



Application for Certificate of Appropriateness for Design Review

City of Gahanna, Ohio ■ Planning Commission
200 S. Hamilton Road, Gahanna, OH 43230 ■ Phone: (614) 342-4025 ■ Fax: (614) 342-4125

***REQUIRED INFORMATION:** All correspondence will be addressed to the applicant, unless noted otherwise.

*Site Address 4251 Johnstown Road

*Parcel ID# 025-008946 *Zoning District CC

*Design Review of: Site Plan Landscaping Building Design Signage Other _____

*Special Information Regarding the Property and its Proposed Use: It is proposed to construct 2 medical office buildings on the site. The initial building is to be constructed immediately. The second building when leased. We intend to subdivide the parcel into 2 lots in the future.

*Applicant Name King Avenue 1.0 LLC *Email chad@greenrockusa.com

*Applicant Full Address 10531 Timberwood Circle, Suite D *City/State/Zip Louisville, KY 40223

*Applicant Relationship Developer, property owner. *Phone# 502-425-1524

*Agents Name: Stephen Bourquein *Email: s.bourquein@landfocusconsulting.com *Phone 765-778-4540

***ADDITIONAL REQUIRED INFORMATION:** If different than applicant.

*Business Name (same) *Contact (same)

*Business Owner Name Chad Middendorf *Phone (same)

*Business Address (same)

*Designer/ Architect/ Engineer AET, Inc. / Land Focus Consulting

*Address 12358 Hoosier Road *Phone 317-281-6854

*City/ State/ Zip Fishers, Indiana 46037

*D/A/E Representative Robert Arrendale *Title President

***SUBMISSION REQUIREMENTS:** Applications are not complete until all submission requirements are received and accepted by the Planning and Zoning Administrator. Incomplete applications will not be submitted for review. The Planning and Zoning Administrator may visit the site prior to the approval of the application.

- Plans: Two (2) 11x17 & One (1) copy of 24x36 (folded, **not rolled**, to 8 1/2 x 11 inch size prior to submission) if needed for legibility. Two (2) copies of all other documents.
- One (1) digital copy of completed application and associated plans. Plans to be in 11x17 format.
- Applicant is required to complete the checklist on the following pages.
- Fee: \$50.00 for review plus \$.01 per square foot.
- Submit one (1) color rendering of the project in plan/ perspective/ or elevation, mounted on 18 x 24 inch size foam core, gator board or other acceptable material.
- Submit a detailed list of materials.
- Provide a notarized Agreement to Construct as Approved. Free notary services are provided in our office.
- Please refer to section 1167 of the City of Gahanna Code Ordinance (found at www.municode.com).

*Applicant's Signature [Signature] *Date 5/11/16

For Internal Use: **APPROVAL**

In accordance with Sections 1197.05 of the Codified Ordinances of Gahanna, this certifies that this project, as stated above, has been approved by the Gahanna Planning Commission on _____. The applicant shall comply with any conditions approved by the Commission, and shall comply with all building and zoning regulations now in force.

Conditions: _____

Planning & Zoning Administrator _____ Date 5/11/16

Zoning/PC File No. DR-14-2016

Sunguard No. 16050022

Reference File No. 16050021 FDP-7-2016

Hearing Date: _____

RECEIVED

PLANNING & ZONING

MAY 03 2016 (Received)

MAY 02 2016

BY: SW

BY: CK 1220

ACCEPTED

MAY 19 2015

By: [Signature] (PZA)

SUBMITTAL REQUIREMENTS

	Applicant Or Agent	Planning & Zoning Administrator
I. GENERAL REQUIREMENTS		
A. All exhibits required for the permanent file (noted in the following paragraphs) must be able to be reduced to 8 ½ x 11 by folding, photo reduction, etc. (ALL 24x36 PLANS ARE TO BE FOLDED BY APPLICANT PRIOR TO SUBMISSION.) While large mounting boards, material samples, or other exhibits not meeting this criteria maybe used for Planning Commission presentation.	A. <u> x </u>	<u> ✓ </u>
B. Two 24x 36 and One 11x 17 black or blue-line prints of the plans including the items listed in section II below shall be submitted to the Planning & Zoning Administrator for presentation to the Planning Commission.	B. <u> x </u>	<u> ✓ </u>
C. An adequate number of color photographs (Polaroid-type acceptable) are required to illustrate the site, including buildings and other existing features as well as adjacent properties. Photos may also be used to illustrate installations on other sites that are similar to the applicant's proposal.	C. <u> x </u>	<u> ✓ </u>
D. Materials List	D. <u> x </u>	<u> ✓ </u>
II. BUILDING CONSTRUCTION, EXTERIOR REMODELING, AND ADDITIONS (INCLUDING PARKING LOTS AND LANDSCAPING)		
A. Site Plan. A site plan is required containing the following information:		
1. Scale and north arrow,	1. <u> x </u>	<u> ✓ </u>
2. Project name and site address;	2. <u> x </u>	<u> / </u>
3. All property and street pavement lines;	3. <u> x </u>	<u> / </u>
4. Existing and proposed contours;	4. <u> x </u>	<u> / </u>
5. Gross area of tract stated in square feet;	5. <u> x </u>	<u> / </u>
6. Proposed ingress and egress to the site, including on site parking area(s), parking stalls and adjacent streets. Delineate traffic flow with directional arrows and indicate the location of direction signs or other motorist's aids (if any);	6. <u> x </u>	<u> / </u>
7. The designation of required buffer screens (if any) between the parking area and adjacent property;	7. <u> x </u>	<u> / </u>
8. Location of all isolated existing trees having a diameter of six (6) inches or more; (Tree masses may be shown with a diagrammatic outline and a written inventory of individual trees exceeding 6" in caliber);	8. <u> x </u>	<u> / </u>
9. Existing landscaping that will be retained and proposed landscaping shall be differentiated and shown on the plan. The type, size, number, and spacing of all plantings and other landscape features must be illustrated;	9. <u> x </u>	<u> / </u>
10. Identify photograph location;	10. <u> x </u>	<u> / </u>
11. Location of all existing and proposed building on the site	11. <u> x </u>	<u> / </u>
12. Location of all existing (to remain) and proposed lighting standards.	12. <u> x </u>	<u> / </u>
13. Provide breakdown of parking spaces required and spaces provided (see COG 1163);	13. <u> x </u>	<u> / </u>

14. Provide interior landscaping breakdown for paved surface (5% of paved surface required to be landscaped with one (1) tree per 100 square feet, see COG 1163)

14. x

 ✓

15. Provide lot coverage breakdown of building and paved surface areas.

15. x

 ✓

B. Elevations. Complete elevation from all sides of all proposed construction labeled North, South, East and West and related elevations of existing structures (if any) are required containing the following information:

- 1. Scale;
- 2. Changes in ground elevation;
- 3. All signs to be mounted on the elevations;
- 4. Designation of the kind, color, and texture of all primary materials to be used;
- 5. Fenestration, doorways, and all other projecting and receding elements of the building exterior.

1. x

 ✓

2. x

 ✓

3. none shown

4. x

 ✓

5. x

 ✓

C. Optional requirements at discretion of Planning Commission.

- 1. Scale model.
- 2. Section Profiles.
- 3. Perspective drawing.

1.

2.

3. typical render

D. Material Samples. Material samples are required for all exterior materials. For presentation purposes, a narrative description is required for Planning Commission file.

D.

 at mtg

E. Lighting Standard Drawing. A scaled drawing of the proposed lighting standard(s) is required and should contain the following information:

- 1. All size specifications;
- 2. Information on lighting intensity (number of watts, isofootcandle diagram, etc., at least 1/2 foot candles required);
- 3. Materials, colors, and manufacturer's cut sheet;
- 4. Ground or wall anchorage details.

1. x

 ✓

2. x

 ✓

3. x

 ✓

4. x

 ✓



CITY OF GAHANNA

Agreement to Construct as Approved

Your signature below affirms that, as the contractor/applicant _____
(Please print - Contractor/Applicant Name)
 Stephen E. Bourquein, Agent for, King Avenue 1.0 LLC

(Business Name and/or Address)

the above named project will be built as approved and specified by the City of Gahanna Planning & Zoning Administrator (or Designee). As the contractor or applicant, you also agree that any proposed change to the approved plans must be reported to the Planning and Zoning Administrator. Significant changes to the project, as determined by the Planning and Zoning Administrator, must be approved.

Contractor/Applicant

Signature *Stephen E. Bourquein*
(Please sign in presence of Notary)

Date 4/29/16

Amanda Gayle Reffett
(Signature of Notary)



4/29/16
(Date)

Morgan County
 Stamp/Seal

FMC-Gahanna
Building Materials List

Location of Material	Manufacturer	Color / Style
Shingles:	Certainteed Landmark	"Weathered Wood"
Soffit, fascia, and frieze board:	Hardie Materials	"Khaki Brown"
Window and door frames:	Kwaneer	"Classic Bronze"
Header course:	Reading Rock split face block	"Buckskin."
CMU Brick:	County Materials Heritage Collection	"Cinnabar NF" Rough Estate
Sill band:	Reading Rock cast stone bullnose	"Buffstone."
Faux stone veneer at base of walls:	Reading Rock RockCast Chiseled	"Old Ohio."



KAD LED

LED Area Luminaire



Catalog Number

Notes

Type

For the full range of accessories, visit [http://www.lithonia.com](#) to view all interactive elements.

Specifications

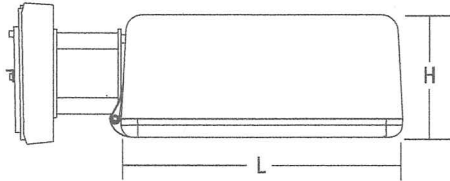
EPA: 1.2 ft²
(0.11 m²)

Length: 17-1/2"
(44.5 cm)

Width: 17-1/2"
(44.5 cm)

Height: 7-1/8"
(18.1 cm)

Weight (max): 36 lbs.
(16.4 kg)



Introduction

The Contour® Series luminaires offer traditional square dayforms with softened edges for a versatile look that complements many applications. The KAD LED combines the latest in LED technology with the familiar aesthetic of the Contour® Series for stylish, high-performance illumination that lasts. It is ideal for replacing 100- 400W metal halide in area lighting applications with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: KAD LED 40C 1000 40K R5 MVOLT PUMBAK04 DDBXD

KAD LED

Series	LEDs	Drive current	CCT	Distribution	Voltage	Mounting ¹
KAD LED	20C 20 LEDs	530 530 mA	30K 3000 K	R2 Type II	MVOLT 277 ¹	Shipped included SPUMBAK___ Square pole universal mounting adaptor ⁴ RPUMBAK___ Round pole universal mounting adaptor ⁴ SPD___ Square pole RPD___ Round pole WBD___ Wall bracket WWD___ Wood pole or wall
	30C 30 LEDs	700 700 mA	40K 4000 K	R3 Type III	120 ¹ 347 ²	
	40C 40 LEDs	1000 1000 mA	50K 5000 K	R4 Type IV	208 ¹ 480 ²	
	60C 60 LEDs			R5 Type V	240 ¹	
						Shipped separately DAD12P Degree arm (pole) DAD12WB Degree arm (wall)

Options	Finish (required)
Shipped installed PER5 NEMA twist-lock five-wire receptacle only (no controls) ⁵ PER7 Seven-wire receptacle only (no controls) ⁵ SF Single fuse (120, 277, 347V) ¹ DF Double fuse (208, 240, 480V) ¹ PIR Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ⁶ PIRH Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ⁶ PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ⁶ PIR1HF3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ⁶ BL30 Bi-level switched dimming, 30% ^{7,8} BL50 Bi-level switched dimming, 50% ^{7,8}	Shipped separately ¹⁰ WG Wire guard KMA Mast arm external fitter DBBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Stock configurations are offered for shorter lead times:

Standard Part Number	Stock Part Number
KAD LED 30C 1000 40K R3 MVOLT PUMBAK09 DDBXD	KADL 30C 40K R3
KAD LED 30C 1000 40K R5 MVOLT PUMBAK09 DDBXD	KADL 30C 40K R5
KAD LED 40C 1000 40K R3 MVOLT PUMBAK09 DDBXD	KADL 40C 40K R3
KAD LED 40C 1000 40K R5 MVOLT PUMBAK09 DDBXD	KADL 40C 40K R5
KAD LED 30C 1000 40K R3 MVOLT PUMBAK09 PIRH DDBXD	KADL 30C 40K R3 PIRH
KAD LED 30C 1000 40K R5 MVOLT PUMBAK09 PIRH DDBXD	KADL 30C 40K R5 PIRH
KAD LED 40C 1000 40K R3 MVOLT PUMBAK09 PIRH DDBXD	KADL 40C 40K R3 PIRH
KAD LED 40C 1000 40K R5 MVOLT PUMBAK09 PIRH DDBXD	KADL 40C 40K R5 PIRH

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹¹
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹¹
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹¹
SC U	Shorting cap ¹¹
KADLEDHS 20C U	Houseside shield for 20 LED unit
KADLEDHS 30C U	Houseside shield for 30 LED unit
KADLEDHS 40C U	Houseside shield for 40 LED unit
KADLEDHS 60C U	Houseside shield for 60 LED unit
KMA DDBXD U	Mast arm adaptor (specify finish)
KADWG U	Wire guard accessory
PUMBAK DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish)

For more control options, visit [DTL](#) and [ROAM](#) online.
*Round pole top must be 3.25" O.D. minimum.

NOTES

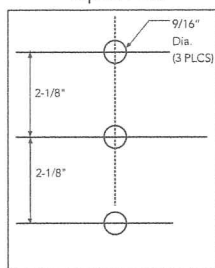
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Maximum ambient temperature with 347V or 480V is 30°C.
- 9" or 12" arm is required when two or more luminaires are oriented on a 90° drilling pattern.
- Available as a separate combination accessory: PUMBAK (finish) U.
- Mounting must be restricted to ±45° from horizontal aim per ANSI C136.10-2010.
- PIR and PIR1FC3V specify the SensorSwitch [SBGR-10-ODP](#) control; PIRH and PIR1HF3V specify the SensorSwitch [SBGR-6-ODP](#) control; see [Motion Sensor Guide](#) for details. Dimming driver standard.
- Requires an additional switched circuit with same phase as main luminaire power. Supply circuit and control circuit are required to be in the same phase.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, PER5, PER7 or PNMT options.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, PER5, PER7, BL30 or BL50.
- Also available as a separate accessory; see Accessories information.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.



Drilling

Template #5

Top of Pole



Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90° †	3 at 120°	3 at 90° †	4 at 90° †
2-3/8"	T20-190	T20-280	T20-290	T20-320 †	T20-390	T20-490
2-7/8"	T25-190	T25-280	T25-290	T25-320	T25-390	T25-490
4"	T35-190	T35-280	T35-290	T35-320	T35-390	T35-490

** For round pole mounting (RPDXX) only. † Requires 9" or 12" arm.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
20C	530 mA	35W	R2	4,140	1	0	1	118	4,446	1	0	1	127	4,473	1	0	1	128
			R3	4,123	1	0	1	118	4,427	1	0	1	126	4,455	1	0	1	127
			R4	4,128	1	0	1	118	4,433	1	0	1	127	4,460	1	0	1	127
			R5	4,381	2	0	1	125	4,704	3	0	1	134	4,734	3	0	1	135
	700 mA	45W	R2	5,271	1	0	1	117	5,660	1	0	1	126	5,696	1	0	2	127
			R3	5,250	1	0	2	117	5,637	1	0	2	125	5,672	1	0	2	126
			R4	5,256	1	0	2	117	5,644	1	0	2	125	5,679	1	0	2	126
			R5	5,578	3	0	1	124	5,990	3	0	1	133	6,027	3	0	1	134
	1000 mA	73W	R2	7,344	1	0	2	101	7,886	2	0	2	108	7,935	2	0	2	109
			R3	7,314	1	0	2	100	7,854	1	0	2	108	7,903	1	0	2	108
			R4	7,322	1	0	2	100	7,863	1	0	2	108	7,912	1	0	2	108
			R5	7,771	3	0	1	106	8,345	3	0	1	114	8,397	3	0	1	115
30C	530 mA	53W	R2	6,166	1	0	2	116	6,621	1	0	2	125	6,663	1	0	2	126
			R3	6,141	1	0	2	116	6,594	1	0	2	124	6,635	1	0	2	125
			R4	6,148	1	0	2	116	6,602	1	0	2	125	6,643	1	0	2	125
			R5	6,525	3	0	1	123	7,006	3	0	1	132	7,050	3	0	1	133
	700 mA	69W	R2	7,817	2	0	2	113	8,395	2	0	2	122	8,447	2	0	2	122
			R3	7,785	1	0	2	113	8,360	2	0	2	121	8,412	2	0	2	122
			R4	7,794	1	0	2	113	8,370	1	0	2	121	8,422	1	0	2	122
			R5	8,272	3	0	2	120	8,883	3	0	2	129	8,938	3	0	2	130
	1000 mA	108W	R2	10,755	2	0	2	100	11,549	2	0	2	107	11,621	2	0	2	108
			R3	10,711	2	0	2	99	11,502	2	0	2	106	11,574	2	0	2	107
			R4	10,724	2	0	2	99	11,515	2	0	2	107	11,587	2	0	2	107
			R5	11,381	3	0	2	105	12,221	4	0	2	113	12,297	4	0	2	114
40C	530 mA	71W	R2	8,156	2	0	2	115	8,758	2	0	2	123	8,812	2	0	2	124
			R3	8,122	2	0	2	114	8,722	2	0	2	123	8,776	2	0	2	124
			R4	8,132	1	0	2	115	8,732	1	0	2	123	8,786	1	0	2	124
			R5	8,630	3	0	2	122	9,267	3	0	2	131	9,325	3	0	2	131
	700 mA	94W	R2	10,286	2	0	2	109	11,045	2	0	2	118	11,114	2	0	2	118
			R3	10,244	2	0	2	109	11,000	2	0	2	117	11,069	2	0	2	118
			R4	10,256	2	0	2	109	11,013	2	0	2	117	11,081	2	0	2	118
			R5	10,884	3	0	2	116	11,688	4	0	2	124	11,761	4	0	2	125
	1000 mA	141W	R2	13,923	2	0	2	99	14,951	2	0	2	106	15,045	2	0	2	107
			R3	13,866	2	0	3	98	14,890	2	0	3	106	14,983	2	0	3	106
			R4	13,882	2	0	3	98	14,907	2	0	3	106	15,000	2	0	3	106
			R5	14,733	4	0	2	104	15,821	4	0	2	112	15,920	4	0	2	113
60C	530 mA	103W	R2	11,996	2	0	2	116	12,882	2	0	2	125	12,963	2	0	2	126
			R3	11,947	2	0	2	116	12,829	2	0	2	125	12,909	2	0	2	125
			R4	11,961	2	0	2	116	12,844	2	0	2	125	12,925	2	0	2	125
			R5	12,694	4	0	2	123	13,632	4	0	2	132	13,717	4	0	2	133
	700 mA	137W	R2	14,927	2	0	2	109	16,029	3	0	3	117	16,130	3	0	3	118
			R3	14,866	2	0	3	109	15,964	2	0	3	117	16,063	2	0	3	117
			R4	14,884	2	0	3	109	15,982	2	0	3	117	16,082	2	0	3	117
			R5	15,796	4	0	2	115	16,962	4	0	2	124	17,068	4	0	2	125
	1000 mA	216W	R2	19,328	3	0	3	89	20,754	3	0	3	96	20,884	3	0	3	97
			R3	19,248	3	0	3	89	20,669	3	0	4	96	20,799	3	0	4	96
			R4	19,271	3	0	3	89	20,693	3	0	4	96	20,823	3	0	4	96
			R5	20,452	4	0	2	95	21,962	4	0	2	102	22,099	4	0	2	102



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the KAD LED platform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	KAD LED 60C 1000			
	1.0	0.91	0.86	0.76
	KAD LED 40C 1000			
	1.0	0.93	0.88	0.79
Lumen Maintenance Factor	KAD LED 60C 700			
	1.0	0.98	0.97	0.94

Electrical Load

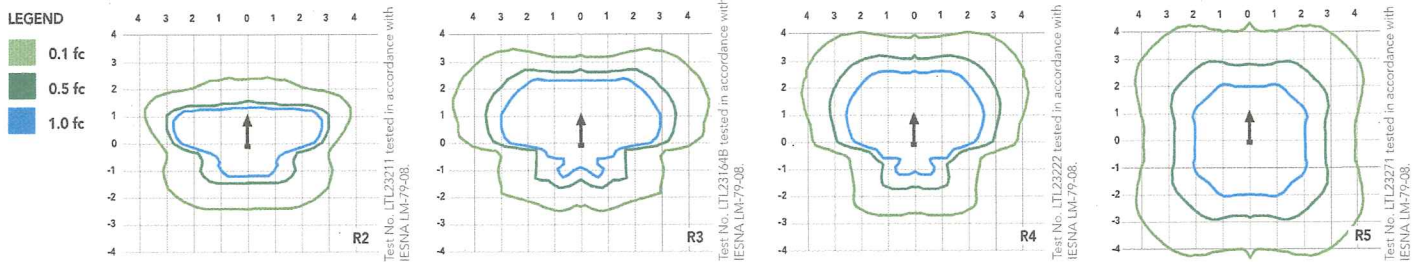
Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
20	530	35	0.30	0.18	0.16	0.15	-	-
	700	45	0.39	0.23	0.20	0.18	0.15	0.12
	1000	73	0.61	0.35	0.31	0.27	0.22	0.17
30	530	53	0.44	0.26	0.23	0.20	-	-
	700	69	0.58	0.34	0.29	0.26	0.21	0.16
	1000	108	0.90	0.52	0.46	0.40	0.32	0.24
40	530	71	0.60	0.35	0.32	0.29	0.21	0.16
	700	94	0.79	0.46	0.41	0.36	0.27	0.20
	1000	141	1.18	0.68	0.59	0.52	0.42	0.30
60	530	103	0.87	0.50	0.44	0.39	0.29	0.22
	700	137	1.15	0.66	0.58	0.51	0.40	0.29
	1000	216	1.81	1.04	0.92	0.81	0.63	0.47

NOTE: All ratings in this table are for a nominal system operated at 25°C ambient temperature. Current and power specifications in this table do not include branch circuit derating specified in the National Electrical Code. Please observe all applicable electrical codes and ratings.

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [KAD LED homepage](#).

Isofootcandle plots for the KAD LED 60C 1000 40K. Distances are in units of mounting height (20').



FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings and long life of the KAD LED area luminaire make it a reliable choice for illuminating streets, walkways, parking lots, and surrounding areas.

CONSTRUCTION

Single-piece die-cast, aluminum housing with contoured edges has a 0.12" nominal wall thickness. Die-cast door frame has an impact-resistant, tempered glass lens that is fully gasketed with one piece tubular silicone.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS

Precision-molded refractive acrylic lenses are available in four distributions. Light engines are available in standard 4000K, 3000K or 5000K (70 CRI) configurations.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to a metal-core circuit board and aluminum heat sink, ensuring optimal thermal management and long life. Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting block and extruded aluminum arm facilitate quick and easy installation using nearly any existing drilling pattern. Stainless steel bolts fasten the luminaire to the mounting block securing it to poles or walls. The KAD LED can withstand up to a 1.5 G vibration load rating per ANSI C136.31. The KAD LED also utilizes the standard K-Series (Template #5) for pole drilling.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.





FEATURES & SPECIFICATIONS

INTENDED USE — For building- and wall-mounted applications.

CONSTRUCTION — Rugged, die-cast, single-piece aluminum housing. Die-cast doorframe has a 1/8" thick tempered glass lens. Doorframe is fully gasketed with one-piece solid silicone.

OPTICS — Segmented reflectors for superior uniformity and control. Medium throw (MD) full cutoff distribution available.

ELECTRICAL — Ballast: Class P, multi-volt electronic, high power factor, <10%THD, with starting temperature of 0°F (-18°C).

Socket: High temperature thermoplastic with an integral lamp retention clip.

Finish: Standard finish is textured dark bronze (DDBT) corrosion-resistant polyester powder finish. Additional architectural colors are available. Striping is also available.

INSTALLATION — Universal mounting mechanism with integral mounting support allows fixture to hinge down.

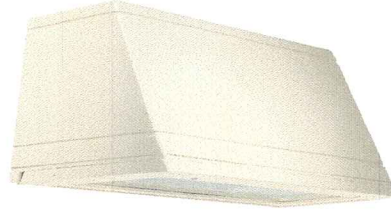
LISTINGS — UL Listed (standard). CSA Certified (see Options). Suitable for wet locations (damp location listed in lens-up orientation). WLU option offers wet location listing in up orientation (see Options). IP65 Rated. 25°C ambient. ELED: U.S. Patent No. 7,737,640.

WARRANTY — 1-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomResources/Terms_and_conditions.aspx

NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Catalog Number
Notes
Type

Decorative Wall-Mounted Lighting



WST

COMPACT FLUORESCENT:
26W DTT
26W-42W TRT

Specifications

Length: 16-1/4 (41.2)

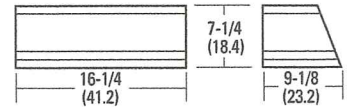
Depth: 9-1/8 (23.2)

Overall Height: 7-1/4 (18.4)

*Weight: 30 lbs (13.6 kg)

All dimensions are inches (centimeters) unless otherwise indicated.

*Weight as configured in example below.



ORDERING INFORMATION

For shortest lead times, configure product using **standard options (shown in bold)**.

Example: WST 42TRT MD 120 LPI

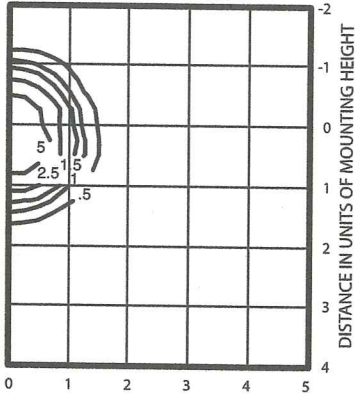
WST	Wattage	MD	Voltage	Ballast	Mounting	Options
WST	26DTT 2/26DTT 26TRT 2/26TRT 32TRT 2/32TRT 42TRT 2/42TRT	MD Medium throw	120 277 347 MVOLT¹	(blank) Electronic 0° F	(blank) Surface mount <i>Shipped separately²</i> BBW Surface mount back box UT5 Uptilt 5 degrees	<i>Shipped installed in fixture</i> DC12 Emergency circuit 12-volt (35W lamp included) ³ 2DC12 Emergency circuit 12-volt (two 35W lamps included) ³ DC2012 Emergency circuit 12-volt (20W lamp included) ³ 2DC2012 Emergency circuit 12-volt (two 20W lamps included) ³ DFL Diffusing lens

Options (continued)						Finish ¹⁷	Lamp ¹⁹
EC	Emergency circuit ⁴	GMF	Internal slow-blow fusing ^{9,9}	<i>Shipped separately¹⁶</i>	(blank) Dark bronze, textured	LPI Lamp included	
ELD	Emergency battery pack (32° min. operating temp) ^{5,6,7,8}	PE	Photoelectric cell-button type ^{9,16}	WG Wire guard	DSST Sandstone, textured	L/LP Less lamp	
ELDWC	Emergency battery pack (0° min. operating temp) ^{5,6,7,8,9,10,11}	WLU	Wet location door for up orientation	VG Vandal guard	DNAT Natural aluminum, textured		
ELDWRPS	Fixture wired ready for PS1400 or PSDL remote battery pack (battery pack not included; 32° min. operating temp) ^{9,12,13}	CSA	CSA certified		DWHG White, textured		
ELED	Emergency LED secondary source battery pack with time delay (-4°F min. operating temperature) ^{14,15}	NOM	NOM certified		DBLB Black, textured		
2ELED	Emergency LED secondary source (two modules) battery pack with time delay (-4°F min. operating temperature) ^{14,15}				CRT Non-stick protective coating ¹⁸		
						Super Durable Finishes	
						DDBXD Dark bronze	
						DBLXD Black	
						DNAXD Natural aluminum	
						DWHXD White	
						DDBTXD Textured dark bronze	
						DBLBXD Textured black	
						DNATXD Textured natural aluminum	
						DWHGXD Textured white	

WST Fluorescent Wall Mounted

WST 2/42TRT MD

ISOILLUMINANCE PLOT (Footcandle) TEST NO: LTL11108



2/42TRT lamp, horizontal lamp orientation
Footcandle values based on 12' mounting height,
3200 rated lumens (per lamp).
Luminaire Efficiency: 49.6%

Lamp	Initial Lumens	Mounting Height			
		10'	12'	14'	16'
Compact Fluorescent					
42W TRT	3,200	0.72	0.5	0.37	0.28
(2) 42W TRT	6,400	1.44	1.0	0.73	0.56

Emergency Option Lamp Compatibility

Lamp options # of lamps/wattage	DC12	2DC12	DC2012	2DC2012	EC	ELED	2ELED	ELDW	ELDWc	ELDWWRPS
26DTT (1 lamp)	■	■	■	■	■	■	■	■	■	■
2/26DTT	■	■	■	■	■	■	■	■	■	■
26TRT (1 lamp)	■	■	■	■	■	■	■	■	■	■
2/26TRT	■	■	■	■	■	■	■	■	■	■
32TRT (1 lamp)	■	■	■	■	■	■	■	■	■	■
2/32TRT	■	■	■	■	■	■	■	■	■	■
42TRT (1 lamp)	■	■	■	■	■	■	■	■	■	■
2/42TRT	■	■	■	■	■	■	■	■	■	■

Notes

- Multi-volt electronic ballast capable of operating on any line voltage from 120-277V.
- May be ordered as an accessory. Prefix with "WS". Must specify finish.
- Not available with GMF, EC, ELDWs.
- Maximum allowable wattage lamp included.
- One lamp operates during emergency mode. For more information, see the [Reference Guide](#).
- ELDW and ELDWc with compact fluorescent do not satisfy North Carolina code criteria for state owned buildings per 2012 NC Building Code: 1006.3 and 1006.4.
- Not available with 2/32TRT or 2/42TRT
- Not available with DCs or EC.
- Not available with MVOLT; must specify voltage.
- Not available with 2/26DTT or 2/26TRT.
- For MD only.
- With ELDWWRPS (remote) battery packs, light output is evenly divided between the lamps in emergency mode.
- Not available with 2/42TRT.
- Not available with EC, DCs or ELDWs.
- Must specify 120V or 277V.
- Must be ordered with fixture; cannot be field installed.
- See www.lithonia.com/archcolors for additional color options.
- Black finish only.
- Must be specified (35K lamp with LPI).



























ALTA/NSPS LAND TITLE SURVEY OF 2.368 ACRES

Situated in the State of Ohio, County of Franklin, City of Gahanna, and being located Quarter Township 2, Township 1, Range 16, United States Military District, and being a part of Tracts One, Two, and Three as conveyed to The Stone Company, Ltd. in Instrument No. (L.N.) 1992040024815, Franklin County Recorder's Office, containing 2.368 acres, and being further described as follows:

Beginning for reference at a found railroad spike at the intersection of the centerlines of Hamilton Road and Johnstown Road (U.S. Route 62, width variable);

THENCE North 31 degrees 47 minutes 53 seconds East, 173.90 feet, along the centerline of the said Johnstown Road, to a found railroad spike, being an angle point in the centerline of the said Johnstown Road;

THENCE North 24 degrees 32 minutes 30 seconds East, 1495.04 feet, continuing along the centerline of the said Johnstown Road, to a point, being an angle point in the said Johnstown Road;

THENCE North 30 degrees 21 minutes 35 seconds East, 355.96 feet, continuing along the centerline of said Johnstown Road, to a point;

THENCE North 59 degrees 38 minutes 25 seconds West, 50.00 feet, crossing the said Johnstown Road, to an iron pin set, being a point in the east line of the said Tract One, in the west line of a 0.3509 acre tract conveyed to the City of Gahanna in Official Record (O.R.) 21474 H-05, in the west line of said Johnstown Road, and being a northeast corner of a 0.416 acre tract conveyed to the City of Gahanna in L.N. 200204050087474, and being the True Place of Beginning for the herein described 2.368 acre tract;

THENCE around a curve to the right, having a radius of 20.00 feet, a delta angle of 90 degrees 07 minutes 39 seconds, an arc distance of 31.46 feet, a chord bearing of South 75 degrees 25 minutes 24 seconds West, a chord distance of 28.32 feet, crossing the said Tract One and along a north line of the said 0.416 acre tract, to an iron pin set, being a corner of the said 0.416 acre tract;

THENCE North 59 degrees 30 minutes 47 seconds West, 294.58 feet, crossing the said Tracts One, Two, and Three, along a north line of the said 0.416 acre tract, to an iron pin set in the north line of the said Tract Three and in the south line of a 1.263 acre tract as shown on 470 Silver Lane Condominium, Condominium Plat Book 86, pg. 68, and being a corner of the said 0.416 acre tract;

THENCE South 89 degrees 37 minutes 56 seconds East, 88.95 feet, along the north line of the Tract Three and the south line of said 1.263 acre tract, to an iron pin set, being the northeast corner of the said Tract Three, the southeast corner of the said 1.263 acre tract, and a point in the west line of the said Tract Two;

THENCE North 00 degrees 10 minutes 18 seconds West, 220.00 feet, along the west line of the said Tract Two and the east line of the said 1.263 acre tract, to a point referenced by a found 3/4" iron pipe found (143 feet S, 1.07 feet W), being the northwest corner of the said Tract Two, the northwest corner of the said 1.263 acre tract, the southwest corner of a 1.399 acre tract conveyed to J. Ernest Wells in O.R. 28407 E-10, and the southeast corner of a 1.695 acre tract conveyed to Benchmark Bank in L.N. 200601270017254;

SEE BELOW

BENCHMARK BANK
1.695 ACRES
INSTR. NO. 200601270017254

470 SILVER LANE
CONDOMINIUM
CONDO. P.B. 86, PG. 68

FIRST COMMUNITY BANK
2.368 ACRES DEED
INSTR. NO. 201304250068527
PPN 025-008946

AREA MEASURED
103,138 SQ. FT.
2.368 ACRES

4251 JOHNSTOWN RD.

SITE BENCHMARK
ELEVATION=903.37'
SOUTH RIM SANITARY
MANHOLE

LINE PER
SUBJECT
DEED
L=31.46'
R=20.00'
D=90°07'39"
B=S 79°04'28" W
CH=28.32'

DESCRIPTION CONTINUED
THENCE South 89 degrees 38 minutes 13 seconds East, 403.38 feet, along the north line of the said Tract Two and the south line of the said 1.399 acre tract, to an iron pin set in the west line of said Johnstown Road, being the northwest corner of a 0.436 acre tract conveyed to the City of Gahanna in O.R. 21474 H-05 and the northeast corner of the said Tract Two;

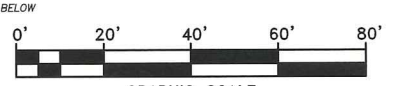
THENCE South 30 degrees 21 minutes 35 seconds West, 416.29 feet, along the east line of the said Tract Two, the west line of said 0.436 acre tract, and the west line of the said Johnstown Road, to the True Place of Beginning, containing 103,138 square feet or 2.368 acres, of which 2.256 acres is out of the said Tract Two, 0.059 acres is out of the said Tract One, and 0.053 acres is out of the said Tract Three, according to a survey by J & J Surveying Services, Inc. in January of 1999 and November of 2006;

Bearings used for the determination of angles only. For the purposes of this description bearings are referenced to the centerline of said Johnstown Road as being North 30 degrees 21 minutes 35 seconds East. Documents referred to are recorded in the Franklin County Recorder's Office. Iron pins set are 5/8" rebar, 30" long, with yellow plastic cap stamped "J & J Surveying".

FLOOD ZONE
SUBJECT TRACT IS LOCATED IN ZONE X, AREAS OUTSIDE A 500 YEAR FLOOD, ACCORDING TO COMMUNITY PANEL NO. 39049C0211K, DATED 06/17/2008.

GORE
AT THE INTERSECTION OF THE RIGHT OF WAYS OF JOHNSTOWN RD. AND SILVER LN., THERE IS A GORE. THE DEED FOR THE SUBJECT TRACT AND THE DEED TO THE CITY LEAVE A GAP, AS SHOWN.

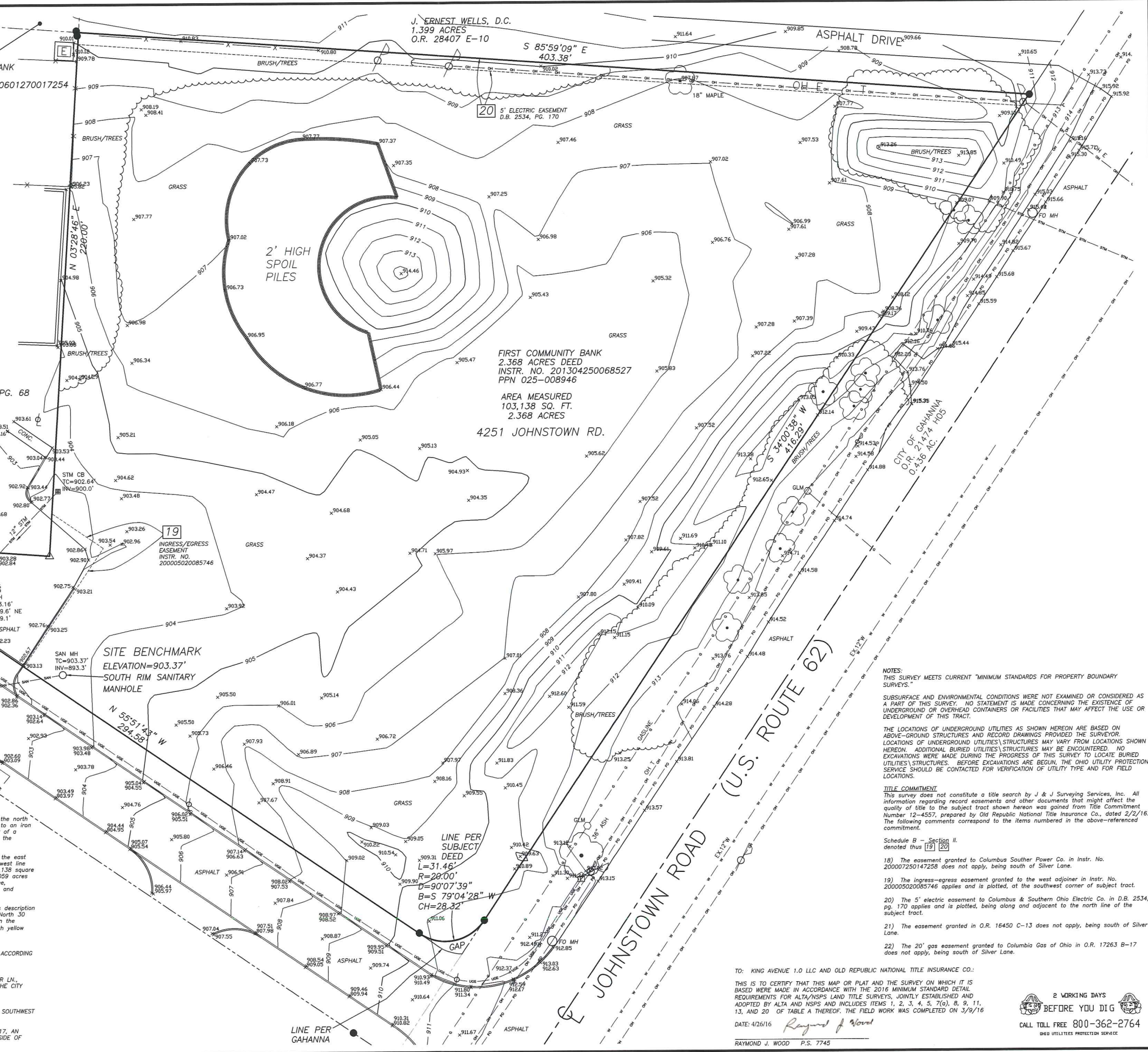
BENCHMARKS
THE SITE BENCHMARK IS THE SOUTH RIM OF THE SANITARY MANHOLE AT THE SOUTHWEST CORNER OF THE SUBJECT TRACT.
ELEVATION=903.37' NAVD88 DATUM
THE REFERENCE BENCHMARK IS FRANKLIN COUNTY ENGINEER MONUMENT NA-17, AN ALUMINUM DISK IN THE SOUTH END OF A CULVERT WINGWALL ON THE WEST SIDE OF HAMILTON RD.
ELEVATION=894.168' NAVD88 DATUM



LEGEND

SAN	Sanitary
STM	Storm
MHO	Man Hole
SI	Storm Inlet
CI	Curb Inlet
CB	Catch Basin
P	Pipe
FH	Fire Hydrant
GV	Valve Box
GM	Gas Meter
GV	Gas Valve
WM	Water Meter
WV	Water Valve
EM	Electric Meter
UP	Utility Pole
GW	Guy Wire
GLM	Gas Line Marker
YFL	Yard or Flood Light
TE	Telephone Closure
EC	Electric Closure
CTV	Cable Television Closure
F	Fence
S	Sign
CONC	Concrete
ASPH	Asphalt
ET	Evergreen Tree
DT	Deciduous Tree
ST	Stone Found
MB	Monument Box
IP	Iron Pin Set
IF	Iron Pin Found
MAG	MAG Nail Set
RS	Railroad Spike Found
RV	Deed Volume
OR	Official Record
IN	Instrument Number
IPF	Iron Pin Found
IP	Iron Pin Found
IPF	Iron Pin Found
RRSF	Railroad Spike Found
MNS	MAG Nail Set
DHS	Drill Hole Set
C	Centerline
R/W	Right of Way
PPN	Permanent Parcel Number

ALL MONUMENTS FOUND ARE NOTED WITH SIZE, CONDITION, AND GRADE.
ALL IRON PINS SET ARE 5/8" IN DIAMETER W/ CAP STAMPED "J & J SURVEYING"



NOTES:
THIS SURVEY MEETS CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED BY THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, THE OHIO UTILITY PROTECTION SERVICE SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

TITLE COMMITMENT
This survey does not constitute a title search by J & J Surveying Services, Inc. All information regarding record easements and other documents that might affect the quality of title to the subject tract shown hereon was gained from Title Commitment Number 12-4557, prepared by Old Republic National Title Insurance Co., dated 2/2/16. The following comments correspond to the items numbered in the above-referenced commitment.

- Schedule B - Section II, denoted thus [19] [20]
- The easement granted to Columbus Southern Power Co. in Instr. No. 200007250147258 does not apply, being south of Silver Lane.
 - The ingress-egress easement granted to the west adjoiner in Instr. No. 200005020085746 applies and is plotted, at the southwest corner of subject tract.
 - The 5' electric easement to Columbus & Southern Ohio Electric Co. in D.B. 2534, pg. 170 applies and is plotted, being along and adjacent to the north line of the subject tract.
 - The easement granted in O.R. 16450 C-13 does not apply, being south of Silver Lane.
 - The 20' gas easement granted to Columbia Gas of Ohio in O.R. 17263 B-17 does not apply, being south of Silver Lane.

TO: KING AVENUE 1.0 LLC AND OLD REPUBLIC NATIONAL TITLE INSURANCE CO.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 8, 9, 11, 13, AND 20 OF TABLE THEREOF. THE FIELD WORK WAS COMPLETED ON 3/9/16

DATE: 4/26/16

RAYMOND J. WOOD P.S. 7745

2 WORKING DAYS
BEFORE YOU DIG
DEED UTILITIES PROTECTION SERVICE

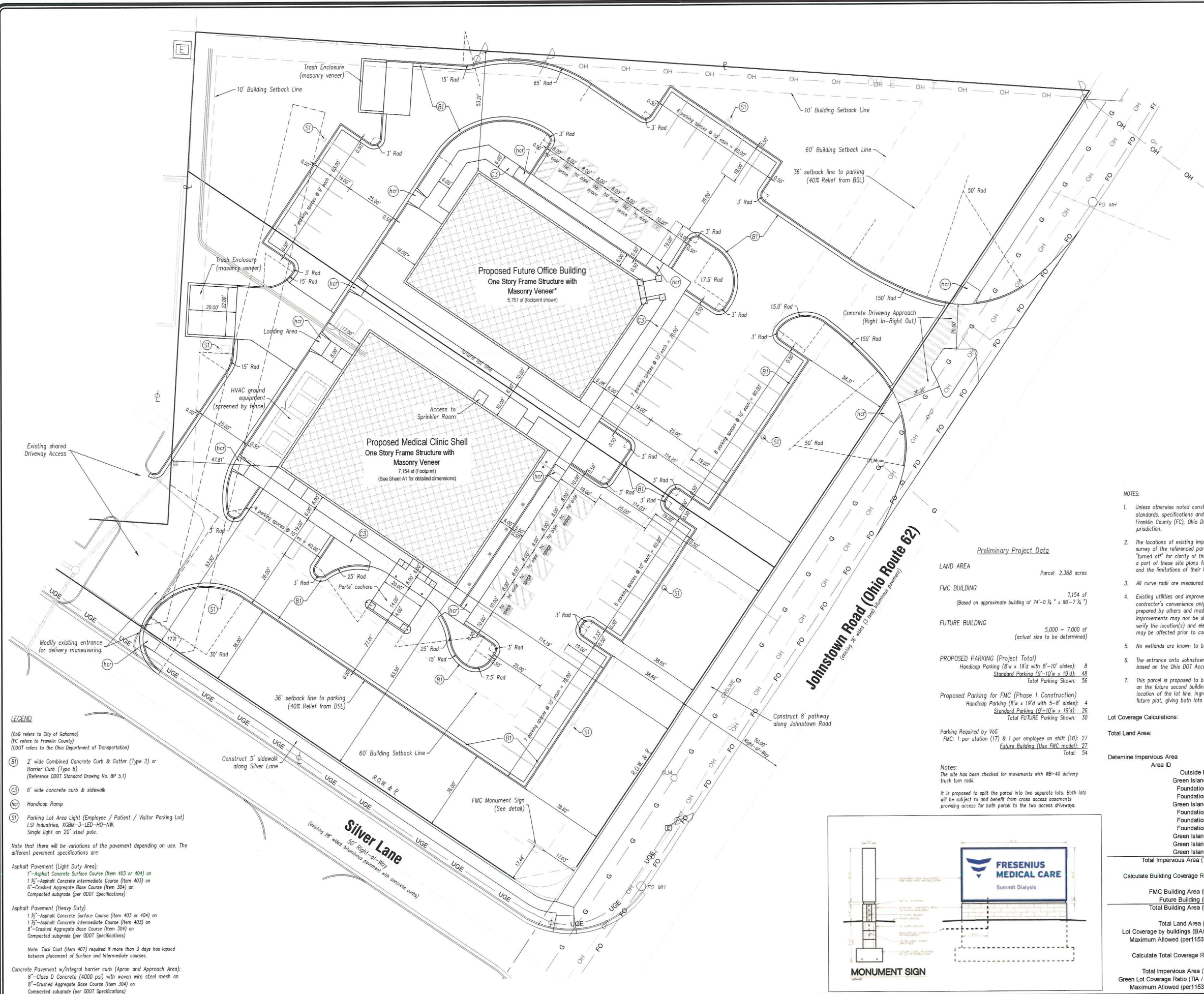
CALL TOLL FREE 800-362-2764



DATE	BY	FOR
4/26/16		
3/9/16	R/W	R/W
	OWN	OWN
	CON	CON
	APP	APP

ALTA/NSPS LAND TITLE SURVEY OF 2.368 ACRES

J. & J. SURVEYING SERVICES, INC.
7509 E. MAIN ST., SUITE 109
REYNOLDSBURG, OHIO 43068
PH# (614) 866-9158
JJSURVEYING@GMAIL.COM
WWW.JJSURVEYINGSERVICES.COM



Preliminary Project Data

LAND AREA	Parcel: 2.368 acres
FMC BUILDING	7,154 sf (Based on approximate building of 74'-0 1/4" x 96'-7 1/4")
FUTURE BUILDING	5,000 - 7,000 sf (actual size to be determined)
PROPOSED PARKING (Project Total)	Handicap Parking (8'w x 19'd with 8'-10" aisles): 8 Standard Parking (9'-10" w x 19'-0" d): 48 Total Parking Shown: 56
Proposed Parking for FMC (Phase 1 Construction)	Handicap Parking (8'w x 19'd with 5'-8" aisles): 4 Standard Parking (9'-10" w x 19'-0" d): 26 Total FUTURE Parking Shown: 30
Parking Required by VoG	FMC: 1 per station (17) & 1 per employee on shift (10): 27 Future Building (Use FMC model): 27 Total: 54

- NOTES:**
- Unless otherwise noted construction materials and procedures shall meet the standards, specifications and requirements of the City of Gahanna (CoG), Franklin County (FC), Ohio DOT (ODOT), State of Ohio, and the utility having jurisdiction.
 - The locations of existing improvements on this site was taken from the ALTA survey of the referenced parcel. Some of those improvements have been "turned off" for clarity of this sheet. Please refer to the survey, attached and a part of these site plans for information regarding any existing improvements and the limitations of their locations.
 - All curve radii are measured to the back of curb or face of sidewalk.
 - Existing utilities and improvements have been shown schematically for the contractor's convenience only. The information was taken from an ALTA survey prepared by others and made a part of these plans. All existing utilities and improvements may not be shown. It shall be the contractor's responsibility to verify the location(s) and elevation(s) of all utilities and improvements that may be affected prior to construction.
 - No wetlands are known to be on the subject property.
 - The entrance onto Johnstown Road is configured as a Right-in / Right-out, based on the Ohio DOT Access Manual, Type 1b Entrance.
 - This parcel is proposed to be split into 2 lots depending on the configuration on the future second building. A dividing lot line is shown depicting a possible location of the lot line. Ingress-egress easements will be established in the future plot, giving both lots cross easements for access to the driveways.

Lot Coverage Calculations:

Total Land Area:	2,368 (acres)
LA	103,150 (sf)

Determine Impervious Area

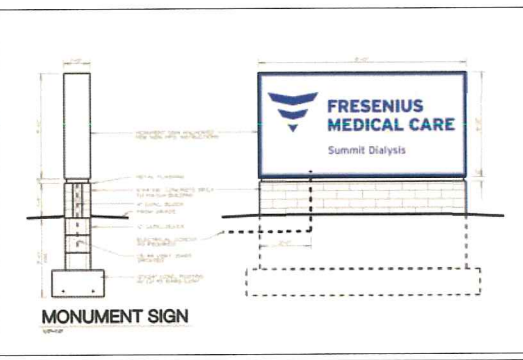
Area ID	Area (sf)
Outside Poly	63,902
Green Island 01	(544)
Foundation 01	(2,106)
Foundation 02	(704)
Green Island 02	(692)
Foundation 03	(1,163)
Foundation 04	(729)
Foundation 05	(335)
Green Island 03	(295)
Green Island 04	(205)
Green Island 05	(182)
Total Impervious Area (TIA):	56,957 sf

Calculate Building Coverage Ratio:

FMC Building Area (BA):	7,154.0 sf	
Future Building (BA):	7,000.0 sf (use)	5,705.0 sf (shown)
Total Building Area (BA):	14,154.0	
Total Land Area (LA):	103,150.0 sf	
Lot Coverage by buildings (BA/LA):	13.7%	
Maximum Allowed (per 1153.03):	50%	

Calculate Total Coverage Ratio:

Total Impervious Area (TIA):	56,957.0 sf	
Green Lot Coverage Ratio (TIA / LA):	55%	
Maximum Allowed (per 1153.03):	75%	



LEGEND

(CoG refers to City of Gahanna)
(FC refers to Franklin County)
(ODOT refers to the Ohio Department of Transportation)

(B) 2' wide Combined Concrete Curb & Gutter (Type 2) or Barrier Curb (Type 6)
(Reference ODOT Standard Drawing No. SP 5.1)

(C) 6' wide concrete curb & sidewalk

(hr) Handicap Ramp

(SI) Parking Lot Area Light (Employee / Patient / Visitor Parking Lot)
LSI Industries, XGBM-3-LED-HO-NW.
Single light on 20' steel pole.

Note that there will be variations of the pavement depending on use. The different pavement specifications are:

Asphalt Pavement (Light Duty Area):
1"-Asphalt Concrete Surface Course (Item 403 or 404) on
1 1/2"-Asphalt Concrete Intermediate Course (Item 403) on
6"-Crushed Aggregate Base Course (Item 304) on
Compacted subgrade (per ODOT Specifications)

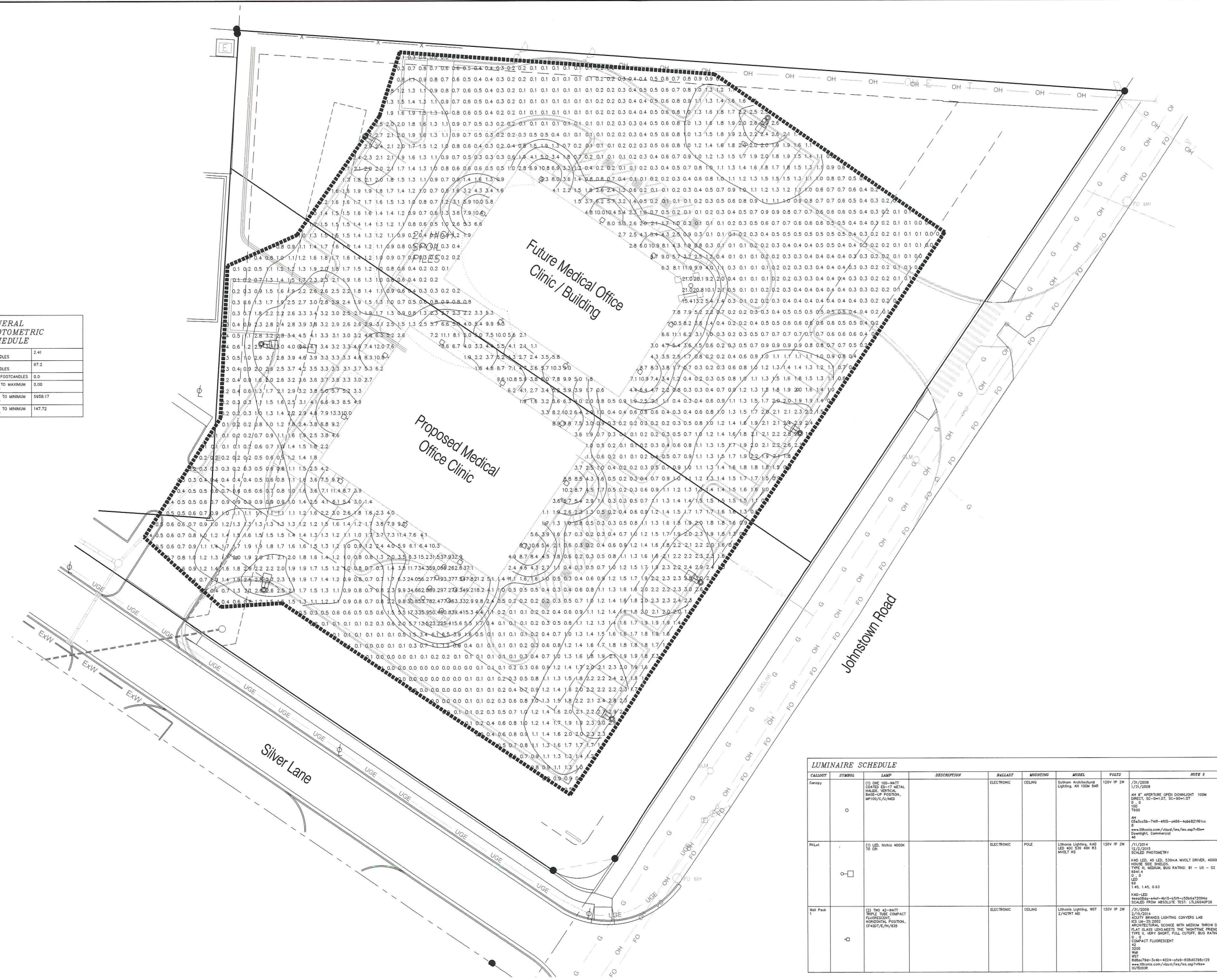
Asphalt Pavement (Heavy Duty)
1 1/2"-Asphalt Concrete Surface Course (Item 403 or 404) on
1 1/2"-Asphalt Concrete Intermediate Course (Item 403) on
6"-Crushed Aggregate Base Course (Item 304) on
Compacted subgrade (per ODOT Specifications)

Note: Tack Coat (Item 407) required if more than 3 days has lapsed between placement of Surface and Intermediate courses.

Concrete Pavement w/integral barrier curb (Apron and Approach Area):
8"-Class D Concrete (4000 psi) with woven wire steel mesh on
8"-Crushed Aggregate Base Course (Item 304) on
Compacted subgrade (per ODOT Specifications)

GENERAL PHOTOMETRIC SCHEDULE

AVERAGE FOOTCANDLES	2.41
MAXIMUM FOOTCANDLES	97.2
MINIMUM FOOTCANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	9598.17
AVERAGE TO MINIMUM FC RATIO	147.72



LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	NOTE 3	QUANTITY
Canopy	○	(1) ONE 100-WATT COATED 20-T METAL HALIDE, VERTICAL BASE-UP POSITION, MP100/C/UMED		ELECTRONIC	CEILING	Coltman Architectural Lighting, AH 100M BAR	120V 1P 2W	3/31/2008 1/31/2008 AN 8" APERTURE OPEN DOWNLIGHT 100M DIRECT, SC-Q=1.07, SC=90+1.07 E1 8 T500 AH 05a3a5b-74ff-405-0466-e0b82191cc www.lithonia.com/usad/res/res.asp?file=12a.html; Commercial	9
PLat	□	(1) LED, LITHONIA 4000K TO DR		ELECTRONIC	POLE	Lithonia Lighting, KAD LED 40-530 40k R3 WOLV H2	120V 1P 2W	7/1/2014 12/2/2015 SCALED PHOTOMETRY KAD LED, 40 LED, 530mA MVOLT DRIVER, 4000K, TYPE 3 OPTICS WITH HOUSE SIDE SHIELDS, TYPE 16 MEDIUM, BUG RATING: B1 - U0 - G2 814-4 US-5 E4 1.45, 0.63 KAD-LED 40x200g-e4f1-b015-5511-c50a4720946 SCALED FROM ABSOLUTE TEST, L33504925	9
Wall Pack	□	(2) TWO 42-WATT SIMPLE-USE COMPACT FLUORESCENT, HORIZONTAL POSITION, CF42T/C/UMED		ELECTRONIC	CEILING	Lithonia Lighting, WST 2/42THT MD	120V 1P 2W	3/31/2008 2/18/2014 ACTIVITY BRANDS LIGHTING CONVEYS LAB E2 18-25 2000 ARCHITECTURAL SCIENCE WITH MEDIUM THROW DISTRIBUTION WITH CLEAR, FLAT GLASS LENS/LETS THE "NIGHTTIME PRODUCT" OPTION TYPE II, VERY SHORT, FULL CUTOFF, BUG RATING: B2 - U0 - G0 E COMPACT FLUORESCENT E2 3200 WST 818079g-3c4b-4224-e1a9-6056038a1129 www.lithonia.com/usad/res/res.asp?file= OUTDOOR	18



landfocus
CONSULTING
LANDFOCUSCONSULTING.COM
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Client
King Avenue 1.0 LLC
10537 Timberwood Circle, Suite D
Louisville, Kentucky 40223
Tel. 502.425.1825

Date
05.02.2016

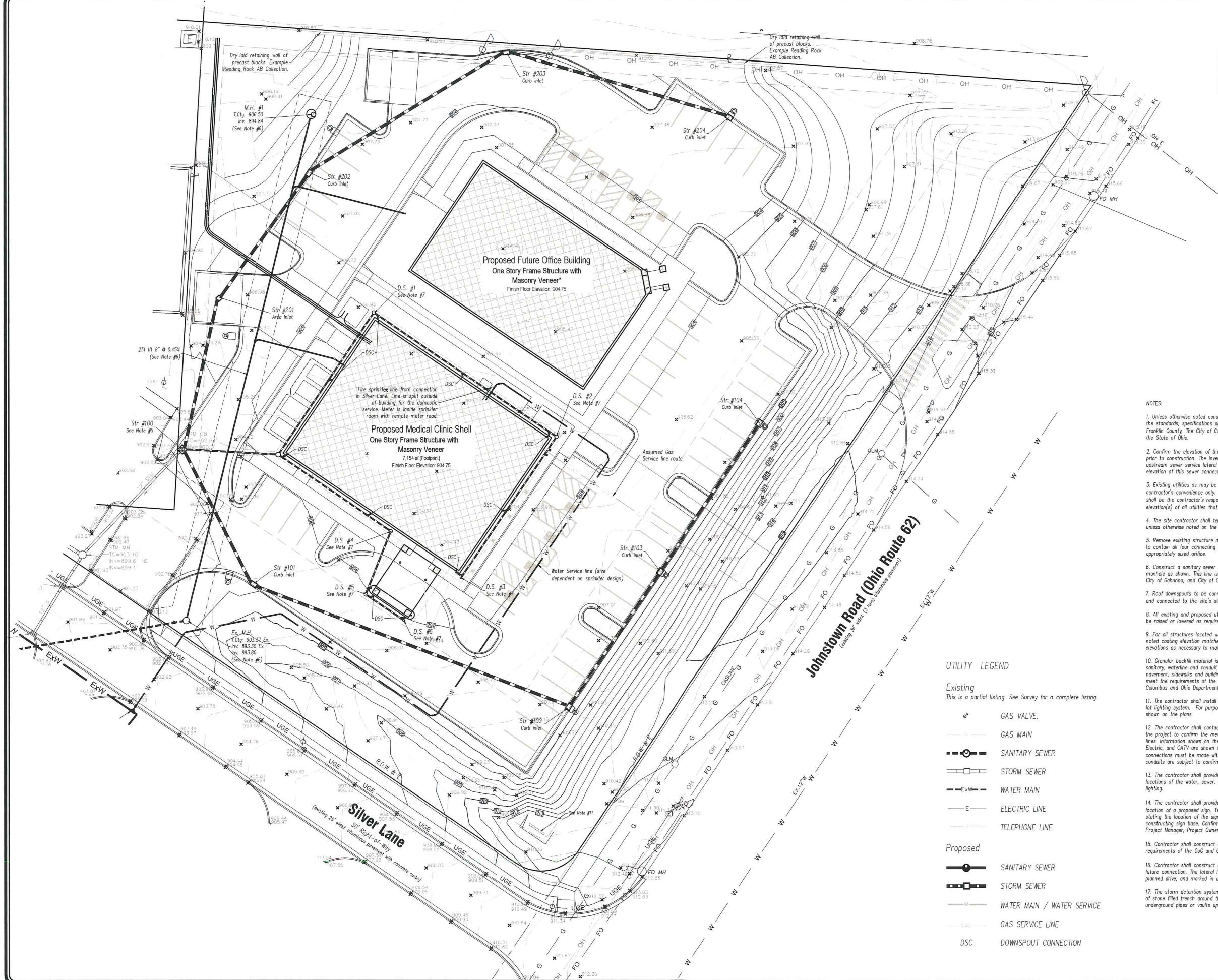
Revision

Date

Project
FMC Medical Clinic
Gahanna (#3995-1)
4251 Johnstown Road, Millin Twp, Franklin County, Gahanna, Ohio
Sheet Title
Site Development Plan
Design Review & Final Development Plan

Notes

Sheet No.
C301
6 Civil Sheets



- NOTES:**
1. Unless otherwise noted construction materials and procedures shall meet the standards, specifications and requirements of the City of Gahanna, Franklin County, The City of Columbus (for referenced improvements), and the State of Ohio.
 2. Confirm the elevation of the existing sewer and/or sanitary systems prior to construction. The invert, connection type, size and slope of upstream sewer service lateral segment may change depending on the elevation of this sewer connection.
 3. Existing utilities as may be shown have been shown schematically for the contractor's convenience only. All existing utilities may not be shown. It shall be the contractor's responsibility to verify the location(s) and elevation(s) of all utilities that may be affected prior to construction.
 4. The site contractor shall terminate proposed utilities to the building unless otherwise noted on the architectural plans.
 5. Remove existing structure and replace with a structure of sufficient size to contain all four connecting pipes and contain a control plate with appropriately sized orifice.
 6. Construct a sanitary sewer extension from existing manhole to a new manhole as shown. This line is to be constructed to the standards of the City of Gahanna, and City of Columbus, for dedication.
 7. Roof downspouts to be connected into a downspout collection system and connected to the site's storm system.
 8. All existing and proposed utilities rims, grade rings, pedestals, etc. shall be raised or lowered as required to match proposed grades.
 9. For all structures located within proposed pavement, confirm that the noted casting elevation matches the proposed pavement. Adjust casting elevations as necessary to match to proposed grades.
 10. Granular backfill material is required for all underground utility, storm sanitary, waterline and conduit trenches under and within 3 feet of all pavement, sidewalks and building limits. Granular backfill material shall meet the requirements of the City of Gahanna, Franklin County, City of Columbus and Ohio Department of Transportation Specifications.
 11. The contractor shall install electric conduits for service to the parking lot lighting system. For purpose of clarity these conduits have not been shown on the plans.
 12. The contractor shall contact the utilities that are providing service to the project to confirm the methods of connection and routes of service lines. Information shown on the plan locating conduits for Telephone, Electric, and CATV are shown to emphasize that these utility service connections must be made within 4' conduits. Final routing of these conduits are subject to confirmations by the respective utilities.
 13. The contractor shall provide plans schematically showing the as-built locations of the water, sewer, gas, electric, CATV, telephone and parking lot lighting.
 14. The contractor shall provide a 4" conduit with power connection to the location of a proposed sign. Tenant is responsible for confirming and/or stating the location of the sign. Site contractor is responsible for constructing sign base. Confirm the location of the sign with the Tenant Project Manager, Project Owner and Miami Township.
 15. Contractor shall construct a 6" sanitary service line meeting the requirements of the CoG and CoC.
 16. Contractor shall construct a 6" sanitary sewer service lateral line for future connection. The lateral line shall be terminated 5 feet beyond the planned drive, and marked in a manner as required by the CoG and CoC.
 17. The storm detention system shall be an underground system consisting of stone filled trench around the proposed storm system, or a bank of underground pipes or vaults upstream of the control structure.

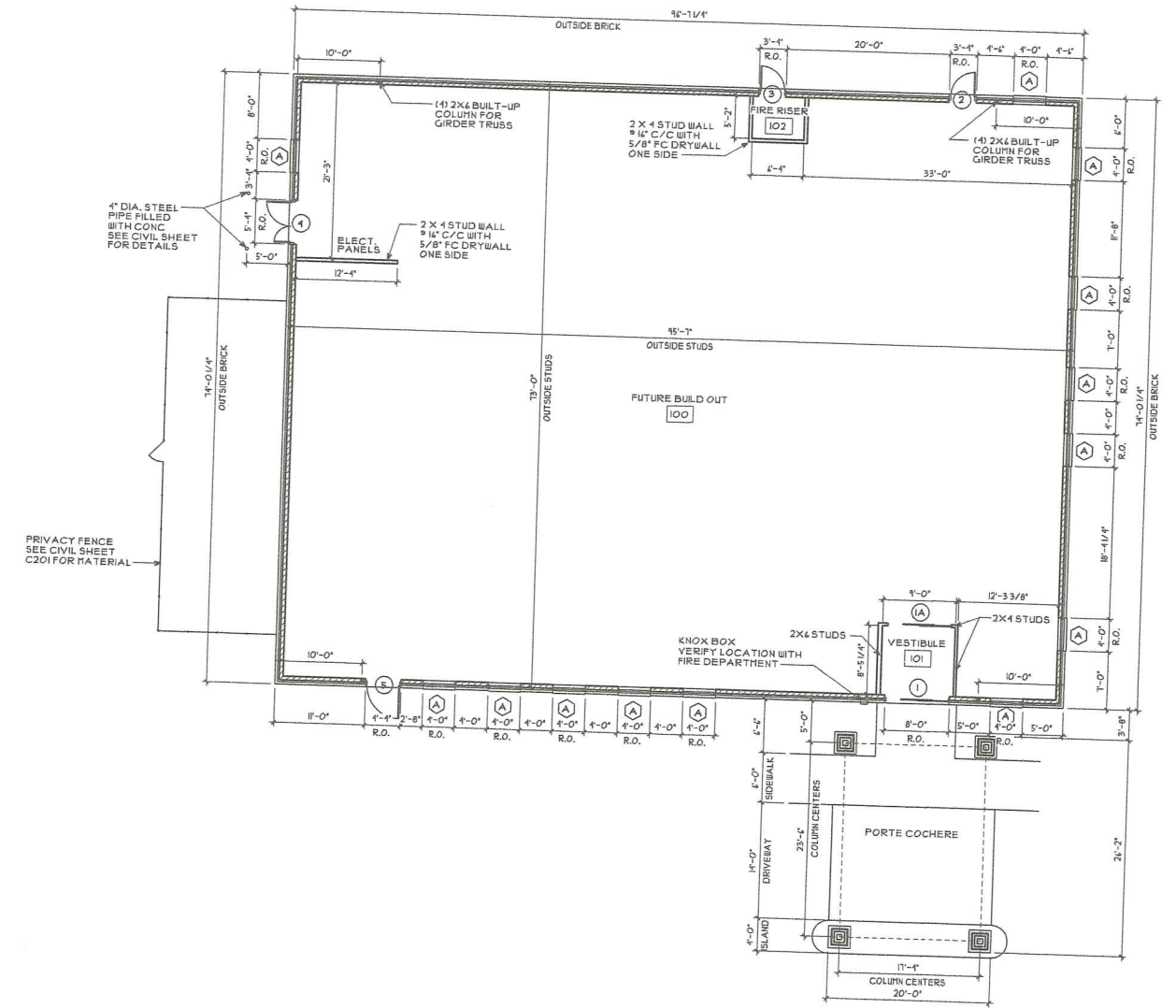
UTILITY LEGEND

Existing
This is a partial listing. See Survey for a complete listing.

	GAS VALVE
	GAS MAIN
	SANITARY SEWER
	STORM SEWER
	WATER MAIN
	ELECTRIC LINE
	TELEPHONE LINE

Proposed

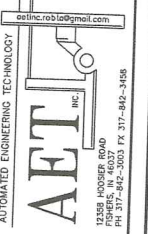
	SANITARY SEWER
	STORM SEWER
	WATER MAIN / WATER SERVICE
	GAS SERVICE LINE
	DSC



BUILDING AREA:
 Usable SF - 8,918 SF
 Plantable SF - 7,154 SF

FLOOR PLAN
 1/8"=1'-0"
 NORTH

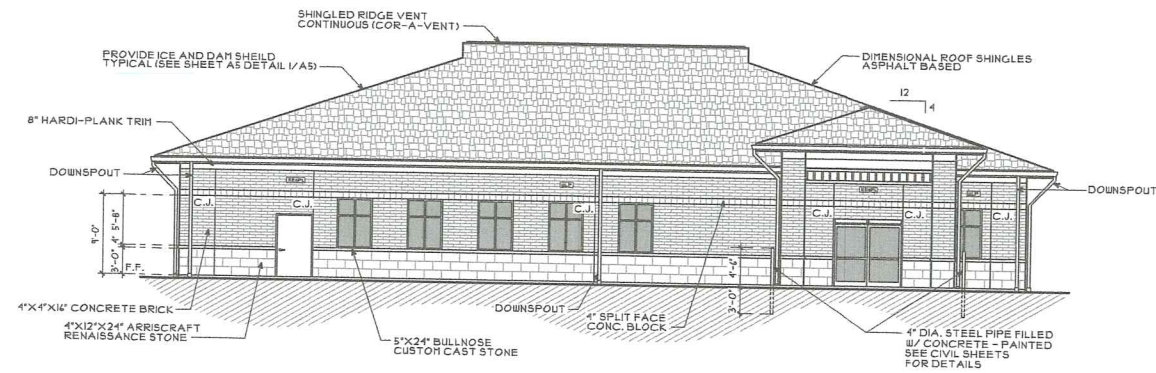
PROJECT: NEW BUILDING FOR
GAHANNA (#3995-1) FMC CLINIC
 4251 JOHNSTOWN ROAD
 GAHANNA, OHIO



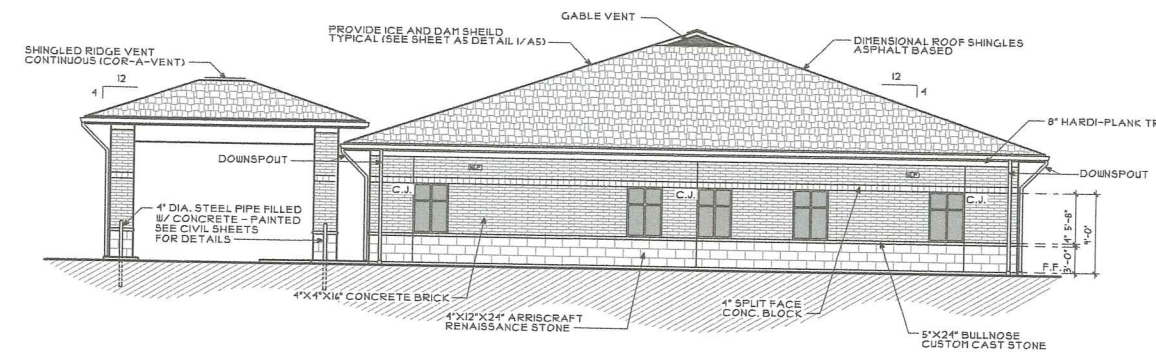
SHEET TITLE:
PROPOSED FLOOR PLAN

DRAWN KAW	SHEET
CHECKED KEN	A2
COMM 615	
DATE 4/25/2016	
	OF 6

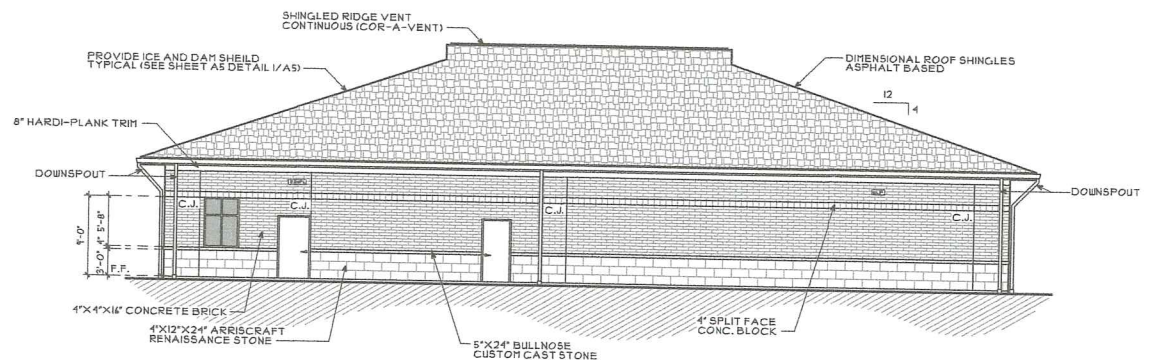
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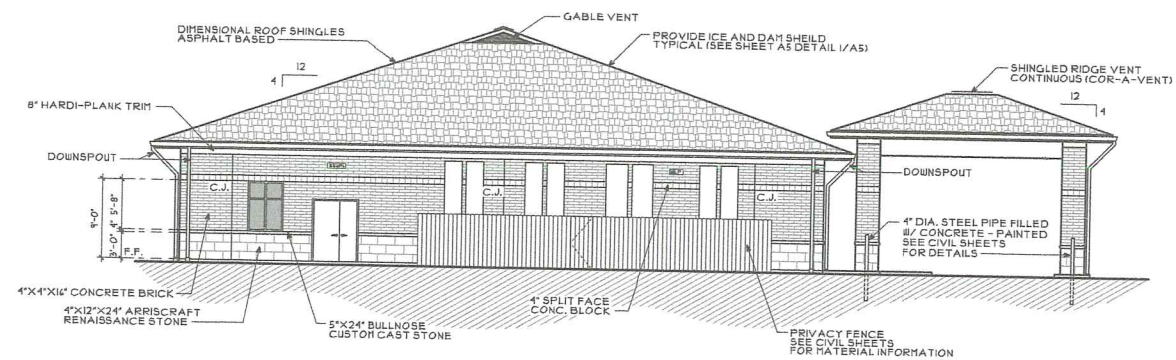
EAST ELEVATION
1/8"=1'-0"



NORTH ELEVATION
1/8"=1'-0"

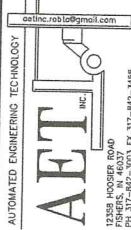


WEST ELEVATION
1/8"=1'-0"



SOUTH ELEVATION
1/8"=1'-0"

PROJECT: NEW BUILDING FOR
GAHANNA (#3995-1) FMC CLINIC
 4251 JOHNSTOWN ROAD
 GAHANNA, OHIO


 AUTOMATED ENGINEERING TECHNOLOGY
 13358 WOODRIDGE BLVD
 FORTKES, IN 46037
 PH 317-852-3003 FX 317-842-3108
 aetinc.rs@aei.com

SHEET TITLE:
ELEVATIONS

DRAWN KAW	SHEET
CHECKED KEN	A3
COMM 615	
DATE 4/25/2016	

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CITY OF GAHANNA

STAFF COMMENTS

Project Name: FMC-Medical Clinic
Project Address: 4251 Johnstown Rd

Planning & Development

The project is located at the northeast corner of Johnstown Road and Silver Lane. The property is undeveloped and zoned Community Commercial (CC). Surrounding properties are zoned a mix of commercial, residential or located within Jefferson Twp.

The site is located within the South Triangle Plan and within a Priority Development Area (PDA). The main purpose of the South Triangle Plan was to illustrate the need for an east-west connector road. Ultimately Beecher Road was extended to connect Hamilton and Johnstown Roads. The other main component of the Plan was to provide a sketch plan of how the properties south of the connector road may be developed.

Many of the properties located north of the Hamilton/Johnstown Road intersection are located within PDA #3. The subject property comprises a majority of Target Site 3E. The Strategy estimated roughly 23,000 square feet of office space, 82 jobs, and a construction cost of \$3.4 million for the FMC portion of the site. The applicants have provided that the portion of the project occupied by FMC is estimated to generate over 30 jobs with a construction cost of \$4 million. This represents a potential annual North Triangle TIF revenue of approximately \$35,000-\$45,000.

FDP/DR Criteria

Planning Commission shall approve an application for Final Development Plan if the following four conditions are met:

1. The proposed development meets the applicable development standards of this Zoning Ordinance.
2. The proposed development is in accord with appropriate plans for the area.
3. The proposed development would not have undesirable effects on the surrounding area.
4. The proposed development would be in keeping with the existing land use character and physical development potential of the area.

It is Development staff's opinion that the request meets the four conditions for approval.





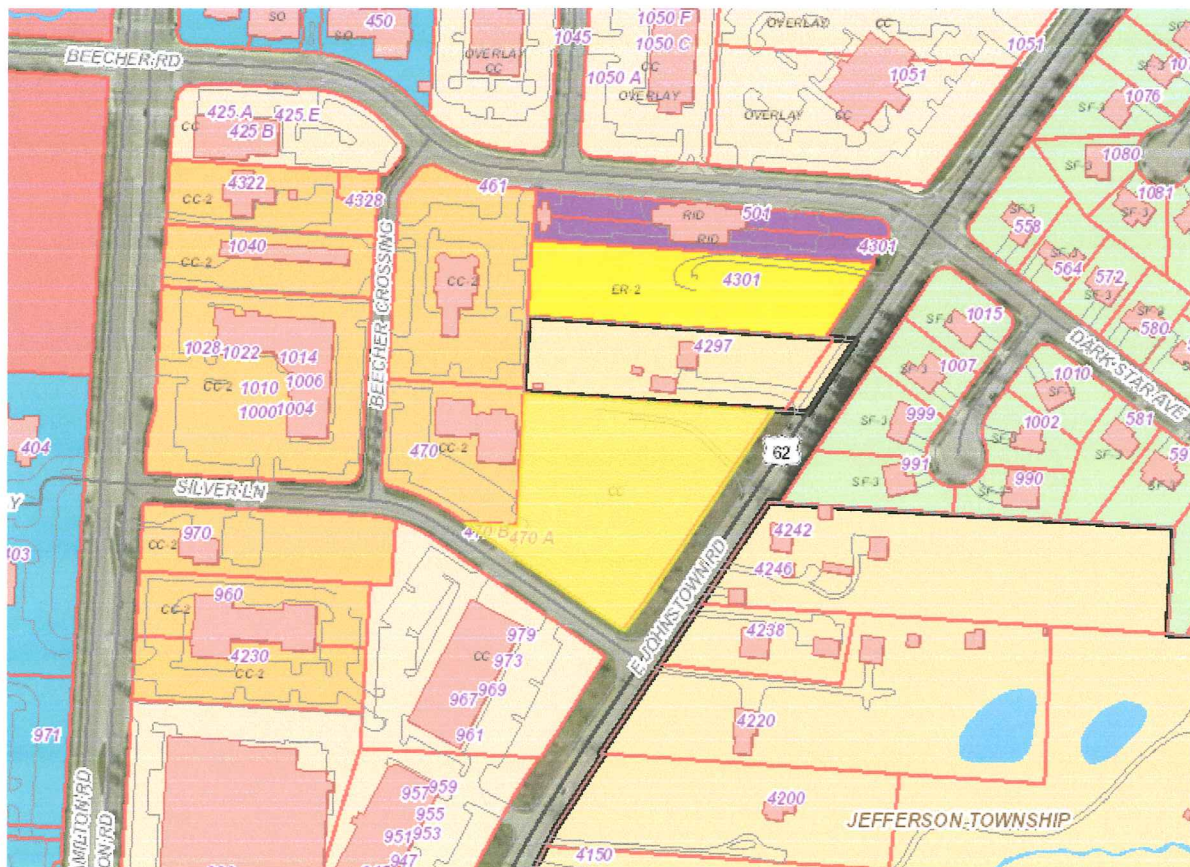
CITY OF GAHANNA

Planning Commission shall approve an application for Certificate of Appropriateness if it determines the proposal meets the following criteria:

1. Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
2. Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
3. Contribute to the continuing economic and community vitality of the Design Review District.
4. Maintain, protect and enhance the physical surroundings of the Design Review District.

It is Development staff's opinion that the request meets the four conditions for approval.

Zoning Map



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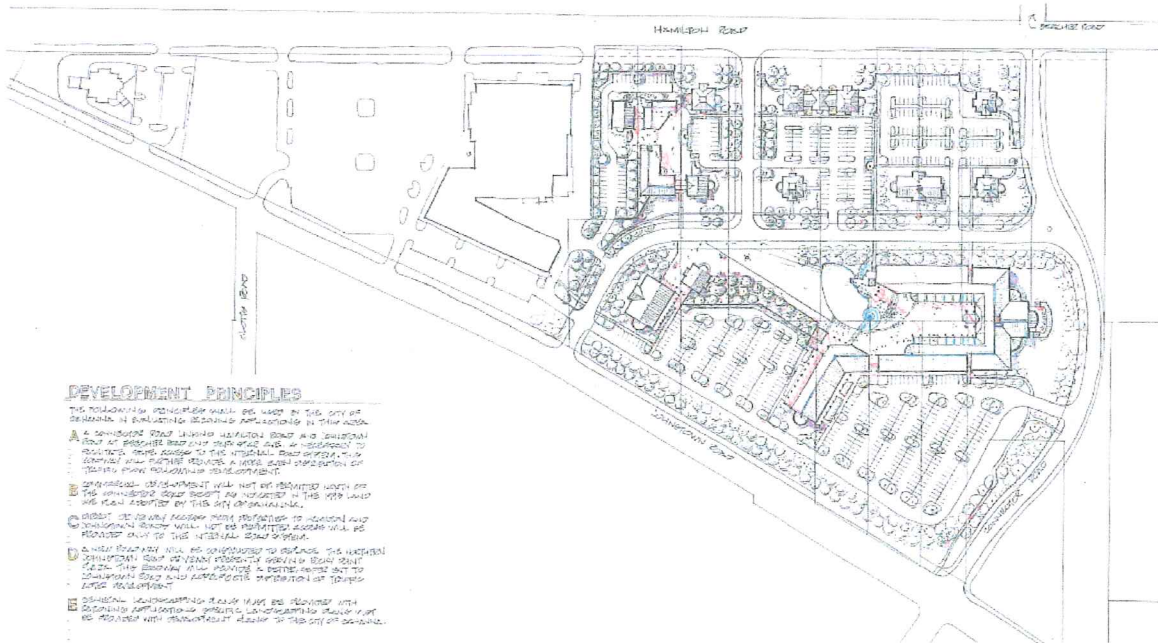


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ED Strategy



South Triangle Plan



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Submitted By:
Michael Blackford, AICP
Deputy Director of Planning and Development





CITY OF GAHANNA

STAFF COMMENTS

Project Name: FMC Medical Clinic

Project Address: 4251 East Johnstown Road

General Comments

- A formal final engineering plan review will be performed following approval of the Final Development Plan, or concurrently with the FDP process if requested by the Developer at their risk.

Site Access

- A detailed Traffic Impact Study shall be required if the development generates more than 100 vehicle trips in the peak hour, or more than 1,000 total trips in a 24 hour period.
- Two access drives are shown for the project. The proposed right-in/right-out shall be located as close to the northern property line to create as much separation from Silver Lane as much as possible and to provide a potential shared access to the properties to the north of this site.

Sanitary Sewer

- There is an existing 8 inch sanitary sewer and manhole located near the southwest corner of the site. The sewer will need to be extended to the north the northernmost property line to serve this parcel and the parcel to the north. The sewer will be dedicated to the City along with a permanent 20 foot easement. A separate sanitary sewer easement will be required to be dedicated to the City along the south side of the property for future service to the parcels on the east side of East Johnstown Road as part of the engineering plan review and approval process.

Water Service

- There is an existing 8 inch water line on the south side of Silver Lane and a 12 inch line along the east side of East Johnstown. Either can be tapped to provide service to the development for both domestic and fire suppression.



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Stormwater Management

- It appears storm water detention and water quality requirements will be addressed with on-site per the provided site plan. Detention and water quality treatment design to be per City of Gahanna standards, Codified Ordinances Chapter 1193.
- We recommend that consideration be given to incorporating green infrastructure best management practices (BMP's) for detention and water quality measures.
- Erosion Control design and Post Construction Runoff Control to be per City of Gahanna (Chapter 1195) and Franklin Soil and Water Conservation District requirements.

Franklin County Soil and Water Conservation District

- The site was a wetland prior to the fill being placed. There is still fringing wetland and the drainage. There is a band of Pewamo hydric soils running through the middle of the site making for an almost perennial stream onsite. The fill placement was an attempt to fill the wet spot but it's been there at least since the 2000 aerials. Mitigating any wetland impacts would be done at the wetland bank outside of your watershed leaving your municipality to deal with the effects of the stormwater. If you have seen hanging pavement for infiltration galleries, this site could be one for the entire site using that technology. Elevate the on slab construction over an internal water storage/infiltration/conveyance channel through the site. I would expect groundwater expressing through the pavements like you see south of there at the CVS and strip mall. Not sure of the drainage but it must tie into the CVS location or cross 62 to discharge along Clotts. Either way, that stretch of stream has seen it's share of impacts.

Respectfully Submitted By: Robert S. Priestas, P.E.



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STAFF COMMENTS

Project Name: FMC-Medical Clinic
Project Address: 4251 Johnstown Rd

A 7,154 sq ft medical office building is proposed for this 2.368 ac site at the corner of E. Johnstown Road and Silver Lane. It is a one story structure. A future medical office building is proposed for the site as well. The site layout is such that the lot could be split at some time in the future, and that both buildings would remain code compliant. Building and parking setbacks have been met and parking stalls and drive aisles are the appropriate sizes. The Silver Lane access will be shared with the building to the west, as was mandated at the time of approval for Dr. Hutta's project.

Exterior materials include stone, brick and dimensional shingles. A photometric plan has been submitted as part of the packet. A cut sheet for the fixtures has been included. The grounds will be landscaped as indicated on sheet C401, and as illustrated on sheet C000 of the plans. Signage is not part of this application.

This use is a good fit for the property, and should be well received by the public.

Respectfully Submitted By:

BONNIE GARD

Planning & Zoning Administrator
Department of Public Service
Division of Building & Zoning



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Mifflin Township Division of Fire
Fire Inspection Bureau
 485 Rocky Fork Blvd., Gahanna, OH 43230
 Phone: (614) 471-0542

PLAN REVIEW

Occupant Name:	FMC Medical Center	Inspection Date:	5/17/2016
Address:	4251 East JOHNSTOWN Road	Inspection Type:	Plan Review
Suite:		Inspected By:	Steve Welsh (614) 679-4078 welshs@mifflin-oh.gov
City:	GAHANNA		

Pass Fail N/A

OH Fire Codes 2011

Chapter 5 Fire service features

- 503.1.1 Fire Apparatus Access Roads *Buildings and facilities.*

Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction which are not readily accessible from a public and/or private street. The fire apparatus access road shall comply with the requirements of this paragraph and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

Exception: The fire code official is authorized to increase the dimension of 150 feet (45 720 mm) where:

1. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with paragraph (C)(3)(a)(I) (903.3.1.1), (C)(3)(a)(ii) (903.3.1.2) or (C)(3)(a)(iii) (903.3.1.3) of rule 1301:7-7-09 of the Administrative Code.

2. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.

3. There are not more than two Group R-3 or Group U occupancies.

ACTION REQUIRED: The fire apparatus access road meets the requirements of the Ohio Fire Code.

- 503.2 Specifications. *Fire apparatus access roads shall be installed and arranged in accordance with paragraphs (C)(2)(a)(503.2.1) to (C)(2)(h)(503.2.8) of this rule.*

- 503.2.1 Access roads - *Dimensions.*
 width of not less than 20 feet *Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with paragraph (C)(6) (503.6) of this rule, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).*

- 503.2.2 Authority. *The fire code official shall have the authority to require an increase in the minimum access widths where they are inadequate for fire or rescue operations.*

- 503.2.3 Surface. *Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.*

- 503.2.4 Turning radius. *The required turning radius of a fire apparatus access road shall be determined by the fire code official.*

- 503.2.8 Angles of approach and departure. *The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire department's apparatus.*

- 503.3 Marking. *Where required by the fire code official, approved signs or other approved notices or markings that include the words "NO PARKING-FIRE LANE" shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.*

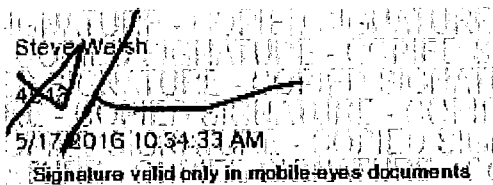
- 503.4 Obstruction of fire apparatus access roads. *Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in paragraph (C)(2)(a)(503.2.1) of this rule shall be maintained at all times.*

- 507.2.1 Private fire service mains. *Private fire service mains and appurtenances shall be installed in accordance with NFPA 24 as listed in rule 1301:7-7-47 of the Administrative Code.*

ISSUE: The fire hydrant locations were not on the plan, but the size of the building requires 1750 gpm if it is a II B structure and 2250 gpm if it is a V B structure. It does show a sprinkler room on the plan and if it is sprinklered, 1500 gpm is the required fire flow for the building.

Construction of a structure subject to Section 104.2.2 shall be in compliance with the provisions of the Ohio Fire Code.

Inspector:



Steve Welsh
 5/17/2016 10:34:33 AM
 Signature valid only in mobile eyes documents

Steve Welsh
 5/17/2016



CITY OF GAHANNA

STAFF COMMENTS

Project Name: FMC-Medical Clinic
Project Address: 4251 Johnstown Rd

Hydric soils, high groundwater and wetland conditions are predominant on this site and fill was placed in a potential wetland area many years prior. This site may have unique requirements for construction and post construction and the developer/owners should observe due diligence towards these conditions.

Respectfully Submitted By:
David Reutter – Franklin Soil and Water Conservation District



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