

FINAL DEVELOPMENT PLAN APPLICATIONS

Check application for completeness of documents ✓

Enter into Legistar (Make sure numbering is correct) ✓

Set up File (Blue) (Site Address/Applicant or Business Name) ✓

Prepare Legal Ad (Requires 1 Ad) (Copy for file) ✓

Post Public Hearing to the webpage ✓

Letters to Contiguous Property Owners ✓

~~Staple Contiguous Property Owner List to copy of letter~~ ~~~~~

AFTER PLANNING COMMISSION ACTION ON FDP APPLICATION

Record of Action to Applicant and Zoning (copy for file) ✓

Put copy of Minutes and Power point from meeting in file ✓

Put all items in file in chronological order ✓

PUBLIC HEARING
Gahanna Planning Commission
Wednesday, July 10, 2013
7:00 p.m.

FDP-0005-2013 To consider a Final Development Plan for Taylor Pointe; for property located at 799 Cross Pointe Road; Kenny Companies; Don Kenney Jr., applicant.

Council Chambers, City Hall,
200 S. Hamilton Road, Gahanna

July 3, 2013

ThisWeek Rocky Fork Enterprise



PLANNING COMMISSION
200 SOUTH HAMILTON ROAD
GAHANNA, OHIO 43230-2996

200 SOUTH HAMILTON ROAD
FAX: (614) 342-4190



www.gahanna.org

PLANNING COMMISSION

UNITED STATES OF AMERICA
745 TAYLOR STATION RD
GAHANNA, OH 43230

126

4323060585



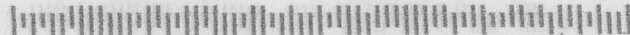
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0006560320 JUN 28 2013
MAILED FROM ZIP CODE 43230

GAHANNA, OHIO 43230-2996
TELEPHONE: (614) 342-4090

NIXIE 430 5E 1009 0007/11/13

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 43230299699 *1446-00183-28-37





**PLANNING COMMISSION
200 SOUTH HAMILTON ROAD
GAHANNA, OHIO 43230-2996**

www.gahan

PLANNING COMMISSION

UNITED STATES OF AMERICA
765 TAYLOR STATION RD
GAHANNA, OH 43230

43729602995



02 1R
0006560320



PITNEY BOWES

\$ 00.46⁰

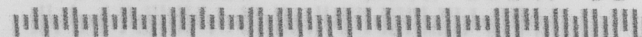
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PLANNING COMMISSION
200 SOUTH HAMILTON ROAD
GAHANNA, OHIO 43230-2996



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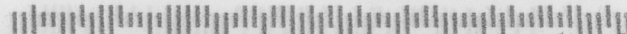
\$ 00.46⁰

MARK SWEATLAND
842 TAYLOR RD
GAHANNA, OH 43230

NIXIE 430 SE 1009 0007/11/13

RETURN TO SENDER
NO SUCH STREET
UNABLE TO FORWARD

BC: 43230299699 *1446-00226-28-37



43230299699

200 SOUTH HAMILTON ROAD
FAX: (614) 342-4190



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GAHANNA, OHIO 43230-2996
TELEPHONE: (614) 342-4090

PLANNING COMMISSION

MARK SWEATLAND
842 TAYLOR RD
GAHANNA, OH 43230

You are hereby notified that the Gahanna Planning Commission will hold a public hearing on:

**Wednesday, July 10, 2013
7:00 p.m.**

Council Chambers
Gahanna City Hall
200 South Hamilton Road
Gahanna, Ohio

FDP-0005-2013 To consider a Final Development Plan for Taylor Pointe; for property located at 799 Cross Pointe Road; by Kenney Companies; Don Kenney Jr., applicant.

All regular and special meetings of the Planning Commission are open to the public. This application is on file in the office of the Clerk of Council for review.

Donna L. Jernigan
Sr. Deputy Clerk of Council

Gahanna's Vision is...

...to be an innovative model community that values its rich heritage, pursues high standards, and where citizens respect one another.

Gahanna's Mission is...

...to ensure an exceptional quality of life by providing comprehensive services, financial stability, and well-planned development which preserves the natural environment, so that city government will continue to be responsive, accessible, and accountable to our diverse and growing community of citizens.

Lot 2 of Crossroads Commerce Center ~ 4.141 Acres: 799 Cross Pointe Road

Situated in the State of Ohio, County of Franklin, City of Gahanna, located in Quarter Township 3, Township 1, Range 16, United States Military District.

Being all of Lot Number 2 of Crossroads Commerce Center of record in Plat Book 94, Page 91, Recorder's Office, Franklin County, Ohio.

Advanced Civil Design, Inc.

Z:\13-0009-414\survey\Lot 2 Legal

SITE DATA TABLE

ADDRESS: 799 CROSS POINTE ROAD
 ZONED: OCT (OFFICE, COMMERCE, TECHNOLOGY)

SITE ACREAGE: 4.141 AC. (180,382 S.F.)

96 SUITES = 23.2 SUITES / ACRE

SITE STATISTICS:

IMPERVIOUS AREA 110,204 S.F.
 BUILDING + PARKING (80% MAX.) 61.1%

INTERNAL LANDSCAPE REQUIREMENTS (OVERALL):

TOTAL PARKING AREA = 66,060 SF
 REQUIRED INTERNAL LANDSCAPE AREA (5%) = 3,303 SF
 INTERNAL LANDSCAPE AREA PROVIDED = 3,800 SF
 REQUIRED TREES (1 PER 100 SF INT. LANDSCAPE) = 38

TOTAL PARKING SPACES 182
 TOTAL HANDICAP SPACES REQUIRED 6
 TOTAL HANDICAP SPACES PROVIDED 7

(10) = PROPOSED PARKING

LEGEND

- STANDARD PAVEMENT SECTION
- HEAVY DUTY PAVEMENT SECTION
- CONCRETE PAVEMENT SECTION

REFERENCE SHEET 2 FOR PAVEMENT SECTION DETAILS

UNDERDRAIN

SITE PLAN NOTES

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.

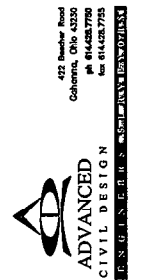
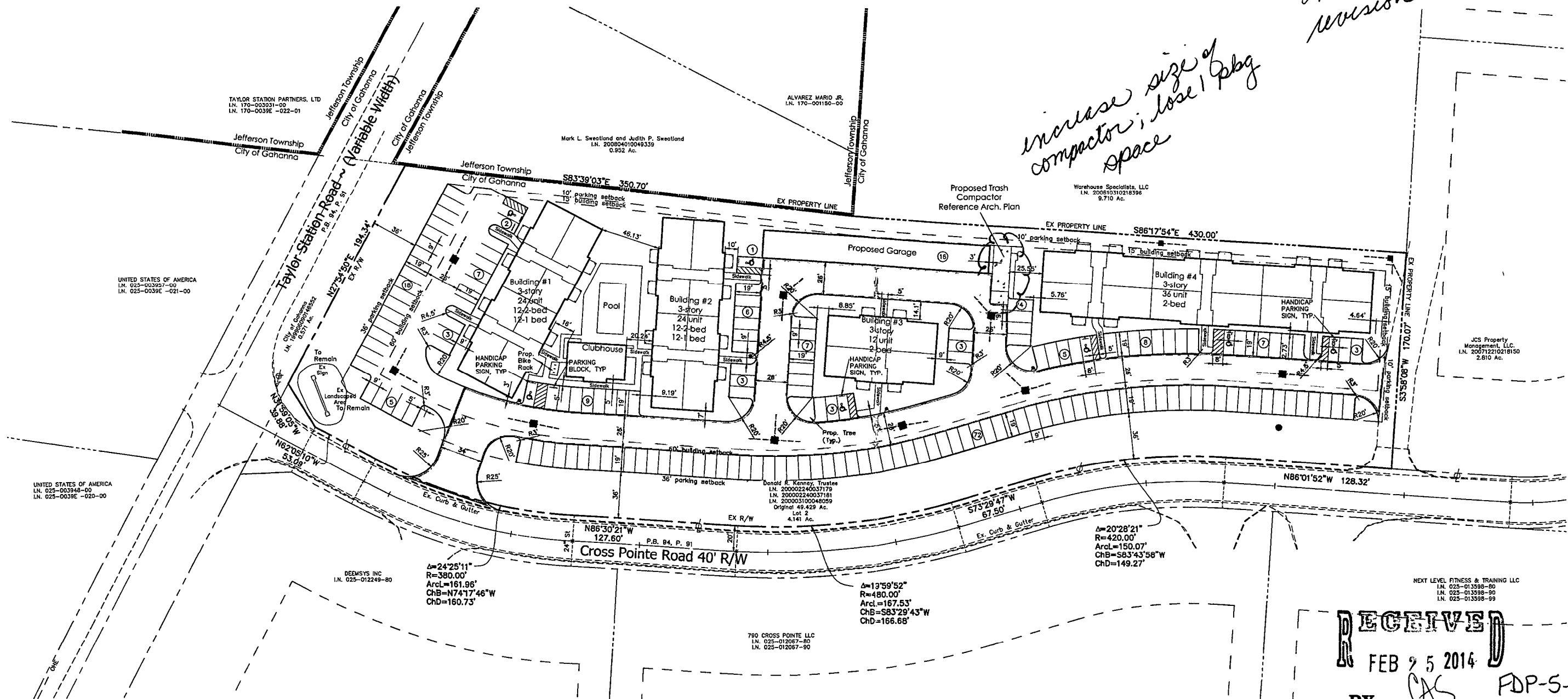
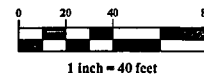
ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

CURB RADII AND PAVEMENT RADII NOT LABELED ARE 5' OR ONE-HALF THE WIDTH OF ISLAND.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

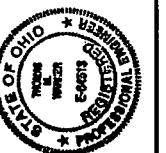
ALL PRIVATE PAVEMENT MARKING SHALL BE WHITE UNLESS OTHERWISE NOTED.

GRAPHIC SCALE



THE KENNEY COMPANY, LLC
 470 OLDE WORTHINGTON ROAD
 SUITE 101
 WESTERVILLE, OH 43082

CITY OF GAHANNA / FRANKLIN COUNTY, OHIO
TAYLOR POINTE
 SITE CONSTRUCTION, GRADING & UTILITY PLAN
 FOR
 THE KENNEY COMPANY, LLC
SITE DIMENSION PLAN



RECEIVED
 FEB 25 2014
 BY: CAS FDP-5-2013

Issue Date: _____
 Date: 08/13/2013
 Scale: 1" = 40'
 Drawn By: DDS
 Checked By: TMW

200 SOUTH HAMILTON ROAD
FAX: (614) 342-4190



www.gahanna.gov

GAHANNA, OHIO 43230-2996
TELEPHONE: (614) 342-4090

PLANNING COMMISSION
RECORD OF ACTION

KENNEY COMPANIES
DON KENNY JR.
470 OLDE WORTHINGTON RD.
WESTERVILLE, OH

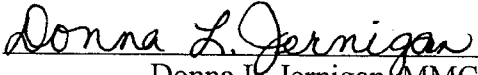
Gahanna Planning Commission met on Wednesday, July 24, 2013 with members Andrews, Rosan, Price, Keehner, Shepherd, Thom and Wester present, to consider along with other business:

FDP-0005-2013 To consider a Final Development Plan for Taylor Point, an extended stay hotel; for property located at 799 Cross Pointe Road; by Kenney Companies, Don Kenney, applicant.

A motion was made by Thom, seconded by Price, to approve FDP-0005-2013; Voting Yes – Thom, Price, Andrews, Keehner, Rosan, Shepherd, Wester.

Final Development Plan application: **APPROVED.**

This Finding of Fact is certified, this 31st day of July, 2013.


Donna L. Jernigan, MMC
Sr. Deputy Clerk of Council

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FDP-0005-2013 To consider a Final Development Plan for Taylor Pointe, an extended stay hotel; for property located at 799 Cross Pointe Road; by Kenney Companies; Don Kenney, applicant.

Gard said we do have a revised site plan; they have incorporated everything we asked for; additional landscaping on the north edge of building 4; did add windows on the ends of buildings 1 and 2; also added balconies; changed elevations on some of the garages to make them more attractive; discussed dimensional shingles and Gard said they are required by code; also received planting plans which are in the small version you received this evening.

Chair opened the public hearing at 7:05 p.m. and asked for proponents.

Tom Warner, Advanced Civil Design, 422 Beecher Road, said concerning the dimensional shingles since that is part of the code we will incorporate them; feel we have addressed all the concerns the Commission had; architect and landscape architect are here if you have any questions.

Chair asked for opponents. There were none.

Rosan asked if Collins or his crew had seen the landscape plans, and Gard said yes and they did have time to make comments and there were none.

Chair closed the public hearing at 7:08 p.m.

Andrews said thank you for listening and incorporating the changes we asked for; we appreciate it; will be a nice development for Gahanna.

A motion was made by Thom, seconded by Price, that this Final Development Plan be Approved. The motion carried by the following vote:

Yes: 7 - Shepherd, Thom, Andrews, Price, Rosan, Keehner and Wester

DR-0018-2013 To consider a Certificate of Appropriateness for Site Plan, Landscaping, Building Design and Signage for Taylor Pointe, an extended stay hotel; for property located at 799 Cross Pointe Road; by Kenney Companies; Don Kenney, applicant.

See discussion above.

A motion was made by Thom, seconded by Andrews, that this Design Review be Approved. The motion carried by the following vote:

Yes: 7 - Shepherd, Thom, Andrews, Price, Rosan, Keehner and Wester

200 SOUTH HAMILTON ROAD
FAX: (614) 342-4190



GAHANNA, OHIO 43230-2996
TELEPHONE: (614) 342-4090

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PLANNING COMMISSION

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Donna L. Jernigan
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City of Gahanna

Master

200 South Hamilton Road
Gahanna, Ohio 43230

File Number: FDP-0005-2013

File Number: FDP-0005-2013

File Type: Final Development Plan

Status: Applications/Public
Hearings:

Version: 1

Reference:

Controlling Body: Planning
Commission

File Name: 799 Cross Pointe/Taylor Pointe

Introduced: 7/10/2013

Requester:

Cost:

Final Action:

Title: To consider a Final Development Plan for Taylor Point, an extended stay hotel; for property located at 799 Cross Pointe Road; by Kenney Companies; Don Kenney, applicant.

Sponsors:

Notes:

Indexes: PC - FINAL DEVELOPMENT PLAN

Attachments:

History of Legislative File

Version:	Acting Body:	Date:	Action:	Sent To:	Due Date:	Return Date:	Result:
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Existing Property Owners

790 CROSS POINTE LLC
790 CROSS POINTE RD
COLUMBUS, OH 43230

MARIO ALVAREZ JR
852 TAYLOR STATION RD
COLUMBUS, OH 43230

DEEMSYS INC
800 CROSS POINTE RD
COLUMBUS, OH 43230

MICHAEL HALTER
750 CROSS POINTE RD
COLUMBUS, OH 43230

JCS PROPERTY MANAGEMENT LLC
735 CROSS POINTE RD
COLUMBUS, OH 43230

JCS PROPERTY MANAGEMENT LLC
675 CROSS POINTE RD
COLUMBUS, OH 43230

NEXT LEVEL FITNESS & TRAINING LLC
720 CROSS POINTE RD
COLUMBUS, OH 43230

KANWAL N SINGH LYNN W SINGH
875 TAYLOR STATION RD
COLUMBUS, OH 43230

MARK L SWEATLAND JUDITH P
SWEATLAND
842 TAYLOR STATION RD
COLUMBUS, OH 43230

TAYLOR STATION PARTNERS LTD
841 -841 TAYLOR STATION RD
COLUMBUS, OH 43230

UNITED STATES OF AMERICA
765 TAYLOR STATION RD
COLUMBUS, OH 43230

UNITED STATES OF AMERICA
745 TAYLOR STATION RD
COLUMBUS, OH 43230

WAREHOUSE SPECIALISTS LLC
650 TAYLOR STATION RD
COLUMBUS, OH 43230

13060016

File No. FDP-5-2013

Supersedes or Amends _____

Date Received: 6-13-13Scheduled Public Hearing Date: 7-10-13

Phase# _____

Fee: 500.00Initials: CASCheck/CC/Receipt# 2435

APPLICATION FOR FINAL DEVELOPMENT PLAN CITY OF GAHANNA PLANNING COMMISSION

***REQUIRED INFORMATION**

*Name of Final Development Plan: _____

*Property Location 799 Cross Pointe Rd.*Parcel ID# 025-012066-80*Total Acreage 4.141*Current Zoning OCT*Applicant Name: Kenney Companies - Don Kenney Jr.*Email dkenney@villagecommunities.com*Status: Land Owner

Option Holder _____

X Cont. Purchaser _____

Agent _____

*Business Owner See Below

*Business Name _____

*Phone _____

*Business Address _____

*Fax _____

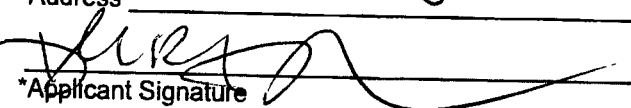
*Developer Kenney Companies - Don Kenney Jr.*Phone 614-540-2400*Contact Don Kenney Jr.

Title _____

*Address 470 Old Worthington Rd. Westerville OH 43082*Landowner Donald Kenney

Phone _____

*Address _____

*Applicant Signature *Date 6-11-13**Submission Requirements**

1. A plan that complies with the list of Final Development Plan requirements stated in Chapter 1108.
2. Eleven (11) copies of plans: Two (2) 24x36 size **folded** (not rolled) to 8 1/2 X 11 prior to submission, nine (9) 11x17 inch size.
3. A list of contiguous property owners and their mailing addresses.
4. Application Fee of \$500.
5. Reduced drawing to an 8 1/2 x 11 inch size.

In accordance with Chapter 1108 of the Codified Ordinances of Gahanna, Ohio, I hereby certify that this project, as stated above, has been for approved by the City of Gahanna Planning Commission on _____. A copy of the minutes is hereby attached.

Planning & Zoning Administrator _____

Date _____

Note: All correspondence will be to applicant above unless otherwise stated.

Revised April 2012

PAID
JUN 13 2013

BY: CAS CLK# 2435

RECEIVED
JUN 13 2013

BY: CAS

SUBMITTAL REQUIREMENTS

	Applicant Or Agent	Planning & Zoning Administrator
A. The Final Development Plan shall contain the following:		
1. Scale: Minimum – one inch equals 100 feet.	1. <u>X</u>	1. <u>✓</u>
2. The proposed name of the development, approximate total acreage, north arrow, and date.	2. <u>X</u>	2. <u>✓</u>
3. The names of any public and/or private streets adjacent to or within the development.	3. <u>X</u>	3. <u>✓</u>
4. Names and addresses of owners, developers and the surveyor who designed the plan.	4. <u>X</u>	4. <u>✓</u>
5. Vicinity map showing relationship to surrounding development and its location within the community.	5. <u>X</u>	5. <u>✓</u>
6. Natural features currently within proposed development, including drainage channels, tree lines bodies of water, and other significant features.	6. <u>X</u>	6. <u>✓</u>
7. Current zoning district, building and parking setbacks.	7. <u>X</u>	7. <u>✓</u>
8. Proposed location, size and height of building and/or structures.	8. <u>X</u>	8. <u>✓</u>
9. Proposed driveway dimensions and access points.	9. <u>X</u>	9. <u>✓</u>
10. Proposed parking and number of parking spaces.	10. <u>X</u>	10. <u>✓</u>
11. Distance between buildings.	11. <u>X</u>	11. <u>✓</u>
12. List of adjacent property owners for notification.	12. <u>X</u>	12. <u>✓</u>
13. Reduced site plan suitable for showing on an overhead projector.	13. <u>X</u>	13. <u>✓</u>
14. Any other information the Planning Commission may deem to be necessary to evaluate the application. These items can include such things as elevations, traffic studies, floor plans, etc.	14. <u>X</u>	14. <u>✓</u>
B. In addition to the aforementioned requirements, the developer shall submit a table of development calculations. This table shall include:		
1. Parking calculations: (square footage of proposed buildings, number of spaces per square foot, number of spaces required, actual number of spaces proposed).	1. <u>X</u>	1. <u>✓</u>
2. Lot coverage calculations: (square footage of site, area of permanently impervious surfaces broken down into buildings and parking, area of uncovered land, coverage requirements, proposed lot coverage).	2. <u>X</u>	2. <u>✓</u>
3. Setback calculations, (if needed).	3. <u>X</u>	3. <u>✓</u>
4. Landscaping calculations: (square footage of pavement, proposed area of landscaping, square footage of landscaping, number of two-inch caliper trees required, number of trees proposed).	4. <u>X</u>	4. <u>✓</u>
(Ord. 132-96. Passed 8-6-96.)		



CITY OF GAHANNA

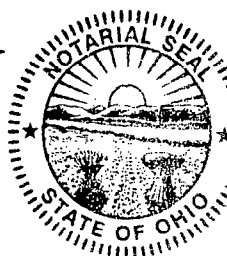
Agreement to Build as Specified

Your signature below affirms that, as the applicant Kenney Companies
(Please Print - Applicant Name)
_____ for 799 Cross Pointe Rd.
(Business Name and/or Address)

you will build the project as approved and specified by the Planning Commission for the City of Gahanna. You, as the applicant, also agree that any necessary change to the project must go back through Planning Commission process to amend the plans.

Applicant Signature Kenney Companies _____
(Applicant Name/Applicant Representative)
Date 6-11-13

Kara L Perry
(Signature of Notary)



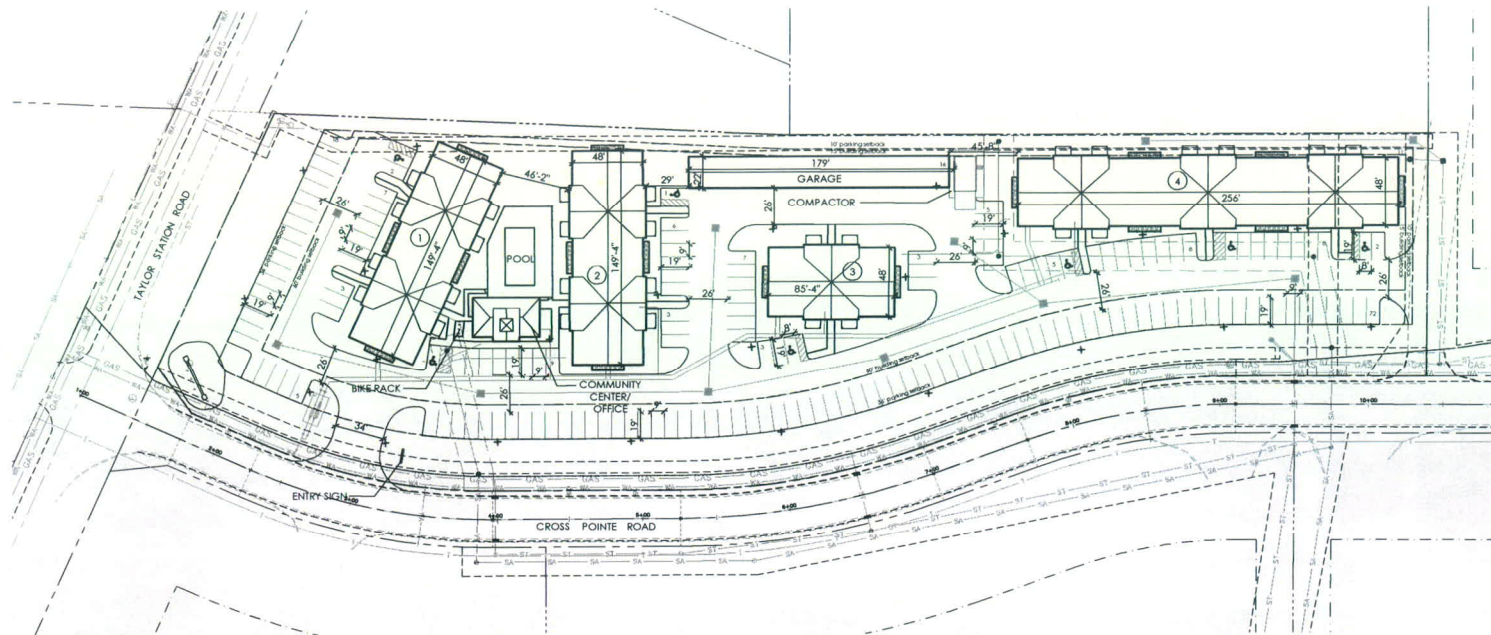
Kara L Perry
Notary Public, State of Ohio
MY COMMISSION EXPIRES 8/9/15

6/11/13
(Date)

Stamp/Seal

Planning Commission Information for All Applicants

1. All required information must be submitted with the application. The Tuesday, four (4) weeks prior to the Public Hearing Date, by 5:00 p.m., is the deadline for acceptance of all applications. No application will be forwarded to Planning Commission until all information is received in the Planning & Zoning Office.
2. It is the responsibility of the applicant to have a court reporter present, at the applicant's expense, if they wish to have a verbatim transcript of the meeting. Council office must be advised in advance if a court reporter is going to be present.
3. Reduced drawings suitable to an 11x17 inch size must be submitted. If an application is amended at any time during the process, a new reduced drawing must be submitted as well as any full size drawings requested.
4. Agendas will be mailed to the applicant on the Friday prior to the Planning Commission meeting. If the agenda is to go to someone other than the applicant, it needs to be noted on the application.
5. If a list of Contiguous Property owners needs to be submitted with an application, it must be compiled in a list on a separate sheet of paper. This must include mailing name and address of property owner. Showing them only on one of the plan sheets is not acceptable.
6. For Design Review applications, a materials list, unless otherwise instructed by the Planning & Zoning Administrator, must be submitted with the application. If materials are changed during the process, then a new materials list must be submitted.
7. For Multi-tenant ground sign & Master Sign Plan applications, location must be noted on a site plan. Also notate location on site plan for a freestanding sign or on building elevation for a wall sign. Color renderings must be submitted.
8. Please review "Submission Requirements" on any application before submitting to the Planning & Zoning Division.
9. Copies of specific sections of the zoning code are available in the Zoning Office at no charge. The entire zoning code with a map is available in the Council Office at a cost of \$25.00. Zoning Code is available on line and can be found @ www.gahanna.gov/departments/development/planning.asp under Code Ordinances.
10. Planning Commission members may visit the property prior to the hearing to review the application.



SITE DATA

ZONING	OCT (OFFICE, COMMERCE & TECHNOLOGY)
TOTAL ACRES	+/-4.141 AC. (180,382 SF)
TOTAL SUITES	96
TOTAL BUILDING AREA	37,074.7 SF
PROPOSED BUILDING HEIGHT	35' MAX (PRIMARY STRUCTURES)
PARKING PROVIDED	183 (1.9 SP/SUITE)
SURFACE	167
GARAGE	16
SETBACKS REQUIRED	SEE PLAN

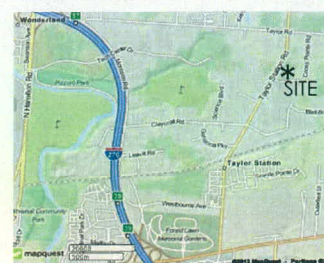
DEVELOPMENT CALCULATIONS

PARKING	
SQUARE FOOTAGE OF BLDGS.	37,074.7 SF
SPACES PER SQUARE FOOT	.005 SP/FT
REQUIRED SPACES (1 SPACE PER RENTAL UNIT, PLUS 1 SPACE PER EMPLOYEE ON LARGEST SHIFT, PLUS 1 SPACE PER 150 SQUARE FEET OF MEETING, CONFERENCE, RESTAURANT AND LOUNGE AREA)	107
PROPOSED SPACES	183
LOT COVERAGE	56%
SITE	180,382 SF
BUILDING	37,074.7 SF
PAVEMENT	66,435.2 SF

LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
INTERIOR PARKING LOT STANDARDS		
INTERIOR GREEN SPACE - (TOTAL PAVEMENT AREA = 66,435.2 SF)		
INTERIOR LANDSCAPE AREA	3,321.8 SF (5%)	4,516.25 SF (7%)
TREES - 1 PER 100 SF OF REQUIRED LANDSCAPE AREA (MIN. 2" CALIPER)	33 TREES	33 TREES
SCREENING		
PARKING LOT SCREENING - ANY PARKING LOT ADJACENT TO PUBLIC ROW SHALL BE SCREENED WITH EVERGREEN HEDGE, MASONRY WALL, MOUND OR COMBINATION THEREOF TO A HEIGHT OF 3'	3' HGT SCREEN	PROVIDED
STREET TREES		
SHALL BE INSTALLED ALONG PUBLIC ROAD FRONTAGES (MIN. 1 1/2 CALIPER INCH TREE)	LARGE TREES 45" O.C., MEDIUM - 35" O.C., SMALL - 25" O.C.	EXISTING
PERIMETER SCREENING RESIDENTIAL ZONE ADJOINING ANY COMMERCIAL ZONE-ONE TREE PER 40' AND A CONTINUOUS 6' HIGH PLANTING, HEDGE, FENCE, WALL, OR EARTH MOUND	SEE LEFT	ONE TREE PER 40' AND CONTINUOUS HEDGE

VICINITY MAP



PROJECT TEAM

OWNER:
SEE APPLICANT

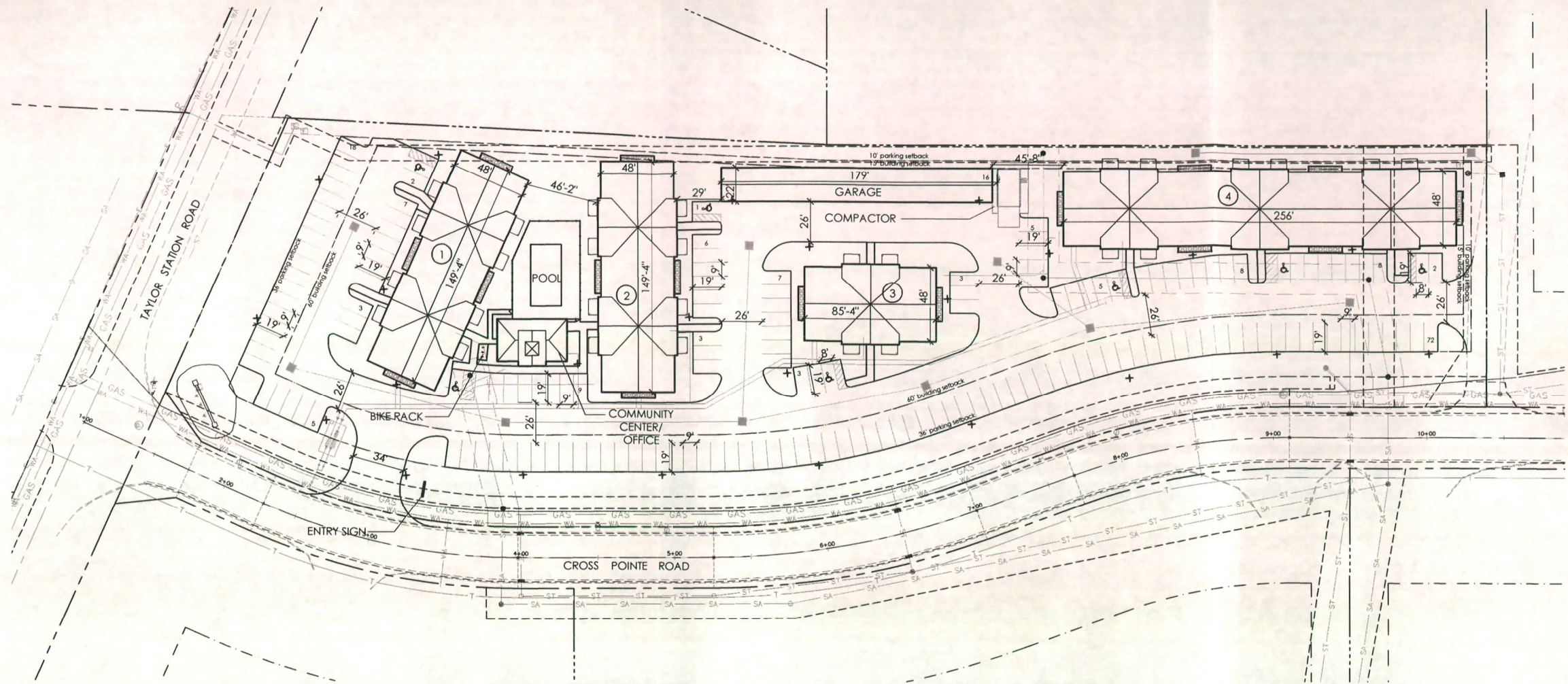
APPLICANT:
KENNEY COMPANIES
DON KENNEY JR.
470 OLDE WORTHINGTON ROAD, SUITE 100
WESTERVILLE, OH 43062
614-540-2400

LAND PLANNER/LANDSCAPE ARCHITECT:
FARIS PLANNING & DESIGN LLC
TODD FARIS
243 N. 5TH STREET, SUITE 401
COLUMBUS, OH 43215
614-487-1964

CIVIL ENGINEER/SURVEYOR:
ADVANCED CIVIL DESIGN
TOM WARNER
422 BEECHER ROAD
GAHANNA, OH 43230
614-426-7750



REVISIONS	
FINAL DEVELOPMENT PLAN	
TAYLOR POINTE 779 CROSS POINTE RD. GAHANNA OH 43230 PREPARED BY KENNEY COMPANIES 470 OLDE WORTHINGTON RD. WESTERVILLE OH 43062	
Faris Planning & Design LAND PLANNING & LANDSCAPE ARCHITECTURE 243 N. 5TH STREET, SUITE 401 COLUMBUS, OH 43215 614-487-1964 www.farisplanninganddesign.com	
DATE	6/12/13
PROJECT	13027
SHEET	
DP-1	



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TOTAL BUILDING AREA	37,074.7 SF
PROPOSED BUILDING HEIGHT	35' MAX (PRIMARY STRUCTURES)
PARKING PROVIDED	183 (1.9 SP/SUITE)
SURFACE	167
GARAGE	16
SETBACKS REQUIRED	SEE PLAN

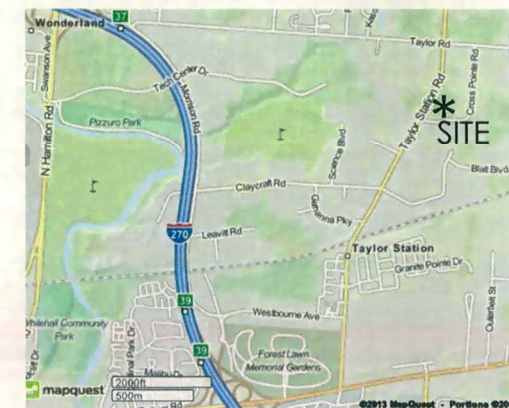
DEVELOPMENT CALCULATIONS

PARKING	
SQUARE FOOTAGE OF BLDGS.	37,074.7 SF
SPACES PER SQUARE FOOT	.005 SP/FT
REQUIRED SPACES (1 SPACE PER RENTAL UNIT, PLUS 1 SPACE PER EMPLOYEE ON LARGEST SHIFT, PLUS 1 SPACE PER 150 SQUARE FEET OF MEETING, CONFERENCE, RESTAURANT AND LOUNGE AREA)	107
PROPOSED SPACES	183
LOT COVERAGE	56%
SITE	180,382 SF
BUILDING	37,074.7 SF
PAVEMENT	66,435.2 SF

LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
INTERIOR PARKING LOT STANDARDS		
INTERIOR GREEN SPACE - (TOTAL PAVEMENT AREA = 66,435.2 SF)		
INTERIOR LANDSCAPE AREA	3,321.8 SF (5%)	4,516.25 SF (7%)
TREES - 1 PER 100 SF OF REQUIRED LANDSCAPE AREA (MIN. 2" CALIPER)	33 TREES	33 TREES
SCREENING		
PARKING LOT SCREENING - ANY PARKING LOT ADJACENT TO PUBLIC ROW SHALL BE SCREENED WITH EVERGREEN HEDGE, MASONRY WALL, MOUND OR COMBINATION THEREOF TO A HEIGHT OF 3'	3' HGT SCREEN	PROVIDED
STREET TREES		
SHALL BE INSTALLED ALONG PUBLIC ROAD FRONTAGES (MIN. 1 1/2 CALIPER INCH TREE)	LARGE TREES -45' O.C., MEDIUM -35' O.C., SMALL - 25' O.C.	EXISTING
PERIMETER SCREENING		
RESIDENTIAL ZONE ADJOINING ANY COMMERCIAL ZONE-ONE TREE PER 40' AND A CONTINUOUS 6' HIGH PLANTING, HEDGE, FENCE, WALL, OR EARTH MOUND	SEE LEFT	ONE TREE PER 40' AND CONTINUOUS HEDGE

VICINITY MAP



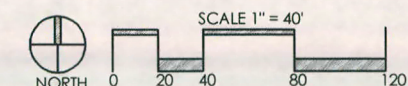
PROJECT TEAM

OWNER:
SEE APPLICANT

APPLICANT:
KENNEY COMPANIES
DON KENNEY JR.
470 OLDE WORTHINGTON ROAD, SUITE 100
WESTERVILLE, OH 43062
614-540-2400

LAND PLANNER/LANDSCAPE ARCHITECT:
FARIS PLANNING & DESIGN LLC
TODD FARIS
243 N. 5TH STREET, SUITE 401
COLUMBUS, OH 43215
614-487-1964

CIVIL ENGINEER/SURVEYOR:
ADVANCED CIVIL DESIGN
TOM WARNER
422 BEECHER ROAD
GAHANNA, OH 43230
614-428-7750



REVISIONS

TAYLOR POINTE
799 CROSS POINTE RD. GAHANNA OH 43230
PREPARED FOR
KENNEY COMPANIES
470 OLDE WORTHINGTON RD., WESTERVILLE OH. 43082

Faris Planning & Design

LAND PLANNING
243 N. 5th Street
P 614/487-1964

LANDSCAPE ARCHITECTURE
Columbus, OH 43215
Suite 401
www.farisplanninganddesign.com

DATE

6/12/13

PROJECT

13027

SHEET

DP-1

Existing Property Owners

790 CROSS POINTE LLC
790 CROSS POINTE RD
COLUMBUS, OH 43230

MARIO ALVAREZ JR
852 TAYLOR STATION RD
COLUMBUS, OH 43230

DEEMSYS INC
800 CROSS POINTE RD
COLUMBUS, OH 43230

MICHAEL HALTER
750 CROSS POINTE RD
COLUMBUS, OH 43230

JCS PROPERTY MANAGEMENT LLC
735 CROSS POINTE RD
COLUMBUS, OH 43230

JCS PROPERTY MANAGEMENT LLC
675 CROSS POINTE RD
COLUMBUS, OH 43230

NEXT LEVEL FITNESS & TRAINING LLC
720 CROSS POINTE RD
COLUMBUS, OH 43230

KANWAL N SINGH LYNN W SINGH
875 TAYLOR STATION RD
COLUMBUS, OH 43230

MARK L SWEATLAND JUDITH P
SWEATLAND
842 TAYLOR STATION RD
COLUMBUS, OH 43230

TAYLOR STATION PARTNERS LTD
841 -841 TAYLOR STATION RD
COLUMBUS, OH 43230

UNITED STATES OF AMERICA
765 TAYLOR STATION RD
COLUMBUS, OH 43230

UNITED STATES OF AMERICA
745 TAYLOR STATION RD
COLUMBUS, OH 43230

WAREHOUSE SPECIALISTS LLC
650 TAYLOR STATION RD
COLUMBUS, OH 43230

Lot 2 of Crossroads Commerce Center ~ 4.141 Acres: 799 Cross Pointe Road

Situated in the State of Ohio, County of Franklin, City of Gahanna, located in Quarter Township 3, Township 1, Range 16, United States Military District.

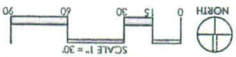
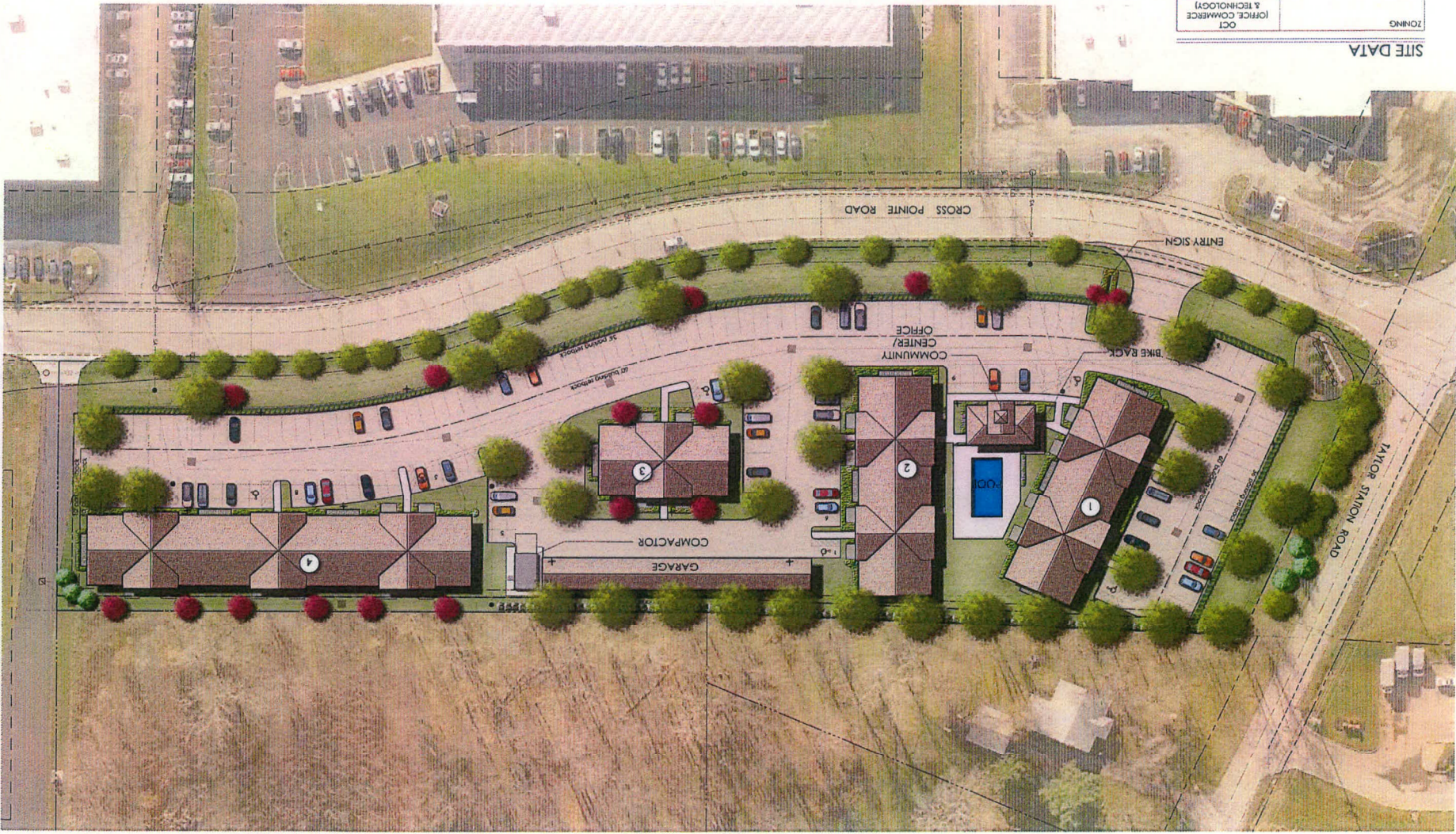
Being all of Lot Number 2 of Crossroads Commerce Center of record in Plat Book 94, Page 91, Recorder's Office, Franklin County, Ohio.

Advanced Civil Design, Inc.

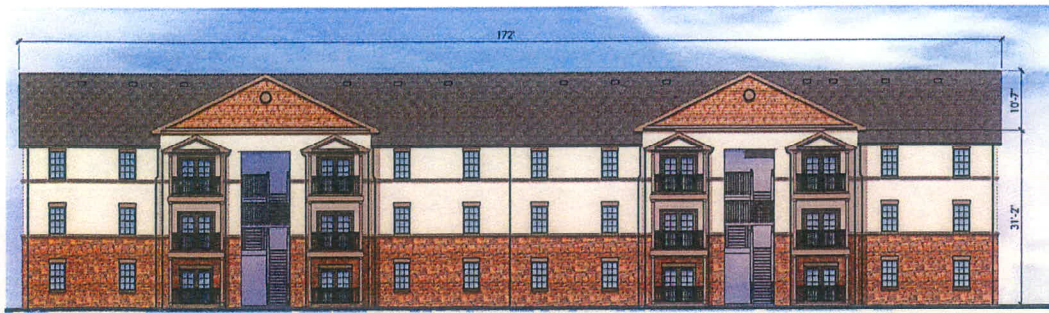
Z:\13-0009-414\survey\Lot 2 Legal

ZONING	OCT
OFFICE COMMERCIAL & TECHNOLOGY	
TOTAL ACRES	+7.4141 AC. (180,382 SF)
TOTAL SQUARE FEET	37,072,518
PROPOSED BUILDING HEIGHT	35' MAX (PRIMARY STRUCTURES)
PARKING PROVIDED	183 (1.9 SP/5,000 SF)
SURFACE	167
GARAGE	16

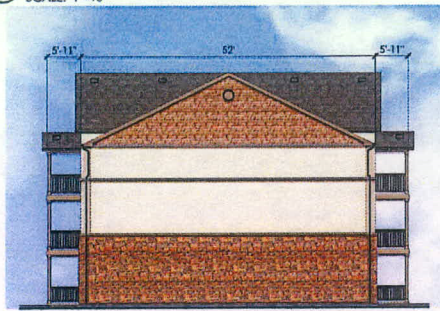
SITE DATA



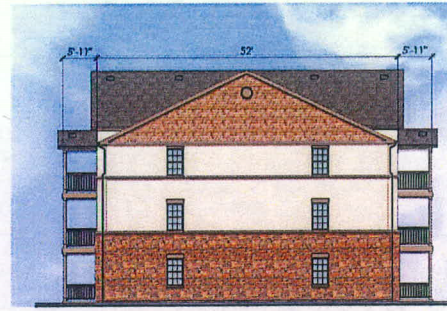
DATE	6/12/13	PROJECT	13027	SHEET	IL-1
<p>TAYLOR POINTE 775 CROFTON RD. COLUMBUS, OH 43230 KENNEY COMPANIES 470 OLIVE HORTON RD. WESTERVILLE, OH 43082</p>					
<p>Paris Planning & Design LAND PLANNING 3014 2nd Street P.O. Box 88114 Columbus, OH 43213 www.parisplanninganddesign.com</p>					
<p>ILLUSTRATIVE PLAN</p>					
<p>REVISIONS</p>					



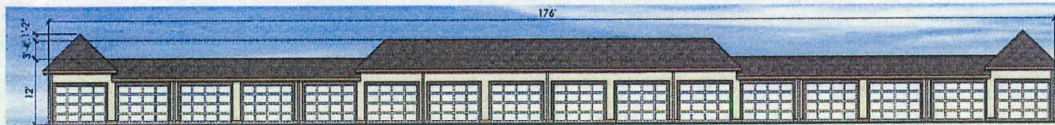
1 3 STORY-24 UNIT BUILDING (TYPICAL ELEVATION WITH PATIOS & DECKS)
SCALE: 1"=10'



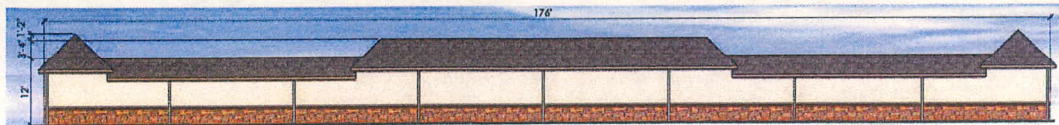
2 3 STORY-24 UNIT BUILDING (TYPICAL SIDE ELEVATION)
SCALE: 1"=10'



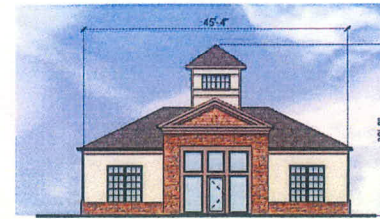
3 3 STORY-24 UNIT BUILDING
(SOUTH FACING SIDE ELEVATION FOR BUILDING #1 & #2)
SCALE: 1"=10'



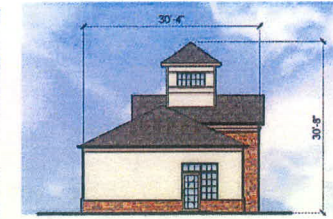
4 GARAGE ELEVATION (FRONT)
SCALE: 1"=10'



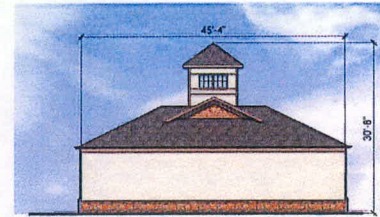
5 GARAGE ELEVATION (REAR)
SCALE: 1"=10'



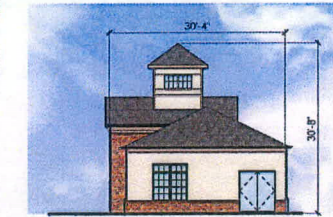
6 CLUBHOUSE (FRONT)
SCALE: 1"=10'



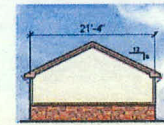
9 CLUBHOUSE (WEST)
SCALE: 1"=10'



7 CLUBHOUSE (REAR)
SCALE: 1"=10'



10 CLUBHOUSE (EAST)
SCALE: 1"=10'



8 GARAGE ELEVATION (SIDE)
SCALE: 1"=10'

ARCHITECTURAL MATERIALS KEY



REVISIONS	
ILLUSTRATIVE ELEVATIONS	
<p>TAYLOR POINT 779 CROSS POINT RD. GAHANNA OH 43230</p> <p>DESIGNED BY KENNEY COMPANIES 470 OLD WORTHINGTON RD., WESTERVILLE OH 43082</p>	
<p>Fair Planning & Design LAND PLANNING + LANDSCAPE ARCHITECTURE 2501 N. STATE ST. SUITE 401 COLUMBUS, OH 43214 614.460.7164 www.fairplanninganddesign.com</p>	
DATE	7/24/13
PROJECT	13027
SHEET	
AR-1	



① BUILDING 4 ELEVATION (REAR)
SCALE: 1"=10'



② BUILDING 4 ELEVATION (FRONT)
SCALE: 1"=10'

REVISIONS	

BUILDING 4 ELEVATION

TAYLOR POINT
777 CIRCLE POINT RD. GAHANNA, OH 43030

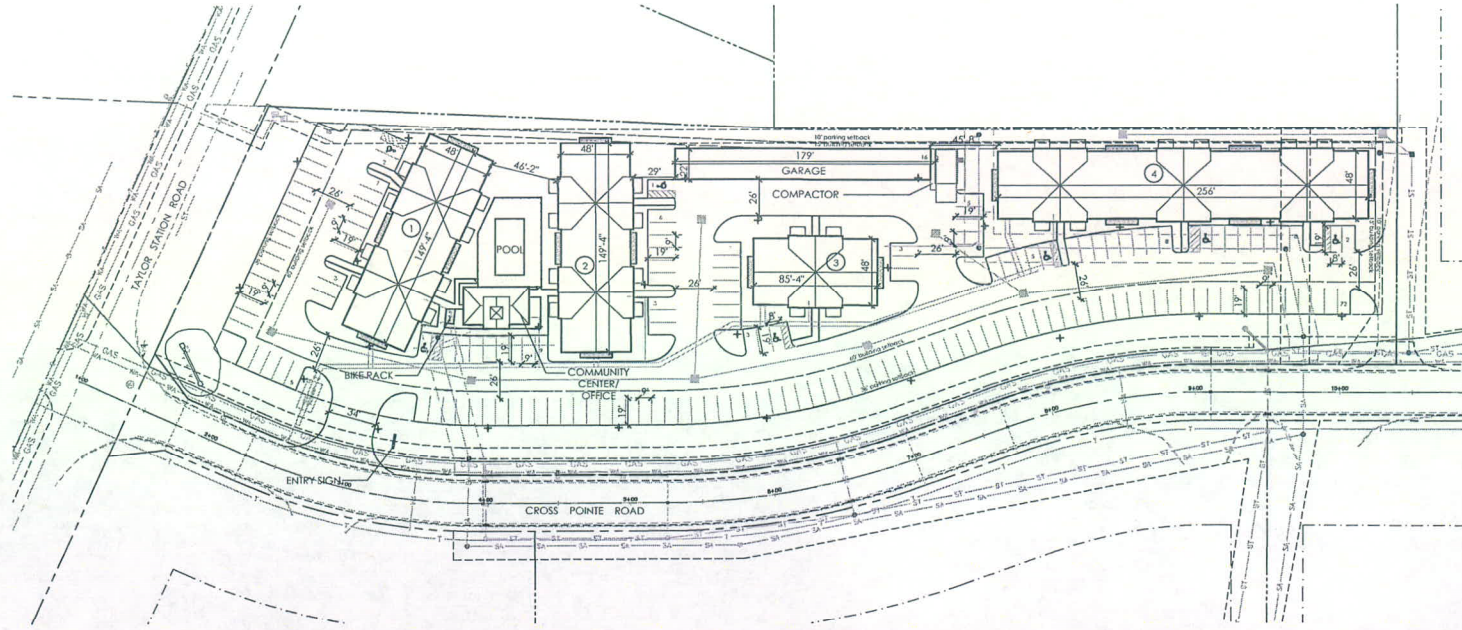
PREPARED FOR
KENNEY COMPANIES
470 OLDE WESTBURN CT. WESTERVILLE, OH 43081

Paris Planning & Design

LANDSCAPE ARCHITECTURE
243 N. 9th Street
P.O. Box 1844
Columbus, OH 43215
614.461.1844
www.parisplanninganddesign.com

DATE	7/24/13
PROJECT	13027
SHEET	

AR-2



SITE DATA

ZONING	OCT (OFFICE, COMMERCE & TECHNOLOGY)
TOTAL ACRES	+/-4.141 AC. (180,382 SF)
TOTAL SUITES	96
TOTAL BUILDING AREA	37,074.7 SF
PROPOSED BUILDING HEIGHT	35' MAX (PRIMARY STRUCTURES)
PARKING PROVIDED	183 (1.9 SP/SUITE)
SURFACE	167
GARAGE	16
SETBACKS REQUIRED	SEE PLAN

DEVELOPMENT CALCULATIONS

PARKING	
SQUARE FOOTAGE OF BLDGS.	37,074.7 SF
SPACES PER SQUARE FOOT	.005 SP/FT
REQUIRED SPACES (1 SPACE PER RENTAL UNIT, PLUS 1 SPACE PER EMPLOYEE ON LARGEST FLOOR, PLUS 1 SPACE PER 150 SQUARE FEET OF MEETING, CONFERENCE, RESTAURANT AND LOUNGE AREA)	107
PROPOSED SPACES	183
LOT COVERAGE	56%
SITE	180,382 SF
BUILDING	37,074.7 SF
PAVEMENT	66,435.2 SF

LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
INTERIOR PARKING LOT STANDARDS		
INTERIOR GREEN SPACE - (TOTAL PAVEMENT AREA = 66,435.2 SF)		
INTERIOR LANDSCAPE AREA	3,321.8 SF (5%)	4,516.25 SF (7%)
TREES - 1 PER 100 SF OF REQUIRED LANDSCAPE AREA (MIN. 2" CALIPER)	33 TREES	33 TREES
SCREENING		
PARKING LOT SCREENING - ANY PARKING LOT ADJACENT TO PUBLIC ROW SHALL BE SCREENED WITH EVERGREEN HEDGE, MASONRY WALL, MOUND OR COMBINATION THEREOF TO A HEIGHT OF 3'	3' HGT SCREEN	PROVIDED
STREET TREES		
SHALL BE INSTALLED ALONG PUBLIC ROAD FRONTAGES (MIN. 1 1/2 CALIPER INCH TREE)	LARGE TREES - 45" O.C., MEDIUM - 35" O.C., SMALL - 25" O.C.	EXISTING
PERIMETER SCREENING		
RESIDENTIAL ZONE ADJOINING ANY COMMERCIAL ZONE-ONE TREE PER 40' AND A CONTINUOUS 6' HIGH PLANTING, HEDGE, FENCE, WALL, OR EARTH MOUND	SEE LEFT	ONE TREE PER 40' AND CONTINUOUS HEDGE

VICINITY MAP



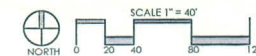
PROJECT TEAM

OWNER:
SEE APPLICANT

APPLICANT:
KENNEY COMPANIES
DON KENNEY JR.
470 OLDE WORTHINGTON ROAD, SUITE 100
WESTERVILLE, OH 43062
614-540-2400

LAND PLANNER/LANDSCAPE ARCHITECT:
FARIS PLANNING & DESIGN LLC
TODD FARIS
243 N. 5TH STREET, SUITE 401
COLUMBUS, OH 43215
614-487-1964

CIVIL ENGINEER/SURVEYOR:
ADVANCED CIVIL DESIGN
TOM WARNER
422 BEECHER ROAD
GAHANNA, OH 43230
614-428-7750



REVISIONS

CERTIFICATE OF APPROPRIATENESS

TAYLOR POINTE
779 CROSS POINTE RD. GAHANNA OH 43230

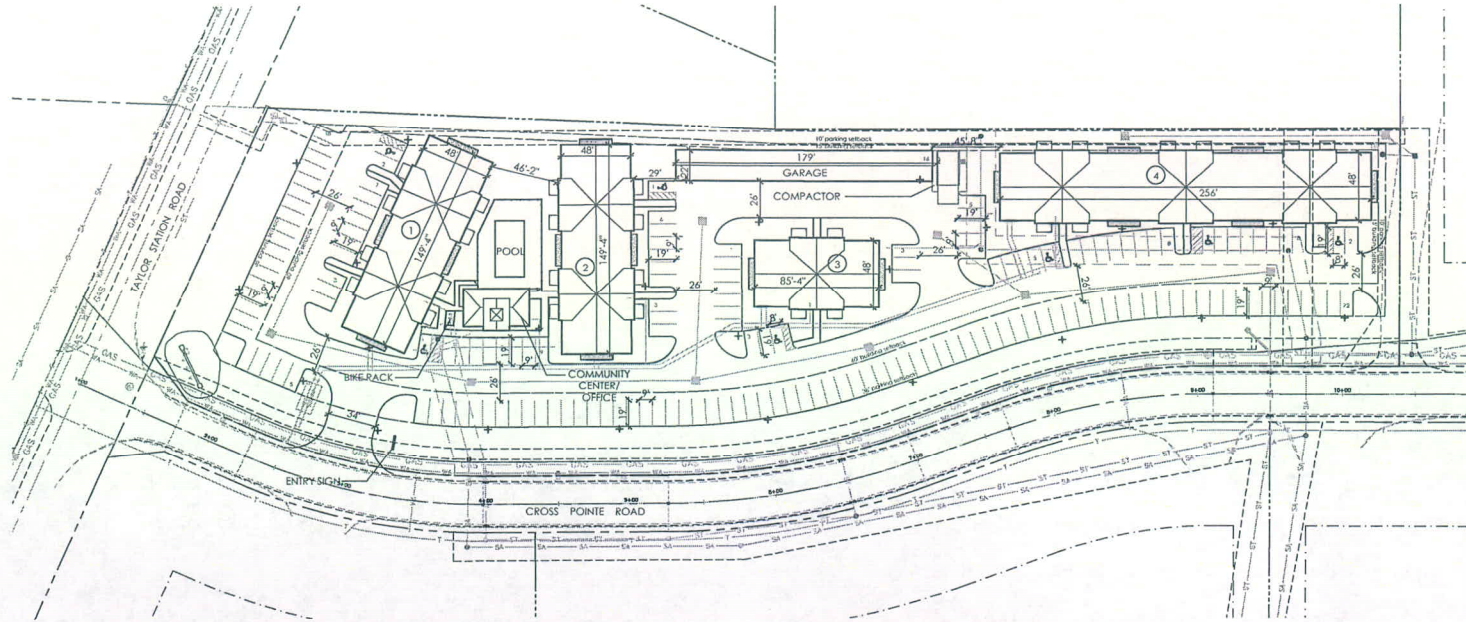
PREPARED FOR
KENNEY COMPANIES
470 OLDE WORTHINGTON RD. WESTERVILLE OH 43062

Faris Planning & Design

LAND PLANNING
FARIS PLANNING & DESIGN LLC
243 N. 5TH STREET
SUITE 401
COLUMBUS, OH 43215
P 614 487-1964
WWW.FARISPLANNINGANDDESIGN.COM

DATE	7/24/13
PROJECT	13027
SHEET	

COA-1



SITE DATA

ZONING	OCT (OFFICE, COMMERCE & TECHNOLOGY)
TOTAL ACRES	+/-4.141 AC. (180,382 SF)
TOTAL SUITES	96
TOTAL BUILDING AREA	37,074.7 SF
PROPOSED BUILDING HEIGHT	35' MAX (PRIMARY STRUCTURES)
PARKING PROVIDED	183 (1.9 SP/SUITE)
SURFACE	167
GARAGE	16
SETBACKS REQUIRED	SEE PLAN

DEVELOPMENT CALCULATIONS

PARKING	
SQUARE FOOTAGE OF BLDGS.	37,074.7 SF
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LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
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STREET TREES		
SHALL BE INSTALLED ALONG PUBLIC ROAD FRONTAGES (MIN. 1 1/2 CALIPER INCH TREE)	LARGE TREES -45" O.C., MEDIUM -35" O.C., SMALL - 25" O.C.	EXISTING
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RESIDENTIAL ZONE ADJOINING ANY COMMERCIAL ZONE-ONE TREE PER 40' AND A CONTINUOUS 6' HIGH PLANTING, HEDGE, FENCE, WALL, OR EARTH MOUND	SEE LEFT	ONE TREE PER 40' AND CONTINUOUS HEDGE

VICINITY MAP



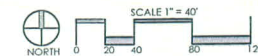
PROJECT TEAM

OWNER:
SEE APPLICANT

APPLICANT:
KENNEY COMPANIES
DON KENNEY JR.
470 OLDE WORTHINGTON ROAD, SUITE 100
WESTERVILLE, OH 43082
614-540-2400

LAND PLANNER/LANDSCAPE ARCHITECT:
FAIRIS PLANNING & DESIGN LLC
TODD FAIRIS
243 N. 5TH STREET, SUITE 401
COLUMBUS, OH 43215
614-467-1964

CIVIL ENGINEER/SURVEYOR:
ADVANCED CIVIL DESIGN
TOM WALKER
422 BEECHER ROAD
GAHANNA, OH 43230
614-428-7750



REVISIONS	

FINAL DEVELOPMENT PLAN

TAYLOR POINT
799 CROSS POINTE RD. GAHANNA, OH 43230
PREPARED FOR
KENNEY COMPANIES
470 OLDE WORTHINGTON RD., WESTERVILLE, OH 43082

Fairis Planning & Design
LAND PLANNING
243 N. 5TH STREET
P.O. BOX 487-1964
COLUMBUS, OH 43215
www.fairisplanningdesign.com

DATE	7/24/13
PROJECT	13027
SHEET	

DP-1

GENERAL PLANTING NOTES:

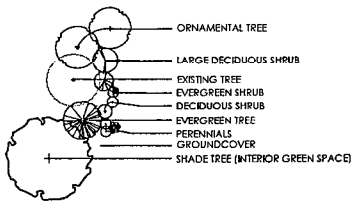
1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE FILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES:

1. LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
2. LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
3. MULCH AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
4. CONCRETE SIDEWALK
5. COMPACTOR ENCLOSURE, SEE DETAIL 7, SHEET SD-1 FOR MORE INFORMATION.
6. POOL FENCE, SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
7. A/C CONDENSOR SCREENING FENCE, SEE DETAIL 6, SHEET SD-1 FOR MORE INFORMATION.
8. ENTRY SIGN, SEE SHEET GS-1 FOR MORE INFORMATION.
9. LIGHT POLE 18' HGT, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.
10. BIKE RACK, SEE DETAIL 5, SHEET SD-1 FOR MORE INFORMATION.
11. LIGHT POLE TO BE MOUNTED ON GARAGE, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
INTERIOR PARKING LOT STANDARDS		
INTERIOR GREEN SPACE - TOTAL PAVEMENT AREA = 66,435.2 SF		
INTERIOR LANDSCAPE AREA	3,321.8 SF (5%)	4,514.25 SF (7%)
TREES - 1 PER 100 SF OF REQUIRED LANDSCAPE AREA (MIN. 2" CALIPER)	33 TREES	37 TREES
SCREENING		
PARKING LOT SCREENING - ANY PARKING LOT ADJACENT TO PUBLIC ROW SHALL BE SCREENED WITH EVERGREEN HEDGE, MASONRY WALL, MOUND OR COMBINATION THEREOF TO A HEIGHT OF 3'	3' HGT SCREEN	PROVIDED
STREET TREES		
SHALL BE INSTALLED ALONG PUBLIC ROAD FRONTS (MIN. 1 1/2 CALIPER INCH TREE)	LARGE TREES - 45" O.C., MEDIUM - 35" O.C., SMALL - 25" O.C.	EXISTING
PERIMETER SCREENING		
RESIDENTIAL ZONE ADJOINING ANY COMMERCIAL ZONE - ONE TREE PER 40' AND A CONTINUOUS 6' HIGH PLANTING, HEDGE, FENCE, WALL, OR EARTH MOUND	SEE LEFT	ONE TREE PER 40' AND CONTINUOUS HEDGE

PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
TREES						
12	AFS	ACER X FREEMANTII 'SIENNA GLEN'	SIENNA GLEN MAPLE	2" CAL.	B&B	
10	GBP	GINKGO BILOBA 'PRINCETON SENTINEL'	PRINCETON SENTINEL GINKGO	2" CAL.	B&B	
8	UP	ULMUS PARVIFLORA	LACEBARK ELM	2" CAL.	B&B	
7	ZGO	ZELKOVA SERPATA 'GREEN VASE'	GREEN VASE ZELKOVA	2" CAL.	B&B	
13	ACG	AMELANCHIER CANADENSIS 'GLENFORM'	GLENFORM SERVICEBERRY	1 1/2" CAL.	B&B	
4	SRI	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	1 1/2" CAL.	B&B	
3	PPG	PICEA PUNGENS GLAUCA	COLORADO BLUE SPRUCE	6" HGT.	B&B	
SHRUBS						
17	JCH	JUNIPERUS CHINENSIS 'HOOKS'	HOOKS JUNIPER	5' HGT	B&B	
53	SBG	SPIRAEA BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	18" SPRD.	B&B	
79	BMW	BUXUS MICROPHYLLA 'WINTERGEM'	WINTERGEM BOXWOOD	18" HGT	B&B	
18	BTN	BERBERIS THUNBERGII VAR. ATRO. 'NANA'	CRIMSON PIGMY BARBERY	18" HGT.	B&B	
339	JCS	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24" HGT.	B&B	
44	JVG	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	24" HGT.	B&B	
102	VIB	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	30" HGT.	B&B	
73	TAW	TAXUS X MEDIA 'WARDII'	WARDS YEW	24" SPRD.	B&B	
10	HME	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	24" HGT.	B&B	
50	IVH	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPICE	24" HGT.	B&B	
PERENNIALS/ORNAMENTAL GRASSES						
134	HHR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	NO. 1	CONT.	
7	NFW	NEPETA FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	NO. 1	CONT.	
8	PAC	PENISTEFUM ALOPECUROIDES 'CASSAIN'	CASAIN DWARF FINE GRASS	NO. 1	CONT.	
40	SNM	SALVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT MEADOW SAGE	NO. 1	CONT.	



REVISIONS

OVERALL LANDSCAPE PLAN

TAYLOR POINTE
799 CROSS POINTE RD., COLUMBUS, OH 43202

PREPARED FOR
KENNEY COMPANIES
470 OLDE NORTHINGTON RD., WESTERVILLE, OH 43082

Paris Planning & Design
LANDSCAPE ARCHITECTURE
247 N. 3rd Street
Suite 401
Columbus, OH 43215
614.462.7164
www.parisplanninganddesign.com

DATE 7/24/13

PROJECT 13027

SHEET

L-1

GENERAL PLANTING NOTES:

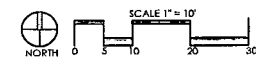
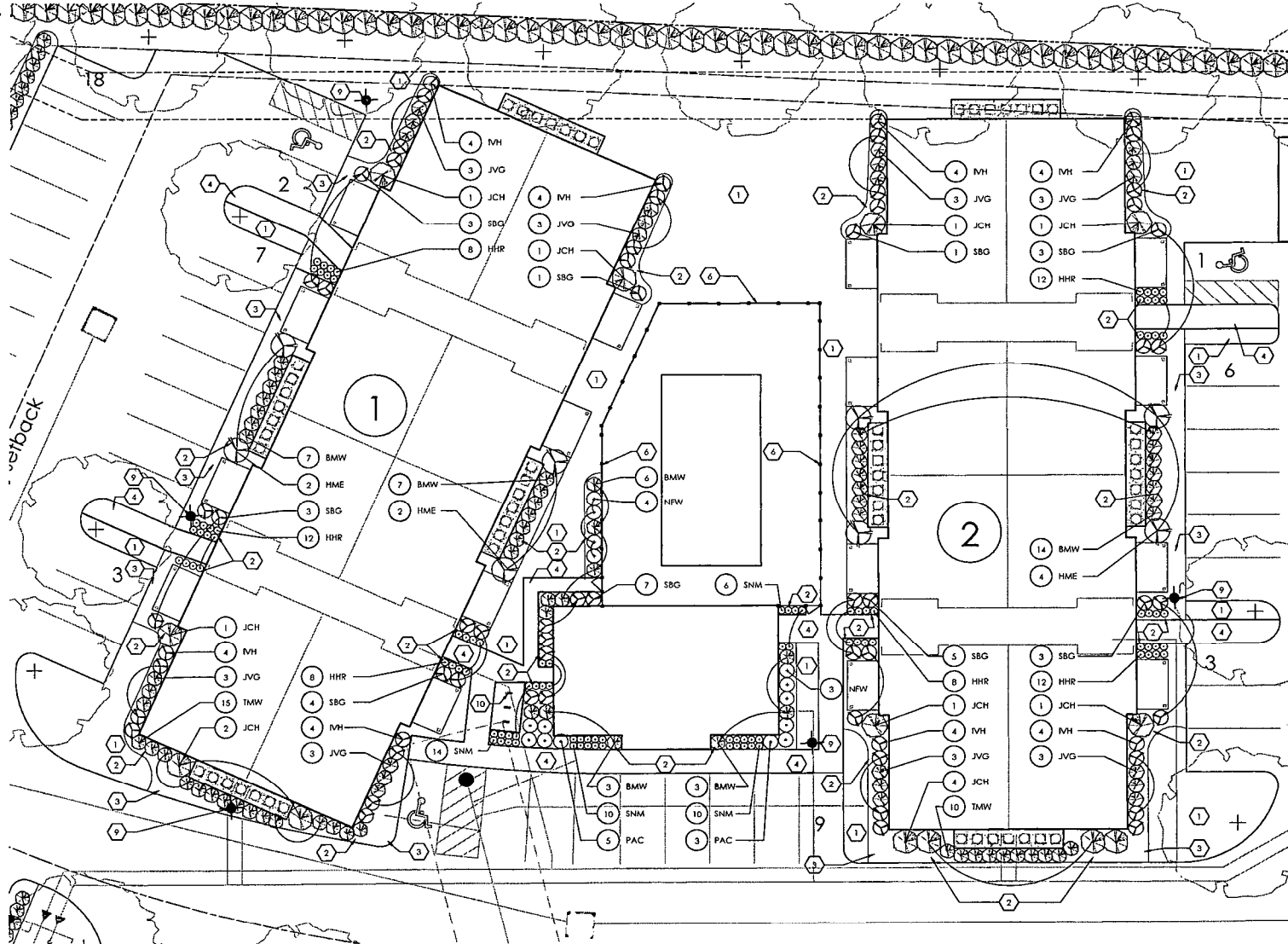
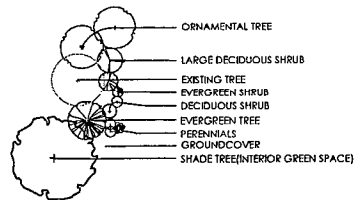
1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES:

1. LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
2. LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
3. MULCH AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
4. CONCRETE SIDEWALK
5. COMPACTOR ENCLOSURE, SEE DETAIL 7, SHEET SD-1 FOR MORE INFORMATION.
6. POOL FENCE, SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
7. A/C CONDENSOR SCREENING FENCE, SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
8. ENTRY SIGN, SEE SHEET GS-1 FOR MORE INFORMATION.
9. LIGHT POLE 18' HGT, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METERIC PLAN.
10. BIKE RACK, SEE DETAIL 5, SHEET SD-1 FOR MORE INFORMATION.
11. LIGHT POLE TO BE MOUNTED ON GARAGE, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METERIC PLAN.

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



REVISIONS	

CABANA/POOL
ENLARGEMENT
PLANTING PLANS

TAYLOR POINT
777 CROSS POINT RD. GAYMAN, OH 43028

PREPARED BY
KENNEY COMPANIES
470 OLDE NORTHINGTON RD., WESTERVILLE, OH 43082

Paris Planning & Design
LANDSCAPE ARCHITECTURE
240 N. 31st Street
Columbus, OH 43215
p 614.481.1164
www.parisplanninganddesign.com

DATE	7/24/13
PROJECT	13027
SHEET	

L-2

GENERAL PLANTING NOTES:

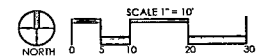
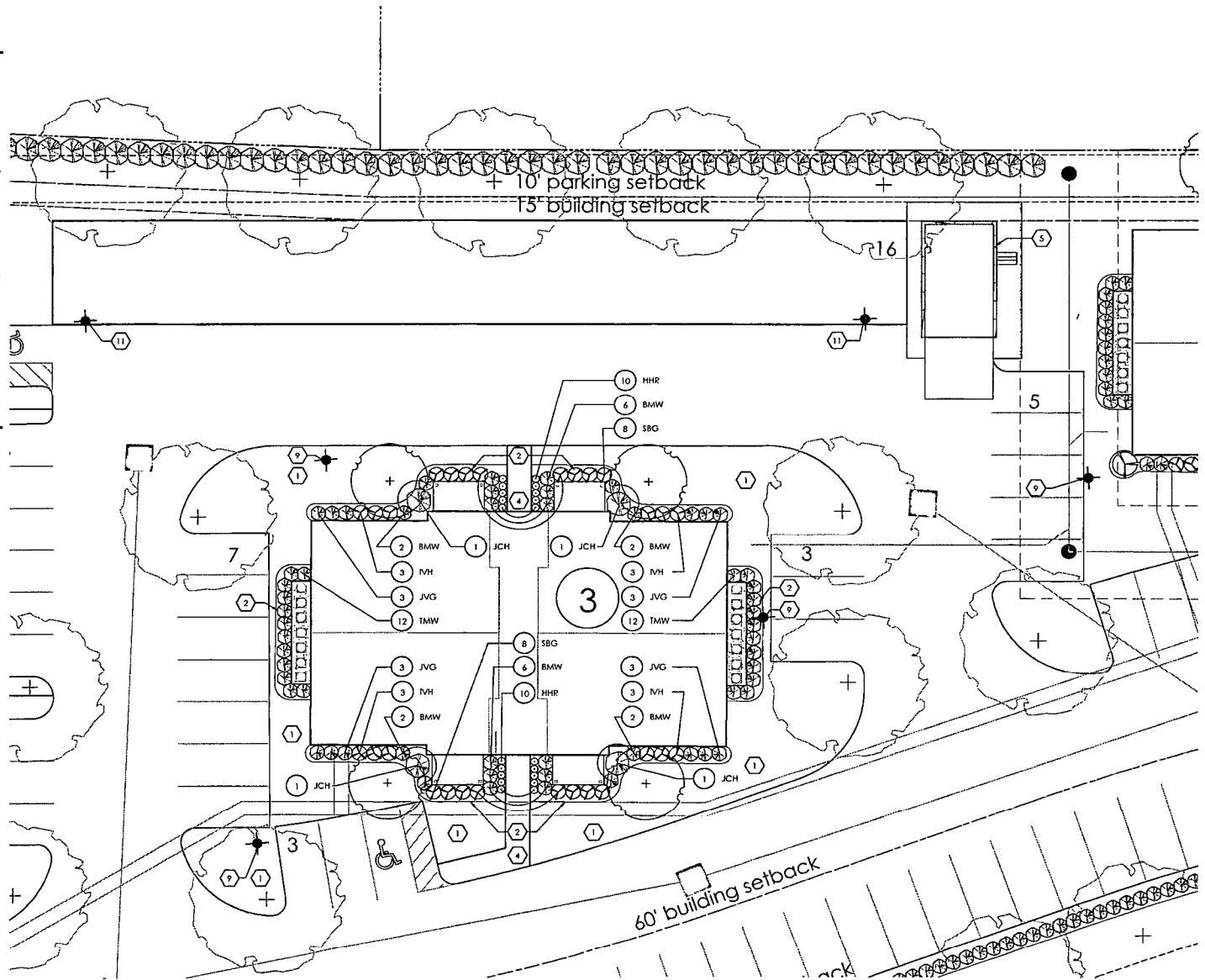
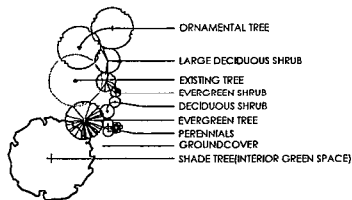
1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES:

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2. LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
3. MULCH AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
4. CONCRETE SIDEWALK
5. COMPACTOR ENCLOSURE, SEE DETAIL 7, SHEET SD-1 FOR MORE INFORMATION.
6. POOL FENCE, SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
7. A/C CONDENSER SCREENING FENCE, SEE DETAIL 6, SHEET SD-1 FOR MORE INFORMATION.
8. ENTRY SIGN, SEE SHEET GS-1 FOR MORE INFORMATION.
9. LIGHT POLE 18' HGT, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.
10. RIFK RACK, SEE DETAIL 5, SHEET SD-1 FOR MORE INFORMATION.
11. LIGHT POLE TO BE MOUNTED ON GARAGE, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



REVISIONS

CENTRAL FOUNDATION PLANTING PLANS

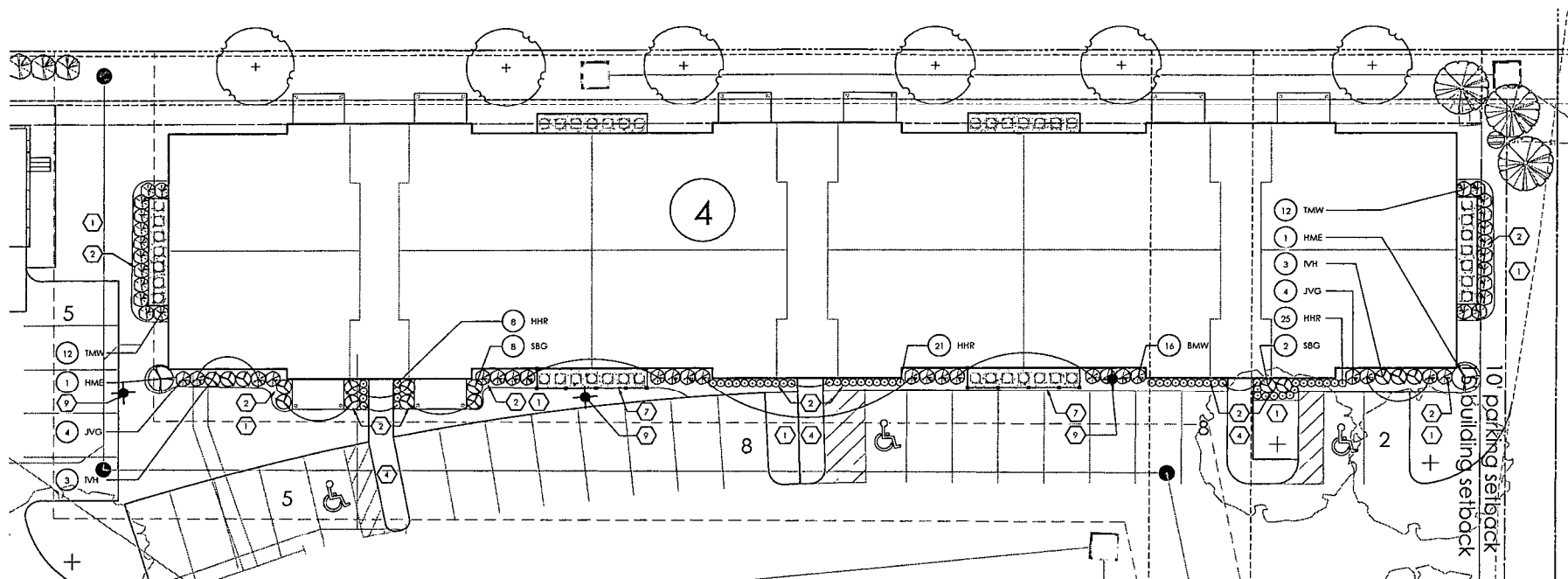
TAYLOR POINTE
779 CROSS FORDE RD. GAYANNA OH 43208

PREPARED FOR
KENNEY COMPANIES
470 OLIVE WORTHINGTON RD. WESTERVILLE OH 43082

Paris Planning & Design
LANDSCAPE ARCHITECTURE
248 N. 3rd Street
Suite 401
Columbus, OH 43215
p 614 427-7144
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PROJECT	13027
SHEET	

L-3



1 EAST FOUNDATION PLANTING PLAN
SCALE: 1" = 10'

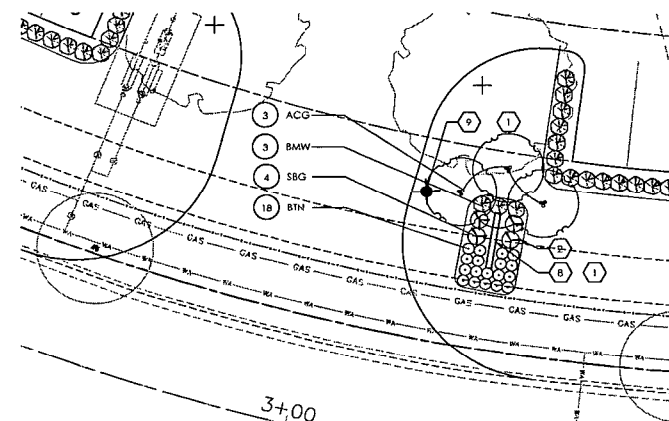
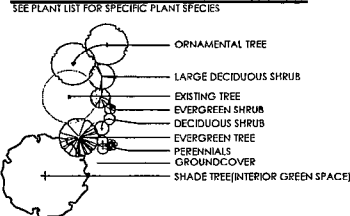
GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSEYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
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6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
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9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES:

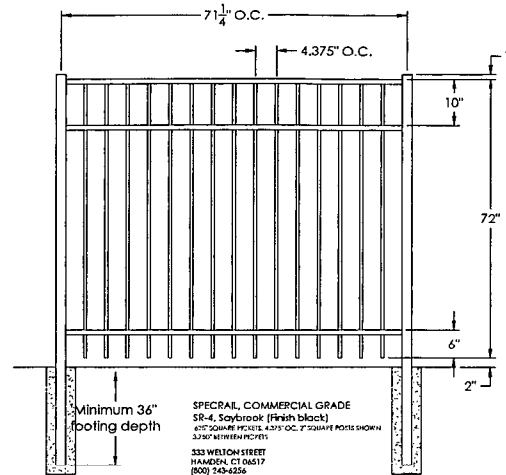
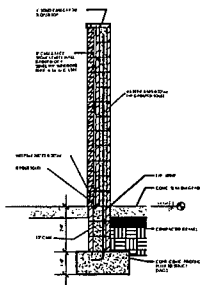
1. LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
2. LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
3. MULCH AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
4. CONCRETE SIDEWALK
5. COMPACTOR ENCLOSURE, SEE DETAIL 7, SHEET SD-1 FOR MORE INFORMATION.
6. POOL FENCE, SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
7. A/C CONDENSOR SCREENING FENCE, SEE DETAIL 6, SHEET SD-1 FOR MORE INFORMATION.
8. ENTRY SIGN, SEE SHEET GS-1 FOR MORE INFORMATION.
9. LIGHT POLE 18' HGT, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.
10. BIKE RACK, SEE DETAIL 5, SHEET SD-1 FOR MORE INFORMATION.
11. LIGHT POLE TO BE MOUNTED ON GARAGE, SEE EXHIBIT SL-1 FOR DETAILED SPECIFICATION AND PHOTO METRIC PLAN.

PLANT KEY TYPICALS

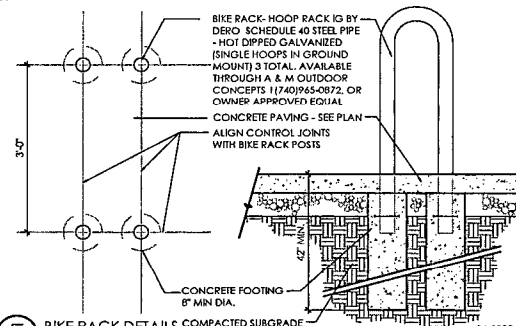


2 PRIMARY ENTRY PLANTING PLAN
SCALE: 1" = 10'

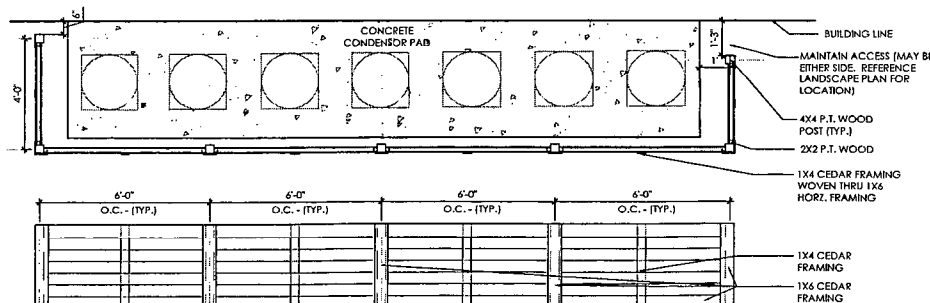
REVISIONS	
EAST FOUNDATION PLANTING PLANS	
<p>TAYLOR POINTE 799 CROSS POINTE RD. GANANHA OH 43230</p> <p>PREPARED BY KENNEY COMPANIES 470 OLIVE WORTHINGTON RD. WESTERNLE OH 43082</p>	
<p>Paris Planning & Design LANDSCAPE ARCHITECTURE 2514 JIN STREET SUITE 420 COLUMBUS, OH 43215 614.421.1114 www.parisplanninganddesign.com</p>	
DATE	7/24/13
PROJECT	13027
SHEET	
L-4	



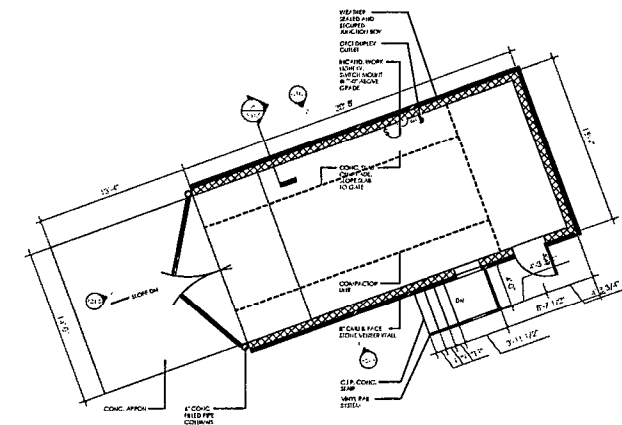
4 FENCE-POOL
N.T.S.



5 BIKE RACK DETAILS
N.T.S.



6 A/C CONDENSOR SCREENING FENCE
N.T.S.



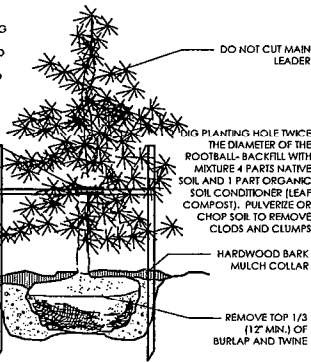
7 COMPACTOR ENCLOSURE
SCALE: N.T.S.

NOTE:
THE AMOUNT OF TREE AND SHRUB PRUNING
SHALL BE LIMITED TO THE MINIMUM
NECESSARY TO REMOVE DEAD OR INJURED
TWIGGS & BRANCHES. RETAIN NORMAL
SHAPE. PLANT TREES AND EVERGREENS SO
THE ROOT FLARE IS 2\"-3\" ABOVE FINISH
GRADE.

FLEXIBLE TREE WEAVING
MATERIAL 2\"-WIDE
GREEN COLOR-TE AT 4'
HGT OF TREE

2\" X 2\" X 8\" WOOD
STAKE, 3 PER TREE UP
TO 7' HEIGHT

DRIVE STAKES TO 18\"
BELOW PIT

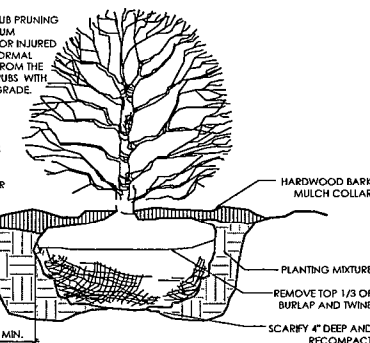


1 EVERGREEN TREE UNDER 7' HGT.
N.T.S.

01-1100

NOTE:
THE AMOUNT OF TREE AND SHRUB PRUNING
SHALL BE LIMITED TO THE MINIMUM
NECESSARY TO REMOVE DEAD OR INJURED
TWIGGS & BRANCHES. RETAIN NORMAL
SHAPE. REMOVE EXCESS SOIL FROM THE
TOP OF ROOT MASS. PLANT SHRUBS WITH
TOP OF ROOT MASS AT FINISH GRADE.

DIG PLANTING HOLE TWICE THE
DIAMETER OF THE ROOTBALL-
BACKFILL WITH MIXTURE 4 PARTS
NATIVE SOIL AND 1 PART
ORGANIC SOIL CONDITIONER
(LEAF COMPOST). PULVERIZE OR
CHOP SOIL TO REMOVE CLODS
AND CLUMPS



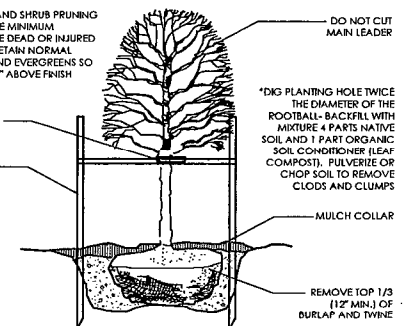
2 SHRUB PLANTING DETAIL
N.T.S.

01-1300

NOTE:
THE AMOUNT OF TREE AND SHRUB PRUNING
SHALL BE LIMITED TO THE MINIMUM
NECESSARY TO REMOVE DEAD OR INJURED
TWIGGS & BRANCHES. RETAIN NORMAL
SHAPE. PLANT TREES AND EVERGREENS SO
THE ROOT FLARE IS 2\"-3\" ABOVE FINISH
GRADE

FLEXIBLE TREE WEAVING
MATERIAL 2\"-WIDE-
GREEN COLOR

2\" X 2\" X 8\" WOOD
STAKE, 2 PER TREE



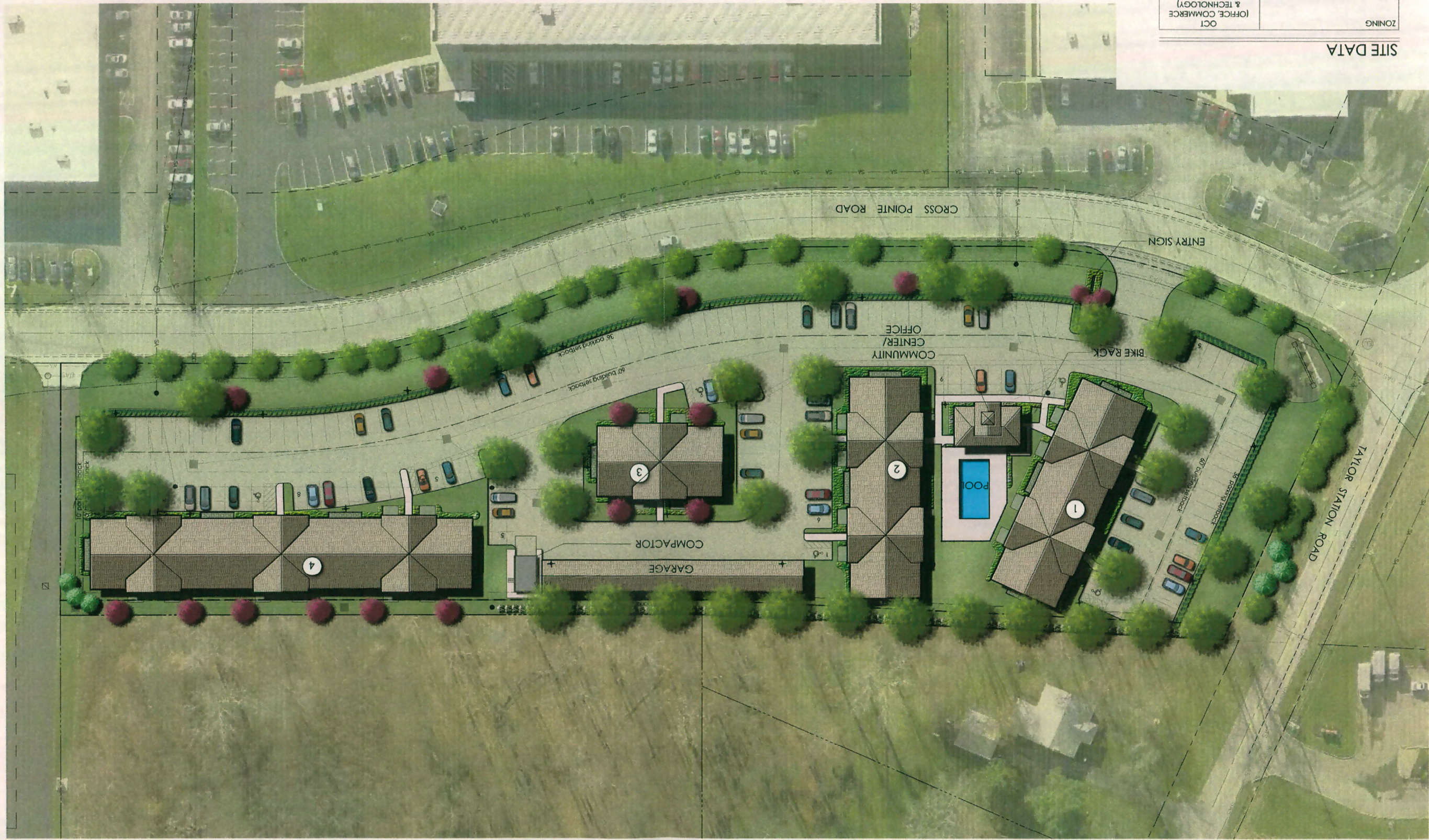
3 DECIDUOUS TREE
N.T.S.

01-1001

REVISIONS	
SITE DETAILS	
TAYLOR POINT 799 CROSS FORGE RD. GANAMA OH 43230	
KENNEY COMPANIES 4070 CUE WORTHINGTON RD. WESTERVILLE OH 43082	
Paris Planning & Design LAND PLANNING & LANDSCAPE ARCHITECTURE 201 N. 4th Street Suite 402 Columbus, OH 43201 614.467.7844 www.parisplanninganddesign.com	
DATE	7/24/13
PROJECT	13027
SHEET	
SD-1	

ZONING	
OCT	(OFFICE, COMMERCE & TECHNOLOGY)
TOTAL ACRES	
+/-4.141 AC. (180,382 SF)	
TOTAL SUITES	
96	
TOTAL BUILDING AREA	
37,074.7SF	
PROPOSED BUILDING HEIGHT	
35' MAX (PRIMARY STRUCTURES)	
PARKING PROVIDED	
183 (1.9 SP/SUITE)	
SURFACE	
167	
GARAGE	
16	

SITE DATA



ILLUSTRATIVE PLAN

TAYLOR POINTE

779 CROSS POINTE RD. GAHANNA OH 43230
KENNEY COMPANIES
470 OLDE WORTHINGTON RD., WESTERVILLE OH, 43082

Paris Planning & Design

LAND PLANNING
245 N. 5th Street
P 614 487-1964
LANDSCAPE ARCHITECTURE
Suite 401
www.parisplanninganddesign.com

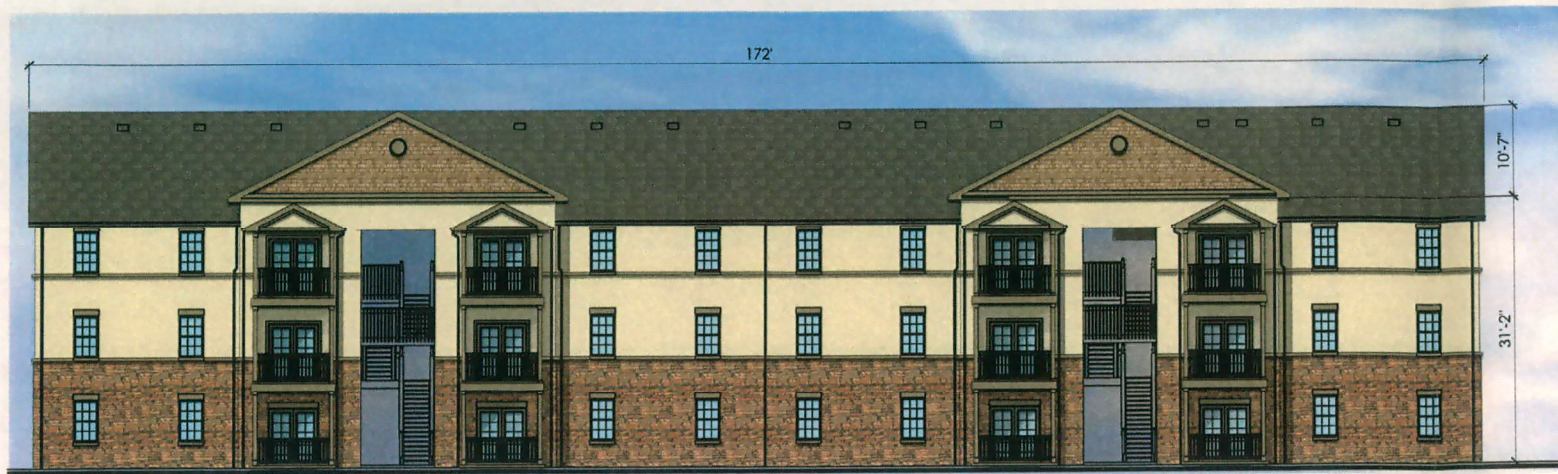
DATE 6/12/13

PROJECT 13027

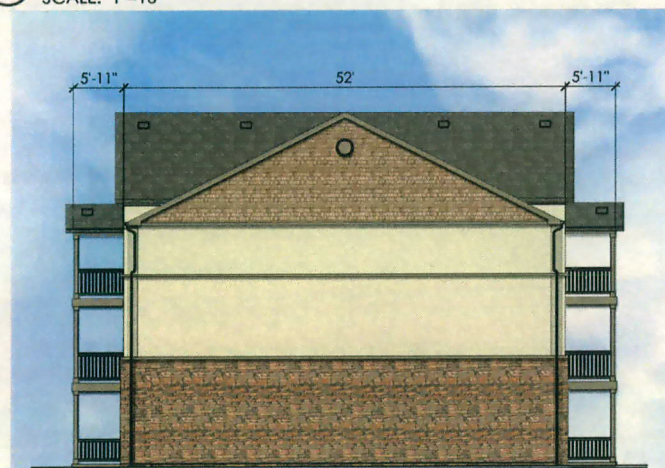
SHEET

IL-1

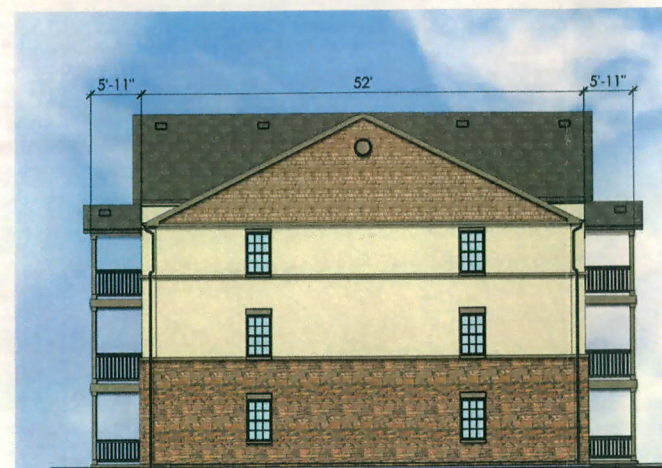
REVISIONS



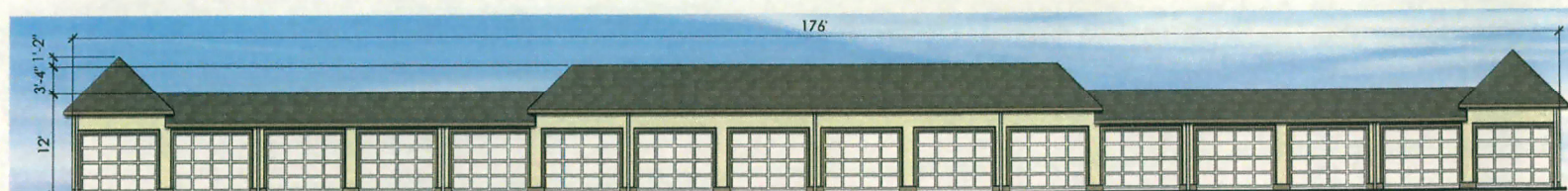
1 3 STORY-24 UNIT BUILDING(TYPICAL ELEVATION WITH PATIOS & DECKS)
SCALE: 1"=10'



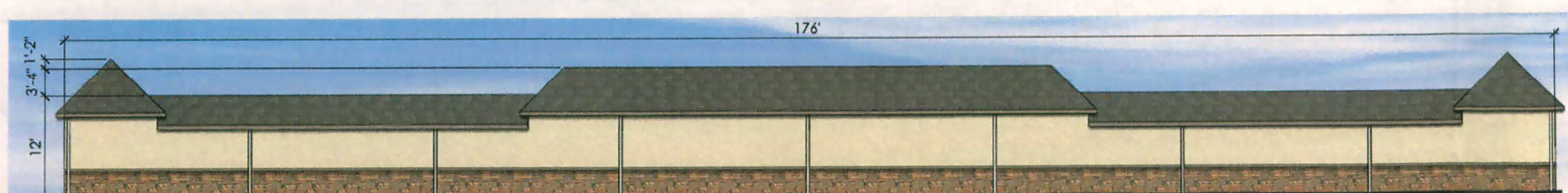
2 3 STORY-24 UNIT BUILDING (TYPICAL SIDE ELEVATION)
SCALE: 1"=10'



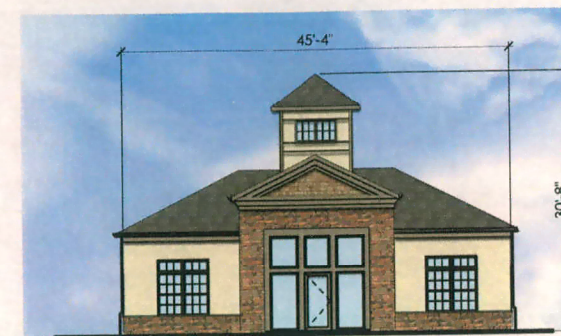
3 3 STORY-24 UNIT BUILDING
(SOUTH FACING SIDE ELEVATION FOR BUILDING #1 & #2)
SCALE: 1"=10'



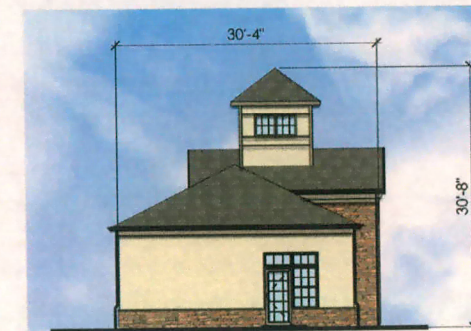
4 GARAGE ELEVATION(FRONT)
SCALE: 1"=10'



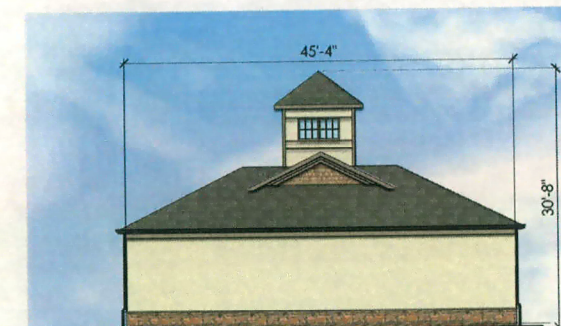
5 GARAGE ELEVATION(REAR)
SCALE: 1"=10'



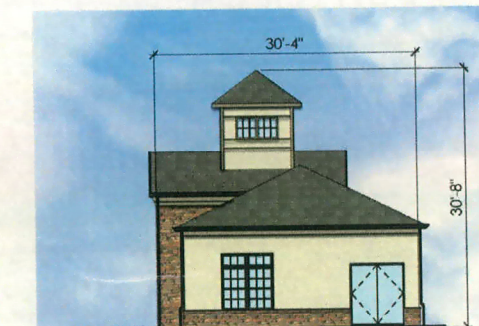
6 CLUBHOUSE (FRONT)
SCALE: 1"=10'



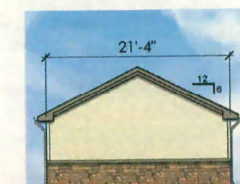
9 CLUBHOUSE (WEST)
SCALE: 1"=10'



7 CLUBHOUSE (REAR)
SCALE: 1"=10'

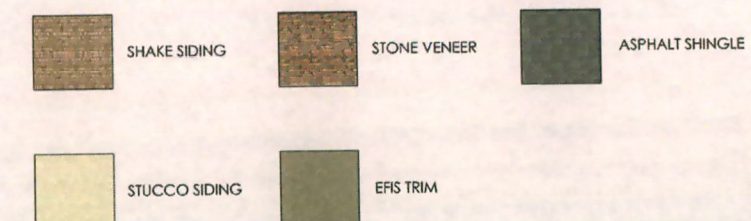


10 CLUBHOUSE (EAST)
SCALE: 1"=10'



8 GARAGE ELEVATION(SIDE)
SCALE: 1"=10'

ARCHITECTURAL MATERIALS KEY



REVISIONS	
ILLUSTRATIVE ELEVATIONS	

TAYLOR POINTE
799 CROSS POINTE RD. GAHANNA OH 43230
PREPARED FOR
KENNEY COMPANIES
470 OLDE WORTHINGTON RD., WESTERVILLE OH, 43082

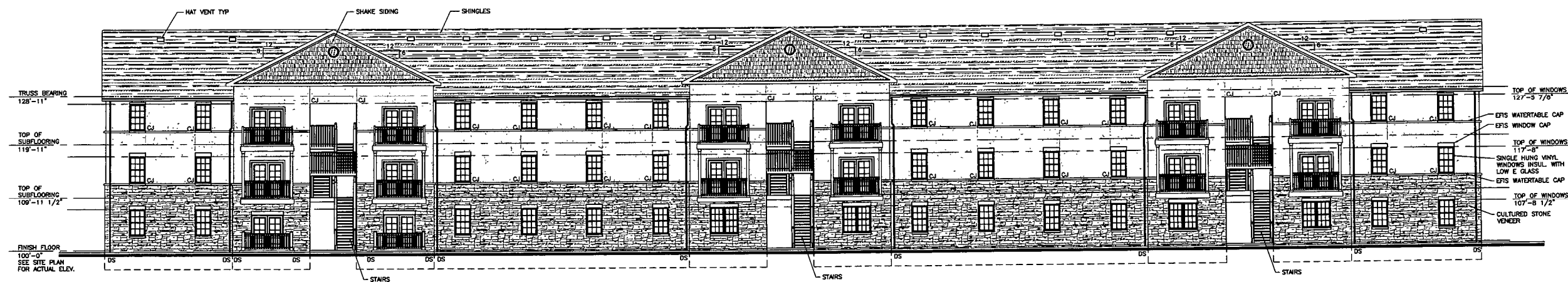
Paris Planning & Design
LANDSCAPE ARCHITECTURE
242 N. 5th Street
P.O. Box 401
Columbus, OH 43211
www.parisplanninganddesign.com

DATE	7/24/13
PROJECT	13027
SHEET	

AR-1



① BUILDING 4 ELEVATION (REAR)
SCALE: 1"=10'



② BUILDING 4 ELEVATION (FRONT)
SCALE: 1"=10'

REVISIONS	

BUILDING 4 ELEVATION

TAYLOR POINTE

799 CROSS POINTE RD. GAHANNA OH 43230

PREPARED FOR
KENNEY COMPANIES
470 OLDE WORTHINGTON RD., WESTERVILLE OH. 43082

Paris Planning & Design

LANDSCAPE ARCHITECTURE

243 N. S. 1st Street
P.O. Box 417-1964

Site 401
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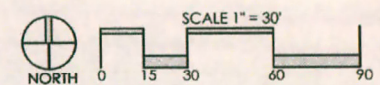
DATE	7/24/13
PROJECT	13027
SHEET	

AR-2



SITE DATA

ZONING	OCT (OFFICE, COMMERCE & TECHNOLOGY)
TOTAL ACRES	+/- 4.141 AC. (180,382 SF)
TOTAL SUITES	96
TOTAL BUILDING AREA	37,074.75F
PROPOSED BUILDING HEIGHT	35' MAX (PRIMARY STRUCTURES)
PARKING PROVIDED	183 (1.9 SP/SUITE)
SURFACE	167
GARAGE	16



REVISIONS	

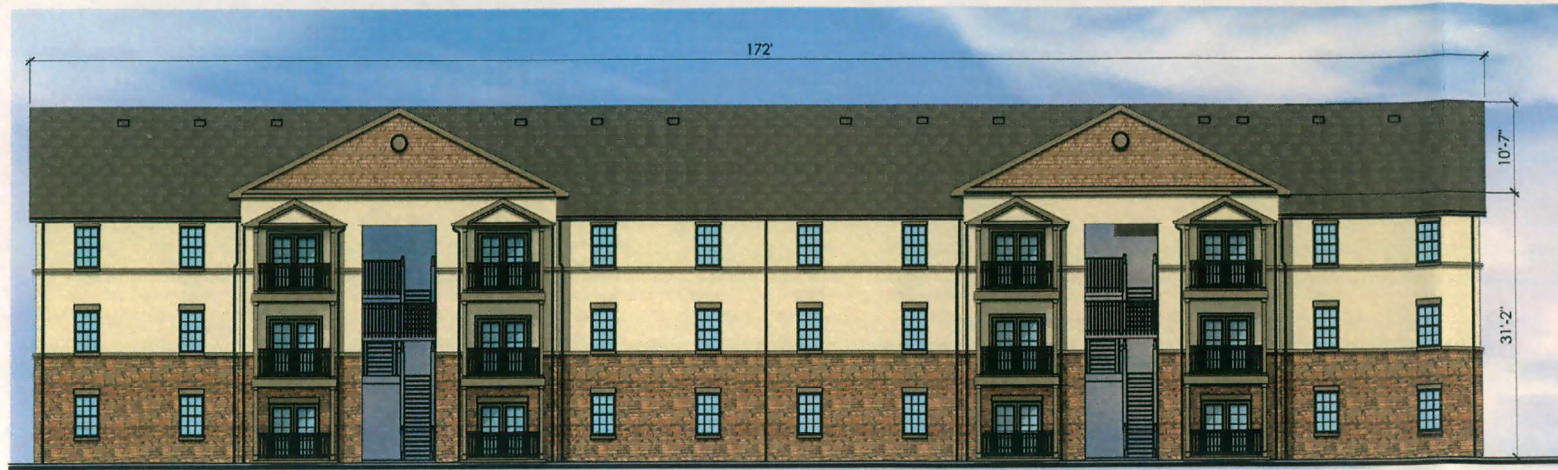
ILLUSTRATIVE PLAN

TAYLOR POINTE
 799 CROSS POINTE RD. GAHANNA OH 43230
 PREPARED FOR
KENNEY COMPANIES
 470 OLDE WORTHINGTON RD., WESTERVILLE OH. 43082

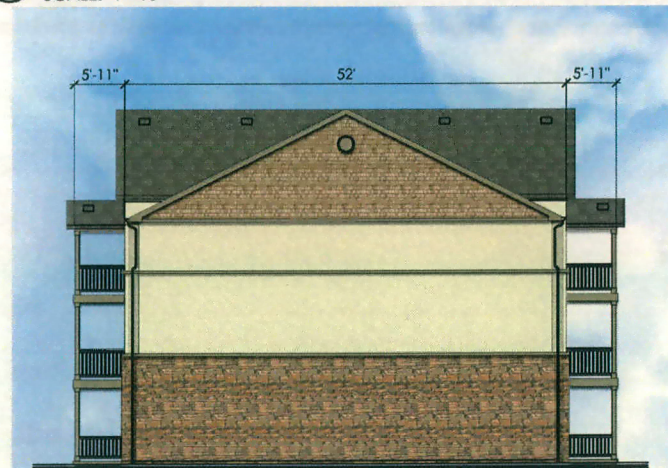
Faris Planning & Design
 LAND PLANNING
 243 N. 5th Street
 Suite 401
 Columbus, OH 43215
 P (614) 487-1964
 WWW.FARISPLANNINGANDDESIGN.COM

DATE	6/12/13
PROJECT	13027
SHEET	

IL-1



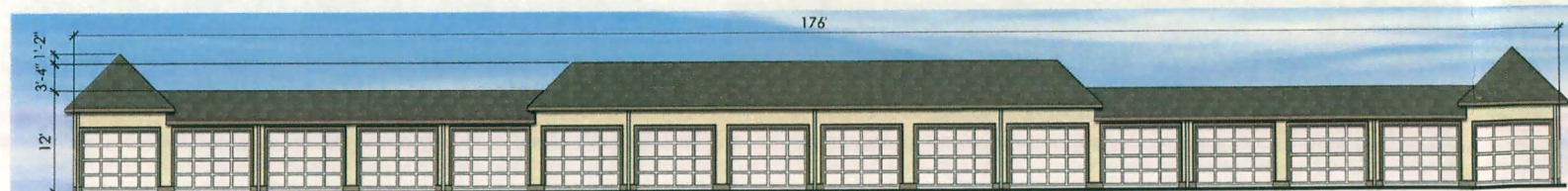
1 3 STORY-24 UNIT BUILDING (TYPICAL ELEVATION WITH PATIOS & DECKS)
SCALE: 1"=10'



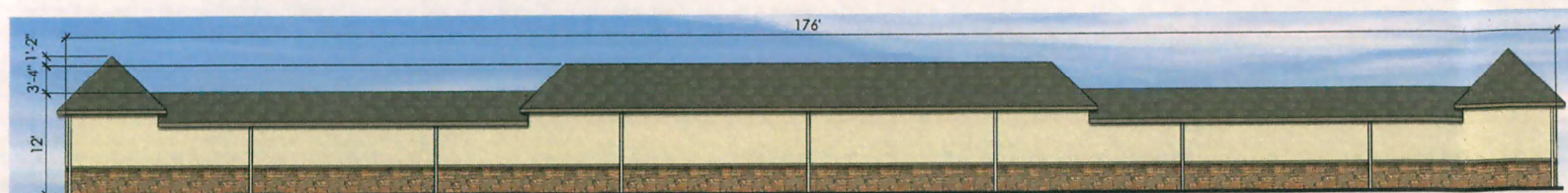
2 3 STORY-24 UNIT BUILDING (TYPICAL SIDE ELEVATION)
SCALE: 1"=10'



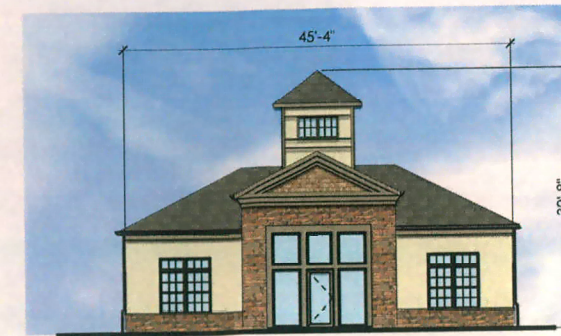
3 3 STORY-24 UNIT BUILDING
(SOUTH FACING SIDE ELEVATION FOR BUILDING #1 & #2)
SCALE: 1"=10'



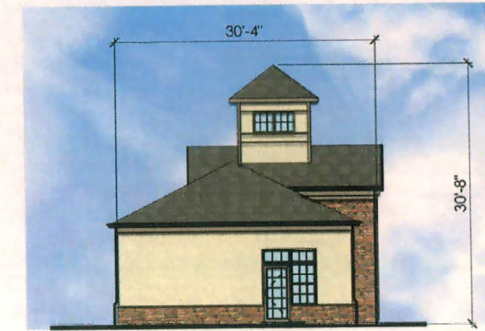
4 GARAGE ELEVATION (FRONT)
SCALE: 1"=10'



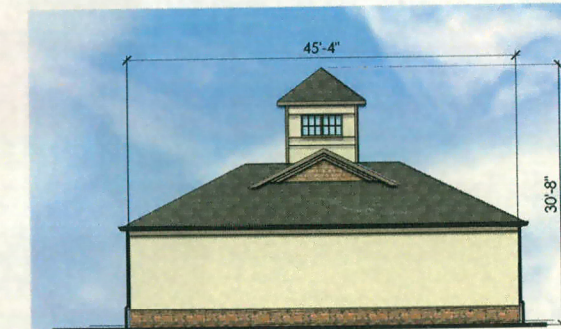
5 GARAGE ELEVATION (REAR)
SCALE: 1"=10'



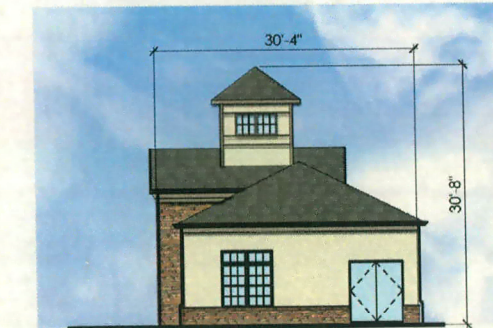
6 CLUBHOUSE (FRONT)
SCALE: 1"=10'



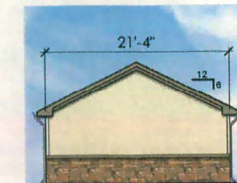
9 CLUBHOUSE (WEST)
SCALE: 1"=10'



7 CLUBHOUSE (REAR)
SCALE: 1"=10'

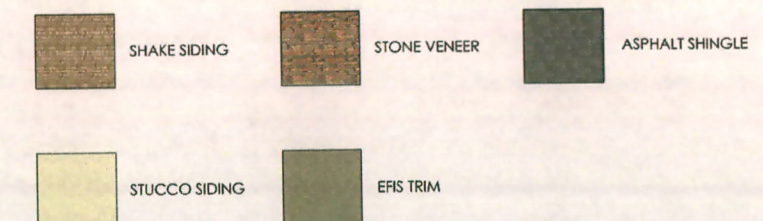


10 CLUBHOUSE (EAST)
SCALE: 1"=10'



8 GARAGE ELEVATION (SIDE)
SCALE: 1"=10'

ARCHITECTURAL MATERIALS KEY



REVISIONS	

ILLUSTRATIVE ELEVATIONS

TAYLOR POINTE
799 CROSS POINTE RD. GAHANNA OH 43230
PREPARED FOR
KENNEY COMPANIES
470 OLDE WORTHINGTON RD., WESTERVILLE OH 43082

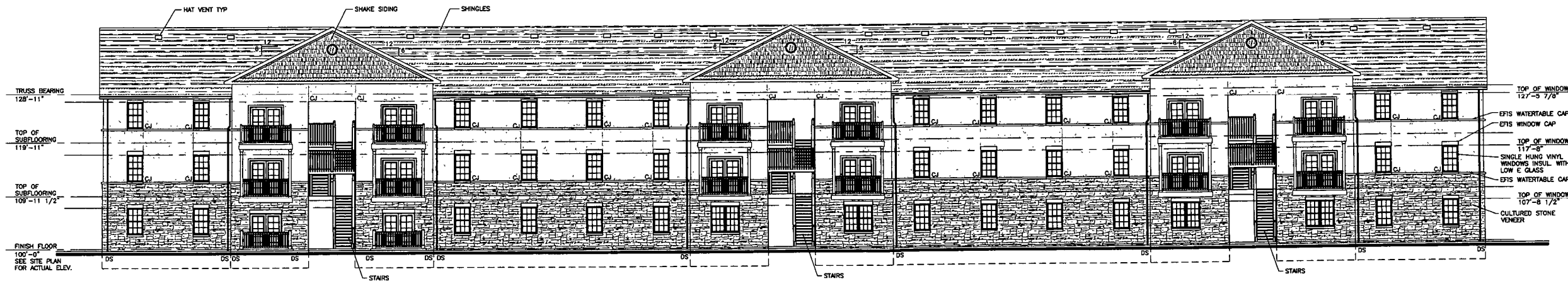
Paris Planning & Design
LANDSCAPE ARCHITECTURE
243 N. 5th Street
Suite 401
Columbus, OH 43215
p 614.487.1964
www.parisplanninganddesign.com

DATE	7/24/13
PROJECT	13027
SHEET	

AR-1



1 BUILDING 4 ELEVATION (REAR)
SCALE: 1"=10'



2 BUILDING 4 ELEVATION (FRONT)
SCALE: 1"=10'

REVISIONS	
BUILDING 4 ELEVATION	
<p>TAYLOR POINTE 799 CROSS POINTE RD. GAHANNA OH 43230</p> <p>PREPARED FOR KENNEY COMPANIES 470 OLDE WORTHINGTON RD., WESTERVILLE OH. 43082</p>	
<p>Paris Planning & Design</p> <p>LAND PLANNING LANDSCAPE ARCHITECTURE 243 N. 5th Street Columbus, OH 43215 P (614) 487-1764 Suite 401 www.parisplanninganddesign.com</p>	
DATE	7/24/13
PROJECT	13027
SHEET	
AR-2	

STORMWATER MANAGEMENT NARRATIVE

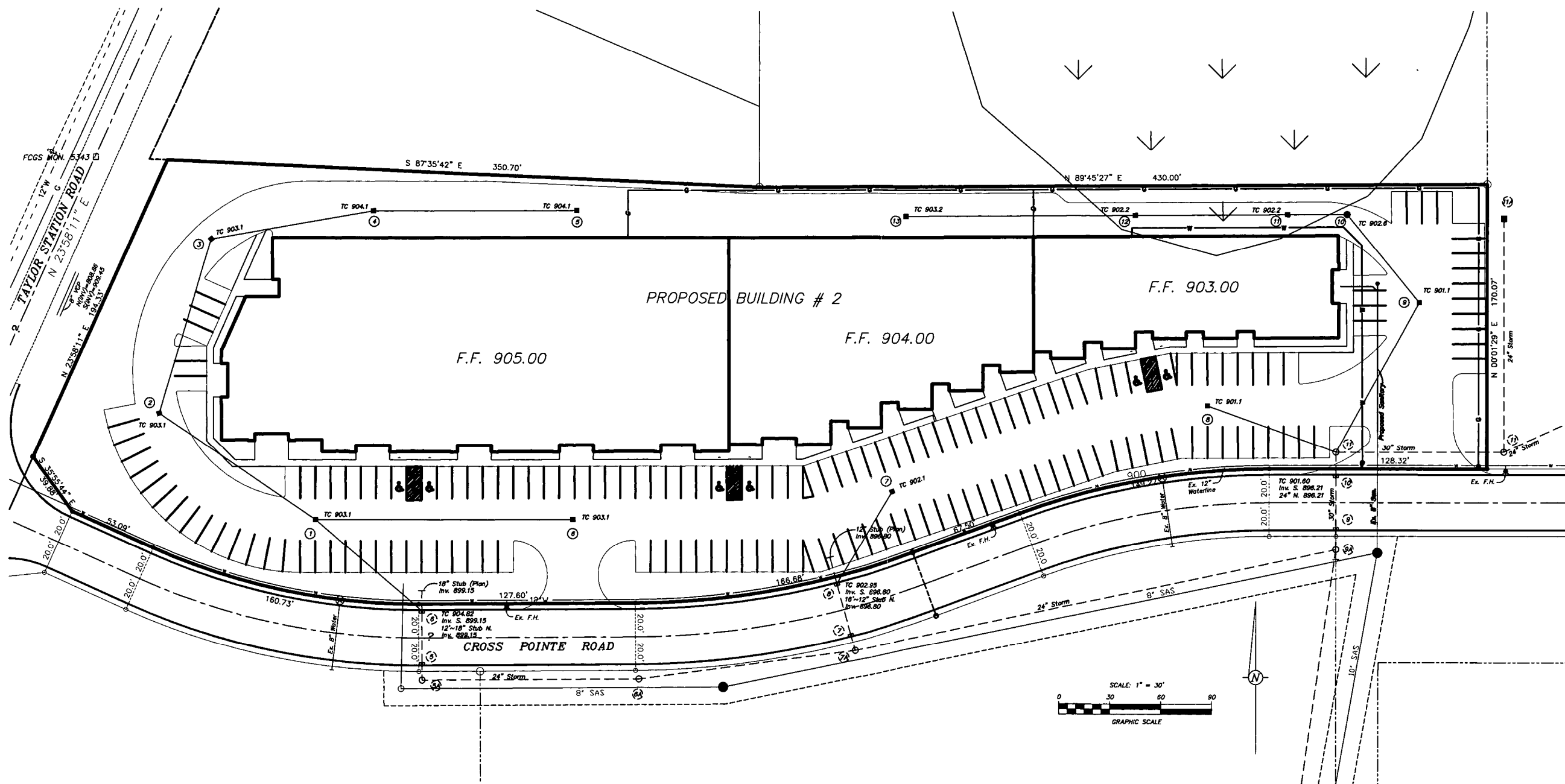
The project area will gently slope from west to east after completion of the proposed rough grading operation. The general soil type is Bennington Silty Loam, with Pewamo Silty Clay Loam in low-lying areas.

A storm sewer system will be provided to collect runoff from the proposed development. Catch basins in pavement areas will be constructed to provide adequate drainage. This storm sewer system will include connections to the proposed storm sewer being constructed at the perimeter of the site.

Stormwater runoff rates will be controlled to not adversely impact downstream properties, in accordance with Gahanna Stormwater Management Standards. The required stormwater detention will be provided through temporary surface ponding in parking lot and pavement areas. Shaded areas represent limits of ponding.

Sedimentation and erosion control practices will be implemented during construction to protect adjacent roads and lands from stormwater runoff from disturbed areas.

Ⓐ Slope to match existing grade at property line.



Revision Date

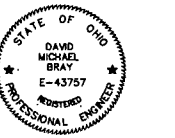


C.F. BIRD & R.J. BULL, INC.
Engineers and Surveyors
2875 W. Dublin-Granville Road
Columbus, Ohio 43235

CROSSROADS
COMMERCE CENTER
CROSS POINTE ROAD
GAHANNA OHIO

CDL
Collaborative Design, Ltd.
Architects
5880 Sawmill Road Suite 250
Dublin, Ohio 43017
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Seal



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Project Number: 00-046

Date: 7-14-2000

Scale: 1" = 30'

File Name: H:\2000\Name Projects\2000-046\Prep\Prep.dwg

Drawing Description

PRELIMINARY
GRADING & STORM
SEWER PLAN

C-1

