

DESIGN REVIEW/CERTIFICATE OF APPROPRIATENESS

Project/Property Address or Location: <i>817 N. HAMILTON RD</i>		Project Name/Business Name <i>ONE CHURCH</i>	
Parcel ID No.(s): <i>025-00-1918</i>	Zoning Designation: <i>RID MB 9/11/2020</i>	Total Acreage: <i>16</i>	
Please check all that apply:			
SITE PLAN <input type="checkbox"/>	LANDSCAPING <input type="checkbox"/>	BUILDING DESIGN <input type="checkbox"/>	DEMOLITION <input type="checkbox"/> <small>only applicable to Code Chapter 1159, Old Gahanna</small>
OTHER <input type="checkbox"/>			
Project Description: <i>LOBBY RENOVATION</i>			
APPLICANT Name -do <u>not</u> use a business name: <i>DAVID DOMINE</i>		Applicant Address: <i>128 ACADEMY WOODS DR.</i>	
Applicant E-mail: <i>DDOMINE63@GMAIL.COM</i>		Applicant Phone No.: <i>614-582-8899</i>	
BUSINESS Name (if applicable):			
ADDITIONAL CONTACTS Please List Primary Contact for Correspondence (please list all applicable contacts)			
Name(s): <i>NED RUYKHAVER ARCHITECT</i>		Contact Information (phone no./email): <i>(205) 934-2002 NED@CHURCHOF THE HIGHLANDS.COM</i>	
PROPERTY OWNER Name: (if different from Applicant)		Property Owner Contact Information (phone no./email):	

APPLICANT SIGNATURE BELOW CONFIRMS THE SUBMISSION REQUIREMENTS HAVE BEEN COMPLETED (see page 2 & 3)

I certify that the information on this application is complete and accurate to the best of my knowledge, and that the project as described, if approved, will be completed in accordance with the conditions and terms of that approval.

Applicant/Primary Contact Signature:  Date: *8/17/2020*

INTERNAL USE

Zoning File No. *DR-0203-2020*

RECEIVED: *SAW*
DATE: *8-19-2020*

PAID: *50.00*
DATE: *8-19-2020*

MATERIAL LIST

NOT REQUIRED FOR DEMOLITION APPLICANTS

Item	Manufacturer Name	Color Name	Color Number
Awnings	ALUCABONO, DMI OR EQUAL	CHARCOAL GREY	CHARCOAL GREY
Brick	EXISTING		
Gutters and Downspouts	DMI - DIMENSIONAL METALS INC	WHITE	WHITE
Lighting	LITHONIA * RSAO GZERO	CLEAR ANODIZED	
Roofing	FIRESTONE TPO OR EQUAL	WHITE	WHITE
Siding	DMI - 12" FLUSH PANEL	WHITE	WHITE
Stucco	STO POWER WALL	WHITE	34437
Trim	DMI	WHITE	WHITE
Windows	KAWNEER OR EQUAL	CLEAR ANODIZED	
Other (please specify)			
Other (please specify)			

Please Note:

The Public Hearing will not occur until the City Of Gahanna Staff reviews the Application for Code Consistency.
Applications that are not consistent with the code will not be scheduled for hearing.

ONE CHURCH Addition and Renovations

817 N. Hamilton Rd.
Gahanna OH 43230

Construction Documents
August 14, 2020

CHURCH

**ONE CHURCH
Gahanna Campus**

817 N. Hamilton Rd.
Gahanna Oh 43230

Phone: (614) 407-4115

CONTRACTOR

**Elevated Integrity Construction
Services, LLC**

1055 W. Market Street, Suite F
Baltimore, Ohio 43105

Phone: (740) 400-5038

ARCHITECT

**Project 29 Eleven, LLC
Architect Ned Ruykhaver**

PO Box 308
Moravian Falls, NC 28654

Phone: (205) 834-2002

Sheet List Architectural	
Sheet Number	Sheet Name

A0.1	Title Sheet and Drawing Index
A0.2	General Information/Demolition Plan
A1.1	Floor Plan
A1.2	Enlarged Plans and Details
A1.3	Existing Mezzanine/Common Elevation
A1.4	RCP/Roof Plan and Details
A2.1	Schedules and Details
A3.1	Elevation/3D Views
A4.1	Building Sections/Wall Sections
A4.2	Building Sections
A5.1	Millwork Detail
AS.1	Site Plan

Grand total: 12

Sheet List Structural	
Sheet Number	Sheet Name

S0.1	Structural Notes
S-1	Structural Demolition, Foundation Plan, Sections & Details
S-2	Roof Framing Plan
S-2.1	Masonry Wall Section and Details
S-2.2	Masonry Wall Section and Details
S-2.3	Masonry Wall Section and Details
S-3	Framing Elevations
S-4	Structural Steel Framing Details
S-4.1	Typical Walls Section
S-4.2	Typical Wall Section

Grand total: 10

Sheet List Mechanical	
Sheet Number	Sheet Name

M101	Mechanical Demolition Plan
M102	New HVAC Plan and Isometric
M103	Reflected Ceiling Plan & Schedule
M104	Sections, Schedules & Notes

Grand total: 4

Sheet List Plumbing	
Sheet Number	Sheet Name

P1.1	Plumbing Floor Plans, Sanitary Stack Diagram, Roof Plan
PS1	Plumbing Specifications
PS2	Plumbing Specifications

Grand total: 3

Sheet List Electrical	
Sheet Number	Sheet Name

E1-1	Electrical Lighting Plan
E1-2	Partial Electrical Upper Mezzanine Plan
E2-1	Electrical Power Plan
E3-1	Existing Electrical Riser Diagram - To Remain

Grand total: 4

Revisions

Date	No.	Revision Description
5-27-20	1	Revision 1



03-23-20



One Church
Addition &
Renovations

Client Name
One Church

Project Address
817 N. Hamilton Rd.
Gahanna OH 43230

Project Number

03-19

Date

0814-20

Title Sheet and
Drawing Index

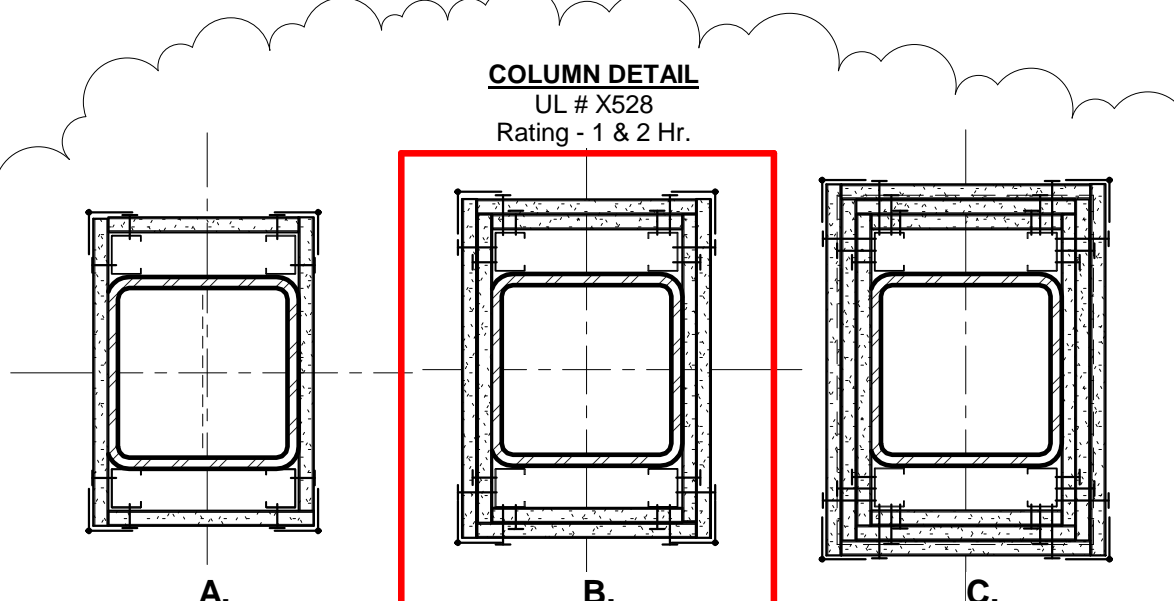
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ABBREVIATION

A.F.F. ABOVE FINISHED FLOOR	LAM. LAMINATE (D)
ADD. ADDENDUM	LAV. LAVATORY
ADJ. ADJUSTABLE (MENT)	L.H. LEFT HAND
A/C AIR CONDITIONING	L.L. LENGTH (LONG)
ALT. ALTERNATE	LT. LIGHT
ALUM. ALUMINUM	LT.WT. LIGHTWEIGHT
A.B. ANCHOR BOLT	L.F. LINEAR FOOT
ANOD. ANODIZED	L.L. LIVE LOAD
APPROX. APPROXIMATE (LY)	LVR. LOUVER
BSMT. BASEMENT	MFR. MANUFACTURE (ER)
B.M. BENCH MARK	MDF. MEDIUM DENSITY FIBERBOARD
BM. BEAM	MAS. MASONRY
BRG. BEARING	M.O. MASONRY OPENING
BLK. BLOCK	MATL. MATERIAL (S)
BD. BOARD	MAX. MAXIMUM
BLDG. BUILDING	MECH. MECHANIC (AL)
CAB. CABINET	M. METER (S)
CPT. CARPET	MM. MILLIMETER (S)
CSMT. CASEMENT	MWK. MILLWORK
CLG. CEILING	MIN. MINIMUM (S)
C.T. CERAMIC TILE	MISC. MISCELLANEOUS
C.M.T. CERAMIC MOSAIC TILE	MOD. MODULAR
CLR. CLEAR	MT. MOUNT (ED), (ING)
C.O. CLEAN OUT	MULL. MULLION
CL. CLOSET	N.R. NOISE REDUCTION
COL. COLUMN	N.R.C. NOISE REDUCTION COEFFICIENT
CONC. CONCRETE	NOM. NOMINAL
C.M.U. CONCRETE MASONRY UNIT	N. NORTH
CONST. CONSTRUCTION	N.I.C. NOT IN CONTRACT
CONT. CONTINUOUS	N.T.S. NOT TO SCALE
C.J. CONTROL JOINT	O.C. ON CENTER
CF. CUBIC FOOT	OPNG. OPENING
CY. CUBIC YARD	OPP. OPPOSITE
D.E.F.S. DIRECT APPLIED EXTERIOR FINISHING SYSTEM	O.D. OUTSIDE DIAMETER
D.L. DEAD LOAD	PR. PANEL
DTL. DETAIL	PNL. PARALLEL
DIAM. DIAMETER	PK. PARKING
DIM. DIMENSION	PAV. PAVING
DR. DOOR	PVMT. PAVEMENT
DOWN. DOWN	PERF. PERFORATE (D)
DS. DOWNSPOUT	PERIM. PERIMETER
DWG. DRAWING	P.LAM. PLASTIC LAMINATE
D.F. DRINKING FOUNTAIN	PLAM. PLASTIC LAMINATE
E. EAST	P.C.F. POUNDS PER CUBIC FOOT
E.I.F.S. EXTERIOR INSULATED FINISHING SYSTEM	P.L.F. POUNDS PER LINEAR FOOT
ELEC. ELECTRIC	P.S.F. POUNDS PER SQUARE FOOT
EL. ELEVATION	P.S.I. POUNDS PER SQUARE INCH
ELEV. ELEVATION	PREFAB. PREFABRICATE (D)
EMER. EMERGENCY	PREFIN. PREFINISHED
EQ. EQUAL	PL. PROPERTY LINE
EXH. EXHAUST	QTY. QUANTITY
EXHST. EXHASTING	QTR. QUARTER (ED)
E.J. EXPANSION JOINT	RAD. RADIUS
EWCO. ELECTRIC WATER COOLER	RECEP. RECEPTACLE
EXP. EXPOSED	REFR. REFRIGERATOR
EXT. EXTERIOR	REINF. REINFORCE (D), (ING)
F.W.C. FABRIC WALL COVERING	R.C.P. REFLECTED CEILING PLAN
F.O.S. FACE OF STUDS	REQD. REQUIRED
FEC. FIRE EXTINGUISHER CABINET	R.A. RETURN AIR
F.H.C. FIRE HOSE CABINET	REV. REVISION (S), (ED)
FGL. FIBERGLASS	R.H. RIGHT HAND
FIN. FINISH (ED)	R.H.R. RIGHT HAND REVERSE
FL. FLOOR (ING)	R.D. ROOF DRAIN
F.D. FLOOR DRAIN	RM. ROOM
FLUOR. FLUORESCENT	R.O. ROUGH OPENING
FT. FOOT (FEET)	SCHED. SCHEDULE
FTG. FOOTING	SECT. SECTION
FND. FOUNDATION	SF. STORE FRONT
F.R. FIRE RATED	SHTH. SHEATHING
GA. GAUGE	SIM. SIMILAR
GALV. GALVANIZED	S.C. SOLID CORE
G.C. GENERAL CONTRACTOR	S. SOUTH
GL. GLASS, GLAZING	S.L.L. SOUND AND LIGHT LOCK
GWB. GYPSUM WALLBOARD	SPEC. SPECIFICATION (S)
HDCP. HANDICAP	SQ. SQUARE
HDW. HARDWARE	SR. STAGE RIGHT
HWD. HARDWOOD	S.S. STAINLESS STEEL
HR. HEADER	STD. STANDARD
HTG. HEATING/VENTILATION/AIR CONDITION	STL. STEEL
H.V.A.C. HOLD OPEN	STOR. STORAGE
HT. HEIGHT	S.D. STORM DRAIN
H.C. HOLLOW CORE	STRUC. STRUCTURAL
H.M. HOLLOW METAL	SURF. SURFACE
HOR. HORIZONTAL	SUSP. SUSPENDED
H.B. HOSE BIB	SYM. SYMMETRY (OR SYMBOL)
H.W.H. HOT WATER HEATER	TEL. TELEPHONE
IN. INCH	TV. TELEVISION
INCL. INCLUDE (D), (ING)	T&G. TONGUE AND GROOVE
ID. INSIDE DIAMETER	T.O.C. TOP OF CURB
INSUL. INSULATE (D), (ION)	T.O.S. TOP OF SLAB
INT. INTERIOR	T.O.S. TOP OF STEEL
INV. INVERT	T.O.W. TOP WALL
J.C. JANITOR'S CLOSET	TYP. TYPICAL
JT. JOINT	U.L. UNDERWRITER'S LAB. INC.
JST. JOIST	UNLESS NOTED OTHERWISE
KIT. KITCHEN	VERT. VERTICAL
LBL. LABEL	VEST. VESTIBULE
LAB. LABORATORY	V.C.T. VINYL COMPOSITION TILE
LAD. LADDER	W.H. WALL HUNG
	W.C. WATER CLOSET
	WT. WEIGHT
	W.W.F. WELDED WIRE FABRIC
	W. WIDTH, WIDE
	W. WIDE FLANGE STEEL SHAPE
	WIN. WINDOW
	W.D. WOOD

GENERAL INFORMATION

- CONDITIONS AND DIMENSIONS - DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS, CHECK ALL DIMENSIONS AND OTHER IRREGULARITIES PRIOR TO BEGINNING CONSTRUCTION, FABRICATING OR ORDERING ANY MATERIALS. REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ARCHITECT IMMEDIATELY AND ADJUST WORK AS DIRECTED BY ARCHITECT. ANY CHANGES TO THE SCOPE OF THE WORK OR PROJECT SCHEDULE RESULTING FROM DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS MUST BE AGREED TO BY THE OWNER, CONTRACTOR, AND ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- SUBCONTRACTORS ARE REQUIRED TO REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS TO NOTE AREAS OF WORK OF THEIR TRADE ON SHEETS TRADITIONALLY KNOWN AS WORK OF OTHER TRADES. THE ARCHITECT IS TO BE NOTIFIED IN WRITING OF ANY DISCREPANCY AND WILL COORDINATE DESIGN WORK OF THESE ITEMS. THE GENERAL CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR IDENTIFYING AND INCLUDING ALL ITEMS OF WORK INCLUDED IN THE CONTRACT DOCUMENTS.
- CEILING UTILITY COORDINATION - INSTALL ALL ELECTRICAL AND OTHER CONDUIT TIGHT TO STRUCTURE. CONNECT CEILING GRID AND LIGHTING FIXTURE TIE WIRES TO STRUCTURAL ELEMENTS ABOVE. DO NOT ATTACH TO OTHER SYSTEMS SUCH AS CONDUIT, DUCTS, PIPES, ETC. PROVIDE A MINIMUM OF 1'-0" CLEAR ZONE ADJACENT TO ANY FIRE OR SMOKE PARTITION.
- METAL FRAMING FOR ALL SUSPENDED GYP. BD. SOFFITS, CEILINGS, FURRING, AND OVER ALL DOORS SHALL BE SECURED TO THE STRUCTURE ABOVE AS REQUIRED FOR RIGID INSTALLATION.
- ALL WOOD, PLYWOOD, BLOCKING, AND FRAMING LOCATED IN FIRE RATED BUILDING ELEMENTS SHALL BE FIRE RETARDANT TREATED.
- FIREPROOFING OF PENETRATIONS IN PARTITIONS AND FLOORS SHALL BE PER A U.L. DESIGN APPROPRIATE TO THE APPLICATION.
- PROVIDE SEALANT AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXTERIOR WINDOW FRAMES, AND CASEWORK WITH ADJACENT MATERIALS EVEN THOUGH JOINT MAY NOT BE VISIBLE.
- WHERE WALL SURFACES ARE NOTED "ALIGN," THE FINISHED FACE OF NEW CONSTRUCTIONS TO ALIGN WITH THE FINISHED FACE OF OTHER NEW CONSTRUCTION.



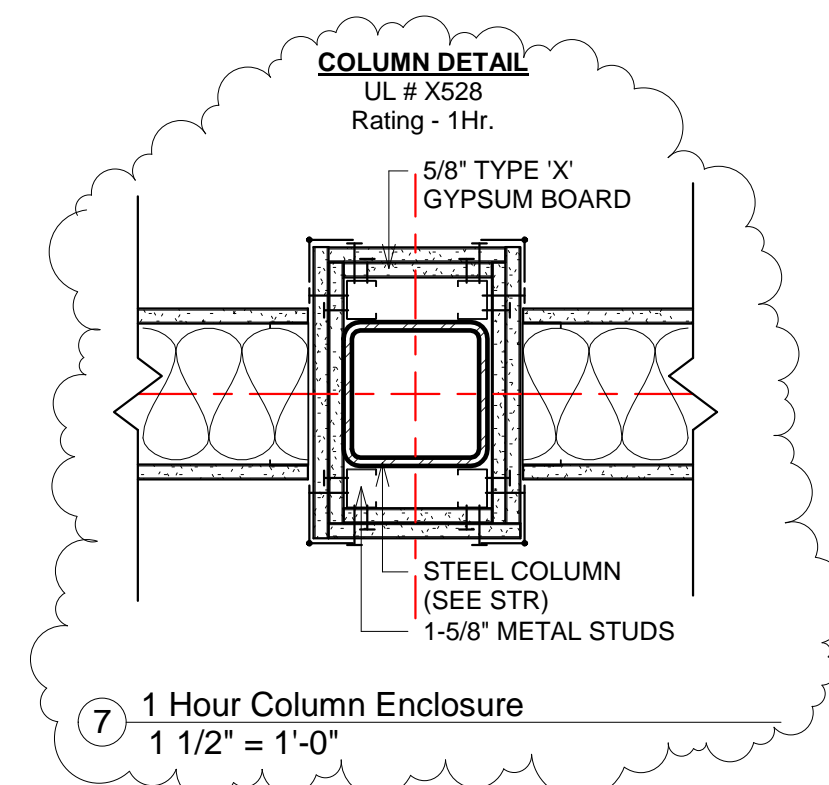
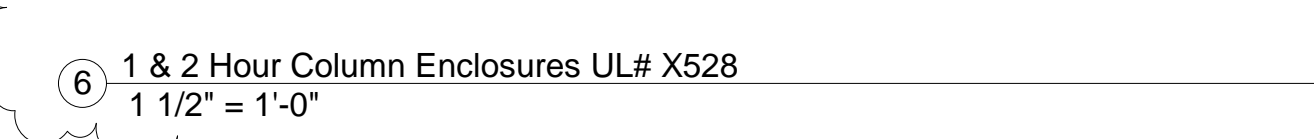
- Steel Column** - Min size of W-shaped and tubular steel columns which appear in the AISC Steel Construction Manual as shown under Item 2.
- Gypsum Board** - For 1 Hr rating, any 5/8" or 1/2" thick gypsum wallboard Classified for the use in fire resistance assemblies. For 2 Hr and 3 Hr ratings, any 5/8" or 1/2" thick gypsum wallboard Classified for use in other 2 Hr, 3 Hr or 4 Hr Column Designs. Min total thickness of layers in inches for the various ratings and min column sizes are as follows.

Tube Shaped Column Min. Column Size.	Rating (Hr)			Details For Various Rating		
	1	2	3	1Hr	2Hr	3Hr
Total thickness (in.)						
TS 4x4 by 0.188	1"	1-3/4"	2-5/8"	B	C	D
TS 8x8 by 0.250	5/8"	1-1/2"	2-1/4"	A	C	D

- Steel Studs** - 1-5/8" wide with 1-5/16" and 1-7/16" legs having 1/4" folded flange, fabricated from No. 25 MSG galv steel. Length to be 1/2" less than the assembly height.
- Corner Beads** - No. 28 MSG galv steel, 1-1/4" legs to be attached to wallboard with No. 6 by 1" screws spaced 12" OC max.
- Tie Wire** - No. 18 swg steel wire spaced 24 in. OC used with second layer of wallboard.
- Screws** - For Attaching first layer of wallboard to steel studs, and third layer of wallboard to 2" by 2" steel angle (25 Ga) to be No. 6 by 1" (or 1-1/4" for 3/4" thick wallboard) Phillips head self-drilling, self tapping double lead screws spaced 24" OC. For attaching second layer of wallboard to steel studs and fourth layer of wallboard to 2" by 2" steel angle (25 Ga) to be No. 6 by 1-3/4" (or 2-1/4" for 3/4" thick wallboard) steel screws of the same type spaced 12" OC. For attaching third layer of wallboard to steel studs to be No. 8 by 2-1/4" screws of the same type spaced 12" OC.
- Finishing System** - (Not Shown) - Joint compound applied over corner beads to a thickness of 1/16"

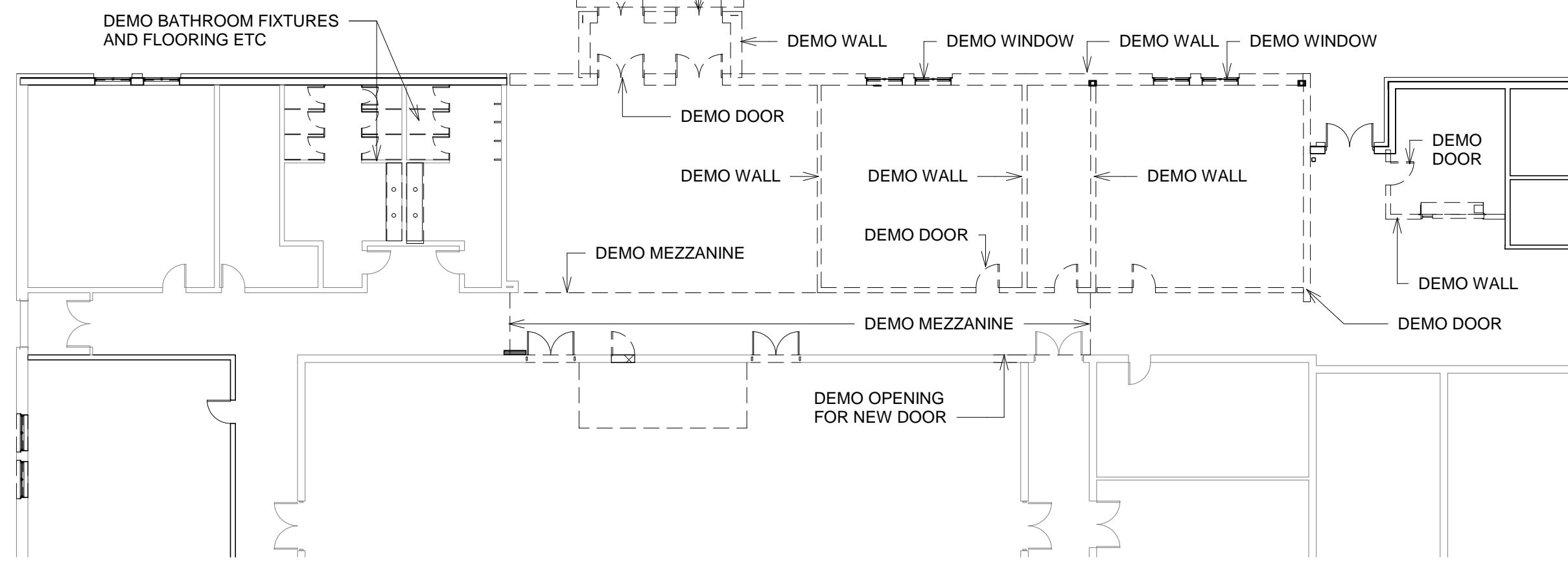
* Bearing the UL Classification Mark

ONE AND TWO HOUR COLUMN DETAIL



DEMOLITION NOTES

- SEE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- STOCKPILE ALL EXISTING LIGHT FIXTURES. VERIFY W/ OWNER PRIOR TO DISPOSAL.
- STOCKPILE ALL EXISTING DOORS. VERIFY W/ OWNER PRIOR TO DISPOSAL.
- STOCKPILE ALL EXISTING PLUMBING FIXTURES. VERIFY W/ OWNER PRIOR TO DISPOSAL.
- IF THERE ARE ANY QUESTIONS REGARDING ITEMS NOT SHOWN ON THE DEMO PLAN, VERIFY W/ OWNER AND ARCHITECT PRIOR TO PROCEEDING.
- RELOCATE SPRINKLER HEADS AS NECESSARY TO CENTER IN NEW ROOMS AND CEILING GRIDS.



1 Demolition Plan 1/16" = 1'-0"

ONE CHURCH
Renovations and Alterations to Existing Building
817 N. Hamilton Rd.
Gahanna OH 43230

Applicable Codes:
Ohio Building Code and Admndments

Project Description:
The existing building is a 54,785 sq.ft. Assembly Building. The existing construction type is Type IIIA. The exterior walls are load bearing CMU and the roof structure steel bar joists and wood rafters. The roof is a shingled roof. The existing building is currently NOT sprinklered.

Phase1 renovations consist of adding a new entry lobby. A new Cafe will be added in the existing space.

GENERAL BUILDING INFORMATION

Number of Floors: **One**
Existing Building Area Total: **54,785 gross square feet**
Renovations Phase: **8,500 gross square feet**
Building Height (measured from Floor to highest roof ridge): **30'-0" +/-**

OBC CODE PROVISIONS

USE AND OCCUPANCY CLASSIFICATION
Occupancy Type : Assembly Group **A-3**
The primary occupancy is A-3 Assembly Occupancy.

TYPES OF CONSTRUCTION

Fire Resistance Ratings for Building Elements of Type IIIA Construction:

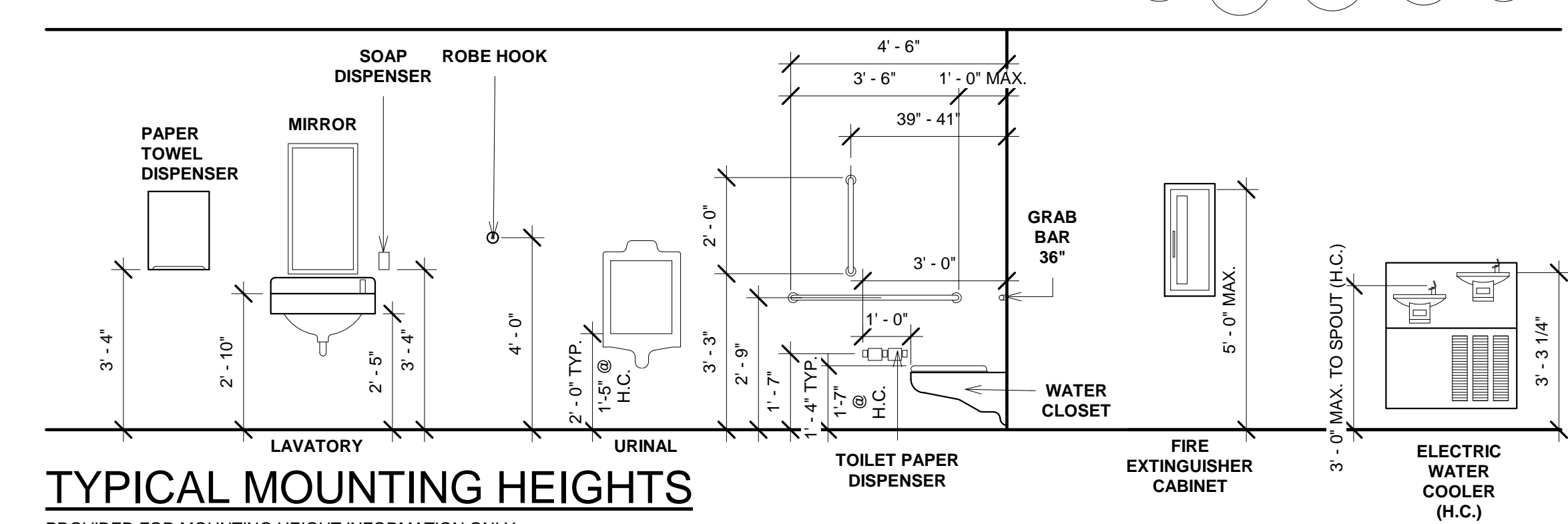
Structural Frame	
Including columns, girder, trusses	1 Hour
Bearing walls	
Exterior	2 Hour
Interior	1 Hour
Nonbearing walls and partitions	
Exterior	0 Hours per Table 602
Nonbearing walls and partitions	
Interior	0 Hours
Floor construction	
Including supporting beams and joists	1 Hour
Roof construction	1 Hour b.

b. Except in Group F-1, H, M and S-1 occupancies, fire protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below.

FIRE PROTECTION SYSTEMS

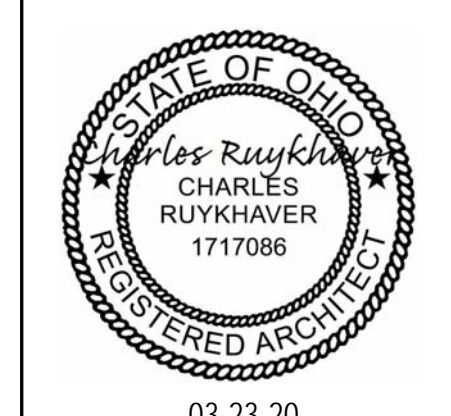
Automatic Sprinkler System Not Required Per Meeting with Owner and City.

- NOTE: 1. NEW STEEL COLUMN TO BE FIRE PROTECTED 1 HRS WITH GYPSUM BOARD TO MATCH EXISTING 2 HR EXTERIOR MASONRY WALLS.
2. ROOF STRUCTURE NOT REQUIRED TO BE RATED PER OBC CHAPTER 6 (fire protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below)



TYPICAL MOUNTING HEIGHTS PROVIDED FOR MOUNTING HEIGHT INFORMATION ONLY.

Revisions		
Date	Revision No.	Description
5-27-20	1	Revision 1



PROJECT **29** ELEVEN

One Church Addition & Renovations

Client Name
One Church

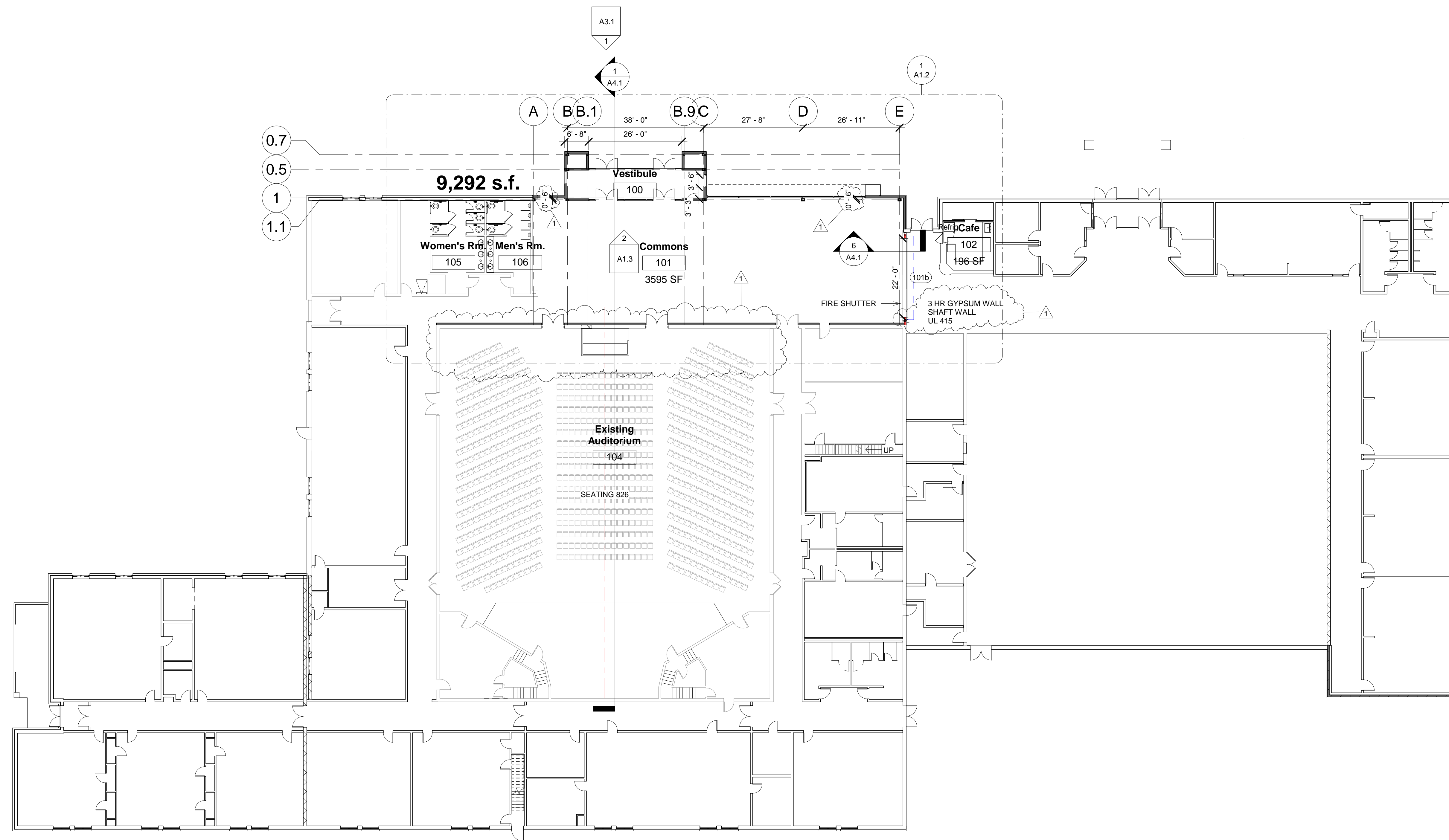
Project Address
817 N. Hamilton Rd.
Gahanna OH 43230

Project Number
03-19

Date
0814-20

General Information/Demolition Plan

A0.2



1 Level 1
1/16" = 1'-0"

- GENERAL NOTES**
- WHERE DISCREPANCIES EXIST BETWEEN STANDARD COMMENTS, NOTES FROM THE DESIGN PROFESSIONAL OR CODES, THE MOST RESTRICTIVE SHALL APPLY.
 - ALL CONSTRUCTION SHALL COMPLY WITH CURRENT OHIO BUILDING CODE.
 - ALL INTERIOR DIMENSIONS ARE FROM FACE OF PARTITION UNLESS OTHERWISE NOTED.
 - COORDINATE OPENINGS THROUGH PARTITIONS ABOVE THE CEILING FOR HVAC SUPPLY AND RETURN WITH MECHANICAL DRAWINGS AND MECHANICAL CONTRACTOR.
 - GENERAL CONTRACTOR TO PROVIDE MECHANICAL, ELECTRICAL, AVL, SPRINKLER ETC. OVERHEAD COORDINATION DRAWING PRIOR TO ANY INSTALLATION TO BE REVIEWED BY OWNER AND ARCHITECT.
 - ALL SPRINKLER HEADS, DIFFUSERS AND REGISTERS SHALL BE CENTERED WITH SUSPENDED ACOUSTICAL PANELS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - CONTRACTOR IS RESPONSIBLE FOR PAINTING ALL EXPOSED STEEL, DECKING, PIPING, CONDUIT, SPRINKLER PIPING AND DUCTS WHICH ARE EXPOSED IN AREAS WITH NO CEILINGS AND SCHEDULED TO RECEIVE PAINT FINISH AS INDICATED ON INTERIOR FINISH SCHEDULE.

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Date	Revision No.	Description
5-27-20	1	Revision 1



One Church Addition & Renovations

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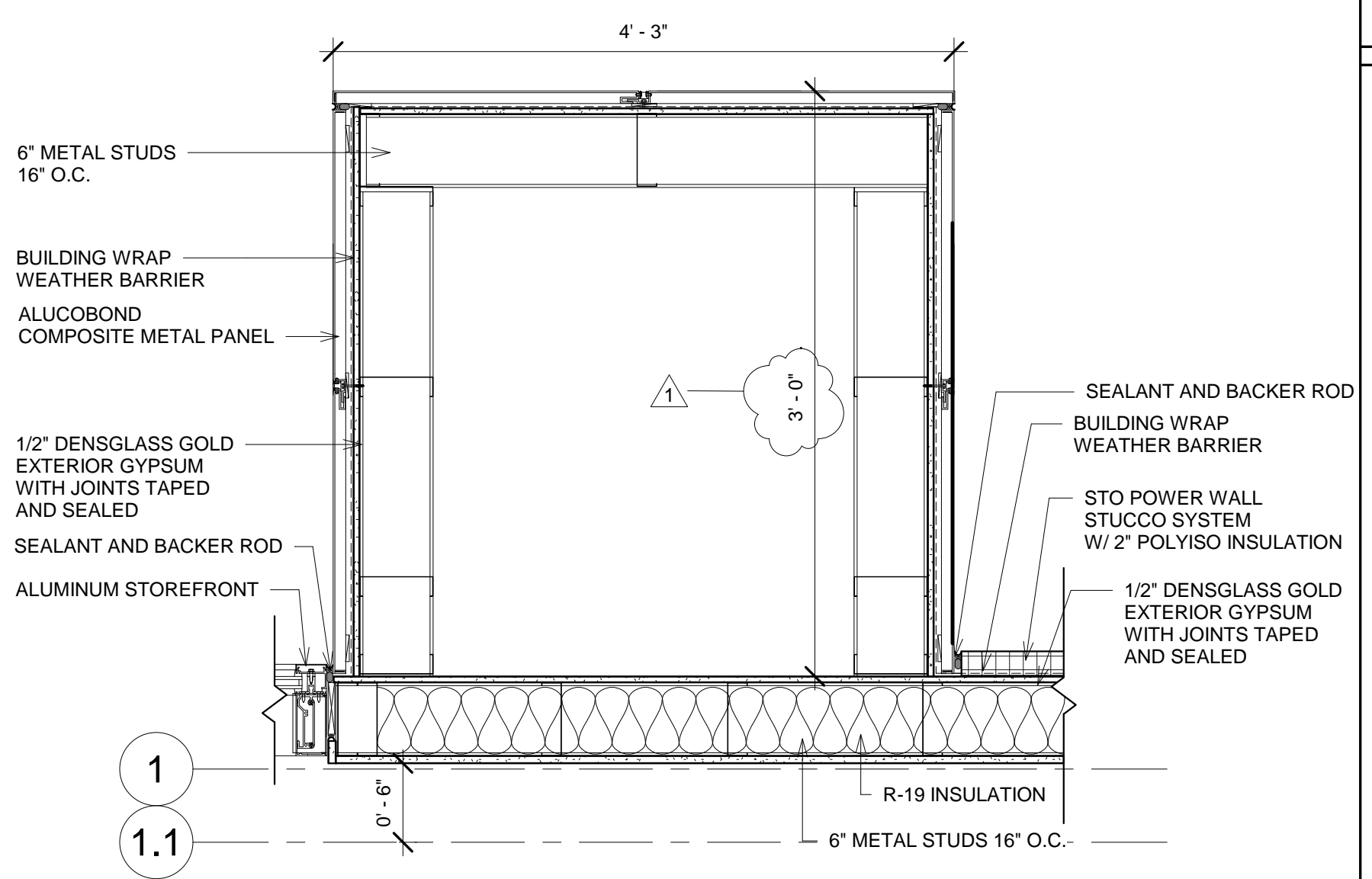
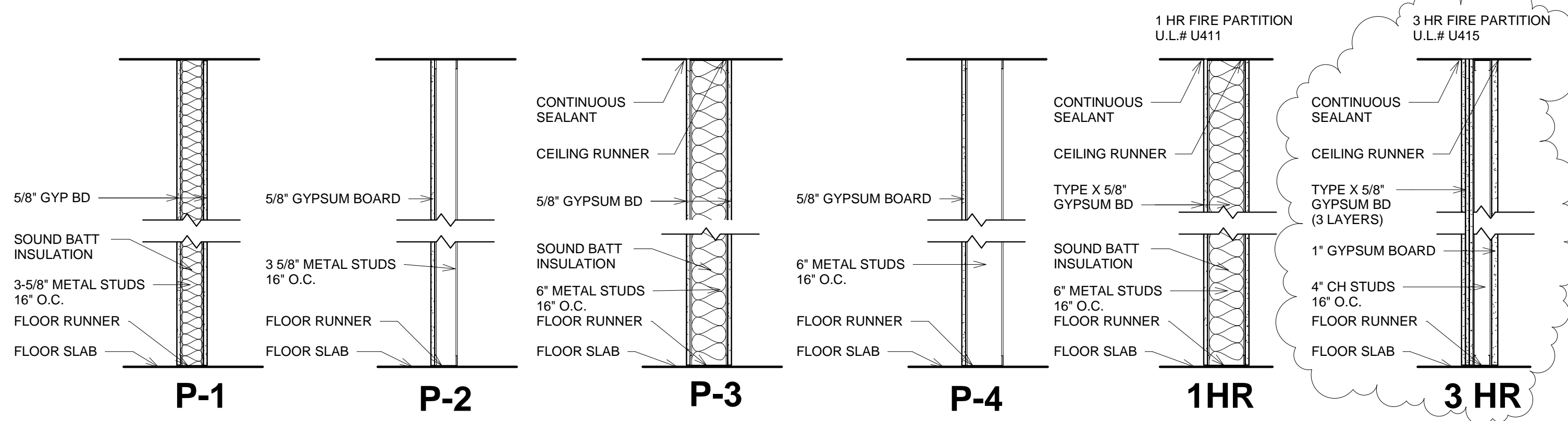
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Floor Plan

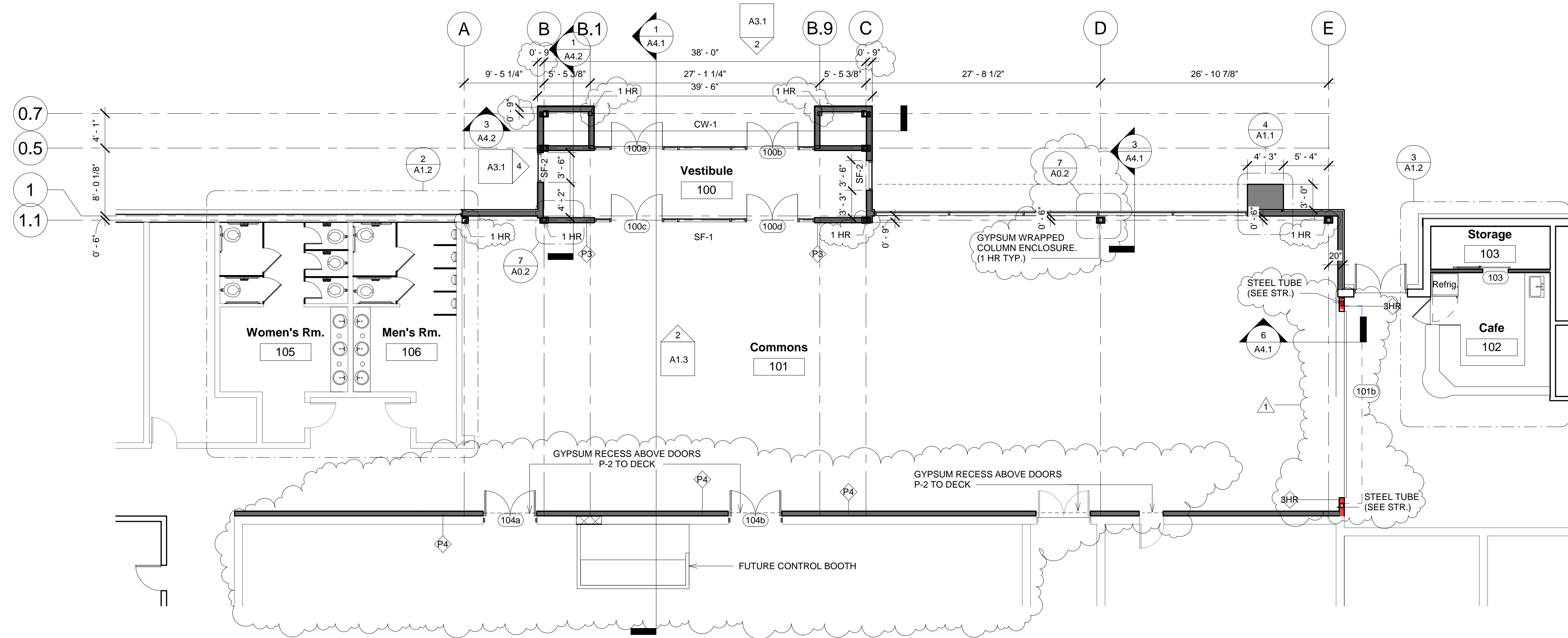
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PARTITION NOTES

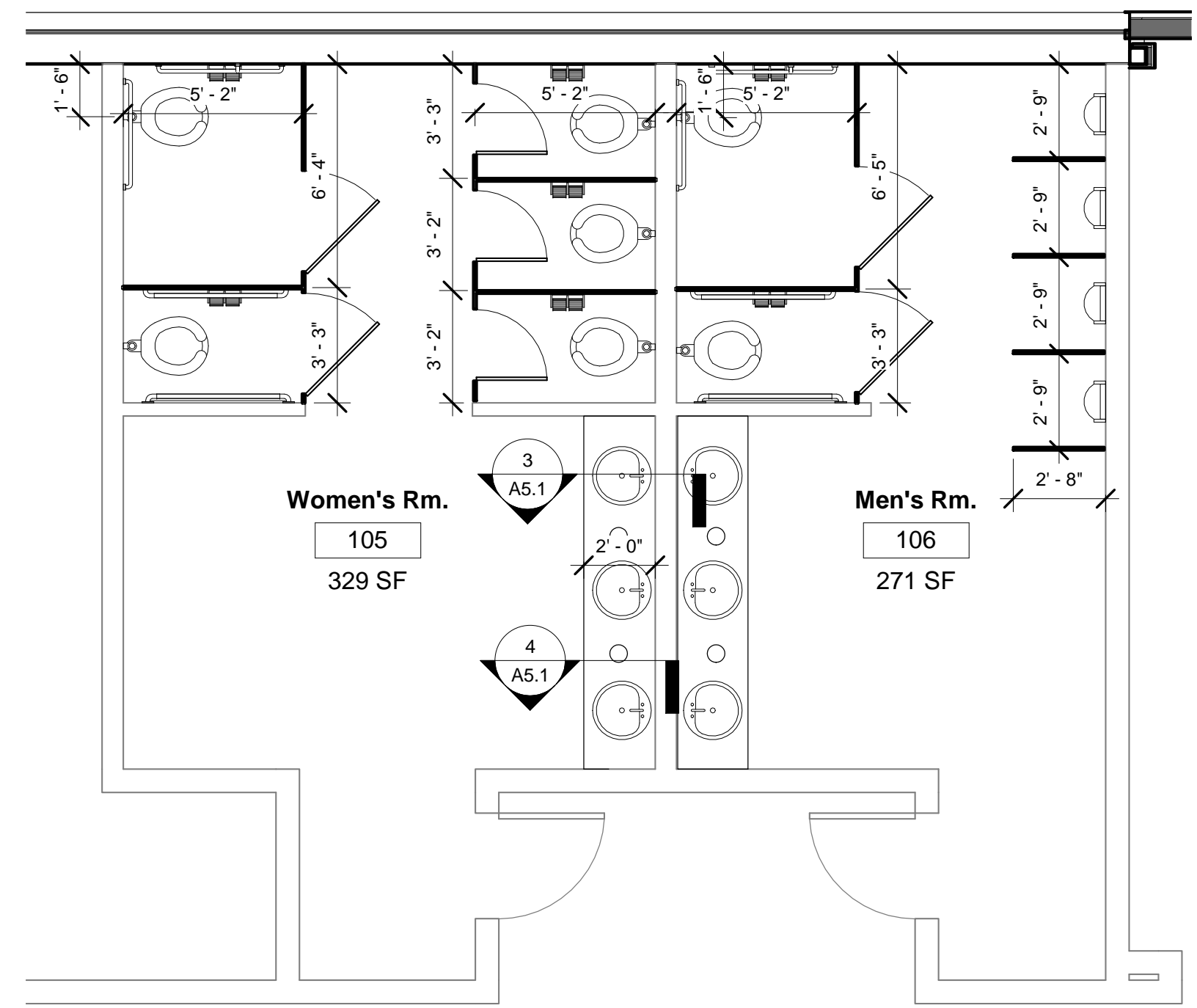
- PARTITIONS REQUIRED BY RATING TO EXTEND TO UNDERSIDE OF ROOF DECK SHALL HAVE THE GYPSUM BOARD CUT TO FIT ALL SURFACES WITH A 1/4" MAXIMUM TOLERANCE TO THE SHAPE OF THE DECK AND BE CONTINUOUSLY SEALED WITH APPROPRIATELY RATED SEALANT.
- RATED PARTITIONS WITH ELECTRICAL OUTLETS, SWITCH BOXES, TELEPHONE BOXES, AND OTHER SIMILAR DEVICES SHALL HAVE THE GYPSUM BOARD CUT TO WITHIN A 1/8" TOLERANCE AND SHALL BE CONTINUOUSLY SEALED WITH APPROPRIATELY RATED SEALANT.
- ALL PENETRATIONS THROUGH RATED WALLS (INCLUDING DUCTS, PIPES, CONDUIT, ETC.) SHALL HAVE ALL GYPSUM SURFACES CUT TO WITHIN A 1/4" MAXIMUM TOLERANCE AND SHALL BE CONTINUOUSLY SEALED WITH APPROPRIATELY RATED SEALANT.
- THE BOTTOM EDGE OF ALL GYPSUM BOARD SURFACES ON RATED WALLS SHALL BE PLACED TO WITHIN 1/4" OF THE UNFINISHED FLOOR SURFACE AND SHALL BE CONTINUOUSLY SEALED WITH APPROPRIATELY RATED SEALANT.
- CONTRACTOR SHALL STENCIL RATING ON WALLS ABOVE CEILING. STENCILING SHALL BE A MINIMUM OF 4" HIGH LETTERING. DESIGNATE THE SPECIFIED RATING OF THE PARTITION AND BE PLACED AT AN INCREMENT EASILY LOCATED DURING INSPECTION.



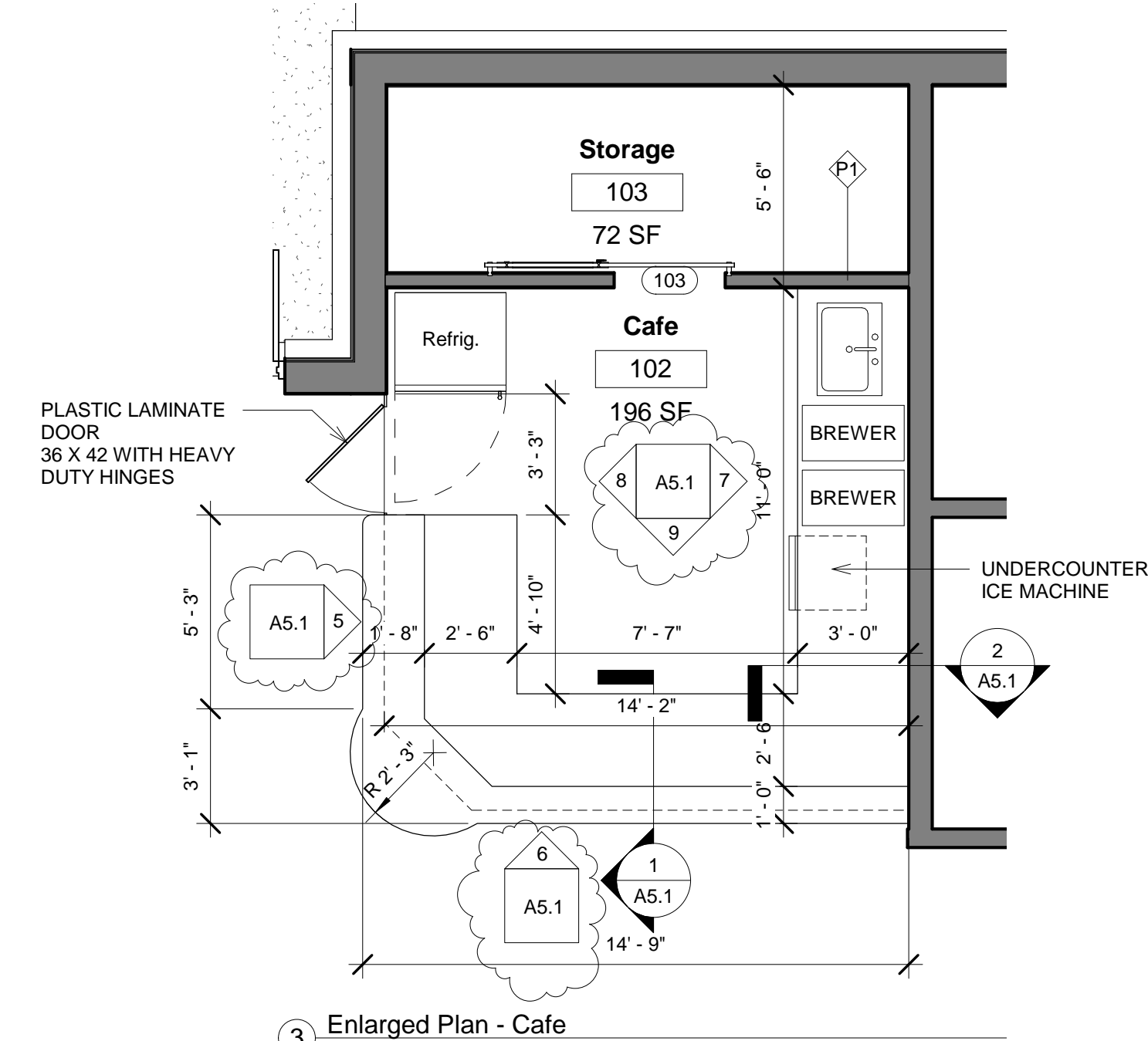
4 Plan Detail - 1
1" = 1'-0"



1 Enlarged Plan - Commons
1/8" = 1'-0"



2 Enlarged Plan - Renovated Restrooms
1/4" = 1'-0"



3 Enlarged Plan - Cafe
1/4" = 1'-0"

Revisions		
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5-27-20	1	Revision 1



One Church
Addition &
Renovations

Client Name
One Church

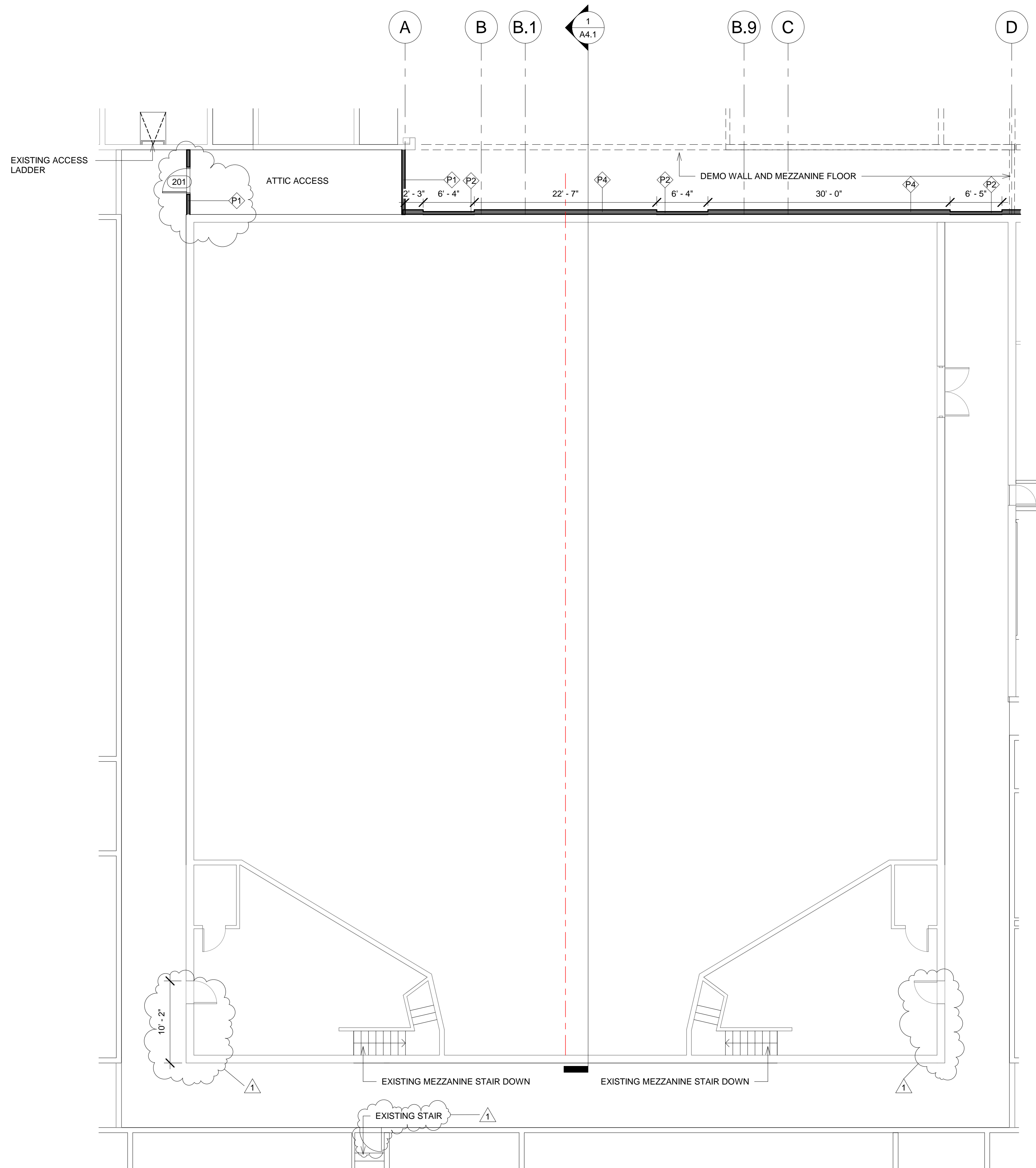
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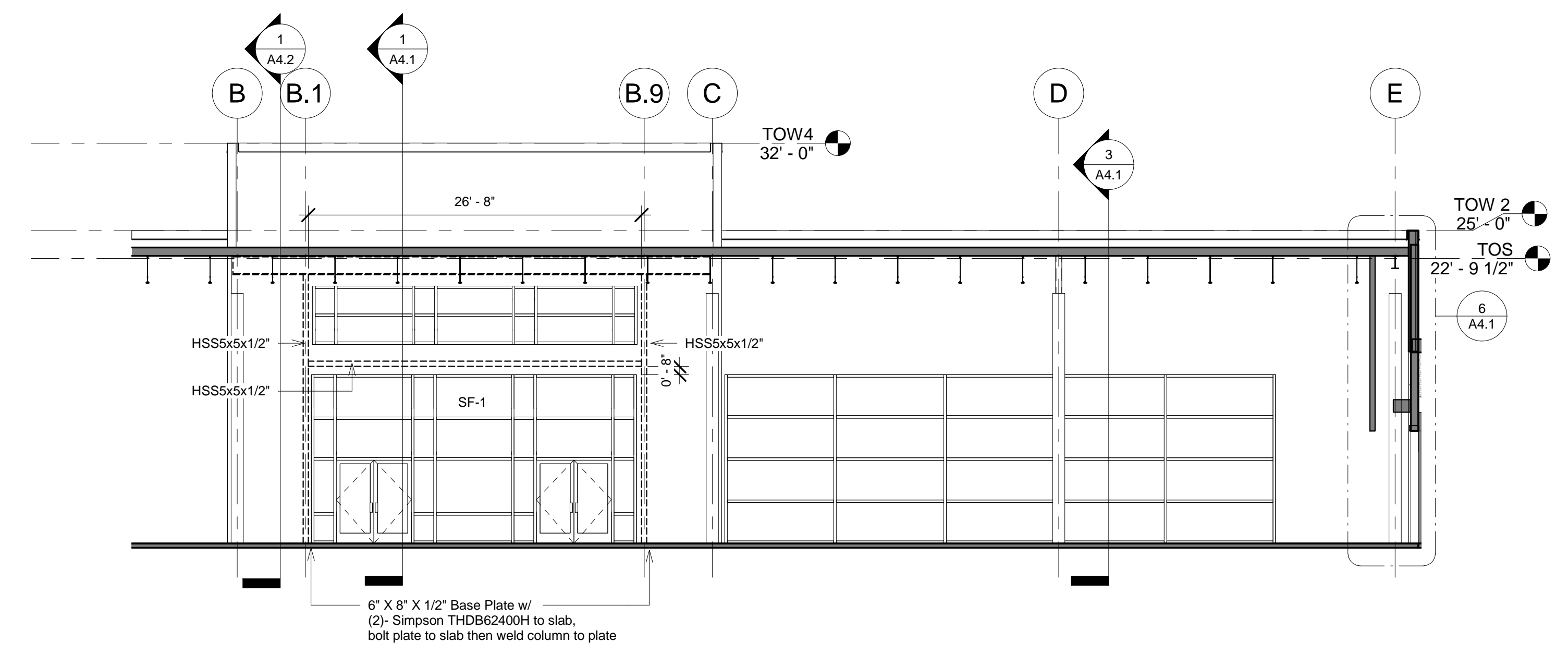
Date
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Enlarged Plans
and Details

A1.2



1 Existing Mezzanine
1/8" = 1'-0"



2 Commons Elevation - 1
1/8" = 1'-0"

Revisions		
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One Church
Addition &
Renovations

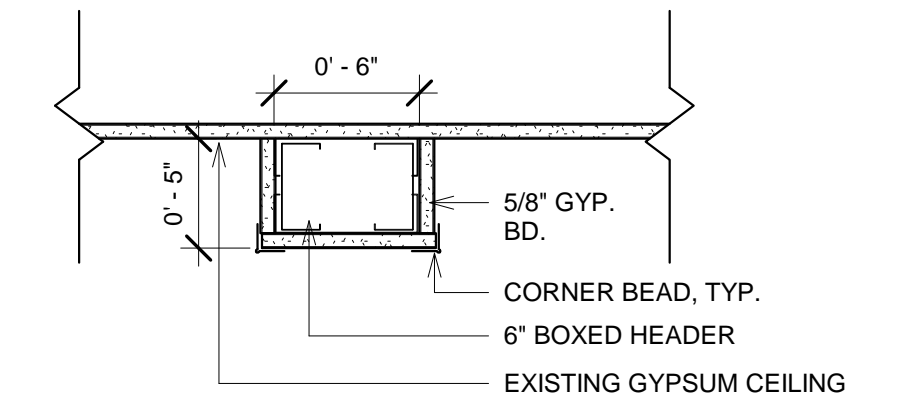
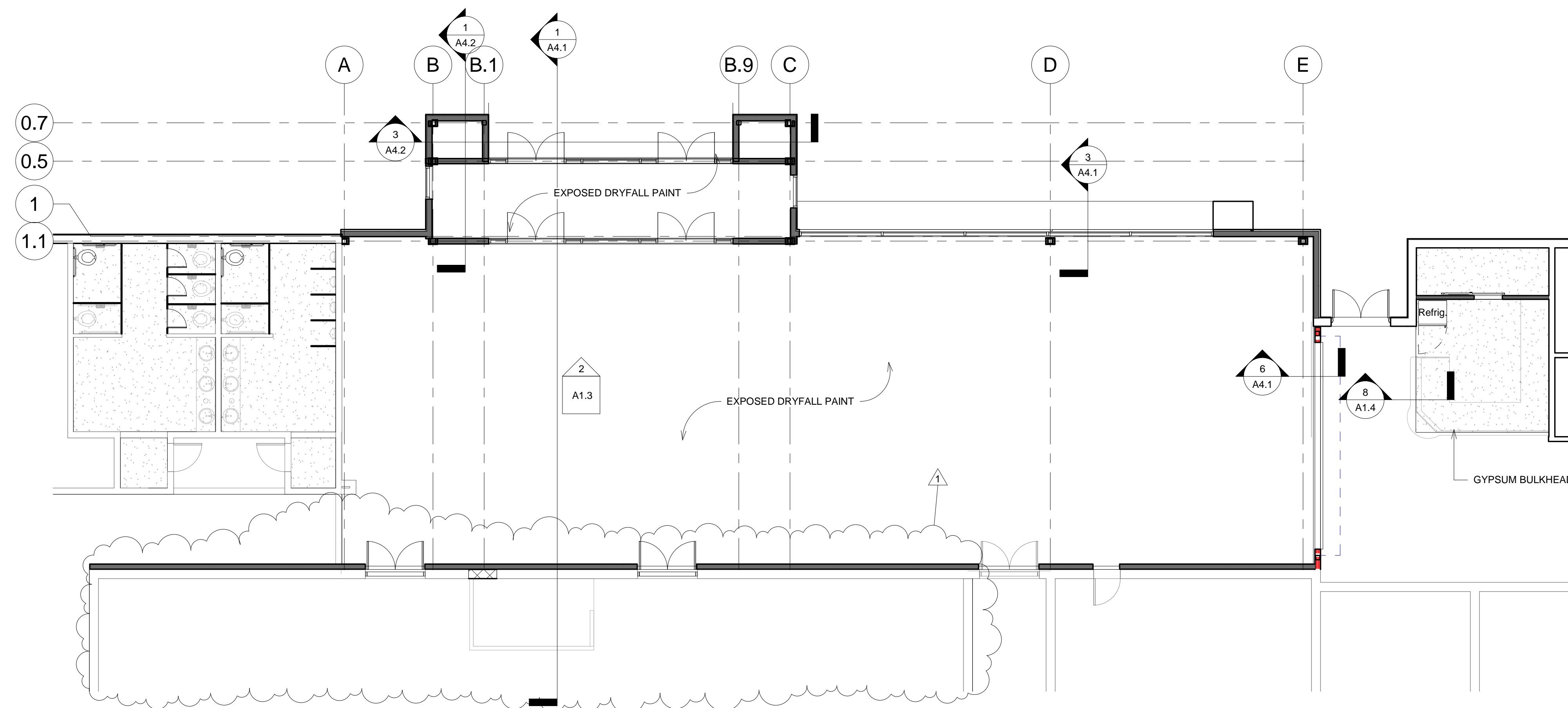
Client Name
One Church

Project Address
817 N. Hamilton Rd.
Gahanna OH 43230

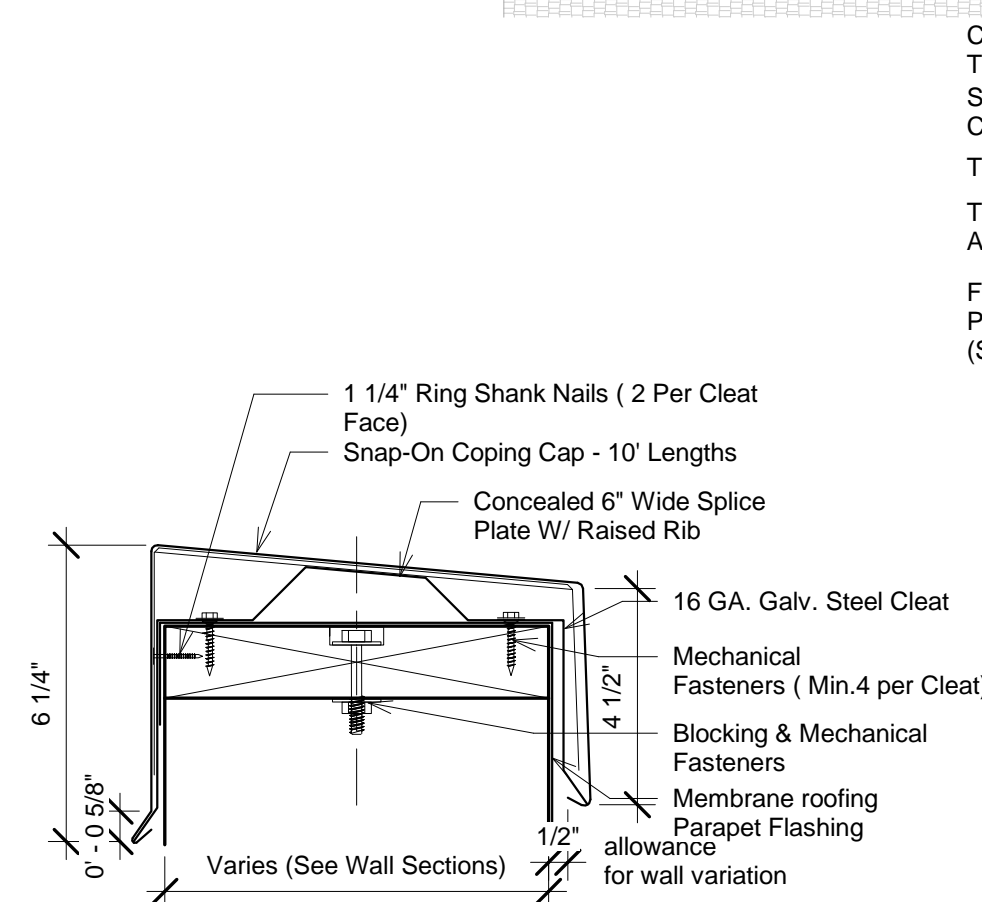
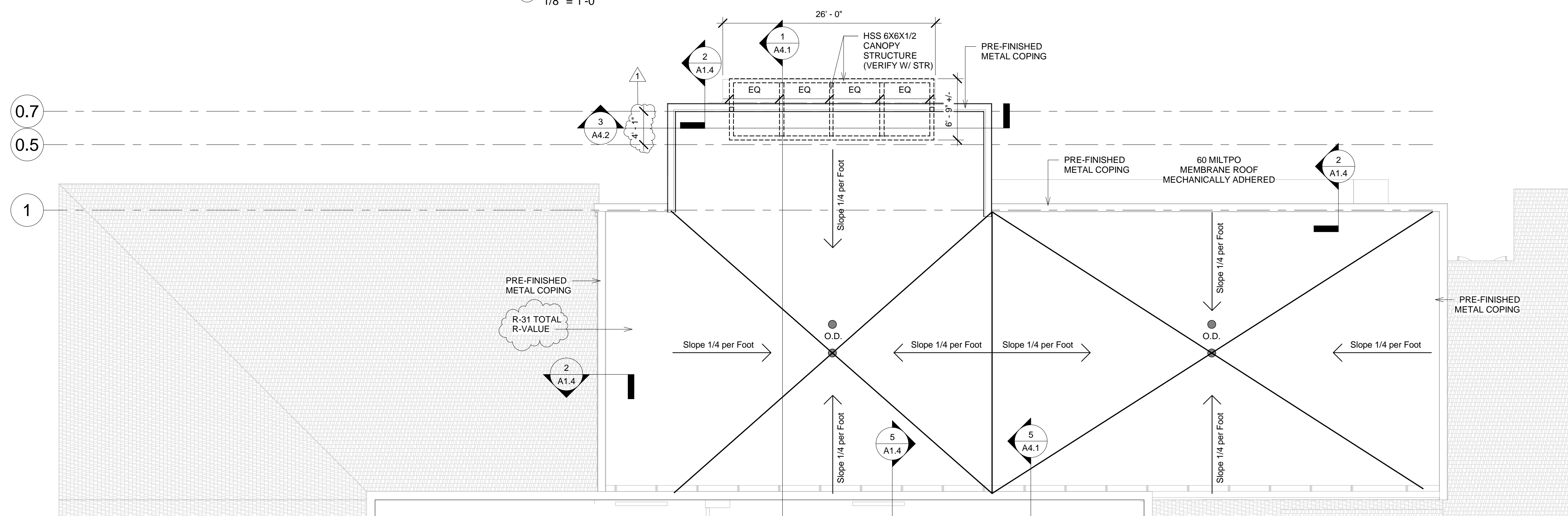
Project Number
03-19

Date
0814-20

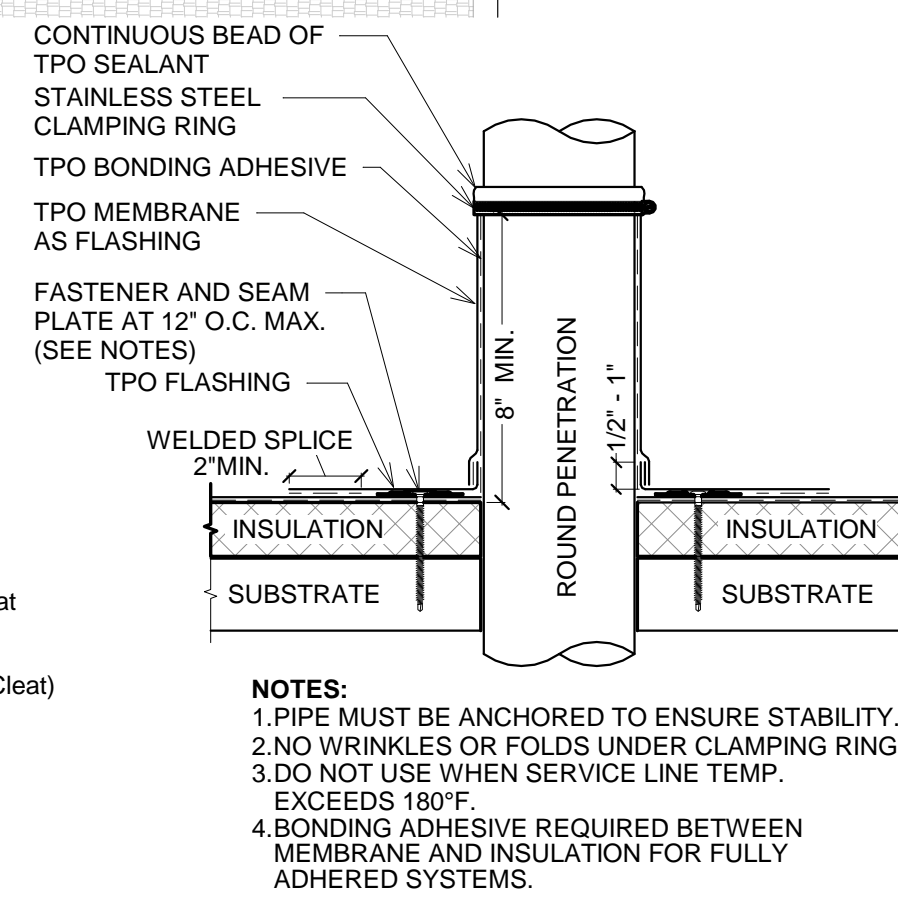
Existing
Mezzanine/Common
Elevation



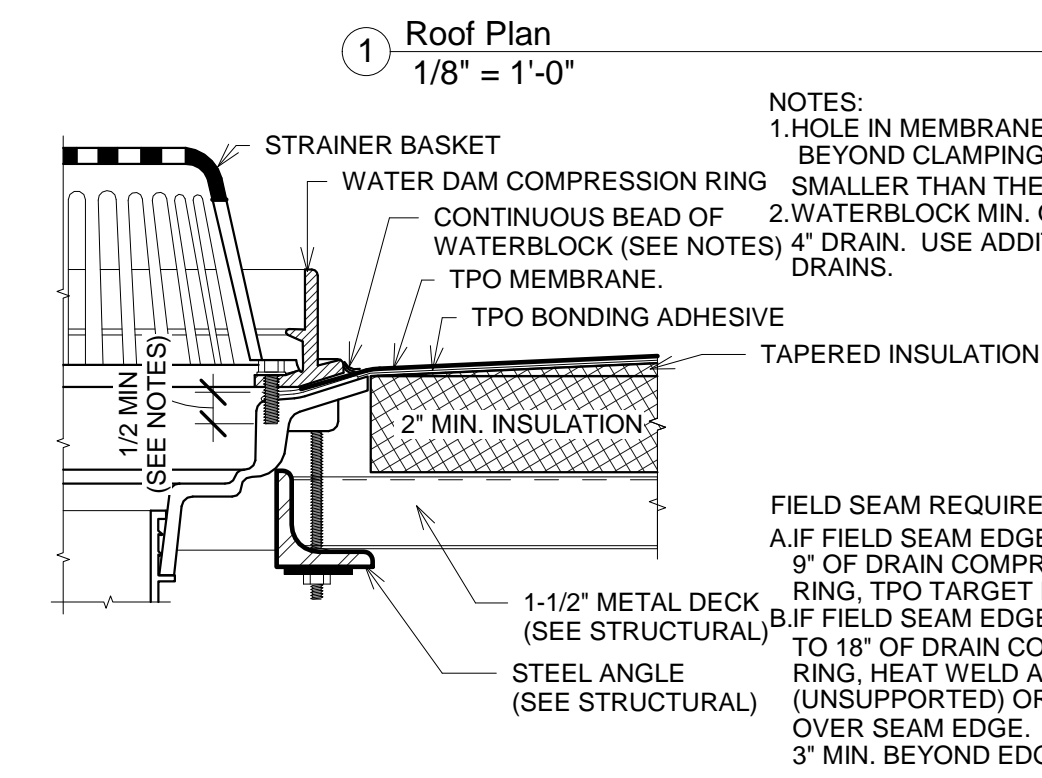
8 Ceiling Detail - Bulkhead Detail 1
1 1/2" = 1'-0"



2 Roof - Coping Detail
3" = 1'-0"



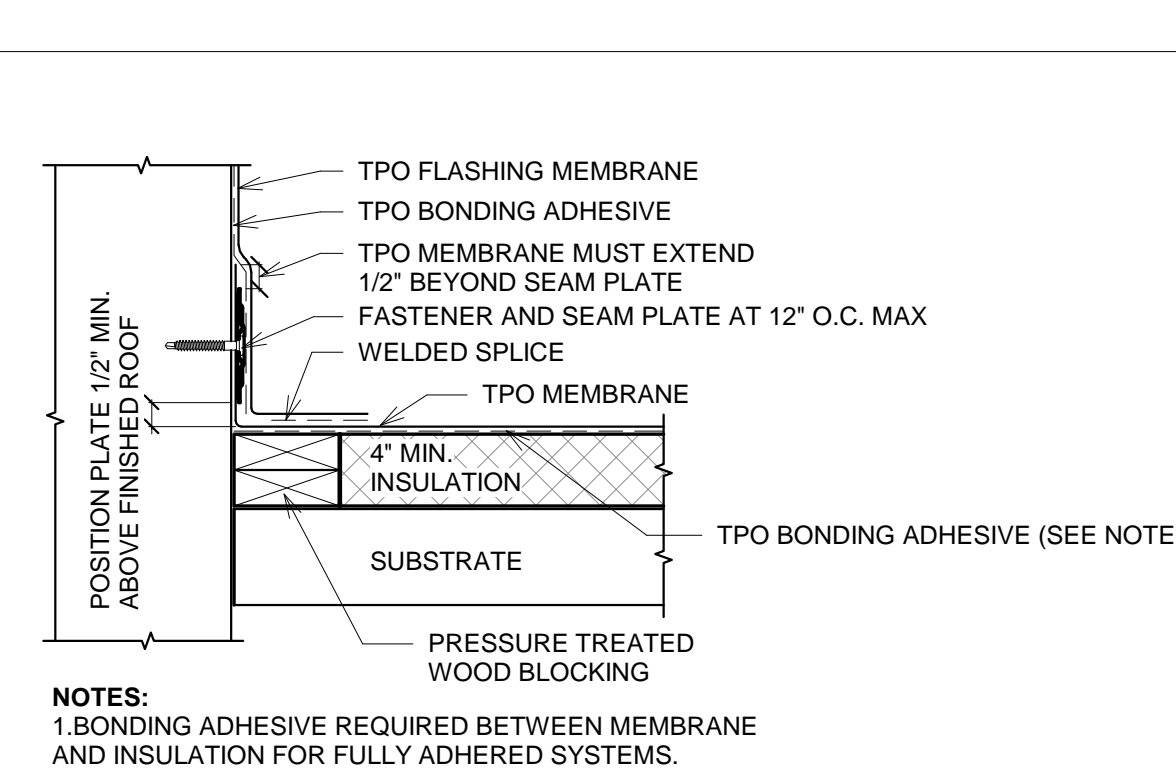
3 Roof Detail - Roof Penetration
3" = 1'-0"



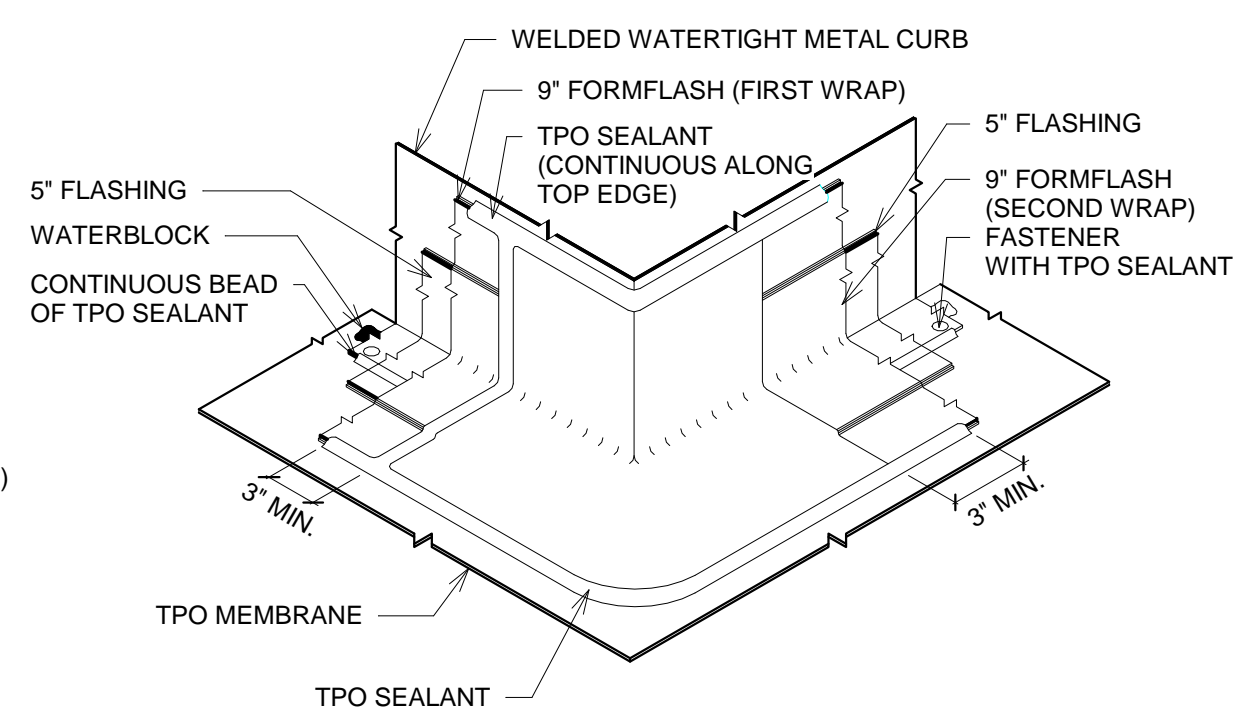
4 Roof Detail - Drain
3" = 1'-0"

NOTES:
1. HOLE IN MEMBRANE SHOULD EXTEND A MINIMUM OF 1/2" BEYOND CLAMPING RING AND SHOULD NOT BE SMALLER THAN THE DIAMETER OF THE LEADER PIPE.
2. WATERBLOCK MIN. OF 1/2 OF 10 OZ TUBE PER 4" DRAIN. USE ADDITIONAL WATERBLOCK FOR LARGER DRAINS.

FIELD SEAM REQUIREMENTS:
A. IF FIELD SEAM EDGE IS WITHIN 9" OF DRAIN COMPRESSION RING, TPO TARGET PATCH REQUIRED.
B. IF FIELD SEAM EDGE IS WITHIN 3" TO 18" OF DRAIN COMPRESSION RING, HEAT WELD A LAYER OF TPO FLASHING (UNSUPPORTED) OR TPO MEMBRANE CENTERED OVER SEAM EDGE. FLASHING MUST EXTEND 3" MIN. BEYOND EDGE OF SUMP.



5 Roof Detail - Parapet Base
3" = 1'-0"



6 Roof Detail - TPO Corner Detail
3" = 1'-0"

Revisions		
Date	Revision No.	Description
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One Church
Addition &
Renovations

Client Name
One Church

Project Address
817 N. Hamilton Rd.
Gahanna OH 43230

Project Number

03-19

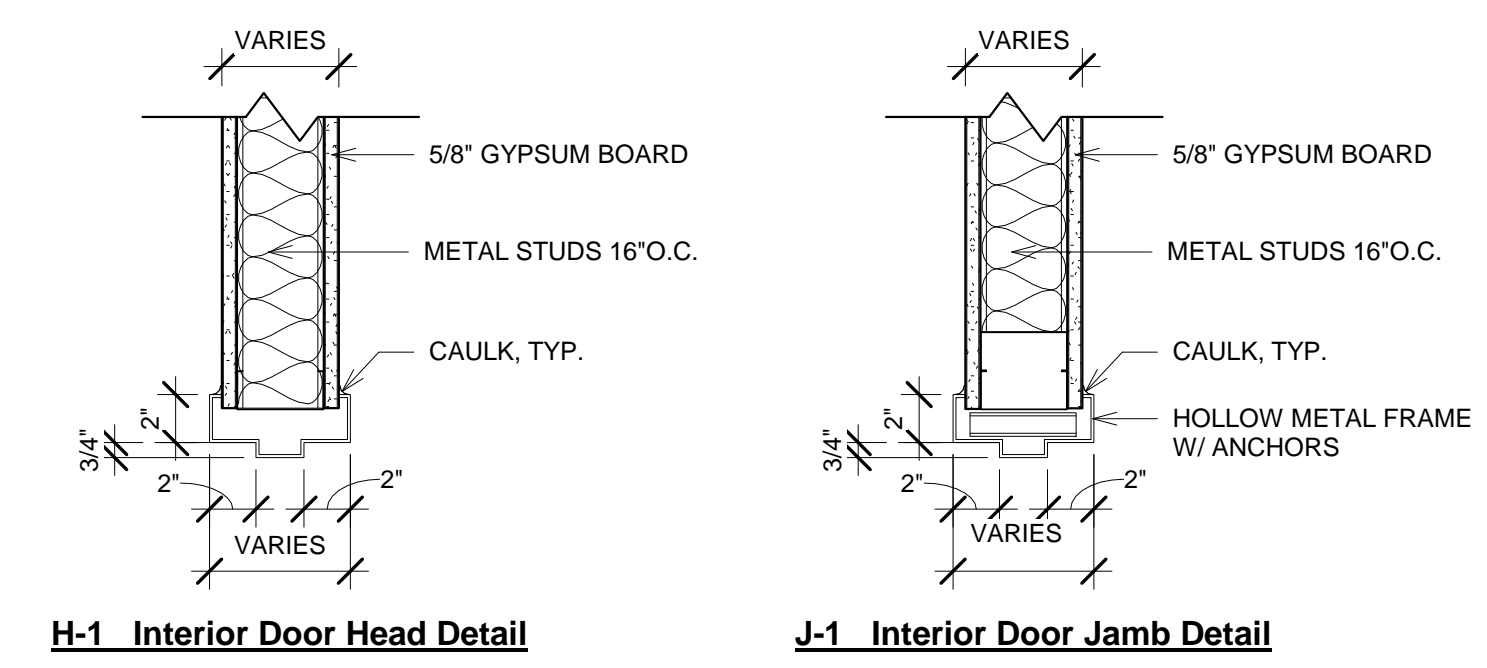
Date

0814-20

RCP/Roof Plan
and Details

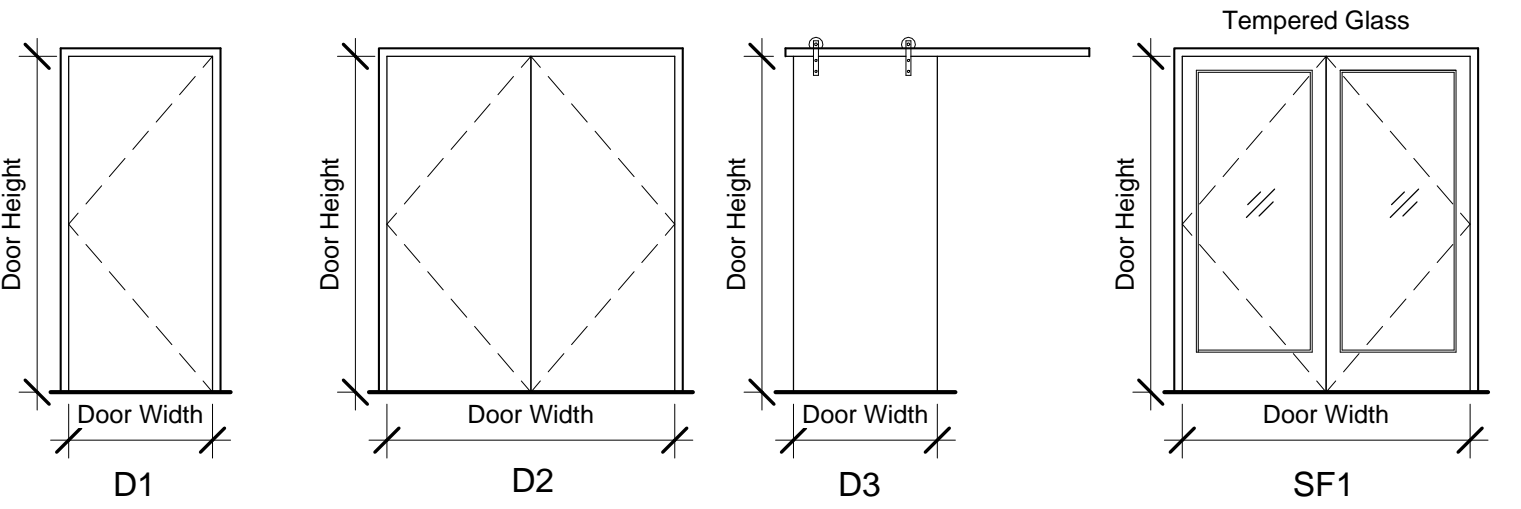
A1.4

Room Schedule					
Room Number	Room Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish
100	Vestibule	Walk Off Matt	Rubber	Painted Gypsum Bd.	Exposed Dryfall
101	Commons	LVT	Rubber	Painted Gypsum Bd.	Exposed Dryfall
102	Cafe	Polished Concrete	Rubber	Painted Gypsum Bd.	Patch and Paint Existing Gypsum
103	Storage	Sealed Concrete	Rubber	Painted Gypsum Bd.	Patch and Paint Existing Gypsum
104	Existing Auditorium	Existing	Existing	Painted CMU	Existing Exposed
105	Women's Rm.	Tile	Tile	Painted Gypsum Bd./Tile @ 48" Wet Wall	Patch and Paint Existing Gypsum
106	Men's Rm.	Tile	Tile	Painted Gypsum Bd./Tile @ 48" Wet Wall	Patch and Paint Existing Gypsum



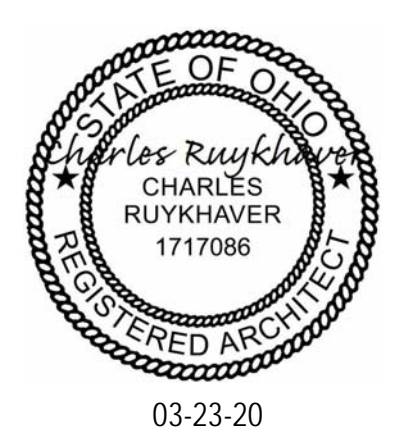
H-1 Interior Door Head Detail

J-1 Interior Door Jamb Detail



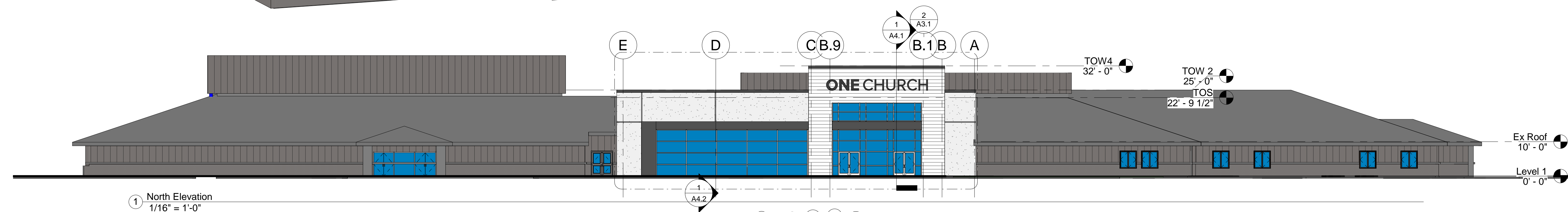
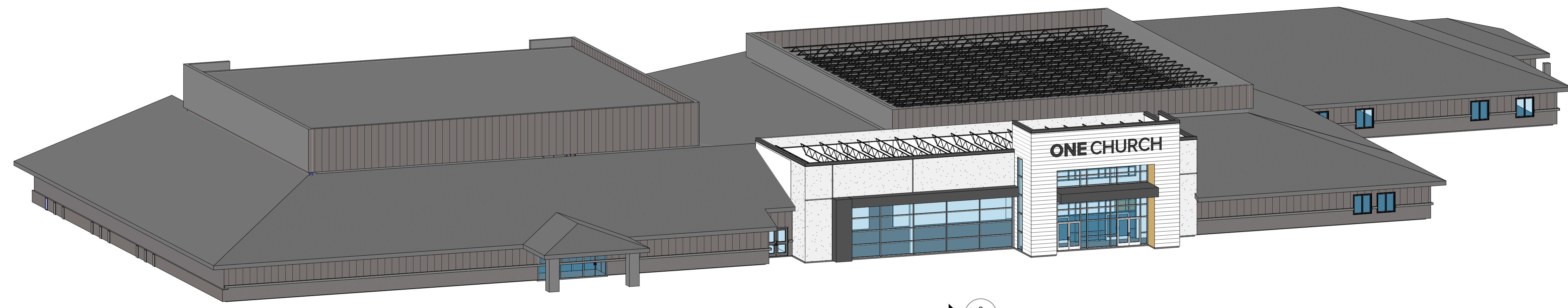
Door Schedule													
Door Number	Type	Hardware	Door			Material	Finish	Frame Material	Frame Finish	Closers	Panic Hardware	Fire Rating	Comments
			Width	Height	Thickness								
100a	SF1		6' - 0"	7' - 0"	0' - 1 3/4"	Aluminum Storefront	Clear Anodized	Aluminum	Clear Anodized	Yes	Yes		
100b	SF1		6' - 0"	7' - 0"	0' - 1 3/4"	Aluminum Storefront	Clear Anodized	Aluminum	Clear Anodized	Yes	Yes		
100c	SF1		6' - 0"	6' - 8"	0' - 1 3/4"	Aluminum Storefront	Clear Anodized	Aluminum	Clear Anodized	Yes	Yes		
100d	SF1		6' - 0"	6' - 8"	0' - 1 3/4"	Aluminum Storefront	Clear Anodized	Aluminum	Clear Anodized	Yes	Yes		
101b	OVH		22' - 0"	9' - 0"	0' - 3"	Metal	Pre-Finished			-	-	1 Hour	1HR Fire Shutter
103	D3		3' - 0"	7' - 0"		Wood	Stained			-	-		Barn Door Hardware
104a	D4		6' - 0"	7' - 0"	0' - 1 3/4"	Solid Core Wood	Stained	Hollow Metal	Painted	Yes	Yes	1 Hour	
104b	D4		6' - 0"	7' - 0"	0' - 1 3/4"	Solid Core Wood	Stained	Hollow Metal	Painted	Yes	Yes	1 Hour	
104c	D2		6' - 0"	7' - 0"	0' - 1 3/4"								
201	D1		3' - 0"	7' - 0"	0' - 1 3/4"	Wood	Stained	Hollow Metal	Painted	Yes	Yes		Mezzanine Attic Access

Revisions		
Date	Revision No.	Description
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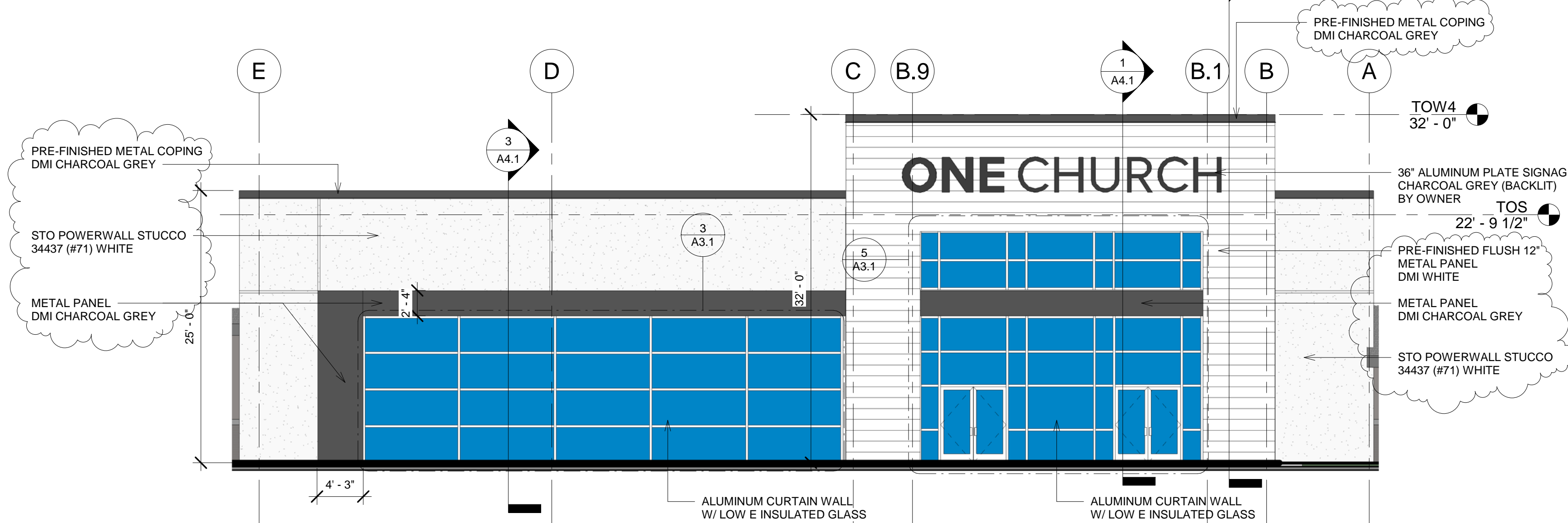


One Church Addition & Renovations
 Client Name: One Church
 Project Address: 817 N. Hamilton Rd. Gahanna OH 43230

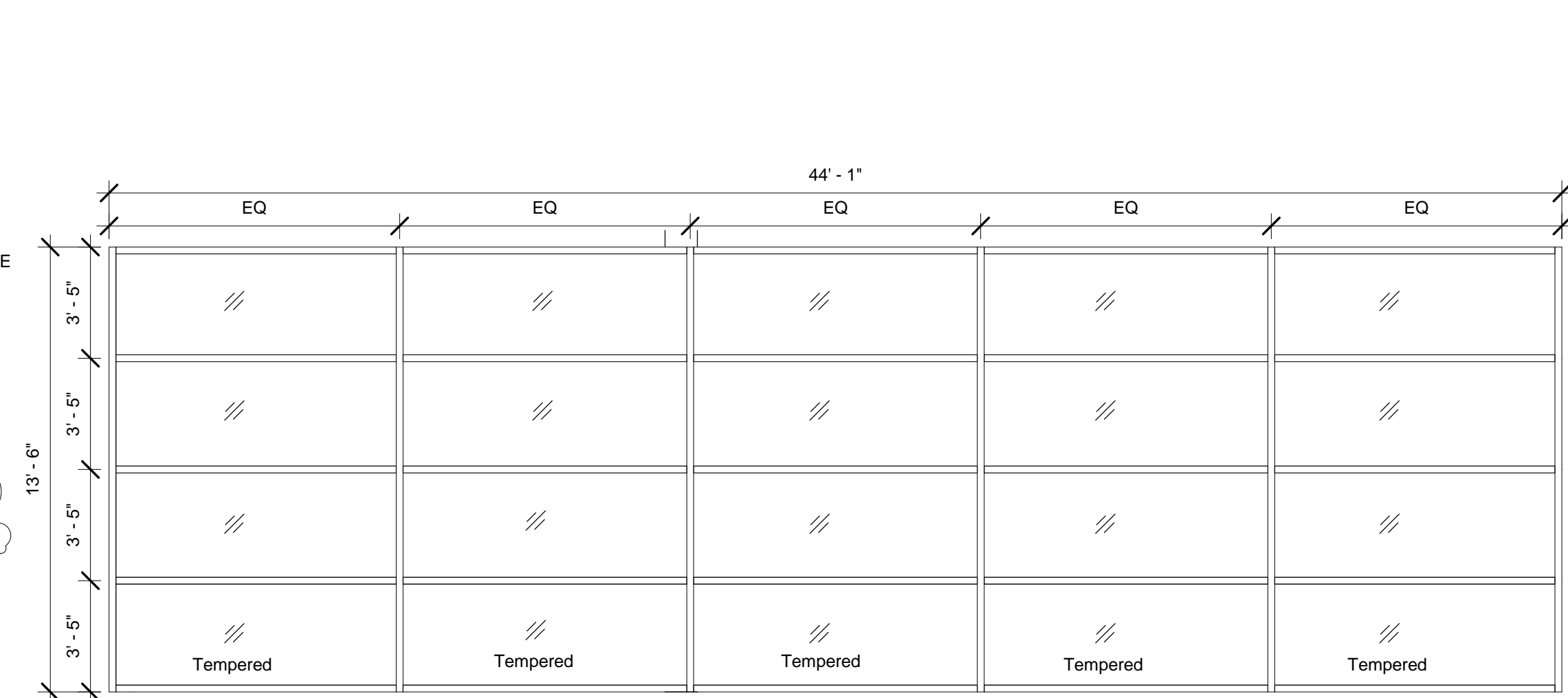
Project Number: 03-19
 Date: 0814-20
 Schedules and Details



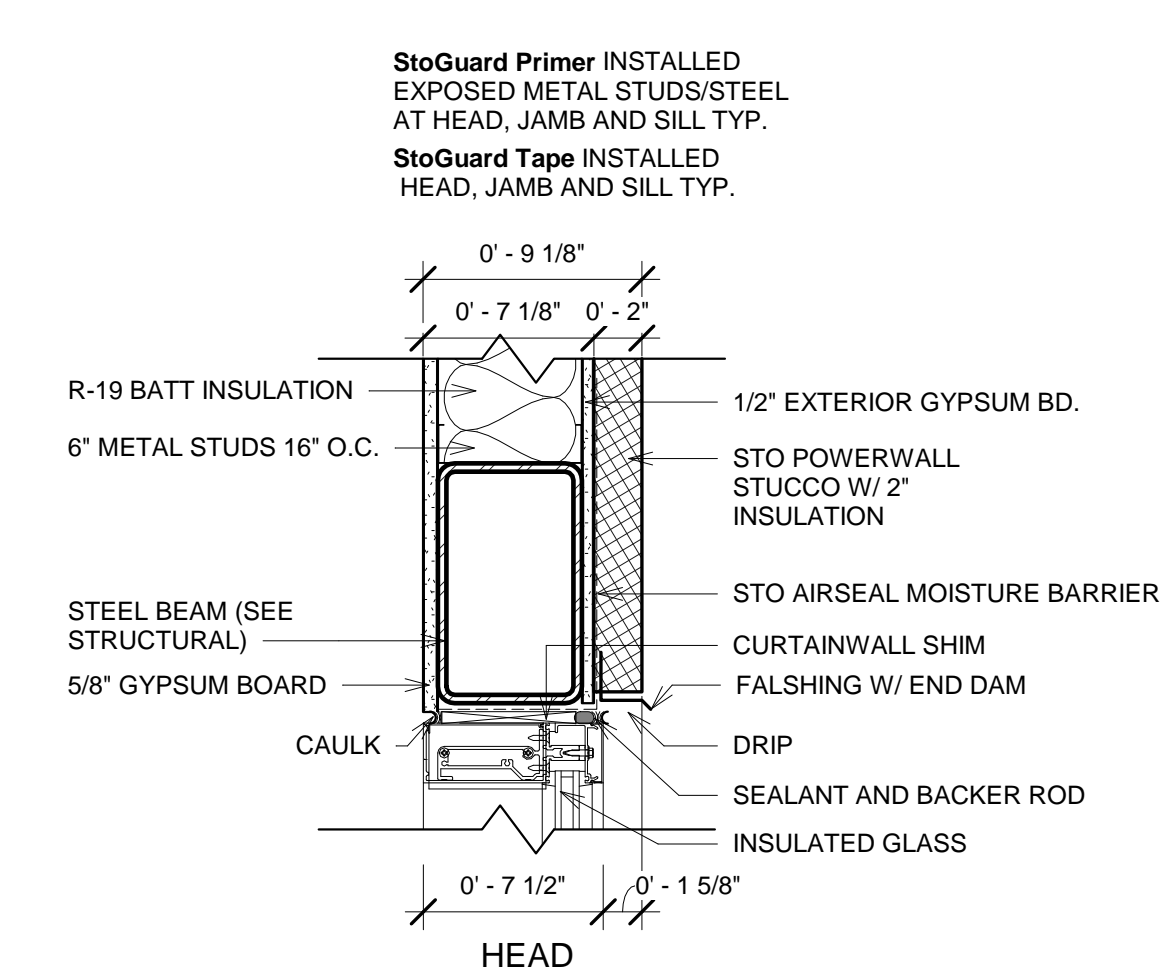
1 North Elevation
1/16" = 1'-0"



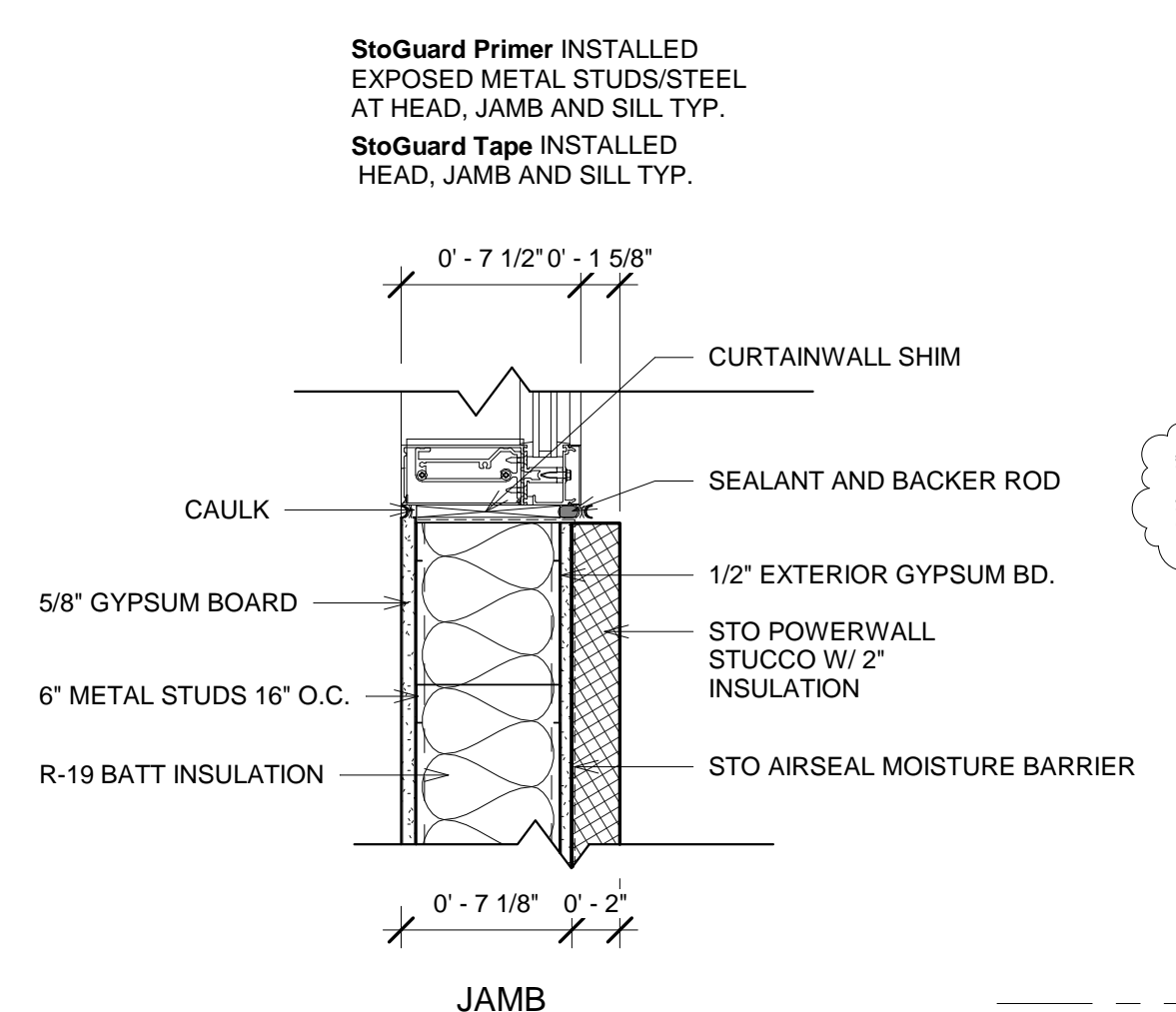
2 Enlarged Elevation - North
1/8" = 1'-0"



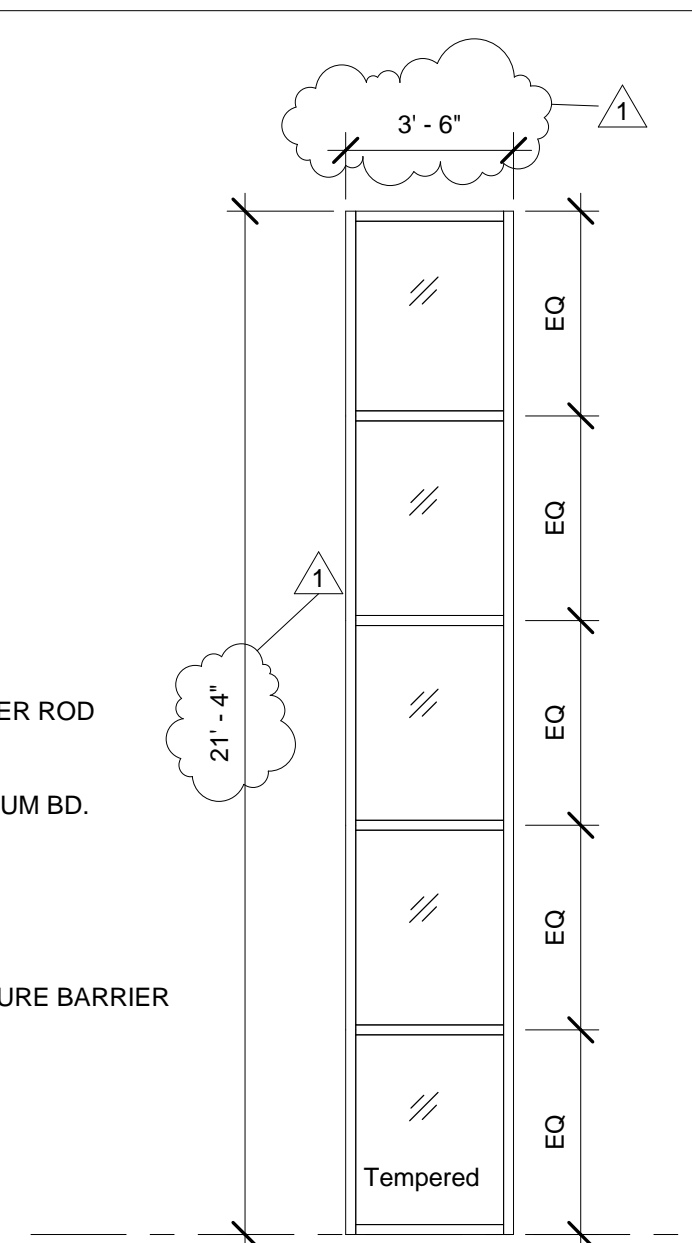
3 Aluminum Curtain Wall Elevation - CW-2
1/4" = 1'-0"



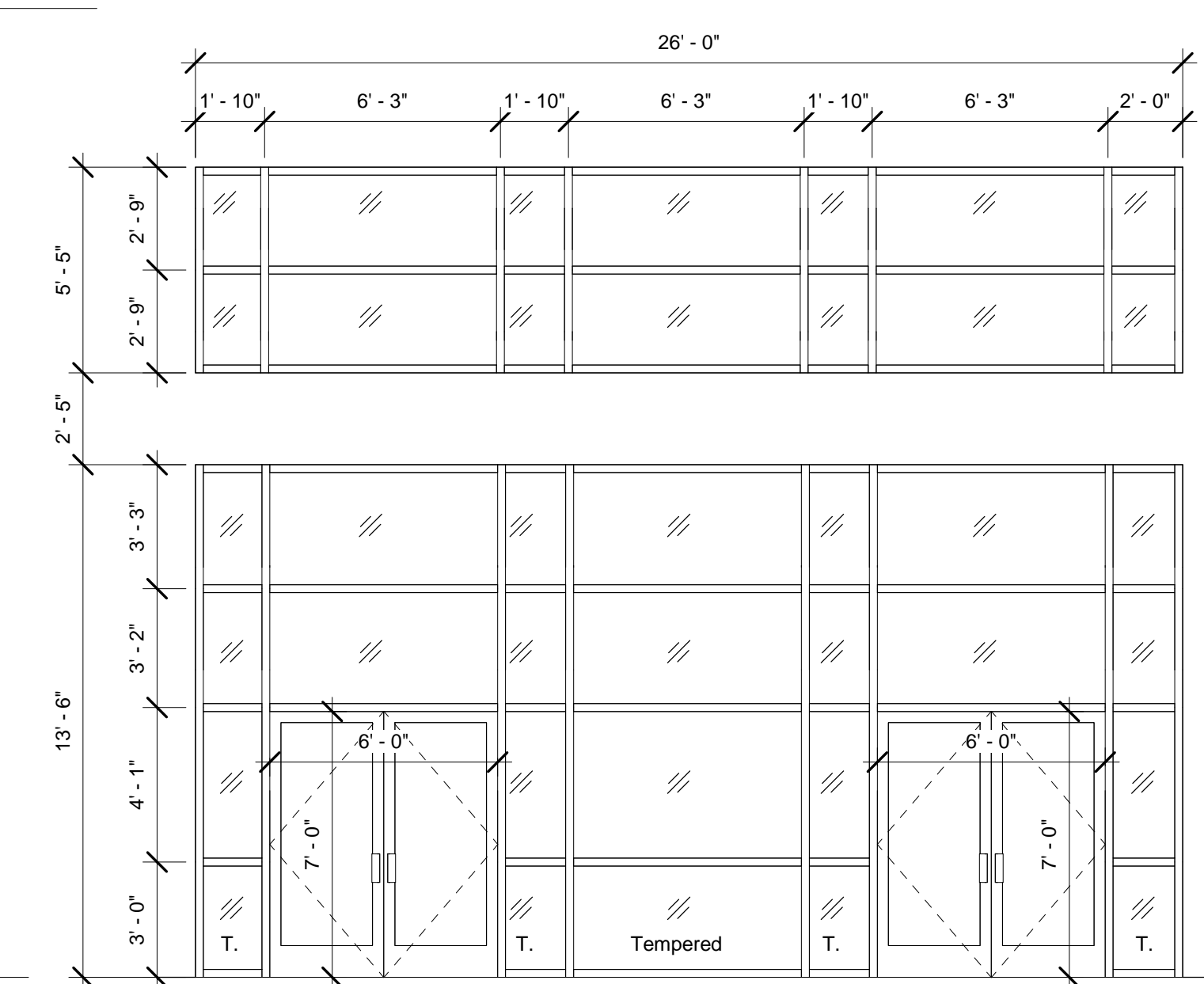
7 Curtainwall Head
1 1/2" = 1'-0"



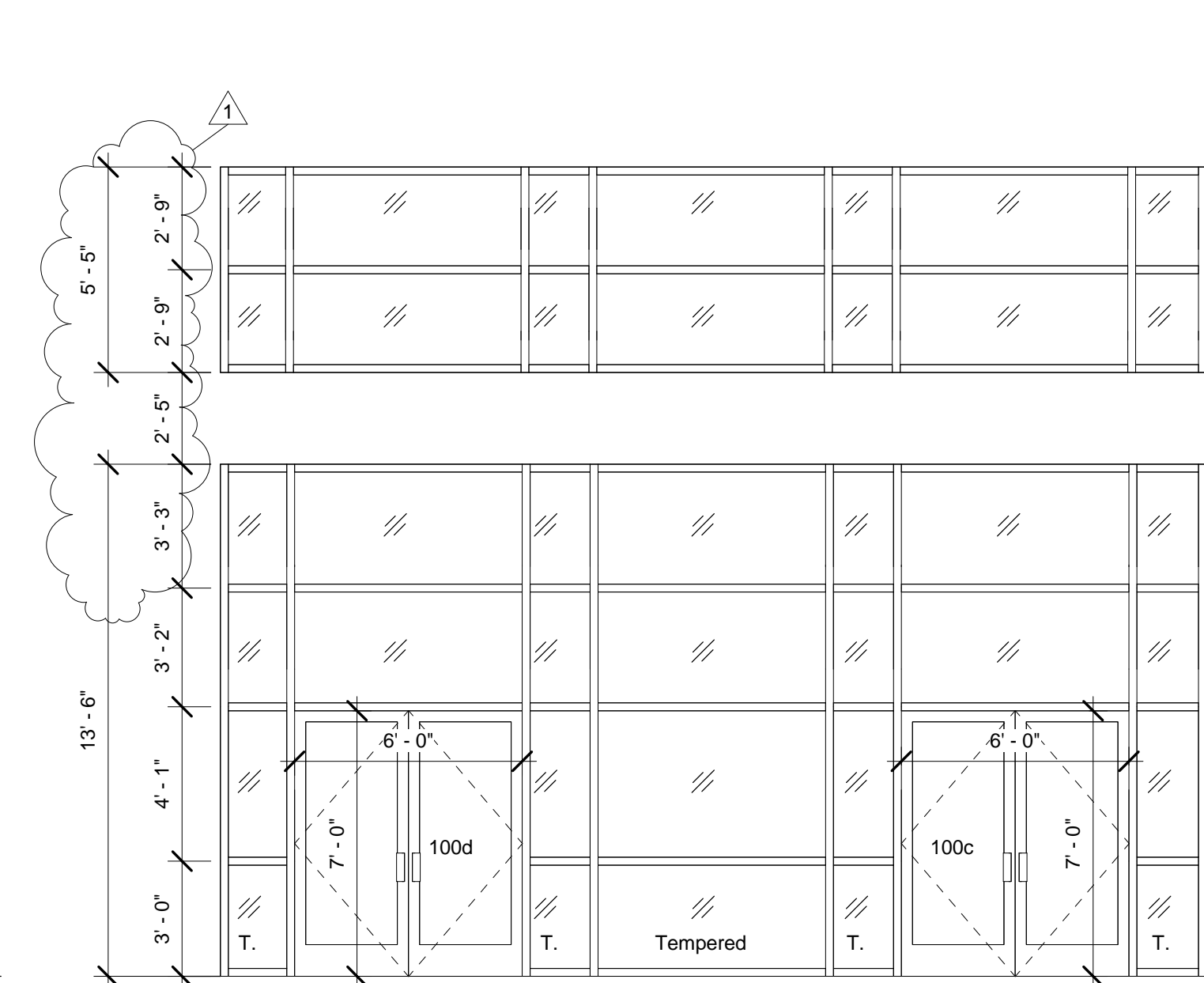
8 Curtainwall Jamb
1 1/2" = 1'-0"



4 Aluminum Storefront Elevation - SF-2
1/4" = 1'-0"

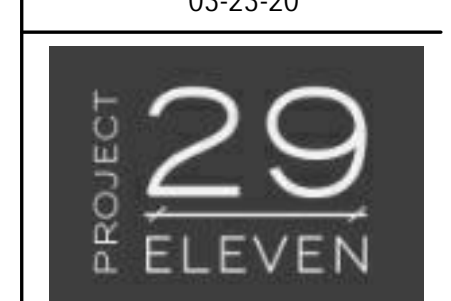
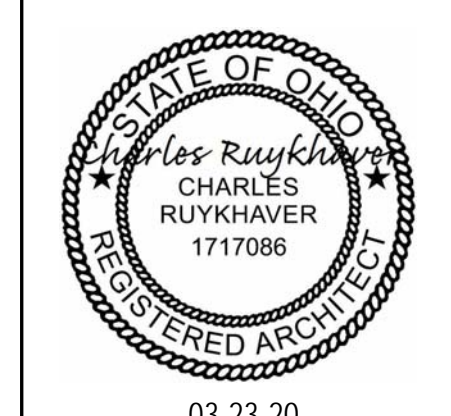


5 Aluminum Curtain Wall Elevation - CW-1
1/4" = 1'-0"



6 Aluminum Storefront Elevation - SF-1
1/4" = 1'-0"

Revisions		
Date	Revision No.	Description
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One Church
Addition &
Renovations

Client Name
One Church

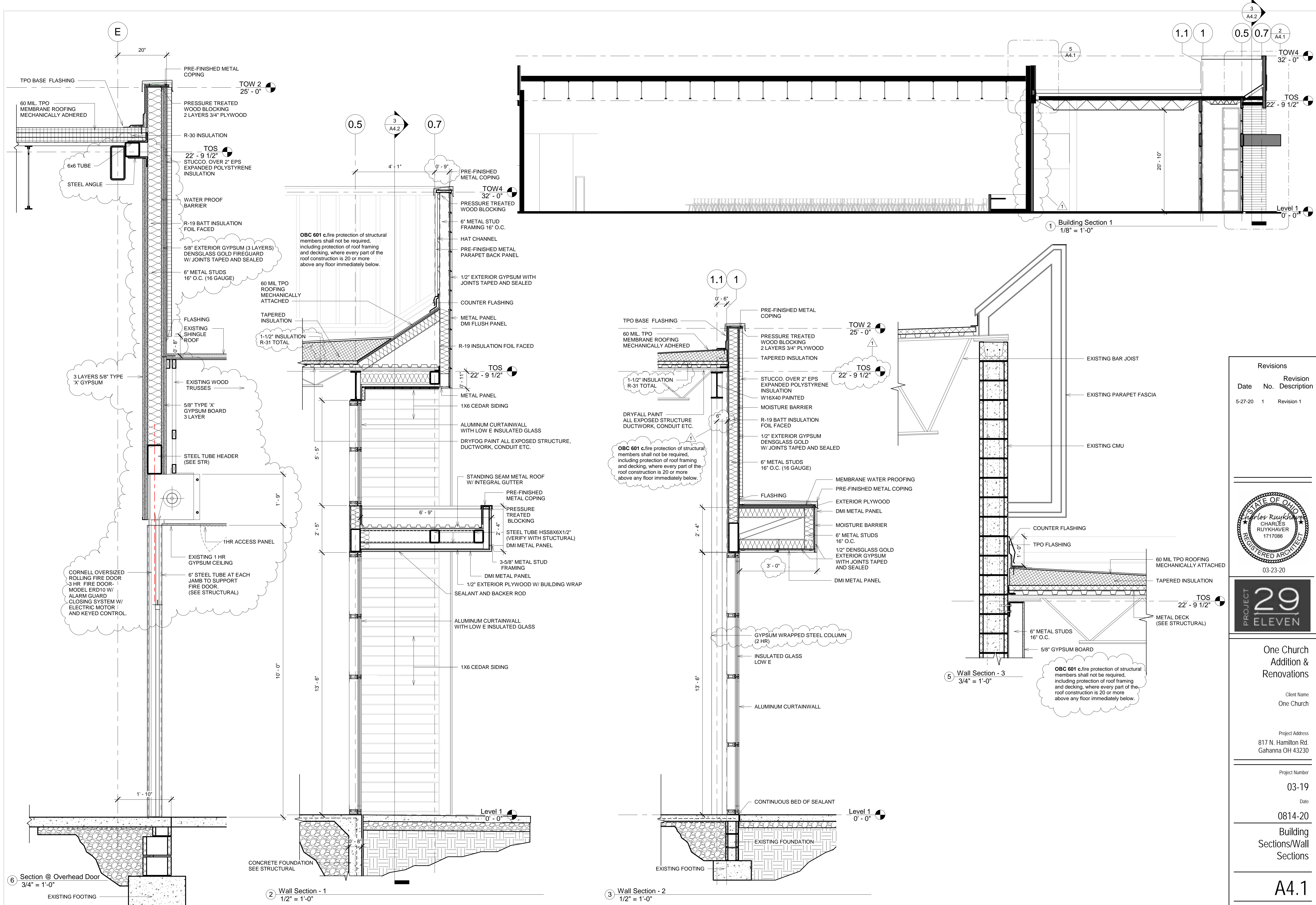
Project Address
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Gahanna OH 43230

Project Number
03-19

Date
0814-20

Elevation/3D
Views

A3.1



Revisions		
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One Church Addition & Renovations

Client Name
One Church

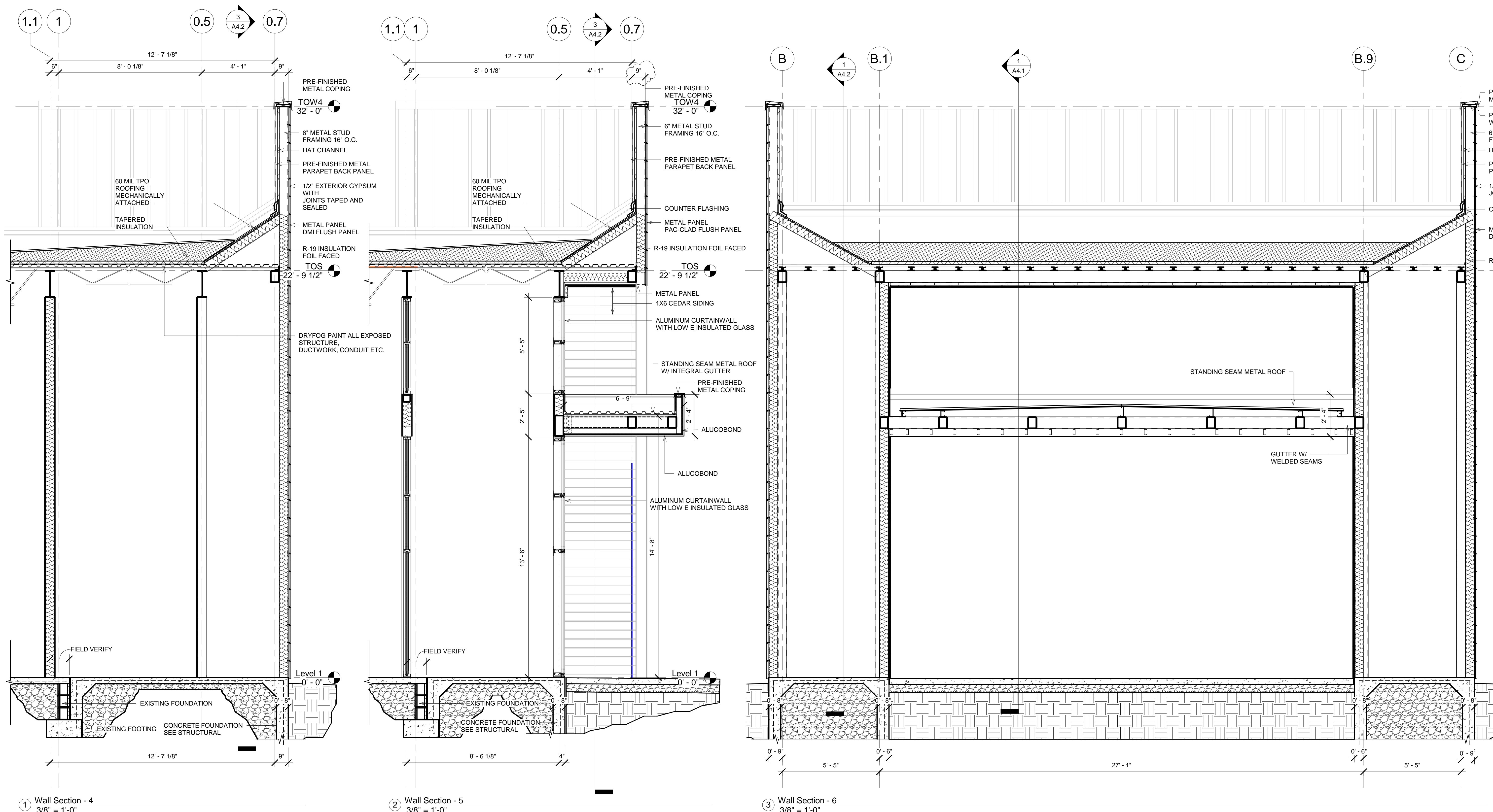
Project Address
817 N. Hamilton Rd.
Gahanna OH 43230

Project Number
03-19

Date
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Building Sections/Wall Sections

A4.1

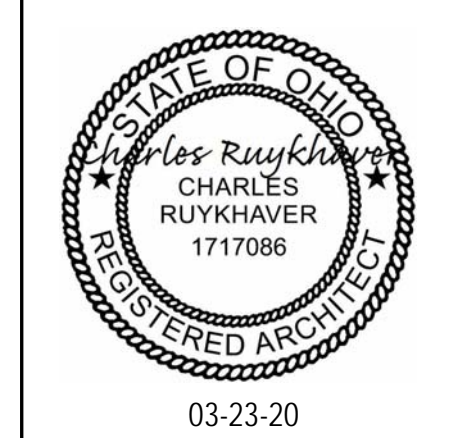


1 Wall Section - 4
3/8" = 1'-0"

2 Wall Section - 5
3/8" = 1'-0"

3 Wall Section - 6
3/8" = 1'-0"

Revisions		
Date	Revision No.	Description
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One Church
Addition &
Renovations

Client Name
One Church

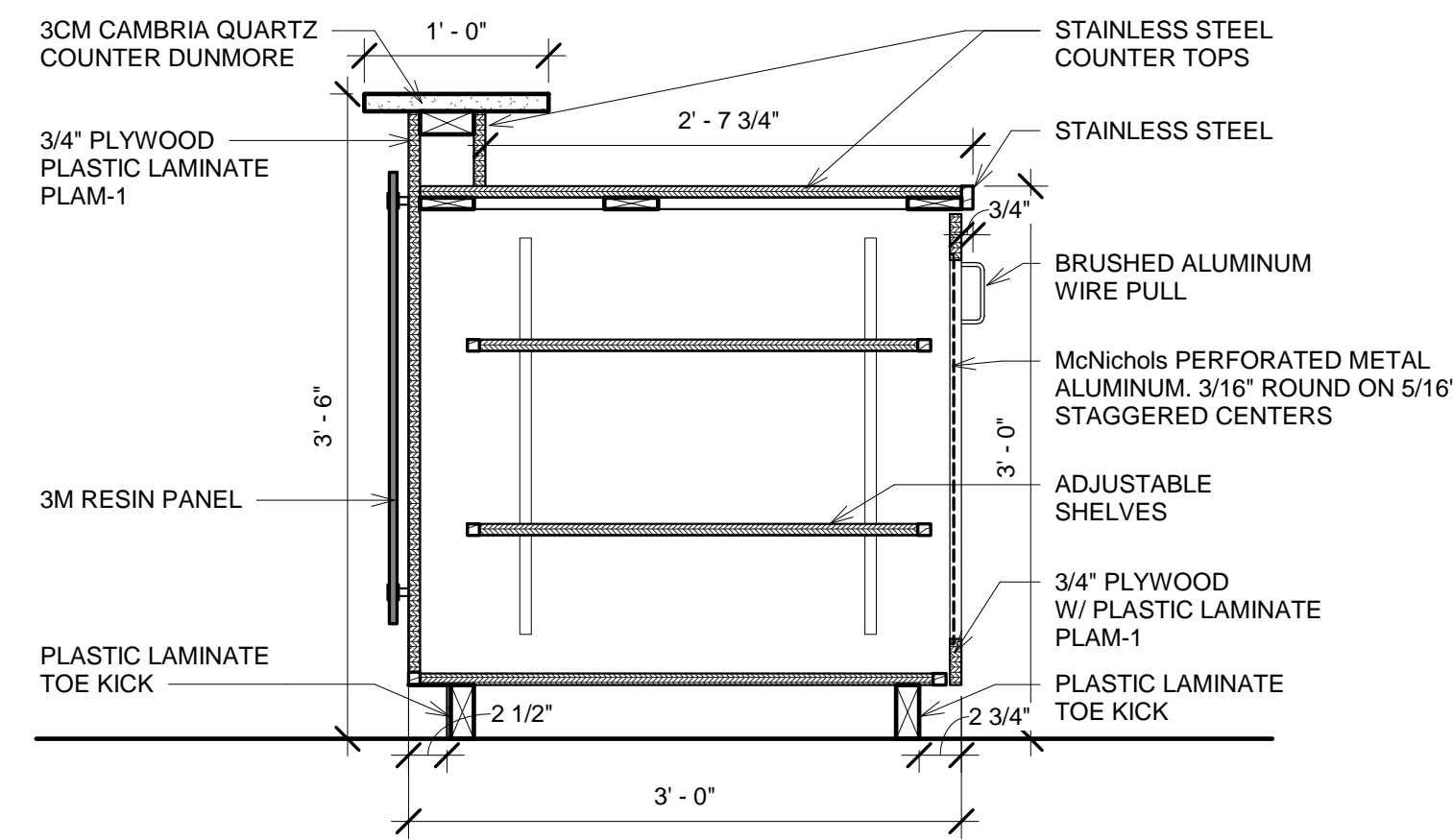
Project Address
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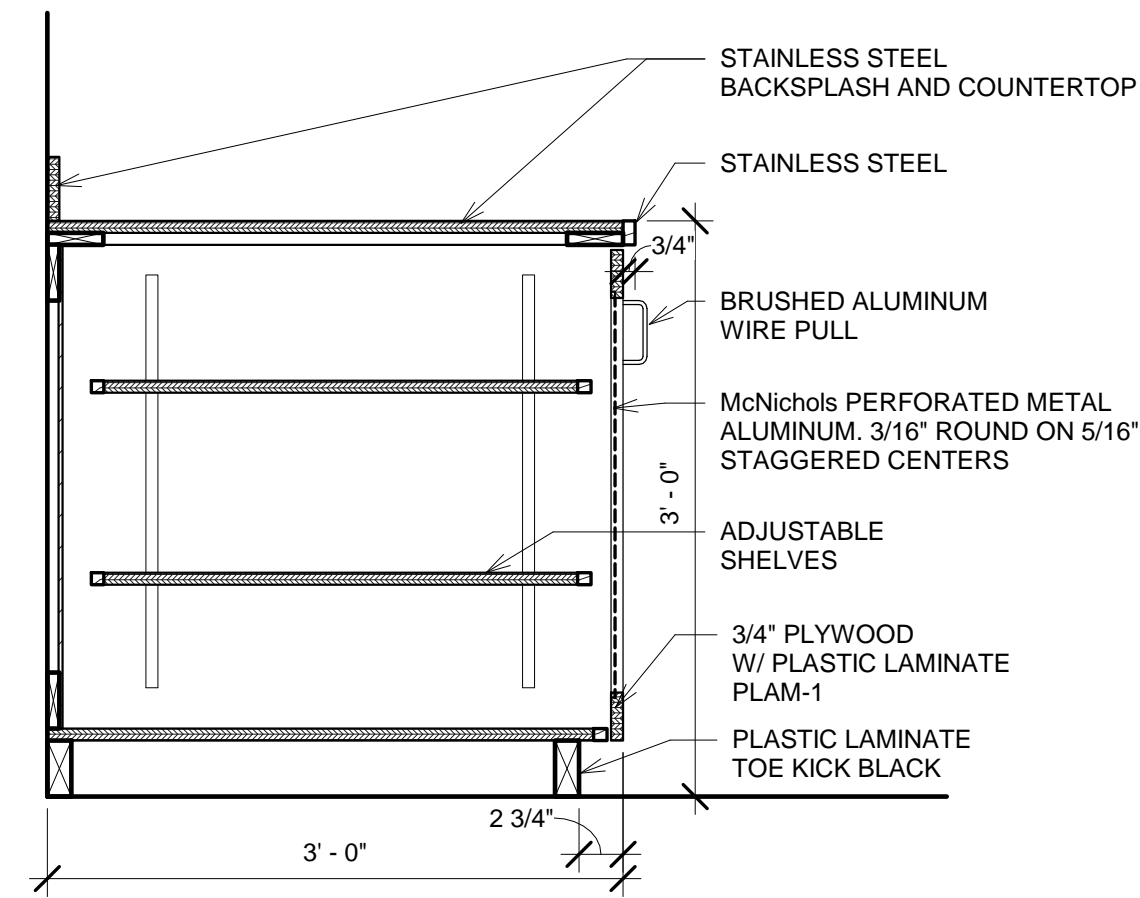
Date
0814-20

Building Sections

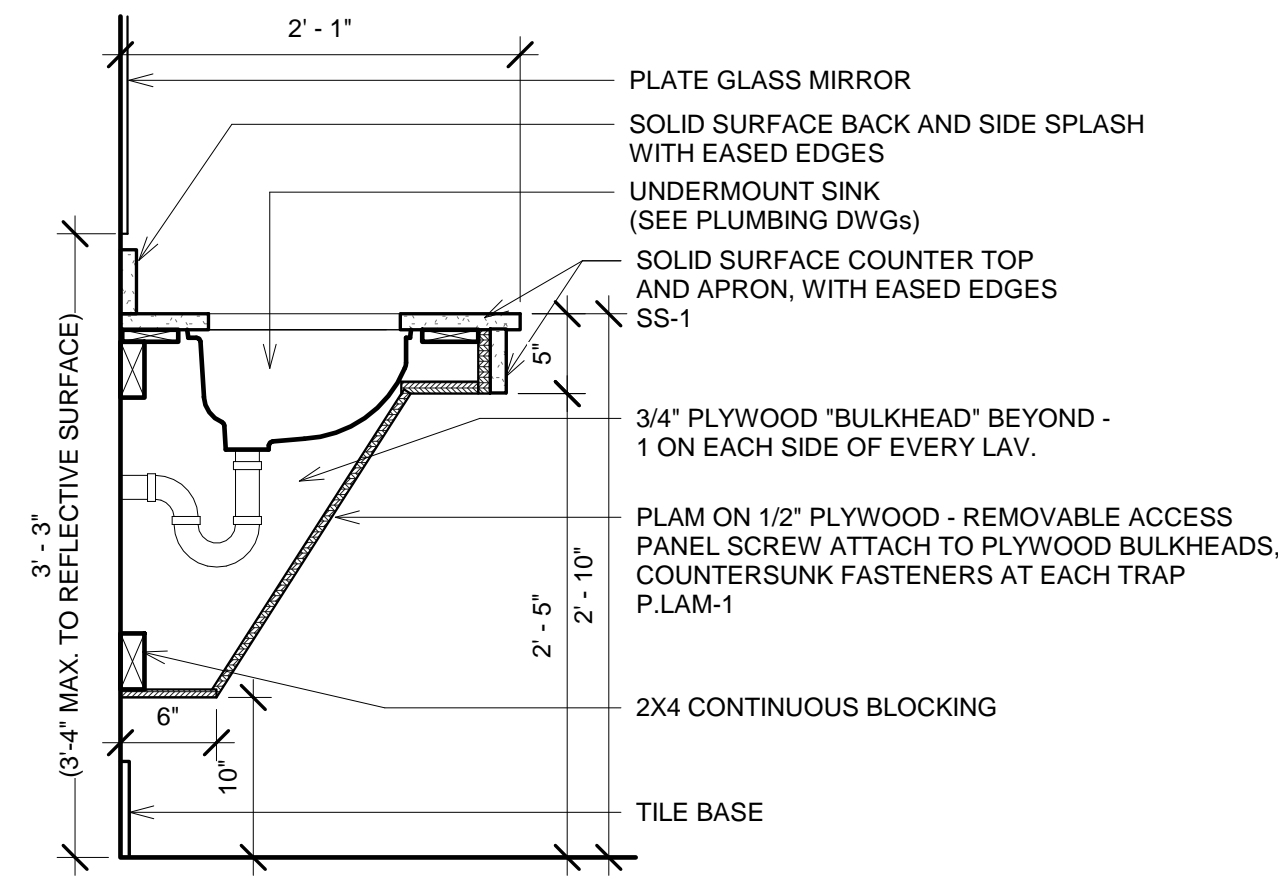
A4.2



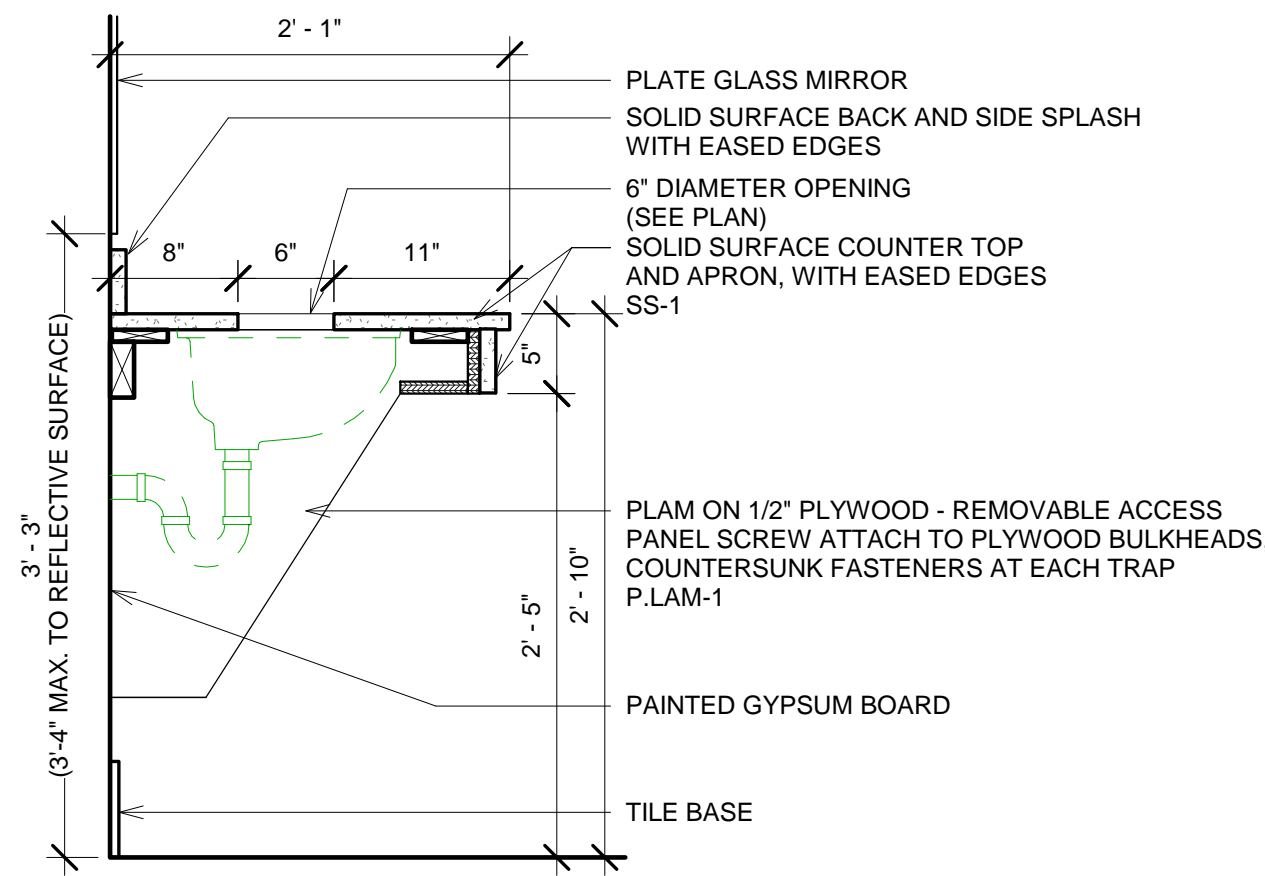
1 Millwork Section - Cafe 1
1" = 1'-0"



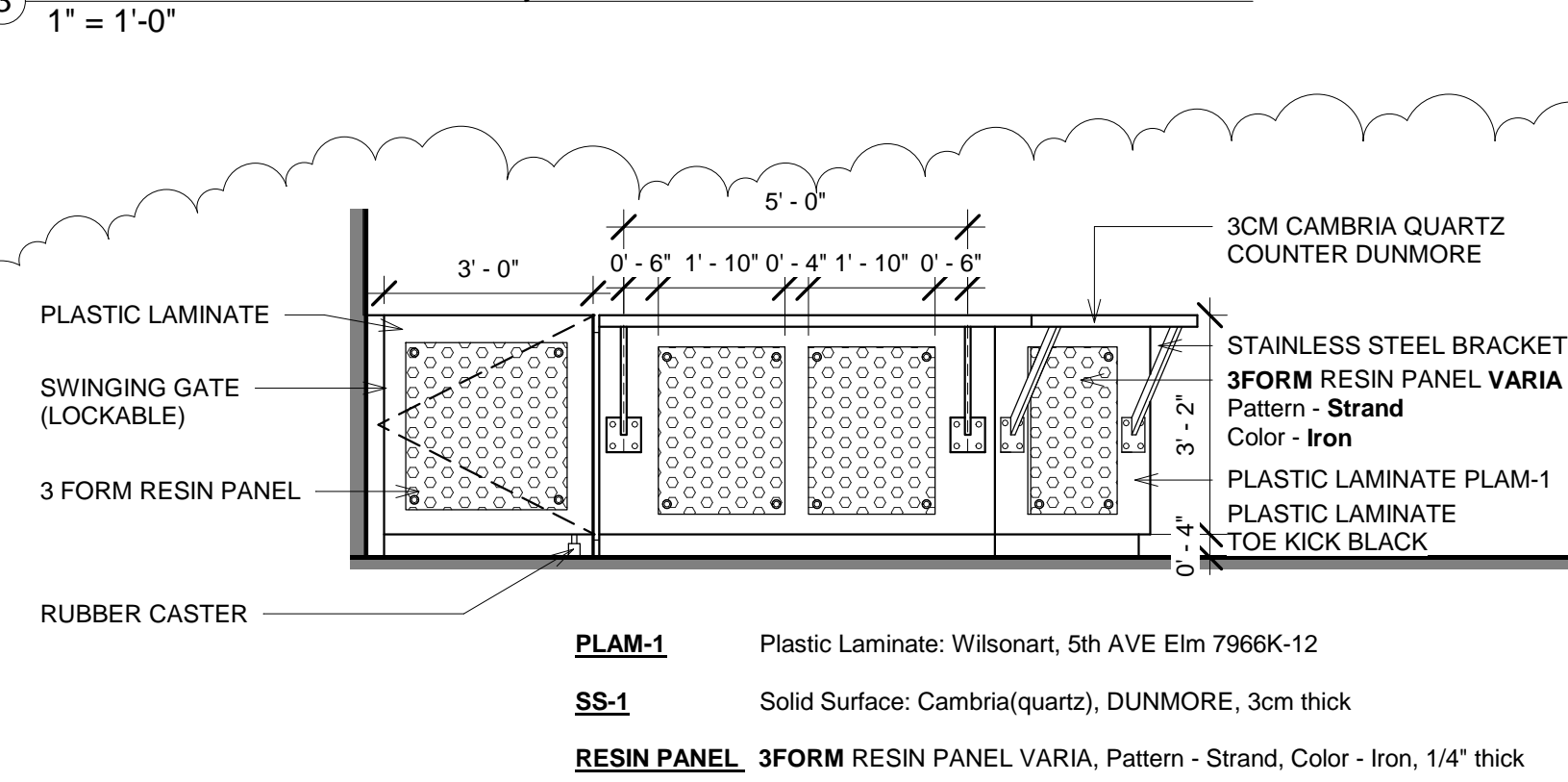
2 Millwork Section - Cafe 4
1" = 1'-0"



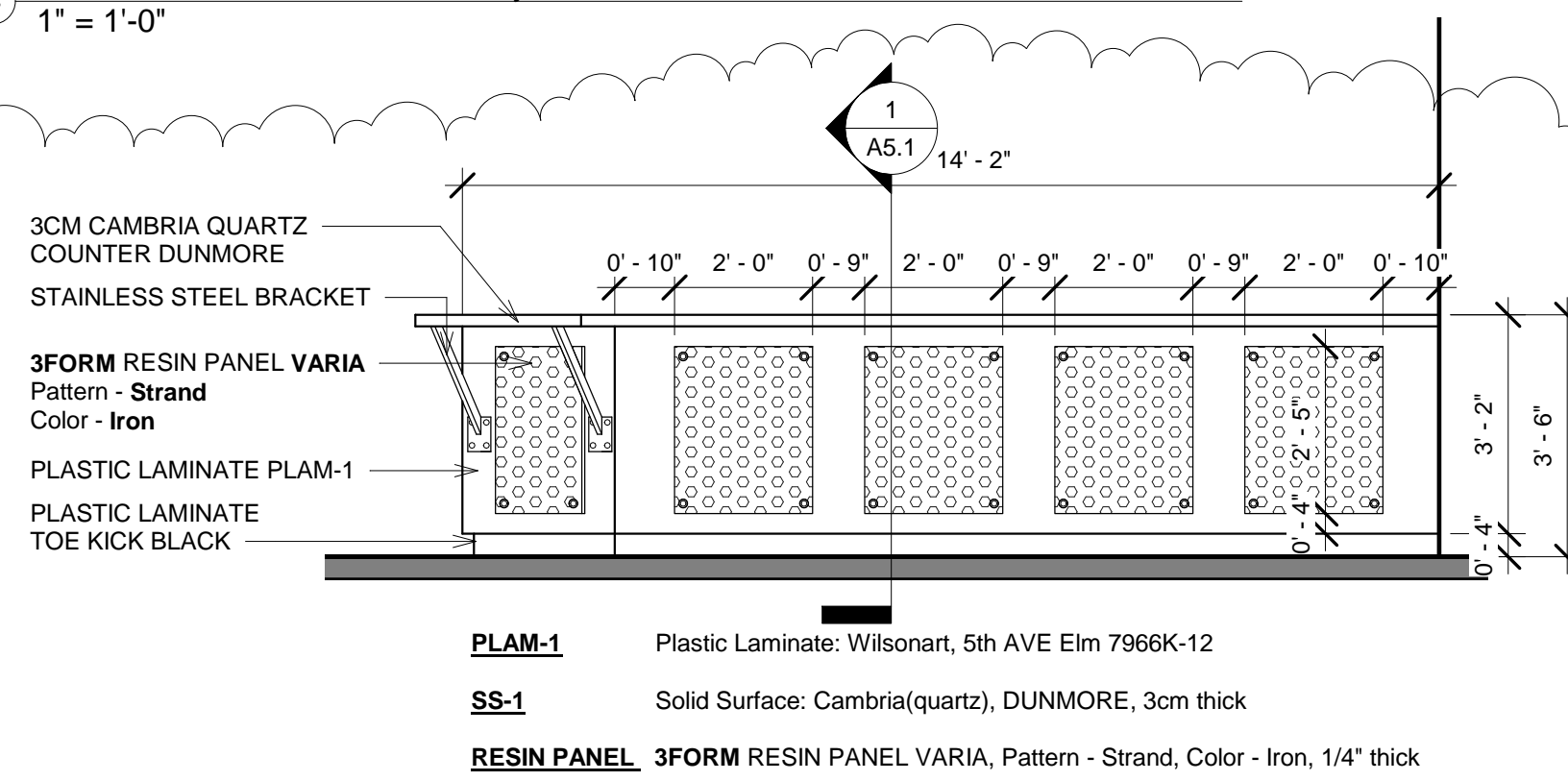
3 Millwork Section - Restroom Vanity 1
1" = 1'-0"



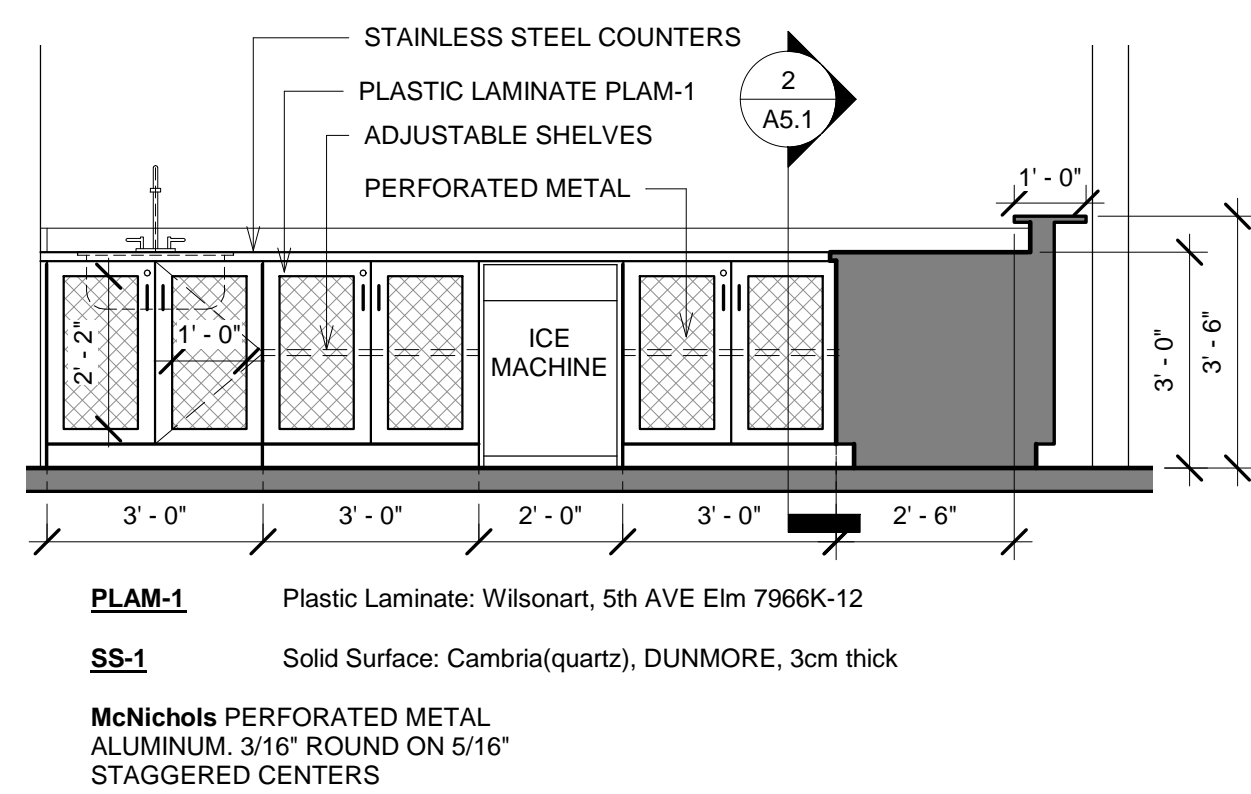
4 Millwork Section - Restroom Vanity 2
1" = 1'-0"



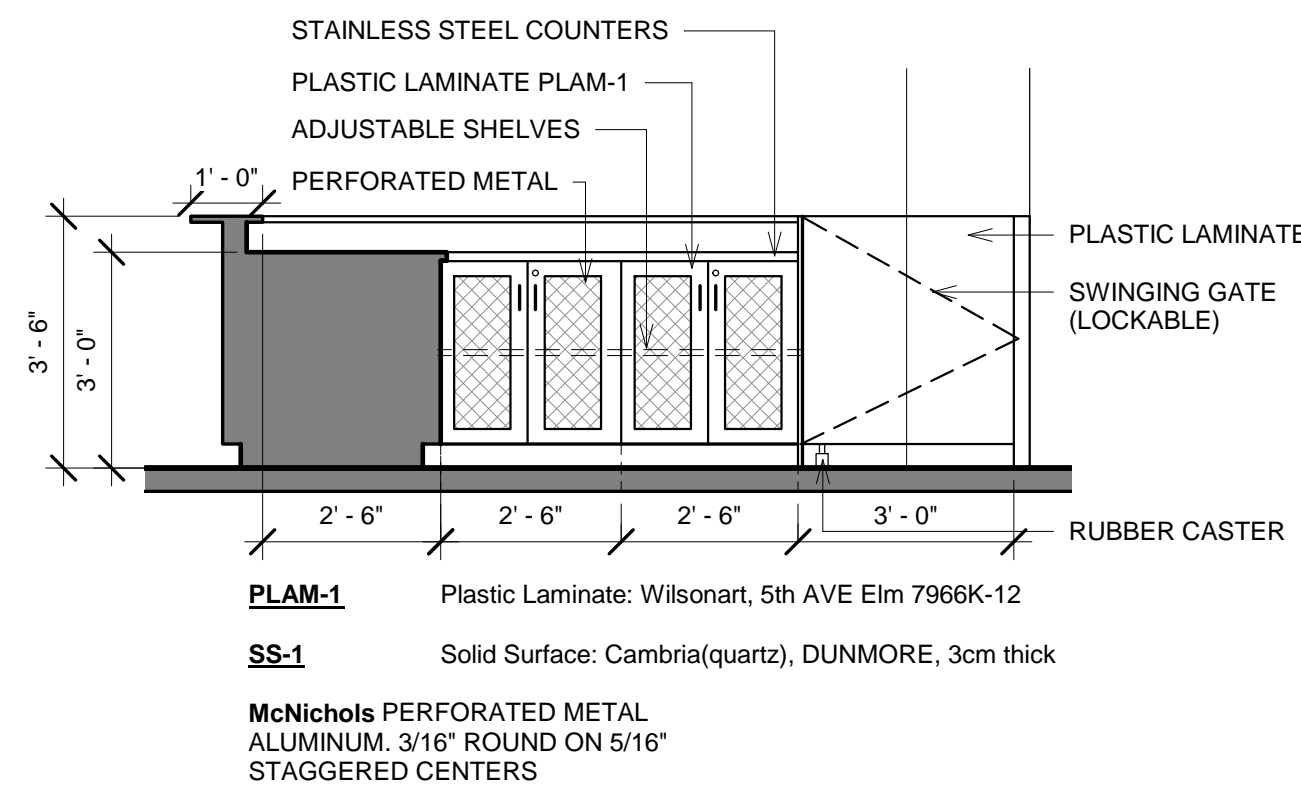
5 Cafe Elevation - 1
3/8" = 1'-0"



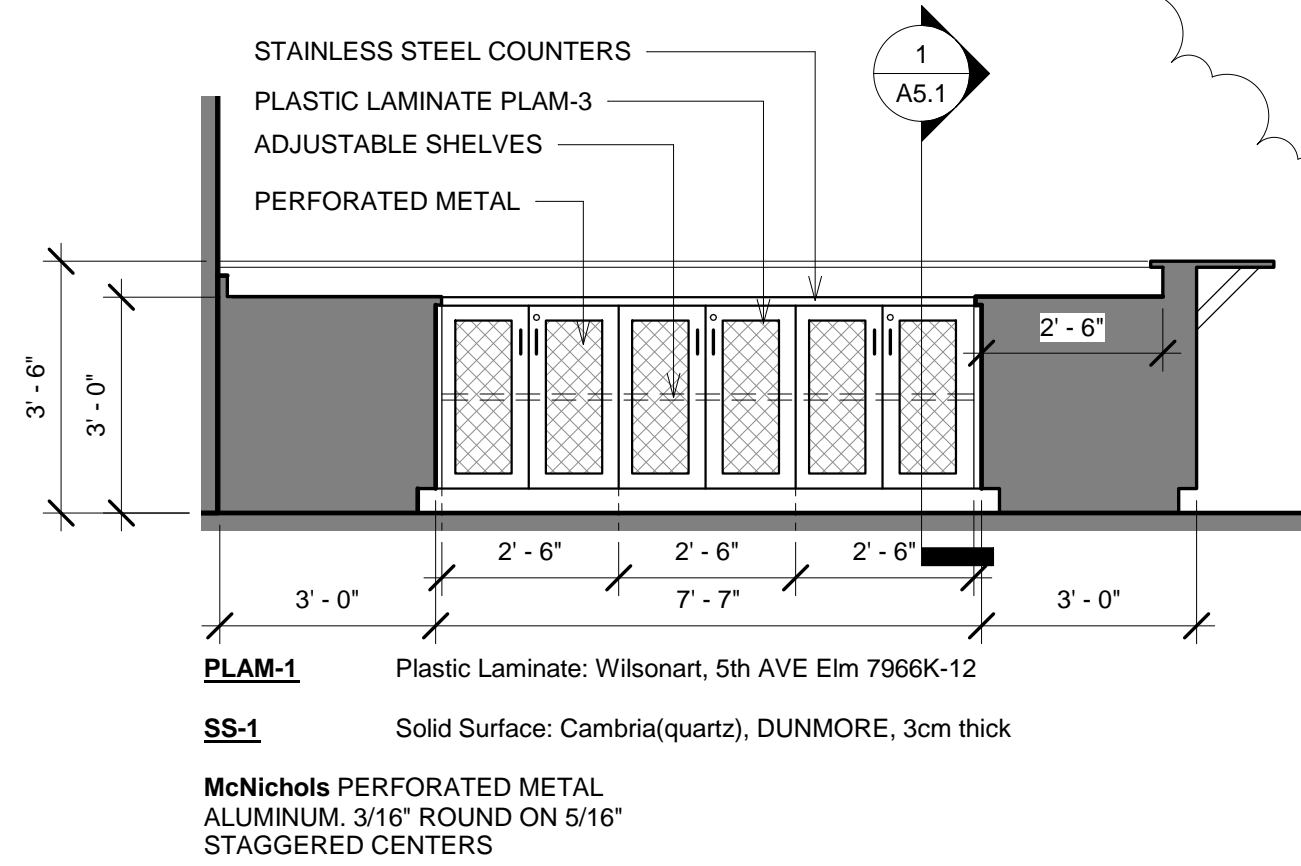
6 Cafe Elevation - 2
3/8" = 1'-0"



7 Cafe Elevation - 3
3/8" = 1'-0"

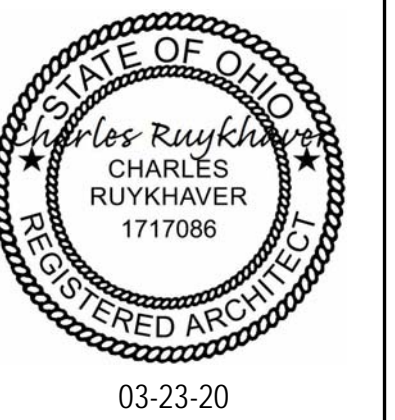


8 Cafe Elevation - 4
3/8" = 1'-0"



9 Cafe Elevation - 5
3/8" = 1'-0"

Revisions		
Date	Revision No.	Description
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One Church
Addition &
Renovations

Client Name
One Church

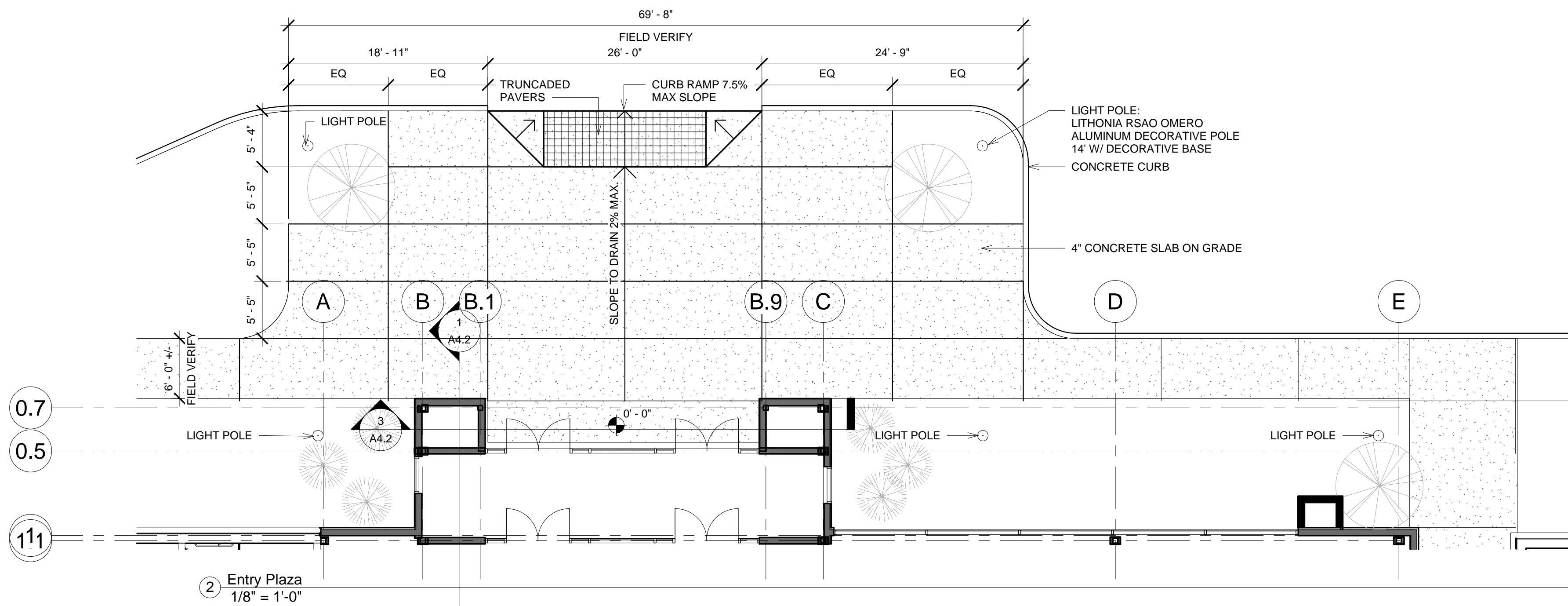
Project Address
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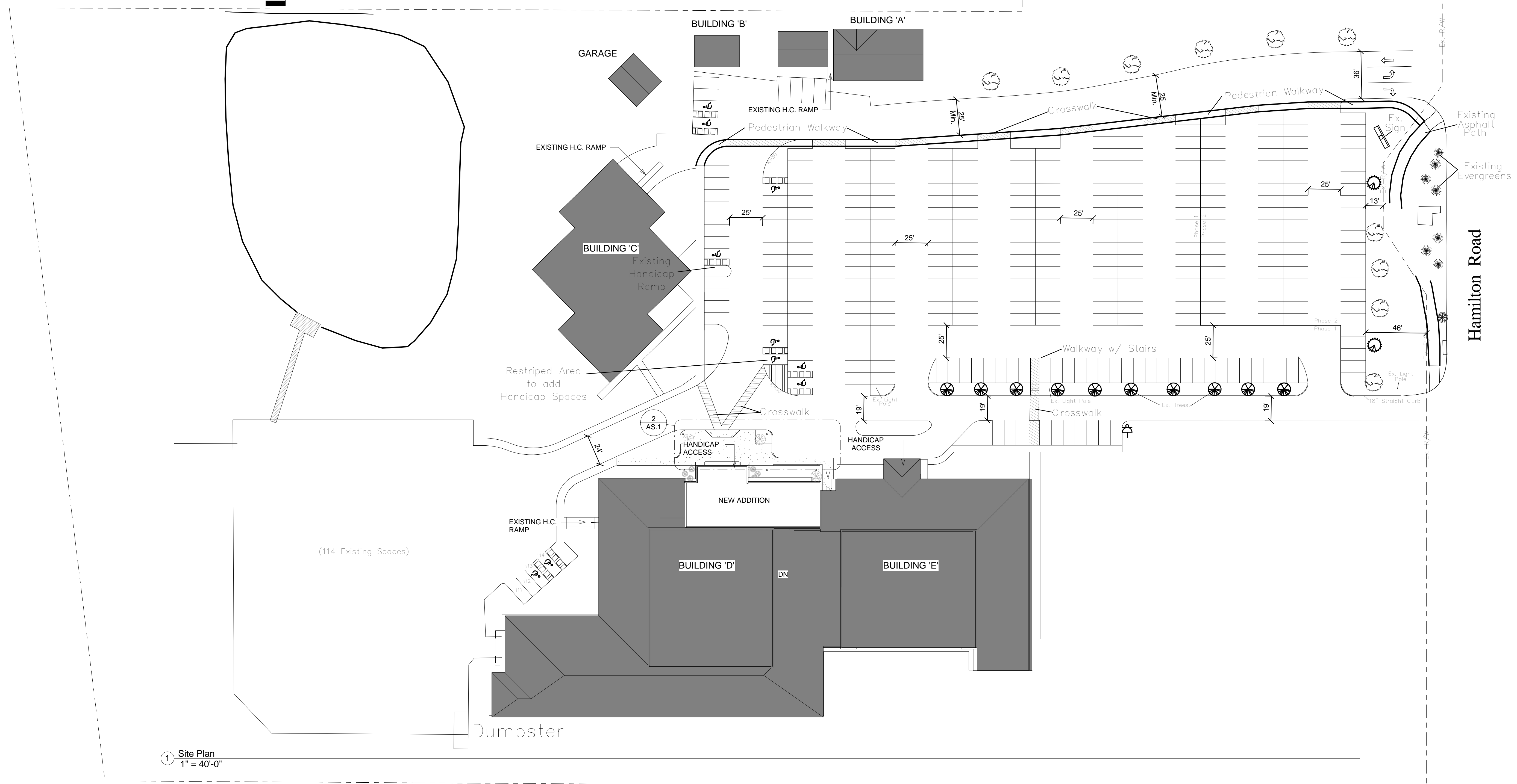
Date
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Millwork Detail

A5.1



2 Entry Plaza
1/8" = 1'-0"



1 Site Plan
1" = 40'-0"

Revisions		
Date	Revision No.	Description



One Church Addition & Renovations

Client Name
One Church

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817 N. Hamilton Rd.
Gahanna OH 43230

Project Number
03-19

Date
0814-20

Site Plan

AS.1

ONE CHURCH





September 14, 2020

One Church
871 N. Hamilton Ave.
Gahanna, OH 43230

RE: Project 817 N Hamilton Rd Design Review

Dear One Church:

The following comments were generated from the review of the submitted plans and documents for the referenced project.

Building

1. Although the revised plans have not been approved yet for compliance with the OBC, there are no issues for this request for approval.

Engineering

2. No comments at this time.

Parks

3. No Comment Per Julie Prederi

Fire District

4. The fire division has no additional comments to the plan, as we have already submitted plan comments to the building official on the same submitted plans.

Community Development

5. No comments/concerns.

If you have any comments or questions, please contact me at kelly.wicker@gahanna.gov or (614) 342-4025.

Sincerely,

Kelly Wicker
Administrative Assistant

Gahanna

PLANNING AND DEVELOPMENT STAFF REPORT

Request Summary

One Church is requesting a revision to their recently approved design review application. The differences between the two requests is that the façade color is changing from grays to white and trim colors are darker.

May 2020 Façade



Proposed Façade



Design Review

General review criteria for Design Review applications include the following:

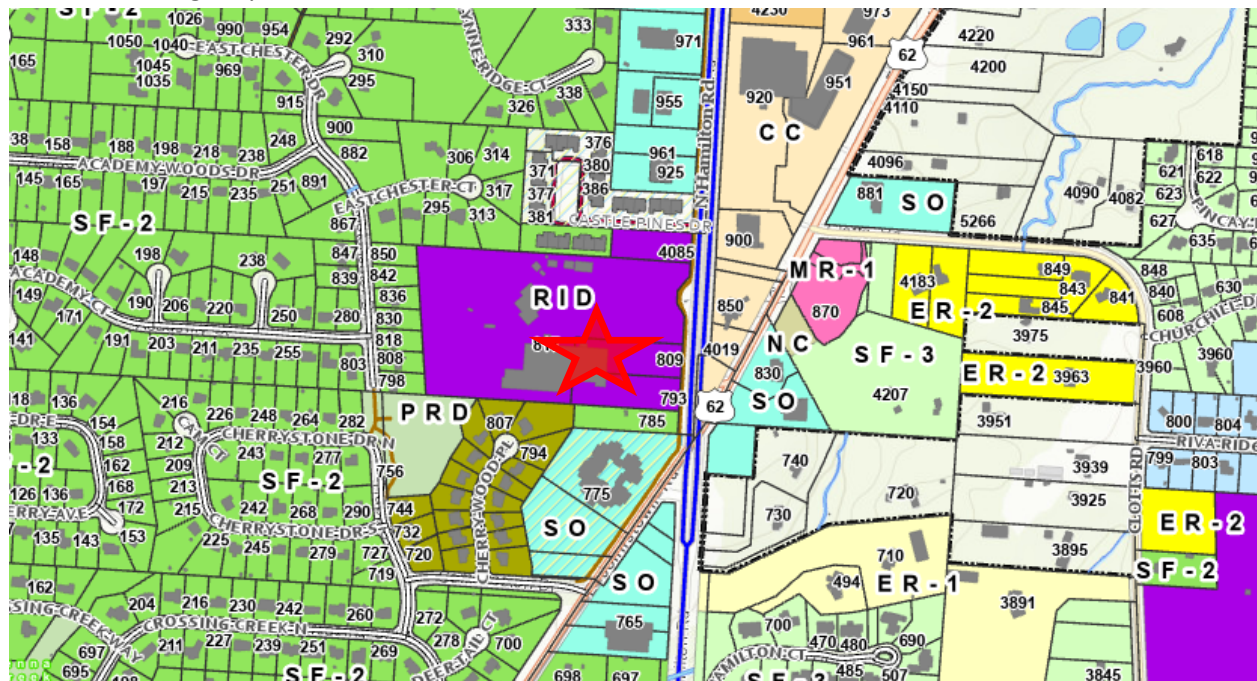
Gahanna

- Are stylistically compatible with other new, renovated, and existing structures in the applicable Design Review District in order to maintain design continuity and provide protection of existing design environment.
- Contribute to the improvement and upgrading of the architectural and design character of the Design Review District.
- Contribute to the continuing economic and community vitality of the Design Review District
- Maintain, protect and enhance the physical surroundings of the Design Review District.

Recommendation

Staff recommends approval of this request. The zoning code does not provide specific color options. It instead states that color palettes should be harmonious with other developments.

Location/Zoning Map



Respectfully Submitted By:
Michael Blackford, AICP
City Planner/Zoning Administrator