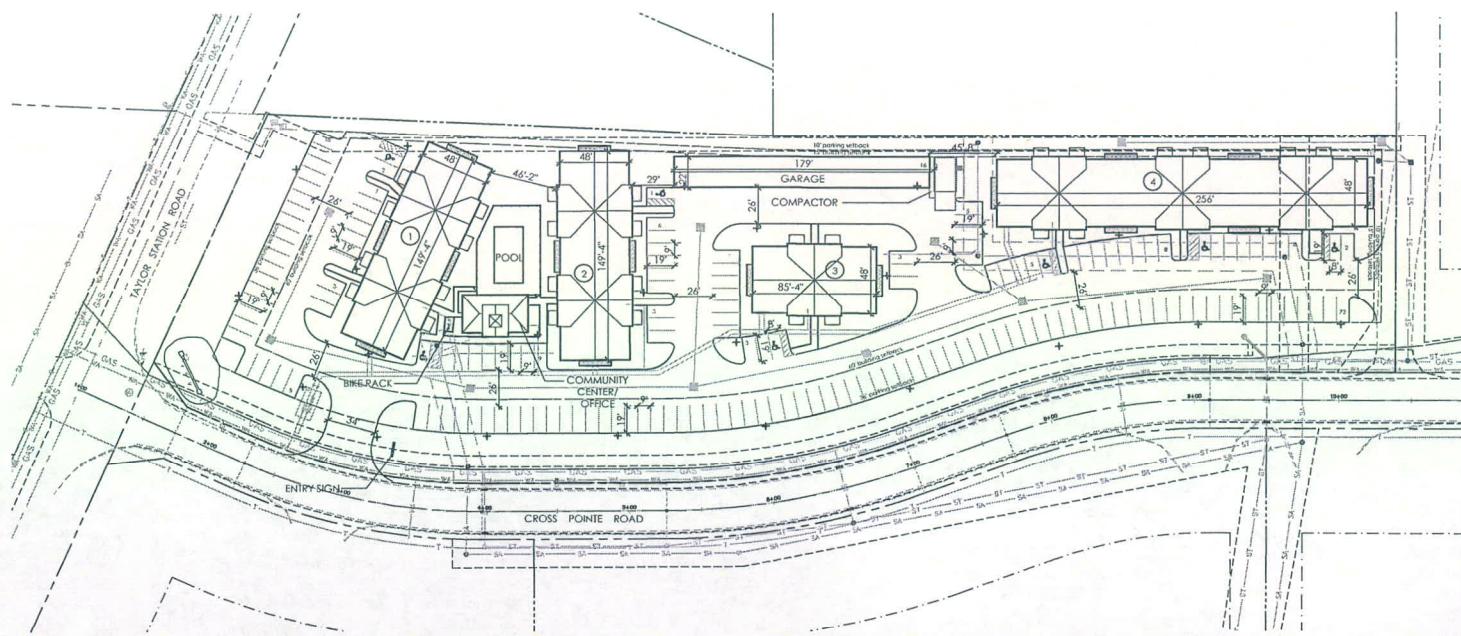
TAYLOR POINTE  
795 CROSS PRIVATE RD, GAHANAH, OH 43020  
KENNEY COMPANIES  
470 OLD WICKINGTON RD., WETERVILLE, OH 43082

Paris Planning & Design  
LAND PLANNING • LANDSCAPE ARCHITECTURE  
Kelli 401 Columbia, OH 43015  
www.parisplanningdesign.com  
P (614) 807-1944

DATE	7/24/13
PROJECT	13027
SHEET	

AR-2





#### SITE DATA

ZONING	OCT (OFFICE, COMMERCE & TECHNOLOGY)
TOTAL ACRES	+/-4.141 AC. (180,382 SF)
TOTAL SUITES	96
TOTAL BUILDING AREA	37,074.7 SF
PROPOSED BUILDING HEIGHT	35' MAX (PRIMARY STRUCTURES)
PARKING PROVIDED	183 (1.9 SP/SUITE)
SURFACE	167
GARAGE	16
SETBACKS REQUIRED	SEE PLAN

#### DEVELOPMENT CALCULATIONS

PARKING	
SQUARE FOOTAGE OF BLDGS.	37,074.7 SF
SPACES PER SQUARE FOOT	.005 SP/FT
REQUIRED SPACES (1 SPACE PER RENTAL UNIT, PLUS 1 SPACE PER EMPLOYEE ON LARGEST SHIFT, PLUS 1 SPACE PER 150 SQUARE FEET OF MEETING, CONFERENCE, RESTAURANT AND LOUNGE AREA)	107
PROPOSED SPACES	183
LOT COVERAGE	56%
SITE	180,382 SF
BUILDING	37,074.7 SF
PAVEMENT	66,435.2 SF

#### LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
INTERIOR PARKING LOT STANDARDS		
INTERIOR GREEN SPACE - (TOTAL PAVEMENT AREA = 66,435.2 SF)		
INTERIOR LANDSCAPE AREA	3,321.8 SF (5%)	4,516.25 SF (7%)
TREES - 1 PER 100 SF. OF REQUIRED LANDSCAPE AREA (MIN. 2" CALIPER)	33 TREES	33 TREES
SCREENING		
INTERIOR PARKING LOT SCREENING - ANY PARKING LOT ADJACENT TO PUBLIC ROW SHALL BE SCREENED WITH EVERGREEN HEDGE, MASONRY WALL, MOUND OR COMBINATION THEREOF TO A HEIGHT OF 3'	3' HOTSCREEN	PROVIDED
STREET TREES		
SHALL BE INSTALLED ALONG PUBLIC ROAD FRONTAGES (MIN. 1 1/2 CALIPER INCH TREE)	LARGE TREES -45" O.C., MEDIUM -35" O.C., SMALL -25" O.C.	EXISTING
PERIMETER SCREENING		
RESIDENTIAL ZONE ADJOINING ANY COMMERCIAL ZONE-ONE TREE PER 40' AND A CONTINUOUS 6' HIGH PLANTING, HEDGE, FENCE, WALL, OR EARTH MOUND	SEE LEFT	ONE TREE PER 40' AND CONTINUOUS HEDGE

#### VICINITY MAP



#### PROJECT TEAM

OWNER:  
SEE APPLICANT

APPLICANT:  
KENNEY COMPANIES  
DON KENNEY JR.  
470 OLDE WORTHINGTON ROAD, SUITE 100  
WESTERVILLE, OH 43062  
614-540-2400

LAND PLANNER/LANDSCAPE ARCHITECT:  
FARIS PLANNING & DESIGN LLC  
TODD FARIS  
243 N. 5TH STREET, SUITE 401  
COLUMBUS, OH 43215  
614-487-1964

CIVIL ENGINEER/SURVEYOR:  
ADVANCED CIVIL DESIGN  
TOM WARNER  
422 BEECHER ROAD  
GAHANNA, OH 43230  
614-428-7750

#### Paris Planning & Design

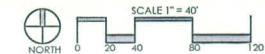
LAND PLANNING  
243 N. 5th Street  
614-487-1964  
www.taylorpointe.com

DATE 7/24/13

PROJECT 13027

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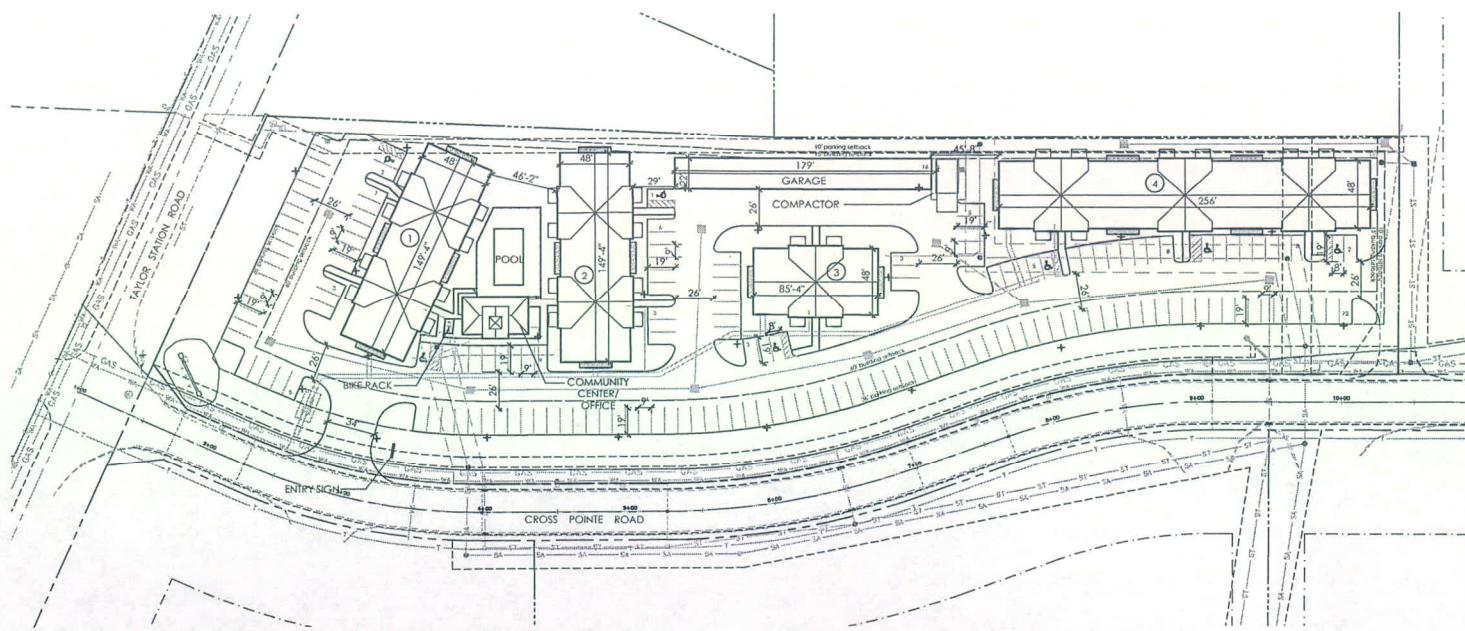
COA-1



REVISIONS

CERTIFICATE OF APPROPRIATENESS

TAYLOR POINTE  
799 CROSS PIONEER RD, GAHANNA, OH 43239  
PREPARED FOR  
KENNEY COMPANIES  
470 OLDE WORTHINGTON RD, WESTERVILLE, OH 43062



### SITE DATA

ZONING	OCT (OFFICE, COMMERCE & TECHNOLOGY)
TOTAL ACRES	4+/-1,141 AC. (180,382 SF)
TOTAL SUITES	96
TOTAL BUILDING AREA	37,074.7 SF
PROPOSED BUILDING HEIGHT	35' MAX (PRIMARY STRUCTURES)
PARKING PROVIDED	183 (1.9 SP/SUITE)
SURFACE	167
GARAGE	16
SETBACKS REQUIRED	SEE PLAN

## DEVELOPMENT CALCULATIONS

PARKING	
SQUARE FOOTAGE OF BLDGS.	37,074.7 SF
SPACERS PER SQUARE FOOT	.005 SP/FT
	107
REQUIRED SPACES (1 SPACE PER RENTAL UNIT PLUS 1 SPACE PER EMPLOYEE ON LARGEST SHIFT, PLUS 1 SPACE PER 150 SQUARE FEET OF MEETING, CONFERENCE, RESTAURANT AND LOUNGE AREA)	
PROPOSED SPACES	183
LOT COVERAGE	56%
SITE	180,382 SF
BUILDING	37,074.7 SF
PAVEMENT	66,435.2 SF

## LANDSCAPE CALCULATIONS

REQUIRED	PROVIDED
INTERIOR PARKING LOT STANDARDS	
INTERIOR GREEN SPACE - [TOTAL PAVEMENT AREA = 66,435.2 SF]	
INTERIOR LANDSCAPE AREA	3,321.8 SF (5%) 4,516.25 SF (7%)
TREES - 1 PER 100 SF OF REQUIRED LANDSCAPE AREA (MIN. 2" CALIPER)	33 TREES 33 TREES
SCREENING	
PARKING LOT SCREENING - ANY PARKING LOT ADJACENT TO PUBLIC ROAD SHALL BE SCREENED WITH EVERGREEN HEDGE, MASONRY WALL, MOUND OR COMBINATION THEREOF TO A HEIGHT OF 3'	3' HGT SCREEN PROVIDED
STREET TREES	
SHALL BE INSTALLED ALONG PUBLIC ROAD FRONTPAGES (MIN. 1 1/2 CALIPER INCH TREE)	LARGE TREES -45" O.C., MEDIUM-35" O.C., SMALL - 25" O.C.
PERIMETER SCREENING	
RESIDENTIAL ZONE ADJACENT TO ANY COMMERCIAL ZONE-ONE TREE PER 40' AND A CONTINUOUS 3' HIGH PLANTING, HEDGE, FENCE, WALL, OR EARTH MOUND	SEE LEFT ONE TREE PER 40' AND A CONTINUOUS HEDGE

### VICINITY MAP



### PROJECT TEAM

**SEE APPLICANT**

**APPLICANT:**  
KENNEDY COMPANIES  
DON KENNEDY JR.  
470 OLDE WORTHINGTON ROAD, SUITE 100  
WESTERVILLE, OH 43062  
614-540-2400

**LAND PLANNER/LANDSCAPE ARCHITECT:**  
TABS PLANNING & DESIGN LLC  
TODD FARIS  
243 N. 5TH STREET, SUITE 401  
COLUMBUS, OH 43215  
614-479-1764

**CIVIL ENGINEER/SURVEYOR:**  
AQUARIUS CIVIL DESIGN  
TOM WARREN  
422 BECHER ROAD  
GAHANNA, OH 43230  
614-298-7750

REVISIONS

FINAL  
DEVELOPMENT  
PLAN

**TAYLOR POINTE**  
799 CROSS POINTE RD, GAHANNA OH 43239  
PREPARED FOR  
**KENNEY COMPANIES**  
470 OLDE WORTHINGTON RD., WESTERVILLE OH 43081

# Paris Planning & Design

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LAND PLANNING      LANDSCAPE ARCHITECTURE

2425 N. 5th Street      P.O. Box 4827-1964  
Salem, OR 97303      (503) 588-1964

www.parisplanningdesign.com      info@parisplanningdesign.com

ATE	7/24/13
ROJECT	13027
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DP-1

## GENERAL PLANTING NOTES:

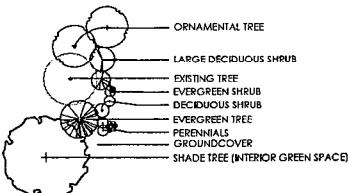
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
- ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
- ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
- SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEDED/ SODDED.
- ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

## CONSTRUCTION NOTES:

- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- MULCH AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- CONCRETE SIDEWALK
- COMPACTOR ENCLOSURE, SEE DETAIL 7, SHEET SD-1 FOR MORE INFORMATION.
- POOL FENCE, SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
- A/C CONDENSOR SCREENING FENCE, SEE DETAIL 6, SHEET SD-1 FOR MORE INFORMATION.
- ENTR. SIGN, SEE SHEET GS-1 FOR MORE INFORMATION.
- LIGHT POLE 18' HGT, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.
- BIKE RACK, SEE DETAIL 5, SHEET SD-1 FOR MORE INFORMATION.
- LIGHT POLE TO BE MOUNTED ON GARAGE, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.

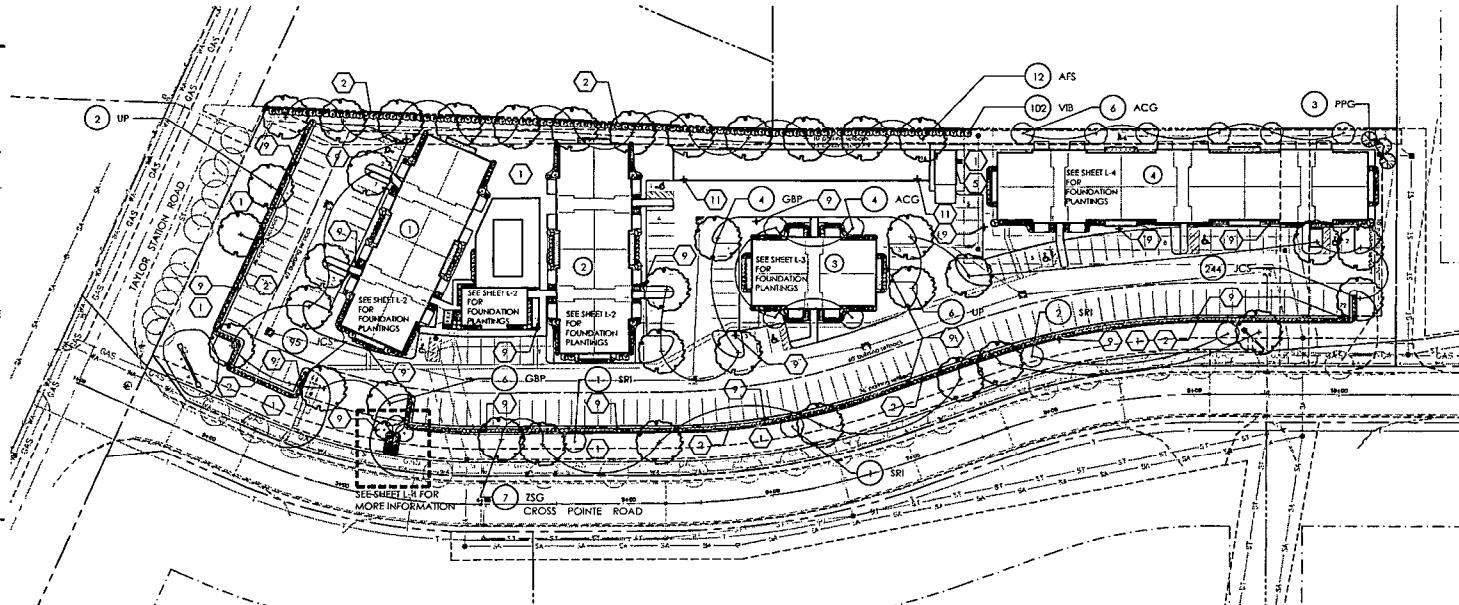
## PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



## LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
<b>INTERIOR PARKING LOT STANDARDS</b>		
INTERIOR GREEN SPACE - (TOTAL PAVEMENT AREA = 66,435.2 SF)		
INTERIOR LANDSCAPE AREA	3,321.8 SF (5%)	4,516.25 SF (7%)
<b>TREES - 1 PER 100 SF OF REQUIRED LANDSCAPE AREA (MIN. 2" CALIPER)</b>		
TREES	33 TREES	37 TREES
<b>SCREENING</b>		
PARKING LOT SCREENING - ANY PARKING LOT FRONTAGE TO PUBLIC ROW SHALL BE SCREENED WITH EVERGREEN HEDGE, MASONRY WALL, MOUND OR COMBINATION THEREOF TO A HEIGHT OF 3'	3' HGT SCREEN	PROVIDED
<b>STREET TREES</b>		
SHALL BE INSTALLED ALONG PUBLIC ROAD FRONTAGES (MIN. 1 1/2" CALIPER INCH TREE)	LARGE TREES -45" O.C. MEDIUM -35" O.C., SMALL -25" O.C.	EXISTING
<b>PERIMETER SCREENING</b>		
RESIDENTIAL ZONE ADJOINING ANY COMMERCIAL ZONE-ONE TREE PER 40' AND A CONTINUOUS 6' HIGH PLANTING, HEDGE, FENCE, WALL, OR EARTH MOUND	SEE LEFT	ONE TREE PER 40' AND CONTINUOUS HEDGE



## PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
12	AFS	ACER X FREEMANII 'SIENNA GLEN'	SIENNA GLEN MAPLE	2" CAL.	B&B	
10	GBP	GINKO BILoba 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2" CAL.	B&B	
8	ULP	ULMUS PARVIFLORA	LACEBARK ELM	2" CAL.	B&B	
7	ZSG	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2" CAL.	B&B	
13	ACG	AMELANCHIER CANADENSIS 'GLENFORM'	GLENFORM SERVICEBERRY	1 1/2" CAL.	B&B	
4	SRI	SYRINGA REICHLATA 'IVORY SILK'	IVORY SILK TREE LILAC	1 1/2" CAL	B&B	
3	PPG	PICEA PUNGENS GLAUCA	COLORADO BLUE SPRUCE	6' HGT.	B&B	
<b>SHRUBS</b>						
17	JCH	JUNIPERUS CHINENSIS 'HOOKS'	HOOKS JUNIPER	5' HGT.	B&B	
53	SBG	SPIRAEA BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	18" SPRD.	B&B	
79	BMW	BUXUS MICROPHYLLA 'WINTERGEM'	WINTERGEM BOXWOOD	18" HGT.	B&B	
16	BTN	BERBERIS THUNBERGII VAR. 'ATRO. NANA'	CRIMSON PYGMY BARBERRY	18" HGT.	B&B	
339	JCS	JUNIPERUS CHINENSIS 'SEAGREEN'	SEAGREEN JUNIPER	24" HGT.	B&B	
44	JVG	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	24" HGT.	B&B	
102	VIB	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	30" HGT.	B&B	
73	TWW	TAXUS X MEDIA 'WARDII'	WARD'S YEW	24" SPRD.	B&B	
10	HME	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	24" HGT.	B&B	
50	IVH	ITEA VIRGINICA 'HENRY'S CARNET'	HENRY'S CARNET SWEETSPIRE	24" HGT.	B&B	
<b>PERENNIALS/ORNAMENTAL GRASSES</b>						
134	HHR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	NO. 1	CONT.	
7	NFW	NEPETA FAASSENII 'WALKERS LOW'	WALKER'S LOW CATMINT	NO. 1	CONT.	
8	PAC	PENNISTIUM ALOPECUROIDES 'CASSIAN'	CASSIAN DWARF FINE GRASS	NO. 1	CONT.	
40	SNM	SAVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT MEADOW SAGE	NO. 1	CONT.	



REVISIONS	
Taylor Pointe	Overall Landscape Plan
709 CROSS POINTE, GAHANNA, OH 43235	KENNEY COMPANIES
PREPARED FOR	470 OLDE WORLINGTON RD., WENDELL, OH 43082
DATE	7/24/13
PROJECT	13027
SHEET	L-1
Paris Planning & Design	
LANDSCAPE ARCHITECTURE	
724 N. 3rd Street • Suite 401 • Columbus, OH 43215	
www.parisplanning.com	

## GENERAL PLANTING NOTES:

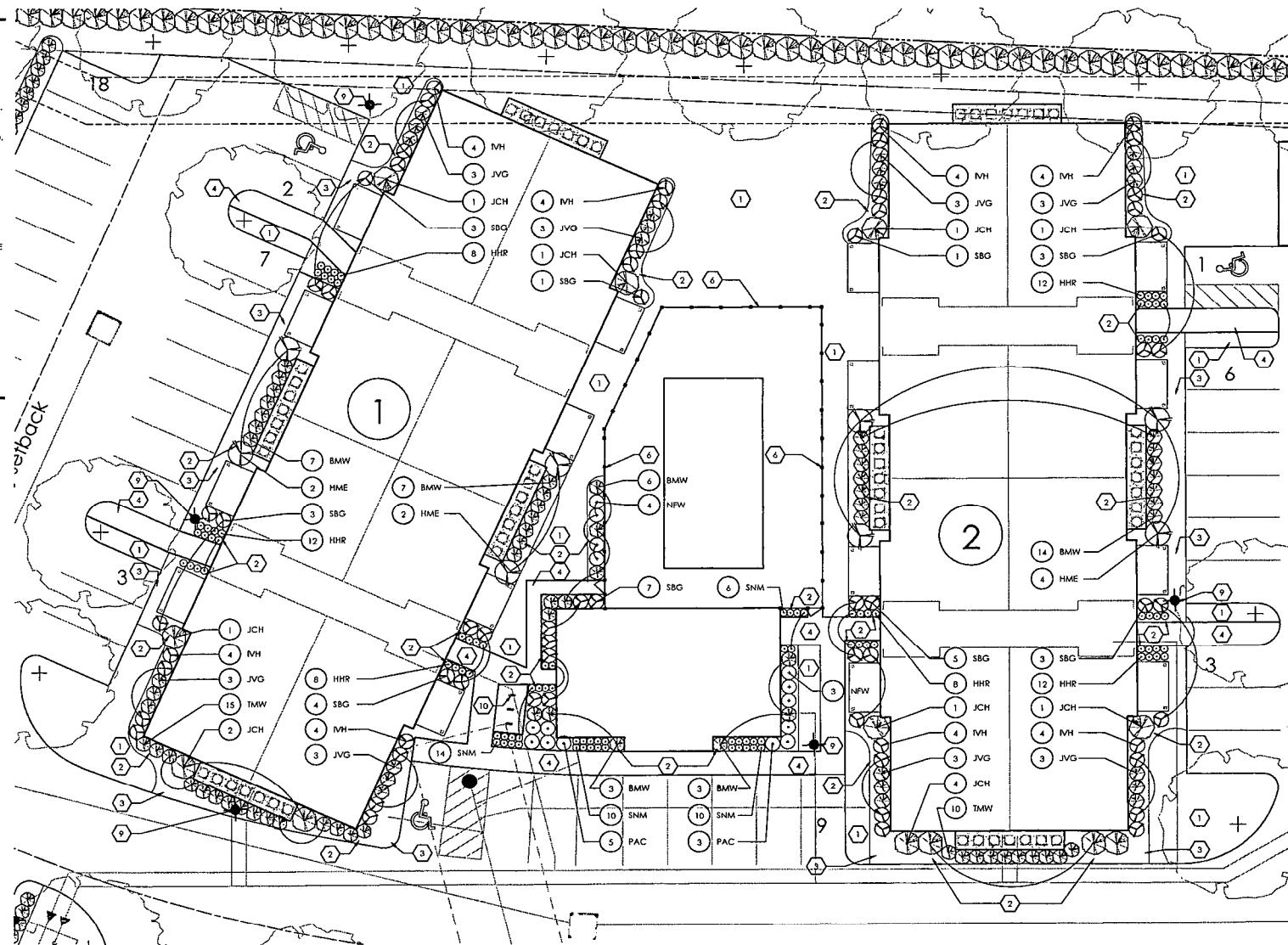
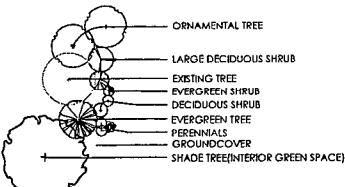
1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
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5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL AND UNDERGROUND UTILITIES.
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## CONSTRUCTION NOTES:

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- ② LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ③ MULCH AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ④ CONCRETE SIDEWALK
- ⑤ COMPACTOR ENCLOSURE, SEE DETAIL 7, SHEET SD-1 FOR MORE INFORMATION.
- ⑥ POOL FENCE, SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
- ⑦ A/C CONDENSOR SCREENING FENCE, SEE DETAIL 6, SHEET SD-1 FOR MORE INFORMATION.
- ⑧ ENTRY SIGN, SEE SHEET GS-1 FOR MORE INFORMATION.
- ⑨ LIGHT POLE 18' HGT, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.
- ⑩ BIKE PARK, SEE DETAIL 5, SHEET SD-1 FOR MORE INFORMATION.
- ⑪ LIGHT POLE TO BE MOUNTED ON GARAGE, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.

## PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



REVISIONS	
	CABANA/POOL ENLARGEMENT PLANTING PLANS
TAYLOR POINTE	799 CROSS POINT RD, GAHANNA, OH 43230 PREPARED FOR KENNEY COMPANIES 470 OLE NORTHWOOD RD, WESTERVILLE, OH 43082
Paris Planning & Design	LANDSCAPE ARCHITECTURE Columbus, OH 43228 www.parisplanningdesign.com Sale 401 D (614) 487-1934
DATE	7/24/13
PROJECT	13027
SHEET	L-2

## GENERAL PLANTING NOTES:

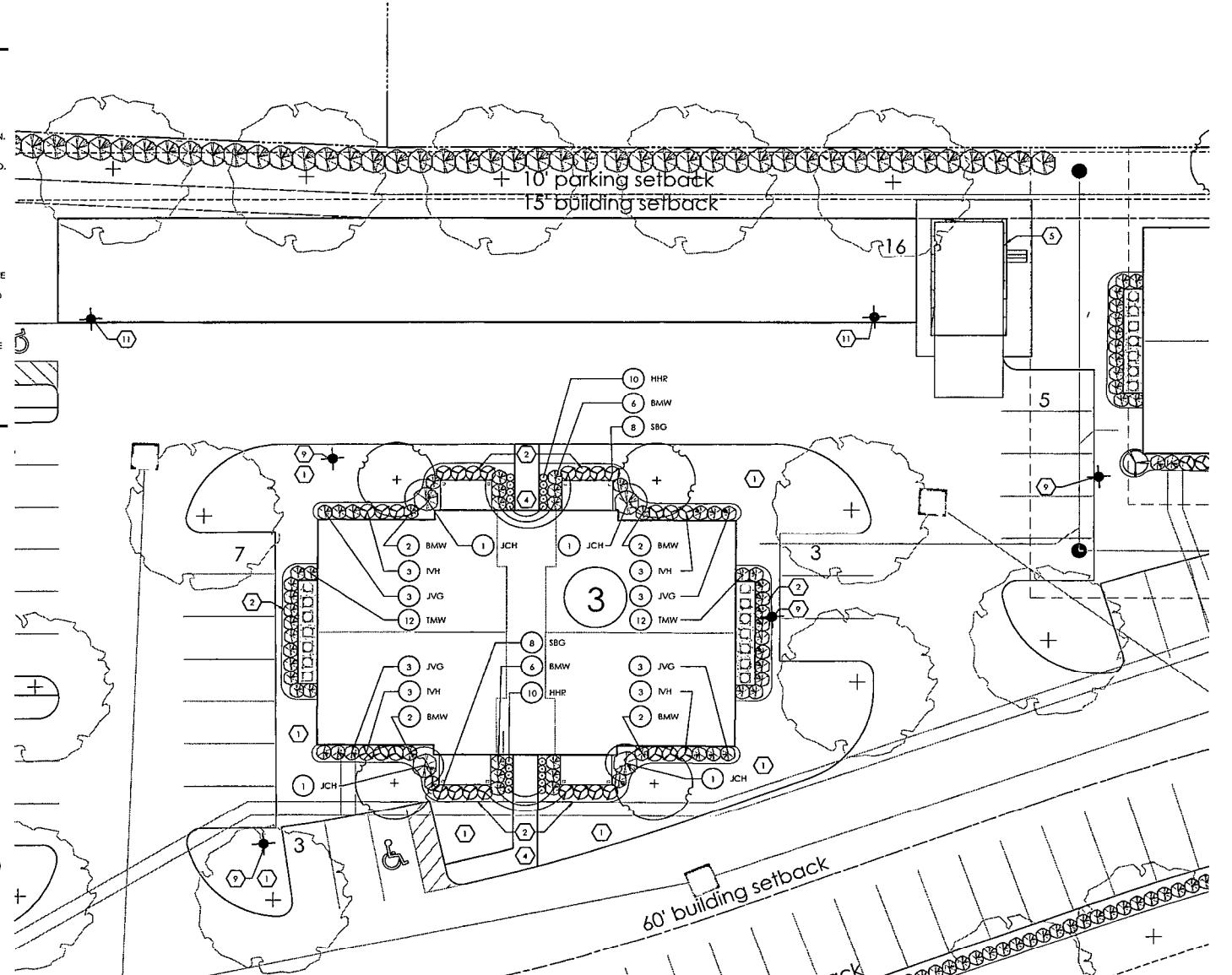
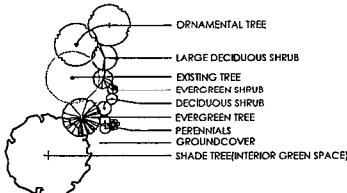
1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE FILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SODDED/SEDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

## CONSTRUCTION NOTES:

- ① LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ② LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ③ MULCH AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ④ CONCRETE SIDEWALK
- ⑤ COMPACTOR ENCLOSURE, SEE DETAIL 7, SHEET SD-1 FOR MORE INFORMATION.
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- ⑦ A/C CONDENSER SCREENING FENCE, SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
- ⑧ ENTRY SIGN, SEE SHEET GS-1 FOR MORE INFORMATION.
- ⑨ LIGHT POLE 18' HGT, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.
- ⑩ BIKE PACK, SEE DETAIL 5, SHEET SD-1 FOR MORE INFORMATION.
- ⑪ LIGHT POLE TO BE MOUNTED ON GARAGE, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.

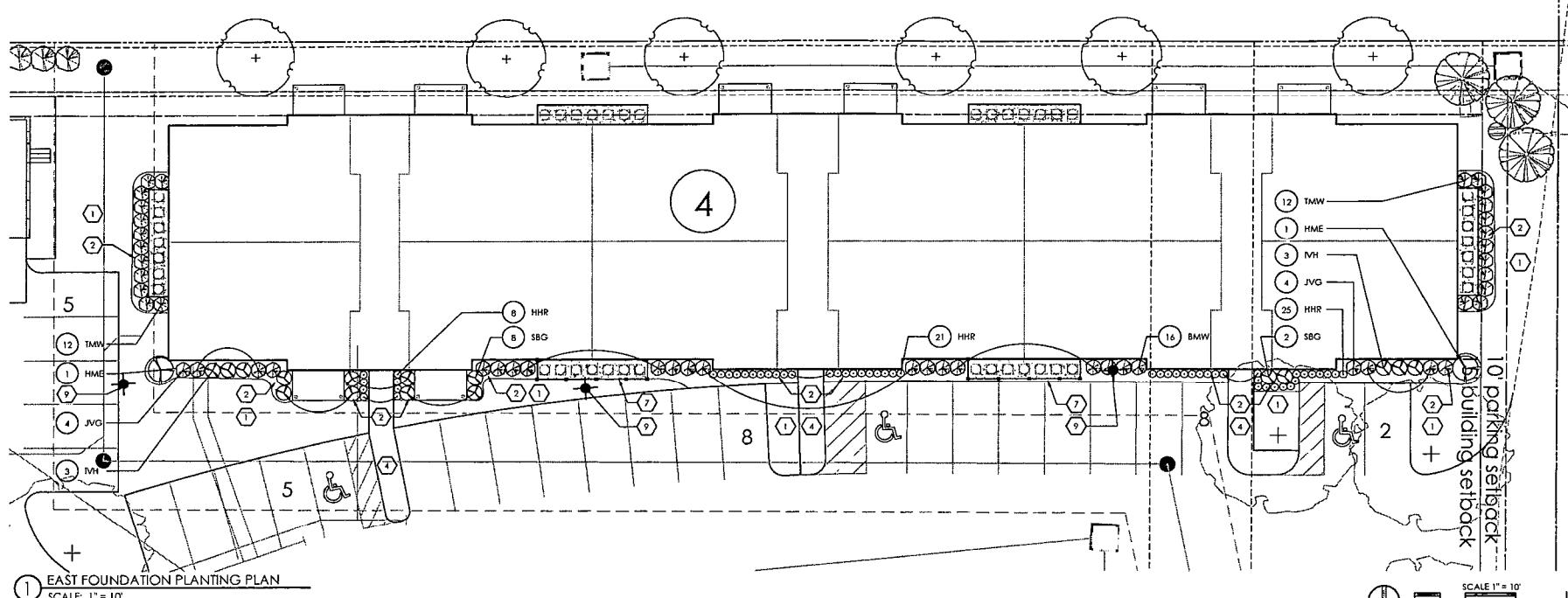
## PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



NORTH 0 5 10 20 30  
SCALE 1" = 10'

REVISIONS	
CENTRAL FOUNDATION PLANTING PLANS	
TAYLOR POINTE 799 CROSS POINT RD, GAHANNA, OH 43239 REPORTED FOR KENNEY COMPANIES 470 OLDE WORTHINGTON RD., WESTERVILLE, OH 43082	
Paris Planning & Design LAND PLANNING 208 N. 3rd Street Columbus, OH 43215 Sales: 614.457.7984 www.parisplanninganddesign.com	
DATE	7/24/13
PROJECT	13027
SHEET	
L-3	



SCALE: 1" = 10'

## GENERAL PLA

### GENERAL PLANTING NOTES:

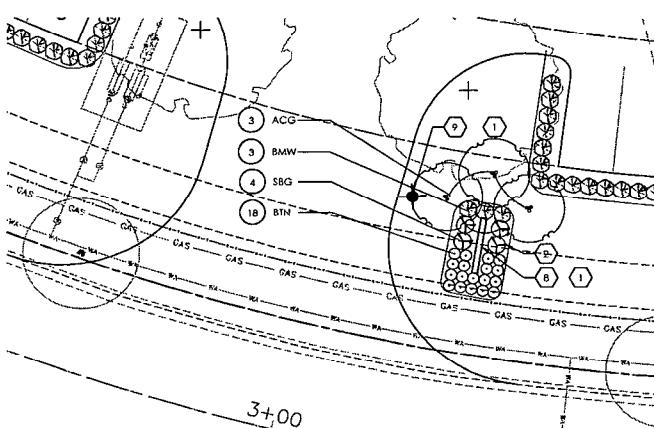
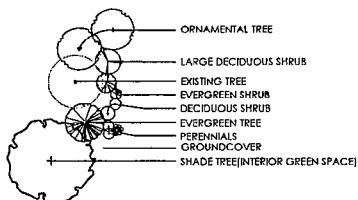
1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND PREPARE A DOCUMENTATION OF THE SAME AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINISHED, GRADED AND SEDED/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

#### CONSTRUCTION NOTES:

- ① LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ② LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ③ MULCH AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ④ CONCRETE SIDEWALK
- ⑤ COMPACTOR ENCLOSURE, SEE DETAIL 7, SHEET SD-1 FOR MORE INFORMATION.
- ⑥ POOL FENCE, SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
- ⑦ A/C CONDENSER SCREENING FENCE, SEE DETAIL 6, SHEET SD-1 FOR MORE INFORMATION.
- ⑧ ENTRY SIGN, SEE SHEET GS-1 FOR MORE INFORMATION.
- ⑨ LIGHT POLE 18' HGT, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.
- ⑩ BIKE RACK, SEE DETAIL 5, SHEET SD-1 FOR MORE INFORMATION.
- ⑪ LIGHT POLE TO BE MOUNTED ON GARAGE, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.

## PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



② PRIMARY ENTRY PLANTING PLA

SCALE: 1" = 10'

REVISIONS	

## EAST FOUNDATION PLANTING PLANS

TAYLOR POINTE  
7999 CROSS POINTE RD. GAHANNA OH 43230

KENNEY COMPANIES  
100 E. WORTHINGTON RD., WESTERVILLE OH. 43082  
PREPARED FOR

Paris Planning & Design

LANDSCAPE ARCHITECTURE  
AND PLANNING  
431 N. 5th Street  
(614) 487-1964  
Suite 401  
Columbus, OH 43215  
[www.jdpplanninganddesign.com](http://jdpplanninganddesign.com)

DATE 7/24/13

PROJECT 13027

**SHEET**

L-4



1-7

The logo for Paris Planning & Design. It features the company name in a large, bold, serif font. A thin horizontal line extends from the top of the 'P' to the bottom of the 'g'. Below this line, the words 'LAND PLANNING' and 'LANDSCAPE ARCHITECTURE' are stacked vertically in a smaller, all-caps serif font. To the left of the text, there is a stylized graphic element consisting of a vertical line with a horizontal bar extending from its middle, and a smaller vertical line to its right.

**KENNEY COMPANIES**  
PREPARED FOR

## ILLUSTRATIVE PLAN

TAYLOR POINTE

**SITE DATA**

ZONING	OCT (OFFICE & COMMERCIAL TECHNOLOGY)
TOTAL ACRES	+4.141 AC (180,322 SF)
TOTAL SUITES	96
TOTAL BUILDING AREA	37,074.75 SF
PROPOSED BUILDING HEIGHT	35 MAX (PRIMARY STRUCTURES)
PARKING PROVIDED	183 (19 SP/SUITE)
SURFACE	167
GARAGE	16

SCALES 1" = 30'      NORTH

ZONING	OCT (OFFICE, COMMERCIAL & TECHNOLOGY)	TOTAL ACRES	+/-4.141 AC. (180,382 SF)
TOTAL BUILDING AREA	96	TOTAL SITES	37,074.7SF
TOTAL BUILDING HEIGHT	35 MAX PRIMARY STRUCTURES	PROPOSED BUILDING HEIGHT	35 MAX PRIMARY STRUCTURES
PARKING PROVIDED	183 (1,945/SUITE)	SURFACE	167
GARAGE	16		

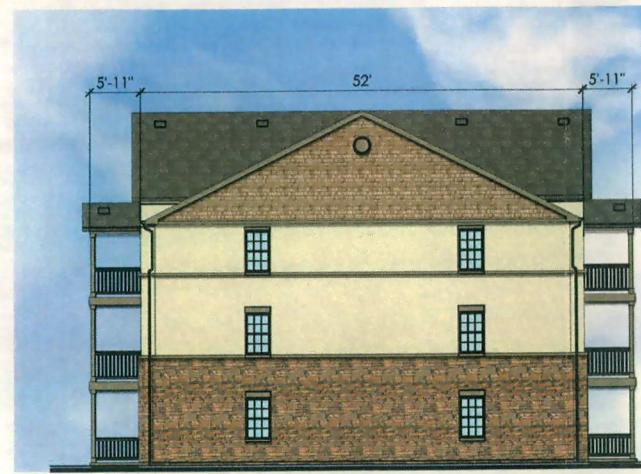
## SITE DATA



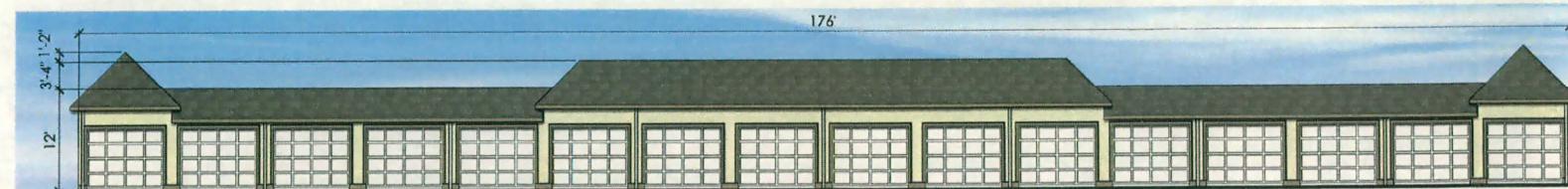
1 3 STORY-24 UNIT BUILDING (TYPICAL ELEVATION WITH PATIOS & DECKS)  
SCALE: 1"=10'



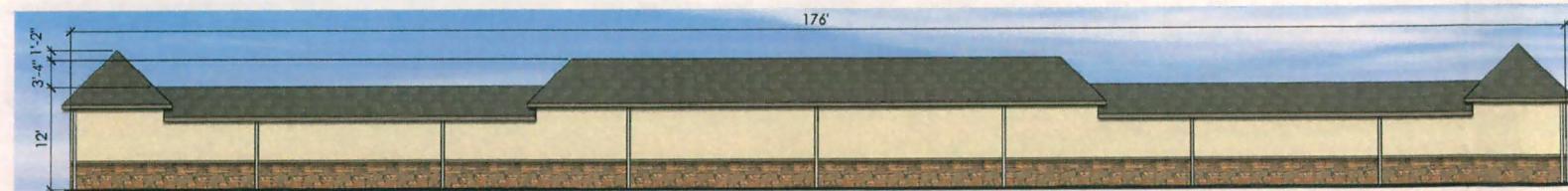
2 3 STORY-24 UNIT BUILDING (TYPICAL SIDE ELEVATION)  
SCALE: 1"=10'



3 3 STORY-24 UNIT BUILDING  
(SOUTH FACING SIDE ELEVATION FOR BUILDING #1 & #2)  
SCALE: 1"=10'



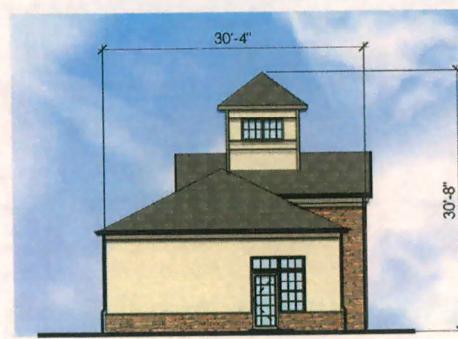
4 GARAGE ELEVATION (FRONT)  
SCALE: 1"=10'



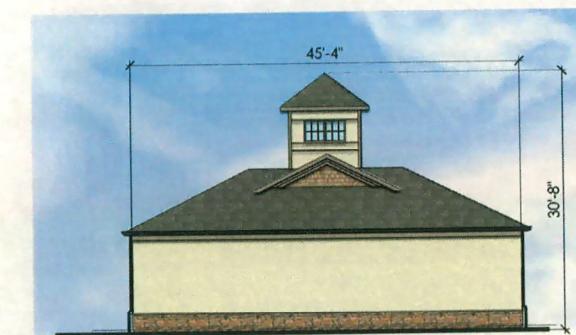
5 GARAGE ELEVATION (REAR)  
SCALE: 1"=10'



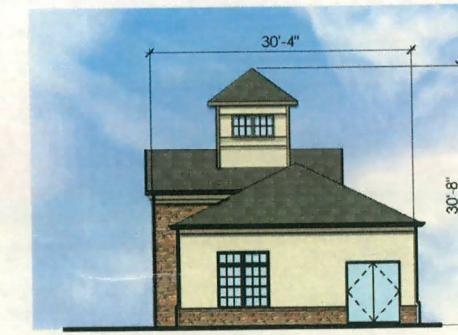
6 CLUBHOUSE (FRONT)  
SCALE: 1"=10'



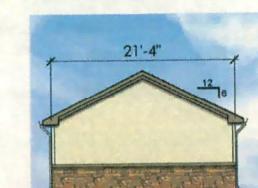
9 CLUBHOUSE (WEST)  
SCALE: 1"=10'



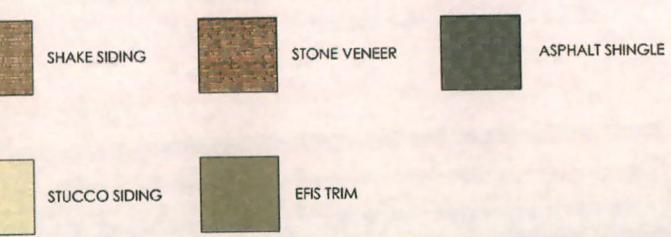
7 CLUBHOUSE (REAR)  
SCALE: 1"=10'



10 CLUBHOUSE (EAST)  
SCALE: 1"=10'



8 GARAGE ELEVATION (SIDE)  
SCALE: 1"=10'



REVISIONS	

## ILLUSTRATIVE ELEVATIONS

### TAYLOR POINTE

799 CROSS POINTE RD. GAHANNA OH 43230  
KENNEY COMPANIES  
470 OLDE WORTHINGTON RD., WESTERVILLE OH. 43082

### Paris Planning & Design

LAND PLANNING Suite 401  
243 N. 5th Street Columbus, OH 43215  
(614) 487-1964 www.parisplanninganddesign.com

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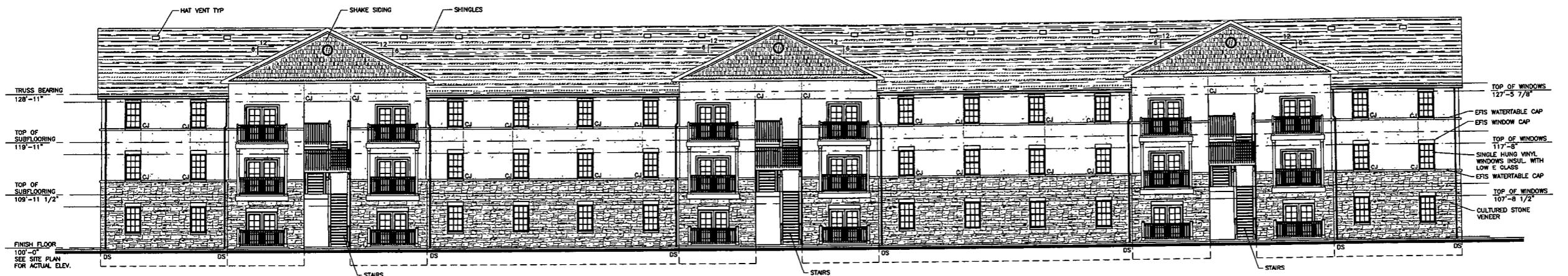
AR-1

## BUILDING 4 ELEVATION

**TAYLOR POINTE**  
799 CROSS POINTE RD. GAHANNA OH 43230

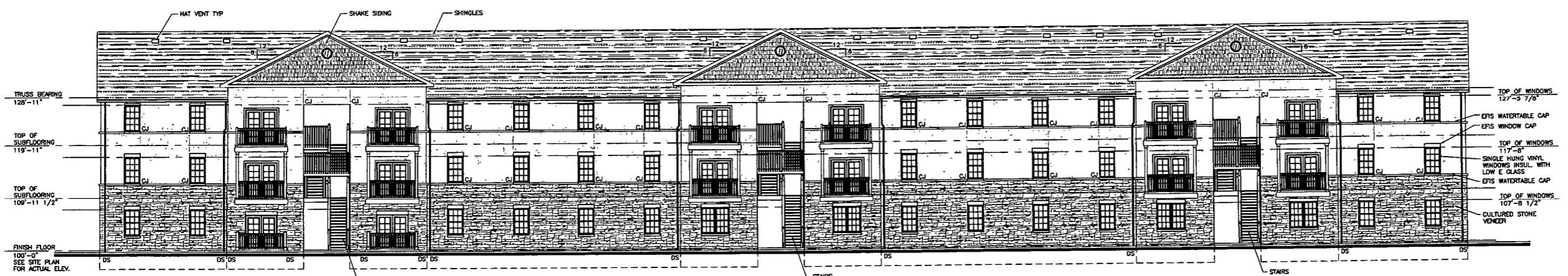
**KENNEY COMPANIES**  
4770 OLDE WORTHINGTON RD., WESTERVILLE OH. 43082

TAYLOR POINTE		BUILDING 4 ELEVATION	
799 CROSS POINTE RD. GAHANNA OH 43230		KENNEY COMPANIES	
		4701 OLDE WORTHINGTON RD., WESTERVILLE OH. 43082	
		PREPARED FOR	
		PARIS PLANNING & DESIGN	
		LANDSCAPE ARCHITECTURE	
		DATE	7/24/13
		PROJECT	13027
		SHEET	



**1 BUILDING 4 ELEVATION (REAR)**

SCALE: 1"=10'



## ② BUILDING 4 ELEVATION (FRONT)

2 BUILDING  
SCALE: 1"=10'

Wells Landscape & Design LANDSCAPE ARCHITECTURE Columbus, OH 43215  
LAND PLANNING Suite 401 243 N. 5th Street

443 N. 5th Street  
Columbus, OH 43215  
(614) 437-1964  
[www.fatsplanninganddesign.com](http://www.fatsplanninganddesign.com)

DATE	7/24/13
PROJECT	13027
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AR-2



#### SITE DATA

ZONING	OCT (OFFICE, COMMERCE & TECHNOLOGY)
TOTAL ACRES	+/-.4141 AC. (180,382 SF)
TOTAL SUITES	96
TOTAL BUILDING AREA	37,074.7SF
PROPOSED BUILDING HEIGHT	35' MAX (PRIMARY STRUCTURES)
PARKING PROVIDED	183 (1.9 SP/SUITE)
SURFACE	167
GARAGE	16

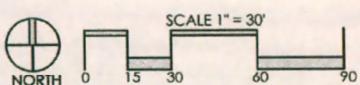
#### Paris Planning & Design

LAND PLANNING Suite 401  
243 N. 5th Street Columbus, OH 43215  
(614) 487-1964 [www.parisplanninganddesign.com](http://www.parisplanninganddesign.com)

**TAYLOR POINTE**  
799 CROSS POINTE RD. GAHANNA OH 43230  
KENNEY COMPANIES  
470 OLDE WORTHINGTON RD., WESTERVILLE OH. 43082

ILLUSTRATIVE PLAN

REVISIONS	



11-1

REVISIONS	



1 3 STORY-24 UNIT BUILDING (TYPICAL ELEVATION WITH PATIOS & DECKS)  
SCALE: 1"=10'



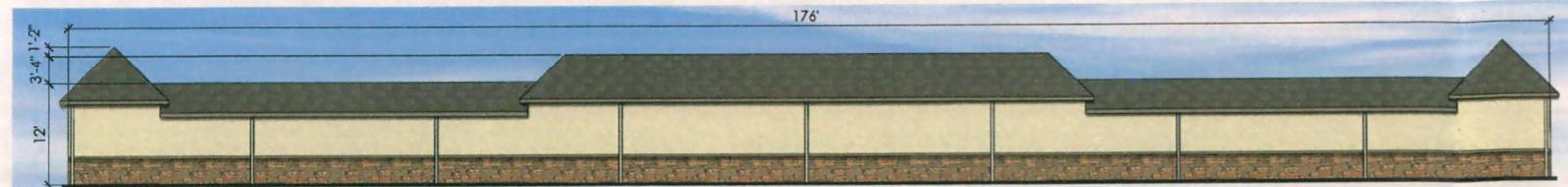
2 3 STORY-24 UNIT BUILDING (TYPICAL SIDE ELEVATION)  
SCALE: 1"=10'



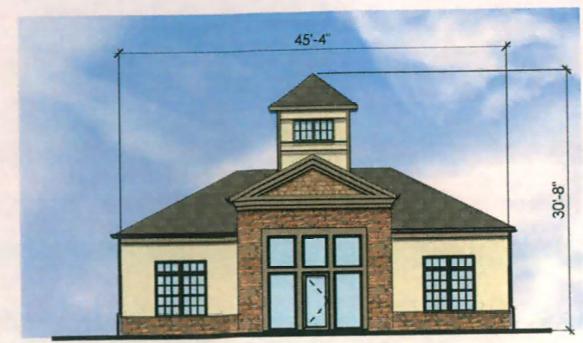
3 3 STORY-24 UNIT BUILDING  
(SOUTH FACING SIDE ELEVATION FOR BUILDING #1 & #2)  
SCALE: 1"=10'



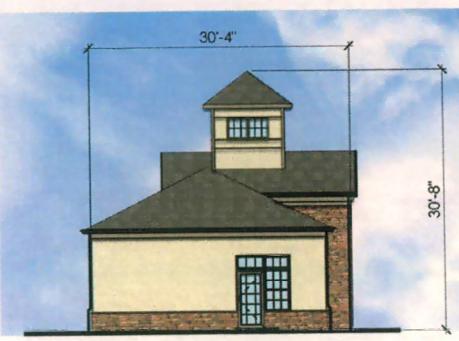
4 GARAGE ELEVATION (FRONT)  
SCALE: 1"=10'



5 GARAGE ELEVATION (REAR)  
SCALE: 1"=10'



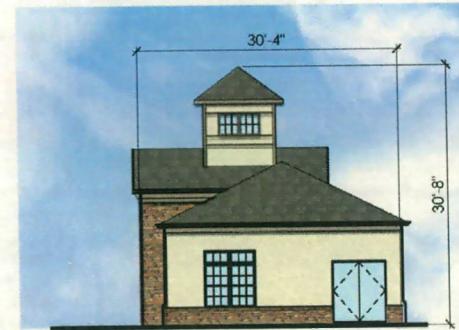
6 CLUBHOUSE (FRONT)  
SCALE: 1"=10'



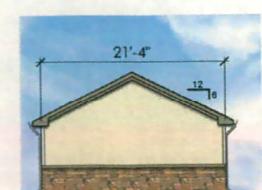
9 CLUBHOUSE (WEST)  
SCALE: 1"=10'



7 CLUBHOUSE (REAR)  
SCALE: 1"=10'

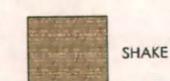


10 CLUBHOUSE (EAST)  
SCALE: 1"=10'



8 GARAGE ELEVATION (SIDE)  
SCALE: 1"=10'

#### ARCHITECTURAL MATERIALS KEY



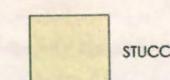
SHAKE SIDING



STONE VENEER



ASPHALT SHINGLE



STUCCO SIDING



EBRIS TRIM

TAYLOR POINTE  
799 CROSS POINTE RD. GAHANNA OH 43230  
KENNEY COMPANIES  
470 OLDE WORTHINGTON RD. WESTERVILLE OH. 43082

Paris Planning & Design  
LANDSCAPE ARCHITECTURE  
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DATE	7/24/13
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AR-1

REVISIONS

ILLUSTRATIVE  
ELEVATIONS

BUILDING 4  
ELEVATION

REVISIONS	

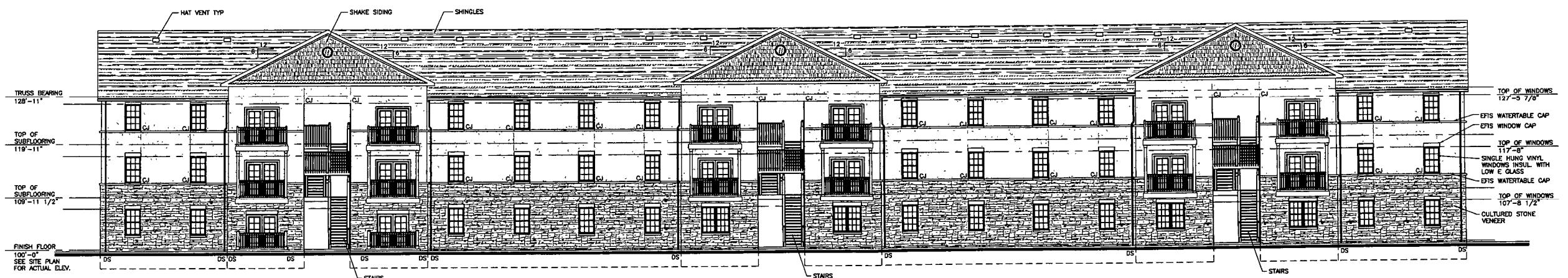
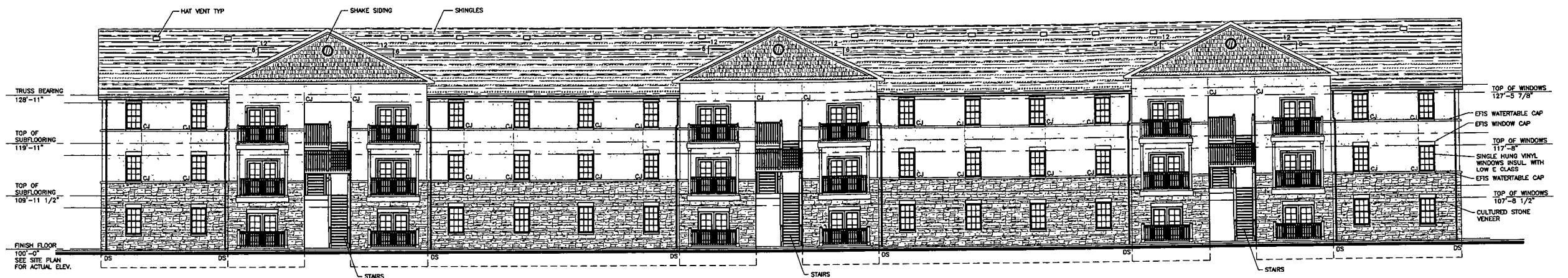
TAYLOR POINTE  
799 CROSS POINTE RD. GAHANNA OH 43230

PREPARED FOR  
KENNEY COMPANIES  
470 OLDE WORTHINGTON RD., WESTERVILLE OH. 43082

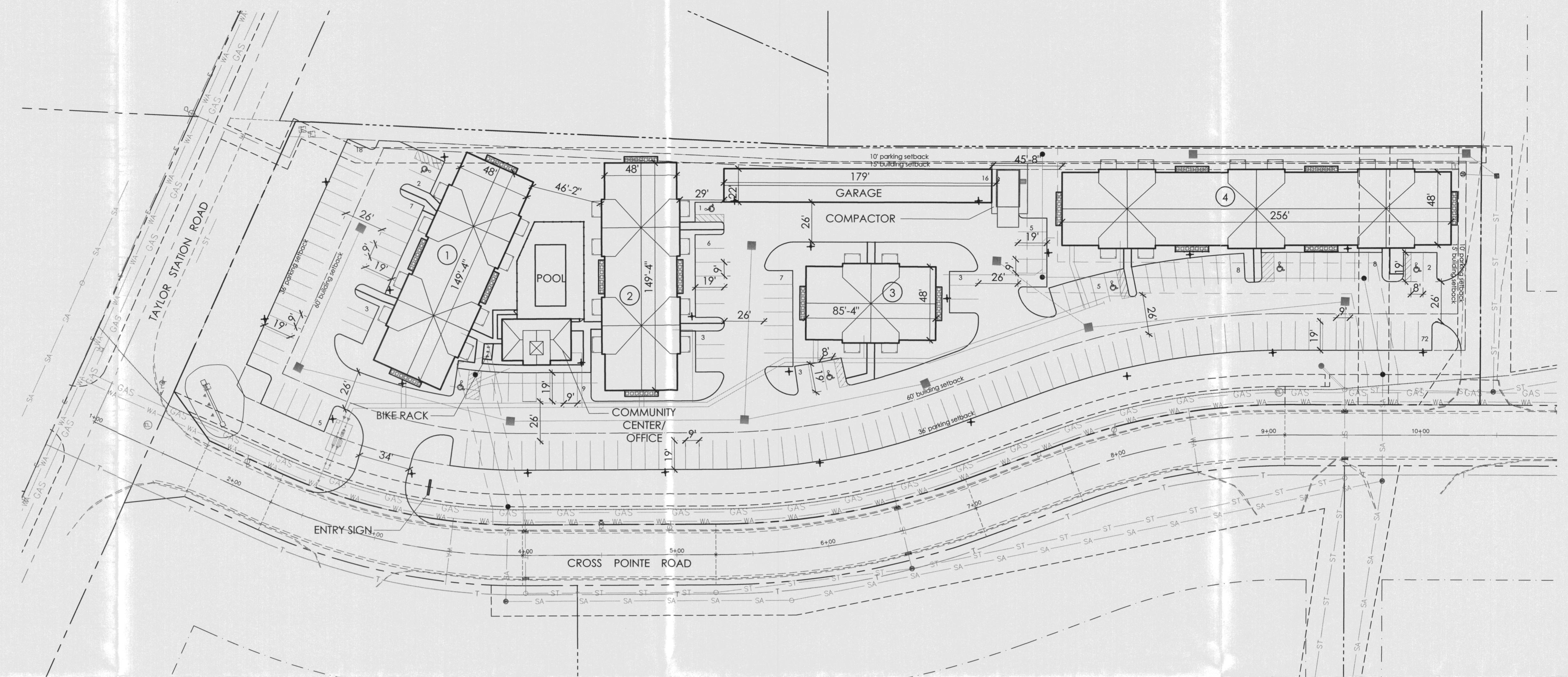
Paris Planning & Design  
LAND PLANNING Suite 401  
LANDSCAPE ARCHITECTURE Columbus, OH 43215  
243 N. 5th Street p (614) 487-1964  
www.parisplanninganddesign.com

DATE	7/24/13
PROJECT	13027
SHEET	

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## SITE DATA

ZONING	OCT (OFFICE, COMMERCE & TECHNOLOGY)
TOTAL ACRES	+/-4.141 AC. (180,382 SF)
TOTAL SUITES	96
TOTAL BUILDING AREA	37,074.7 SF
PROPOSED BUILDING HEIGHT	35' MAX (PRIMARY STRUCTURES)
PARKING PROVIDED	183 (1.9 SP/SUITE)
SURFACE	167
GARAGE	16
SETBACKS REQUIRED	SEE PLAN

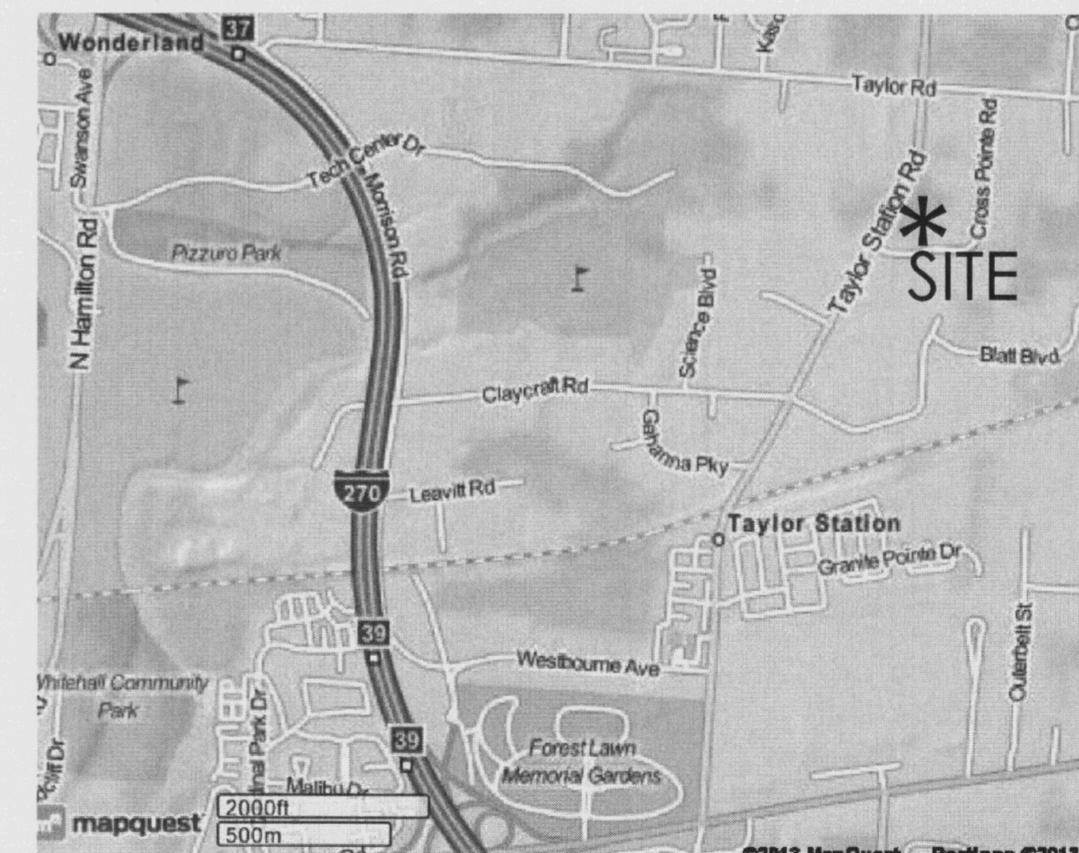
## DEVELOPMENT CALCULATIONS

PARKING	
SQUARE FOOTAGE OF BLDGS.	37,074.7 SF
SPACES PER SQUARE FOOT	.005 SP/FT
REQUIRED SPACES (1 SPACE PER RENTAL UNIT, PLUS 1 SPACE PER EMPLOYEE ON LARGEST SHIFT, PLUS 1 SPACE PER 150 SQUARE FEET OF MEETING, CONFERENCE, RESTAURANT AND LOUNGE AREA)	107
PROPOSED SPACES	183
LOT COVERAGE	56%
SITE	180,382 SF
BUILDING	37,074.7 SF
PAVEMENT	66,435.2 SF

## LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
INTERIOR PARKING LOT STANDARDS		
INTERIOR GREEN SPACE - (TOTAL PAVEMENT AREA = 66,435.2 SF)		
INTERIOR LANDSCAPE AREA	3,321.8 SF (5%)	4,516.25 SF (7%)
TREES - 1 PER 100 SF OF REQUIRED LANDSCAPE AREA (MIN. 2" CALIPER)		
	33 TREES	33 TREES
SCREENING		
PARKING LOT SCREENING - ANY PARKING LOT ADJACENT TO PUBLIC ROW SHALL BE SCREENED WITH EVERGREEN HEDGE, MASONRY WALL, MOUND OR COMBINATION THEREOF TO A HEIGHT OF 3'	3' HGT SCREEN	PROVIDED
STREET TREES		
SHALL BE INSTALLED ALONG PUBLIC ROAD FRONTAGES (MIN. 1 1/2 CALIPER INCH TREE)	LARGE TREES -45' O.C., MEDIUM -35' O.C., SMALL -25' O.C.	EXISTING
PERIMETER SCREENING		
RESIDENTIAL ZONE ADJOINING ANY COMMERCIAL ZONE-ONE TREE PER 40' AND A CONTINUOUS 6' HIGH PLANTING, HEDGE, FENCE, WALL, OR EARTH MOUND	SEE LEFT	ONE TREE PER 40' AND CONTINUOUS HEDGE

## VICINITY MAP



## PROJECT TEAM

OWNER:	SEE APPLICANT
APPLICANT:	
KENNEY COMPANIES DON KENNEY JR. 470 OLDE WORTHINGTON ROAD, SUITE 100 WESTERVILLE, OH 43062 614-540-2400	
LAND PLANNER/LANDSCAPE ARCHITECT:	
FARIS PLANNING & DESIGN LLC TODD FARIS 243 N. 5TH STREET, SUITE 401 COLUMBUS, OH 43215 614-487-1964	
CIVIL ENGINEER/SURVEYOR:	
ADVANCED CIVIL DESIGN TOM WARNER 422 BEECHER ROAD GAHANNA, OH 43230 614-428-7750	

