

15030002

File No. DR-3-2015

Fee: 450.00

Check or Receipt#: 76500

Supersedes File No.(s) _____ or none

Initials: CAS

Scheduled Public Hearing Date: _____

Date Received 2-24-15

PAID FEB 24 2015

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS DESIGN REVIEW CITY OF GAHANNA PLANNING COMMISSION

RECEIVED FEB 24 2015

CAS-CHK# 76500

BY: *Required Information

BY: CAS

*Site Address 4300 Cherry Bottom Rd., Gahanna, OH,

*Parcel ID# _____ *Zoning District Restricted Institutional District

*Business Name Columbus Academy *Contact Doug Bennett, RPA

*Business Owner Name Doug Bennett, RPA *Phone# 614.509.2262

*Business Address 4300 Cherry Bottom Road, Gahanna, Ohio, 43230

*Applicant Name Anthony Malik, AIA *Applicant Email tmalik@thecollaborativeinc.com

*Applicant Full Address 600 Madison Ave, Toledo, Ohio, 43604

*Applicant Phone# 419.242.7405 (ext. 243) Applicant Fax# _____

*Designer/ Architect/ Engineer Anthony Malik, AIA

*Address 600 Madison Avenue *Phone 419.242.7405 (ext. 243)

*City/ State/ Zip Toledo, Ohio, 43604 Fax _____

*D/A/E Representative Anthony Malik, AIA Title Architect

*Design Review of: Site Plan Landscaping _____ Building Design Signage _____ Other _____

*Special Information Regarding the Property and its Proposed Use: _____

Submission Requirements

- (1) Applicant is required to complete the checklist on the following pages.
(2) Fee: \$50.00 for review plus \$.01 per square foot.
(3) Eleven copies of plans: Two (2) copies of 24x36 (folded, not rolled, to 8 1/2 x 11 inch size prior to submission) & nine (9) 11x17.
(4) Submit one (1) reduced drawing suitable to an 8 1/2 x11 inch size.
(5) Submit one (1) color rendering of the project in plan/ perspective/ or elevation, mounted on 18 x 24 inch size foam core, gator board or other acceptable material.
(6) Submit a detailed list of materials.
*Note: This application will not officially be accepted until all items listed above have been received.

**Note: Planning Commission members and/or City Staff may visit the property prior to the hearing to review the application.

Applicant's Signature (Handwritten Signature)

Date 24 FEBRUARY 2015

APPROVAL

In accordance with Sections 1197.05 of the Codified Ordinances of Gahanna, this certifies that this project, as stated above, has been approved by the Gahanna Planning Commission on _____. The applicant shall comply with any conditions approved by the Commission, and shall comply with all building and zoning regulations now in force.

Conditions: _____

Planning & Zoning Administrator

Date

Note: All correspondence will be to applicant above unless otherwise stated.

- 14. Provide interior landscaping breakdown for paved surface (5% of paved surface required to be landscaped with one (1) tree per 100 square feet, see COG 1163) 14. X /
- 15. Provide lot coverage breakdown of building and paved surface areas. 15. X ✓

- B. Elevations. Complete elevation from all sides of all proposed construction labeled North, South, East and West and related elevations of existing structures (if any) are required containing the following information:
- 1. Scale; 1. X /
 - 2. Changes in ground elevation; 2. X /
 - 3. All signs to be mounted on the elevations; 3. X /
 - 4. Designation of the kind, color, and texture of all primary materials to be used; 4. X /
 - 5. Fenestration, doorways, and all other projecting and receding elements of the building exterior. 5. X /

- C. Optional requirements at discretion of Planning Commission.
- 1. Scale model. 1. N/A
 - 2. Section Profiles. 2. N/A
 - 3. Perspective drawing. 3. N/A

- D. Material Samples. Material samples are required for all exterior materials. For presentation purposes, a narrative description is required for Planning Commission file. D. N/A

NOTE: No material samples are provided. Materials of all building additions will match or complement materials of existing buildings.

- E. Lighting Standard Drawing. A scaled drawing of the proposed lighting standard(s) is required and should contain the following information:
- 1. All size specifications; 1. N/A
 - 2. Information on lighting intensity (number of watts, isofootcandle diagram, etc., at least 1/2 foot candles required); 2. N/A
 - 3. Materials, colors, and manufacturer's cut sheet; 3. N/A
 - 4. Ground or wall anchorage details. 4. N/A

NOTE: No lighting standard drawings are provided. Few if any new site lighting fixtures will be added. All new fixtures will match or complement existing lighting.

APPROVED
FEB 9 4 2015

BY:



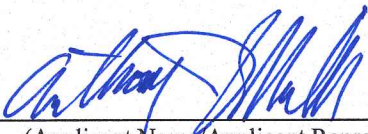
CITY OF GAHANNA

Agreement to Build as Specified


Your signature below affirms that, as the applicant ANTHONY MALIK
(Please Print - Applicant Name)

_____ for Columbus Academy, 4300 Cherry Bottom Rd
(Business Name and/or Address)

you will build the project as approved and specified by the Planning Commission for the City of Gahanna. You, as the applicant, also agree that any necessary change to the project must go back through Planning Commission process to amend the plans.

Applicant Signature 
(Applicant Name/Applicant Representative)

Date 24 FEBRUARY 2015

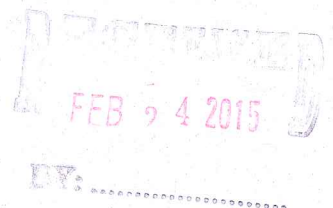

(Signature of Notary)

2/24/15
(Date)




Fredena L. Williams
Notary Public, State of Ohio
My Commission Expires 06-28-2017

Stamp/Seal



MATERIAL LIST

Item	Manufacturer Name	Color Name	Color Number
Awnings	[NOT APPLICABLE]		
Brick		RED BRICK BLEND (MATCH EXISTING)	
Gutters and Downspouts		WHITE - ALUMINUM (MATCH EXISTING)	
Lighting	MINIMAL QUANTITY - MATCH EXISTING		
Roofing		BLACK E.P.D.M. (LOW-SLOPE) ON NEW ADDITIONS	
Siding	[NOT APPLICABLE]		
Signs	[NOT APPLICABLE]		
Stucco	[NOT APPLICABLE]		
Trim		WHITE METAL (MATCH EXISTING)	
Windows		WHITE ALUMINUM (MATCH EXISTING)	



BY:

Planning Commission Information for All Applicants

1. All required information must be submitted with the application. The Tuesday, four (4) weeks prior to the Public Hearing Date, by 5:00 p.m., is the deadline for acceptance of all applications. No application will be forwarded to Planning Commission until all information is received in the Planning & Zoning Office.
2. It is the responsibility of the applicant to have a court reporter present, at the applicant's expense, if they wish to have a verbatim transcript of the meeting. Council office must be advised in advance if a court reporter is going to be present.
3. Reduced drawings suitable to an 11x17 inch size must be submitted. If an application is amended at any time during the process, a new reduced drawing must be submitted as well as any full size drawings requested.
4. Agendas will be mailed to the applicant on the Friday prior to the Planning Commission meeting. If the agenda is to go to someone other than the applicant, it needs to be noted on the application.
5. If a list of Contiguous Property owners needs to be submitted with an application, it must be compiled in a list on a separate sheet of paper. This must include mailing name and address of property owner. Showing them only on one of the plan sheets is not acceptable.
6. For Design Review applications, a materials list, unless otherwise instructed by the Planning & Zoning Administrator, must be submitted with the application. If materials are changed during the process, then a new materials list must be submitted.
7. For Multi-tenant ground sign & Master Sign Plan applications, location must be noted on a site plan. Also notate location on site plan for a freestanding sign or on building elevation for a wall sign. Color renderings must be submitted.
8. Please review "Submission Requirements" on any application before submitting to the Planning & Zoning Division.
9. Copies of specific sections of the zoning code are available in the Zoning Office at no charge. The entire zoning code with a map is available in the Council Office at a cost of \$25.00. Zoning Code is available on line and can be found @ www.gahanna.gov/departments/development/planning.asp under Code Ordinances.
10. Planning Commission members may visit the property prior to the hearing to review the application.

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BY:

RECEIVED

FEB 24 2015

BY: *PK*

FEB 24 2015



Photo 1

RECEIVED

FEB 24 2015

BY: CAS



Photo 2

RECEIVED
FEB 24 2015

BY: CAS



Photo 3

RECEIVED
FEB 24 2015

BY: CAS



Photo 4

RECEIVED

FEB 24 2015

BY: CAS



Photo 5



D7 CAMPUS AERIAL PHOTO
SD2.01 SCALE: 1:9600

NOTES:

- EXISTING TOPOGRAPHIC CONTOURS ARE SHOWN. MINIMAL REGRADING WILL BE REQUIRED.
- APPROXIMATE LOCATIONS OF EXISTING TREES TO REMAIN ARE SHOWN. EXACT LOCATIONS OF TREES POTENTIALLY IMPACTED BY THIS PROJECT WILL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- GENERALIZED PROPOSED LANDSCAPING IS INDICATED. EXACT QUANTITIES, SPECIES, AND LOCATIONS ARE TO BE DETERMINED.
- IMPACT ON EXISTING CAMPUS SITE LIGHTING FOR THIS PROJECT WILL BE MINIMAL. FEW (IF ANY) NEW SITE LIGHTING FIXTURES ARE TO BE ADDED, AND THEY WILL AESTHETICALLY COMPLEMENT EXISTING FIXTURES.
- NET CHANGE IN PARKING CAPACITY WILL BE MINOR AND DOES NOT WARRANT ANY ADDITIONAL INTERIOR LANDSCAPING.

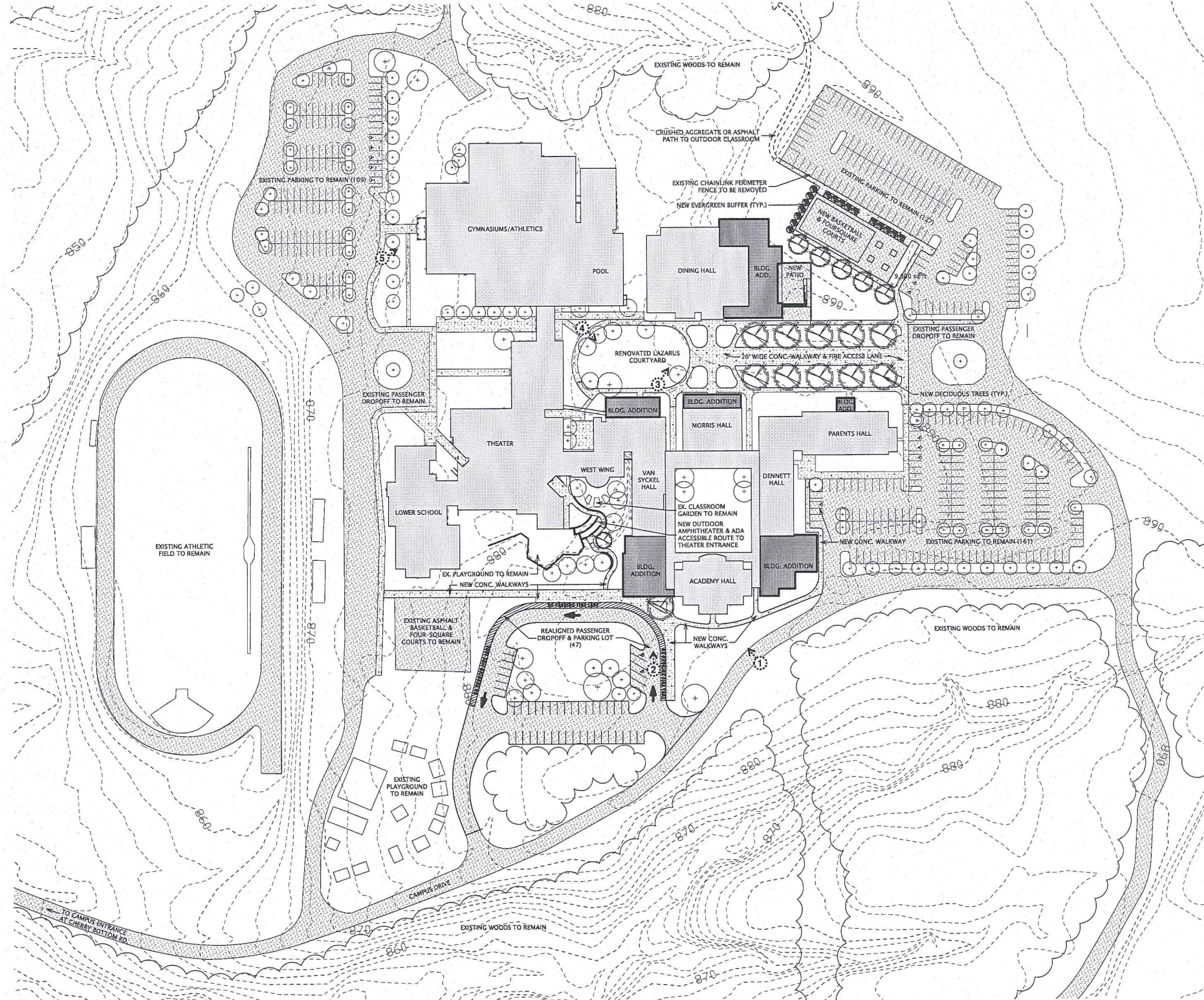
INDICATES LOCATION AND DIRECTION OF SITE PHOTO.

SITE SUMMARY:

ZONING: RID - RESTRICTED INSTITUTIONAL DISTRICT

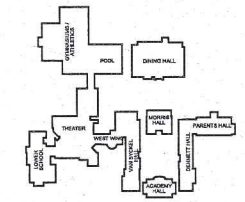
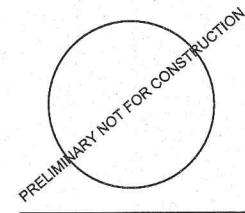
LOT COVERAGE				
DESCRIPTION	EXISTING, TO REMAIN	PROPOSED	TOTAL	COVERAGE
GROSS CAMPUS AREA	9,928,362 SQ. FT.	0 SQ. FT.	9,928,362 SQ. FT.	100%
BUILDING FOOTPRINT	164,009 SQ. FT.	22,223 SQ. FT.	186,232 SQ. FT.	1.9%
PAVEMENT	471,556 SQ. FT.	79,175 SQ. FT.	550,731 SQ. FT.	5.5%

PARKING SUMMARY					
DESCRIPTION	QTY.	RATIO	SPACES REQUIRED	SPACES PROVIDED	
STUDENTS	LOWER & MIDDLE SCHOOLS	703	1:15	47	-
	UPPER SCHOOL >16 YRS. OLD	279	1:5	56	-
FACULTY & STAFF	ALL SCHOOLS	200	1:1	200	-
TOTAL		-	303	444	



A5 SD2.01 SCALE: 1:960

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419.242.7465 thecollaborativeinc.com



KEY PLAN
N.T.S.

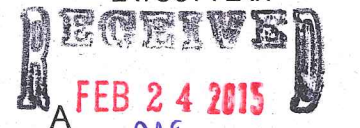
Columbus Academy
ADDITIONS & RENOVATIONS
4300 Cherry Bottom Rd
Gahanna, OH

02.24.2015 PLANNING COMMISSION REVIEW

CHECKED PGE
APPROVED PGE

TCJ JOB NO. 106275

SHEET TITLE
LAYOUT PLAN

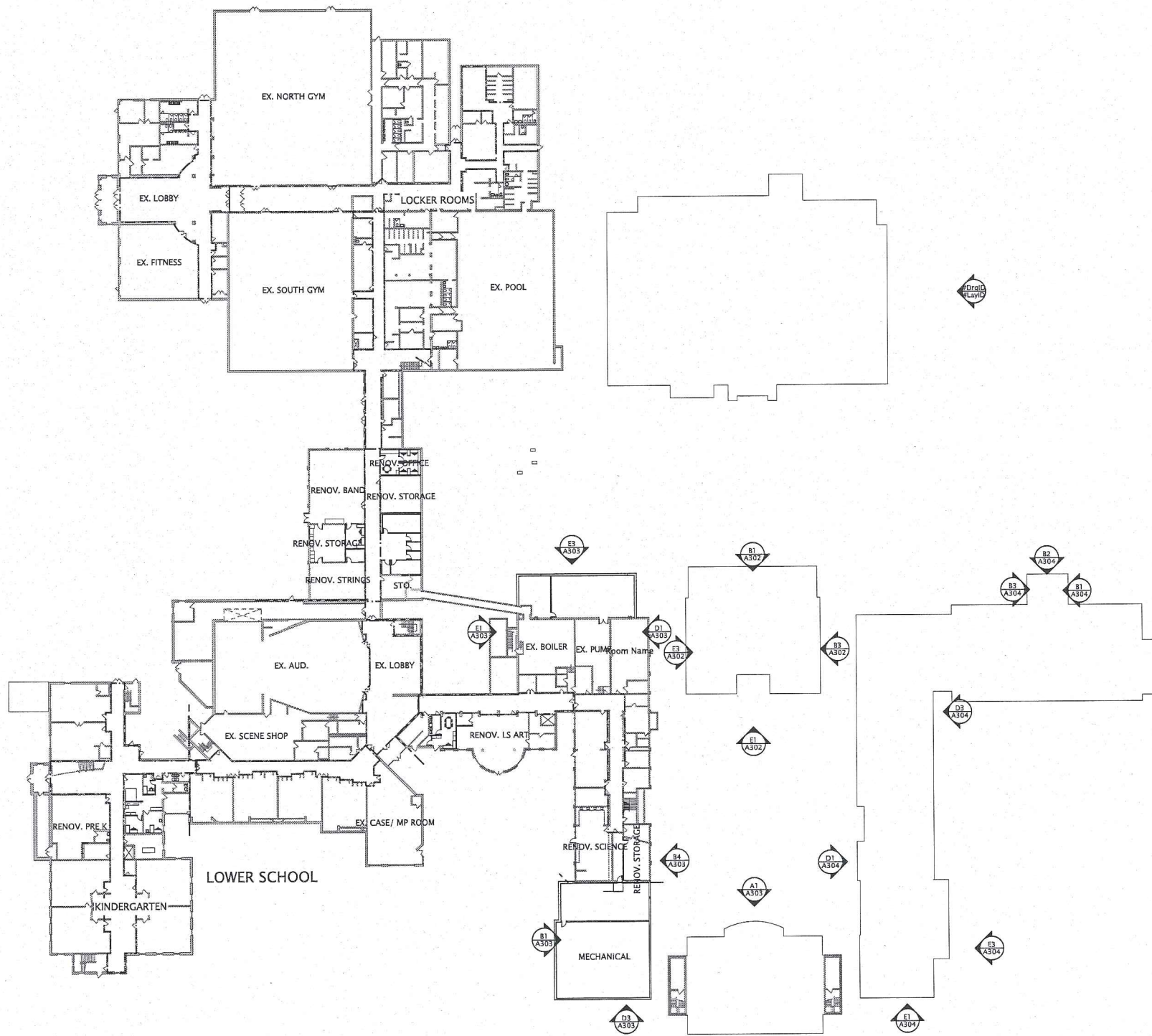


BY: [Signature]
SHEET NO.

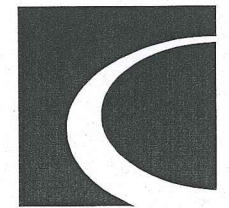
SD2.01

7 | 6 | 5 | 4 | 3 | 2 | 1

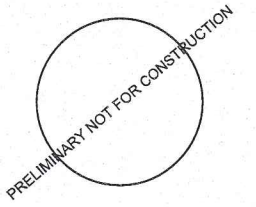
E
—
D
—
C
—
B
—
A



B5
A1 LOWER LEVEL OVERALL FLOOR PLAN
SCALE: 1" = 40'



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KEY PLAN
N.T.S.

PROJECT TITLE
COLUMBUS
ACADEMY
ADDITIONS &
RENOVATIONS
4300 Cherry Bottom Rd
#Client City, OH

2/24/2015 PLANNING COMMISSION REVIEW

CHECKED XXX

APPROVED XXX

TCI JOB NO. 106275

SHEET TITLE
OVERALL FLOOR
PLAN - LOWER
LEVEL

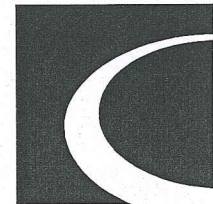
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A1

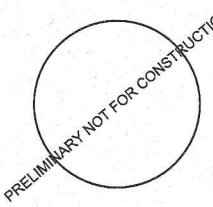
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BY: *[Signature]*

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KEY PLAN
 N.T.S.

PROJECT TITLE
 COLUMBUS
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 ADDITIONS &
 RENOVATIONS
 4300 Cherry Bottom Rd
 #Client City, OH

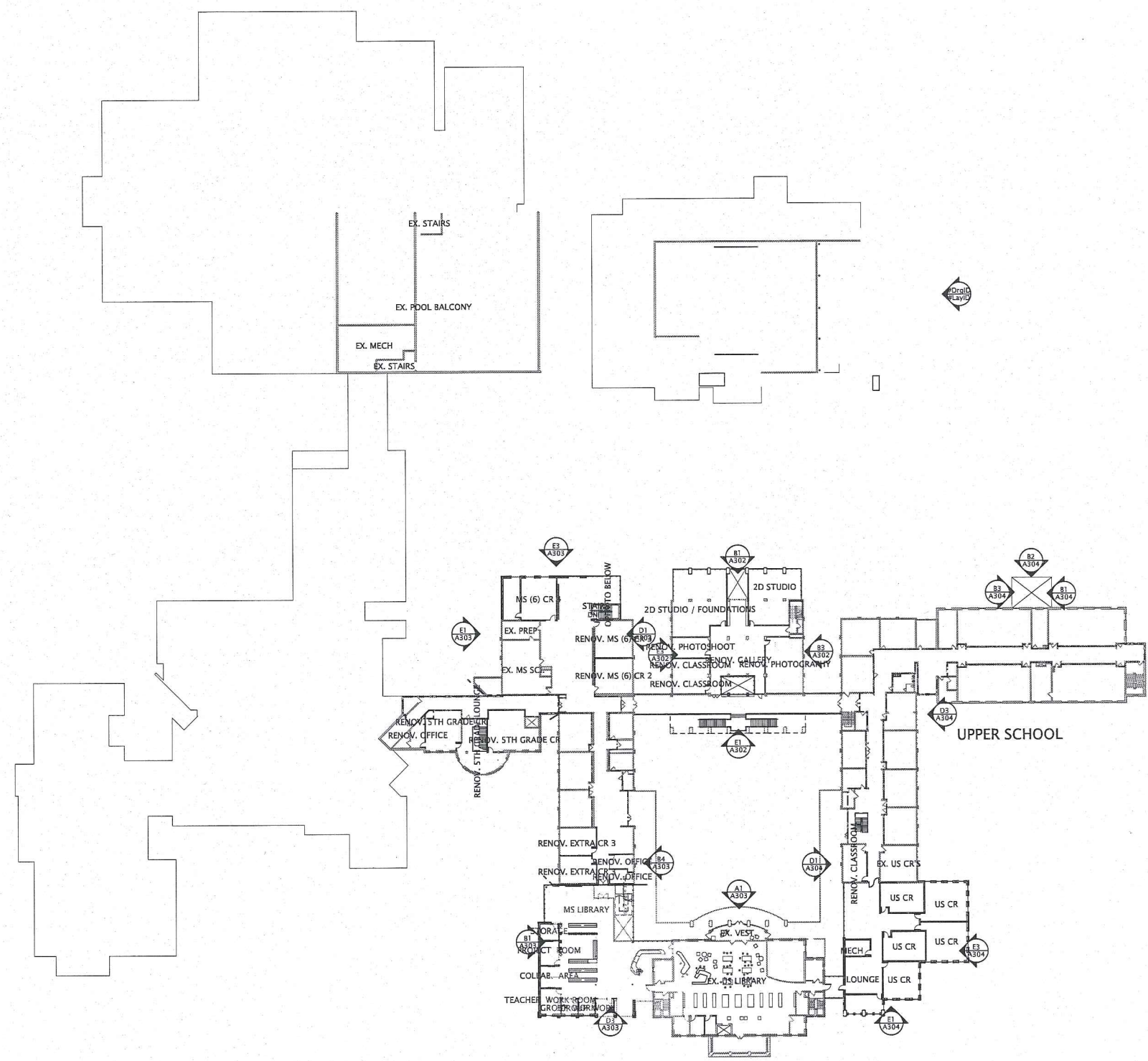
2/24/2015 PLANNING COMMISSION REVIEW

CHECKED XXX
 APPROVED XXX

TCI JOB NO. 106275

SHEET TITLE
 OVERALL FLOOR
 PLAN - UPPER
 LEVEL

SHEET NO.
A3



B5
A3 **UPPER LEVEL OVERALL FLOOR PLAN**
 SCALE: 1" = 40'

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 BY: *GAS*

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E |

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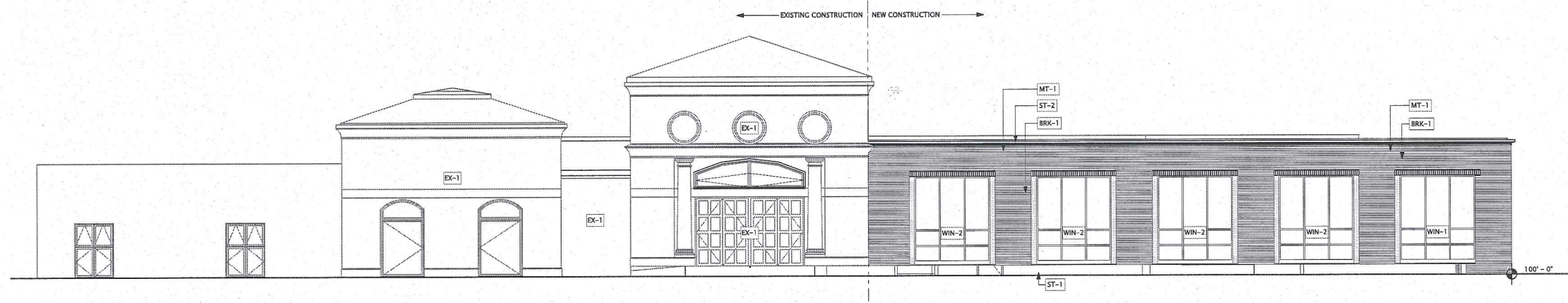
A |

7 | 6 | 5 | 4 | 3 | 2 | 1 |

7 | 6 | 5 | 4 | 3 | 2 | 1 |

E

D



D6
A4 DINING HALL S ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

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KEY PLAN N.T.S.

PROJECT TITLE
COLUMBUS ACADEMY ADDITIONS & RENOVATIONS
4300 Cherry Bottom Rd
#Client City, OH

CHECKED XXX
APPROVED XXX

TCI JOB NO. 106275

SHEET TITLE
EXTERIOR ELEVATIONS - DINING BUILDING (ZONE 6)

SHEET NO.
A4

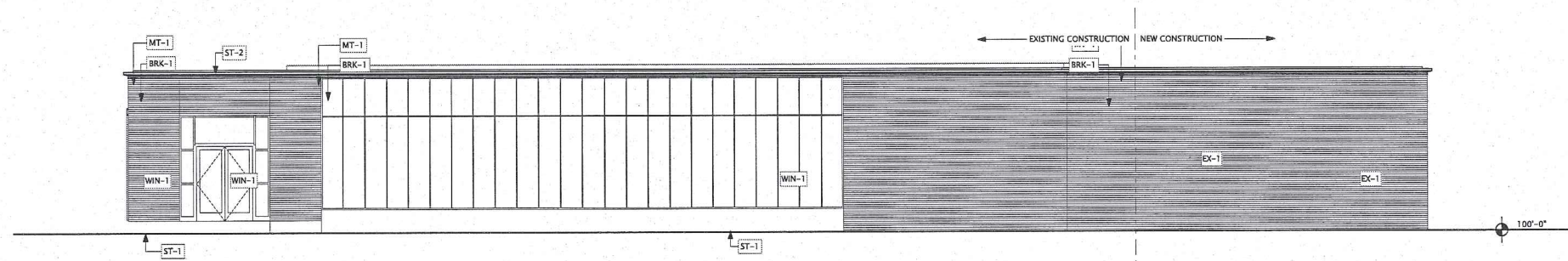
C

B

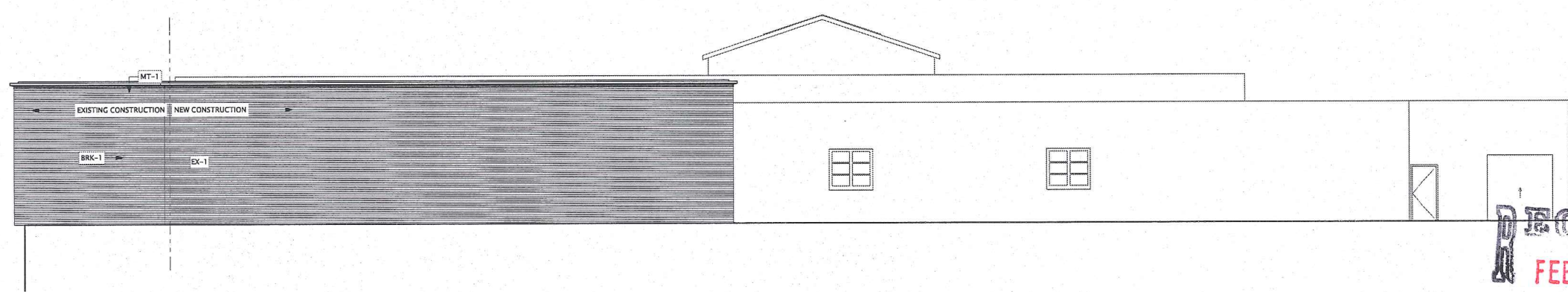
A

EXTERIOR MATERIALS	
MASONRY	WINDOWS
BRK-1 EXTERIOR BRICK	WIN-1 ALUMINUM CURTAIN WALL SYSTEM
	WIN-2 ALUMINUM STOREFRONT SYSTEM
ROOFING	EXISTING
ROOF-1 STANDING SEAM METAL ROOF	EX-1 EXISTING CONSTRUCTION TO REMAIN
INSULATED METAL PANELS	
MP-1 3" INSULATED METAL PANEL	
STONE	
ST-1 CAST STONE WATERTABLE	
ST-2 CAST STONE COPING	
ST-3 CAST STONE FASCIA	
METAL FINISHES	
MT-1 METAL COPING	
MT-2 METAL FASCIA	
MT-3 METAL SOFFIT	

- SEALANT COLORS TO MATCH ADJACENT MATERIALS - ARCHITECT TO VERIFY
- END DAMS REQUIRED AT EACH END OF HORIZONTAL MASONRY FLASHING AT DOORS, WINDOWS, ETC.
- SEE ELEVATIONS FOR MASONRY/BRICK CONTROL JOINT LOCATIONS - TYP. SPACING IS 2'-0" AROUND EXTERIOR CORNERS, 20'-0" OC @ WALLS WITH OPENINGS, 25'-0" OC WITH WALLS WITH NO OPENINGS. EIFS CONTROL JOINTS LOCATED AS INDICATED



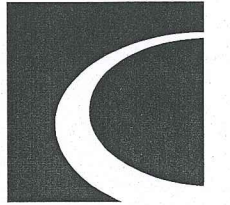
B5
A4 DINING HALL E ELEVATION
SCALE: 1/8" = 1'-0"



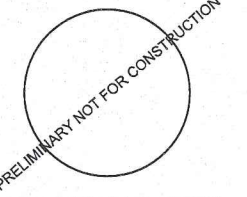
A6
A4 DINING HALL N ELEVATION
SCALE: 1/8" = 1'-0"

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Printed 2/23/2015



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KEY PLAN
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PROJECT TITLE
 COLUMBUS
 ACADEMY
 ADDITIONS &
 RENOVATIONS
 4300 Cherry Bottom Rd
 #Client City, OH

2/24/2015 PLANNING COMMISSION REVIEW

CHECKED XXX
 APPROVED XXX

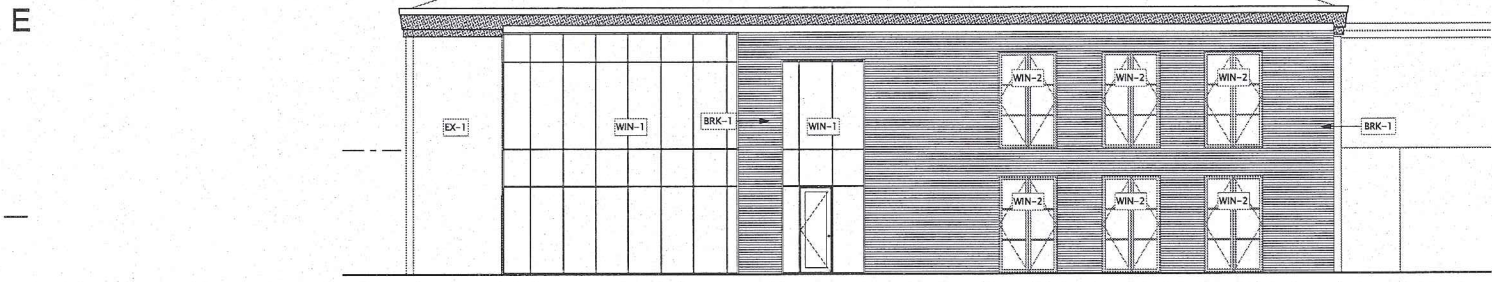
TCI JOB NO. 106275

SHEET TITLE
 EXTERIOR
 ELEVATIONS

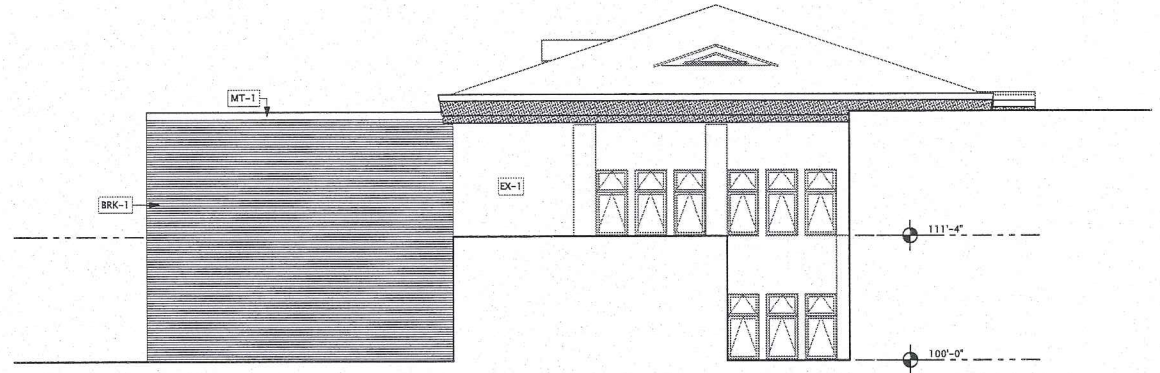
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A6

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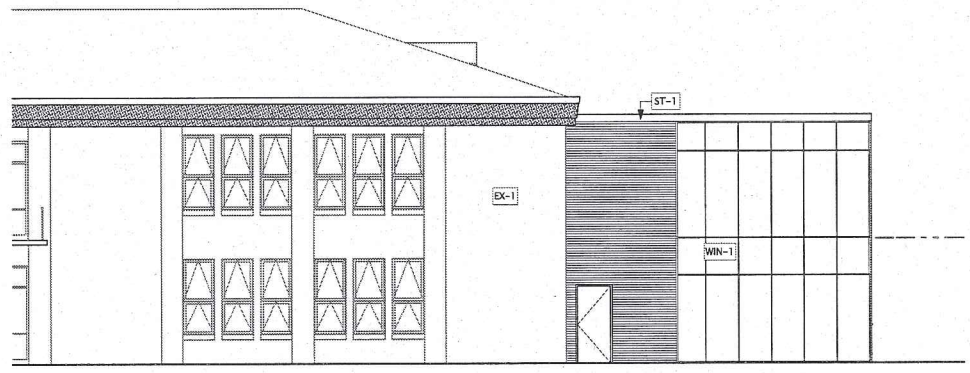
D7
A6 VAN SYCKEL HALL N ADDITION N ELEVATION
 SCALE: 1/8" = 1'-0"



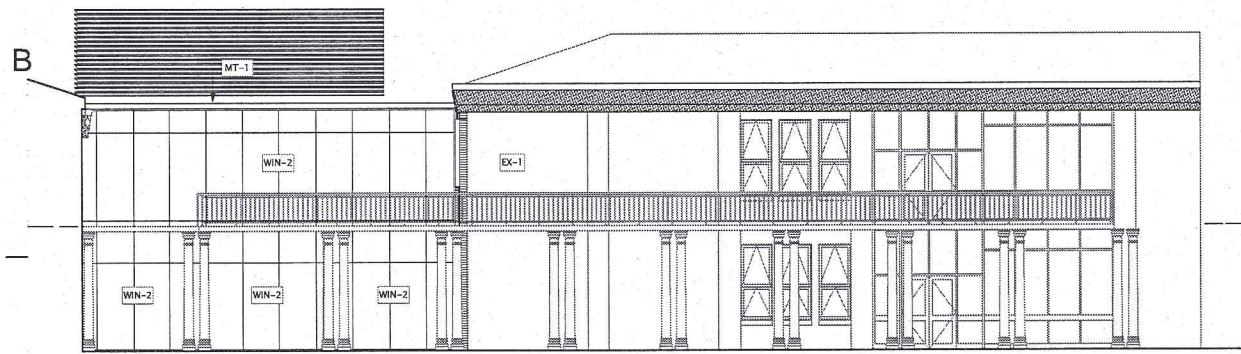
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A6 VAN SYCKEL HALL N ADDITION W ELEVATION
 SCALE: 1/8" = 1'-0"



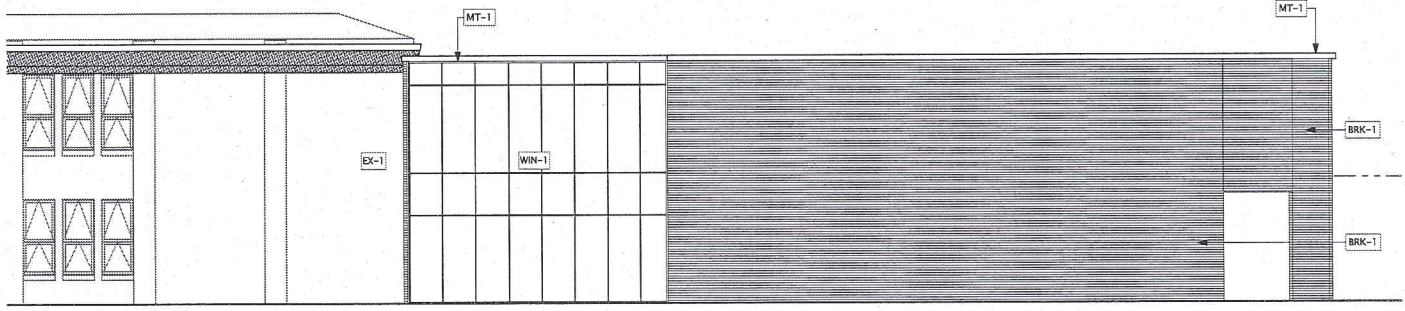
C6
A6 VAN SYCKEL HALL S ADDITION S ELEVATION
 SCALE: 1/8" = 1'-0"



C3
A6 VAN SYCKEL HALL N ADDITION E ELEVATION
 SCALE: 1/8" = 1'-0"



A7
A6 VAN SYCKEL HALL S ADDITION E ELEVATION
 SCALE: 1/8" = 1'-0"



A4
A6 VAN SYCKEL HALL S ADDITION W ELEVATION
 SCALE: 1/8" = 1'-0"

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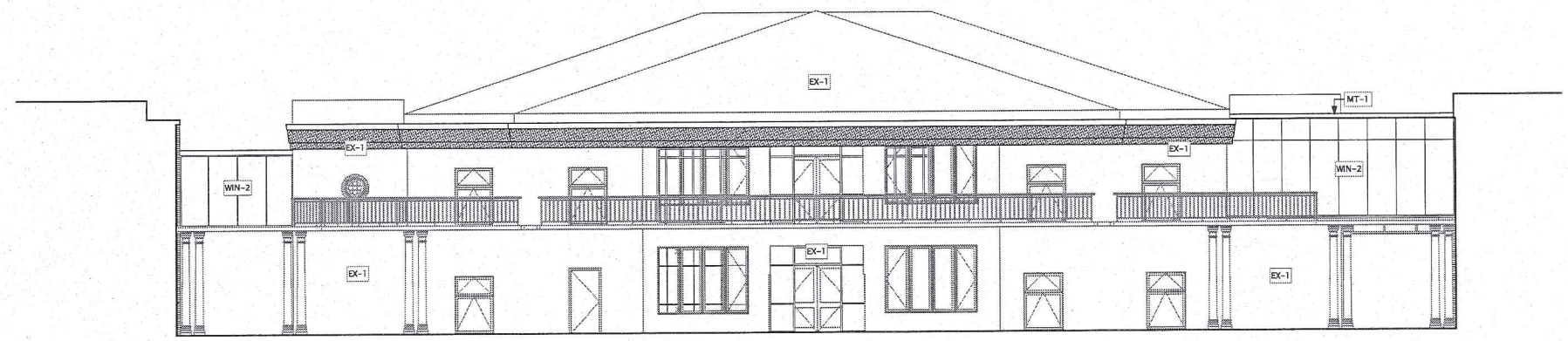
BY: *[Signature]*

7 | 6 | 5 | 4 | 3 | 2 | 1

7 | 6 | 5 | 4 | 3 | 2 | 1 |

EXTERIOR MATERIALS	
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ROOF-1 STANDING SEAM METAL ROOF	EXISTING
INSULATED METAL PANELS	EX-1 EXISTING CONSTRUCTION TO REMAIN
MP-1 3" INSULATED METAL PANEL	
STONE	
ST-1 CAST STONE WATERTABLE	
ST-2 CAST STONE COPING	
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MT-1 METAL COPING	
MT-2 METAL FASCIA	
MT-3 METAL SOFFIT	

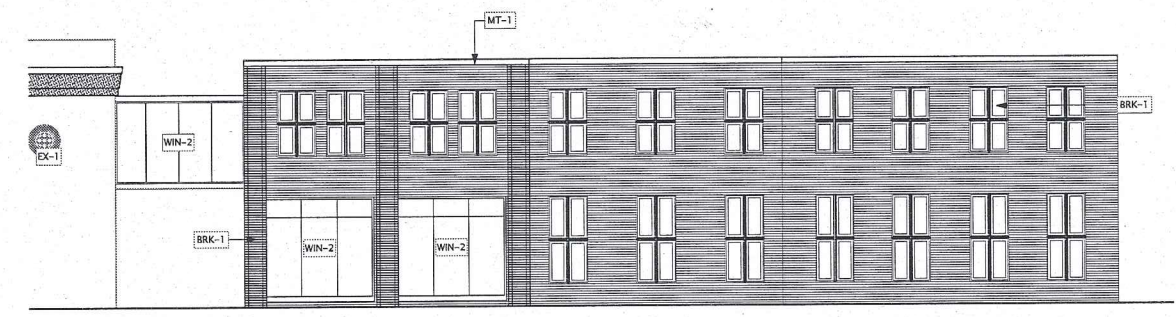
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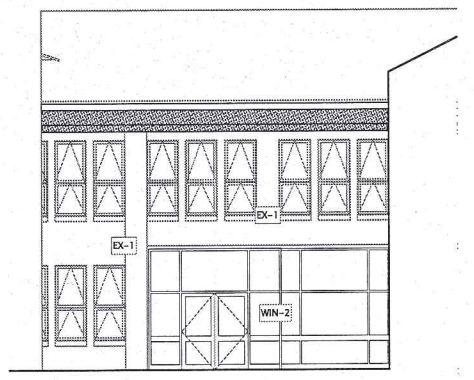
D5
A7 N ACADEMY HALL
SCALE: 1/8" = 1'-0"



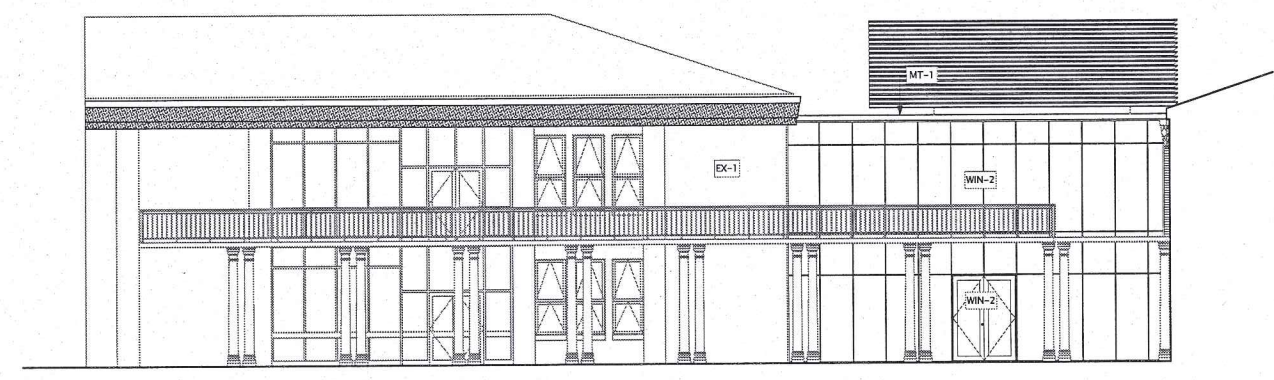
C7
A7 DENNETT HALL S ADDITION E ELEVATION
SCALE: 1/8" = 1'-0"



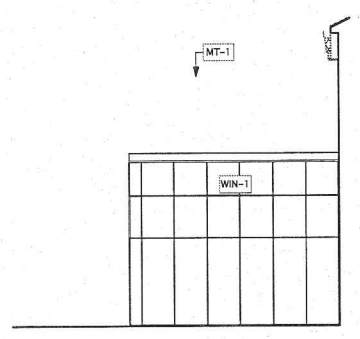
C4
A7 DENNETT HALL S ADDITION S ELEVATION
SCALE: 1/8" = 1'-0"



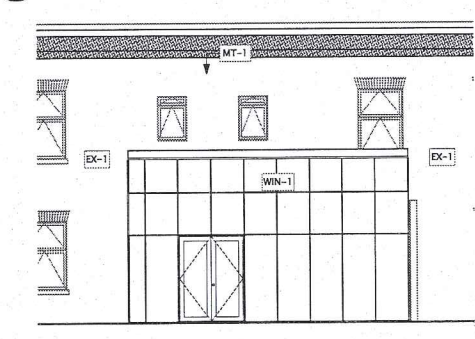
B5
A7 DENNETT NEW ENTRY
SCALE: 1/8" = 1'-0"



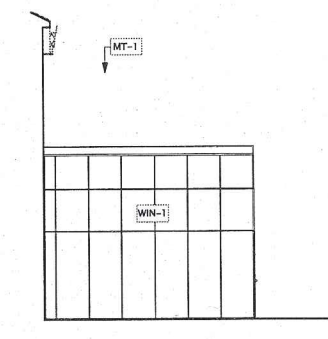
B4
A7 DENNETT HALL S ADDITION W ELEVATION
SCALE: 1/8" = 1'-0"



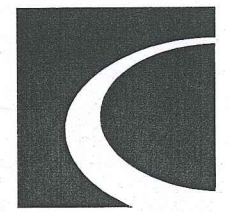
A4
A7 PARENTS HALL ENTRY W
SCALE: 1/8" = 1'-0"



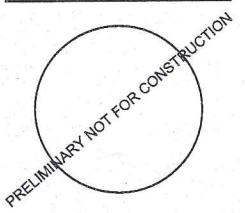
A3
A7 PARENTS HALL ENTRY N 2
SCALE: 1/8" = 1'-0"



A2
A7 PARENTS HALL ENTRY E
SCALE: 1/8" = 1'-0"



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KEY PLAN
N.T.S.

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COLUMBUS
ACADEMY
ADDITIONS &
RENOVATIONS
4300 Cherry Bottom Rd
#Client City, OH

CHECKED XXX
APPROVED XXX

TCI JOB NO. 106275

SHEET TITLE
EXTERIOR
ELEVATIONS
RECEIVED
FEB 24 2015

BY: *CAK*
SHEET NO.: _____
A7

7 | 6 | 5 | 4 | 3 | 2 | 1 |



CITY OF GAHANNA

STAFF COMMENTS

Project Name: Columbus Academy – FDP & DR
Project Address: 4300 Cherry Bottom Road

Parks & Recreation HAS NO COMMENT.

Respectfully Submitted By:

Tony Collins





CITY OF GAHANNA

STAFF COMMENTS

Project Name: Columbus Academy – FDP & DR

Project Address: 4300 Cherry Bottom Road

- Stormwater Management & Water Quality shall be addressed per City Standards
- Engineering Plans in accordance to City Standards shall be submitted for Review.

Respectfully Submitted By:

Robert S. Priestes



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CITY OF GAHANNA

STAFF COMMENTS

Project Name: Columbus Academy – FDP & DR
Project Address: 4300 Cherry Bottom Road

Planning and Development

The applicant requests Final Development Plan and Design Review approval of additions and renovations to the Columbus Academy. The site is located within the Institutional Future Land Use Designation. The goal of the Institutional land use designation is to provide the highest level of institutional and public facilities and services that efficiently and effectively meet the needs of the community. A supporting principle is to maintain high standards in public and private building design and landscape site design.

Future Land Use



Respectfully Submitted By:
Michael Blackford
Deputy Director of Planning and Development



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STAFF COMMENTS

Project Name: Columbus Academy – FDP & DR
Project Address: 4300 Cherry Bottom Road

The applicant seeks approval for 22,223 sq ft of building additions to the existing 164,009 sq ft of campus buildings, to bring the total square footage to 186,232. There will also be some renovations made inside the existing structures. These additions and renovations will accommodate Columbus Academy's needs without having to build a separate middle school building.

The exterior materials will match or compliment those of the existing buildings. New lighting fixtures will be of the same style as the existing ones. Additional trees and walkways will be provided, and the passenger drop off will be realigned. Parking will remain virtually the same.

Respectfully Submitted By:
Bonnie Gard
Planning and Zoning Administrator



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