

# Application for Final Development Plan

City of Gahanna, Ohio ■ Planning Commission  
 200 S. Hamilton Road, Gahanna, OH 43230 ■ Phone: (614) 342-4025 ■ Fax: (614) 342-4117

**\*REQUIRED INFORMATION: All correspondence will be addressed to the applicant, unless noted otherwise.**

\*Name of Final Development Plan O'Reilly Auto Parts  
 \*Address of Final Development Plan 403 Agler Road  
 \*Parcel ID# 025-012296-00/025-001029-90/025-001029-80 \*Total Acreage 0.89 \*Current Zoning CC  
 \*Project Description Demolish existing improvements and construct new Auto Parts Retails store, parking, landscaping & etc.  
 \*Applicant Name Robert Deitz, Bacon Farmer Workman Engineering & Testing, Inc. \*Phone (270) 753-7307  
 \*Applicant Address 1215 Diuguid Drive, Murray, KY 42071 \*Email bdeitz@bfwengineers.com  
 \*Applicant's Relationship to Project Consulting Engineer - Civil

**\*ADDITIONAL REQUIRED CONTACT INFORMATION: If different than applicant.**

\*Property Owner Name O'Reilly Automotive Stores, Inc. \*Phone (800) 288-6661  
 \*Property Owner Address 233 S. Patterson \*City/State/Zip Springfield, MO 65802  
 \*Contact Name Mandi Passwaters \*Email mpaswaters@oreillyauto.com  
 \*Developer Name O'Reilly Automotive Stores, Inc. \*Phone (800) 288-6661  
 \*Developer Address 233 S/ Patterson \*City/State/Zip Springfield, MO  
 \*Contact Name Mandi Passwaters \*Email mpaswaters@oreillyauto.com

**\*SUBMISSION REQUIREMENTS: Applications are not complete until all submission requirements are received and accepted by the Planning and Zoning Administrator. Incomplete applications will not be submitted for review. The Planning and Zoning Administrator may visit the site prior to the approval of the application.**

- 1. A Pre-Application Conference shall be scheduled with the Planning and Development Department.
- 2. A plan that complies with the Final Development Plan requirements stated in Chapter 1108.
- 3. A plan that complies with the 2011 State of Ohio Fire Code Fire Service Requirements.
4. Two (2) copies of plans: 24x36 size **folded** (not rolled) to 8 1/2 X 11 size prior to submission.
5. One (1) 11x17 copy of plans
6. One (1) digital copy of completed application and associated plans.
- 7. A list of contiguous property owners and their mailing addresses.
- 8. (2) copies of pre-printed mailing labels for all contiguous property owners.
- 9. Completed Final Development Plan Checklist from page 2 of this application.
- 10. Notarized Agreement to Construct as Approved Specified document from page 3 of this application.
- 11. Application Fee of \$500.

\*Applicant's Signature  \*Date 11/19/15

**For Internal Use:**

**APPROVAL**

In accordance with Chapter 1108 of the Codified Ordinances of Gahanna, Ohio, I hereby certify that this project, as stated above, was approved by the City of Gahanna Planning Commission on \_\_\_\_\_.

Planning & Zoning Administrator's Signature \_\_\_\_\_ Date \_\_\_\_\_

Sunguard No. 15110020  
 PC File No. FDP-2015  
 Hearing Date: \_\_\_\_\_

**RECEIVED PAI**  
 NOV 19 2015 NOV 19 2015

BY: SW

BY: SWick #

017688

(Accepted by PZA)

# Final Development Plan Checklist

Applicant  
Or Agent

Planning & Zoning  
Administrator

A. The Final Development Plan shall contain the following:

- |   |                |                |
|---|----------------|----------------|
| 1. Scale: Minimum – one inch equals 100 feet.   | 1. <u>X</u>    | 1. <u>✓</u>    |
| 2. The proposed name of the development, approximate total acreage, north arrow, and date.  | 2. <u>X</u>    | 2. <u>✓</u>    |
| 3. The names of any public and/or private streets adjacent to or within the development.  | 3. <u>X</u>    | 3. <u>✓</u>    |
| 4. Names and addresses of owners, developers and the surveyor who designed the plan.  | 4. <u>X</u>    | 4. <u>✓</u>    |
| 5. Vicinity map showing relationship to surrounding development and its location within the community.  | 5. <u>X</u>    | 5. <u>✓</u>    |
| 6. Natural features currently within proposed development, including drainage channels, tree lines bodies of water, and other significant features.   | 6. <u>X</u>    | 6. <u>✓</u>    |
| 7. Current zoning district, building and parking setbacks.  | 7. <u>X</u>    | 7. <u>✓</u>    |
| 8. Proposed location, size and height of building and/or structures.  | 8. <u>X</u>    | 8. <u>✓</u>    |
| 9. Proposed driveway dimensions and access points.  | 9. <u>X</u>    | 9. <u>✓</u>    |
| 10. Proposed parking and number of parking spaces.  | 10. <u>X</u>   | 10. <u>✓</u>   |
| 11. Distance between buildings.   | 11. <u>N/A</u> | 11. <u>N/A</u> |
| 12. List of adjacent property owners for notification.  | 12. <u>X</u>   | 12. <u>✓</u>   |
| 13. Reduced site plan suitable for showing on an overhead projector.  | 13. <u>N/A</u> | 13. <u>  </u>  |
| 14. Any other information the Planning Commission may deem to be necessary to evaluate the application. These items can include such things as elevations, traffic studies, floor plans, etc. | 14. <u>N/A</u> | 14. <u>  </u>  |

B. In addition to the aforementioned requirements, the developer shall submit a table of development calculations. This table shall include:

- |   |               |               |
|---|---------------|---------------|
| 1. Parking calculations: (square footage of proposed buildings, number of spaces per square foot, number of spaces required, and actual number of spaces proposed).   | 1. <u>X</u>   | 1. <u>✓</u>   |
| 2. Lot coverage calculations: (square footage of site, area of permanently impervious surfaces broken down into buildings and parking, area of uncovered land, coverage requirements, proposed lot coverage). | 2. <u>X</u>   | 2. <u>✓</u>   |
| 3. Setback calculations, (if needed).   | 3. <u>N/A</u> | 3. <u>N/A</u> |
| 4. Landscaping calculations: (square footage of pavement, proposed area of landscaping, square footage of landscaping, number of two-inch caliper trees required, and number of trees proposed).              | 4. <u>X</u>   | 4. <u>✓</u>   |
- (Ord. 132-96. Passed 8-6-96.)

C. The Final Development Plan should provide preliminary details regarding stormwater management, availability of utilities, necessary easements for construction, and other similar information as applicable. Details may be addressed on the plan or within a narrative summary. Information should be sufficient to demonstrate how these areas will generally be addressed.

- |             |             |
|-------------|-------------|
| 1. <u>X</u> | 1. <u>✓</u> |
|-------------|-------------|



CITY OF GAHANNA

Agreement to Construct as Approved

Your signature below affirms that, as the contractor/applicant Robert G. Deitz  
(Please print - Contractor/Applicant Name)

\_\_\_\_\_ for, O'Reilly Automotive Stores, Inc.  
(Business Name and/or Address)

the above named project will be built as approved and specified by the City of Gahanna Planning & Zoning Administrator (or Designee). As the contractor or applicant, you also agree that any proposed change to the approved plans must be reported to the Planning and Zoning Administrator. Significant changes to the project, as determined by the Planning and Zoning Administrator, must be approved.

Contractor/Applicant

Signature *Robert G. Deitz*

(Please sign)

Date 11/19/15

*Fredena L. Williams*

(Signature of Notary)

11/19/15

(Date)



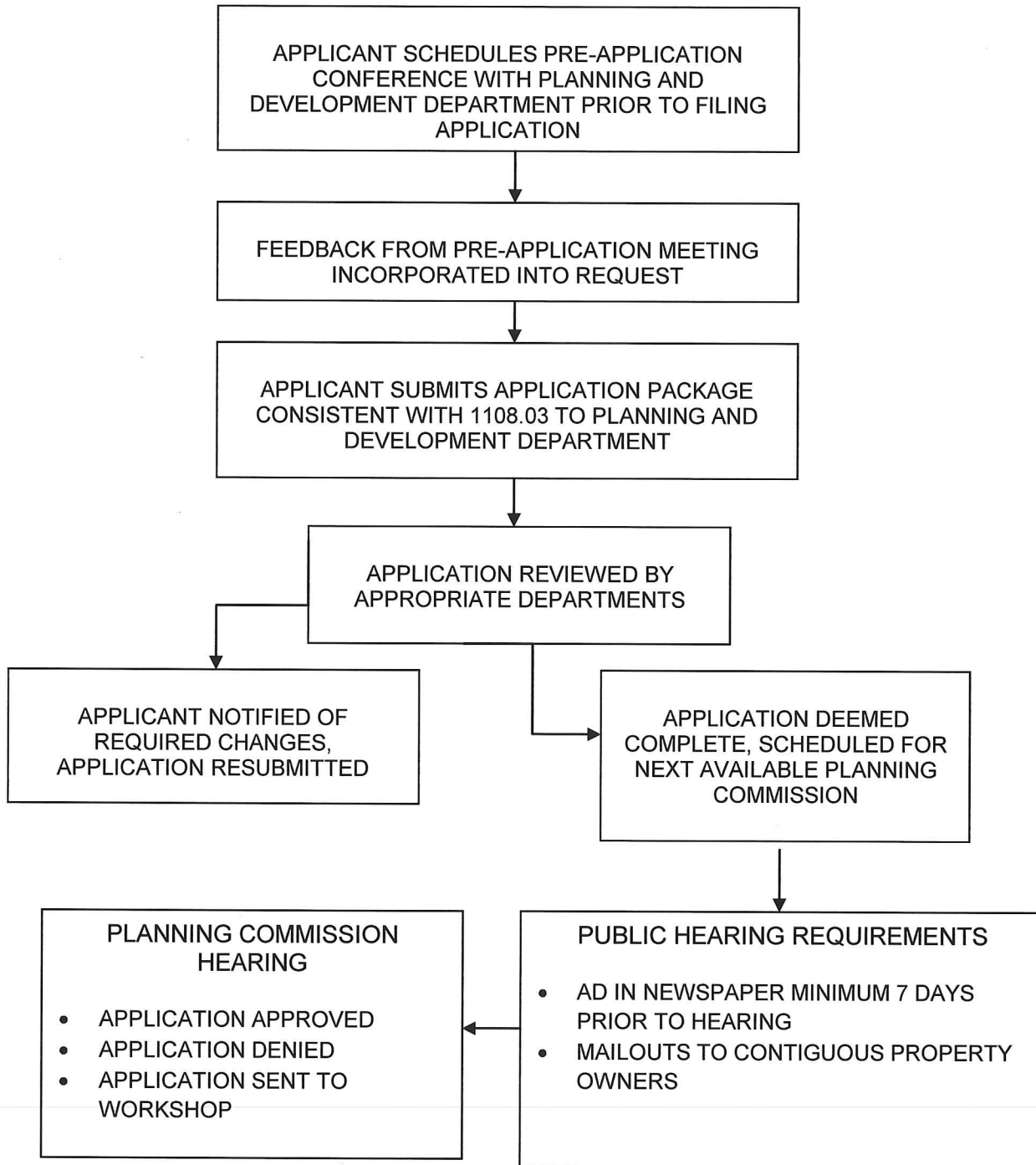
Fredena L. Williams  
Notary Public, State of Ohio  
My Commission Expires 06-28-2017

Stamp/Seal



# CITY OF GAHANNA

## FINAL DEVELOPMENT PLAN PROCEDURES



## Existing Conditions

The site is located at 403 Agler Road inside the city limits of Gahanna, Franklin County, Ohio.



## **PARKING CALCULATION**

PROPOSED BUILDING AREA = 7,105 SQ-FT

1 SPACE FOR EACH 250 S.F. OF GROSS FLOOR AREA

$7,105/250 = 29$  SPACES REQUIRED

34 TOTAL SPACES PROVIDED

## **LOT COVERAGE CALCULATION**

SITE AREA = 33,868 sq-ft

### **SITE AREAS**

BUILDING = 7,105 sq-ft

PARKING = 16,774 sq-ft

UNCOVERED LAND = 9,989 sq-ft

### **COVERAGE REQUIREMENTS:**

Principal buildings and associated buildings shall not exceed fifty percent (50%) of total lot coverage. An additional twenty-five percent (25%) of lot coverage may be used for driveways and parking areas. This provides a maximum lot coverage allowance of seventy-five percent (75%).

### **PROPOSED LOT COVERAGE:**

BUILDING:  $7,105 \text{ sq-ft} / 33,868 \text{ sq-ft} \times 100\% = 21\% < 50\%$

PARKING:  $16,774 \text{ sq-ft} / 33,868 \text{ sq-ft} \times 100\% = \underline{50\%}$

Total Impervious = 71%

## **LANDSCAPING CALCULATION**

Zoning: CC – Community Commercial

### **Minimum Interior Landscaping Requirements:**

5%:  $15556 \text{ SF PARKING LOT} \times 0.05 = 778 \text{ SF}$

### **LANDSCAPING PROVIDED:**

Parking Lot Landscaping – 1251 SF

Total Site Landscaping – 15,013 SF

### **STREET TREES**

PAY TO THE CITY \$10.00 PER L.F. OF STREET FRONTAGE IN LIEU OF STREET TREES. PAYMENT =  $126 \text{ LF} \times 10 = \$1,260.00$

403 Agler Road,

Gahanna, OH Adjacent Property Owners:

Property Address: 365 Stygler Road, Columbus, OH 43230

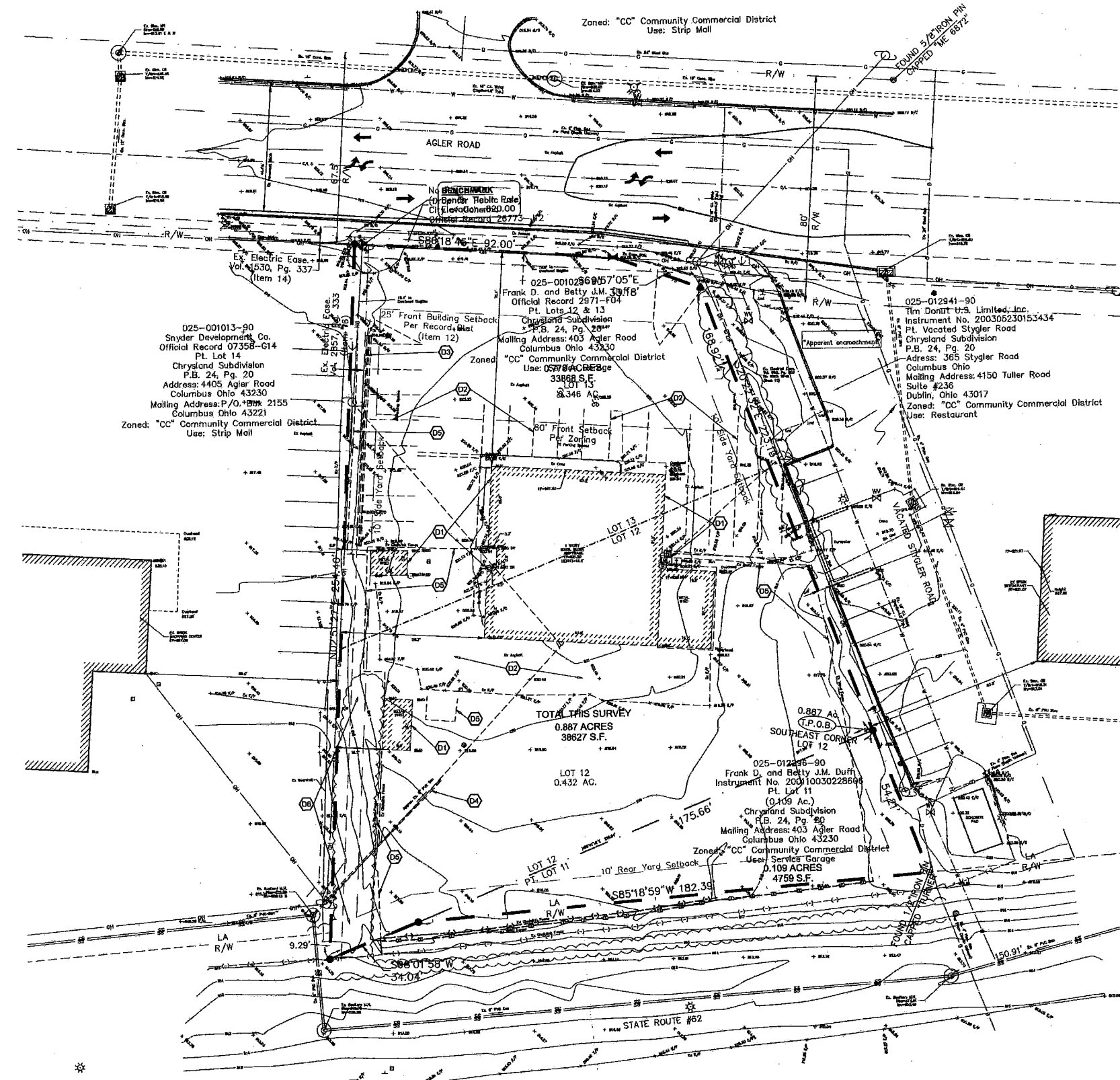
Property Owner: Tim Donut U.S. Limited, Inc., 4150 Tuller Road, Suite #236, Dublin OH 43017

Property Address: 4405 Agler Road, Columbus, OH 43230

Property Owner: Snyder Development Company, P.O. Box 2155, Columbus, OH 43221

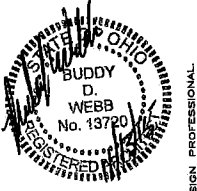






**GENERAL NOTES:**

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. REMOVE ALL EXISTING SITE CONSTRUCTION AND DELETERIOUS MATERIALS UNLESS OTHERWISE NOTED.
- D. REFER TO SITE UTILITIES PLAN FOR DEMOLITION OF EXISTING UTILITIES.
- E. ALL DEMOLISHED MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL UNLESS OTHERWISE NOTED.



**KEY NOTES:**

- D1 EXISTING BUILDING, FOUNDATIONS, FOOTINGS AND ASSOCIATED UTILITIES TO BE REMOVED.
- D2 EXISTING PAVING TO BE REMOVED FOR INSTALLATION OF NEW CONSTRUCTION.
- D3 EXISTING CURBING TO BE REMOVED FOR INSTALLATION OF NEW CONSTRUCTION.
- D4 EXISTING SANITARY PIPE TO BE REMOVED. REFER TO SITE UTILITIES PLAN SHEET SUI.
- D5 EXISTING FENCE TO BE REMOVED.
- D6 EXISTING TREES AND SHRUBS TO BE REMOVED AS REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION.

**SPECIAL HAZARDOUS MATERIALS NOTE:**

- 1. AN ENVIRONMENTAL ANALYSIS HAS BEEN PERFORMED ON THE EXISTING SITE. REFER TO PROJECT MANUAL.
- 2. THIS PROJECT CONTAINS HAZARDOUS MATERIALS CONTRACTOR IS TO PROVIDE PROPER HANDLING, REMOVAL AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

NOTE: PROTECT ALL TREES NOT TO BE REMOVED WITH ORANGE PRESERVATION FENCING

**1 DEMOLITION PLAN**  
D1 SCALE: 1" = 20'



**SYMBOLS LEGEND**

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND

|  |                              |
|--|------------------------------|
|  | EXISTING ITEMS TO BE REMOVED |
|--|------------------------------|

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

PROJECT # 0377  
**NEW O'REILLY AUTO PARTS STORE**  
403 AGLER ROAD  
GAHANNA, OHIO  
**DEMOLITION PLAN**

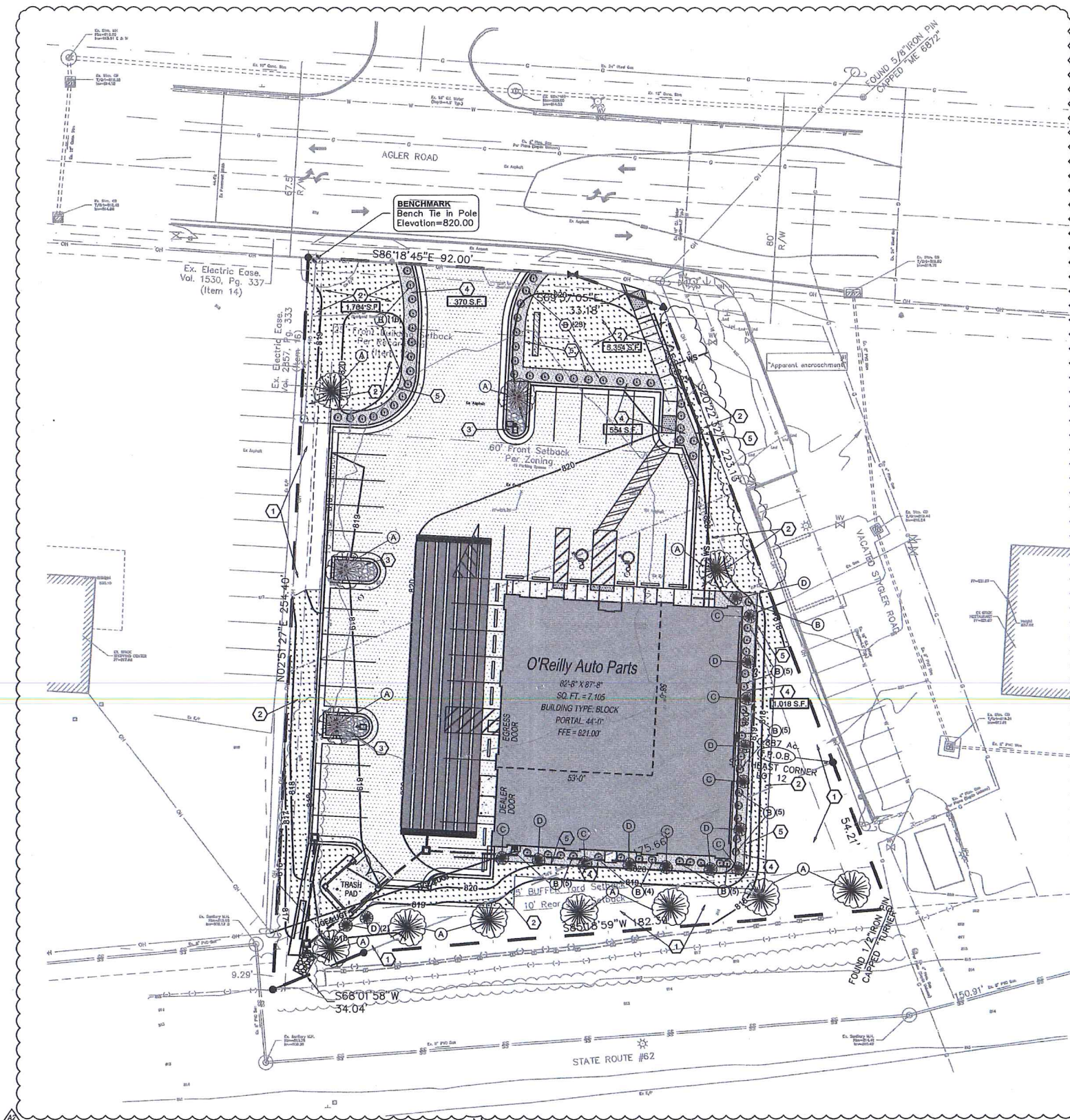
**Buddy D. Webb**  
Architect - Consultant  
3087 EAST CAIRO  
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(417) 877-9736 FAX



DRAWN BY: EN  
CHECKED BY: LG, BDW  
DATE: 06/04/15  
REVISION: AT AD. NO. 1 (11/11/15)  
PROJECT NUMBER: GH1  
SHEET NUMBER

**D1**

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**KEY NOTES:**

- 1 HYDRO MULCH / SEED AND STRAW: (UNLESS NOTED OTHERWISE) ALL AREAS DISTURBED BY CONSTRUCTION ARE FIRST TO BE FINE GRADED AND THEN FOLLOWED BY HYDRO MULCH OR SEED AND STRAW OVER MIN. 4" TOPSOIL STOCKPILED FROM SITE OR HAULED IN AS REQUIRED.
- 2 AREA OF SOD: REFER TO DETAIL 1/L2.
- 3 CREEK GRAVEL: REFER TO DETAIL 2/L2.
- 4 4" MULCH LAYER: REFER TO PROJECT MANUAL FOR TYPES AND ADDITIONAL REQUIREMENTS.
- 5 LANDSCAPE EDGING: REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENT.

**GENERAL NOTES:**

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- D. ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS.
- E. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE OBSERVED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- F. PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- G. QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANTING SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON LANDSCAPING PLAN.
- H. PROVIDE 4" TOPSOIL AT ALL SOD, SEED AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. REFER TO CIVIL SITE GRADING PLAN FOR SLOPE REQUIREMENTS.
- I. WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHED OF THE LAWN OR THE INSTALLATION OF PLANT MATERIAL IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
- J. RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE RIGHT-OF-WAY.
- K. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- L. PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.



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**O'Reilly AUTO PARTS**  
 CORPORATE OFFICES  
 233 SOUTH PATTERSON  
 SPRINGFIELD, MISSOURI 65802  
 (417) 862-2674 TELEPHONE

RECEIVED  
 JAN 21 2016  
 Revised  
 BY: SW

**LANDSCAPE SYMBOLS LEGEND**

| REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND |   |
|---|---|
| [Symbol]  | NEW BUILDING CONSTRUCTION   |
| [Symbol]  | AREA OF CONCRETE  |
| [Symbol]  | AREA OF PAVING  |
| [Symbol]  | AREA OF CREEK GRAVEL  |
| [Symbol]  | AREA OF MULCH   |
| [Symbol]  | NEW SIGN LOCATION   |
| [Symbol]  | NEW CONCRETE PAVING BLOCK   |
| [Symbol]  | NEW LIGHT POLE LOCATION   |
| [Symbol]  | NEW FENCE CONSTRUCTION  |
| [Symbol]  | AREA OF SOD<br>LAWN AREA WHICH EXCEEDS 25%<br>SLOPE TO BE PROVIDED WITH SOD.<br>REFER TO GRADING PLAN |
| [Symbol]  | AREA OF NEW TREE<br>REFER TO PLANTING SCHEDULE<br>FOR SIZE AND TYPE                                   |
| [Symbol]  | AREA OF NEW SHRUB<br>REFER TO PLANTING LEGEND<br>FOR SIZE AND TYPE                                    |
| [Symbol]  | AREA OF SOD OR MULCH IN<br>SQUARE FOOTAGE   |

**1 LANDSCAPE PLAN**  
 L1 SCALE: 1" = 20'



**PLANTING SCHEDULE**

REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS  
 ALL PLANTINGS MAY BE SUBSTITUTED DUE TO REGION OR LOCAL REQUIREMENTS IF NECESSARY

| MARK | COMMON NAME             | BOTANICAL NAME              | QUANTITY | SIZE            | DETAIL | NOTES                    |
|------|-------------------------|-----------------------------|----------|-----------------|--------|--------------------------|
| (A)  | OCTOBER GLORY RED MAPLE | ACER RUBRUM 'OCTOBER GLORY' | 12       | 2" CALIPER MIN. | 3/L2   | WELL BRANCHED, FULL HEAD |
| (B)  | BLUE HOLLY              | ERYNGIUM PLANUM             | 69       | 3 GALLON MIX    | 4/L2   | FULL PLANT               |
| (C)  | EASTERN RED CEDAR       | JUNIPERUS VIRGINIANA        | 7        | 2" CALIPER MIN. | 5/L2   | FULL PLANT               |
| (D)  | NORWAY SPRUCE           | PICEA ABIES                 | 9        | 2" CALIPER MIN. | 5/L2   | FULL PLANT               |



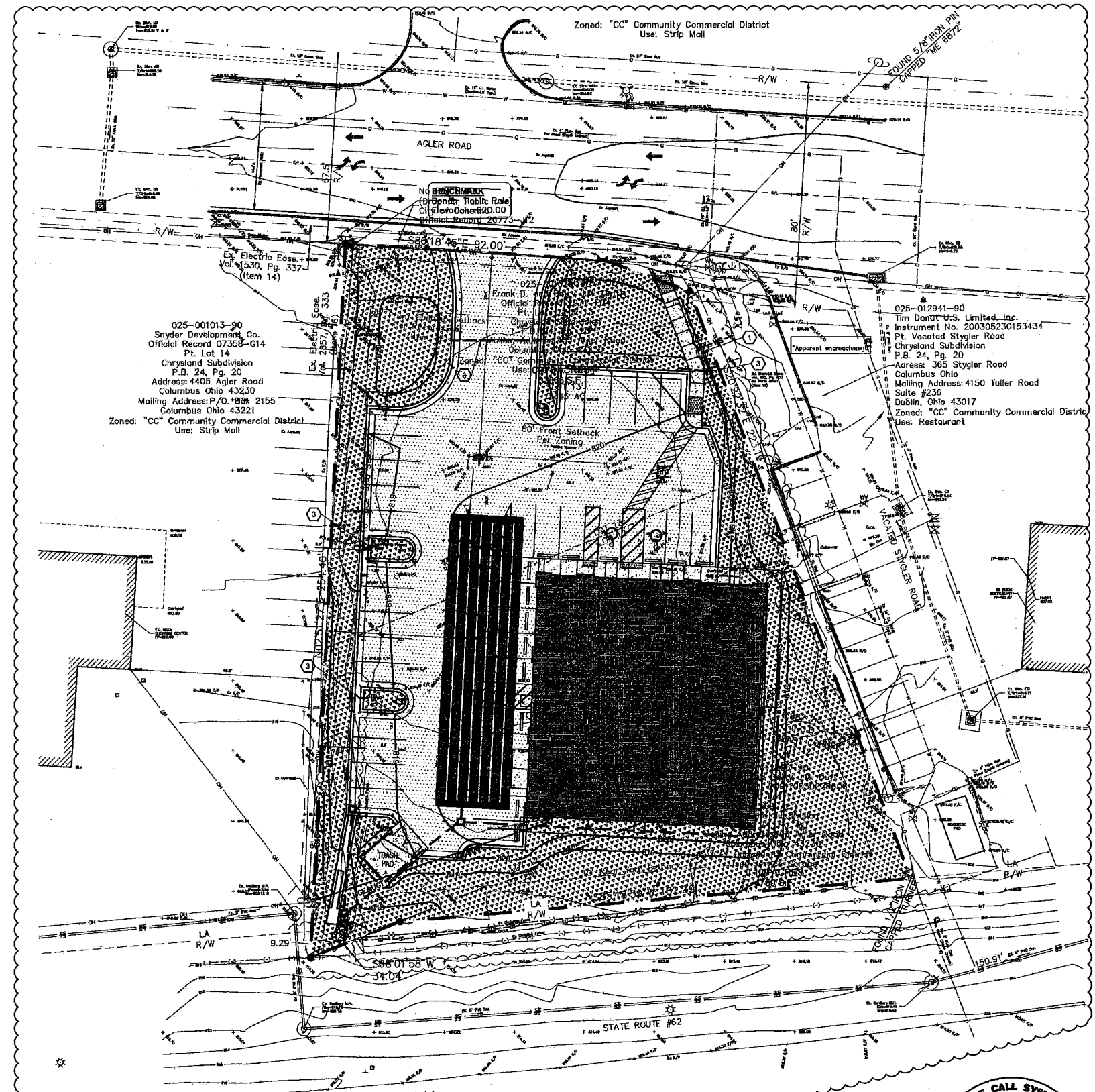
PROJECT: PV-377  
 NEW O'REILLY AUTO PARTS STORE  
 403 AGLER ROAD  
 GAHANNA, OHIO

**Buddy D. Webb**  
 Architect - Consultant  
 3057 EAST CAIRO  
 SPRINGFIELD, MISSOURI 65802  
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 CHECKED BY: LG, BDW  
 DATE: 06/04/15  
 REVISION: A2 AD. NO. 2 (01/19/16)  
 PROJECT NUMBER: GH1  
 SHEET NUMBER

**L1**

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**1 IRRIGATION COVERAGE PLAN**  
 L3 SCALE: 1" = 20'  
 TRUE NORTH

**GENERAL NOTES:**

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- C. PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.

**COVERAGE DETAIL:**

1. IRRIGATION HEAD SHALL BE PLACED TO PROVIDE 100% OVERLAP HEAD-TO-HEAD COVERAGE.
2. A RAIN SENSOR AND ANTI-FREEZE ASSEMBLY SHALL BE INSTALLED ON IRRIGATION SYSTEM.
3. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERABLE SYSTEM FOR THE IRRIGATION OF ALL LANDSCAPE PLANTING(S) AND DESIRED COVERAGE AREAS ON SITE.
4. THE IRRIGATION CONTRACTOR IS FULLY RESPONSIBLE FOR THE WORK UNTIL OWNER GIVES FINAL ACCEPTANCE.
5. NO WATER TO BE SPRAYED ON SIDEWALK, PARKING LOT, ROAD OR ADJACENT PROPERTY. ADJUST ARC AND RADIUS OF REQUIRED SPRINKLERS AS NEEDED.
6. ALL CIRCUIT PIPE IS TO BE CLASS 160 PVC OR HIGHER GRADE.
7. ALL MAIN FITTINGS SHALL BE REINFORCED WITH 2000PSI POURED CONCRETE THRUST BLOCKS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE REQUIRED SYSTEM IN COMPLETE ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS. ANY MODIFICATION MADE AFTER INSTALLATION TO CONFORM WITH SAID CODES, LAWS AND ORDINANCES SHALL BE PERFORMED AT CONTRACTORS EXPENSE AT NO ADDITIONAL COST TO O'REILLY.

**KEY NOTES:**

- 1 APPROXIMATE LOCATION OF LAWN IRRIGATION METER WITH BACK FLOW PREVENTION PER CITY REQUIREMENTS. REFER TO SITE UTILITIES PLAN
- 2 IRRIGATION CONTROLLER LOCATION INSIDE OF BUILDING. PROVIDE FREEZE SENSOR AND RAIN SENSOR ON OUTSIDE OF BUILDING.
- 3 4" DIAMETER SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT FOR ROUTING OF IRRIGATION SYSTEM. PROVIDE END CAPS AND PULL WIRE.

**LANDSCAPE SYMBOLS LEGEND**

| REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND |   |
|---|---|
|   | NEW BUILDING CONSTRUCTION                                     |
|   | AREA OF CONCRETE  |
|   | AREA OF PAVING  |
|   | AREA OF DESIRED IRRIGATION COVERAGE                           |
|   | NEW SIGN LOCATION   |
|   | NEW CONCRETE PAVING BLOCK                                     |
|   | NEW LIGHT POLE LOCATION                                       |
|   | NEW FENCE CONSTRUCTION  |
|   | AREA OF NEW TREE REFER TO PLANTING SCHEDULE FOR SIZE AND TYPE |
|   | AREA OF NEW SHRUB REFER TO PLANTING LEGEND FOR SIZE AND TYPE  |



THESE SHEETS BEARING THIS SEAL ARE AUTHENTICATED. RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS OR INSTRUMENTS ARE DISCLAIMED.

**O'Reilly AUTO PARTS**  
 CORPORATE OFFICES  
 233 SOUTH PATTERSON  
 SPRINGFIELD, MISSOURI 65802  
 (417) 882-2674 TELEPHONE

PROJECT: 60-37  
**NEW O'REILLY AUTO PARTS STORE**  
 403 AGLER ROAD  
 GAHANNA, OHIO  
**IRRIGATION PLAN**

**Buddy D. Webb**  
 Architect - Consultant  
 3087 EAST CARO  
 SPRINGFIELD, MISSOURI 65802  
 (417) 877-1366 TELEPHONE  
 (417) 877-9786 FAX



DRAWN BY: EN  
 CHECKED BY: LG, BDW  
 DATE: 06/04/15

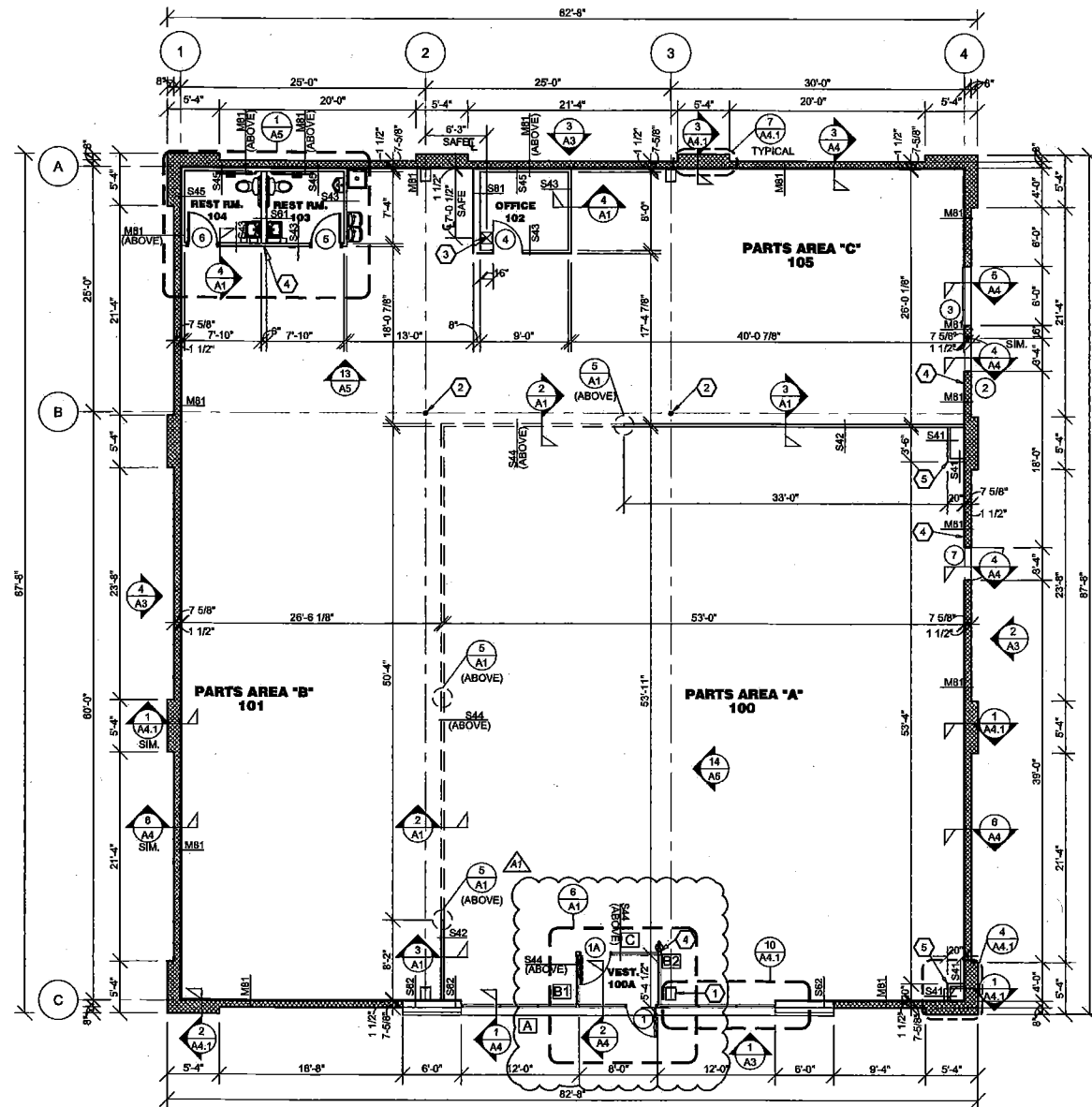
REVISION: AD. NO. 1 (11/11/15)

PROJECT NUMBER: GH1

SHEET NUMBER: **L3**



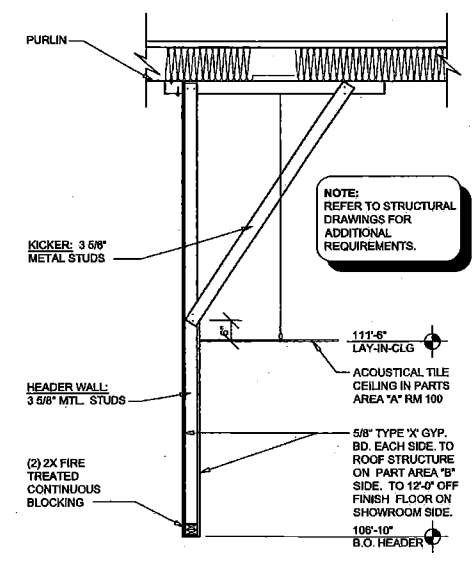
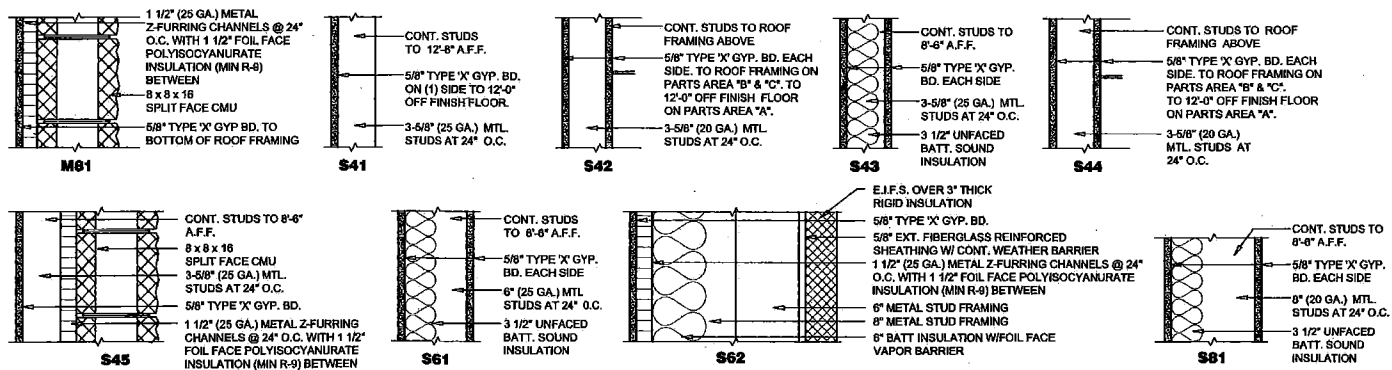
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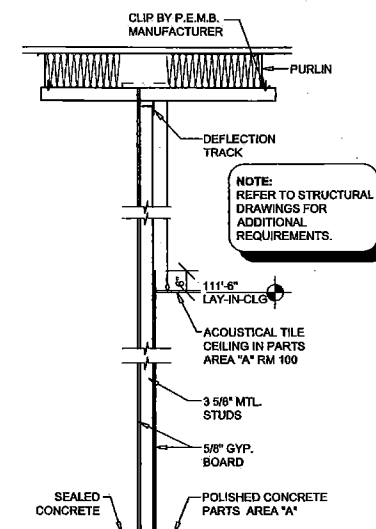
**1 FLOOR PLAN**  
A1 SCALE: 1/8" = 1'-0"

**WALL TYPES:**

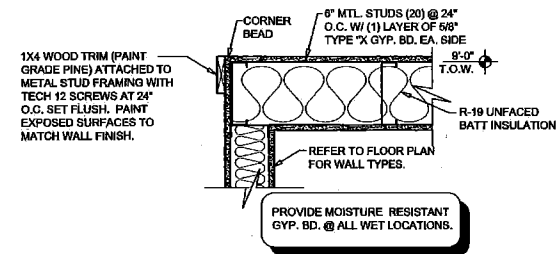
1. PROVIDE FIRE STOPPING AND FIRE SEALANT MATERIALS AS REQUIRED AT ALL RATED WALL CONSTRUCTION MATERIAL TRANSITIONS AND PENETRATIONS. RATING TO BE EQUAL TO RATED WALL ASSEMBLY.
2. PROVIDE DIAGONAL BACKING BRACING (3" X 16 GA. FLAT STRIP) AT CORNER FACES OF FREE STANDING PARTITION SYSTEMS.
3. PROVIDE MOISTURE RESISTANT TYPE "X" GYPSUM BOARD IN REST ROOMS.
4. PROVIDE "J" MOLDING REGLETS OR CORNER BEAD AT ALL DISSIMILAR WALL MATERIAL TRANSITIONS.
5. INSULATION SHALL HAVE A FLAME SPREAD RATING OF 0-25 AND A SMOKE DEVELOPMENT RATING OF 0-450.



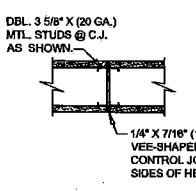
**2 HEADER WALL SECTION**  
A1 SCALE: 1/2" = 1'-0"



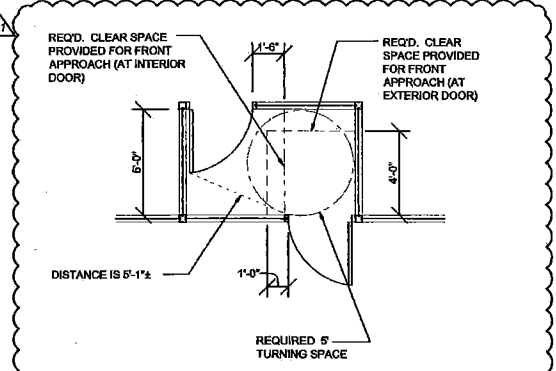
**3 INTERIOR WALL SECTION**  
A1 SCALE: 1/2" = 1'-0"



**4 WALL / CEILING SECTION**  
A1 SCALE: 1-1/2" = 1'-0"



**5 GYP. BOARD C.J.**  
A1 SCALE: 1-1/2" = 1'-0"



**6 VESTIBULE DETAIL**  
A1 SCALE: 1/4" = 1'-0"

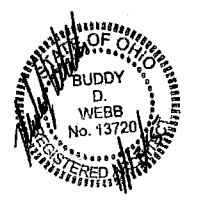
**GENERAL NOTES:**

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- REFER TO P.E.M.B. DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- ALL DIMENSIONS TO ROUGH FACE OF ROUGH FRAMING, CONCRETE OR CENTERLINE OF STRUCTURE, UNLESS OTHERWISE NOTED. 3-5/8" METAL STUD INTERIOR PARTITION DIMENSIONS NOT SHOWN FOR CLARITY.
- REFER TO SHEET F1 FOR INTERIOR FINISH REQUIREMENTS AND OWNER FURNISHED AND INSTALLED FIXTURES AND EQUIPMENT.

**KEY NOTES:**

- STEEL COLUMN:** PER METAL BUILDING MFG. GC TO PROVIDE PRE-FINISHED BREAK METAL MATCHING ALUMINUM STOREFRONT FINISH AND COLOR WITH NO HORIZONTAL SEAM.
- STEEL COLUMN:** PAINT CUSTOM GREEN MIX BY GLIDDEN EXTERIOR SEMI GLOSS LATEX (REFER TO W-2 ON FINISH SCHEDULE).
- FLOOR SAFE:** OWNER FURNISHED AND CONTRACTOR INSTALLED. SIZE TO BE VERIFIED BY OWNER. PROVIDE 18" X 18" BLOCK OUT & DO NOT INSTALL UNTIL AFTER OFFICE GYP. BD. WORK HAS BEEN COMPLETE. REFER TO STRUCTURAL SHEETS FOR LOCATION.
- FIRE EXTINGUISHER:** MOUNT 42" ABOVE FINISHED FLOOR.
- SHOWROOM CORNER:** INSTALL PLYWOOD BACKING TO EACH FACE FROM 8'-0" TO 10'-0" A.F.F. FOR INSTALLATION OF SECURITY MIRRORS.

NOTE: THE BUILDING SHALL BE TESTED UPON COMPLETION TO ASSURE ADEQUATE EMERGENCY RESPONDER RADIO COVERAGE IS ACHIEVED. THIS TEST SHALL BE PERFORMED BY THE MIPLIN TOWNSHIP DIVISION OF FIRE.



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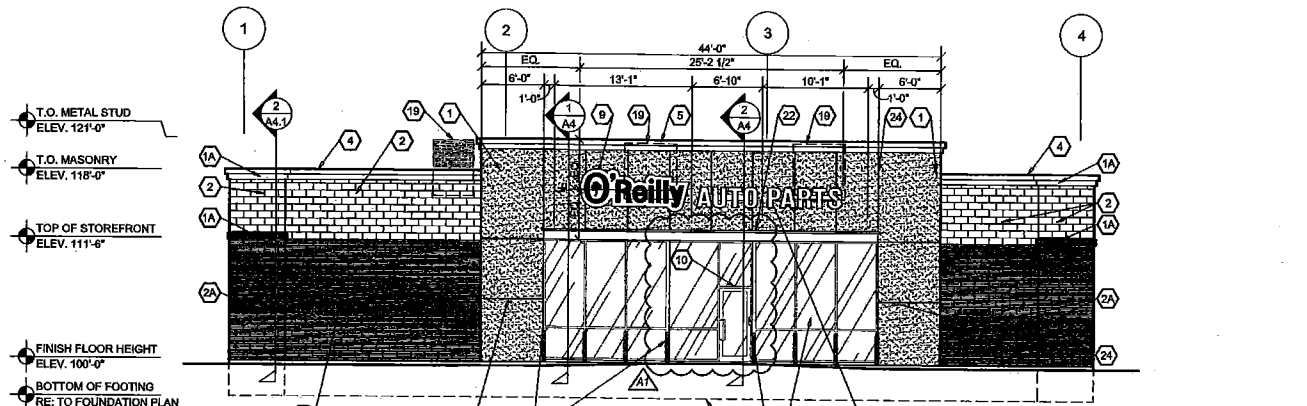
PROJECT: PV-377  
**NEW O'REILLY AUTO PARTS STORE**  
403 AGLER ROAD  
GAHANNA, OHIO  
**FLOOR PLAN**

**Buddy D. Webb**  
Architect - Consultant  
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(417) 877-9786 FAX

DRAWN BY: EN LG, BDW  
CHECKED BY:  
DATE: 06/04/15  
REVISION:  
AD. NO. 1 (11/11/15)  
PROJECT NUMBER:  
GH1  
SHEET NUMBER

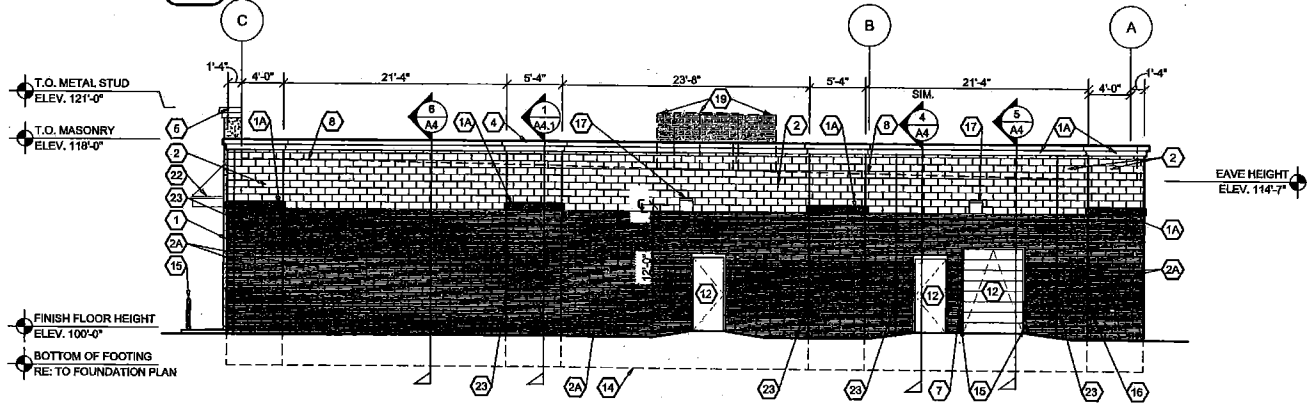
**A1**

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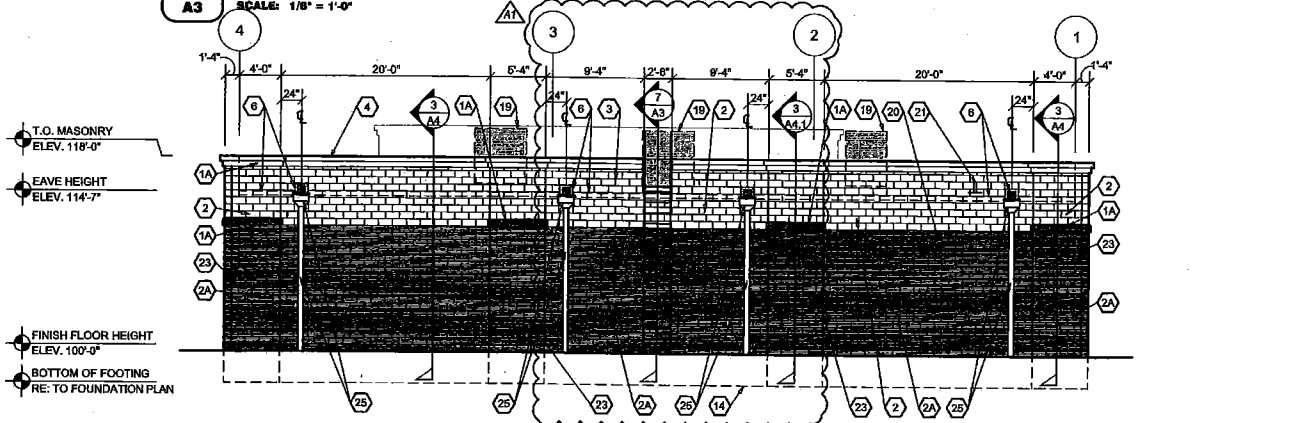


**1 FRONT ELEVATION**  
A3 SCALE: 1/8" = 1'-0"

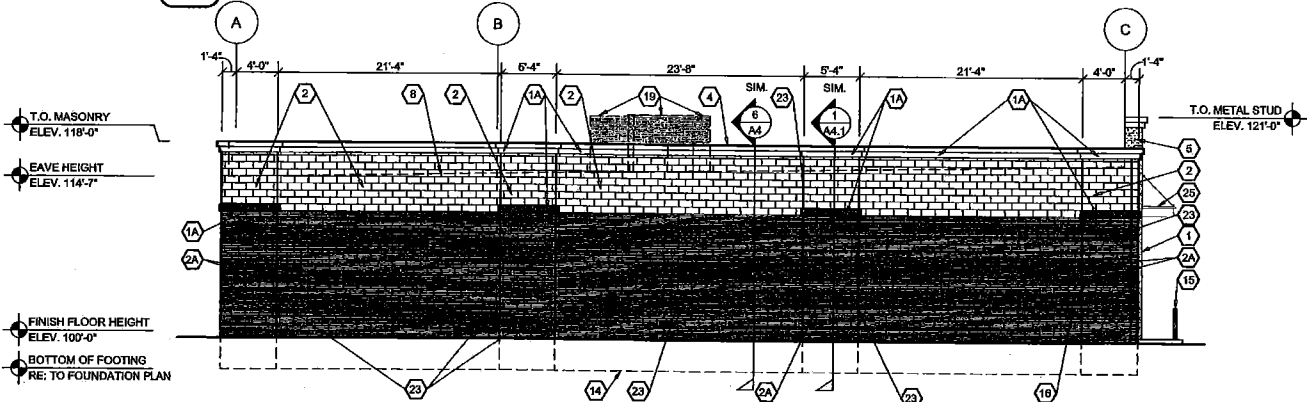
GAHANNA, OHIO (GH1)  
FRONT ELEVATION SIGN: 48" OR 24" AP LINEAR  
LEFT, RIGHT AND REAR ELEVATION SIGN: NO SIGN PROPOSED



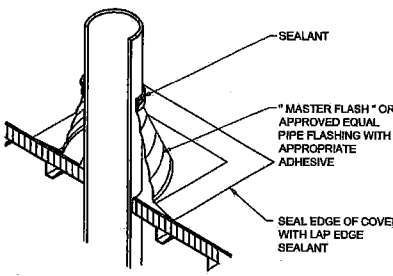
**2 SIDE ELEVATION**  
A3 SCALE: 1/8" = 1'-0"



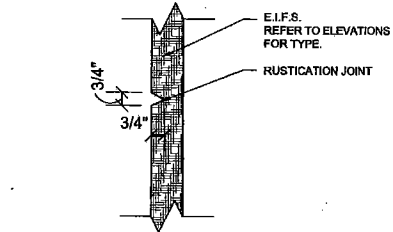
**3 REAR ELEVATION**  
A3 SCALE: 1/8" = 1'-0"



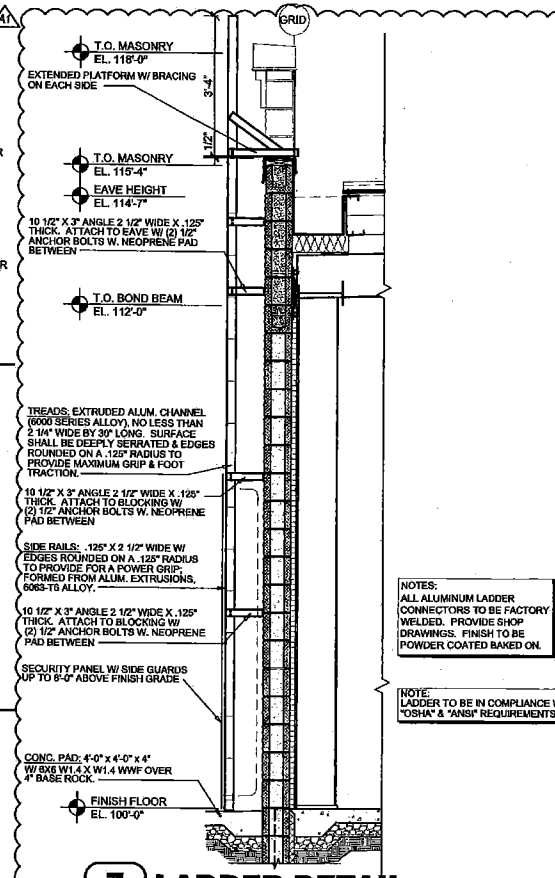
**4 SIDE ELEVATION**  
A3 SCALE: 1/8" = 1'-0"



**5 VENT PIPE**  
A3 SCALE: N.T.S.



**6 JOINT DETAIL**  
A3 SCALE: N.T.S.



**7 LADDER DETAIL**  
A3 SCALE: 1/2" = 1'-0"

**GENERAL NOTES:**

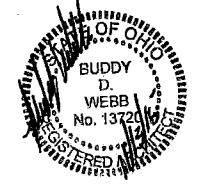
- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. REFER TO PRE-ENGINEERED METAL BUILDING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- C. REFER TO MECHANICAL/ELECTRICAL PLAN FOR SYSTEM TYPES AND LOCATIONS.
- D. REFER TO SITE DEVELOPMENT PLANS FOR ADDITIONAL REQUIREMENTS.

**KEY NOTES:**

- 1 EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.): REFER TO EXTERIOR FINISH SCHEDULE.
- 1A EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) ACCENT BAND: REFER TO FINISH SCHEDULE AND WALL SECTIONS.
- 2 MASONRY WALL CONSTRUCTION (ACCENT): REFER TO EXTERIOR FINISH SCHEDULE AND WALL SECTIONS.
- 2A MASONRY WALL CONSTRUCTION (FIELD): REFER TO EXTERIOR FINISH SCHEDULE AND WALL SECTIONS.
- 3 PRE-ENGINEERED METAL BUILDING SHEET METAL STANDING SEAM ROOF (BEYOND): REFER TO EXTERIOR FINISH SCHEDULE AND WALL SECTIONS.
- 4 PRE-FINISHED METAL CAP FLASHING: REFER TO EXTERIOR FINISH SCHEDULE.
- 5 PRE-ENGINEERED METAL CAP FLASHING (AT EIFS) COLOR SHALL BE FIELD PAINTED SW 6871 POSITIVE RED.
- 6 PRE-ENGINEERED METAL BUILDING INTERNAL GUTTER AND THROUGH WALL SCUPPER SYSTEM: PRE-FINISHED, COLOR SHALL MATCH MASONRY FIELD COLOR.
- 7 CONCRETE MASONRY UNIT (CMU): SPLIT FACE HEAD AND JAMB UNITS.
- 8 LINE OF ROOF: DASHED LINE INDICATES LINE OF ROOF BEYOND WITH SLOPE OF 14" PER FOOT.
- 8 SIGN: APPROXIMATE OUTLINE OF SIGN. PROVIDE BLOCKING AS REQUIRED FOR MOUNTING OF SIGN. COORDINATE WITH SIGN COMPANY FOR EXACT SIGN PLACEMENT. OWNER FURNISHED AND INSTALLED LOGO. REFER TO SIGN PACKET INFORMATION FOR FURTHER DETAIL.
- 10 ADDRESS NUMBERS: 6" VINYL BY CONTRACTOR. COLOR TO BE WHITE.
- 11 NOT USED
- 12 DOOR AND FRAME: FIELD PAINT (REFER TO EXTERIOR FINISH SCHEDULE).
- 13 STOREFRONT: REFER TO FLOOR PLAN FOR WINDOW TYPES).
- 14 LINE OF FOUNDATION: REFER TO FOUNDATION PLAN).
- 15 STEEL BOLLARDS: (1) TYPICAL AT STOREFRONT (2) AT O.H. DOOR LOCATION. (REFER TO EXTERIOR FINISH SCHEDULE AND FOUNDATION PLAN).
- 16 HOSE BIB: (REFER TO PLUMBING PLAN)
- 17 LIGHT FIXTURE: (REFER TO ELECTRICAL PLAN)
- 18 (NOT USED)
- 19 ROOF TOP UNIT (BEYOND): APPROXIMATE LOCATION (REFER TO MECHANICAL PLAN FOR EXACT LOCATION)
- 20 MECHANICAL WALL PENETRATIONS: PROVIDE FRAMING, FLASHING, AND SEALANT AS REQUIRED. (REFER TO M.E.P. SHEETS)
- 21 ROOF PIPING VENT (BEYOND): REFER TO DETAIL S/A3.
- 22 PRE-FABRICATED METAL CANOPY SYSTEM: ANCHORED TO STRUCTURAL SYSTEM PER MANUFACTURER'S RECOMMENDATIONS. REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS. COORDINATE ROD LOCATIONS WITH SIGNAGE.
- 23 MASONRY CONTROL / EXPANSION JOINT: (MATCH MASONRY) PROVIDE SEALANT OVER 1/2" DIAMETER FOAM BACKER ROD. REFER TO STRUCTURAL DRAWINGS.
- 24 RUSTICATION JOINT: REFER TO DETAIL S/A3.
- 25 PRE-FINISHED SHEET CONDUCTOR HEAD AND DOWNSPOUT SYSTEM: PRE-FINISHED, COLOR SHALL MATCH MASONRY FIELD COLOR.

**EXTERIOR FINISH SCHEDULE**

| TYPE:   | COMPANY TYPE:  | COLOR:   |
|---|--|--|
| STANDARD CONCRETE MASONRY UNIT (C.M.U.)<br>SPLIT FACE (8" X 8" X 16" NOM.)<br>*PROVIDE FULL 8" FACE AT ALL CORNERS<br>COURSE: RUNNING | PER LOCAL SUPPLIER   | SHERWIN WILLIAMS PAINT<br>(1) COAT S-W PREPARE BLOCK FILLER B25W25 (NO LESS THAN 8 MILS)<br>(2) COATS S-W CONFLX XL SMOOTH ELASTOMERIC A5-400 (NO LESS THAN 5.7 MILS EACH COAT)<br><br>COLD WEATHER APPLICATIONS:<br>SHERWIN WILLIAMS PAINT<br>(1) COAT S-W LIXON BLOCK SURFACER (NO LESS THAN 8 MILS)<br>(2) COATS S-W ULTRACRETE SOLVENT BORNE SMOOTH B46 (NO LESS THAN 8 MILS EACH COAT OR 16 MILS TOTAL)<br><br>ACCENT COLOR: EQUAL TO SOFTER TAN SW 6141<br><br>FIELD COLOR: EQUAL TO LATTE SW 6108 (INDICATED BY SHADING: [shading]) |
| EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.)  | DRYVIT - OUTSULATION PLUS MD SANDBLAST FINISH                          | SW 6871 POSITIVE RED OR APO11030S WITH DRYVIT STRATOTONE HIGH PERFORMANCE COLORANT (FACTORY MIXED ONLY)  |
| STOREFRONT (NO SUBSTITUTES)   | EFCO<br>KAWNEER<br>VISTA WALL  | IVY<br>DARK IVY<br>INTERSTATE GREEN  |
| BOLLARDS  | IN FIELD   | SHERWIN WILLIAMS SW 6468 HUNT CLUB EXTERIOR SEMI-GLOSS LATEX   |
| EXTERIOR DOORS OVERHEAD DOOR  | IN FIELD   | FACTORY PRIME FIELD PAINTED SW 6108 LATTE  |
| SHEET METAL CAP FLASHING AT E.I.F.S.  | BY METAL BUILDING MFG'R<br>FIELD BROKEN<br>FACTORY PRIME FIELD PAINTED | SHERWIN WILLIAMS SW 6871 POSITIVE RED (VERIFY MIX BELOW MATCHES E.I.F.S. COLOR)<br>CLEAR COAT-DIAMOND CLAD CLEAR COAT URETHANE B65T105B65V105B65C105-3 COMPONENT   |
| PRE-FINISHED SHEET METAL CAP FLASHING   | BY METAL BUILDING MFG'R<br>FIELD BROKEN                                | COOL BIRCH WHITE   |
| SHEET METAL CONDUCTOR HEADS AND DOWNSPOUT   | PER LOCAL SUPPLIER   | PRE-FINISHED MATCH SHERWIN WILLIAMS "LATTE" SW 6108  |
| EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) ACCENT BAND  | DRYVIT - OUTSULATION PLUS MD SANDBLAST FINISH                          | SHERWIN WILLIAMS COLOR: SW 6141 "SOFTER TAN"   |
| PRE-FABRICATED METAL CANOPY   | PER LOCAL SUPPLIER   | POWDER COATED (MATCH SW 6468 "HUNT CLUB")  |



SHEETS BEARING THIS SEAL ARE AUTHORIZED. RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS OR INSTRUMENTS ARE DECLINED.

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PROJECT: CV-377  
NEW O'REILLY AUTO PARTS STORE  
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GAHANNA, OHIO  
**EXTERIOR ELEVATIONS**

**Buddy D. Webb**  
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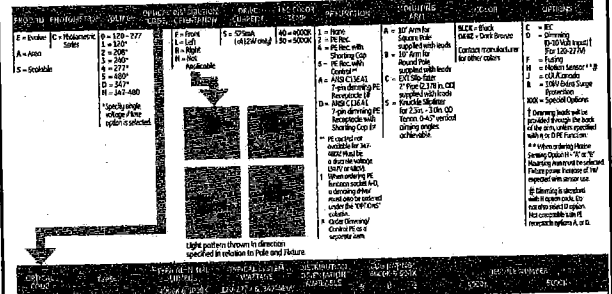
DRAWN BY: EN  
CHECKED BY: LG, BDW  
DATE: 06/04/15  
REVISION: A1 AD. NO. 1 (11/1/15)  
PROJECT NUMBER: GH1  
SHEET NUMBER: A3

**A3**

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**Ordering Number Logic**  
Evolve™ LED Scalable Area Light (EASC)

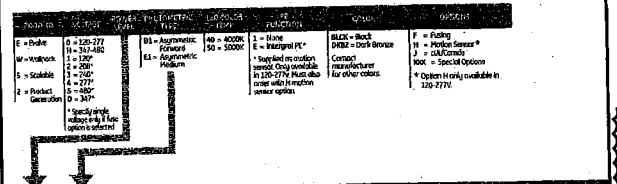
EAS C



| Part No. | Part Description | Part No. | Part Description |
|----------|------------------|----------|------------------|
| 11111    | 5x5 Grid         | 11112    | 6x6 Grid         |
| 11113    | 7x7 Grid         | 11114    | 8x8 Grid         |
| 11115    | 9x9 Grid         | 11116    | 10x10 Grid       |
| 11117    | 11x11 Grid       | 11118    | 12x12 Grid       |
| 11119    | 13x13 Grid       | 11120    | 14x14 Grid       |
| 11121    | 15x15 Grid       | 11122    | 16x16 Grid       |
| 11123    | 17x17 Grid       | 11124    | 18x18 Grid       |
| 11125    | 19x19 Grid       | 11126    | 20x20 Grid       |
| 11127    | 21x21 Grid       | 11128    | 22x22 Grid       |
| 11129    | 23x23 Grid       | 11130    | 24x24 Grid       |
| 11131    | 25x25 Grid       | 11132    | 26x26 Grid       |
| 11133    | 27x27 Grid       | 11134    | 28x28 Grid       |
| 11135    | 29x29 Grid       | 11136    | 30x30 Grid       |
| 11137    | 31x31 Grid       | 11138    | 32x32 Grid       |
| 11139    | 33x33 Grid       | 11140    | 34x34 Grid       |
| 11141    | 35x35 Grid       | 11142    | 36x36 Grid       |
| 11143    | 37x37 Grid       | 11144    | 38x38 Grid       |
| 11145    | 39x39 Grid       | 11146    | 40x40 Grid       |
| 11147    | 41x41 Grid       | 11148    | 42x42 Grid       |
| 11149    | 43x43 Grid       | 11150    | 44x44 Grid       |
| 11151    | 45x45 Grid       | 11152    | 46x46 Grid       |
| 11153    | 47x47 Grid       | 11154    | 48x48 Grid       |
| 11155    | 49x49 Grid       | 11156    | 50x50 Grid       |

**Ordering Number Logic**  
Scalable Wall Pack (EWS2)

EWS 2



| Part No. | Part Description | Part No. | Part Description |
|----------|------------------|----------|------------------|
| 11111    | 5x5 Grid         | 11112    | 6x6 Grid         |
| 11113    | 7x7 Grid         | 11114    | 8x8 Grid         |
| 11115    | 9x9 Grid         | 11116    | 10x10 Grid       |
| 11117    | 11x11 Grid       | 11118    | 12x12 Grid       |
| 11119    | 13x13 Grid       | 11120    | 14x14 Grid       |
| 11121    | 15x15 Grid       | 11122    | 16x16 Grid       |
| 11123    | 17x17 Grid       | 11124    | 18x18 Grid       |
| 11125    | 19x19 Grid       | 11126    | 20x20 Grid       |
| 11127    | 21x21 Grid       | 11128    | 22x22 Grid       |
| 11129    | 23x23 Grid       | 11130    | 24x24 Grid       |
| 11131    | 25x25 Grid       | 11132    | 26x26 Grid       |
| 11133    | 27x27 Grid       | 11134    | 28x28 Grid       |
| 11135    | 29x29 Grid       | 11136    | 30x30 Grid       |
| 11137    | 31x31 Grid       | 11138    | 32x32 Grid       |
| 11139    | 33x33 Grid       | 11140    | 34x34 Grid       |
| 11141    | 35x35 Grid       | 11142    | 36x36 Grid       |
| 11143    | 37x37 Grid       | 11144    | 38x38 Grid       |
| 11145    | 39x39 Grid       | 11146    | 40x40 Grid       |
| 11147    | 41x41 Grid       | 11148    | 42x42 Grid       |
| 11149    | 43x43 Grid       | 11150    | 44x44 Grid       |
| 11151    | 45x45 Grid       | 11152    | 46x46 Grid       |
| 11153    | 47x47 Grid       | 11154    | 48x48 Grid       |
| 11155    | 49x49 Grid       | 11156    | 50x50 Grid       |

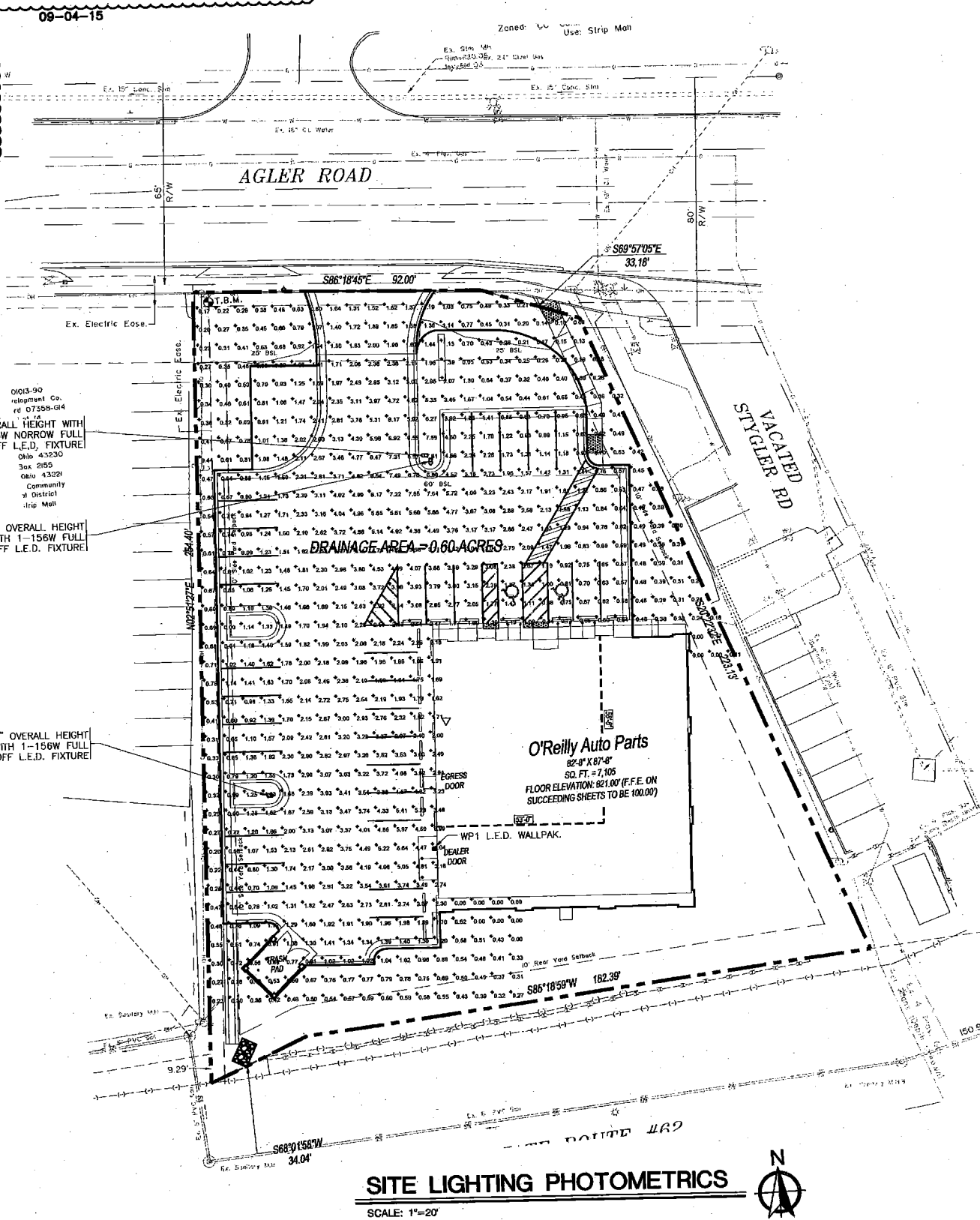
**INTERMATIC K4200 Series Photo Controls**

**K4200 Series Stem and Swivel Mounting**  
The K4200 Series Photo Controls feature stem and swivel mounting, with thermal-type controls. Thermal-type photo controls, which are available in single or multi-voltage models, provide dusk-to-dawn lighting control and a delay action, which eliminates loads switching OFF due to car headlights, and lightning. The thermal-type controls feature a cadmium sulfide photocell and a sonic-welded polycarbonate case and lens to seal out moisture. The design utilizes a dual temperature compensating bi-metal and composite resistor for reliable long life operation over ambient temperature extremes.

**Features**  
• Cadmium sulfide photocell  
• Sonic welded polycarbonate housing and lens to seal out moisture  
• Delay action eliminates load switching OFF due to car headlights, and lightning  
• 0° leads  
• K4251 and K4253 Models are designed for spot/flood type fixtures  
• Controls come with a washer gasket and locking nut

**Ratings**  
Size: 3/8" - 14 threaded swivel, 1 1/4" (4.0 cm) square, 5 1/2" (14.0 cm) long;  
Model K4235 and K4236 - 6 1/4" (15.9 cm) High, 3" (7.6 cm) diameter  
Models K4251 and K4253 - 4" (10.2 cm) High, 1 3/8" (3.5 cm) Diameter  
Gray

**Color:** See table on back  
**Electrical Rating:** See table on back  
**Activation:** 1-5 FC ON; 3-15 FC OFF (photo eye closed on models with shield)  
**Power Consumption:** Averages under 2 Watts  
**Operating Temperature:** -40°F to 168°F (-40°C to 70°C)  
**Shipping Weight:** K4200 Series - 21 lb (9.8 kg)  
K4235 and K4236 - 45 lb (20 kg)  
**Agency Listing:** See table on back



**O'Reilly AUTO PARTS**  
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(417) 862-2674 TELEPHONE

**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
403 AGLER ROAD  
GAHANNA, OH

**SITE LIGHTING PHOTOMETRICS**



DRAWN BY: JTH  
CHECKED BY: NEG  
DATE: 06/04/15  
REVISION: 09/04/15  
PROJECT NUMBER: GH1  
SHEET NUMBER: SP1

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**ORDERING INFORMATION**

| Ordering Number | Pole Ht. (ft.) | Mounting Type | Grid Size | Grid Spacing (ft.) | Light Pattern | Beam Angle | Beam Diameter (ft.) | Beam Area (sq ft.) | Beam Length (ft.) | Beam Diameter (ft.) | Beam Area (sq ft.) | Beam Length (ft.) |
|-----------------|----------------|---------------|-----------|--------------------|---------------|------------|---------------------|--------------------|-------------------|---------------------|--------------------|-------------------|
| 11111           | 10             | Non           | 5x5       | 4                  | Grid          | 10         | 10                  | 10                 | 10                | 10                  | 10                 | 10                |
| 11112           | 10             | Non           | 6x6       | 4                  | Grid          | 12         | 12                  | 12                 | 12                | 12                  | 12                 | 12                |
| 11113           | 10             | Non           | 7x7       | 4                  | Grid          | 14         | 14                  | 14                 | 14                | 14                  | 14                 | 14                |
| 11114           | 10             | Non           | 8x8       | 4                  | Grid          | 16         | 16                  | 16                 | 16                | 16                  | 16                 | 16                |
| 11115           | 10             | Non           | 9x9       | 4                  | Grid          | 18         | 18                  | 18                 | 18                | 18                  | 18                 | 18                |
| 11116           | 10             | Non           | 10x10     | 4                  | Grid          | 20         | 20                  | 20                 | 20                | 20                  | 20                 | 20                |
| 11117           | 10             | Non           | 11x11     | 4                  | Grid          | 22         | 22                  | 22                 | 22                | 22                  | 22                 | 22                |
| 11118           | 10             | Non           | 12x12     | 4                  | Grid          | 24         | 24                  | 24                 | 24                | 24                  | 24                 | 24                |
| 11119           | 10             | Non           | 13x13     | 4                  | Grid          | 26         | 26                  | 26                 | 26                | 26                  | 26                 | 26                |
| 11120           | 10             | Non           | 14x14     | 4                  | Grid          | 28         | 28                  | 28                 | 28                | 28                  | 28                 | 28                |

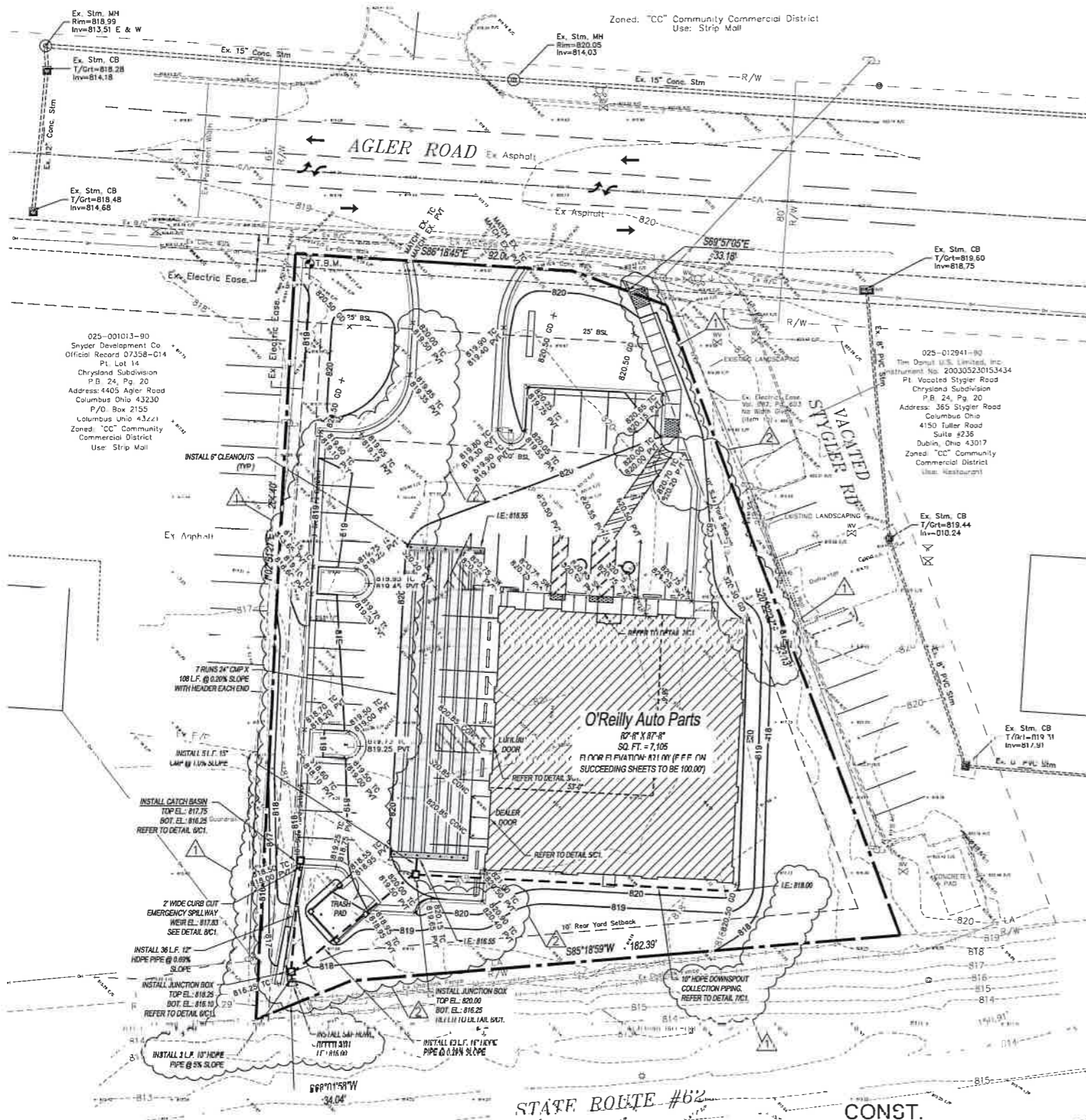
**COMPLETE PART NUMBER REQUIRES SHOWN ABOVE PLUS MOUNTING TYPE, FINISH & APPROPRIATE OPTIONS BELOW**

**MOUNTING TYPE**  
1 Non  
2 Stem  
3 Swivel

**FINISH**  
S1 Dark Bronze  
S2 Black  
S3 Reversible Tron (2-275 x 4.28)

**OPTIONS**  
01F Internal Coating (Rubber Seal)  
01P 15 Amp GFCI Receptacle  
01R 15 Amp GFCI Receptacle  
01S Extra Handhole  
01T 2' Coupling  
01U 2' Coupling  
01V Mid-pole Luminaire Bracket  
01W Inflation Thermos  
01X Lead Anchor Bolts  
01Y CSA Certified (consult factory)



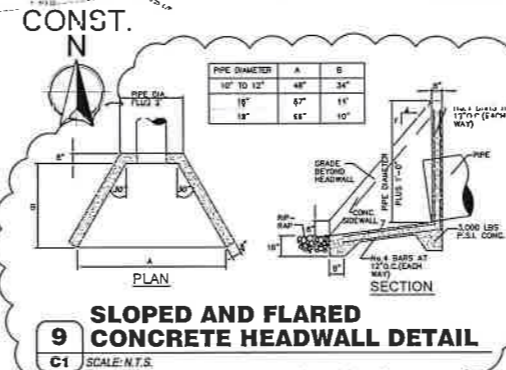


**SITE EXCAVATION REQUIREMENTS:**

- 1. A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATIONS FOR SITE EXCAVATION REQUIREMENTS.
- 2. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION EXCAVATION REQUIREMENTS.

**GENERAL NOTES:**

- A. EXISTING SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING WORK.
- B. FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. BUILDING DOWN SPOUTS TO DISCHARGE TO DOWNSPOUT COLLECTION PIPING.
- E. COMTECH "VORTICE" WATER QUALITY STRUCTURE SHALL TREAT SUSPENDED SOLIDS AND INCLUDE OIL/WATER SEPARATOR. MUST TREAT MINIMUM FLOW OF 1 CFS W/OVERFLOW CAPACITY OF MIN. 2.6 CFS.



**STORM WATER RUNOFF CALCULATION SUMMARY:**

| METHOD OF STORM WATER CALCULATIONS:       | POST DEVELOPMENT                  | POND STORAGE                                    |
|---|-----------------------------------|---|
| SCS - TR55 Method                         | Total Catchment Area = 0.02 Acres | 10' Dia. Pipe, L/E 816.10                       |
| Design Storms: 1, 2, 10, 25, 50, 100 YEAR | D <sub>1</sub> = 0.53             | 2" Wide Emergency Overflow Spillway, El. 817.83 |
|   |                                   | Storage Volume = 2,325 cu ft.                   |

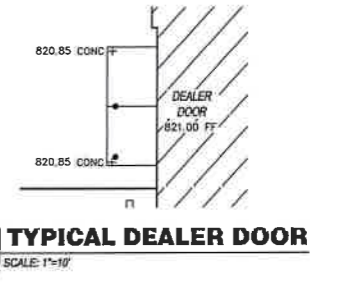
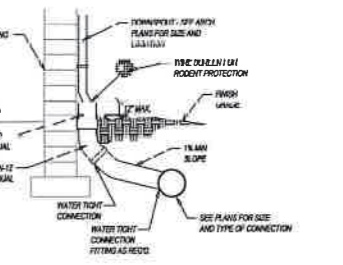
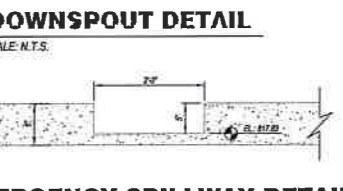
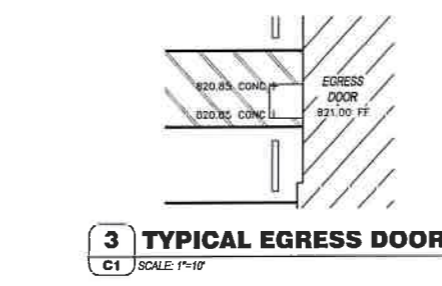
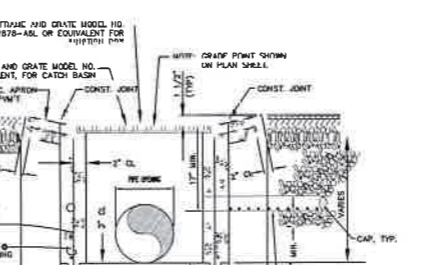
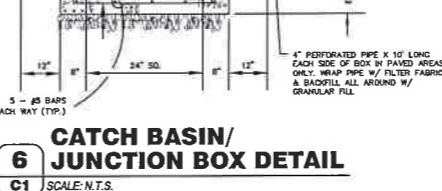
  

| PRE DEVELOPMENT                   | POST DEVELOPMENT HYDROGRAPHS | OUTLET STRUCTURE                                |
|-----------------------------------|------------------------------|---|
| Total Catchment Area = 0.02 Acres | 1 Year = 1.83 cfs            | 10' Dia. Pipe, L/E 816.10                       |
| Design Storm: 10 Year = 2.03 cfs  | 5 Year = 2.07 cfs            | 2" Wide Emergency Overflow Spillway, El. 817.83 |
|                                   | 25 Year = 2.08 cfs           |   |
|                                   | 50 Year = 2.09 cfs           |   |
|                                   | 100 Year = 2.10 cfs          |   |

| POST DEVELOPMENT HYDROGRAPHS Routed Through Outlet Structure   |                                      |
|--|--------------------------------------|
| 1 Year: Peak El. 816.74, Peak Discharge 1.22 cfs < 1.187 cfs   | 25 YR 50 YR 100 YR<br>4.44 5.92 9.93 |
| 2 Year: Peak El. 816.87, Peak Discharge 1.29 cfs < 1.304 cfs   |                                      |
| 5 Year: Peak El. 817.04, Peak Discharge 1.33 cfs < 1.363 cfs   |                                      |
| 10 Year: Peak El. 817.20, Peak Discharge 1.87 cfs < 2.323 cfs  |                                      |
| 50 Year: Peak El. 817.80, Peak Discharge 2.44 cfs < 3.258 cfs  |                                      |
| 100 Year: Peak El. 817.83, Peak Discharge 2.72 cfs < 3.701 cfs |                                      |

DRAINAGE TO AGLER ROAD  
 Pre Development = 0.18 Acres (Predominantly Impervious)  
 Post Development = 0.16 Acres (Mixture of Impervious and Pervious)



**SYMBOLS LEGEND**

NOTE: REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND.

|     |                                  |
|-----|----------------------------------|
| --- | EXISTING GRADE LINES             |
| --- | PROPOSED NEW GRADE LINES         |
| ⊙   | BENCHMARK ELE = 820.00           |
| □   | NEW LIGHT OR LIGHT POLE LOCATION |
| ▨   | NEW BUILDING                     |
| ■   | NEW SIGN LOCATION                |

**3/ACON FARMER | WORKMAN**  
 ENGINEERING & TESTING, INC.  
 11000 W. BRUNNEN DRIVE, SUITE 100  
 GAHANNA, OHIO 43025  
 (614) 423-1200  
 www.3acon.com

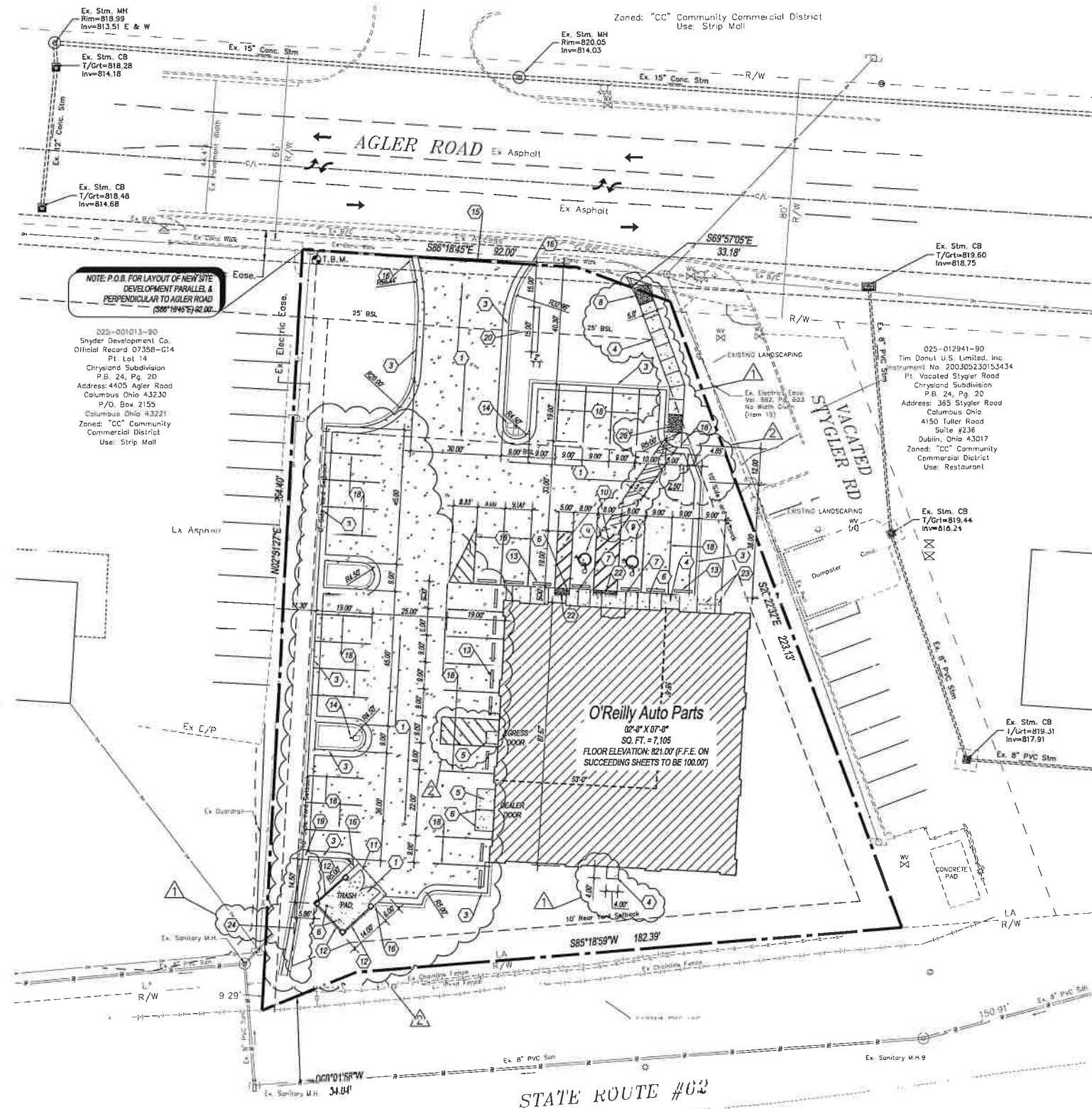
PROJECT: PV-377  
 NEW O'REILLY AUTO PARTS STORE  
 403 AGLER ROAD  
 GAHANNA, OHIO

**O'Reilly AUTO PARTS**  
 CORPORATE OFFICES  
 283 SOUTH PATTERSON  
 SPRINGFIELD, MISSOURI 65802  
 (417) 862-2674 TELEPHONE

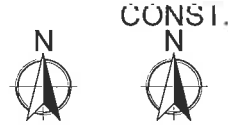
**BFW**  
 ENGINEERING & TESTING, INC.  
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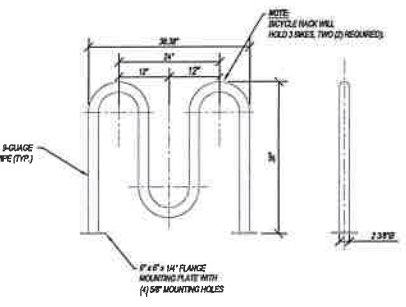


**1 SITE DEVELOPMENT PLAN**  
C2 SCALE: 1" = 20'-0"

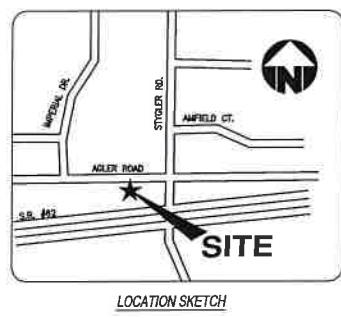


**KEY NOTES:**

- 1 CONCRETE PAVING: REFER TO DETAIL 10C1.
- 2 NOT USED.
- 3 CONCRETE CURB: REFER TO DETAIL 3C1.
- 4 CONCRETE SIDEWALK: REFER TO DETAIL 4C1.
- 5 CONCRETE DOOR LANDING: REFER TO DETAIL 4C3 AND STRUCTURAL DETAILS. RAMP PAVING AS INDICATED. LANDING CAN BE POURED MONOLITHIC IF CONCRETE PAVING IS USED.
- 6 STEEL BOLLARD: REFER TO DETAIL 9C1. PROVIDE (2) AT TRASH PAD AND OVERHEAD DOOR. PROVIDE (8) AT SIDEWALK. REFER TO STRUCTURAL PLAN FOR LOCATION.
- 7 HANDICAP PARKING SIGN: REFER TO DETAIL 10C1.
- 8 INSTALL HANDICAP RAMP. REFER TO DETAIL 10C1.
- 9 HANDICAP PARKING SYMBOL: REFER TO DETAIL 9C1.
- 10 HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPES AS SHOWN.
- 11 SCREEN FENCE GATES: REFER TO DETAIL 11C1.
- 12 6'-0" TALL BLOCK ENCLOSURE AND WOOD GATE (METAL CAP FLASHING TO BE PROVIDED BY GENERAL CONTRACTOR) REFER TO DETAIL 10C1.
- 13 CONCRETE BUMPER BLOCK: 8" x 5' x 6'-0" LONG CONCRETE ANCHOR TO PAVING WITH (2) 1'-0" LONG #4 REBAR (TO SIT LEVEL WITH PAVING), IS TOTAL.
- 14 PARKING LOT LIGHTING: REFER TO SITE UTILITIES PLAN (SUI) FOR LOCATION AND TYPE.
- 15 LIMITS OF NEW PAVING: MATCH EXISTING PER CITY STANDARDS.
- 16 ROLL CURB DOWN. TERMINATE AND ROLL DOWN NEW CURB WHERE INDICATED. ROLL DOWN @ 1:2.
- 17 NOT USED.
- 18 STRIPING: PROVIDE 4' WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- 19 CURB CUT: 36" CURB (PAVING) (MINIMUM 36" SW) REFER TO DETAIL 9C1.
- 20 SIGN LOCATION: SIGN FURNISHED AND INSTALLED BY OWNER. REFER TO SITE UTILITIES PLAN FOR DETAILS.
- 21 NOT USED.
- 22 DETECTABLE WARNING SURFACE. REFER TO DETAIL 9C1.
- 23 BICYCLE RACK: INSTALL TWO (2) SURFACE MOUNTED BIKE RACK (3 SPACES) AS MANUF. BY BIKE RACK SHOPS, WWW.BIKERACKSHOPS.COM (877)367-4253, COLOR TO MATCH BOLLARDS. REFER TO DETAIL 10C1. (8 AVAILABLE SPACES).
- 24 INSTALL 2' WIDE CONCRETE PAVED DITCH. REFER TO DETAIL 13C1.
- 25 INSTALL STRIPED CROSS WALK.
- 26 INSTALL HANDICAP RAMP. REFER TO DETAIL 10C1.



**2 BIKE RACK DETAIL**  
C2 SCALE: 1" = 20'



**PARKING SUMMARY**

- 32 REGULAR PARKING SPACES
- 2 HANDICAP SPACES
- 34 TOTAL SPACES PROVIDED (NO COMPACT SPACES)
- REQUIRED PARKING SPACES: 1 SPACE FOR EACH 280 S.F. OF GROSS FLOOR AREA 7,105/280 = 25 SPACES

**SITE NOTES**

EXISTING USE: SERVICE GARAGE  
INTENDED USE: RETAIL - AUTOMOTIVE PARTS  
PROPERTY ZONING: CC-COMMUNITY COMMERCIAL DISTRICT

SITE CRITERIA:  
MAP NO. 025-001029-90  
DEED REFERENCE: OFFICIAL RECORD 2971-FM, PART OF LOTS 12 AND 13, AND 025-012941-90, INSTRUMENT NO. 20011003022806, PART OF LOTS 11, CHRYSLAND SUBDIVISION, P.B. 24, PG. 20  
LOT AREA: 0.778 AC, 33,889 S.F.  
STREET SETBACKS (STREET TYPES):  
FRONT YARD: 60 FT., LANDSCAPE FRONT: 15 FT.  
SIDE YARD: 10 FT., LANDSCAPE SIDE: 3 FT.  
REAR YARD: 10 FT., LANDSCAPE REAR: 3 FT.  
REAR YARD: 10 FT., LANDSCAPE REAR: 3 FT.  
REAR YARD: 10 FT., LANDSCAPE REAR: 3 FT.

FLOOD NOTE:  
SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "X", AS GRAPHICALLY INTERPOLATED FROM COMMUNITY MAP NUMBER 3004800194K OF THE FIRM MAP (FLOOD INSURANCE RATE MAP) DATED JUNE 17, 2008 (FRANKLIN COUNTY, OHIO AND INCORPORATED AREAS).

PROPERTY ADDRESS:  
403 AGLER ROAD  
GAHANNA, OH 43230

PROPERTY OWNER:  
FRANK D. AND BETTY J.M. DUFF

BUILDING HEIGHT:  
21 FEET

**GENERAL NOTES:**

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. ALL SITE DIMENSIONS TO THE GUTTER LINE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.
- E. PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO VERIFY THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY CONFLICTS, NOTIFY THE ENGINEER IMMEDIATELY TO CORRECT THE O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.
- F. ANY EXISTING PAVEMENT TO BE REMOVED FOR NEW CONSTRUCTION SHALL BE SAWCUT IN ONE CONTINUOUS LINE. PATCHING OF EXISTING PAVEMENT SHALL MATCH EXISTING TYPE/THICKNESS AND INSTALLED PER CITY GUIDELINES OR INSTRUCTIONS.

**SYMBOLS LEGEND**

NOTE: REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND.

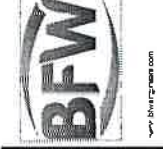
|  |                                  |
|--|----------------------------------|
|  | AREA OF CONCRETE                 |
|  | NEW BUILDING                     |
|  | NEW SIGN LOCATION                |
|  | NEW LIGHT OR LIGHT POLE LOCATION |
|  | NEW CONCRETE PARKING BLOCK       |



**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

PROJECT: PV-377  
NEW O'REILLY AUTO PARTS STORE  
403 AGLER ROAD  
GAHANNA, OHIO  
**SITE DEVELOPMENT PLAN**

BACON FARMER WORKMAN  
ENGINEERING & TESTING, INC.  
110 COLUMBIAN BLVD  
COLUMBUS, OHIO 43260  
PH: 614.881.1100  
FAX: 614.881.1101

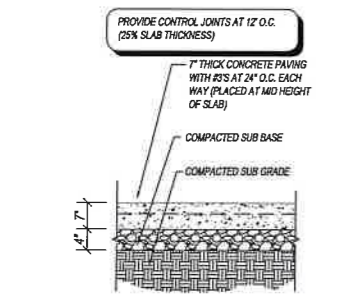


DESIGNED BY: S.S.  
CHECKED BY: B.D.  
DATE: 06/04/15  
REVISIONS:  
REV. 1 09/04/15  
REV. 2 11/05/15  
REV. 3 01/06/16  
PROJECT NUMBER: GH1  
SHEET NUMBER: C2  
SHEET 2 OF 4

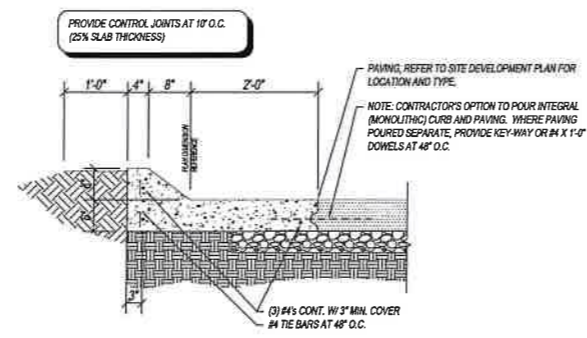
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STATE OF OHIO  
 ROBERT G. DEITZ  
 E-72232  
 REGISTERED PROFESSIONAL ENGINEER  
 01/06/16

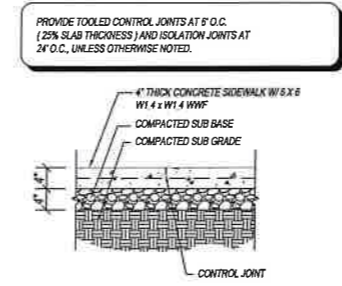
SHEETS BEARING THIS SEAL ARE AUTHORIZED. RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS OR INSTRUMENTS IS DECLINED.



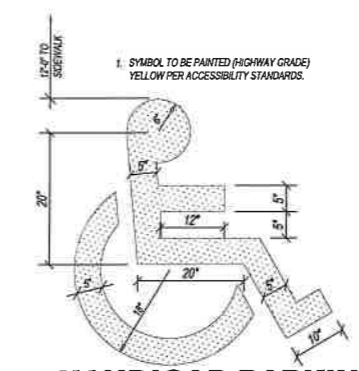
**1 CONCRETE PAVING SECTION**  
 C3 SCALE: 3/4" = 1'-0"



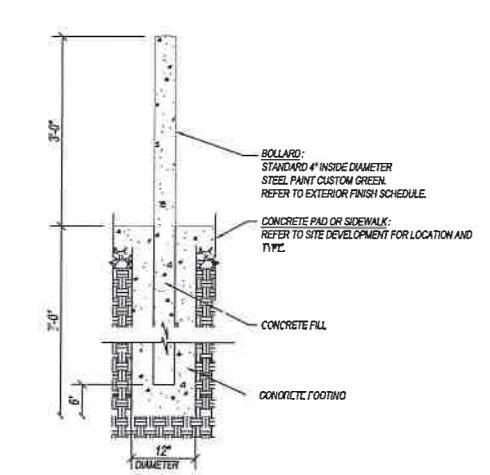
**3 CONCRETE CURB SECTION**  
 C3 SCALE: 3/4" = 1'-0"



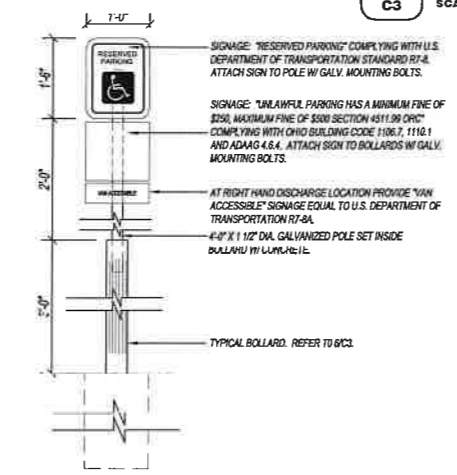
**4 CONCRETE SIDEWALK SECTION**  
 C3 SCALE: 3/4" = 1'-0"



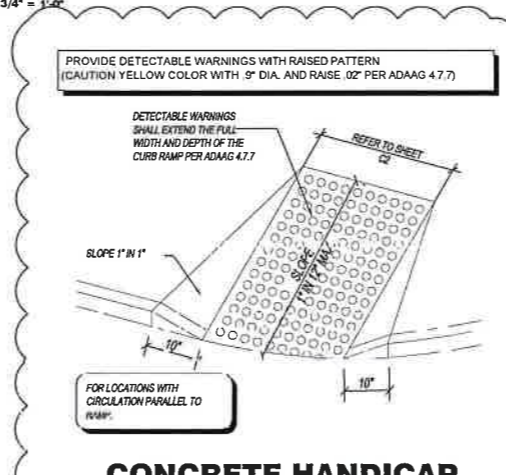
**5 HANDICAP PARKING SYMBOL DETAIL**  
 C3 SCALE: 3/4" = 1'-0"



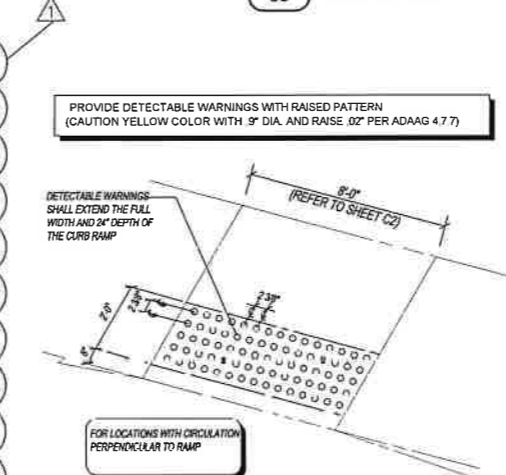
**6 STEEL BOLLARD SECTION**  
 C3 SCALE: 3/4" = 1'-0"



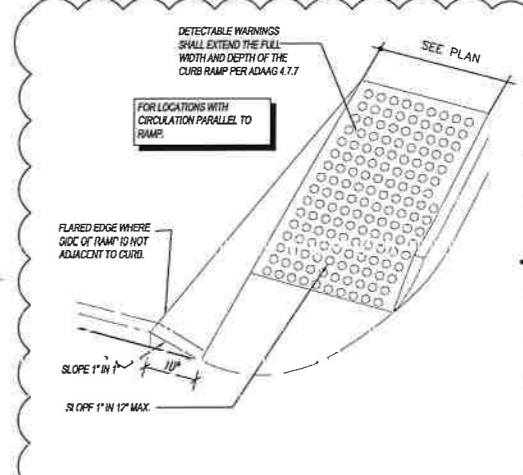
**7 HANDICAP PARKING SIGN**  
 C3 SCALE: 3/4" = 1'-0"



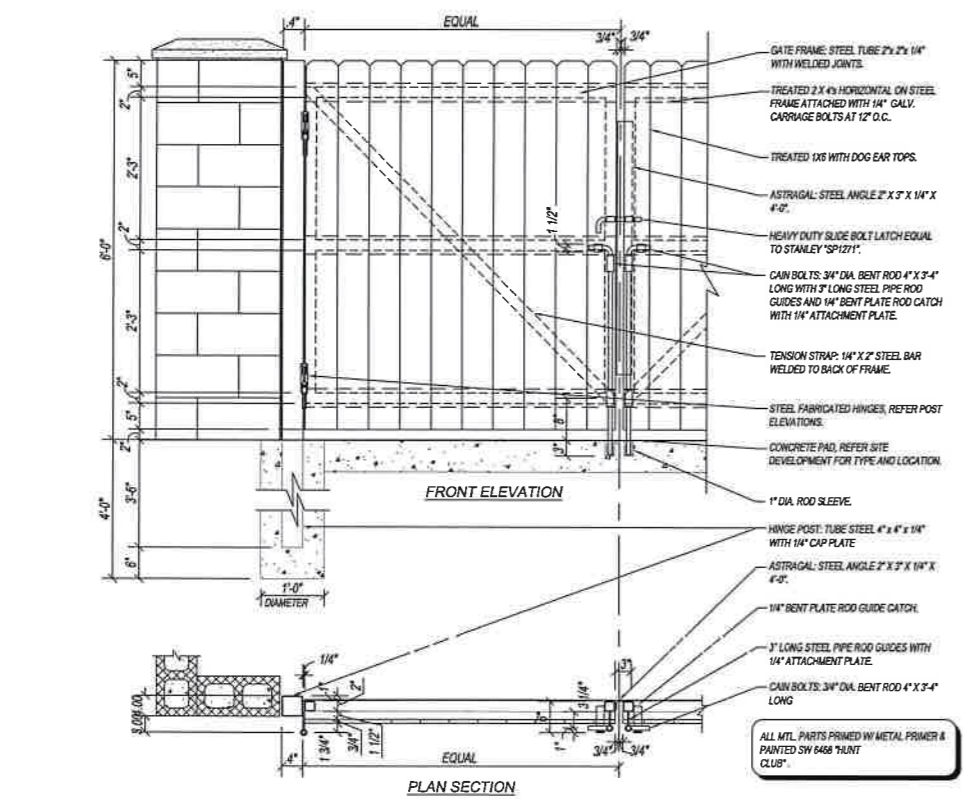
**8 CONCRETE HANDICAP RAMP DETAIL**  
 C3 SCALE: 3/4" = 1'-0"



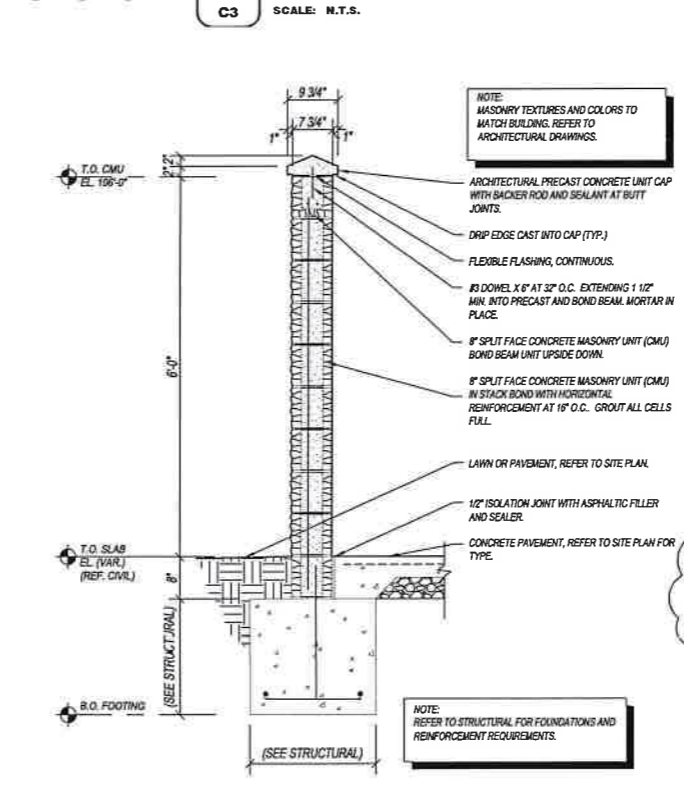
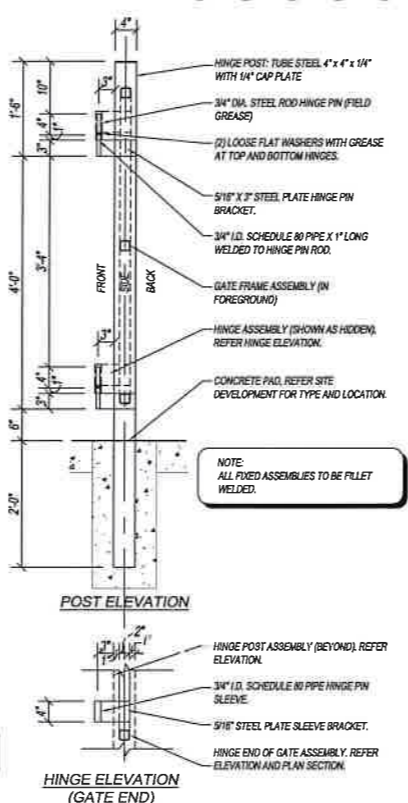
**9 DETECTIBLE WARNING DETAIL**  
 C3 SCALE: N.T.S.



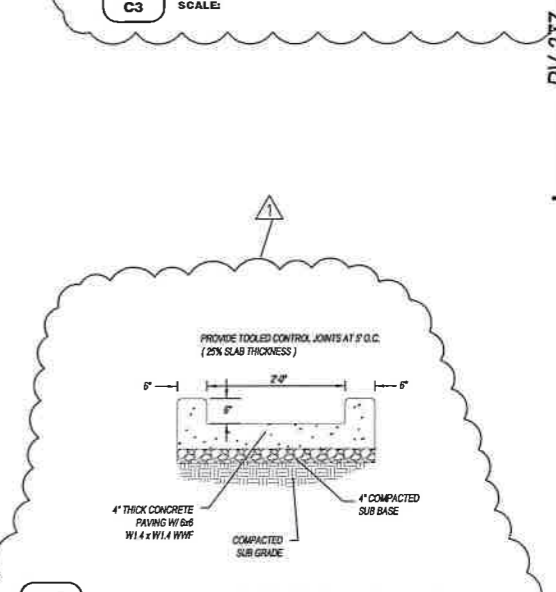
**10 CONCRETE HANDICAP RAMP DETAIL**  
 C3 SCALE: 3/4" = 1'-0"



**11 SCREEN FENCE GATE**  
 C3 SCALE: 3/4" = 1'-0"



**12 REFUSE ENCLOSURE SCREEN WALL**  
 C3 SCALE: 3/4" = 1'-0"



**13 PAVED DITCH SECTION**  
 C3 SCALE: N.T.S.

**O'Reilly AUTO PARTS**  
 CORPORATE OFFICES  
 239 SOUTH PATTERSON  
 SPRINGFIELD, MISSOURI 65802  
 (417) 862-2674 TELEPHONE

PROJECT: PV-372  
**NEW O'REILLY AUTO PARTS STORE**  
 403 AGLER ROAD  
 GAHANNA, OHIO

**BACON | FARMER | WORKMAN**  
 ENGINEERING & TESTING, INC.  
 111 BROADWAY  
 400 SOUTH 77th STREET  
 P.O. BOX 1000  
 PLYMOUTH, MI 48170  
 PHONE: 313.733.2000  
 FAX: 313.733.2000

**BFW**  
 BACON | FARMER | WORKMAN

DRAWN BY: S.S.  
 CHECKED BY: B.D.  
 DATE: 06/04/15  
 REVISION: Rev. 1 09/04/15  
 PROJECT NUMBER: GH1  
 SHEET NUMBER: C3

**C3**  
 SHEET 3 OF 4

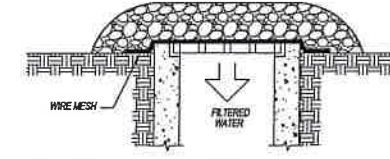
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**EROSION CONTROL & MAINTENANCE PLAN NOTES:**

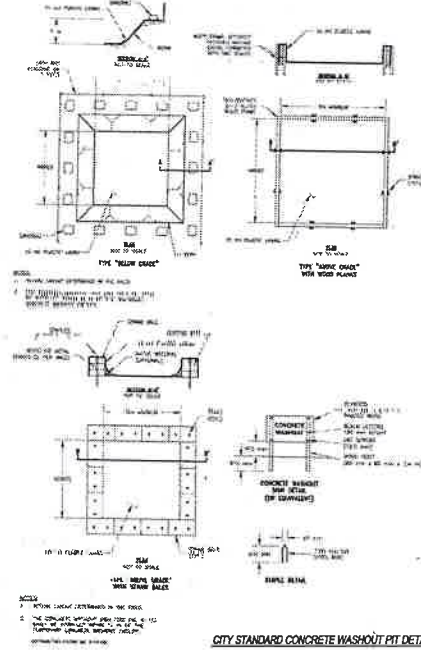
1. RETAIN FLOATABLE AND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND/OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST THrice WEEKLY AND WITHIN 24 HOURS AFTER A STORM EVENT OF 0.2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCRoACHMENT OF SEDIMENT INTO ALL STORM DRAIN APERTURES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROADPARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO SCA FOR SILT FENCE CONSTRUCTION.
7. ALL GRASS SLOPES WHICH EQUAL OR EXCEED 5:1 (H:V) WHICH DO NOT RECEIVE SOO AS INDICATED ON LANDSCAPE PLANS, SHALL UTILIZE CONTEG'S CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MATS C25 OR APPROVED EQUAL MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.
8. CONTRACTOR SHALL NOT REMOVE ANY EROSION CONTROL MEASURES UNTIL SUFFICIENT SOIL STABILIZATION IS ESTABLISHED AND IMPROVISED SURFACES COMPLETE.
9. AFTER PROJECT COMPLETION AND CLOSOUT, THE OWNER SHALL INSPECT PROPOSED INLETS BI-MONTHLY AND REMOVE SEDIMENT BUILDUP IF PRESENT.

STORM GRATE FILTER NOTE:  
CONTRACTOR MAY INSTALL A MANUFACTURED STORM GRATE FILTER (FILTRATION SACK, SILT SACK, ETC., GRATE PYRAMID, ETC.) IN PLACE OF DETAIL.

REQUIRED: INSTALL MANUFACTURED STORM GRATE FILTER (FILTRATION SACK, SILT SACK, ETC., GRATE PYRAMID, ETC.) AT EACH CATCH BASIN AT THE COMPLETION OF PROJECT AND SHALL BE INCORPORATED INTO POST CONSTRUCTION MAINTENANCE RESPONSIBILITIES.



**2 STORM INLET SEDIMENT FILTER DETAIL**  
SCALE: 3/4" = 1'-0"



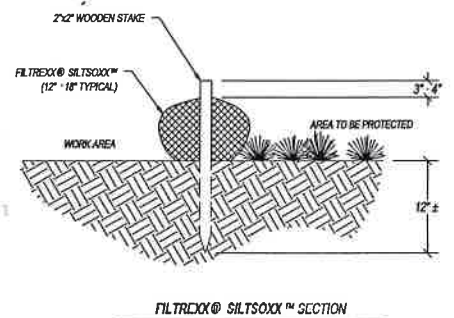
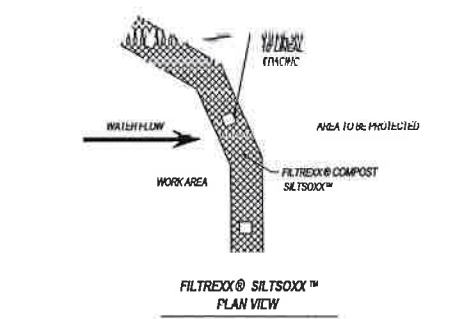
**4 CONCRET WASHOUT PIT DETAIL**  
SCALE: N.T.S.

**RIP-RAP NOTE:**

PLACE RIP-RAP IN ALL PLACES AS INDICATED ON THE PLAN. THE STONE FOR RIP-RAP SHALL CONSIST OF TELLD STONE OR ROUND LIMESTONE QUARRY STONE AS NEARLY AS UNIFORM IN SECTION AS PRACTICAL. THE STONES SHALL BE DENSE, RESISTANT TO THE ACTION OF AIR AND WATER, AND SUITABLE IN ALL ASPECTS FOR THE PURPOSE INTENDED UNLESS OTHERWISE SPECIFIED. ALL STONES USED AS RIP-RAP SHALL WEIGH BETWEEN 50-150 POUNDS EACH, AND AT LEAST 60 PERCENT OF THE STONES SHALL WEIGH MORE THAN 100 POUNDS EACH. STONES SHALL BE A MINIMUM OF 12" IN DIAMETER AND PLACED A MINIMUM OF 18" BELOW FINISH GRADE.

**DISTURBED LIMITS:**

0.85 < 1.0 ACRES (NOI & SWPPP NOT REQUIRED)



- NOTE:**
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS OR APPROVED EQUAL.
  2. SILT SHALL BE LUMPUS/SLURRY/MANUSSED FILL (U) MEET APPLICATION REQUIREMENTS.
  3. SILT/SOXX™ DEPECTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SIZES PER THE ENGINEER.
  4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

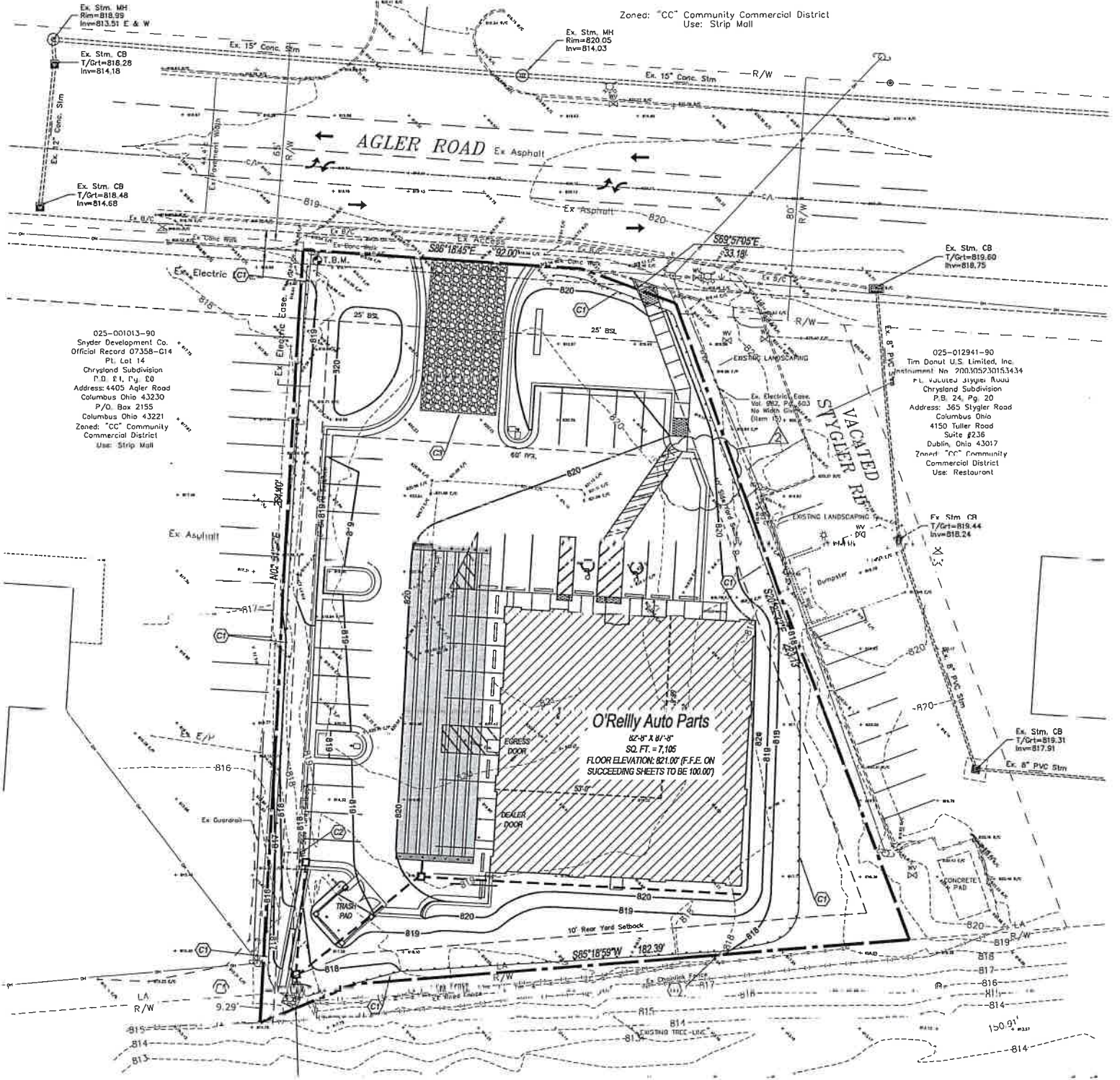
**3 FILTREXX SILT/SOXX**  
SCALE: 3/4" = 1'-0"

**STAGES OF CONSTRUCTION:**

1. INSTALLATION OF EROSION CONTROL FENCE.
2. SITE DEMOLITION OF EXISTING IMPROVEMENTS.
3. STRIP TOP SOIL.
4. INSTALLATION OF CONSTRUCTION ENTRANCE.
5. ROLSH GRADING.
6. INSTALL STORM SEWER SYSTEM.
7. INSTALL SEDIMENT FILTERS OVER STORM SEWER STRUCTURES (I) TOTAL.
8. CONSTRUCTION OF NEW SITE IMPROVEMENTS.
9. FINAL GRADING.
10. PLACEMENT OF RIP-RAP AND FINAL LANDSCAPING, TRIMS, AND SOO.
11. REMOVAL OF EROSION CONTROL FENCE.

**KEY NOTES:**

1. LIMITS OF TEMPORARY EROSION CONTROL FENCE REFER TO DETAIL 3C4.
2. DROP INLET SEDIMENT FILTER AND SILT FENCE AROUND BOX, REFER TO DETAIL 2C4 AND 3C4 (SEE GRATE FILTER NOTE, DETAIL 2C4).
3. INSTALL 25' X 50' CONSTRUCTION EGRESS PER NOTES.
4. RIP-RAP (100 S.F.) SEE RIP-RAP NOTE THIS SHEET.



**1 SITE EROSION CONTROL PLAN**  
SCALE: 1" = 20'-0"

**BMP OPERATION & MAINTENANCE SCHEDULE**

| EXPECTED HOT SPOTS   | DUMPSTER AREA  | OPERATION & MAINTENANCE SCHEDULE |
|----------------------|--|----------------------------------|
| STRUCTURAL BMP'S     | REMOVE DEBRIS FROM CATCH BASINS & OUTLET STRUCTURE       | WEEKLY                           |
|                      | MOW GRASS AND REPAIR ERODED LANDSCAPING AREAS            | BI-MONTHLY                       |
|                      | INSPECT & REMOVE SILT BUILDUP ALONG SILT FENCING         | WEEKLY                           |
|                      | INSPECT AND CLEAN STREETS IF NEEDED                      | TWICE WEEKLY                     |
|                      | INSPECT AND ADD STONE TO CONSTRUCTION ENTRANCE IF NEEDED | DAILY                            |
| NON-STRUCTURAL BMP'S | BMP MAINTENANCE MEETING/TRAINING                         | DAILY                            |
|                      |  | BI-MONTHLY                       |

**CONSTRUCTION EGRESS NOTES:**

1. CONSTRUCTION EGRESS SHALL BE 20' MINIMUM WIDTH AND 50' MINIMUM LENGTH AND 4" MIN THICKNESS OF (153-327) COARSE AGGREGATE WITH GEOTEXTILE UNDERLAY. REFER TO THE CITY AND STATE FOR ANY ADDITIONAL REQUIREMENTS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DISPERSED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER THE CITY AND STATE REQUIREMENTS.



**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65902  
(417) 862-2674 TELEPHONE

PROJECT: PV-377  
**NEW O'REILLY AUTO PARTS STORE**  
403 AGLER ROAD  
GAHANNA, OHIO

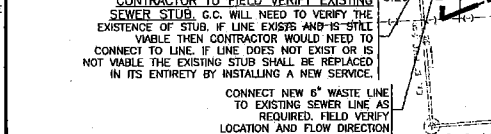
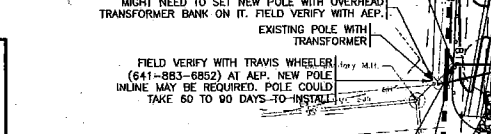
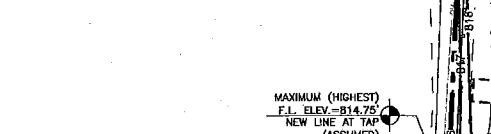
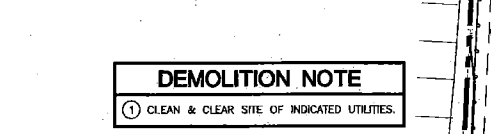
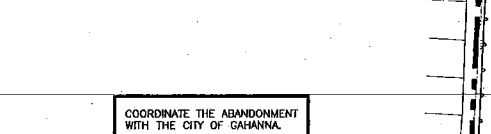
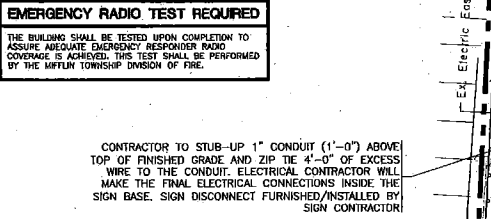
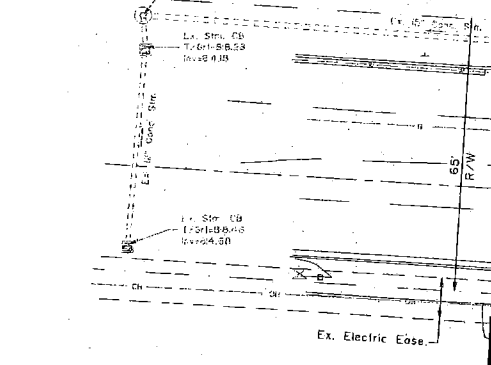
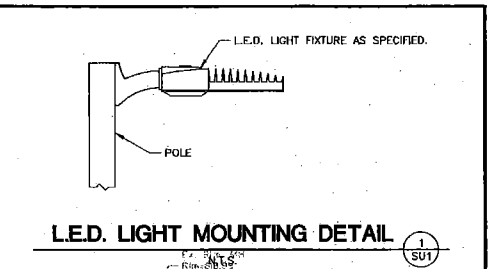
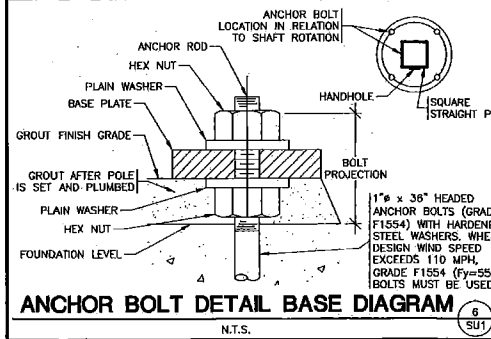
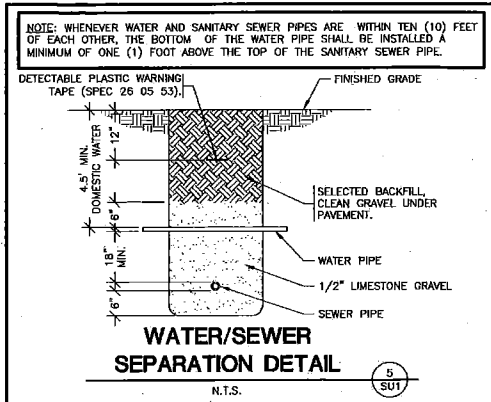
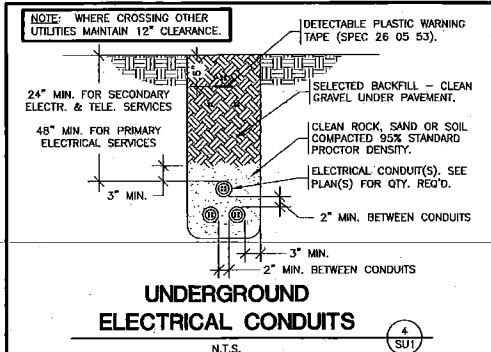
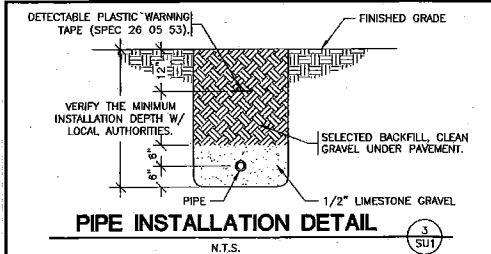
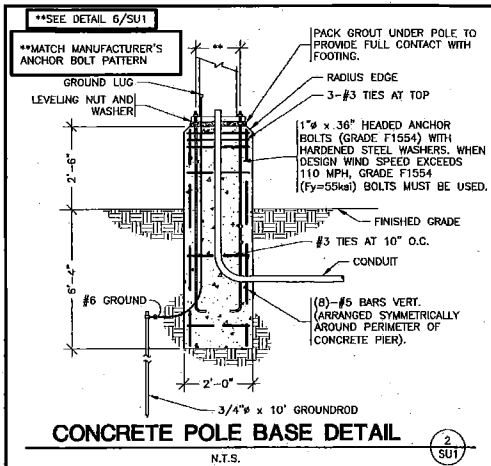
BACC-V FARMER WORKMAN  
ENGINEERING & TESTING, INC.  
124 DUNDAS DRIVE  
SPRINGFIELD, OHIO 45502  
PROJECT: PV-377



DRAWN BY: S.S.  
CHECKED BY: B.D.  
DATE: 06/04/15  
REVISION: Rev. 1 09/04/15  
Rev. 2 11/05/15  
PROJECT NUMBER: GH1  
SHEET NUMBER: C4  
SHEET 4 OF 4

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01/06/16



**EXISTING CONDITIONS NOTES**

1. THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID. REFER TO SPECIFICATIONS ALSO.
2. EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
4. ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
5. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS-BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.

**UTILITIES CONTACTS:**

ELECTRIC: AEP, TRANS WHEELER: 641-883-8852  
 WATER: AT&T, COLLEEN BRISON: 614-223-7677  
 SEWER: CITY OF GAHANNA: 614-342-4440  
 GAS: COLUMBIA GAS OF OHIO, CUSTOMER SERVICE: 800-644-4077

**NEW UTILITIES**

WS - WATER SERVICE  
 UGE - UNDERGROUND ELECTRIC  
 UGT - UNDERGROUND TELEPHONE  
 SAN - SANITARY SEWER  
 OHE - OVERHEAD ELECTRIC  
 OHT - OVERHEAD TELEPHONE  
 GS - GAS SERVICE (BY GAS CO.)  
 CS - CEMENT SERVICE (BY GAS CO.)  
 BORE - BORE  
 GRAVEL - GRAVEL

P.O.C. - POINT OF CONNECTION BETWEEN SITE PIPING (SPEC 02700) AND BUILDING PIPING (SPEC 21 13 13, 22 00 00), AS NECESSARY - SPEC 21 13 13 DENOTES LANDSCAPE IRRIGATION.

**STATE OF OHIO LIMITATION**

I HEREBY CERTIFY THAT THESE ENGINEERING DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF OHIO.

*NEG* 11/6/15  
 NORMAN E. GOTH (DATE)

LICENSE RENEWAL DATE IS DECEMBER 31, 2015

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**CONTRACTOR CAUTION!!! VERIFY SEWER LINE ELEVATION**

BEFORE STARTING ANY BUILDING PAD GRADING AND PLUMBING WORK, THE CONTRACTOR SHALL FIELD VERIFY LOCATION, MATERIAL, CONDITION, ACCESSIBILITY (INCLUDING STATE HIGHWAY OR OTHER RIGHTS-OF-WAY) AND WORKABLE FLOW LINE ELEVATION OF THE EXISTING SANITARY SEWER SERVICE LINE OR MAIN.

IF A WORKABLE FLOW LINE HAS NOT BEEN ESTABLISHED AT THE TIME OF FINAL SANITARY SEWER SERVICE CONNECTION, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXPENSES ASSOCIATED WITH THE INSTALLATION OF A NEW "GRINDER PUMP SYSTEM EQUAL TO "ENVIRONMENT ONE" #01152. PHONE: 518-346-6161 TO MEET OWNER AND LOCAL REQUIREMENTS.

**TELEPHONE SERVICE REQUIREMENTS**

SPECIAL NOTE: NEW PHONE SERVICE TO BUILDING SHALL BE AN UNDERGROUND SERVICE. CONTRACTORS TO SCHEDULE INSTALLATION OF U/G TELEPHONE SERVICE CONDUIT WITH OWNER. CONTACT (417) 874-7288.

2" PVC SCHEDULE 40 CONDUIT WITH RIGID GALVANIZED STEEL LONG SWEEP BENDS @ 18"-24" DEPTH FOR PHONE SERVICE. PROVIDE MINIMUM 1/4" POLYPROPYLENE PULL LINE. PLACE CONDUIT A MINIMUM OF 12" FROM U/G ELECTRIC CONDUIT IN SAME TRENCH.

CAP END OF CONDUIT AT PROPERTY LINE BELOW FINISHED GRADE AND INSTALL CABLE MARKER FOR PHONE COMPANY, IF NECESSARY. OTHERWISE, CONTINUE PHONE SERVICE CONDUIT TO A POLE AND INSTALL RIGID GALVANIZED STEEL CONDUIT A MINIMUM 10' (1L) ABOVE FINISHED GRADE ATTACHED TO POLE.

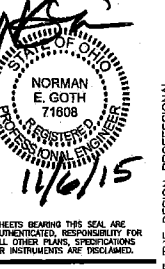
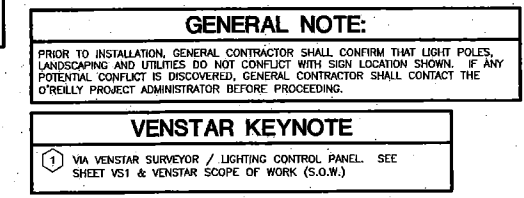
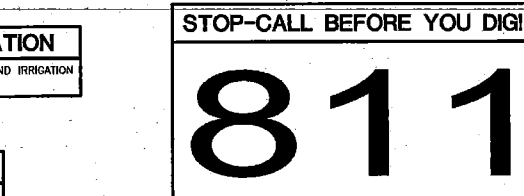
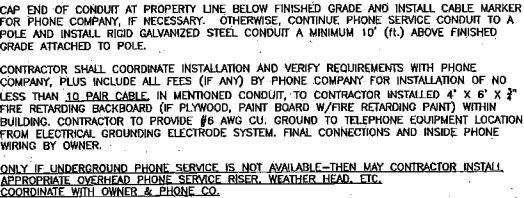
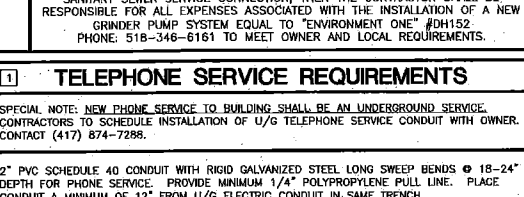
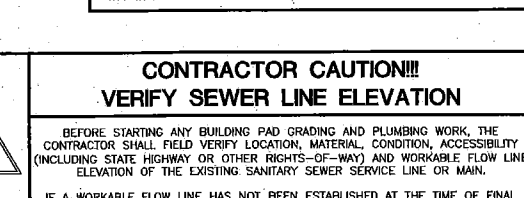
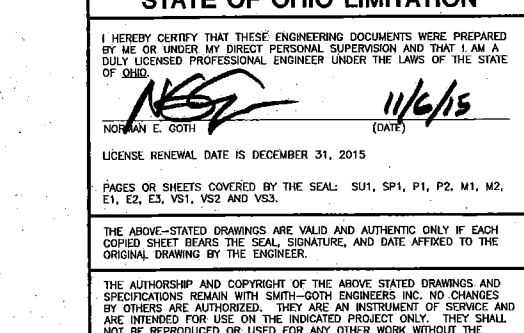
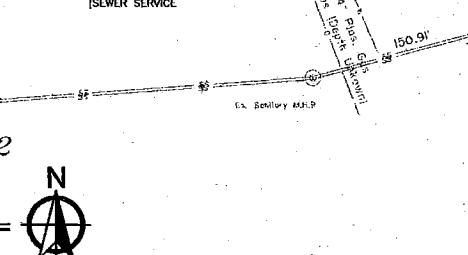
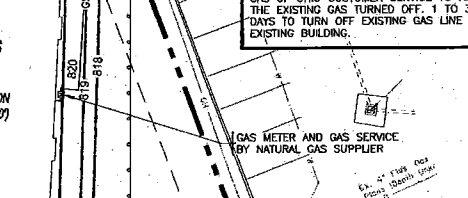
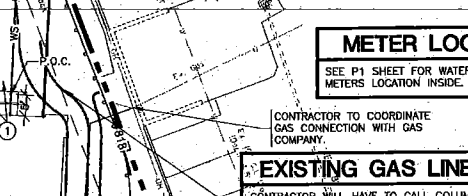
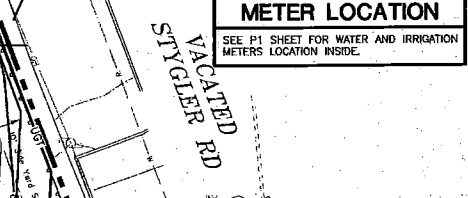
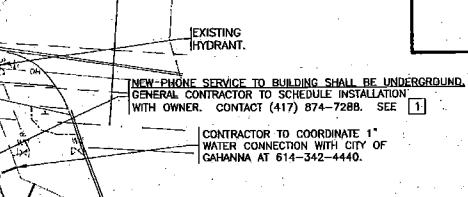
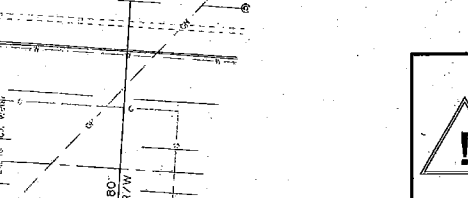
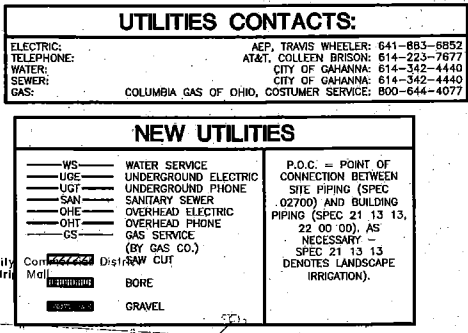
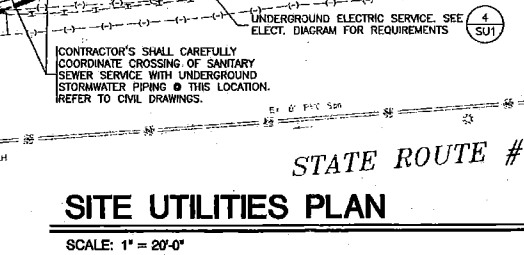
CONTRACTOR SHALL COORDINATE INSTALLATION AND VERIFY REQUIREMENTS WITH PHONE COMPANY. PLUS INCLUDE ALL FEES (IF ANY) BY PHONE COMPANY FOR INSTALLATION OF NO LESS THAN 10 PAIR CABLE. IN MENTIONED CONDUIT, TO CONTRACTOR INSTALLED 4' x 6' x 2" FIRE RETARDING BACKBOARD (IF PLYWOOD, PAINT BOARD W/FIRE RETARDING PAINT) WITHIN BUILDING. CONTRACTOR TO PROVIDE #6 AWG CU. GROUND TO TELEPHONE EQUIPMENT LOCATION FROM ELECTRICAL GROUNDING ELECTRODE SYSTEM. FINAL CONNECTIONS AND INSIDE PHONE WIRING BY OWNER.

ONLY IF UNDERGROUND PHONE SERVICE IS NOT AVAILABLE-THEN MAY CONTRACTOR INSTALL APPROPRIATE OVERHEAD PHONE SERVICE RISER, WEATHER HEAD, ETC. COORDINATE WITH OWNER & PHONE CO.

**CONTRACTOR TO FIELD VERIFY EXISTING SEWER STUB.** G.C. WILL NEED TO VERIFY THE EXISTENCE OF STUB, IF LINE EXISTS AND IS STILL VISIBLE THEN CONTRACTOR WOULD NEED TO CONNECT TO LINE. IF LINE DOES NOT EXIST OR IS NOT VISIBLE THE EXISTING STUB SHALL BE REPLACED IN ITS ENTIRETY BY INSTALLING A NEW SERVICE.

CONTRACTOR'S SHALL CAREFULLY COORDINATE CROSSING OF SANITARY SEWER SERVICE WITH UNDERGROUND STORMWATER PIPING @ THIS LOCATION. REFER TO CIVIL DRAWINGS.

CONNECT NEW 6" WASTE LINE TO EXISTING SEWER LINE AS REQUIRED. FIELD VERIFY LOCATION AND FLOW DIRECTION



**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
403 AGLER ROAD  
GAHANNA, OH

**SITE UTILITIES PLAN**

3885 S. JEFFERSON AVE.  
SPRINGFIELD, MO 65807  
P: 417-862-2600  
F: 417-862-1188  
WWW.O'REILLY.COM

**SGE**  
SMITH-GOTH ENGINEERS, INC.

DRAWN BY: JTH  
 CHECKED BY: NEG  
 DATE: 08/04/15  
 REVISION: 11-06-15  
 PROJECT NUMBER: GH1  
 SHEET NUMBER: SU1

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## CITY OF GAHANNA

### STAFF COMMENTS

Project Name: O'Reilly Auto Parts  
Project Address: 403 Agler Road

#### Development Department:

The applicant requests Final Development Plan, Design Review, Conditional Use, and Variance approval to allow a new auto parts retail store at 403 Agler Road. The building is proposed to be one story with a floor area of 7,100 square feet. The request is substantially similar to a 2014 request for Final Development Plan, Design Review, and Conditional Use which received Planning Commission approval. Those applications have expired which has created the necessity for new applications and additional Planning Commission approvals.

The property is located within the Community Commercial (CC) zone district. CC permits auto supply stores by conditional use. It should be noted that there are two existing auto part stores in the immediate area.

The property is located within the Commercial future land use designation. Commercial areas should complement existing residential and be located with access to major thoroughfares. The site has direct access to Agler Road and is located in close proximity to Stygler Road and Route 62. An objective of the commercial land use is to provide goods and services to persons living and working in the area with clean, safe, attractive, and architecturally compatible structures.

Additionally, the property is located within the West Gahanna Study Area. The West Gahanna Development Study designates this property as Commercial. The Study identified that additional retail uses were needed in the area and that new development should be aesthetically pleasing. The Study encourages fewer and less obtrusive signage. The Study recommends, but does not require, low-profile grounds signs with a maximum height of 8'. A Variance has been requested to allow for a greater square footage of wall signage than what the code permits. Wall sign size is not addressed within the West Gahanna Development Study.

The property is included within the 2015 Economic Development Strategy as a portion of Target Site 1A. The Strategy designates the property as appropriate for retail and service uses. It does not include a specific layout and architectural style but the design theme for the area is centered around a more pedestrian inviting streetscape with less emphasis on buildings centered on automobiles. Signage guidelines are not identified within the PDA, however, pedestrian oriented buildings typically have smaller, more discrete signage.



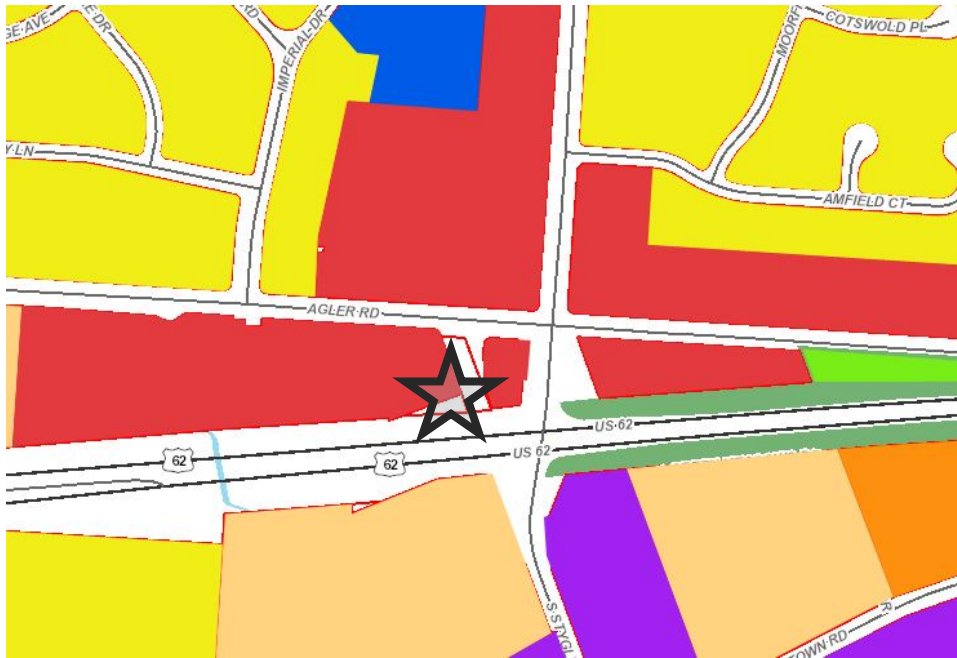
"HERB CAPITAL OF OHIO"

200 SOUTH HAMILTON ROAD, GAHANNA, OH 43230  
614-342-4000 PHONE 614-342-4100 FAX WWW.GAHANNA.GOV

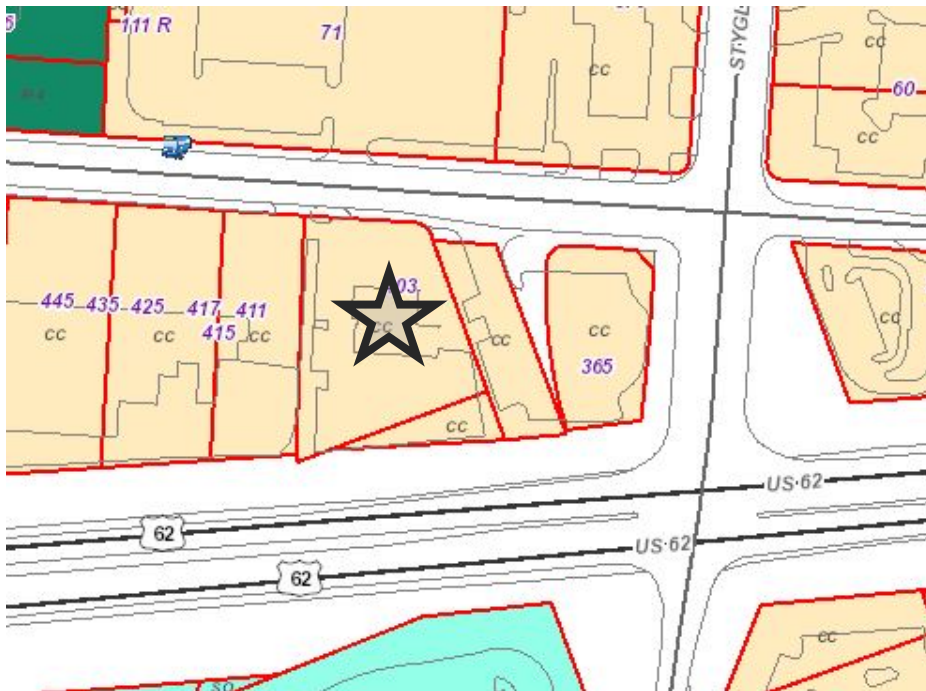


CITY OF GAHANNA

Future Land Use Map



Zoning Map



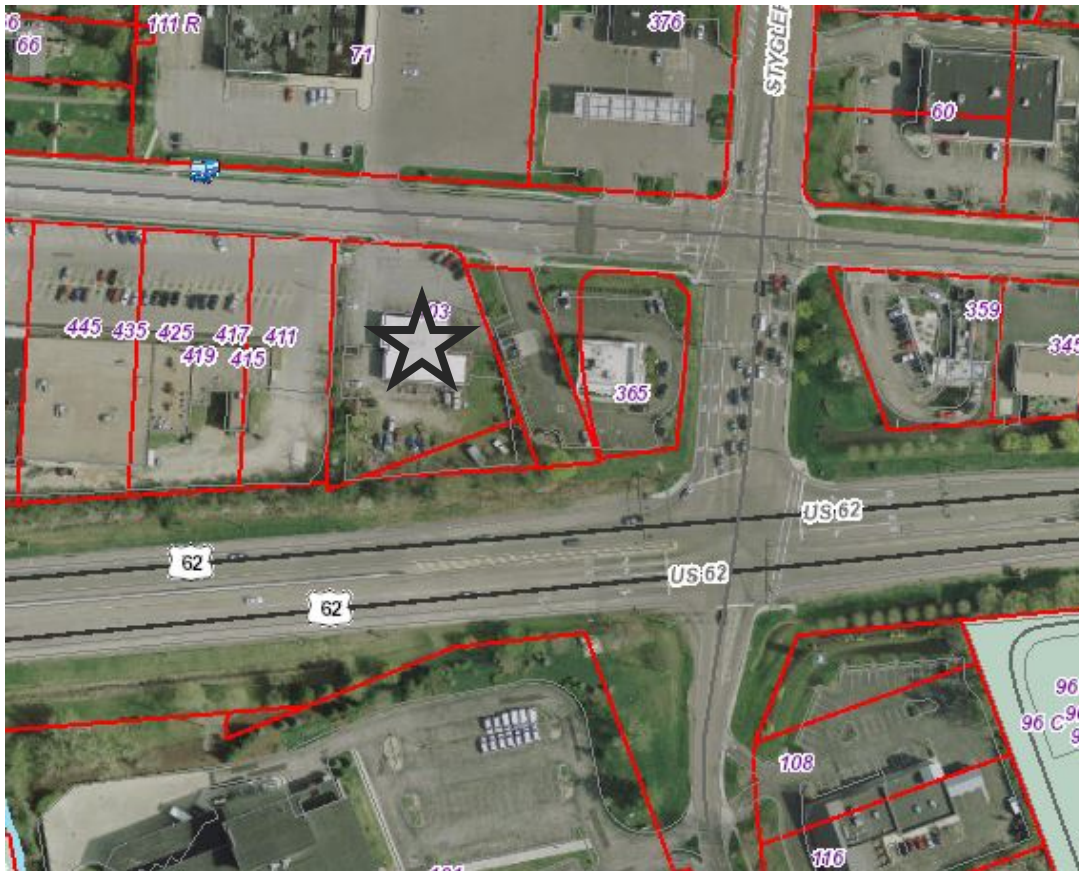
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# CITY OF GAHANNA

## Aerial Map



## FDP Criteria

Planning Commission shall approve an application for Final Development Plan if the following four conditions are met:

1. The proposed development meets the applicable development standards of the zoning ordinance.

*The proposed development appears to meet the development standards of the zoning ordinance with the exception of the variance that has been requested to signage.*

2. The proposed development is in accord with appropriate plans for the area.

*The proposed development is consistent with the 2002 Land Use Plan update and the West Gahanna Study.*

3. The proposed development would not have undesirable effects on the surrounding area.



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## CITY OF GAHANNA

*It does not appear the proposed development will have an undesirable effect on surrounding properties. The area is developed with similar commercial uses which include retail stores, drive thru restaurants, gas stations, etc. The project, if approved, will provide for redevelopment of a site that has been identified as a redevelopment opportunity.*

4. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

*The FDP indicates a minor increase in impervious area, however building and parking locations are similarly positioned as the current project. The project appears to be in keeping with existing land use character as the site is surrounded by similarly developed commercial development.*

### Conditional Use Criteria

Planning Commission shall approve a conditional use if the following four conditions are met:

1. The proposed use is a conditional use of the zoning district and applicable development standards are met.

*Retail sale of auto parts are a conditional use within the Community Commercial zone district.*

2. The proposed development is in accord with appropriate plans for the area.

*The proposed development is consistent with the 2002 Land Use Plan, the West Gahanna Study, and the 2015 Economic Development Strategy. All three plans call for commercial uses on the property.*

3. The proposed development will not have undesirable effects on the surrounding area.

*It does not appear that the proposed use will have an undesirable effect on the surrounding area. Similar and more intense uses are prevalent in the surrounding area. The proposed development is less intense than the existing use of the property, auto repair.*

4. The proposed development will be in keeping with the existing land use character and physical development potential of the area.

*It appears that the proposed development, retail sale of auto parts, is keeping with existing land use character. Surrounding properties consist of similar or more intense uses.*

### Design Review Criteria

Planning Commission shall approve an application for Certificate of Appropriateness if it determines the proposal meets the following criteria:



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## CITY OF GAHANNA

1. Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
2. Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
3. Contribute to the continuing economic and community vitality of the Design Review District.
4. Maintain, protect and enhance the physical surroundings of the Design Review District.

*It is Development staff's opinion that the request meets the four conditions for approval.*

In reviewing requests for design review approval, Planning Commission shall examine the following:

1. Building design to include building massing and general architectural character, exterior surface treatments, fenestration, composition of all building elevations and the overall building color scheme.
2. Site development to include arrangement of buildings and structures on the site, use of signage, means of integrating: parking and drives, points of access to public streets, internal access drive patterns and placement, variety, quantity and size of landscape materials.
3. Overall impact of the proposed project or development on the surrounding properties to determine the effect the project or development will have upon the appearance and environment of the district.
4. Enhance the attractiveness and desirability of the district in keeping with its purpose and intent.
5. Encourage the orderly and harmonious development of the district in a manner in keeping with the overall character of the district.
6. Improve residential amenities in any adjoining residential neighborhood.
7. Enhance and protect the public and private investment in the value of all land and improvements within the district and each adjoining district or neighborhood.

### Variance Criteria

The applicant requests a variance to allow for a 71.12 square foot wall sign at the entrance of their building. The property is zoned Community Commercial (CC) and located within the Commercial land use. CC allows for one wall sign per frontage at 50 square feet.



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## CITY OF GAHANNA

Signage variances are subject to the criteria of 1165.12. It should be noted that variances related to area requirements are held to a lesser standard than those related to use. Criteria related to an area variance includes the following:

- A. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

*No evidence has been provided to demonstrate that the property cannot be used without approval of the variance.*

- B. Whether the variance is substantial;
- C. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance;
- D. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, refuse);
- E. Whether the property owner purchased the property with the knowledge of the zoning restriction;
- F. Whether the property owner's predicament feasibly can be obviated through some method other than a variance;
- G. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance;
- H. Whether the sign is sufficiently compatible with the architectural and design character of the immediate neighborhood and all graphic design standards established for the district; and
- I. Whether the sign will be hazardous to passing traffic or otherwise detrimental to the public safety and welfare.

Staff finds that the requested variance is not consistent with the recommendations of the 2015 Economic Development Strategy, or with some of the aforementioned variance criteria, specifically letters "A" and "E". Therefore, staff recommends denial of the request. With that said, staff recognizes that similar variance requests for wall signs have recently been approved. Additionally, it is staff's opinion that the sign, as requested, is appropriately sized for the building.



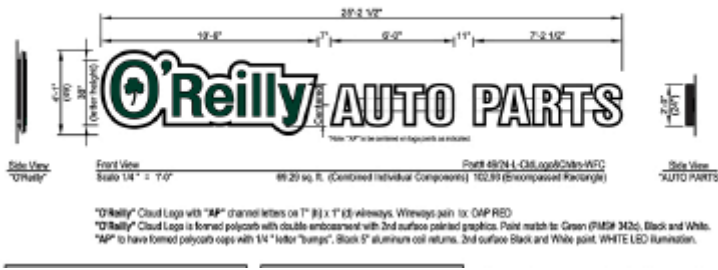
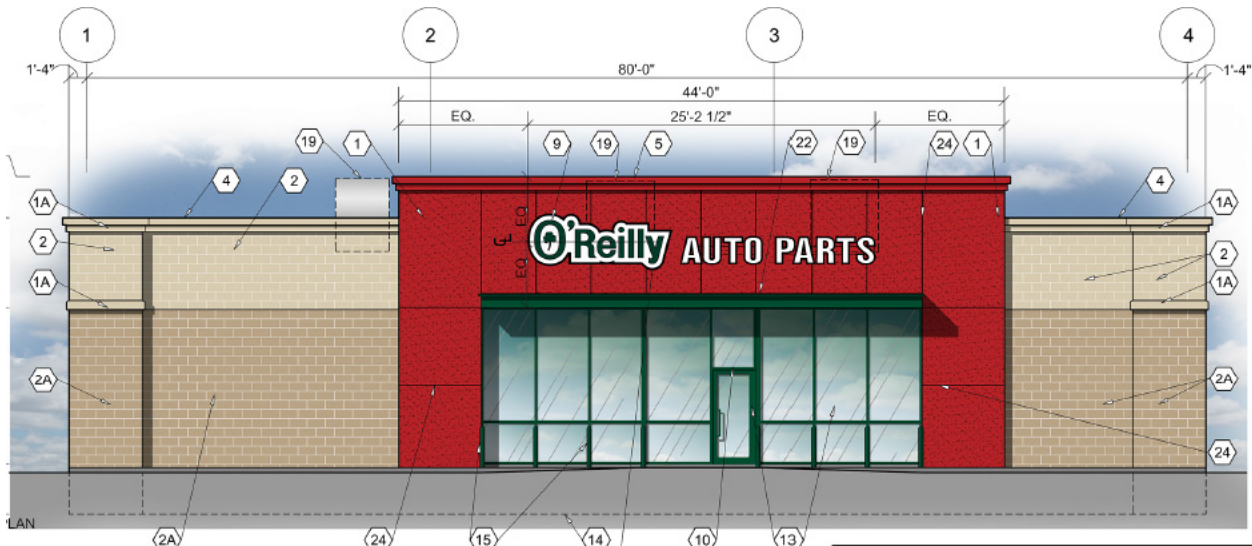
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# CITY OF GAHANNA

## Variance Rendering w/70 square foot sign



Submitted by:

Michael Blackford, AICP  
Deputy Director of Development



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## CITY OF GAHANNA

### STAFF COMMENTS

Project Name: O'Reilly Auto Parts  
Project Address: 403 Agler Rd

The applicant seeks approval for four applications on this site. The applications approved in 2014 expired in 2015 without any progress on the site. All materials submitted with the current applications are the same as those previously approved, with the exception of the west parking lot, which has been realigned to stay out of the 10' side setback.

A 15' "buffer yard" has been illustrated on the south side of the property on Sheet L-1. Property perimeter screening adjoining a freeway is required by code; however, it is not required to be illustrated within the Certificate of Appropriateness plan sheets. This 15' buffer is shown only on the landscape plan, as it has no bearing on any of the other sheets in the packet.

Respectfully Submitted By:

**BONNIE GARD**

Planning & Zoning Administrator  
Department of Public Service  
Division of Building & Zoning



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## CITY OF GAHANNA

### STAFF COMMENTS

Project Name: O'Reilly Auto Parts, Final Development plan  
Project Address: 403 Agler Road

#### General Comments

- A formal final engineering plan submittal and review will be required if the Final Development Plan is approved by Planning Commission.

#### Site Access

- Information provided by the developer shows that the development will not generate more than 100 vehicle trips in the peak hour, or more than 1,000 total trips in a 24 hour period, thus will not require a Traffic Impact Study.

#### Water Service

- The existing business has a 1 inch water service. This service needs to be shown on the final engineering plans along with a proposed service if the existing will not be reused. If a new service is proposed the existing 16" line on the east side of the building should be tapped.
- Check with Mifflin Township Fire department to verify that existing hydrant on the north side of Agler Road provides adequate fire protection.

#### Sanitary Sewer

- The existing business has sanitary sewer service. The sewer lateral needs to be shown on the final engineering plans.

#### Stormwater Management

- Detention and water quality treatment design to be per City of Gahanna standards, Codified Ordinances Chapter 1193 for the final engineering plans.
- Erosion Control design and Post Construction Runoff Control to be per City of Gahanna (Chapter 1195) and Franklin Soil and Water Conservation District requirements for the final engineering plans.
- The developer will be required to sign a Post Construction BMP inspection agreement which will require yearly inspection of the approved BMP and inspection documents be filed with the Service Department following review and approval of final engineering plans

Respectfully Submitted By: Robert Priestas, City Engineer



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CITY OF GAHANNA

STAFF COMMENTS

Project Name: O'Reilly Auto Parts

Project Address: 403 Agler Rd

THE DIVISION OF POLICE DOES NOT  
HAVE ANY COMMENT.

Respectfully Submitted By:

*Alan Murphy*  
CHIEF OF POLICE



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CITY OF GAHANNA

STAFF COMMENTS

Project Name: O'Reilly Auto Parts  
Project Address: 403 Agler Rd

*No comments*

Respectfully Submitted By:

*Kenneth W. Foltz*  
*Chief Building Official*



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